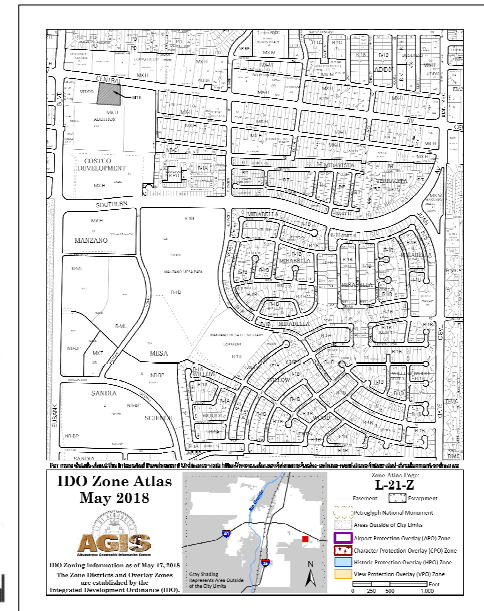


## DRAWING INDEX

|         |                                       |
|---------|---------------------------------------|
| SDP 1.1 | SITE PLAN                             |
| SDP 1.2 | SITE DETAILS                          |
| SDP 1.3 | SITE DETAILS                          |
| SDP 2.1 | LANDSCAPE PLAN                        |
| CG-101  | GRADING AND DRAINAGE PLAN             |
| CU-101  | UTILITY PLAN                          |
| SDP 5.1 | EXTERIOR BUILDING ELEVATIONS          |
| SDP 5.2 | EXTERIOR BUILDING ELEVATIONS          |
| SDP 6.1 | SITE LIGHTING FOR REFERENCE           |
| SDP 6.2 | ELECTRICAL SITE PLAN FOR REFERENCE    |
| FIRE-1  | FIRE HYDRANT LOCATION AND ACCESS PLAN |

## VICINITY MAP



# LUMINARIA SENIOR COMMUNITY

### OWNER

LUMINARIA APARTMENTS LIMITED PARTNERSHIP, LLLP  
320 GOLD AVENUE SW #918  
ALBUQUERQUE, NM 87102  
PHONE: 505.244.1614

### ARCHITECT

DEKKER/PERICH/SABATINI, LTD.  
7601 JEFFERSON ST. NE, SUITE 100  
ALBUQUERQUE, NM 87109  
PHONE: 505.761.9700

### LANDSCAPE ARCHITECT

DEKKER/PERICH/SABATINI, LTD.  
7601 JEFFERSON ST. NE, SUITE 100  
ALBUQUERQUE, NM 87109  
PHONE: 505.761.9700

### CIVIL ENGINEER

ISAACSON & ARFMAN, INC.  
128 MONROE STREET NE  
ALBUQUERQUE, NM 87108  
505.268.8828

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



PROJECT

LUMINARIA SENIOR COMMUNITY  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO  
DESIGN REVIEW  
BOARD (DRB)

REVISIONS



DRAWN BY AG\_JF

REVIEWED BY RAW\_HFG

DATE 08/28/2020

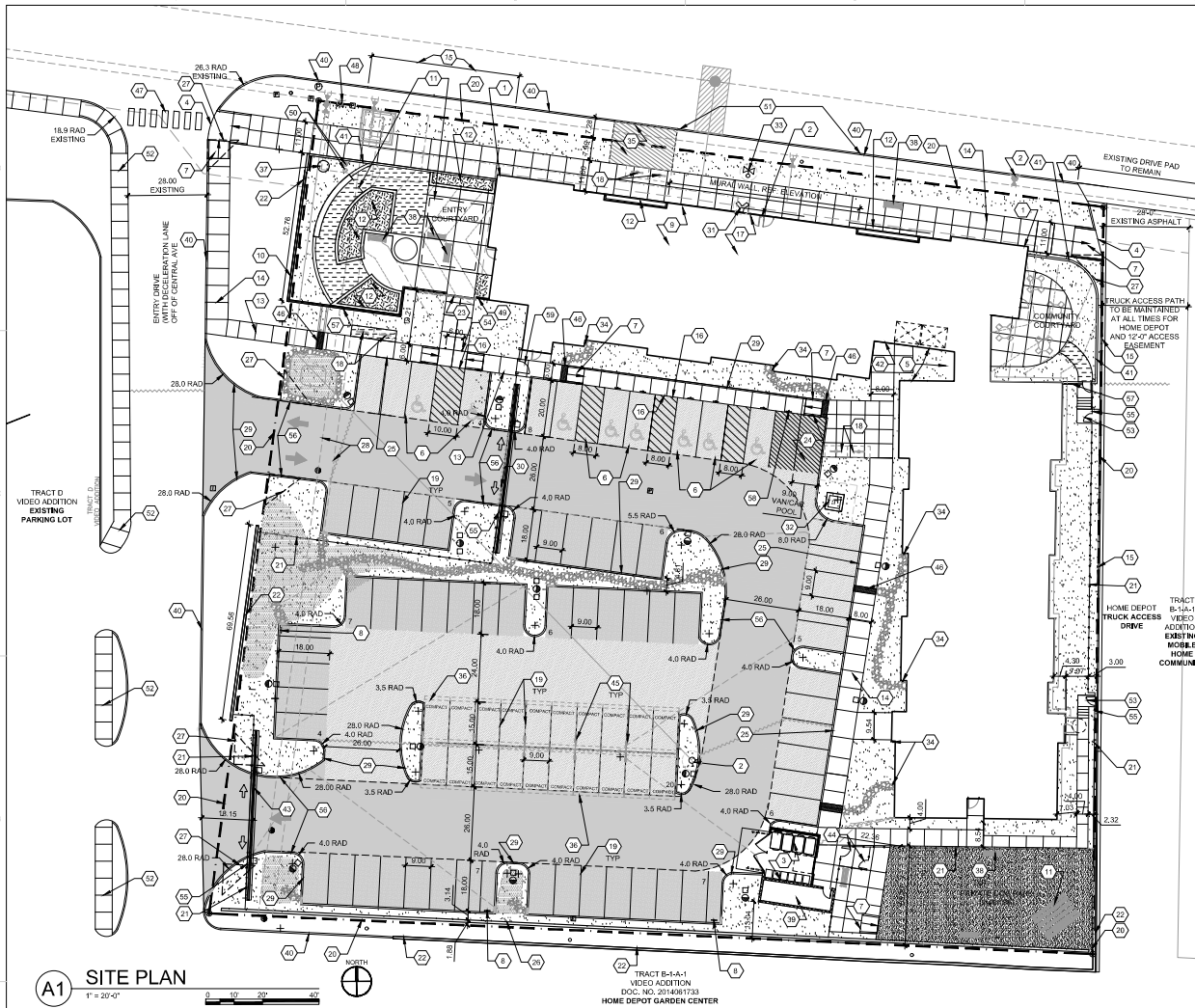
PROJECT NO. 19-0058

DRAWING NAME

SDP FOR  
BUILDING PERMIT

SHEET NO.

**COVER**  
OF



| GENERAL SHEET NOTES  | SHEET KEYED NOTES   |
|--|---|
| A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.  | 1. BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2015 INTERNATIONAL FIRE CODE  |
| B. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL, AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.   | 2. NEW FIRE HYDRANT, PAINT SAFETY ORANGE. SEE CIVIL.  |
| C. ALL CURBS AND ACCESSIBLE PARKING SPACES WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.  | 3. TRASH AND RECYCLING ENCLOSURE WITH GATE. REF: CSDSP1.3, A1SDP1.3, A2SDP1.3, B1SDP1.3, B2SDP1.3, AND C2SDP1.3   |
| D. ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDDO), SECTION 14-16-58 OUTDOOR LIGHTING.  | 4. ELECTRIC METER BANK  |
| E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.   | 5. ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING. REF: A1SDP1.2, B1SDP1.2 & C1SDP1.2  |
| F. PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.   | 6. ACCESSIBLE RAMP. REF: C1SDP1.2, C2SDP1.2, C3SDP1.2, AND C4SDP1.2   |
| G. PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN. TYP. REF: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS                                 | 7. MOTORCYCLE PARKING. REF: C2ASBP1.2   |
| H. SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.   | 8. BICYCLE STORAGE ROOM (30 BICYCLES) PER IDDO  |
| I. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE. | 9. MONUMENT SIGNAGE MOUNTED ON EXISTING WALL. REF: C2SDP1.3   |
| J. ALL EXISTING ASPHALT AND CONCRETE TO BE REMOVED PRIOR TO CONSTRUCTION   | 10. SHADE STRUCTURE   |
| K. REMOVE EXISTING TREES   | 11. PLANTER   |
| L. AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED   | 12. 6" WIDE CONCRETE SIDEWALK PER COA IDDO STANDARDS. REF: B4SDP1.2   |
|  | 13. 8" WIDE SIDEWALK CONCRETE. REF: B4SDP1.2  |
|  | 14. NEW CONCRETE CURB AND GUTTER. REF: A2SDP1.2   |
|  | 15. FLUSH CONCRETE SIDEWALK. REF: B1SDP1.2  |
|  | 16. FIRE RISER ROOM   |
|  | 17. OUTDOOR BIKE RACK PARKING PER IDDO AND DPM STANDARD WITH TWO-POINT BIKE LOCKING. REF: C1SDP1.3  |
|  | 18. PARKING STRIPING 4" WIDE, COLOR WHITE   |
|  | 19. PROPERTY LINE   |
|  | 20. ORNAMENTAL FENCE, REF: D4SDP1.2   |
|  | 21. EXISTING CMU WALL TO REMAIN   |
|  | 22. PEDESTRIAN SLIDING GATE   |
|  | 23. DEDICATED RESERVED VAN POOL AND CAR POOL PARKING WITH SIGNAGE & BOLLARD. REF: C2SDP1.2 AND C3SDP1.3   |
|  | 24. SIDEWALK WITH TURNDOWN EDGE. REF: B3SDP1.2  |
|  | 25. PARTIALLY REUSED EXISTING CMU WALL WITH ORNAMENTAL FENCE ABOVE. TOTAL HEIGHT 6'-0" (DESIGNED TO SCREEN ADJACENT REAR PROPERTY FROM HEADLIGHTS, DIMINISH DOWN TO 3'-0" AND REPLACE EXISTING WALL AS REQUIRED)  |
|  | 26. CLEAR SIGHT TRIANGLE LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. |
|  | 27. EXISTING 6"-0" ELECTRIC & TELEPHONE EASEMENT, FILED: AUGUST 14 1987, BOOK 876, PAGE 779   |
|  | 28. CONCRETE HEADER CURB. REF: B1SDP1.2   |
|  | 29. VEHICULAR ROLLING ENTRY GATE, FOR ACTIVATED   |
|  | 30. FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED   |
|  | 31. ELECTRICAL TRANSFORMER (ON 6" CONCRETE PAD)   |
|  | 32. DOWNPOUT TO COBBLE RUN OFF. REF: CIVIL PLANS  |
|  | 33. OPTION FOR FUTURE CITY BUS SHELTER (CONCRETE PAD PROVIDED)  |
|  | 34. OPTION FOR PHOTOVOLTAIC (PV) CAR PORT, SEPARATE PERMIT REQUIRED   |
|  | 35. VERTICAL MURAL SIGN. REF: C2SDP1.3 AND B1SDP1.3   |
|  | 36. BENCH   |
|  | 37. TRASH ENCLOSURE AND MAINTENANCE STORAGE. REF: A2SDP1.3  |
|  | 38. EXISTING CONCRETE CURB AND GUTTER. REF: A2SDP1.2  |
|  | 39. 3" HIGH CMU WALL. REF: ELEVATIONS SDP1.1  |
|  | 40. EXISTING FIRE HYDRANT   |
|  | 41. EXISTING BUILDING KNOX BOX  |
|  | 42. EXISTING CLEAN OUTS RELOCATED INTO LANDSCAPE AREA   |
|  | 43. EXISTING SIDEWALK   |
|  | 44. GATE, FIRE ACCESS ONLY  |
|  | 45. LISTED BOLLARD  |
|  | 46. GATE KNOX BOX   |
|  | 47. FIRE LINE STRIPING MARKING FIRE ACCESS LANE. REF: A1SDP1.2 & LEGEND   |
|  | 48. 3" HIGH CMU WALL WITH 3" HIGH ORNAMENTAL FENCE ABOVE. REF: C2SDP1.3   |
|  | 49. DEDICATED RESERVED LOADING/UNLOADING PARKING WITH SIGNAGE & BOLLARD. REF: C2SDP1.2  |

REFER TO SDP1.1 AND SDP1.2 FOR ELEVATION VIEWS

**ITEM #1 FROM 5-11(E)(2) IS ADDRESSED:**

- ALL FACADES INCLUDE COLOR CHANGE AND A BAND DESIGN BETWEEN THE GROUND AND UPPER LEVELS TO DESIGNATE THE BASE OF THE BUILDING FROM THE UPPER FLOORS.
- THE NORTH FACADE FACING CENTRAL AVENUE HAS A TILE CHECKERED WANDSOT 3" HIGH RELATING TO HUMAN SCALE AT GROUND LEVEL AND BRINGING IN THE GOALS OF THE ROUTE 66 ACTION PLAN BY CELEBRATING ROUTE 66.
- THE NORTH FACADE FACING CENTRAL AVENUE HAS A SPACE DEDICATED FOR A FUTURE MURAL AT THE GROUND LEVEL THAT WILL BE LOCALLY SOURCED AND WILL BE INSPIRED BY HISTORIC ROUTE 66.

**ITEM #2 FROM 5-11(E)(2) IS ADDRESSED:**

**NORTH FACADE**

- THE NORTH FACADE DESIGN INCLUDES 2 RAISED PLANTERS 3" HIGH.
- WINDOWS ON ALL UPPER FLOORS THAT PROVIDE NATURAL LIGHT.
- GROUND FLOOR WINDOWS INTO COMMUNITY AMENITIES CREATE A DYNAMIC PEDESTRIAN EXPERIENCE.
- EAST FACADE
- THE EAST FACADE INCLUDES THE NORTH EAST COURTYARD ACCESS WITH WEATHER PROTECTION ALONG THE DOOR BY INCLUDING CANOPY.
- THE STAIR EXIT ALONG THE EAST FACADE HAS WEATHER PROTECTION WITH A CANOPY.
- ALL FLOORS INCLUDE WINDOWS FOR NATURAL LIGHT.
- AN OPTION FOR ADDITIONAL SHADE PROTECTION ON THIS ELEVATION IS INCLUDED AS AN ADD ALTERNATE PER THE SUGGESTION OF THE PLANNING DEPARTMENT AND THE BUILDING OWNER.

**SOUTH FACADE**

- HAS WEATHER PROTECTION AND SHADE CANOPIES ABOVE BUILDING ENTRANCE NEAR THE DOOR PARK AND AT THE STAIR ENTRY.
- WINDOWS ON ALL FLOORS THAT PROVIDE NATURAL LIGHT.
- AN OPTION FOR ADDITIONAL SHADE PROTECTION ON THIS ELEVATION IS INCLUDED AS AN ADD ALTERNATE PER THE SUGGESTION OF THE PLANNING DEPARTMENT AND THE BUILDING OWNER.

**WEST FACADE**

- WINDOWS ON ALL UPPER FLOORS THAT PROVIDE NATURAL LIGHT.
- PRIMARY PEDESTRIAN ENTRANCE ALONG THE WEST FACADE IN THE ENTRY COURTYARD.
- SHADE AND WEATHER PROTECTION ALONG THE MAIN ENTRANCE.
- STRELLIE DESIGN IN THE NORTHWEST ENTRY COURTYARD TO PROVIDE SHADE.
- AN OPTION FOR ADDITIONAL SHADE PROTECTION ON THIS ELEVATION IS INCLUDED AS AN ADD ALTERNATE PER THE SUGGESTION OF THE PLANNING DEPARTMENT AND THE BUILDING OWNER.

**ITEM #3 FROM 5-11(E)(2) IS ADDRESSED:**

**NORTH FACADE**

- THE NORTH FACADE DESIGN INCORPORATES 5 STUCCO COLOR CHANGES INTEGRATED IN A MINIMUM OF EVERY 30 LINEAR FEET.
- THE NORTH FACADE WILL HAVE A MURAL DESIGN WITH COLOR CHANGING INTRICACIES AND WILL BE COORDINATE THROUGH THE CITY PUBLIC ART PROGRAM.
- THE CHANGE IN WALL PLANE OF AT LEAST 1 FOOT IN DEPTH OCCURS AT LEAST EVERY 100 LINEAR FEET AND EXTENDS AT LEAST 25% OF THE LENGTH OF THE FACADE.
- THE NORTH FACADE HAS A BASE TREATMENT USING 3 FEET HIGH TILE WANDSOT.
- THE DESIGN INCLUDES CHANGE IN PARAPET HEIGHT FOR EVERY 100 LINEAR FEET OF THE FACADE.
- EAST, SOUTH AND WEST FACADE
- THE CHANGE IN WALL PLANE OF AT LEAST 1 FOOT IN DEPTH OCCURS AT LEAST EVERY 100 LINEAR FEET AND EXTENDS AT LEAST 25% OF THE LENGTH OF THE FACADE.
- THE DESIGN INCLUDES CHANGE IN PARAPET HEIGHT FOR EVERY 100 LINEAR FEET OF THE FACADE.

## OPEN SPACE CALCULATIONS

|                               |
|-------------------------------|
| TABLE 2-47 MCM-H ZONING       |
| USABLE OPEN SPACE             |
| 1 RD 200 SF PER UNIT          |
| 200SF x 72 UNITS = 14,400 SF  |
| 2 RD 200 SF PER UNIT          |
| 200SF x 20 UNITS = 4,000 SF   |
| TOTAL                         |
| 18,400 SF REQUIRED OPEN SPACE |
| PROVIDED OPEN SPACE 19,888 SF |

PROJECT NO.

APPLICATION NO.

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?  
[ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED ORC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

DATE:

ABCWUA

DATE:

PARKS & RECREATION DEPARTMENT

DATE:

CITY ENGINEER/HYDROLOGY

DATE:

ENVIRONMENTAL HEALTH (CONDITIONAL)

DATE:

SOLID WASTE MANAGEMENT

DATE:

DRB CHAIRPERSON, PLANNING DEPT.

DATE:

CODE ENFORCEMENT

DATE:

## LEGEND

|   |  |
|---|--|
| LANDSCAPE AREA  |  |
| REINFORCED CONCRETE   |  |
| HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)   |  |
| STABILIZED CRUSHER FINES  |  |
| PERMEABLE PAVING  |  |
| LIGHT DUTY ASPHALT  |  |
| FIRELANE STRIPING MARKING FIRE ACCESS LANE. REF: A1SDP1.2                                   |  |
| PROPERTY LINE   |  |
| FIRE HYDRANT  |  |
| POST INDICATOR VALVE (PIV). REF: CONCEPTUAL UTILITY PLAN                                    |  |
| FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED   |  |
| BIKE RACK   |  |
| SIDEWALK RAMP (ARROW POINTS DOWN)   |  |
| TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS                  |  |
| PERIMETER FENCE   |  |
| ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING. REF: A3SDP1.2, A4SDP1.2 & B4SDP1.2 |  |
| COMPACT PARKING. REF: D6SDP1.3  |  |
| LIGHT POLE  |  |
| 6" BOLLARD WITH SIGN  |  |

## PROJECT DATA

**ZONING:**  
IDDO - MIDDLE-CLASS - HIGH INTENSITY ZONE (DISTRICT 80-4)  
METROPOLITAN REDEVELOPMENT AREA (MRA) - EAST GATEWAY MAJOR TRANSIT CORRIDOR AREA  
ROUTE 66 ACTION PLAN

**LEGAL DESCRIPTION:**  
TRACT C, VIDEO ADDITION, FILED IN THE BERNALILLO COUNTY CLERK AND RECORDERS' OFFICE AUGUST 8, 1991 IN BOOK 94C AT PAGE 703

**NET AREA:** 1.86 ACRES  
**ZONE:** A1A1A1, L-2-2  
**REMARKS:** FRONT: 5' MIN / N/A MAX, STREET SIDE: 5' MIN / N/A MAX, INTERIOR: 0' REAR-15'

**BUILDING HEIGHT:**  
MAXIMUM ALLOWED: 6'-0"  
ACTUAL HEIGHT: 8'-0"  
**SPRINKLED:** YES, NFPA 13R  
**HYDRANTS REQUIRED:** 2  
**BUILDING OCCUPANCY:** R-2

**CONSTRUCTION TYPE:** TYPE VA  
**BUILDING SF:**  
1ST FLOOR: 17,505 GSF  
2ND FLOOR: 17,098 GSF  
3RD FLOOR: 17,098 GSF  
4TH FLOOR: 17,098 GSF  
TOTAL: 68,799 GSF

12 OUTDOOR SPACES ARE PROVIDED FOR VISITORS THAT ARE FIXED, PERMANENT AND ARE LOCATED AT MULTIPLE RACKS SERVING THE LEASING OFFICE, AND ALONG CENTRAL AVENUE PER THE ROUTE 66 ACTION PLAN.

**DEKKER PERICH SABATINI**

ARCHITECTURE DESIGN INSPIRATION

ARCHITECT

ENGINEER

PROJECT

REVISIONS

DRAWN BY AG, JF

REVIEWED BY RAW, HFG

DATE 08/28/2020

PROJECT NO. 19-0058

DRAWING NAME

SITE PLAN

SHEET NO.

**SDP1.1**

OF

STATE OF NEW MEXICO

RONALD A. WITHERSPON

No. 2552

REGISTERED ARCHITECT

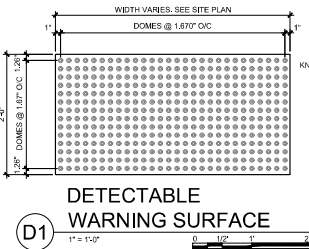
08-28-2020

10800 CENTRAL AVE SE

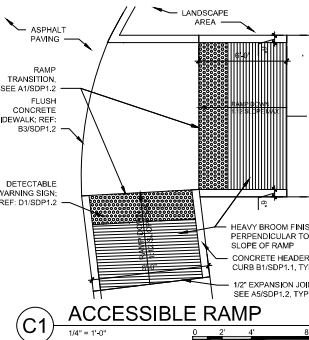
ALBUQUERQUE, NM 87123

APPLICATION TO DESIGN REVIEW BOARD (DRB)

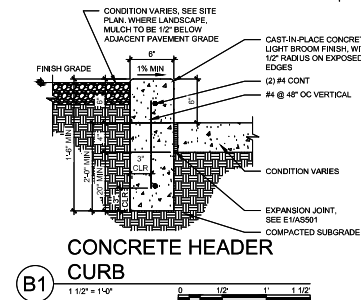
NOTES:  
1. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS



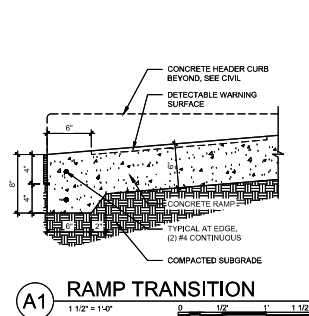
**D1 DETECTABLE WARNING SURFACE**  
1' = 1'-0"



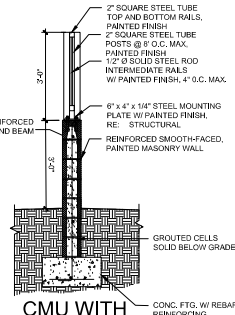
**C1 ACCESSIBLE RAMP**  
1/4\" = 1'-0"



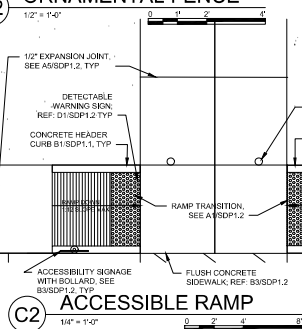
**B1 CONCRETE HEADER CURB**  
1/2\" = 1'-0"



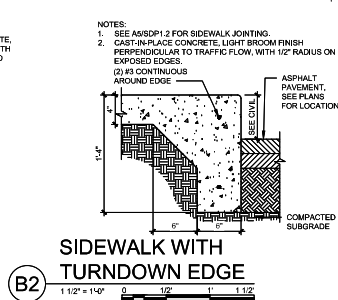
**A1 RAMP TRANSITION**  
1/2\" = 1'-0"



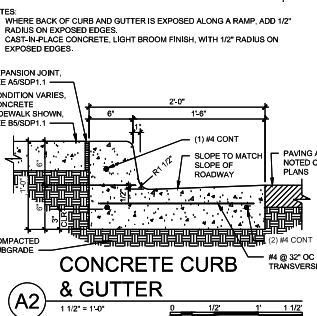
**D2 CMU WITH ORNAMENTAL FENCE**  
1/2\" = 1'-0"



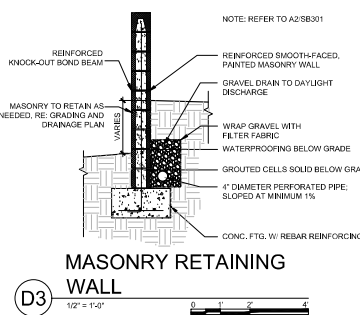
**C2 ACCESSIBLE RAMP**  
1/4\" = 1'-0"



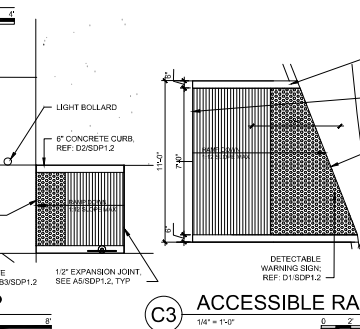
**B2 SIDEWALK WITH TURNDOWN EDGE**  
1/2\" = 1'-0"



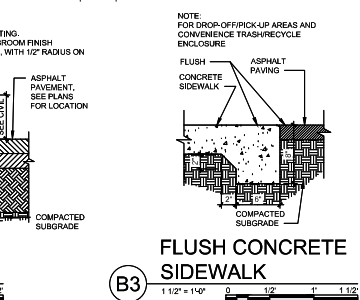
**A2 CONCRETE CURB & GUTTER**  
1/2\" = 1'-0"



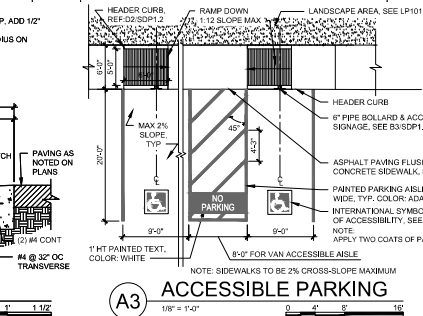
**D3 MASONRY RETAINING WALL**  
1/2\" = 1'-0"



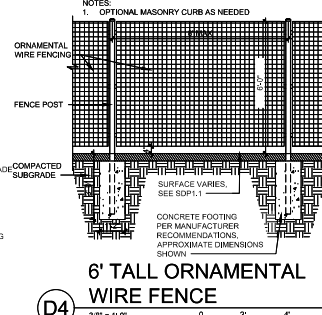
**C3 ACCESSIBLE RAMP**  
1/4\" = 1'-0"



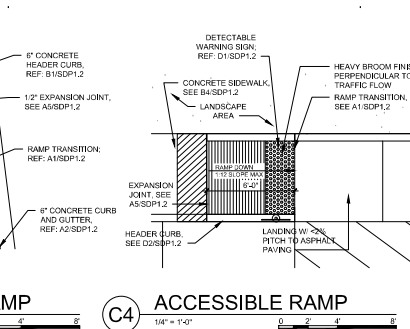
**B3 FLUSH CONCRETE SIDEWALK**  
1/2\" = 1'-0"



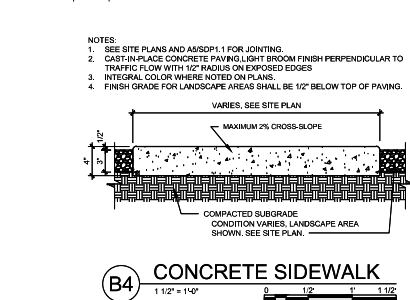
**A3 ACCESSIBLE PARKING**  
1/8\" = 1'-0"



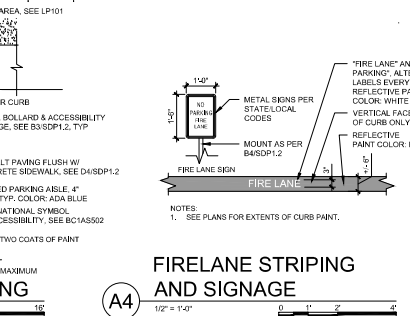
**D4 6' TALL ORNAMENTAL WIRE FENCE**  
3/8\" = 1'-0"



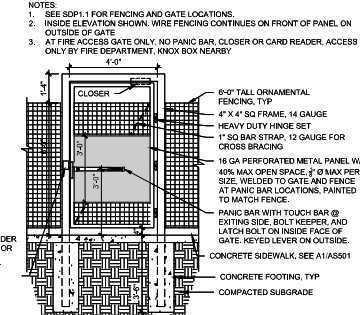
**C4 ACCESSIBLE RAMP**  
1/4\" = 1'-0"



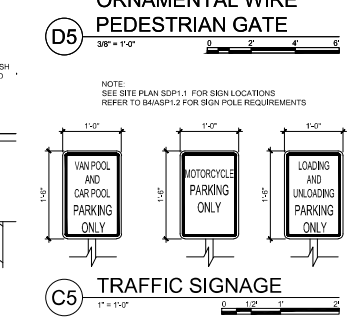
**B4 CONCRETE SIDEWALK**  
1/2\" = 1'-0"



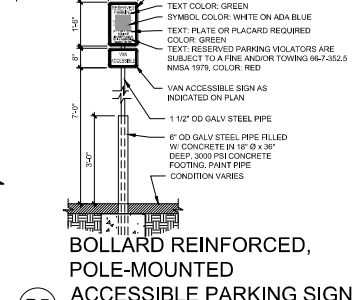
**A4 FIRELANE STRIPING AND SIGNAGE**  
1/2\" = 1'-0"



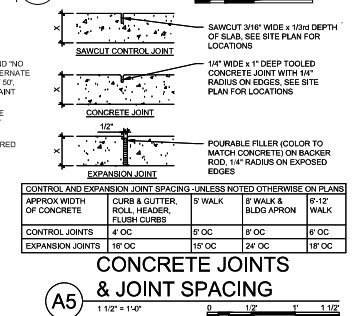
**D5 ORNAMENTAL WIRE PEDESTRIAN GATE**  
3/8\" = 1'-0"



**C5 TRAFFIC SIGNAGE**  
1\" = 1'-0"



**B5 BOLLARD REINFORCED, POLE-MOUNTED ACCESSIBLE PARKING SIGN**  
1/2\" = 1'-0"



**A5 CONCRETE JOINTS & JOINT SPACING**  
1/2\" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT  
RONALD A. WITHERSPOON  
No. 2552  
REGISTERED ARCHITECT  
06-28-2020  
ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY  
10800 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO  
DESIGN REVIEW  
BOARD (DRB)

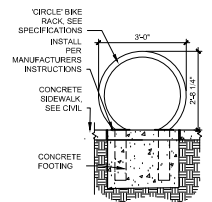
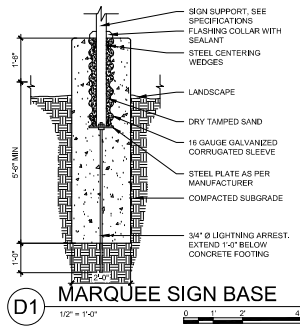
REVISIONS  
△  
△  
△

DRAWN BY AG, JF  
REVIEWED BY RAW, HFG  
DATE 08/28/2020  
PROJECT NO. 19-0058  
DRAWING NAME

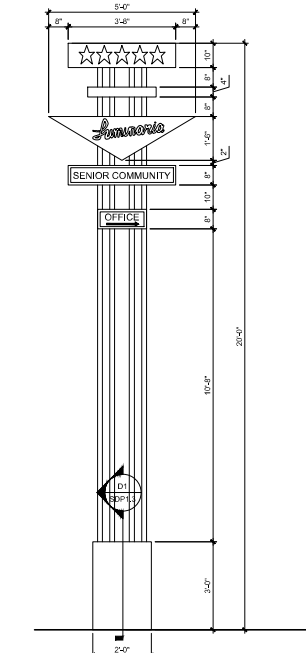
SITE  
DETAILS

SHEET NO.  
**SDP1.2**  
OF

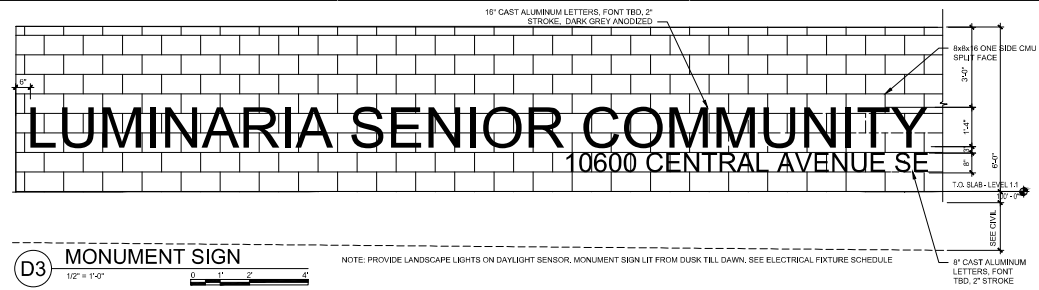




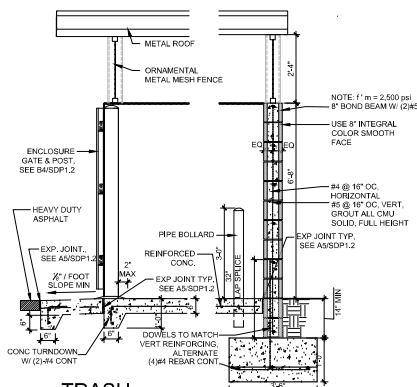
C1 BICYCLE RACK  
1/2\"/>



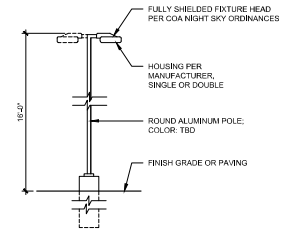
C2 MARQUEE SIGN  
1/2\"/>



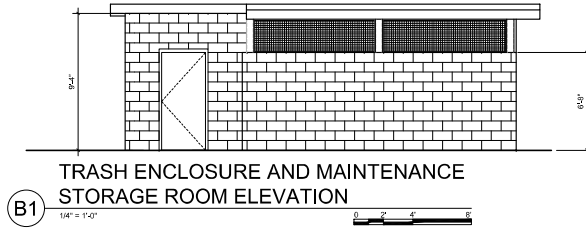
D3 MONUMENT SIGN  
1/2\"/>



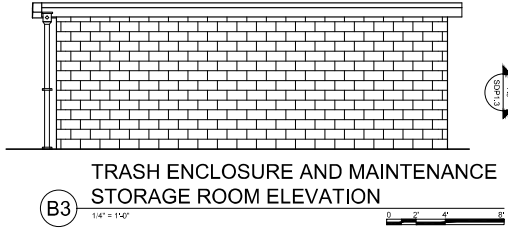
C3 TRASH ENCLOSURE SECTION  
1/2\"/>



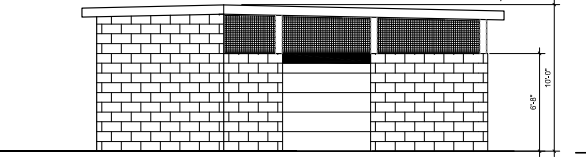
C5 PARKING LIGHT POLE  
1/4\"/>



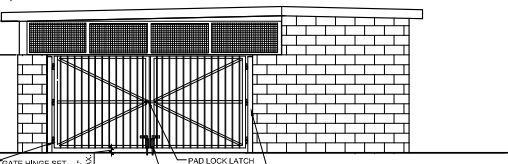
B1 TRASH ENCLOSURE AND MAINTENANCE STORAGE ROOM ELEVATION  
1/4\"/>



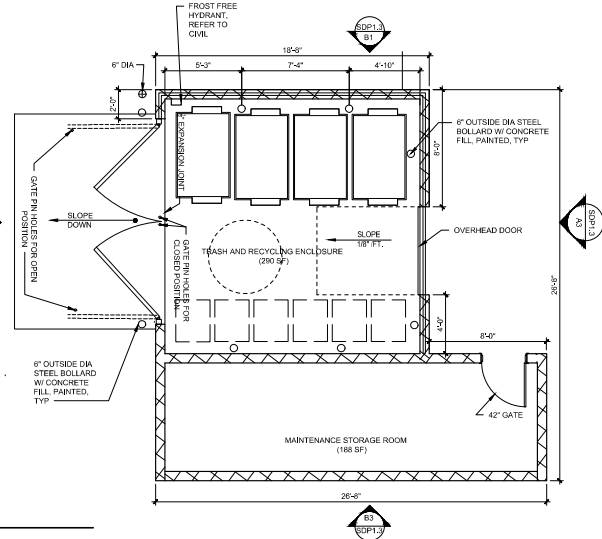
B3 TRASH ENCLOSURE AND MAINTENANCE STORAGE ROOM ELEVATION  
1/4\"/>



A1 TRASH ENCLOSURE AND MAINTENANCE STORAGE ROOM ELEVATION  
1/4\"/>



A3 TRASH ENCLOSURE AND MAINTENANCE STORAGE ROOM ELEVATION  
1/4\"/>



A5 TRASH ENCLOSURE AND MAINTENANCE STORAGE ROOM  
1/4\"/>

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

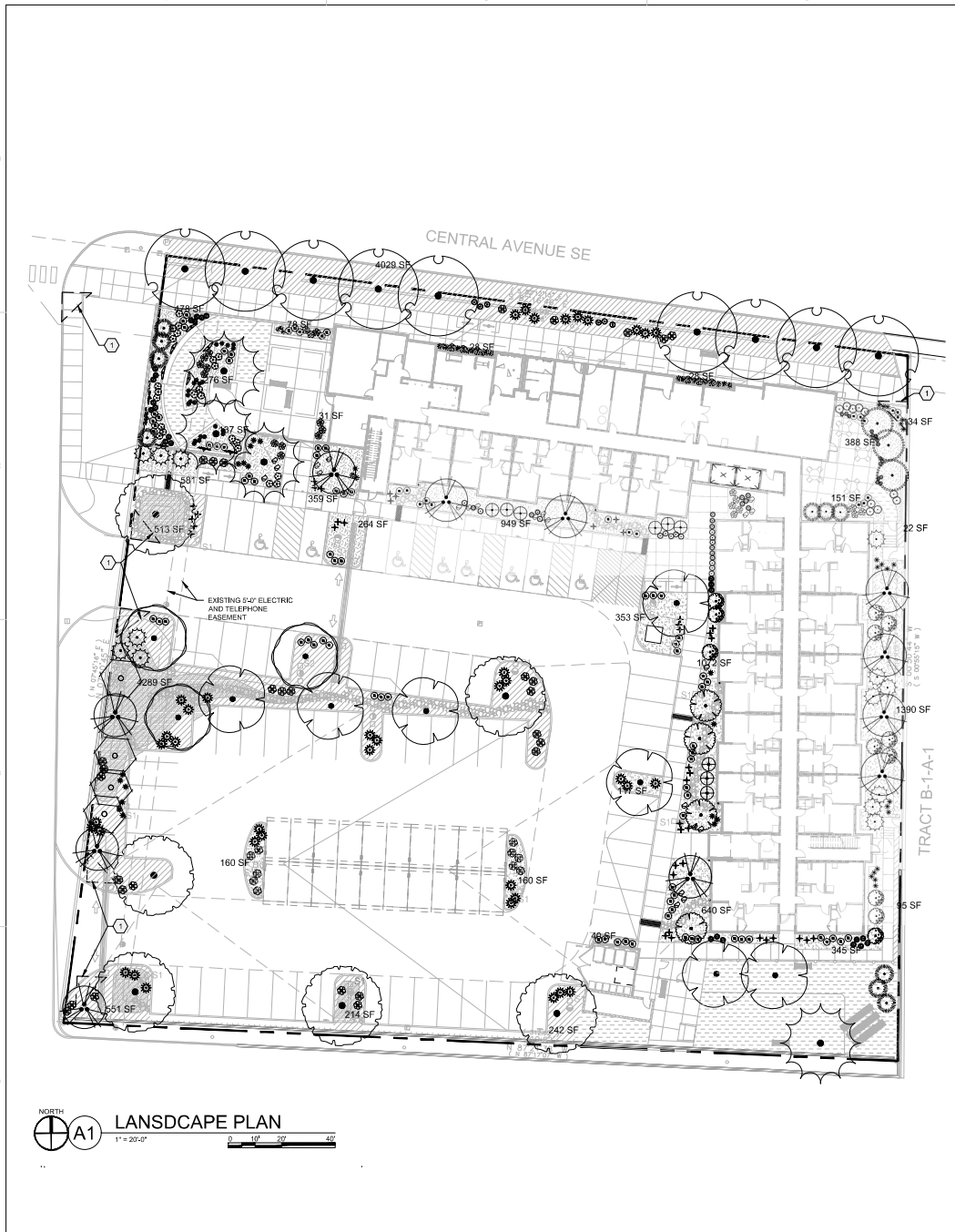
APPLICATION TO  
DESIGN REVIEW  
BOARD (DRB)

REVISIONS  
△  
△  
△

DRAWN BY AG, JF  
REVIEWED BY RAW, HFG  
DATE 08/28/2020  
PROJECT NO. 19-0058  
DRAWING NAME  
SITE  
DETAILS

SHEET NO.  
**SDP1.3**  
OF





| PLANT SCHEDULE     |  | GENERAL SHEET NOTES  |
|--------------------|--|--|
| TREES              | COMMON NAME  | A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.<br>B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6). WATER CONSERVATION ORDINANCE AND FOLIAGE ORDINANCE.<br>C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 90 DAYS OF THE RELATED BUILDING'S OCCUPANCY.<br>D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND/OR MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AND AROUND LINE.<br>E. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.<br>F. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 54-1 OF THE I.D.D.<br>G. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.<br>H. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 3' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.<br>I. NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.   |
|                    | AUTUMN BLAZE MAPLE   |  |
|                    | OKLAHOMA RED BUD   |  |
|                    | 'BUBBA' DESERT WILLOW  |  |
|                    | NEW MEXICO OLIVE   |  |
|                    | CHINESE PISTACHE   |  |
|                    | CRESTHAVEN PEACH   |  |
|                    | BUCKLEY OAK  |  |
|                    | CHINKAPIN OAK  |  |
|                    | ACCOLADE ELM   |  |
| SHRUBS             | COMMON NAME  | IRRIGATION NOTES<br>A. PLANTS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.<br>B. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.<br>C. THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING AND LOADING AREAS.<br>D. IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.<br>E. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED BY THE OWNER ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.<br>F. IRRIGATION TO BE DESIGN-BUILD BY THE CONTRACTOR  |
|                    | LITTLE LEAF MOUNTAIN MAHOGANY  |  |
|                    | LENA BROOM   |  |
|                    | DESERT MAHONIA   |  |
|                    | CREeping MAHONIA   |  |
|                    | LITTLE LEAF MOCKORANGE   |  |
|                    | GOLDEN BAMBOO  |  |
|                    | KNOCKOUT ROSE  |  |
| DESERT ACCENTS     | COMMON NAME  |  |
|                    | BRAKELIGHTS RED YUCCA  |  |
|                    | TWISTLEAF YUCCA  |  |
| ORNAMENTAL GRASSES | COMMON NAME  | LANDSCAPE CALCULATIONS<br>TOTAL SITE AREA = 1,886 AC = 81,826 SF<br>AREA OF LOT COVERED BY BUILDINGS = 17,505 SF<br>NET LOT AREA = 64,321 SF<br>REQUIRED LANDSCAPE<br>REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 9,649 SF<br>PROVIDED LANDSCAPE AREA = 11,114 SF = 28%<br>(see hatch legend for exclusions from landscape areas)<br>REQUIRED TREES<br>TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES<br>TOTAL NUMBER OF PARKING = 85 SPACES<br>REQUIRED NUMBER OF PARKING LOT TREES = 9 TREES<br>PROVIDED NUMBER OF PARKING LOT TREES = 12 TREES<br>NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK<br>REQUIRED STREET TREES = 9 placed at 30' on center (270' of street frontage)<br>PROVIDED STREET TREES = 8<br>REQUIRED TREES FOR MULTIFAMILY RESIDENTIAL DEVELOPMENTS = 42 TREES<br>1 TREE PER GROUND FLOOR OVERLAND UNIT (17' AND 1' TREE PER SECOND-STORY UNIT (25'<br>PROVIDED TREES FOR MULTIFAMILY RESIDENTIAL DEVELOPMENTS = 50 TREES<br>REQUIRED VEGETATIVE COVERAGE<br>REQUIRED GROUND COVERAGE = 13,585 SF = 75% OF PROVIDED LANDSCAPE AREA<br>A MINIMUM 22% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS<br>PROVIDED TOTAL GROUND COVERAGE = 5,902 SF = 35% OF TOTAL PROVIDED LS<br>TREE CANOPY COVERAGE = 18,434 SF<br>GROUND PLANT COVERAGE = 5,902 SF = 43% OF REQUIRED VEGETATIVE COVERAGE<br>PARKING LOT AREA = 38,112 SF<br>PARKING LOT LANDSCAPING PROVIDED = 6,082 SF = 15%<br>MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED<br>GROUND COVER MATERIAL<br>TOTAL ROCK MULCH GROUND COVER = 12,976 SF = 71%<br>TOTAL ORGANIC MULCH GROUND COVER = 5,138 SF = 28%<br>A MAXIMUM OF 15% OF GRAVEL, OR CRUSHER FINES (5 PERMITTED 14-16-5-6)(3)(6)<br>PARKING LOT EDGE LANDSCAPE<br>2 TREES AND 5 SHRUBS PER 25' ARE PROVIDED ALONG THE WEST PROPERTY LINE TO SCREEN PARKING.<br>TREE PLANTING DETAIL<br>NOTE:<br>1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BUCKLE AND ROPE SHALL BE COMPLETELY REMOVED.<br>2. PLANT MATERIAL SHALL BE PLANTED IN UNCOMPACTED SOIL.<br>ROOT FLARE TO BE FLUSH WITH FINISH GRADE. NO MULCH 1'-2" FROM TRUNK FLARE<br>SHREDDED BARK MULCH TO COVER THE EXTENT OF DRIFLINE TO SATISFY 14-16-5-6(C)(3)(6) REQUIREMENT<br>SLOPE GRADE AWAY FROM TRUNK<br>ROTARY TILL PLANT (PT); REMOVE SOIL<br>MULCH PER DRAWINGS<br>WEED BARRIER FABRIC<br>ROUGHEN SIDES OF PLANTING PIT<br>ROOTBALL ON UNDISTURBED SOIL<br>3 TIMES ROOTBALL DIAMETER |
|                    | 'BLONDE AMBITION' BLUE GRAMA   |  |
|                    | DEER GRASS   |  |
| PERENNIALS         | COMMON NAME  |  |
|                    | CHOCOLATE FLOWER   |  |
|                    | SISKIYOU PINK GAURA  |  |
|                    | KIT CAT CATMINT  |  |
|                    | ULTRA VIOLET AUTUMN SAGE   |  |
| VINES              | COMMON NAME  |  |
|                    | TANGERINE BEAUTY CROSS VINE  |  |
|                    | HIMROO GRAPE   |  |
| SHEET KEYED NOTES  |  |  |
| CODE               | DESCRIPTION  |  |
| 1                  | CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. |  |
| LEGEND             |  |  |
| SYMBOL             | NOTES  | EST. QTY.  |
| [Symbol]           | 3/8" ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC   | 9,950 SF   |
| [Symbol]           | CRUSHER FINES AT 3" DEPTH OVER WEED BARRIER FABRIC   | 3,020 SF   |
| [Symbol]           | SHREDDED BARK MULCH  | 5,140 SF   |
| [Symbol]           | SEE CIVIL FOR STORMWATER INFRASTRUCTURE  |  |
| [Symbol]           | STABILIZED CRUSHER FINES EXCLUDED FROM LANDSCAPE AREA CALCULATIONS. SEE SITE PLAN  |  |
| [Symbol]           | PROPERTY LINE  |  |

**DEKKER PERICH SABATINI**  
ARCHITECTURE DESIGN INSPIRATION

ENGINEER

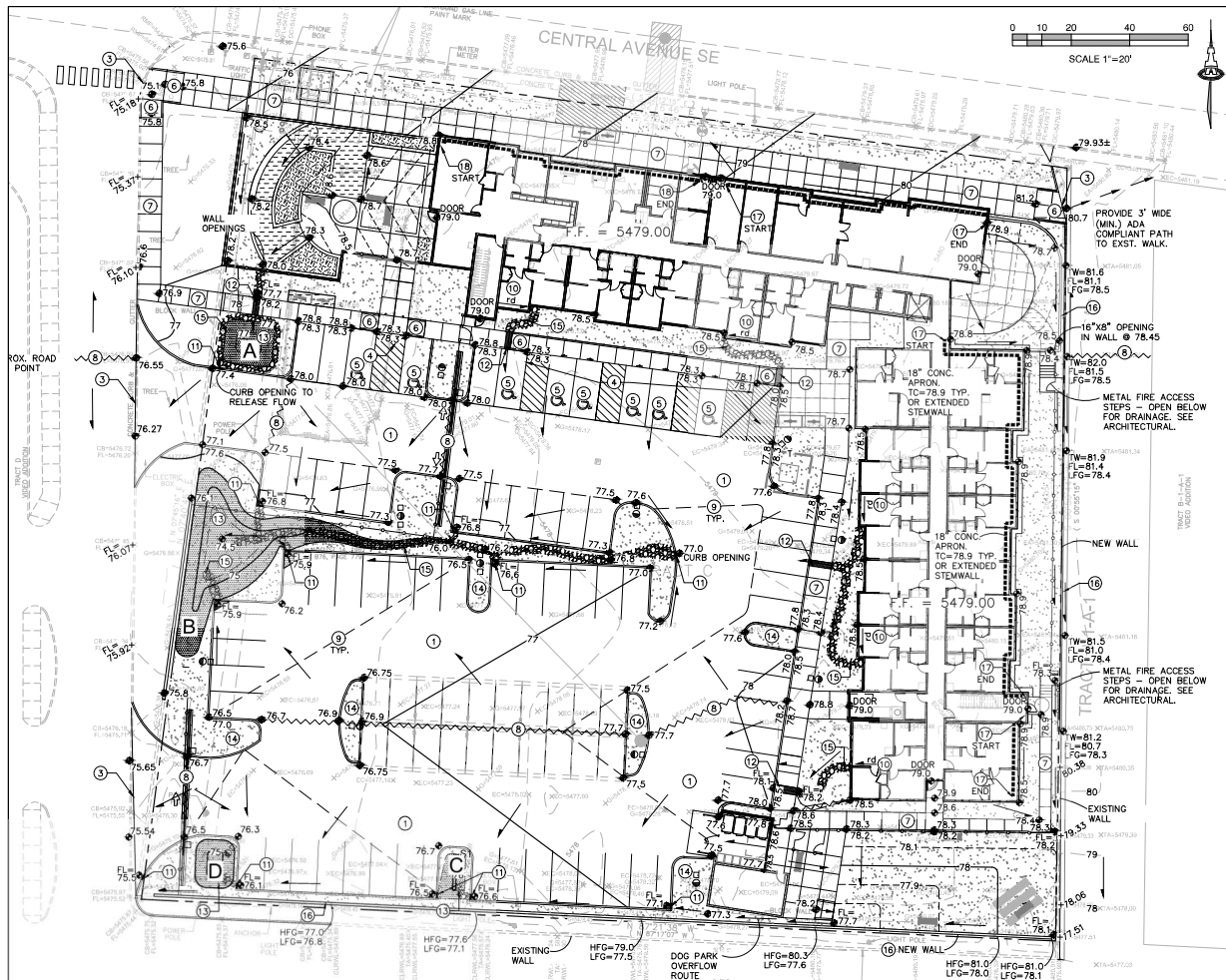
PROJECT  
**LUMINARIA SENIOR COMMUNITY**  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO DESIGN REVIEW BOARD (DRB)

REVISIONS  
△  
△  
△  
△

DRAWN BY DS  
REVIEWED BY DIP/S  
DATE 08/28/2020  
PROJECT NO. 19-0058  
DRAWING NAME  
**LANDSCAPE PLAN**

SHEET NO.  
**SDP2.1**  
OF



**CALCULATIONS: 2374 - LUMINARIA SENIOR LIVING - June 17, 2020**  
 Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol. 2, dated Jan, 1993

| 100-YEAR 6-HOUR CALCULATIONS  |                         |                            |               |
|---|-------------------------|----------------------------|---------------|
| AREA OF SITE:   |                         | 1.8785 ACRE                |               |
| 81829 SF  |                         |                            |               |
| <b>HISTORIC FLOWS:</b>  |                         |                            |               |
| Treatment SF  | %                       | Treatment SF               | %             |
| Area A = 0  | 0%                      | Area B = 0                 | 0%            |
| Area B = 4991   | 5%                      | Area C = 8183              | 10%           |
| Area C = 45006  | 55%                     | Area D = 8183              | 10%           |
| Area D = 32732  | 40%                     | Area E = 65463             | 80%           |
| Total Area = 81829  | 100%                    | Total Area = 81829         | 100%          |
| <b>EXCESS PRECIP:</b>   |                         |                            |               |
| Area  | Excess Precip           | Area                       | Excess Precip |
| Area A = 0  | 0.00                    | Area B = 0                 | 0.00          |
| Area B = 4991   | 0.05                    | Area C = 8183              | 0.10          |
| Area C = 45006  | 0.55                    | Area D = 8183              | 0.10          |
| Area D = 32732  | 0.40                    | Area E = 65463             | 0.80          |
| Total Area = 81829  | 0.50                    | Total Area = 81829         | 0.50          |
| <b>On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)</b>   |                         |                            |               |
| Weighted E  | 1.70 in.                | Developed E                | 2.11 in.      |
| <b>On-Site Volume of Runoff: V300 = E<sup>3/4</sup> / 12</b>  |                         |                            |               |
| Historic V <sub>300</sub>   | 11589 CF                | Developed V <sub>300</sub> | 14381 CF      |
| <b>On-Site Peak Discharge Rate: Qp = Q<sub>10A</sub>A<sub>1</sub> + Q<sub>10B</sub>A<sub>2</sub> + Q<sub>10C</sub>A<sub>3</sub> + Q<sub>10D</sub>A<sub>4</sub> / 43.560</b> |                         |                            |               |
| For Precipitation Zone 1  | Q <sub>10A</sub> = 1.87 | Q <sub>10B</sub> = 3.45    |               |
| Q <sub>10C</sub> = 2.60   | Q <sub>10D</sub> = 5.02 |                            |               |
| Historic Q <sub>p</sub>   | 7.6 CFS                 | Developed Q <sub>p</sub>   | 8.7 CFS       |

- ### KEY NOTES
1. NEW PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS.
  2. NOT USED.
  3. PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT.
  4. TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA FOR ADA ACCESS.
  5. ADA COMPLIANT PARKING AREA.
  6. CONSTRUCT ADA COMPLIANT 1:12 MAX. SLOPE ADA COMPLIANT ACCESS RAMP.
  7. CONSTRUCT ADA COMPLIANT PEDESTRIAN WALK AT ELEVATIONS SHOWN.
  8. HIGH POINT / GRADE BREAK LOCATION.
  9. 0.5 DESIGN CONTOURS ARE SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT, S.
  10. CONCENTRATED ROOF DISCHARGE DIRECTION.
  11. PROVIDE 24" WIDE OPENING IN CURB TO PASS FLOW.
  12. CONSTRUCT 18" WIDE COVERED CONCRETE SIDEWALK CULVERT PER COA STD. DWG. 2236.
  13. CONSTRUCT 18" MAX. DEPTH STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. STORMWATER QUALITY PONDING VOLUMES MAY BE VERIFIED AS PART OF AS-BUILT CERTIFICATION, PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
  14. DEPRESS LANDSCAPING IN FOR GENERAL WATER HARVESTING. NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF ANY BUILDING.
  15. INSTALL ANGULAR ROCK EROSION PROTECTION TO LIMITS HATCHED.
  16. CONSTRUCT GARDEN RETAINING WALL(S) (RETAINING < 36") TO ACHIEVE GRADE DIFFERENCE SHOWN. HFG = GRADE ON HIGH SIDE OF WALL; LFG = GRADE ON LOW SIDE OF WALL. STRUCTURAL DESIGN TO BE PROVIDED BY WALL CONTRACTOR.
  17. BUILDING RETAINING STEMMALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
  18. BUILDING EXTENDED STEMMALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.

### VICINITY MAP 121

PROJECT SUBMITTAL:

- CLIENT EXHIBIT
- BUILDING PERMIT
- WORK ORDER
- HYDROLOGY
- OTHER

DOCUMENTS TO BE SEALED?

DATE OF SEAL:

VOID SHEETS IN EXISTING SET

IF YES, WHICH SHEETS?

PLOT HARD COPIES? YES

### PROJECT DATA

PROPERTY: THE SITE IS FULLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP 8-13. THE SITE IS BOUND TO THE EAST, SOUTH AND WEST BY COMMERCIAL PROPERTY (HOME DEPOT), AND TO THE NORTH BY CENTRAL AVE. NE.

PROPOSED IMPROVEMENTS: THE PROPERTY WAS PREVIOUSLY A MOBILE HOME PARK WITH COMMUNITY CENTER, PAVED PARKING AND ASSOCIATED SITE IMPROVEMENTS. THE PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF MULTI-FAMILY HOUSING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT "C" VIDEO ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. 5-K207, HAVING AN ELEVATION OF 5429.99, NAVD 1988.

OFF-SITE: MINOR OFF-SITE DRAINAGE FROM THE EAST DRIVE WILL BE REDIRECTED SOUTH.

FLOOD HAZARD: PER F.E.M.A. FLOOD MAP #35001C03596, EFF: 9/28/2008, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT:

THIS PROPERTY IS INCLUDED AS "PHASE III" IN THE APPROVED HOME DEPOT DRAINAGE REPORT DATED APRIL 28, 1994 (L21/045) PREPARED BY TIERIA WEST. THE TRACT FALLS WITHIN DRAINAGE BASIN B DESIGNATED TO DRAIN TO THE EXISTING HOME DEPOT PARKING LOT DETENTION POND #1 WITH ORIFICE CONTROLLED DISCHARGE TO THE PUBLIC STORM DRAIN SYSTEM IN EUBANK BLVD. THE TOTAL PROPERTY (16.38 ACRES) HAS A FULLY DEVELOPED RUNOFF OF 78.16 CFS OR 4.77 CFS/ACRE.

TRACT C IS 1.879 ACRES • 4.77 CFS/ACRE = 9.0 CFS ALLOWABLE DISCHARGE. BASED ON CONCEPTUAL CALCULATIONS, THE PROPERTY WITH ANTICIPATED LAND TREATMENT RATIO OF 0.04:100% (0.04:100%) WILL GENERATE 8.7 CFS DURING THE 100-YEAR 6-HOUR DESIGN STORM < 9.0 CFS ALLOWABLE.

POND #1 WATER SURFACE ELEVATION = 5467.75 (929 DATUM) = APPROX. 5470.45 BASED ON 2.7' ADJUSTMENT TO 1988 DATUM.

THE PLAT INCLUDES THE FOLLOWING REGARDING CROSS-LOT DRAINAGE: "THE OWNER OF TRACT B1 AND THE OWNER OF TRACTS C AND D EACH GRANT TO THE OTHER RECIPROCAL EASEMENTS FOR STORM DRAINAGE FLOWS ON AND OVER TRACT B1 FOR THE BENEFIT OF TRACTS C AND D AND ON AND OVER TRACTS C AND D FOR THE BENEFIT OF TRACT B1."

SURVEYOR: ANTHONY L. HARRIS, N.M.P.S. #11463  
 THE SURVEY OFFICE, LLC  
 333 LOMAS BOULEVARD N.E.  
 ALBUQUERQUE, NM, 87102  
 (505) 998-0353

ENGINEER: FRED C. ARMAN, N.M.P.E. #7322  
 ISAACSON & ARMAN, INC.  
 128 MONROE N.W.  
 ALBUQUERQUE, NM, 87108  
 (505) 268-8828

### LEGEND

- 5478.00 EXISTING CONTOUR
- 5478.01 EXISTING SPOT ELEVATION
- 77.00 PROPOSED 1.0' CONTOUR
- 77.50 PROPOSED 0.5' CONTOUR
- 77.00 PROPOSED SPOT ELEVATION
- FF = 5479.00 FINISH FLOOR ELEVATION

### ADA COMPLIANCE

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5% CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).

ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5% SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

**NOT APPROVED FOR CONSTRUCTION**

08-25-20

Engineer

**LUMINARIA SENIOR COMMUNITY**  
 10600 CENTRAL AVE SE  
 ALBUQUERQUE, NM 87123

| PROJECT STATUS:            | PROJECT NUMBER: | PROJECT DATE: | PROJECT LOCATION: |
|----------------------------|-----------------|---------------|-------------------|
| 50% CONSTRUCTION DOCUMENTS | 19-0058         | 2/14/20       | ALBUQUERQUE, NM   |
| PROJECT NUMBER:            | 19-0058         | PROJECT DATE: | PROJECT LOCATION: |
| DRAWN BY:                  | 2/14/20         | CHECKED BY:   | DATE:             |
| DATE:                      | 08/28/2020      |               |                   |

**Grading & Drainage Plan**

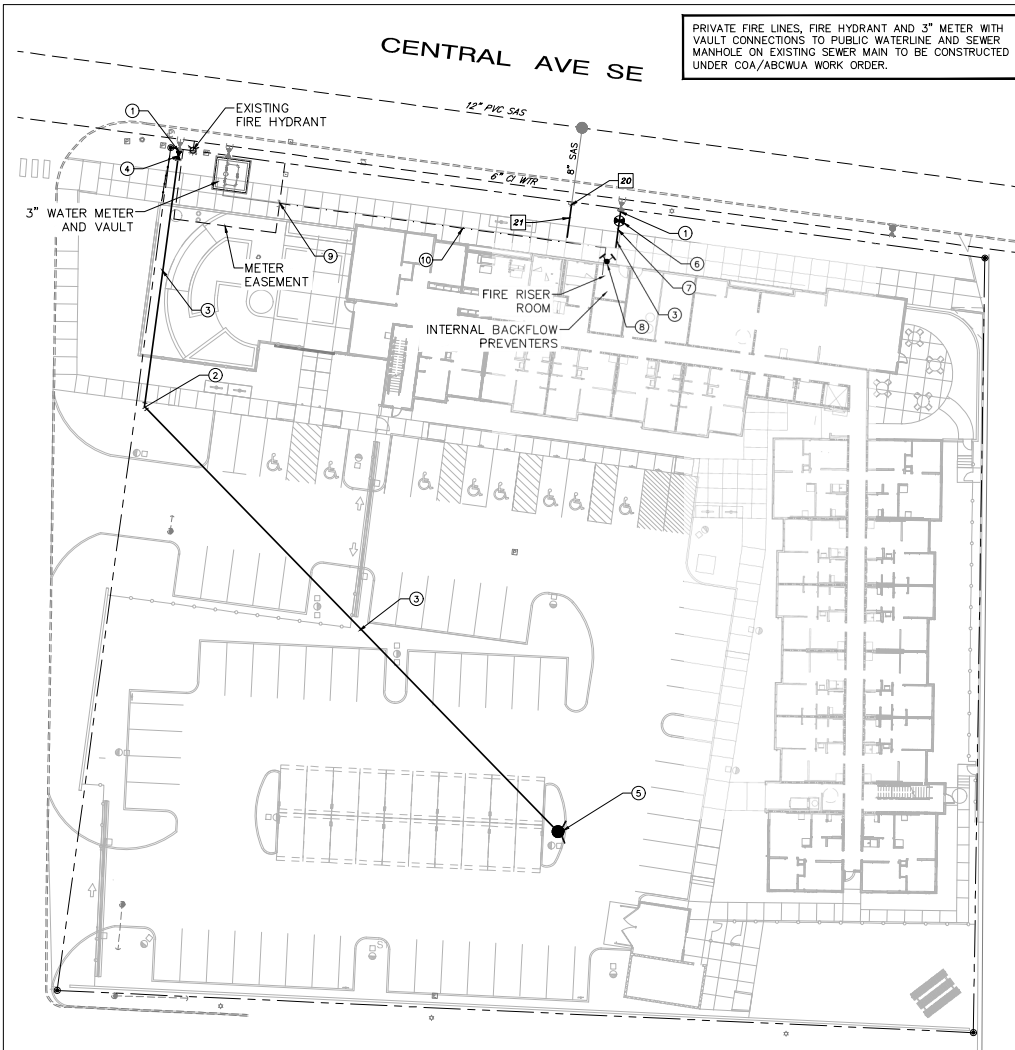
SHEET NUMBER

**CG-101**



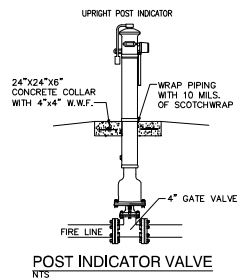


811: 1-800-4-A-DIG (4364) | 811: 1-800-4-A-DIG (4364) | 811: 1-800-4-A-DIG (4364)



- ### KEYED NOTES
- WATER KEYED NOTES
1. REMOVE EXISTING CAP AND CONNECT NEW WATERLINE.
  2. 6" 45° BEND. (LT=6")
  3. 6" WATERLINE.
  4. 6" GATE VALVE W/ BOX. PER ABCWJA STD DWG 2326 & 2329. (LT=46")
  5. FIRE HYDRANT PER ABCWJA STD DWG 2340. PAINTED SAFETY ORANGE.
  6. PIV (POST INDICATOR VALVE).
  7. 3" CONDUIT W/ PULL STRING FROM PIV TO FIRE ROOM.
  8. WALL MOUNT FDC (FIRE DEPARTMENT CONNECTION).
  9. REMOVE EXISTING 3" CAP AND CONNECT NEW 3" WATER SERVICE LINE.
  10. 3" WATER SERVICE LINE.

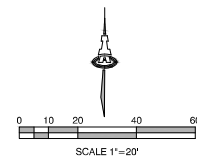
- SEWER KEYED NOTES
20. REMOVE 8" PLUG AND CONNECT NEW 6" SAS SERVICE LINE.
  21. 8" SANITARY SEWER SERVICE AT 2% MIN. SLOPE



- ### GENERAL NOTES
1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
  2. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
  3. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CO-101 FOR STORM DRAIN DESIGN.
  4. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

- ### RESTRAINED JOINT CRITERIA
- FOR WATERLINE FITTINGS
1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
  2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
  3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
  4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
- DEPTH OF BURY: 3.0 FT. MINIMUM  
FACTOR OF SAFETY: 1.50  
MATERIAL: PVC  
SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
- TEST PRESSURE: 150 PSI
- TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.
- DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWJA.

- ### LEGEND
- |     |                        |
|-----|------------------------|
| --- | EXISTING WATERLINE     |
| --- | EXISTING FIRE HYDRANT  |
| --- | EXISTING WATER VALVE   |
| --- | EXISTING SEWER LINE    |
| --- | EXISTING SEWER MANHOLE |
| --- | NEW FIRE LINE          |
| --- | NEW FIRE HYDRANT       |
| --- | NEW WATER VALVE        |
| --- | NEW FDC                |
| --- | NEW PIV                |
| --- | NEW SEWER LINE         |



**Isaacson & Artman, Inc.**  
Civil Engineering Consultants  
129 Monroe Street NE  
Albuquerque, NM 87106  
505-266-8628 | www.isaacson-artman.com

© 2020 Isaacson & Artman, Inc. This design, calculations, and concepts are owned by and remain the property of Isaacson & Artman, Inc. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Artman, Inc.

2024 CO-101  
8/2/2020

**FRED C. ARTMAN**  
NEW MEXICO  
7322  
08/25/20  
Engineer

**LUMINARIA SENIOR COMMUNITY**  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

|                 |                            |
|-----------------|----------------------------|
| PROJECT STATUS: | 50% CONSTRUCTION DOCUMENTS |
| PROJECT NUMBER: | 19-0058                    |
| PROJECT NUMBER: | 2074                       |
| DRAWN BY:       | ECG                        |
| CHECKED BY:     | ECG                        |
| DATE:           | 08/28/2020                 |

SHEET TITLE

Utility Plan

SHEET NUMBER

CU-101



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109  
505.761.9700 / OPSDESIGN.ORG



SEAL

PROJECT

LUMINARIA SENIOR COMMUNITY  
1000 CENTRAL AVENUE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO  
DESIGN REVIEW  
BOARD (DRB)

REVISIONS



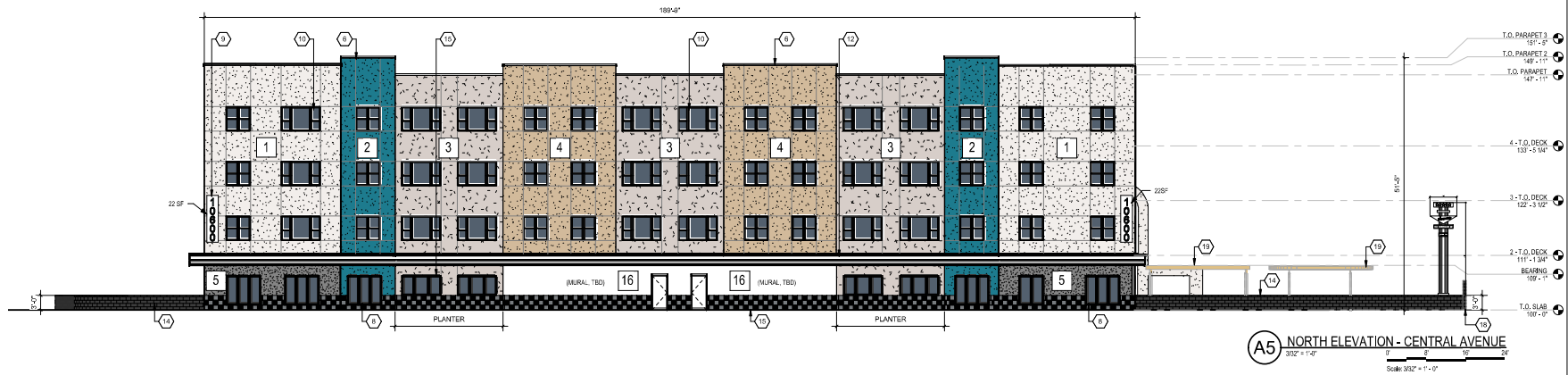
DRAWN BY JF, BH, PMG  
REVIEWED BY HFG, RAW  
DATE 08/27/2020  
PROJECT NO. 19-0058

DRAWING NAME

EXTERIOR  
ELEVATIONS

SHEET NO.

SDP5.1



#### GENERAL SHEET NOTES

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPETS WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- ALL DIMENSIONS SHOWN ARE FROM FACE OF FT.O. UNLESS NOTED OTHERWISE.
- BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 7" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL SHOWN AS WELL AS DAYLIGHT HOURS. PER SIGNIFIC. MOUNT AT 15'-0" ABOVE FINISH FLOOR.
- ALL DOOR REQUIREMENTS FROM SECTION 5-11(E)(2) ARE MET. REF: SDP1.1

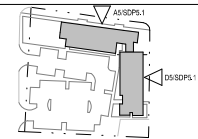
#### REFERENCE KEYNOTES

- STUCCO FINISH COLOR #1 \_SNOW MOUNT
- STUCCO FINISH COLOR #2 \_BERMUDA
- STUCCO FINISH COLOR #3 \_ELUSION
- STUCCO FINISH COLOR #4 \_GAJA
- STUCCO FINISH COLOR #5 \_DOVER GREY
- METAL COPING
- GUARDRAIL AT ROOFTOP TERRACE
- COMPOSITE WINDOWS
- BUILDING IDENTIFICATION SIGNAGE
- RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS)
- ORNAMENTAL FENCE
- ILLUMINATED ACCENT AWNING, LIT WITH NEON-LIKE LED LIGHTING.
- STUCCO FINISH COLOR #6 \_THIN ICE
- SITE WALL - FRONT SIDE YARD, 3'-0" TALL CMU BLOCK WALL
- TILE WAINSCOT
- WALL MURAL
- DOWNSPOUT
- EXISTING CMU SITE WALL TO REMAIN
- SHADE STRUCTURE PERGOLA

#### LEGEND

- |  |                             |  |                            |
|--|-----------------------------|--|----------------------------|
|  | STUCCO_COLOR #1 SNOWY MOUNT |  | STUCCO_COLOR #4 GAJA       |
|  | STUCCO_COLOR #2 BERMUDA     |  | STUCCO_COLOR #5 DOVER GREY |
|  | STUCCO_COLOR #3 ELUSION     |  | STUCCO_COLOR #6 THIN ICE   |

#### KEY PLAN



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109  
505.761.9700 / OPSDESIGN.ORG



SEAL

PROJECT

LUMINARIA SENIOR COMMUNITY  
1000 CENTRAL AVENUE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO  
DESIGN REVIEW  
BOARD (DRB)

REVISIONS



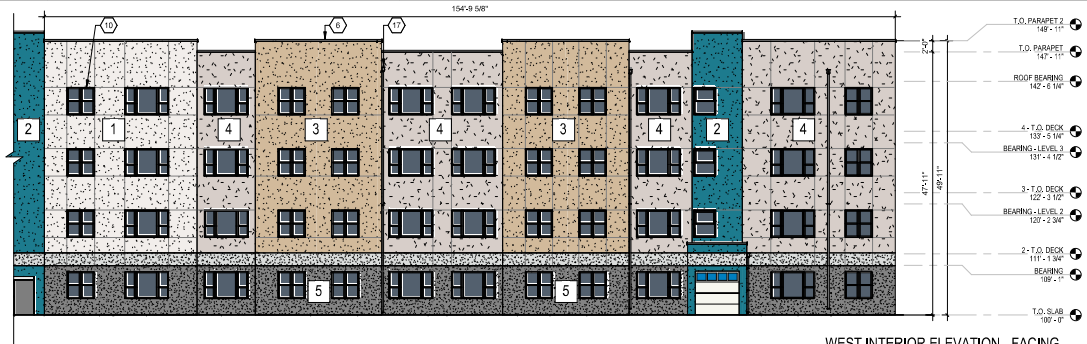
DRAWN BY JF  
REVIEWED BY HFG, RAN  
DATE 08/27/2020  
PROJECT NO. 19-0058

DRAWING NAME

EXTERIOR  
ELEVATIONS

SHEET NO.

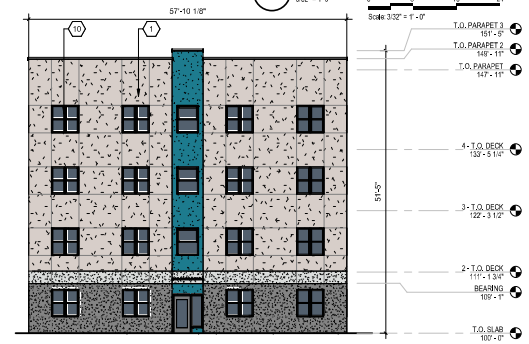
SDP5.2



WEST INTERIOR ELEVATION - FACING  
PARKING COURT



WEST ELEVATION - END OF NORTH WING



SOUTH ELEVATION - END OF EAST WING



SOUTH INTERIOR ELEVATION - FACING  
PARKING COURT

GENERAL SHEET NOTES

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPETS WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.
- ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD. UNLESS NOTED OTHERWISE.
- BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 7" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS. PER 2009 IBC, MOUNT AT 15'-0" ABOVE FINISH FLOOR.
- ALL IBC REQUIREMENTS FROM SECTION 5.4.1(1)(2) ARE MET. REF. SDP1.1

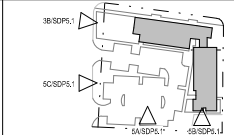
REFERENCE KEYNOTES

- STUCCO FINISH COLOR #1 \_SNOW MOUNT
- STUCCO FINISH COLOR #2 \_BERMUDA
- STUCCO FINISH COLOR #3 \_ELLUSION
- STUCCO FINISH COLOR #4 \_GAIA
- STUCCO FINISH COLOR #5 \_DOVER GREY
- METAL COPING
- GUARDRAIL AT ROOFTOP TERRACE
- COMPOSITE WINDOWS
- BUILDING IDENTIFICATION SIGNAGE
- RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS)
- ORNAMENTAL FENCE
- ILLUMINATED ACCENT AWNING, LIT WITH NEON-LIKE LED LIGHTING.
- STUCCO FINISH COLOR #6 \_THIN ICE
- SITE WALL - FRONT SIDE YARD, 3'-0" TALL CMU BLOCK WALL
- TILE WAINSCOT
- WALL MURAL
- DOWNSPOUT
- EXISTING CMU SITE WALL TO REMAIN
- SHADE STRUCTURE PERGOLA

LEGEND

- |                                |                               |
|--------------------------------|-------------------------------|
| STUCCO_COLOR #1<br>SNOWY MOUNT | STUCCO_COLOR #4<br>GAIA       |
| STUCCO_COLOR #2<br>BERMUDA     | STUCCO_COLOR #5<br>DOVER GREY |
| STUCCO_COLOR #3<br>ELLUSION    | STUCCO_COLOR #6<br>THIN ICE   |

KEY PLAN



FOR REFERENCE ONLY

CENTRAL AVENUE

TRAVIS BLVD

Plan View  
Scale: 1" = 10'



...LUMINARIA SITE LIGHTING...

### Statistics

| Description | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
|-------------|--------|--------|--------|--------|---------|---------|
| GRADE LEVEL | +      | 2.7 fc | 5.7 fc | 0.3 fc | 19.0:1  | 9.0:1   |

| Schedule |       |       |     |                   |                              |  |      |                 |                                  |                          |                       |     |
|----------|-------|-------|-----|-------------------|------------------------------|--|------|-----------------|----------------------------------|--------------------------|-----------------------|-----|
| Symbol   | Label | Image | QTY | Manufacturer      | Catalog Number               | Description                                | Lamp | Number<br>Lamps | Filename                         | Luminaire<br>per<br>Lamp | Lumens<br>per<br>Lamp | LLF |
| SA       | SA    |       | 12  | Lithonia Lighting | DSX0 LED P3 40K T4H MVOLT HS | DSX0 LED P3 40K T4H MVOLT with houseshield | LED  | 1               | DSX0_LED_P3_40K_T4H_MVOLT_HS.mxd | 6417                     | 1                     | 1   |
| SB       | SB    |       | 2   | Lithonia Lighting | DSX0 LED P3 40K T5H MVOLT    | DSX0 LED P3 40K T5H MVOLT                  | LED  | 1               | DSX0_LED_P3_40K_T5H_MVOLT_T-HS   | 8770                     | 1                     | 1   |

**Note**  
1. CALCULATION ZONES SET AT GRADE LEVEL.  
2. ALL "SA" AND "SB" FIXTURES MOUNTED AT 16' OVERALL, 13' POLE ON A 3' CONCRETE BASE.  
3. ALL "SC" FIXTURES (BOLLARDS) MOUNTED AT 3' ABOVE GRADE.



DEKKER  
PERICH  
SABATINI

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

ENGINEER

PROJECT

LUMINARIA SENIOR COMMUNITY  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO  
DESIGN REVIEW  
BOARD (DRB)

REVISIONS  
△  
△  
△  
△

DRAWN BY AG\_JF  
REVIEWED BY RAW\_JM  
DATE 08/28/2020  
PROJECT NO. 19-0058  
DRAWING NAME

SITE LIGHTING  
FOR REFERENCE

SHEET NO.

SDP6.1

OF

1 of 1



**FOR REFERENCE ONLY**

| FIXTURE SCHEDULE |                   |                               |   |            |       |        |                              |
|------------------|-------------------|-------------------------------|---|------------|-------|--------|------------------------------|
| TYPE             | MANUFACTURER      | CATALOG NUMBER                | DESCRIPTION LOCATION                            | LAMPS TYPE | WATTS | LUMENS | MOUNTING INSTRUCTIONS        |
| S1               | LITHONIA LIGHTING | #DSDX-LED-P5-40K-T&M-MVOLT-HS | DSDX-LED P5 40K T&M MVOLT WITH HOUSEHOLD SHIELD | LED        | 71    | 6,417  | POLE - SEE DETAIL THIS SHEET |
| S2               | LITHONIA LIGHTING | #DSDX-LED-P5-40K-T&M-MVOLT-HS | DSDX-LED P5 40K T&M MVOLT                       | LED        | 142   | 8,770  | POLE - SEE DETAIL THIS SHEET |

**GENERAL SHEET NOTES**

- SITE LIGHTING POLE AND LUMINAIRE SHALL COMPLY WITH NEW MEXICO DARK SKIES ENFORCEMENT ACT AND THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE.
- PARKING LOTS SHALL BE ILLUMINATED TO 1 FOOTCANDLE AVERAGE MAINTAINED AND SHALL NOT EXCEED 4 FOOTCANDLES AVERAGE MAINTAINED.
- SITE LIGHTING SHALL BE PEDESTRIAN STYLE AND SHALL NOT EXCEED 15' IN HEIGHT FROM THE GROUND LEVEL THE TOP OF THE LUMINAIRE.

**POLE BASE DETAIL FOR PARKING LUMINAIRES**  
NO SCALE

**EXTERIOR LIGHTING CONTROL DIAGRAM**  
SCALE N.T.S. NOTE: TYPICAL FOR BUILDING "A" AND FOR BUILDING "B"

**KEY PLAN**

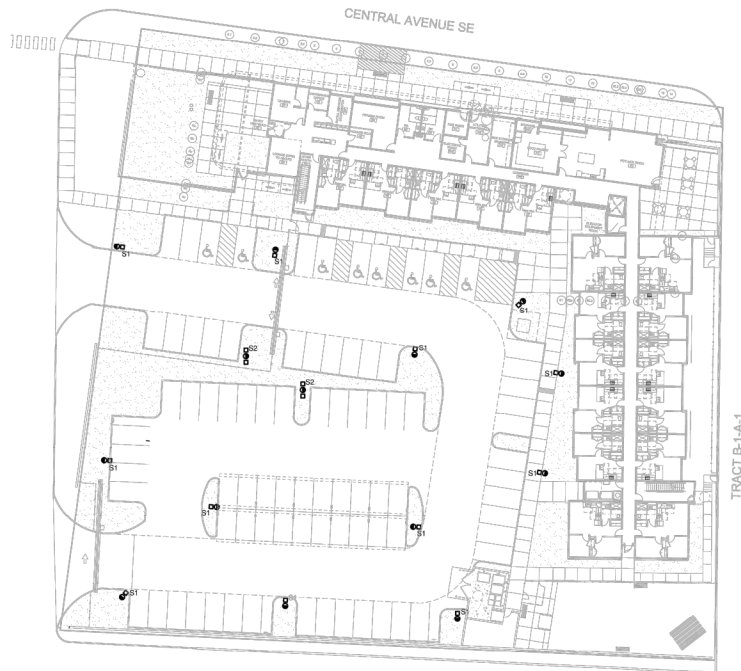
**PROJECT INFORMATION:**

- ARCHITECTURE / DESIGN / INSPIRATION
- DEKKER PERICH SABATINI**
- 7601 JEFFERSON BL., SUITE 100  
ALBUQUERQUE, NM 87109  
505.761.9700 / OPSDESIGN.DRG
- A C ENGINEERS ENTERPRISES, LLC  
2000 CENTRAL AVENUE SE  
SUITE 100  
ALBUQUERQUE, NM 87123  
505.761.9700
- PROJECT: LUMINARIA SENIOR COMMUNITY
- 10600 CENTRAL AVENUE SE  
ALBUQUERQUE, NM 87123

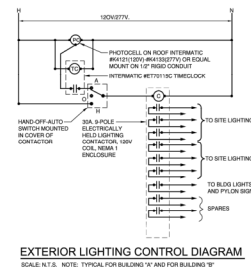
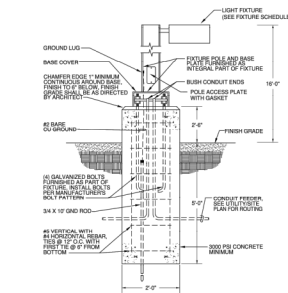
**REVISIONS:**

| NO. | DATE       | BY  | DESCRIPTION       |
|-----|------------|-----|-------------------|
| 1   | 07/11/2020 | ACE | ISSUED FOR PERMIT |

**APPROVED BY:** ACE  
**DESIGNED BY:** ACE  
**DATE:** 07/11/2020  
**PROJECT NO:** 19-0088  
**DRAWING NAME:** SITE LIGHTING PLAN  
**SHEET NO:** ES101



| FIXTURE SCHEDULE |                      |                                   |   |       |       |        |                                    |
|------------------|----------------------|-----------------------------------|---|-------|-------|--------|------------------------------------|
| TYPE             | MANUFACTURER         | CATALOG NUMBER                    | DESCRIPTION<br>LOCATION                               | LAMPS |       |        | MOUNTING<br>INSTRUCTIONS           |
|                  |                      |                                   |   | TYPE  | WATTS | LUMENS |                                    |
| S1               | LITHONIA<br>LIGHTING | #D5X5 LED P3 40K-<br>T4M MVOLT-HS | D5X5 LED P3 40K<br>T4M 7MVLT WITH<br>HOUSEHOLD SHIELD | LED   | 71    | 6,417  | POLE - SEE<br>DETAIL THIS<br>SHEET |
| S2               | LITHONIA<br>LIGHTING | #D5X5 LED P3 40K-<br>T9M MVOLT-HS | D5X5 LED P3 40K<br>T9M MVOLT                          | LED   | 142   | 8,770  | POLE - SEE<br>DETAIL THIS<br>SHEET |



**GENERAL SHEET NOTES**

- A. SITE LIGHTING POLE AND LUMINAIRE SHALL COMPLY WITH NEW MEXICO DARK SKIES ENFORCEMENT ACT AND THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE.
- B. PARKING LOTS SHALL BE ILLUMINATED TO 1 FOOTCANDLE AVERAGE MAINTAINED AND SHALL NOT EXCEED 4 FOOTCANDLES AVERAGE MAINTAINED.
- C. SITE LIGHTING SHALL BE PEDESTRIAN STYLE AND SHALL NOT EXCEED 15' IN HEIGHT FROM THE GROUND LEVEL THE TOP OF THE LUMINAIRE.

**SHEET KEYNOTES**

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109  
505.761.9700 / DPSDESIGN.ORG



LUMINARIA SENIOR COMMUNITY  
10600 CENTRAL AVENUE SE  
ALBUQUERQUE, NM 87123

REVISIONS

△

△

|             |            |
|-------------|------------|
| DRAWN BY    | ACE        |
| REVIEWED BY | FJT        |
| DATE        | 07/31/2020 |
| PROJECT NO  | 19-0059    |

DRAWING NAME

**SITE  
LIGHTING  
PLAN**

SHEET NO  
ES101

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

ENGINEER

PROJECT

**LUMINARIA SENIOR COMMUNITY**  
10600 CENTRAL AVE SE  
ALBUQUERQUE, NM 87123

APPLICATION TO  
DESIGN REVIEW  
BOARD (DRB)

REVISIONS

DRAWN BY AG. JF

---

|             |          |
|-------------|----------|
| REVIEWED BY | RAW, HFG |
|-------------|----------|

DATE 08/28/2020

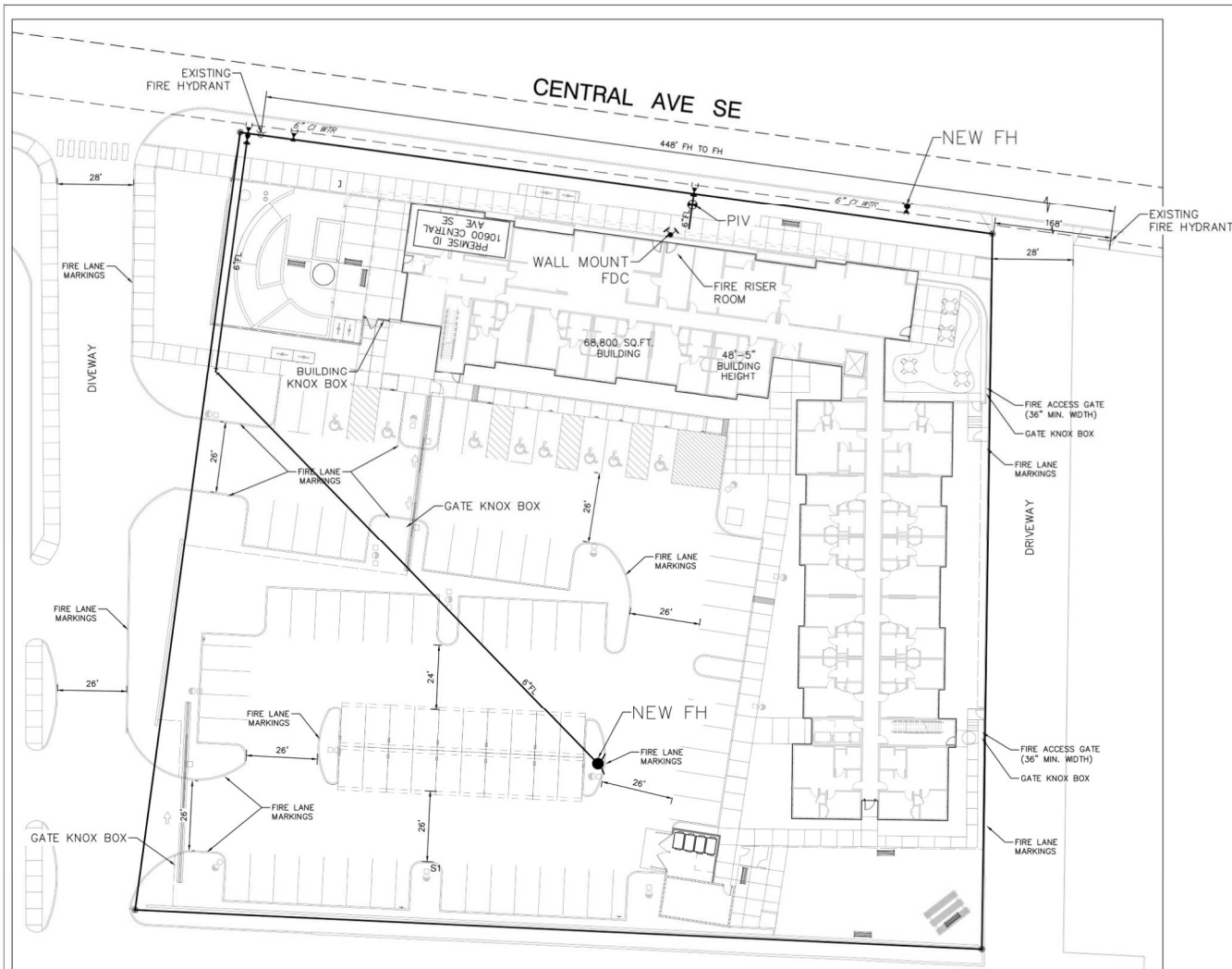
PROJECT NO. 19-0058

DRAWING NAME

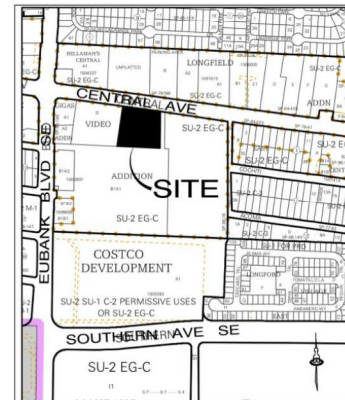
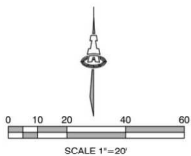
ELECTRICAL  
SITE PLAN  
FOR REFERENCE

SHEET NO. \_\_\_\_\_

SDP6.2



NOTE:  
ROOF ACCESS TO SOUTH WING FROM  
INTERNAL FIRE LANE AND FROM CENTRAL AVE.



L-21

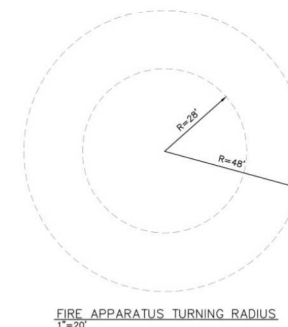
10,600 CENTRAL AVE, SE  
ALBUQUERQUE, NM 87123

68,800 SQ. FT BUILDING  
TYPE VA CONSTRUCTION  
SPRINKLED  
48'-5" BUILDING HEIGHT  
OCCUPANCY GROUP-RES. R-2

2 EXISTING FIRE HYDRANT NEAR SITE

ALL ACCESS ROADS AND FIRE LANES  
HAVE GRADES LESS THAN 10% AND A  
LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE LANES  
WILL ACCOMMODATE A 28' MINIMUM  
TRUCK TURNING RADIUS



FIRE APPARATUS TURNING RADIUS  
1"=20'

| Description                               | Date | No. |
|---|------|-----|
| PROJECT STATUS:<br>50% DESIGN DEVELOPMENT |      |     |
| PROJECT NUMBER: 19-0058                   |      |     |
| IA PROJECT NUMBER: 2374                   |      |     |
| DRAWN BY: EJB                             |      |     |
| CHECKED BY: CFB                           |      |     |
| DATE: 07/10/2020                          |      |     |

SHEET TITLE

FIRE HYDRANT  
LOCATION  
AND ACCESS  
PLAN

SHEET NUMBER

FIRE-1