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DEKKER  
PERICH  
SABATINI

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

STATE OF NEW MEXICO

RONALD A. WITHERSPOON

No. 2502

REGISTERED ARCHITECT

08-28-2020

ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO  
DESIGN REVIEW  
BOARD (DRB)

REVISIONS

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DRAWN BY	AG, JF
REVIEWED BY	RAW, HFG
DATE	08/28/2020
PROJECT NO.	19-0058
DRAWING NAME	

SDP FOR  
BUILDING PERMIT

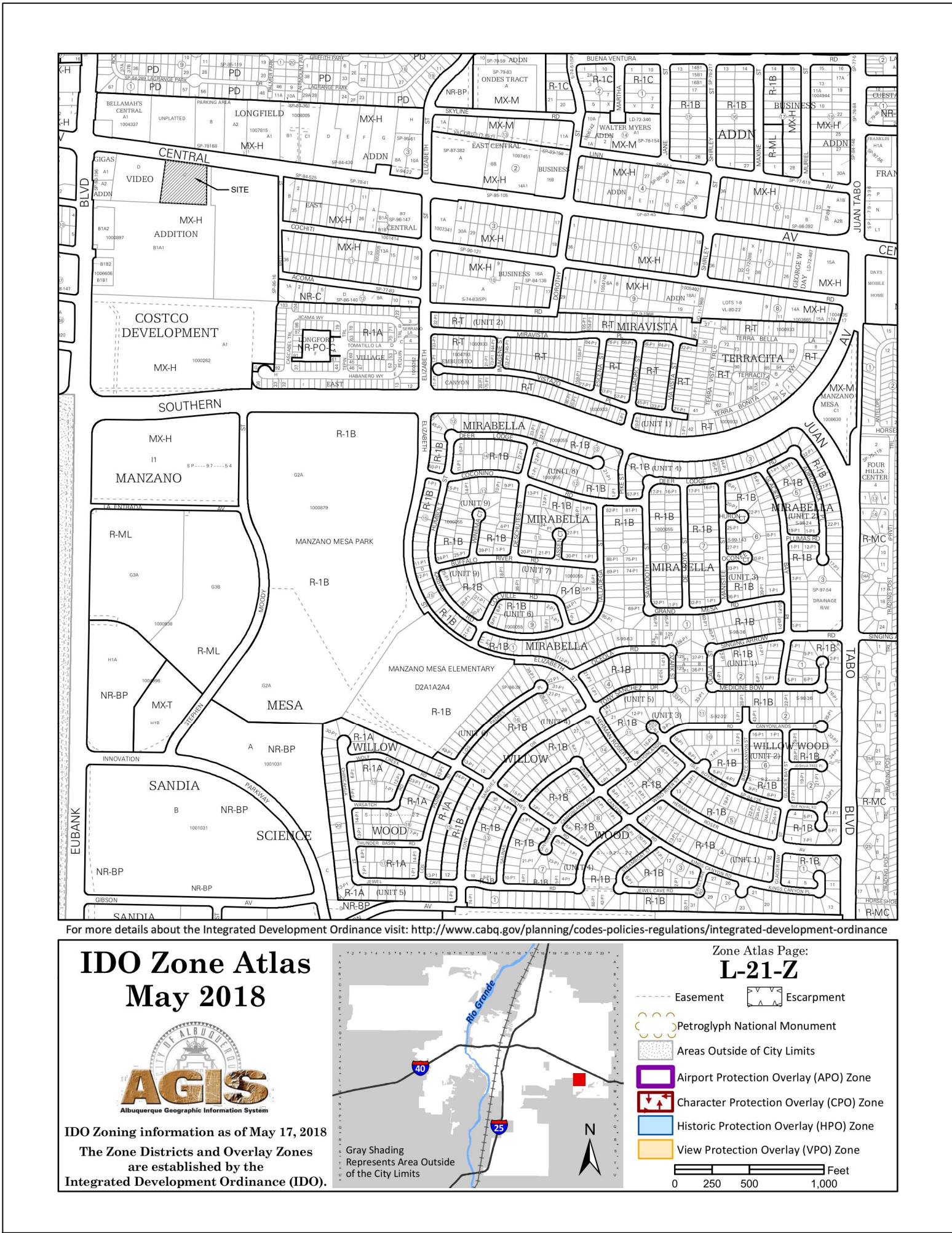
SHEET NO.

COVER

OF



VICINITY MAP



LUMINARIA SENIOR COMMUNITY

OWNER

LUMINARIA APARTMENTS LIMITED PARTNERSHIP, LLLP  
320 GOLD AVENUE SW #918  
ALBUQUERQUE, NM 87102  
PHONE: 505.244.1614

ARCHITECT

DEKKER/PERICH/SABATINI, LTD.  
7601 JEFFERSON ST. NE, SUITE 100  
ALBUQUERQUE, NM 87109  
PHONE: 505.761.9700

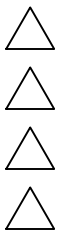
LANDSCAPE ARCHITECT

DEKKER/PERICH/SABATINI, LTD.  
7601 JEFFERSON ST. NE, SUITE 100  
ALBUQUERQUE, NM 87109  
PHONE: 505.761.9700

CIVIL ENGINEER

ISAACSON & ARFMAN, INC.  
128 MONROE STREET NE  
ALBUQUERQUE, NM 87108  
505.268.8828





## OPEN SPACE CALCULATIONS

TABLE 2-4-7 / MX-H ZONING  
USABLE OPEN SPACE  
1 BD: 200 SF PER UNIT  
200SF x 72 UNITS = 14,400 SF  
2 BD: 250 SF PER UNIT  
250 SF x 20 UNITS = 5,000 SF  
TOTAL 19,400 SF REQUIRED OPEN SPACE  
PROVIDED OPEN SPACE: 19,898 SF

PROJECT NO.

APPLICATION NO.

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?  
[ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED  
DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY  
CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR  
CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING,  
TRANSPORTATION DIVISION

DATE:

ABCWUA

DATE:

PARKS &amp; RECREATION DEPARTMENT

DATE:

CITY ENGINEER/HYDROLOGY

DATE:

ENVIRONMENTAL HEALTH (CONDITIONAL)

DATE:

SOLID WASTE MANAGEMENT

DATE:

DRB CHAIRPERSON, PLANNING DEPT.

DATE:

CODE ENFORCEMENT

DATE:

## LEGEND

	LANDSCAPE AREA
	REINFORCED CONCRETE
	HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
	STABILIZED CRUSHER FINES
	PERMEABLE PAVING
	LIGHT DUTY ASPHALT
	FIRELANE STRIPING MARKING FIRE ACCESS LANE; REF: A4/SDP1.2
	PROPERTY LINE
	FIRE HYDRANT
	POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN
	FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
	BIKE RACK
	SIDEWALK RAMP (ARROW POINTS DOWN)
	TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
	PERIMETER FENCE
	ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2
	COMPACT PARKING; REF: D5/SDP1.3
	LIGHT POLE
	6" BOLLARD WITH SIGN

## PROJECT DATA

**PARKING CALCULATION:** (TABLE 5-5-1)  
REQUIRED SPACES: 83 SPACES  
(1.5 SPACES / DWELLING UNITS: 92 X 1.5 = 138 SPACES MINUS PARKING  
CREDIT OF 55 SPACES FOR PROXIMITY TO TRANSIT, VANPOOL PARKING, AND  
OFF-STREET PARKING = 83 SPACES REQUIRED)  
**PROVIDED PARKING = 85 TOTAL SPACES**  
(77 STANDARD SPACES + 8 VAN ACCESSIBLE SPACES)

MOTORCYCLE PARKING REQUIRED = 3 SPACES  
MOTORCYCLE PARKING PROVIDED = 3 SPACES

BICYCLE PARKING REQUIRED = 23 SPACES  
(0.25 SPACES PER DU = 92 X 0.25 = 23 SPACES)  
BICYCLE PARKING PROVIDED = 42 SPACES  
(30 INDOOR BICYCLE SPACES + 12 OUTDOOR BICYCLE SPACES)

12 OUTDOOR SPACES ARE PROVIDED FOR VISITORS THAT ARE FIXED,  
PERMANENT AND ARE LOCATED AT MULTIPLE RACKS SERVING THE  
LEASING OFFICE, AND ALONG CENTRAL AVENUE PER THE ROUTE 66  
ACTION PLAN

REFER TO SDP5.1 AND SDP5.2 FOR  
ELEVATION VIEWS.

**ITEM #1 FROM 5-11(E)(2) IS ADDRESSED:**  
-ALL FACADES INCLUDE COLOR CHANGE  
AND A BAND DESIGN BETWEEN THE  
GROUND AND UPPER LEVELS TO  
DESIGNATE THE BASE OF THE BUILDING  
FROM THE UPPER FLOORS  
-THE NORTH FACADE FACING CENTRAL  
AVENUE HAS A TILE CHECKERED  
WAINSCOT 3' HIGH RELATING TO HUMAN  
SCALE AT GROUND LEVEL AND BRINGING  
IN THE GOALS OF THE ROUTE 66 ACTION  
PLAN BY CELEBRATING ROUTE 66  
-THE NORTH FACADE FACING CENTRAL  
AVENUE HAS A SPACE DEDICATED FOR A  
FUTURE MURAL AT THE GROUND LEVEL  
THAT WILL BE LOCALLY SOURCED AND  
WILL BE INSPIRED BY HISTORIC ROUTE  
66

**ITEM #2 FROM 5-11(E)(2) IS ADDRESSED:**  
NORTH FACADE  
-THE NORTH FACADE DESIGN INCLUDES  
2 RAISED PLANTERS 3' HIGH.  
-WINDOWS ON ALL UPPER FLOORS THAT  
PROVIDE NATURAL LIGHT.  
-GROUND FLOOR WINDOWS INTO  
COMMUNITY AMENITIES CREATE A  
DYNAMIC PEDESTRIAN EXPERIENCE.  
EAST FACADE  
-THE EAST FACADE INCLUDES THE  
NORTH EAST COURTYARD ACCESS WITH  
WEATHER PROTECTION ALONG THE  
DOOR BY INCLUDING CANOPY.  
-THE STAIR EXIT ALONG THE EAST  
FACADE HAS WEATHER PROTECTION  
WITH A CANOPY.  
-ALL FLOORS INCLUDE WINDOWS FOR  
NATURAL LIGHT.  
-AN OPTION FOR ADDITIONAL SHADE  
PROTECTION ON THIS ELEVATION IS  
INCLUDED AS AN ADD ALTERNATE PER  
THE SUGGESTION OF THE PLANNING  
DEPARTMENT AND THE BUILDING  
OWNER.

WEST FACADE  
-WINDOWS ON ALL UPPER FLOORS THAT  
PROVIDE NATURAL LIGHT.  
-PRIMARY PEDESTRIAN ENTRANCE  
ALONG THE WEST FACADE IN THE ENTRY  
COURTYARD.  
-SHADE AND WEATHER PROTECTION  
ALONG THE MAIN ENTRANCE  
-TRELLIS DESIGN IN THE NORTHWEST  
ENTRY COURTYARD TO PROVIDE SHADE.  
-AN OPTION FOR ADDITIONAL SHADE  
PROTECTION ON THIS ELEVATION IS  
INCLUDED AS AN ADD ALTERNATE PER  
THE SUGGESTION OF THE PLANNING  
DEPARTMENT AND THE BUILDING  
OWNER.

**ITEM #3 FROM 5-11(E)(2) IS ADDRESSED:**  
NORTH FACADE  
-THE NORTH FACADE DESIGN  
INCORPORATES 5 STUCCO COLOR  
CHANGES INTEGRATED IN A MINIMUM OF  
EVERY 35 LINEAR FEET.  
-THE NORTH FACADE WILL HAVE A  
MURAL DESIGN WITH COLOR CHANGING  
INTRICACIES AND WILL BE COORDINATE  
THROUGH THE CITY PUBLIC ART  
PROGRAM.  
-THE CHANGE IN WALL PLANE OF AT  
LEAST 1 FOOT IN DEPTH OCCURS AT  
LEAST EVERY 100 LINEAR FEET AND  
EXTENDS AT LEAST 25% OF THE LENGTH  
OF THE FACADE.  
-THE NORTH FACADE HAS A BASE  
TREATMENT USING 3 FEET HIGH TILE  
WAINSCOT.  
-THE DESIGN INCLUDES CHANGE IN  
PARAPET HEIGHT FOR EVERY 100 LINEAR  
FEET OF THE FACADE.  
EAST, SOUTH AND WEST FACADE  
-THE CHANGE IN WALL PLANE OF AT  
LEAST 1 FOOT IN DEPTH OCCURS AT  
LEAST EVERY 100 LINEAR FEET AND  
EXTENDS AT LEAST 25% OF THE LENGTH  
OF THE FACADE.  
-THE DESIGN INCLUDES CHANGE IN  
PARAPET HEIGHT FOR EVERY 100 LINEAR  
FEET OF THE FACADE.

**BUILDING HEIGHT:**  
MAXIMUM ALLOWED: 65'-0"  
ACTUAL HEIGHT: 51'-9"  
**SPRINKLED:** YES, NFPA 13R  
**FIRE FLOW:** 2,375 GPM  
**HYDRANTS REQUIRED:** 2  
**BUILDING OCCUPANCY:** TYPE VA  
**CONSTRUCTION TYPE:** TYPE VA

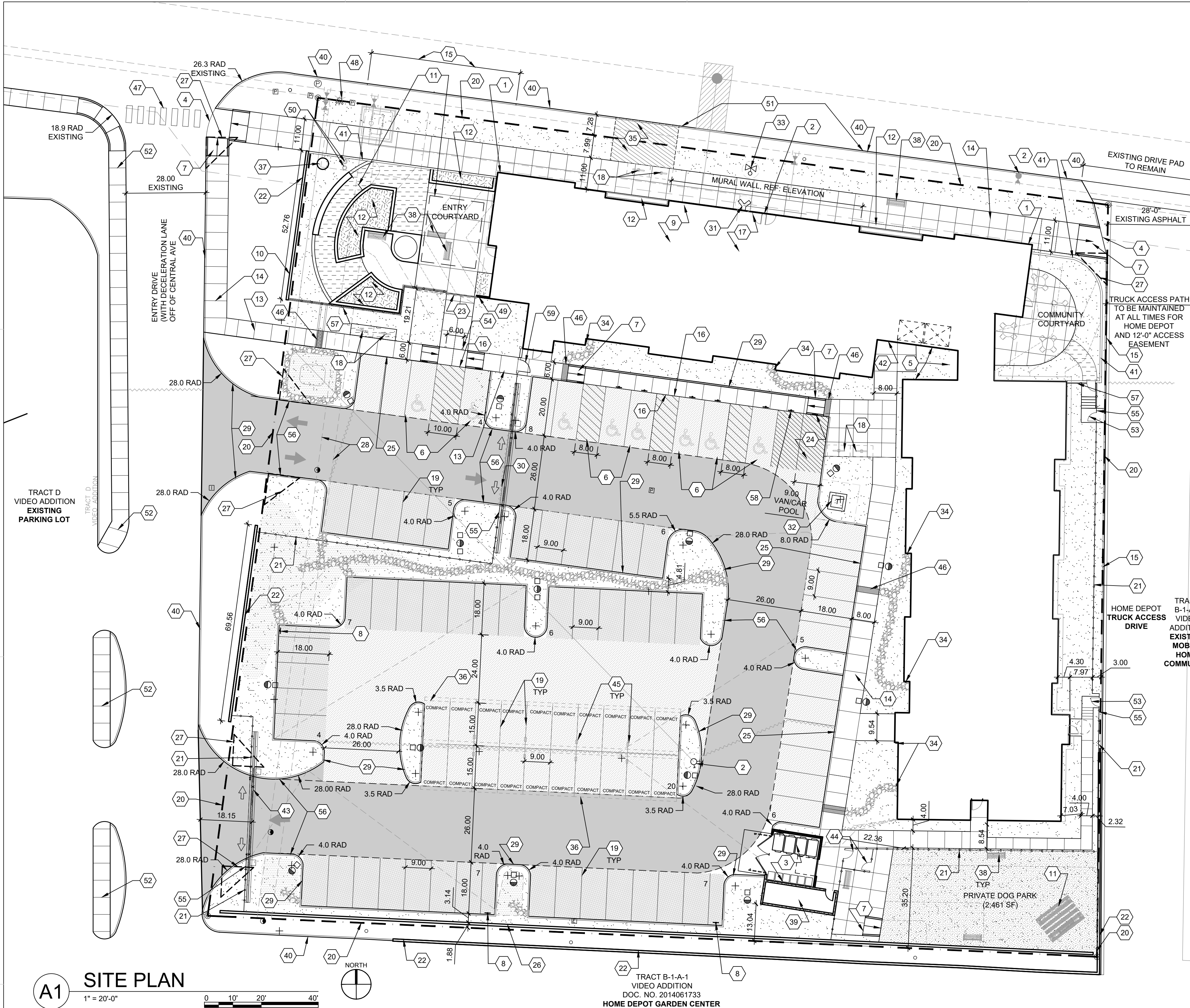
**ZONING:**  
IDO - MIXED-USE - HIGH INTENSITY ZONE DISTRICT (MX-H)  
METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST GATEWAY  
MAJOR TRANSIT CORRIDOR AREA  
ROUTE 66 ACTION PLAN

**LEGAL DESCRIPTION:**  
TRACT C, VIDEO ADDITION, FILED IN THE BERNALILLO COUNTY  
CLERK AND RECORDER'S OFFICE AUGUST 9, 1994 IN BOOK 94C AT  
PAGE 263

**SITE AREA:** 1.88 ACRES  
**SITE ATLAS:** L-21-Z  
**SETBACKS:** FRONT= 5' MIN / N/A MAX, STREET SIDE = 5' MIN / N/A MAX  
INTERIOR= 0', REAR= 15'

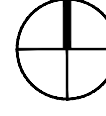
**BUILDING HEIGHT:**  
MAXIMUM ALLOWED: 65'-0"  
ACTUAL HEIGHT: 51'-9"  
**SPRINKLED:** YES, NFPA 13R  
**FIRE FLOW:** 2,375 GPM  
**HYDRANTS REQUIRED:** 2  
**BUILDING OCCUPANCY:** TYPE VA  
**CONSTRUCTION TYPE:** TYPE VA

**BUILDING SF:**  
FIRST LEVEL 17,505 GSF  
SECOND LEVEL 17,095 GSF  
THIRD LEVEL 17,095 GSF  
FOURTH LEVEL 17,095 GSF  
TOTAL 68,793 GSF



**A1 SITE PLAN**  
1" = 20'-0"

0 10' 20' 40'



TRACT B-1-A-1  
VIDEO ADDITION  
DOC. NO. 2014061733  
HOME DEPOT GARDEN CENTER

## GENERAL SHEET NOTES

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- ALL EXISTING ASPHALT AND CONCRETE TO BE REMOVED PRIOR TO CONSTRUCTION REMOVE EXISTING TREES
- AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED

## SHEET KEYED NOTES

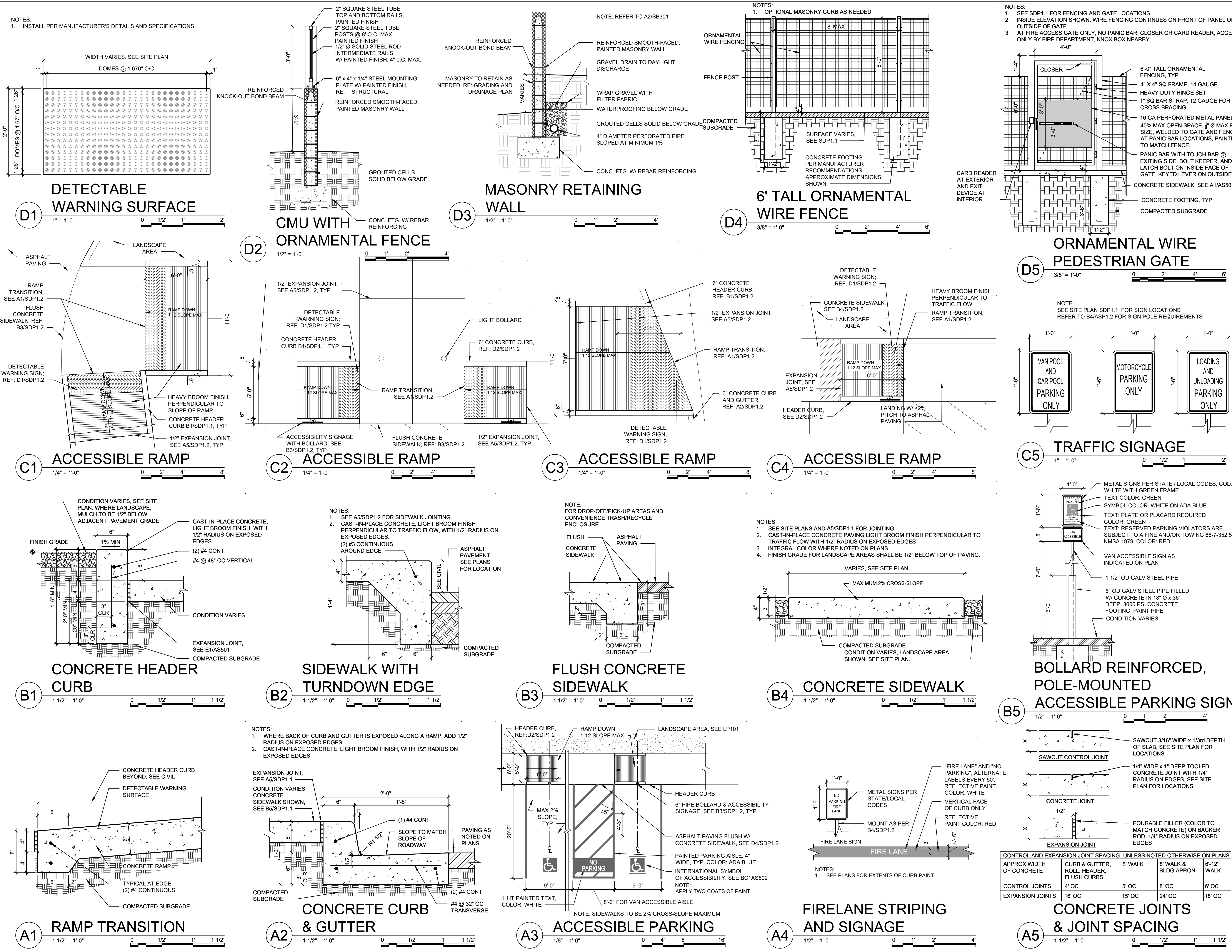
- BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2015 INTERNATIONAL FIRE CODE
- NEW FIRE HYDRANT. PAINT SAFETY ORANGE. SEE CIVIL.
- TRASH AND RECYCLING ENCLOSURE WITH GATE, REF: A1/SDP1.3, A3/SDP1.3, A5/SDP1.3, B1/SDP1.3, B3/SDP1.3 AND C3/SDP1.3.
- WALKWAY CONNECTION TO CENTRAL AVE SE.
- ELECTRIC METER BANK
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, B5/SDP1.2 & C5/SDP1.2
- ACCESSIBLE RAMP, REF: C1/SDP1.2, C2/SDP1.2, C3/SDP1.2, AND C4/SDP1.2
- MOTORCYCLE PARKING; REF: C5/ASP1.2
- BICYCLE STORAGE ROOM (30 BICYCLES) PER IDO
- SECTION 5-6(E) AND DPM STANDARDS
- MONUMENT SIGNAGE MOUNTED ON EXISTED WALL, REF: D3/SDP1.3
- SHADE STRUCTURE
- PLANTER
- 6" WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS.
- 8" WIDE SIDEWALK CONCRETE, REF: B4/SDP1.2
- NEW CONCRETE CURB AND GUTTER, REF: A2/SDP1.2
- FLUSH CONCRETE SIDEWALK, REF: B3/SDP1.2
- FIRE RISER ROOM
- OUTDOOR BIKE RACK/PARKING PER IDO AND DPM STANDARD WITH TWO-POINT BIKE LOCKING, REF: C1/SDP1.3
- PARKING STRIPING 4" WIDE, COLOR WHITE
- PROPERTY LINE
- ORNAMENTAL FENCE, REF: D4/SDP1.2
- EXISTING CMU WALL TO REMAIN
- PEDESTRIAN SLIDING GATE
- DEDICATED RESERVED VAN POOL AND CAR POOL PARKING WITH SIGNAGE & BOLLARD, REF: C5/SDP1.2 AND B5/SDP1.2 FOR BOLLARD
- SIDEWALK WITH TURNDOWN EDGE, REF: B3/SDP1.2
- PARTIALLY REUSED EXISTING CMU WALL WITH ORNAMENTAL FENCE ABOVE - TOTAL HEIGHT 6'-0" (DESIGNED TO SCREEN ADJACENT REAR PROPERTY FROM HEADLIGHTS, DEMOLISH DOWN TO 3'-0" AND REPLACE EXISTING WALL AS REQUIRED)
- CLEAR SIGHT TRIANGLE; LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING 5'-0" ELECTRIC & TELEPHONE EASEMENT, FILED: REF: B4/SDP1.2
- CONCRETE HEADER CURB, REF: B1/SDP1.2
- VEHICULAR ROLLING ENTRY GATE, FOB ACTIVATED
- FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
- ELECTRICAL TRANSFORMER (ON 6" CONCRETE PAD)
- POST INDICATOR VALVE (PIV)
- DOWNSPROUT TO COBBLE RUN OFF, RE: CIVIL PLANS
- OPTION FOR FUTURE CITY BUS SHELTER (CONCRETE PAD PROVIDED)
- OPTION FOR PHOTOVOLTAIC (PV) CAR PORT, SEPARATE PERMIT REQUIRED
- VERTICAL MARQUEE SIGN, REF: C2/SDP1.3 AND B1/SDP1.3
- BENCH
- TRASH ENCLOSURE AND MAINTENANCE STORAGE, REF: A5/SDP1.3
- EXISTING CONCRETE CURB AND GUTTER, REF: A2/SDP1.2
- 3' HIGH CMU WALL, REF: ELEVATIONS SDP5.1
- RESIDENT MAIN ENTRANCE
- VEHICULAR ROLLING EXIT GATE, PROXIMITY ACTIVATED
- DOG PARK ENTRANCE
- FUTURE CARPORT SUPPORT, 8'x1'-4"
- SIDEWALK CULVERT
- PAINTED CROSSWALK
- EXISTING FIRE HYDRANT
- BUILDING KNOX BOX
- EXISTING CLEAN OUTS RELOCATED INTO LANDSCAPE AREA
- FIRE LANE; REF: A4/SDP1.2
- EXISTING SIDEWALK
- GATE, FIRE ACCESS ONLY
- LIGHTED BOLLARD
- GATE KNOX BOX
- FIRELANE STRIPING MARKING FIRE ACCESS LANE; REF: A4/SDP1.2 & LEGEND
- 3' HIGH CMU WALL WITH 3' HIGH ORNAMENTAL FENCE ABOVE, REF: D2/SDP1.3
- DEDICATED RESERVED LOADING/UNLOADING PARKING WITH SIGNAGE & BOLLARD, REF: C5/SDP1.2

## PROJECT DATA

**ZONING:**  
IDO - MIXED-USE - HIGH INTENSITY ZONE DISTRICT (MX-H)  
METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST GATEWAY  
MAJOR TRANSIT CORRIDOR AREA  
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**LEGAL DESCRIPTION:**  
TRACT C, VIDEO ADDITION, FILED IN THE BERNALILLO COUNTY  
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DEKKER  
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ARCHITECTURE  
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LUMINARIA SENIOR COMMUNITY  
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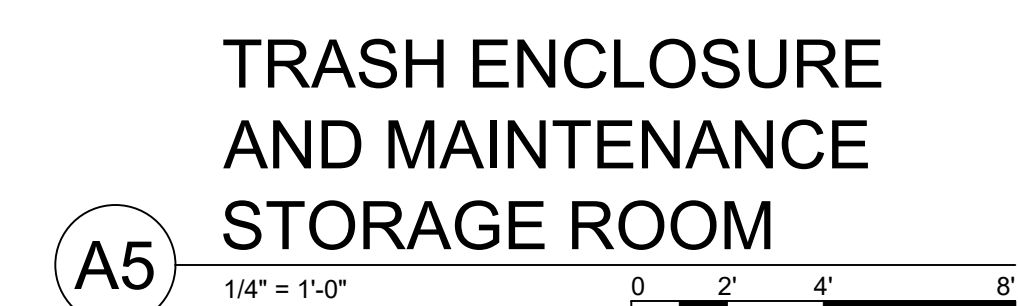
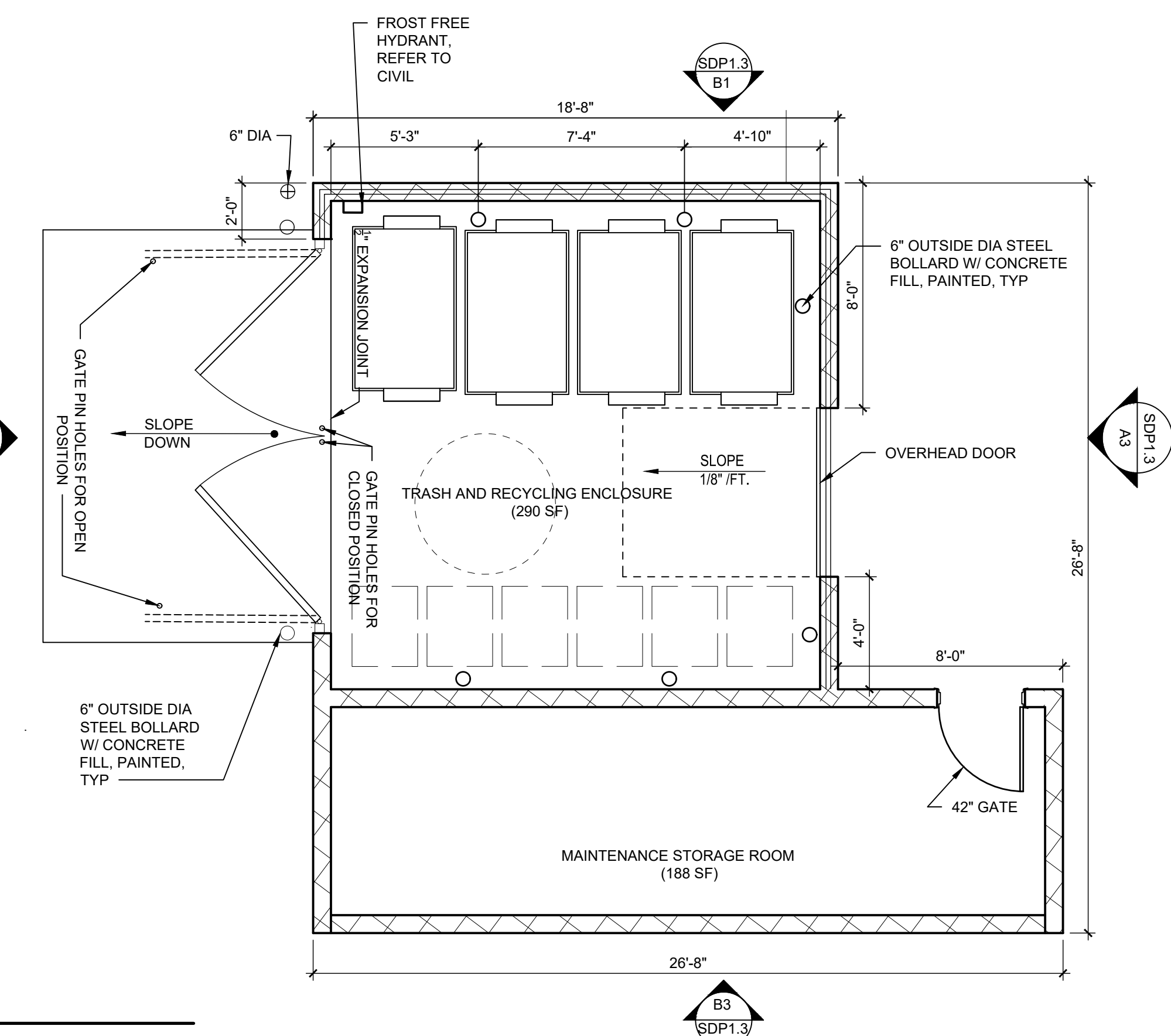
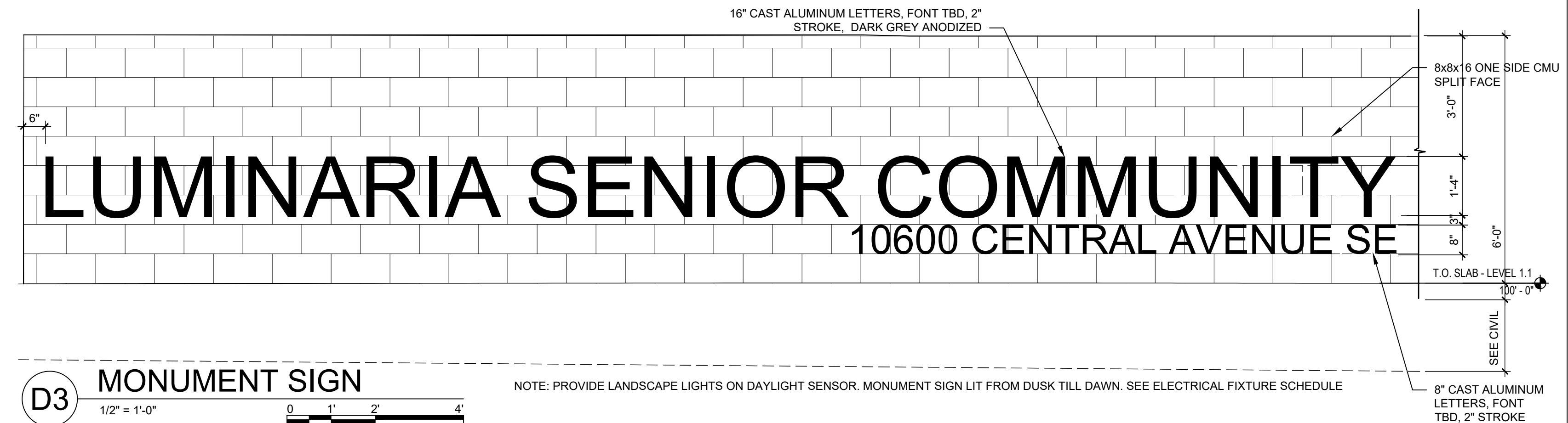
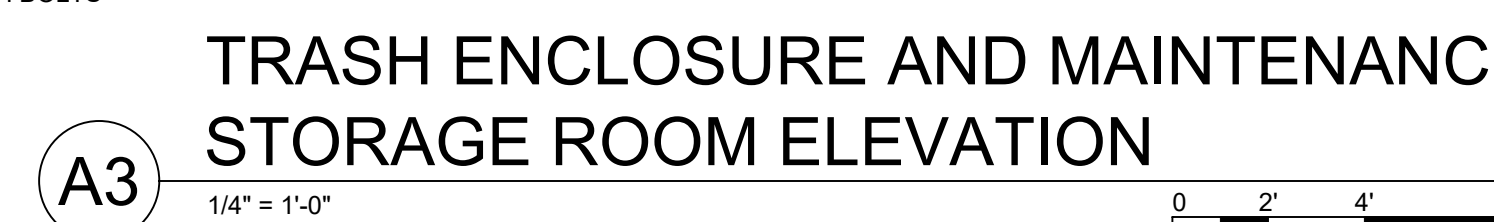
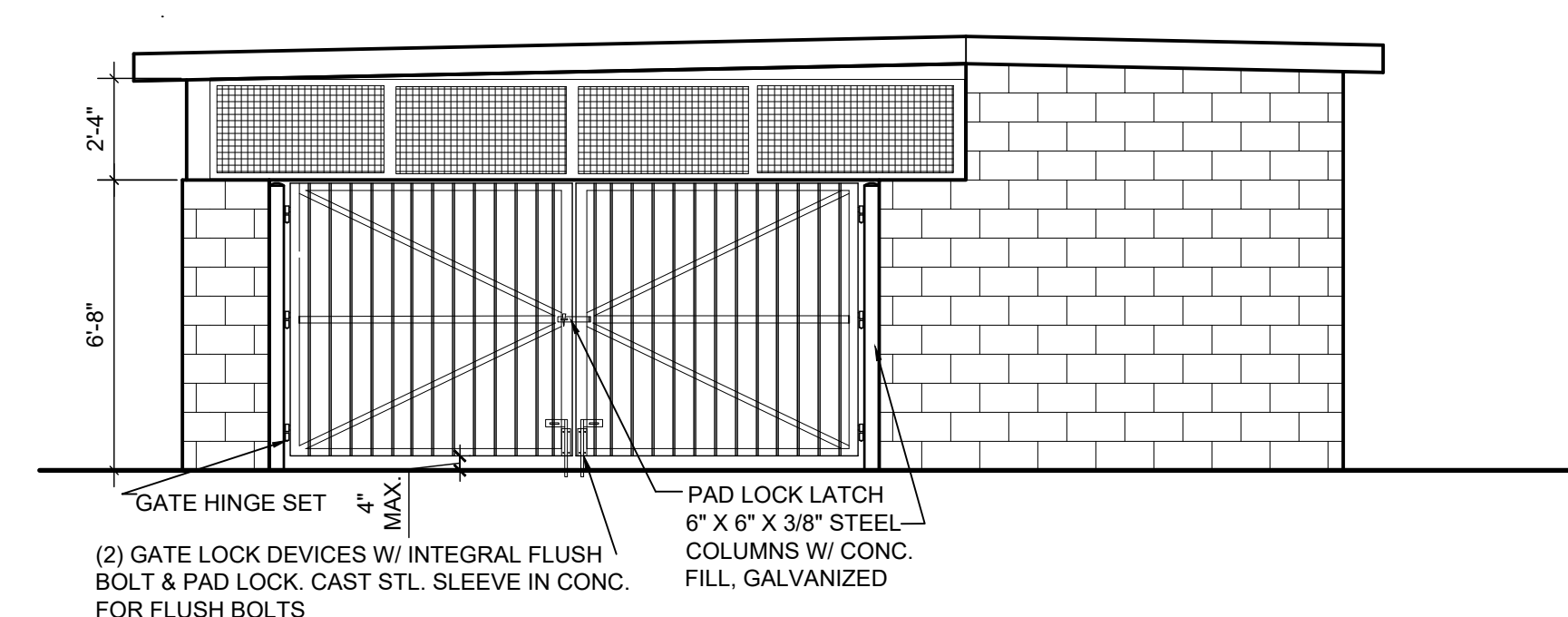
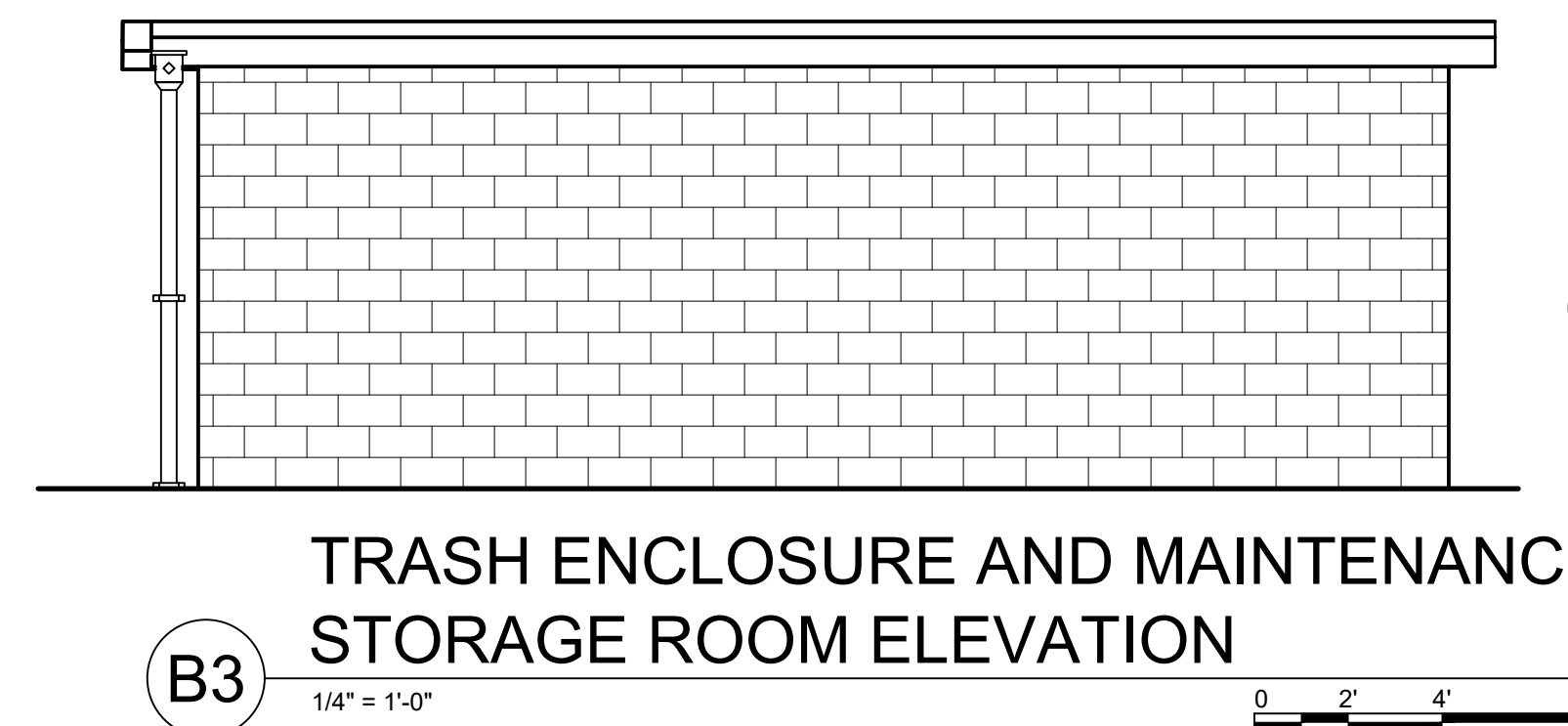
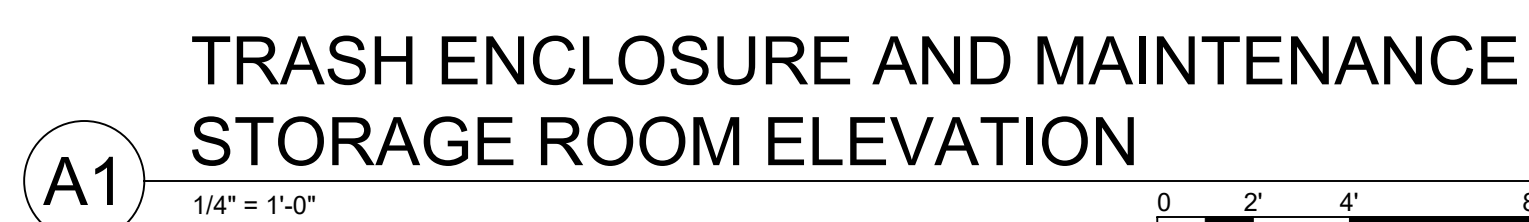
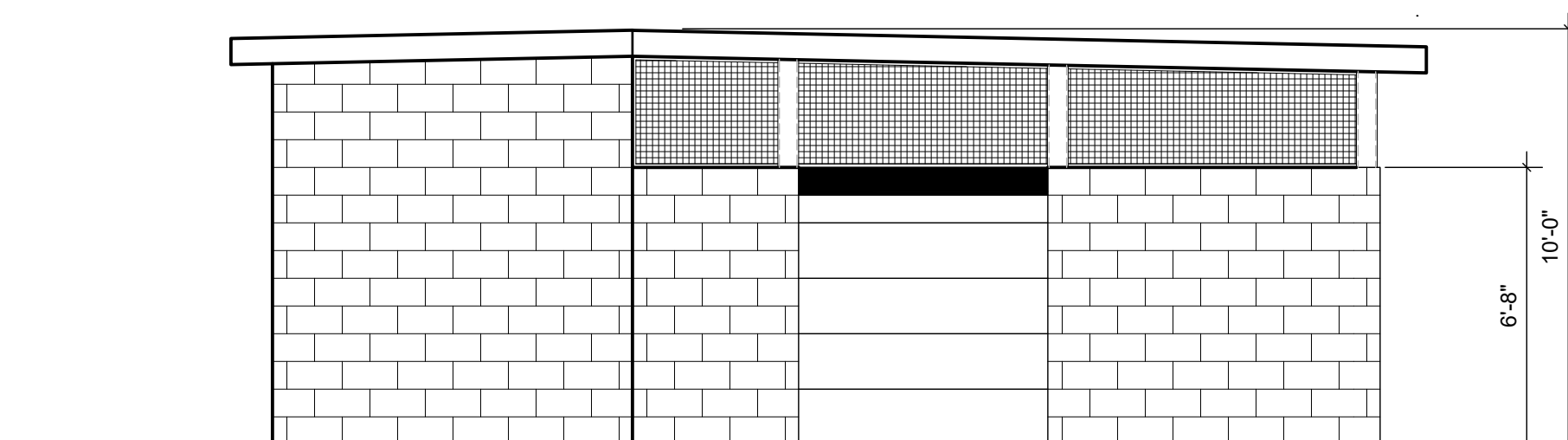
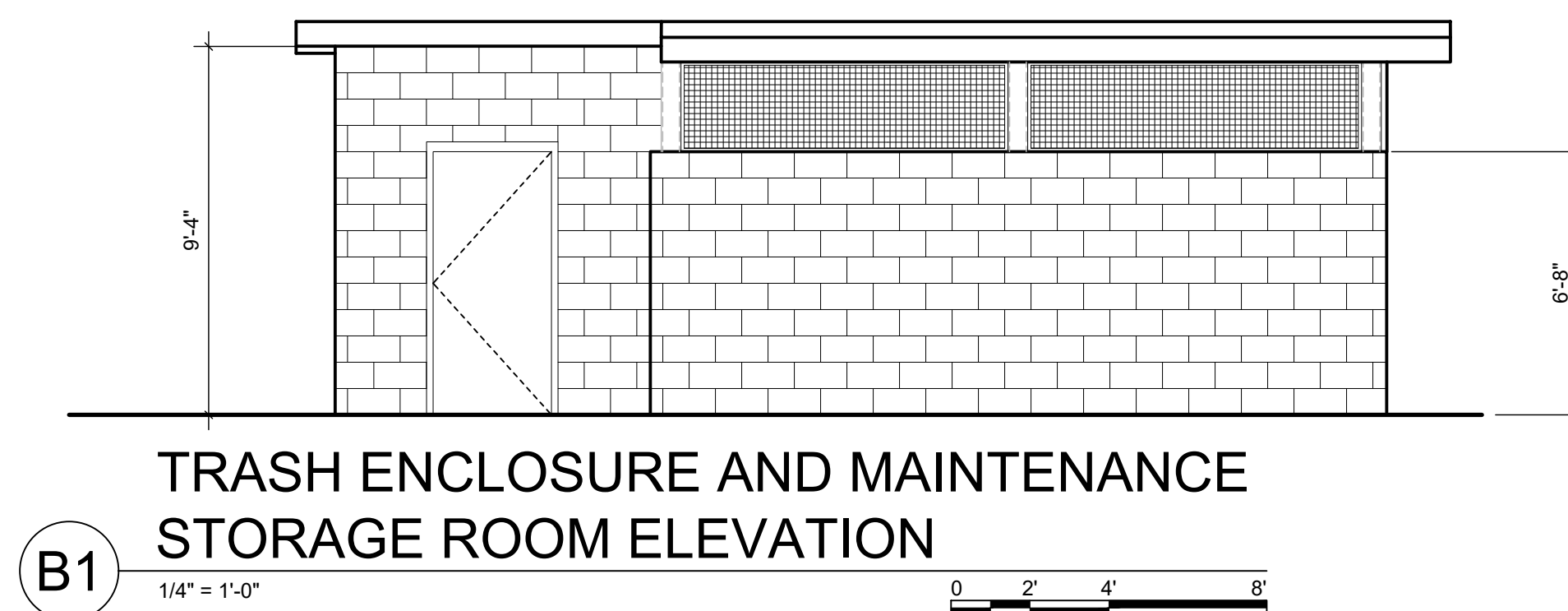
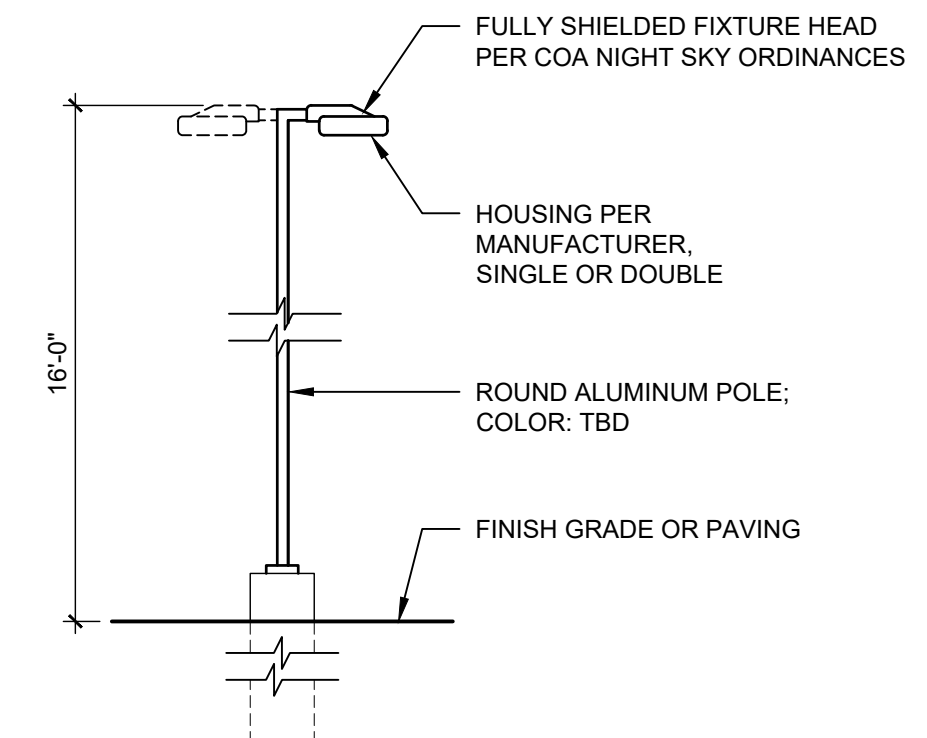
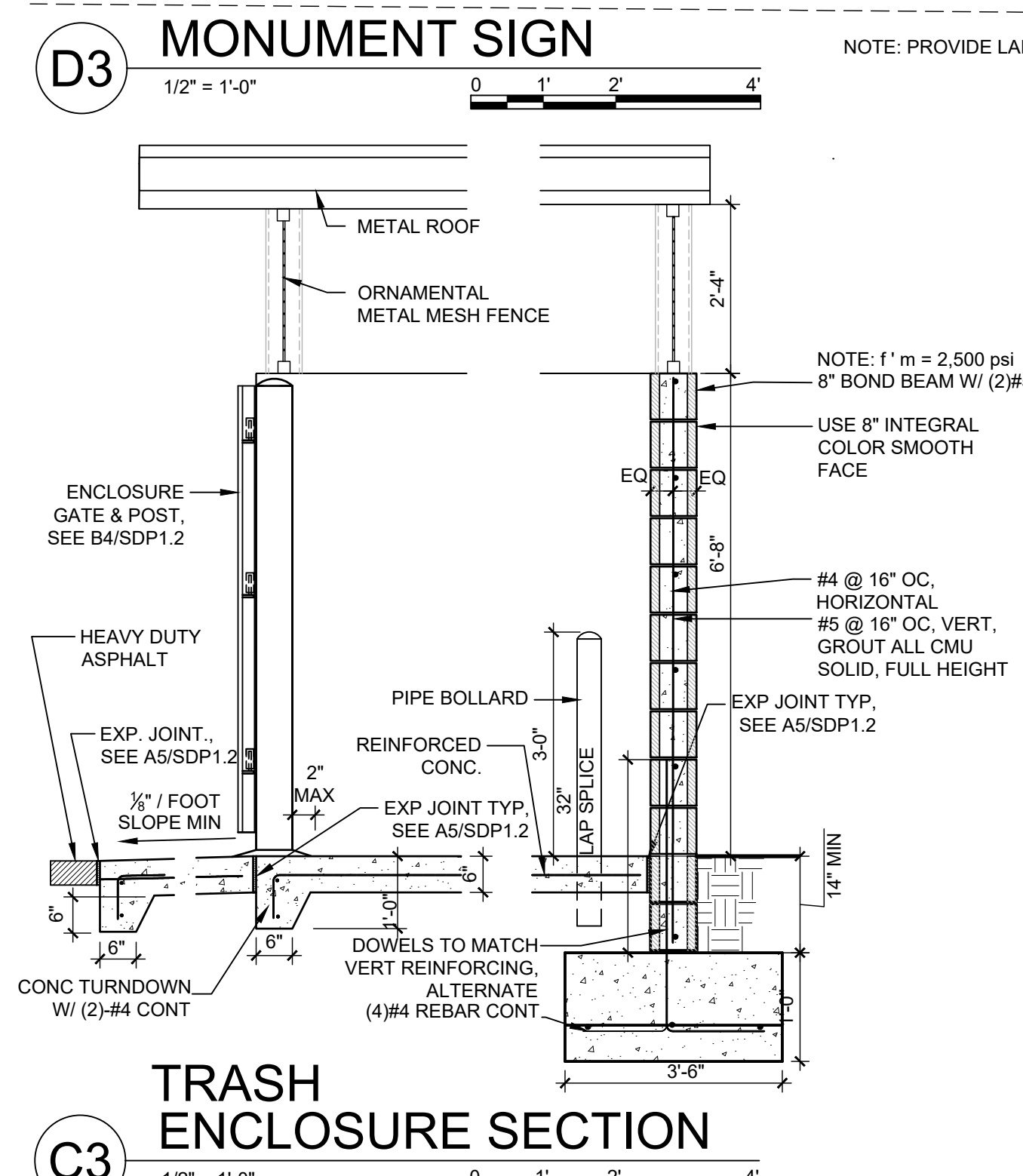
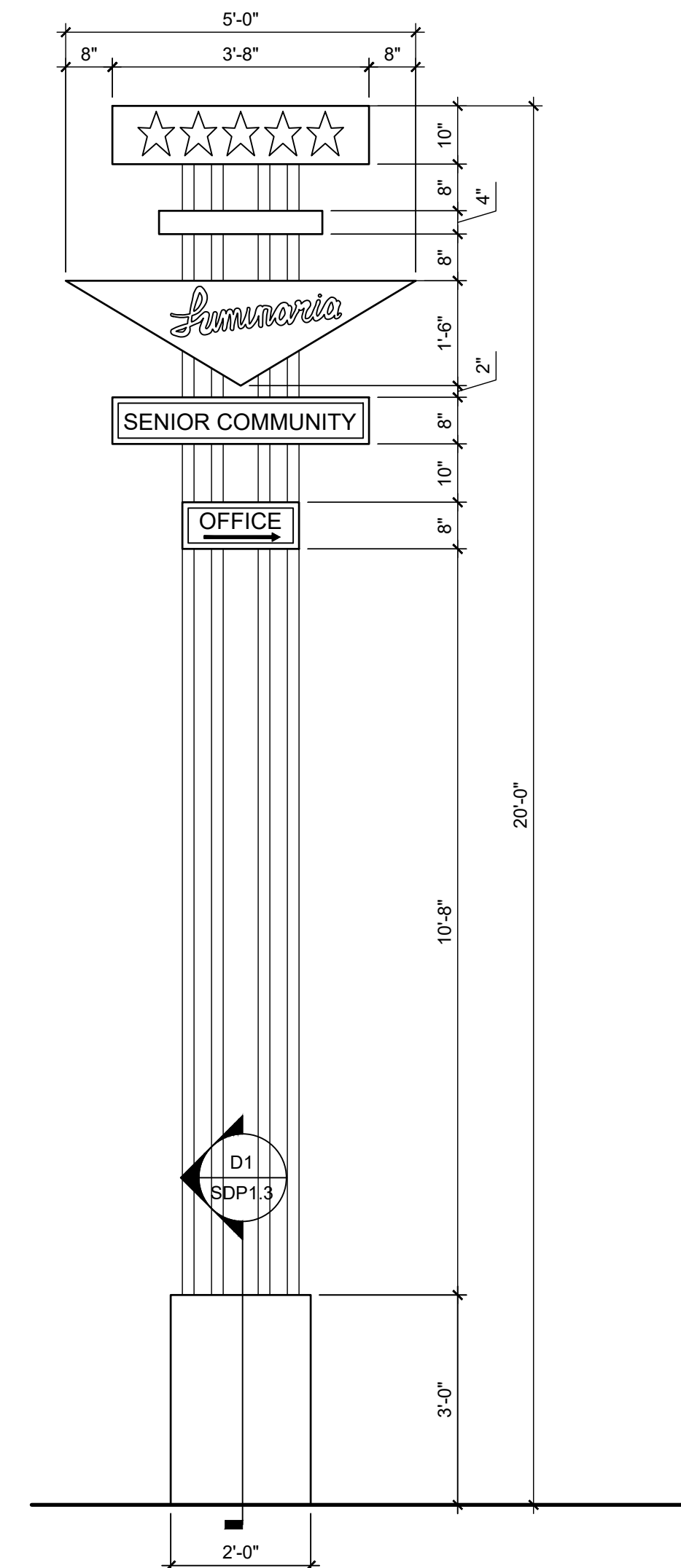
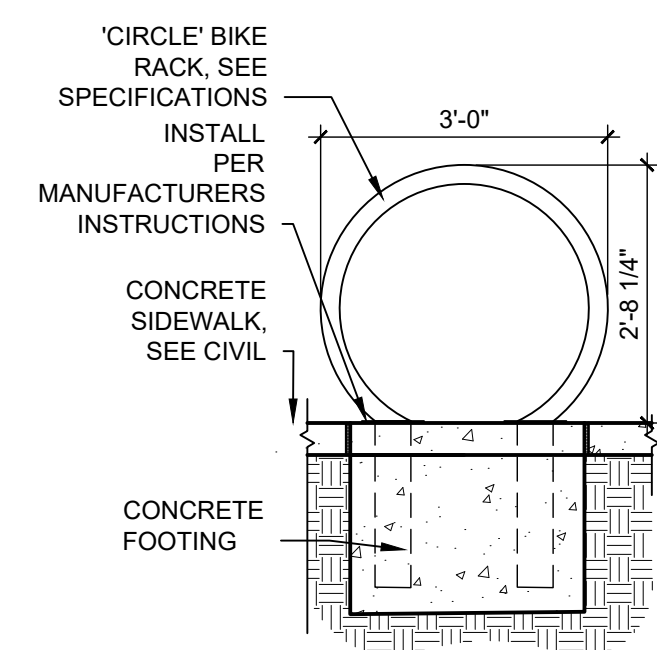
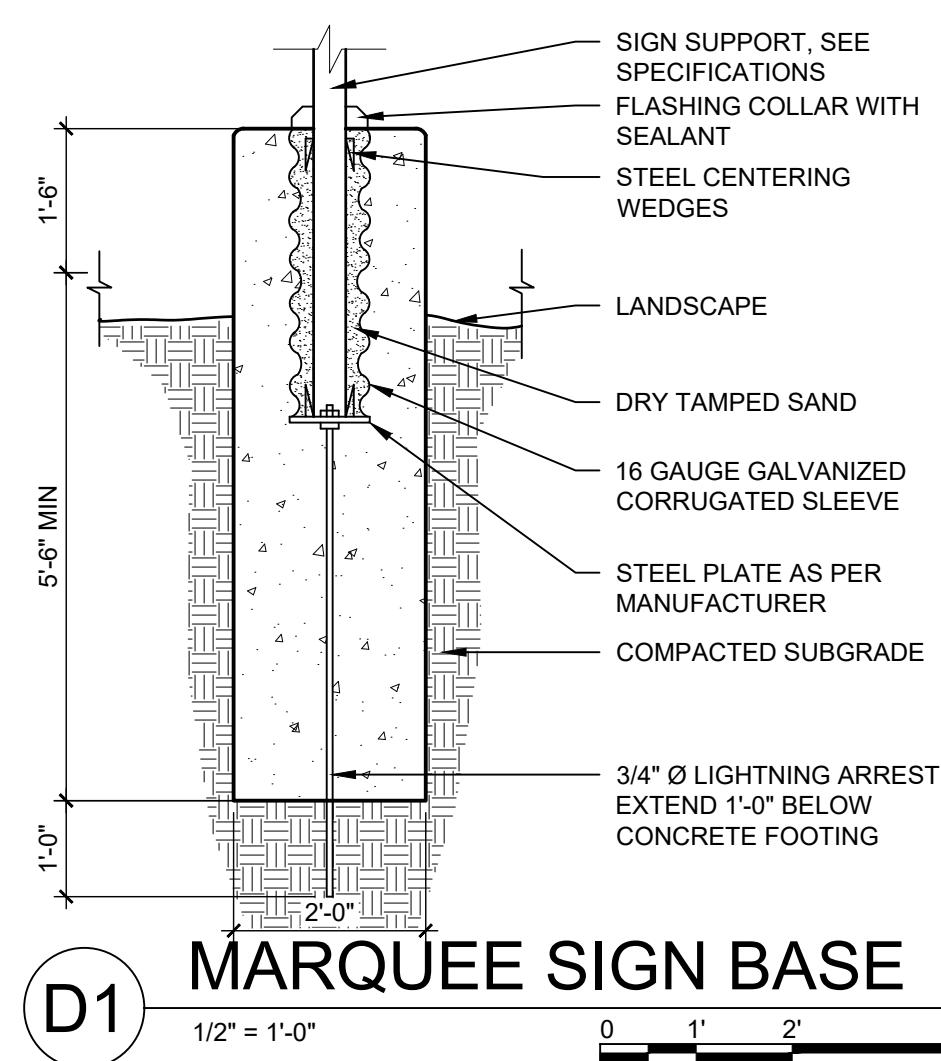
SITE  
DETAILS

SHEET NO.

SDP1.2

OF

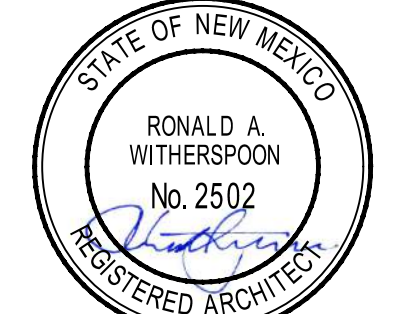




**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT



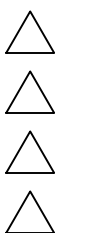
ENGINEER

PROJECT

**LUMINARIA SENIOR COMMUNITY**  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO  
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## REVISIONS



DRAWN BY AG IE

REVIEWED BY                      RAW HEG

DATE 08/28/2020

PROJECT NO. 10 0058

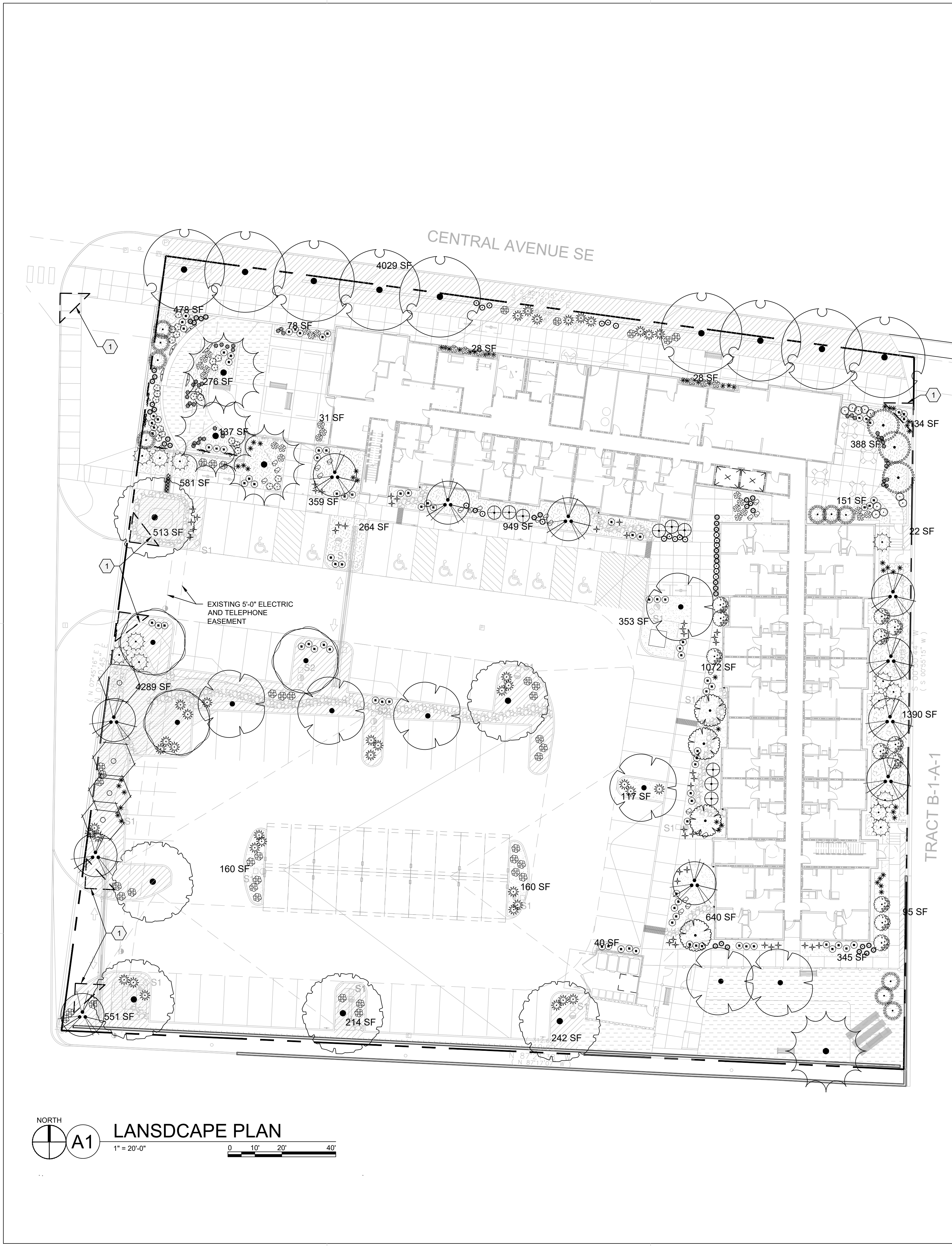
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## SITE DETAILS

SHEET NO. \_\_\_\_\_

SDP1.3

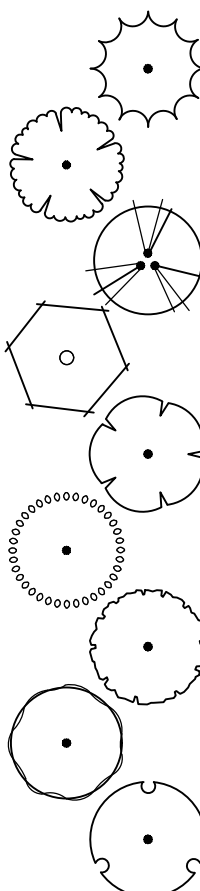




NORTH  
A1  
1" = 20'-0"  
0 10' 20' 40'

## PLANT SCHEDULE

### TREES



### COMMON NAME

AUTUMN BLAZE MAPLE

OKLAHOMA RED BUD

'BUBBA' DESERT WILLOW

NEW MEXICO OLIVE

CHINESE PISTACHE

CRESTHAVEN PEACH

BUCKLEY OAK

CHINKAPIN OAK

ACCOLADE ELM

### SHRUBS



### COMMON NAME

LITTLE LEAF MOUNTAIN MAHOGANY

LENA BROOM

DESERT MAHONIA

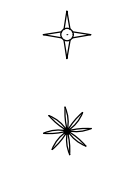
CREEPING MAHONIA

LITTLELEAF MOCKORANGE

GOLDEN BAMBOO

KNOCKOUT ROSE

### DESERT ACCENTS

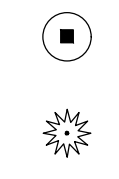


### COMMON NAME

BRAKELIGHTS RED YUCCA

TWISTLEAF YUCCA

### ORNAMENTAL GRASSES

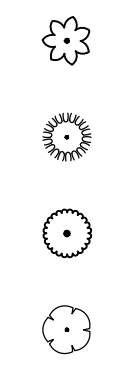


### COMMON NAME

'BLONDE AMBITION' BLUE GRAMA

DEER GRASS

### PERENNIALS



### COMMON NAME

CHOCOLATE FLOWER

SISKIYOU PINK GAURA

KIT CAT CATMINT

ULTRA VIOLET AUTUMN SAGE

### VINES



### COMMON NAME

TANGERINE BEAUTY CROSS VINE

HIMROD GRAPE

## SHEET KEYED NOTES

### CODE DESCRIPTION

- 1 CLEAR SIGHT TRIANGLE; LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

## LEGEND

SYMBOL	NOTES	EST QTY
	3/4" ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC	9,955 SF
	CRUSHER FINES AT 3" DEPTH OVER WEED BARRIER FABRIC	3,020 SF
	SHREDDED BARK MULCH	5,140 SF
	SEE CIVIL FOR STORMWATER INFRASTRUCTURE	
	STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS, SEE SITE PLAN	
	PROPERTY LINE	

## GENERAL SHEET NOTES

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND/OR MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIPLINE.
- E. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- F. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- G. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- H. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- I. NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.

## IRRIGATION NOTES

- A. PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- B. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- C. THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- D. IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- E. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
- F. IRRIGATION TO BE DESIGN-BUILD BY THE CONTRACTOR

## LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 1.88 AC = 81,829 SF  
AREA OF LOT COVERED BY BUILDINGS = 17,505 SF  
NET LOT AREA = 64,324 SF

REQUIRED LANDSCAPE  
REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 9,649 SF

PROVIDED LANDSCAPE AREA = 18,114 SF = 28%  
(see hatch legend for exclusions from landscape areas)

REQUIRED TREES  
TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES

TOTAL NUMBER OF PARKING = 85 SPACES  
REQUIRED NUMBER OF PARKING LOT TREES = 9 TREES  
PROVIDED NUMBER OF PARKING LOT TREES = 12 TREES  
NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = 9 placed at 30' on center (276' of street frontage)  
PROVIDED STREET TREES = 9

REQUIRED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 42 TREES  
1 TREE PER GROUND FLOOR DWELLING UNIT (17) AND 1 TREE PER SECOND-STORY UNIT (25)  
PROVIDED TREES FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS = 50 TREES

REQUIRED VEGETATIVE COVERAGE  
REQUIRED GROUND COVERAGE = 13,585 SF = 75% OF PROVIDED LANDSCAPE AREA  
A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS  
PROVIDED TOTAL GROUND COVERAGE = 5,962 SF = 32% OF TOTAL PROVIDED LS  
TREE CANOPY COVERAGE = 18,434 SF  
GROUND PLANT COVERAGE = 5,962 SF = 43% OF REQUIRED VEGETATIVE COVERAGE

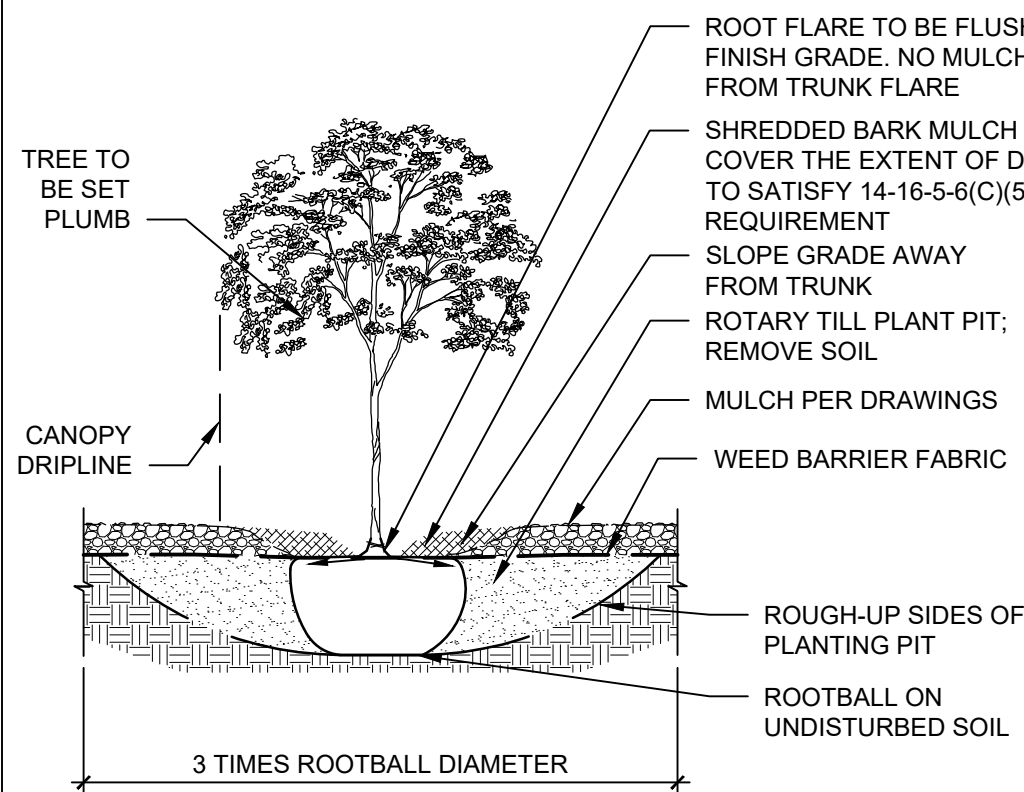
PARKING LOT AREA = 38,112 SF  
PARKING LOT LANDSCAPING PROVIDED = 6,082 SF = 15%  
MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

GROUND COVER MATERIAL  
TOTAL ROCK MULCH GROUND COVER = 12,976 SF = 71%  
TOTAL ORGANIC MULCH GROUND COVER = 5,138 SF = 28%  
A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

PARKING LOT EDGE LANDSCAPE  
2 TREES AND 6 SHRUBS PER 25' ARE PROVIDED ALONG THE WEST PROPERTY LINE TO SCREEN PARKING.

## TREE PLANTING DETAIL

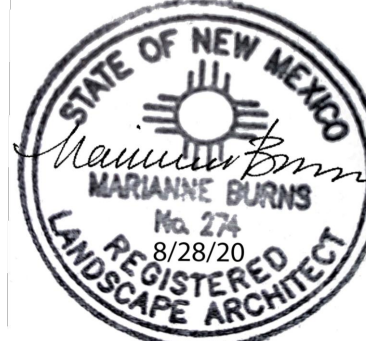
- NOTE:  
1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.  
2. PLANT MATERIAL SHALL BE PLANTED IN UNCOMPACTED SOIL.



DEKKER  
PERICH  
SABATINI

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT



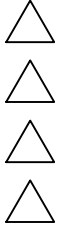
ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO  
DESIGN REVIEW  
BOARD (DRB)

REVISIONS



DRAWN BY DS

REVIEWED BY D/P/S

DATE 08/28/2020

PROJECT NO. 19-0058

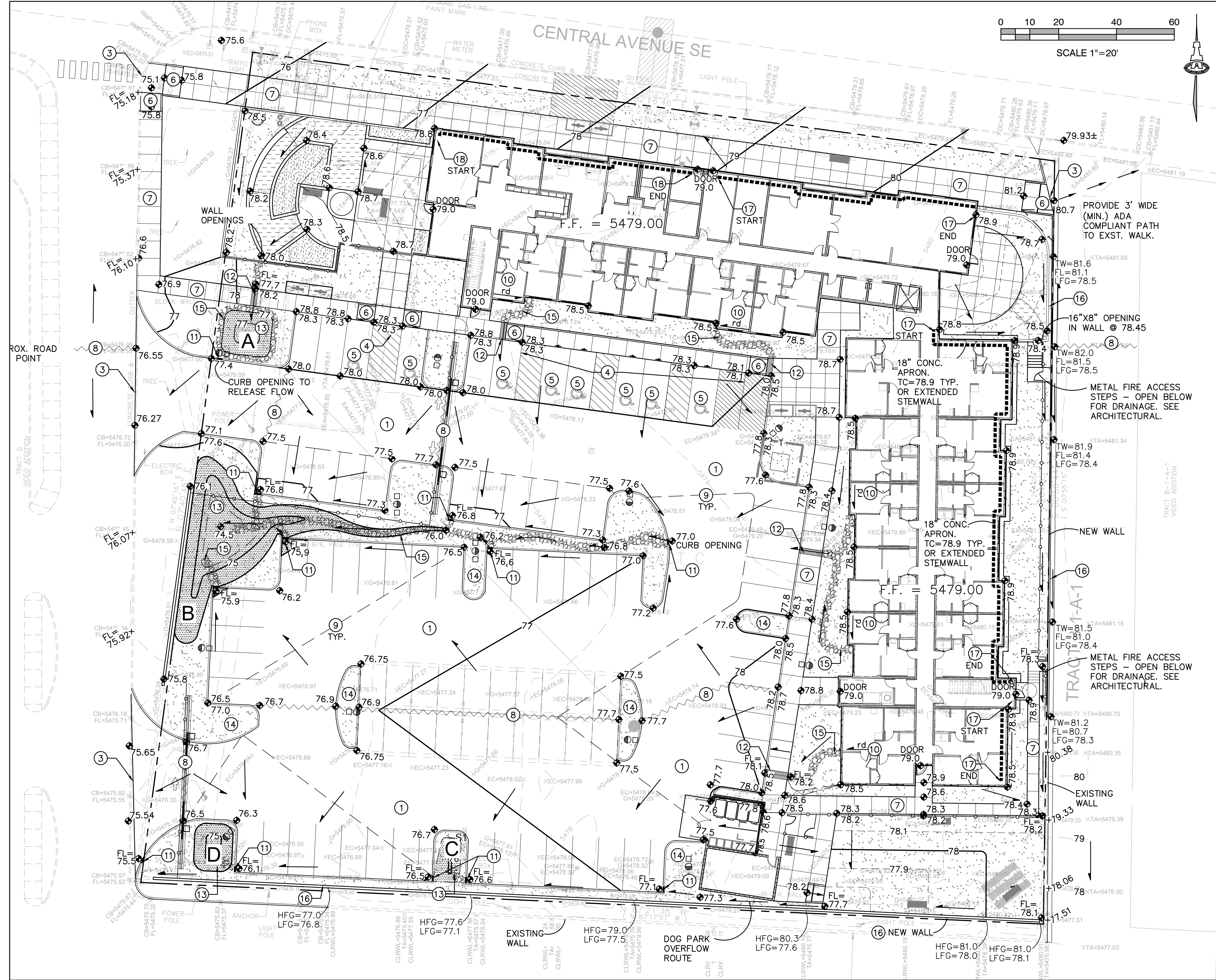
DRAWING NAME

LANDSCAPE PLAN

SHEET NO.

SDP2.1  
OF





CALCULATIONS: 2374 - LUMINARIA SENIOR LIVING : June 17, 2020									
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993									
100-YEAR, 6-HOUR CALCULATIONS									
AREA OF SITE:		81829		SF		=		1.8785 ACRE	
100-year, 6-hour									
HISTORIC FLOWS:			DEVELOPED FLOWS:			EXCESS PRECIP:			
						Precip. Zone		3	
Area A	=	Treatment SF	%	Area A	=	Treatment SF	%	E <sub>A</sub>	= 0.66
		0	0%			0	0%		
Area B	=	4091	5%	Area B	=	8183	10%	E <sub>B</sub>	= 0.92
Area C	=	45006	55%	Area C	=	8183	10%	E <sub>C</sub>	= 1.29
Area D	=	32732	40%	Area D	=	65463	80%	E <sub>D</sub>	= 2.36
Total Area	=	81829	100%	Total Area	=	81829	100%		
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)									
Weighted E =			$\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$						
Historic E	=	1.70 in.	Developed E		=	2.11 in.			
On-Site Volume of Runoff: V <sub>360</sub> = E*A / 12									
Historic V <sub>360</sub>	=	11589 CF	Developed V <sub>360</sub>		=	14381 CF			
On-Site Peak Discharge Rate: Q <sub>p</sub> = Q <sub>pA</sub> A <sub>A</sub> + Q <sub>pB</sub> A <sub>B</sub> + Q <sub>pC</sub> A <sub>C</sub> + Q <sub>pD</sub> A <sub>D</sub> / 43,560									
For Precipitation Zone 3									
Q <sub>pA</sub>		=	1.87	Q <sub>pC</sub>		=	3.45		
Q <sub>pB</sub>		=	2.60	Q <sub>pD</sub>		=	5.02		
Historic Q <sub>p</sub>	=	7.6 CFS	Developed Q <sub>p</sub>		=	8.7 CFS			

- ### KEYED NOTES
- NEW PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS.
  - NOT USED.
  - PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT.
  - TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA FOR ADA ACCESS.
  - ADA COMPLIANT PARKING AREA.
  - CONSTRUCT ADA COMPLIANT 1:12 MAX. SLOPE ADA COMPLIANT ACCESS RAMP.
  - CONSTRUCT ADA COMPLIANT PEDESTRIAN WALK AT ELEVATIONS SHOWN.
  - HIGH POINT / GRADE BREAK LOCATION.
  - 0.5' DESIGN CONTOURS ARE SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT. S
  - CONCENTRATED ROOF DISCHARGE DIRECTION.
  - PROVIDE 24" WIDE OPENING IN CURB TO PASS FLOW.
  - CONSTRUCT 18" WIDE COVERED CONCRETE SIDEWALK CULVERT PER COA STD. DWG. 2236.
  - CONSTRUCT 18" MAX. DEPTH STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. STORMWATER QUALITY PONDING VOLUMES MAY BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
  - DEPRESS LANDSCAPING IN FOR GENERAL WATER HARVESTING. NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF ANY BUILDING.
  - INSTALL ANGULAR ROCK EROSION PROTECTION TO LIMITS HATCHED.
  - CONSTRUCT GARDEN RETAINING WALL(S) (RETAINING < 36") TO ACHIEVE GRADE DIFFERENCE SHOWN. HFG = GRADE ON HIGH SIDE OF WALL; LFG = GRADE ON LOW SIDE OF WALL. STRUCTURAL DESIGN TO BE PROVIDED BY WALL CONTRACTOR.
  - BUILDING RETAINING STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
  - BUILDING EXTENDED STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.

### STORMWATER QUALITY

STORMWATER QUALITY CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH'.

REDEVELOPMENT: EXISTING IMPERVIOUS AREA THAT IS BEING REDEVELOPED (REMOVED/REPLACED) IS SUBJECT TO A REDUCED RATE OF 0.26"/SF.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 80% OF TOTAL AREA. (0.8 \* 81829) = 65,463 SF. BECAUSE THIS PROPERTY WAS PREVIOUSLY FULLY DEVELOPED, THE REQUIRED FIRST FLUSH RETENTION VOLUME = 0.26" \* TYPE 'D' AREA: 0.26/12 \* (65,463 SF) = 1,418 CF.

STORMWATER QUALITY RETENTION PONDS WILL BE CONSTRUCTED AS SHOWN.

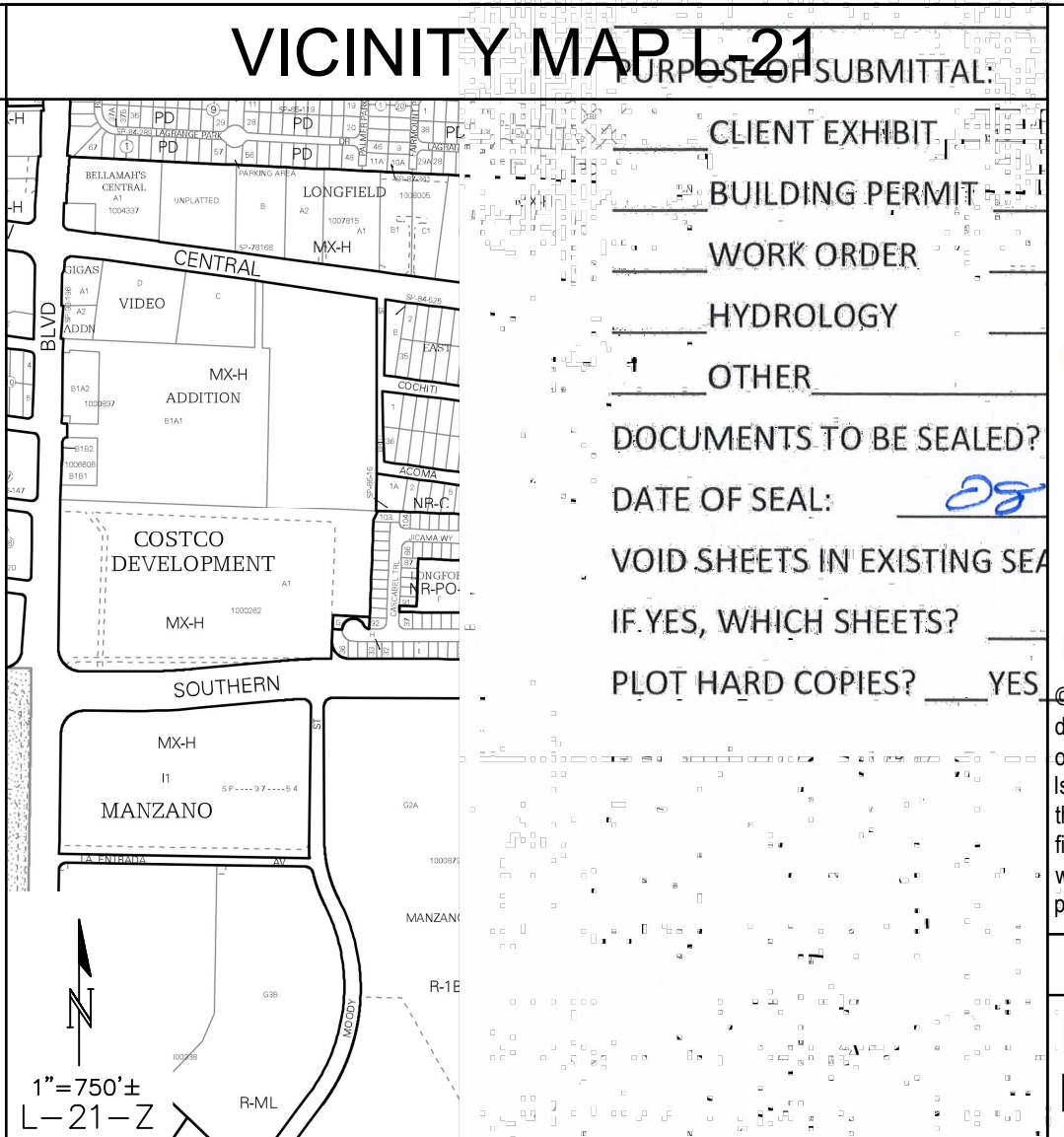
A DRAINAGE COVENANT WILL BE REQUIRED FOR THE STORMWATER QUALITY FIRST FLUSH PONDS PRIOR TO CERTIFICATE OF OCCUPANCY APPROVAL.

SQ RETENTION POND	A
Contour	Area
5477.7	240
5477.0	55
103 CF	

SQ RETENTION POND	C
Contour	Area
5476.5	120
5476.0	10
33 CF	

SQ RETENTION POND	B
Contour	Area
5476.0	1445
5474.5	277
1292 CF	

SQ RETENTION POND	D
Contour	Area
5476.0	200
5475.0	40
120 CF	



### PROJECT DATA

PROPERTY: THE SITE IS FULLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-13. THE SITE IS BOUND TO THE EAST, SOUTH AND WEST BY COMMERCIAL PROPERTY (HOME DEPOT), AND TO THE NORTH BY CENTRAL AVE. NE.

PROPOSED IMPROVEMENTS: THE PROPERTY WAS PREVIOUSLY A MOBILE HOME PARK WITH COMMUNITY CENTER, PAVED PARKING AND ASSOCIATED SITE IMPROVEMENTS. THE PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF MULTI-FAMILY HOUSING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT "C" VIDEO ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. 5-K20', HAVING AN ELEVATION OF 5429.99, NAVD 1988.

OFF-SITE: MINOR OFF-SITE DRAINAGE FROM THE EAST DRIVE WILL BE REDIRECTED SOUTH.

FLOOD HAZARD: PER F.E.M.A. FLOOD MAP #35001C0359G, EFF: 9/26/2008, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT:

THIS PROPERTY IS INCLUDED AS 'PHASE III' IN THE APPROVED HOME DEPOT DRAINAGE REPORT DATED APRIL 28, 1994 (L21/D45) PREPARED BY TERRA WEST. THE TRACT FALLS WITHIN DRAINAGE BASIN B DESIGNATED TO DRAIN TO THE EXISTING HOME DEPOT PARKING LOT DETENTION POND #1 WITH ORIFICE CONTROLLED DISCHARGE TO THE PUBLIC STORM DRAIN SYSTEM IN EUBANK BLVD. THE TOTAL PROPERTY (16.38 ACRES) HAS A FULLY DEVELOPED RUNOFF OF 78.16 CFS OR 4.77 CFS/ACRE.

TRACT C IS 1.879 ACRES \* 4.77 CFS/ACRE = 9.0 CFS ALLOWABLE DISCHARGE. BASED ON CONCEPTUAL CALCULATIONS, THE PROPERTY WITH ANTICIPATED LAND TREATMENT RATIO OF 0.7X, 10% B, 10% C, 80% D WILL GENERATE 8.7 CFS DURING THE 100-YEAR 6-HOUR DESIGN STORM < 9.0 CFS ALLOWABLE.

POND #1 WATER SURFACE ELEVATION = 5467.75 (1929 DATUM) = APPROX. 5470.45 BASED ON 2.7' ADJUSTMENT TO 1988 DATUM.

THE PLAT INCLUDES THE FOLLOWING REGARDING CROSS-LOT DRAINAGE: "THE OWNER OF TRACT B1 AND THE OWNER OF TRACTS C AND D EACH GRANT TO THE OTHER RECIPROCAL EASEMENTS FOR STORM DRAINAGE FLOWS ON AND OVER TRACT B1 FOR THE BENEFIT OF TRACTS C AND D AND ON AND OVER TRACTS C AND D FOR THE BENEFIT OF TRACT B1."

SURVEYOR: ANTHONY L. HARRIS, N.M.P.S.#11463  
THE SURVEY OFFICE, LLC  
333 LOMAS BOULEVARD N.E.  
ALBUQUERQUE, NM, 87102  
(505) 998-0303

ENGINEER: FRED C. ARFMAN, N.M.P.E. #7322  
ISAACSON & ARFMAN, INC.  
128 MONROE N.E.  
ALBUQUERQUE, NM, 87108  
(505) 268-8828

### LEGEND

---	5478	EXISTING CONTOUR
---	5478.21	EXISTING SPOT ELEVATION
---	77	PROPOSED 1.0' CONTOUR
---	77.5	PROPOSED 0.5' CONTOUR
◆	77.0	PROPOSED SPOT ELEVATION
→		FLOW DIRECTION
FF = 5479.00		FINISH FLOOR ELEVATION

### ADA COMPLIANCE

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).

ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

Isaacson & Arfman, Inc.  
Civil Engineering Consultants

2374 CG-101  
8/27/2020

NOT APPROVED  
FOR CONSTRUCTION

Engineer

LUMINARIA SENIOR COMMUNITY  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

PROJECT STATUS:	90% CONSTRUCTION DOCUMENTS
PROJECT NUMBER:	19-0058
IA PROJECT NUMBER:	2374
DRAWN BY:	BJB
CHECKED BY:	FCA
DATE:	08/28/2020

Description	Date	No

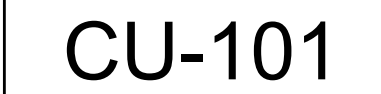
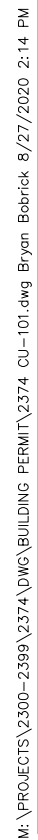
SHEET TITLE

Grading & Drainage Plan

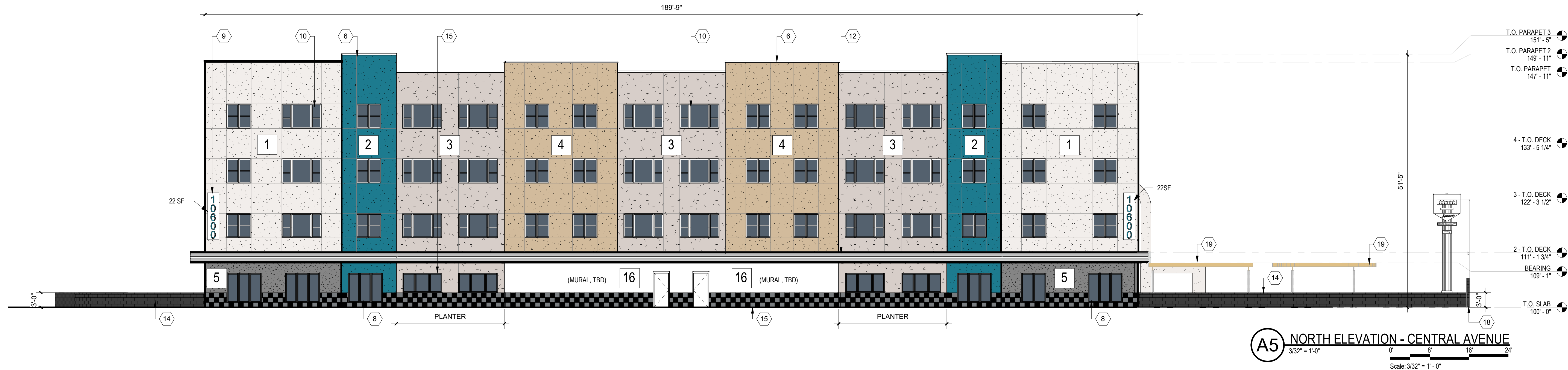
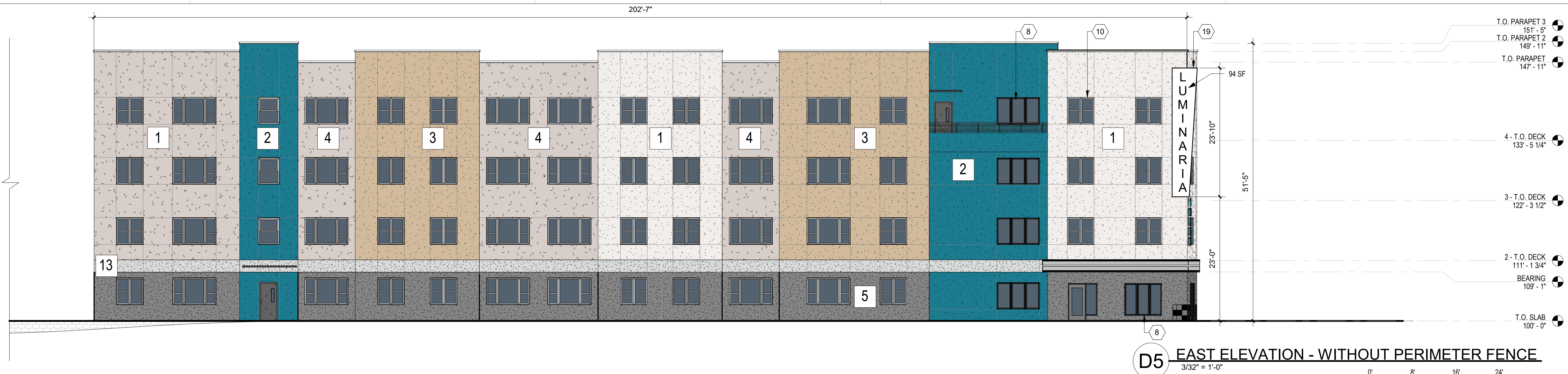
SHEET NUMBER

CG-101









#### GENERAL SHEET NOTES

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPETS WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.
- BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.
- ALL IDO REQUIREMENTS FROM SECTION 5-11(E)(2) ARE MET; REF: SDP1.1

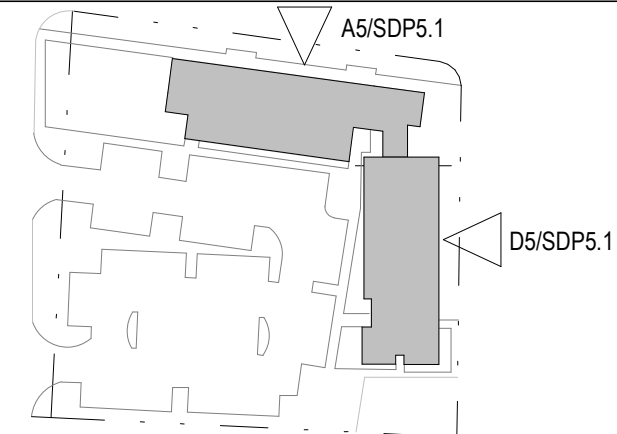
#### REFERENCE KEYNOTES

- STUCCO FINISH COLOR #1 \_SNOW MOUNT
- STUCCO FINISH COLOR #2 \_BERMUDA
- STUCCO FINISH COLOR #3 \_ELUSION
- STUCCO FINISH COLOR #4 \_GAIA
- STUCCO FINISH COLOR #5 \_DOVER GREY
- METAL COPING
- GUARDRAIL AT ROOFTOP TERRACE
- COMPOSITE WINDOWS
- BUILDING IDENTIFICATION SIGNAGE
- RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS)
- ORNAMENTAL FENCE
- ILLUMINATED ACCENT AWNING, LIT WITH NEON-LIKE LED LIGHTING.
- STUCCO FINISH COLOR #6 \_THIN ICE
- SITE WALL - FRONT SIDE YARD, 3'-0" TALL CMU BLOCK WALL.
- WAINSCOT
- WALL MURAL
- DOWNSPOUT
- EXISTING CMU SITE WALL TO REMAIN
- SHADE STRUCTURE PERGOLA

#### LEGEND

STUCCO_COLOR #1 SNOWY MOUNT	STUCCO_COLOR #4 GAIA
STUCCO_COLOR #2 BERMUDA	STUCCO_COLOR #5 DOVER GREY
STUCCO_COLOR #3 ELUSION	STUCCO_COLOR #6 THIN ICE

#### KEY PLAN

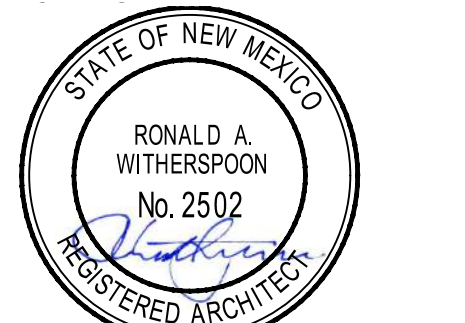




DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG



SEAL

PROJECT

LUMINARIA SENIOR COMMUNITY  
10600 CENTRAL AVENUE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO  
DESIGN REVIEW  
BOARD (DRB)

REVISIONS



DRAWN BY JF

REVIEWED BY HFG, RAW

DATE 08/27/2020

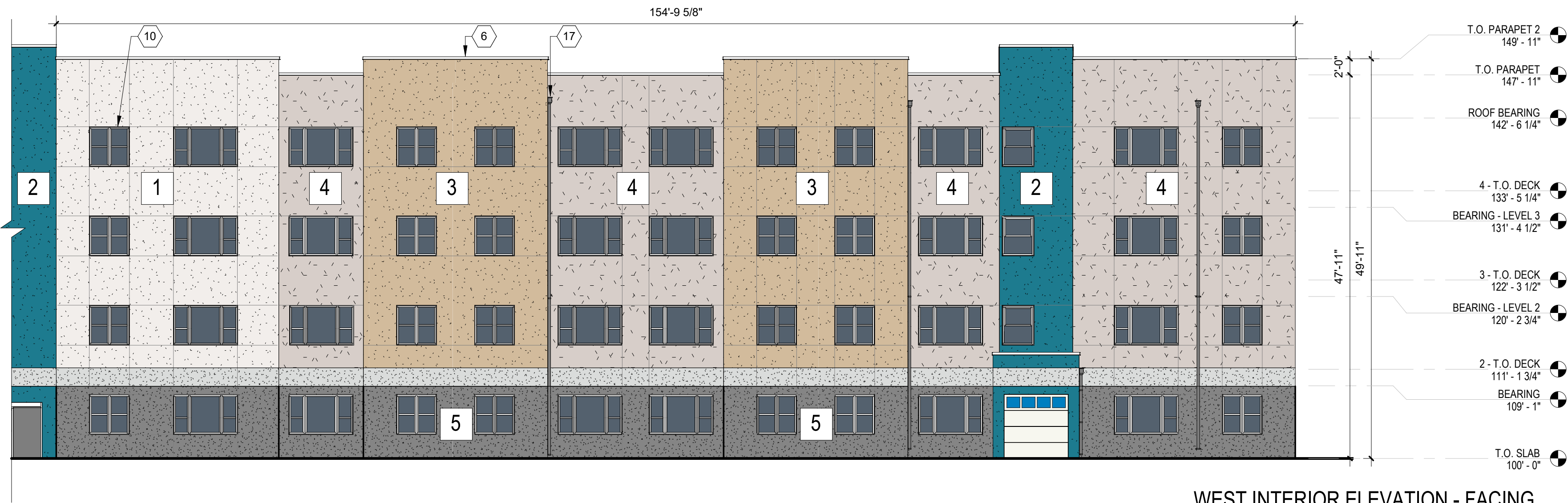
PROJECT NO: 19-0058

DRAWING NAME

EXTERIOR  
ELEVATIONS

SHEET NO

SDP5.2



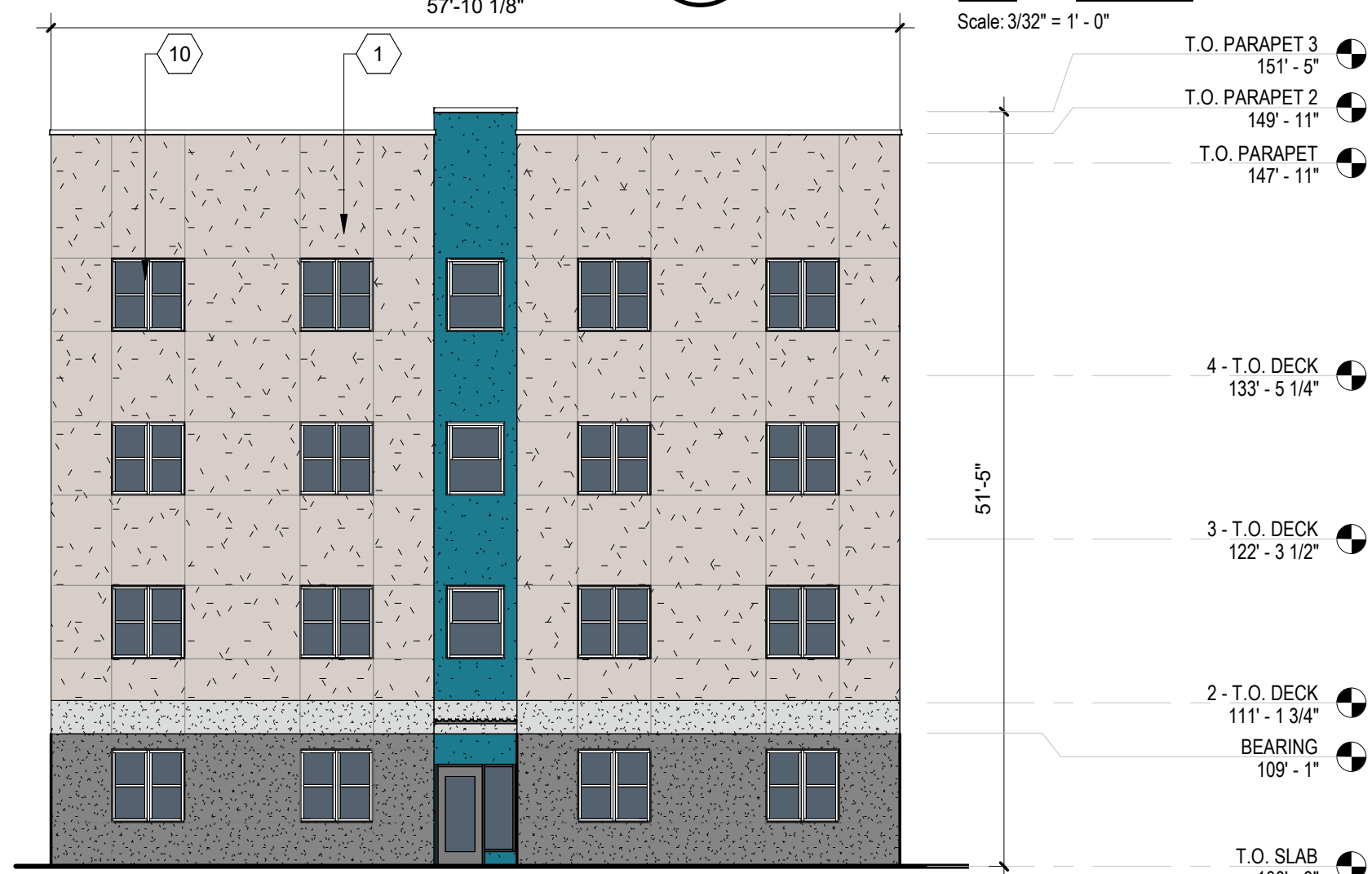
WEST INTERIOR ELEVATION - FACING  
PARKING COURT

5C

3/32" = 1'-0"

0' 8' 16' 24'

Scale: 3/32" = 1' - 0"



SOUTH ELEVATION - END OF EAST WING

5B

3/32" = 1'-0"

0' 8' 16' 24'

Scale: 3/32" = 1' - 0"



WEST ELEVATION - END OF NORTH WING

3B

3/32" = 1'-0"

0' 8' 16' 24'

Scale: 3/32" = 1' - 0"



SOUTH INTERIOR ELEVATION - FACING  
PARKING COURT

5A

3/32" = 1'-0"

0' 8' 16' 24'

Scale: 3/32" = 1' - 0"

GENERAL SHEET NOTES

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPETS WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.  
B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.  
C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.  
D. ALL IDO REQUIREMENTS FROM SECTION 5-11(E)(2) ARE MET; REF: SDP1.1

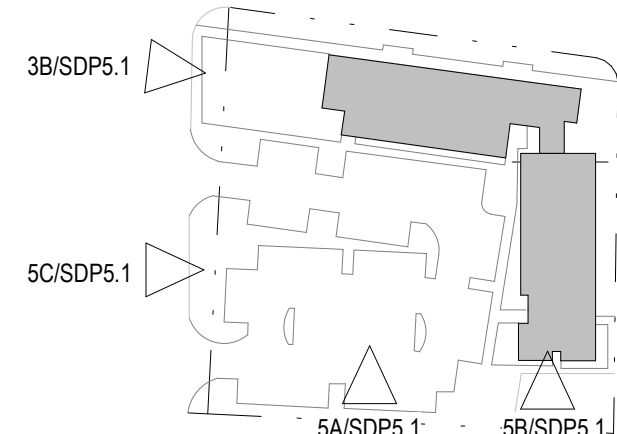
REFERENCE KEYNOTES

1. STUCCO FINISH COLOR #1 \_SNOW MOUNT  
2. STUCCO FINISH COLOR #2 \_BERMUDA  
3. STUCCO FINISH COLOR #3 \_ELUSION  
4. STUCCO FINISH COLOR #4 \_GAIA  
5. STUCCO FINISH COLOR #5 \_DOVER GREY  
6. METAL COPING  
7. GUARDRAIL AT ROOFTOP TERRACE  
8. COMPOSITE WINDOWS  
9. BUILDING IDENTIFICATION SIGNAGE  
10. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS)  
11. ORNAMENTAL FENCE  
12. ILLUMINATED ACCENT AWNING, LIT WITH NEON-LIKE LED LIGHTING.  
13. STUCCO FINISH COLOR #6 \_THIN ICE  
14. SITE WALL - FRONT SIDE YARD, 3'-0" TALL CMU BLOCK WALL.  
15. TILE WAINSCOT  
16. TILE MURAL  
17. DOWNSPOUT  
18. EXISTING CMU SITE WALL TO REMAIN  
19. SHADE STRUCTURE PERGOLA

LEGEND

- STUCCO\_COLOR #1  
SNOW MOUNT  
STUCCO\_COLOR #2  
BERMUDA  
STUCCO\_COLOR #3  
ELUSION  
STUCCO\_COLOR #4  
GAIA  
STUCCO\_COLOR #5  
DOVER GREY  
STUCCO\_COLOR #6  
THIN ICE

KEY PLAN





FOR REFERENCE ONLY

CENTRAL AVENUE

TRAIL

Plan View  
Scale: 1" = 10'



...LUMINARIA SITE LIGHTING...

### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
GRADE LEVEL	+	2.7 fc	5.7 fc	0.3 fc	19.0:1	9.0:1

### Schedule

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Efficiency	Distribution	Polar Plot	Notes
	SA		12	Lithonia Lighting	DSX0 LED P3 40K T4M MVOLT HS	DSX0 LED P3 40K T4M MVOLT with houseside shield	LED	1	DSX0_LED_P3_40K_T4M_MVOL_T_HS.ies	6417	1	1	71	100%	TYPE III, SHORT, BUG RATING: B1 - U0 - G2		
	SB		2	Lithonia Lighting	DSX0 LED P3 40K TSM MVOLT	DSX0 LED P3 40K TSM MVOLT	LED	1	DSX0_LED_P3_40K_TSM_MVOL_T.ies	8770	1	1	142	100%	TYPE VS, BUG RATING: B3 - U0 - G2		

### Note

- 1.CALCULATION ZONES SET AT GRADE LEVEL.
- 2.ALL "SA" AND "SB" FIXTURES MOUNTED AT 16' OVERALL, 13' POLE ON A 3' CONCRETE BASE.
- 3.ALL "SC" FIXTURES (BOLLARDS) MOUNTED AT 3' ABOVE GRADE.

Designer  
Date: 7/18/2020  
Scale: Not to Scale  
Drawing No.:  
Summary  
1 of 1

DEKKER  
PERICH  
SABATINI

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

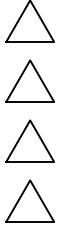
ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO  
DESIGN REVIEW  
BOARD (DRB)

REVISIONS



DRAWN BY: AG, JF

REVIEWED BY: RAW, JM

DATE: 08/28/2020

PROJECT NO.: 19-0058

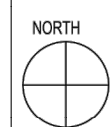
DRAWING NAME

SITE LIGHTING  
FOR REFERENCE

SHEET NO.

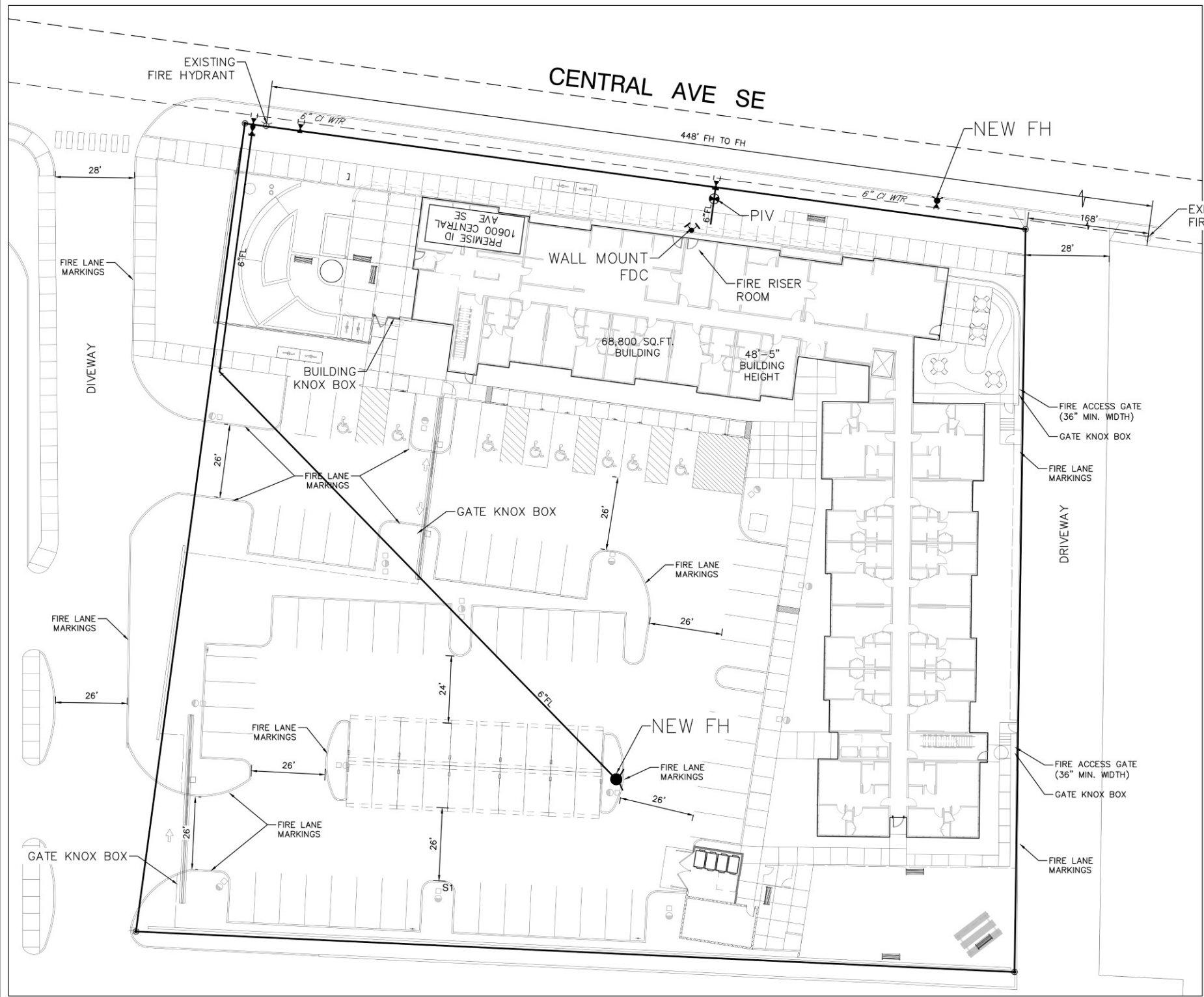
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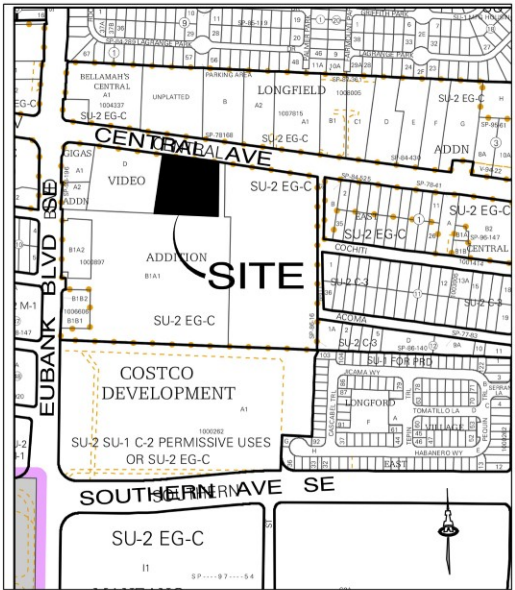
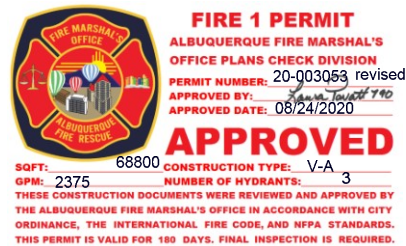
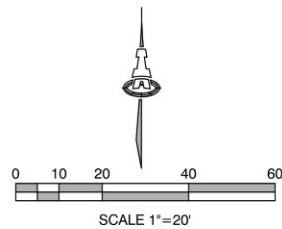


OF





NOTE:  
ROOF ACCESS TO SOUTH WING FROM  
INTERNAL FIRE LANE AND FROM CENTRAL AVE.



L-21

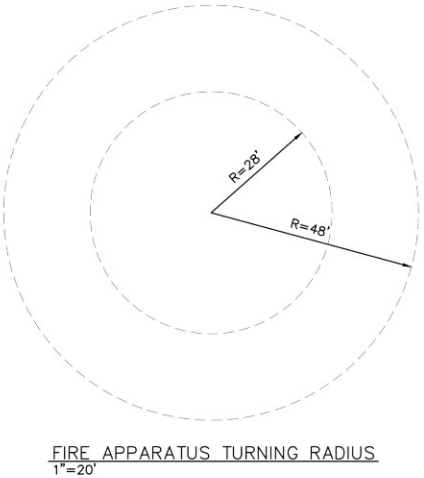
10,600 CENTRAL AVE, SE  
ALBUQUERQUE, NM 87123

68,800 SQ. FT BUILDING  
TYPE VA CONSTRUCTION  
SPRINKLED  
48'-5" BUILDING HEIGHT  
OCCUPANCY GROUP-RES. R-2

2 EXISTING FIRE HYDRANT NEAR SITE

ALL ACCESS ROADS AND FIRE LANES  
HAVE GRADES LESS THAN 10% AND A  
LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE LANES  
WILL ACCOMMODATE A 28' MINIMUM  
TRUCK TURNING RADIUS



FIRE APPARATUS TURNING RADIUS  
1"=20'

Isaacson & Arfman, Inc.  
Civil Engineering Consultants  
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Albuquerque, NM 87108  
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NOT FOR CONSTRUCTION

Engineer

LUMINARIA SENIOR COMMUNITY  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

PROJECT STATUS:	50% DESIGN DEVELOPMENT
PROJECT NUMBER:	19-0058
IA PROJECT NUMBER:	2374
DRAWN BY:	BJB
CHECKED BY:	FCA
DATE:	07/10/2020

Description	Date	No

SHEET TITLE

FIRE HYDRANT LOCATION AND ACCESS PLAN

SHEET NUMBER

FIRE-1