

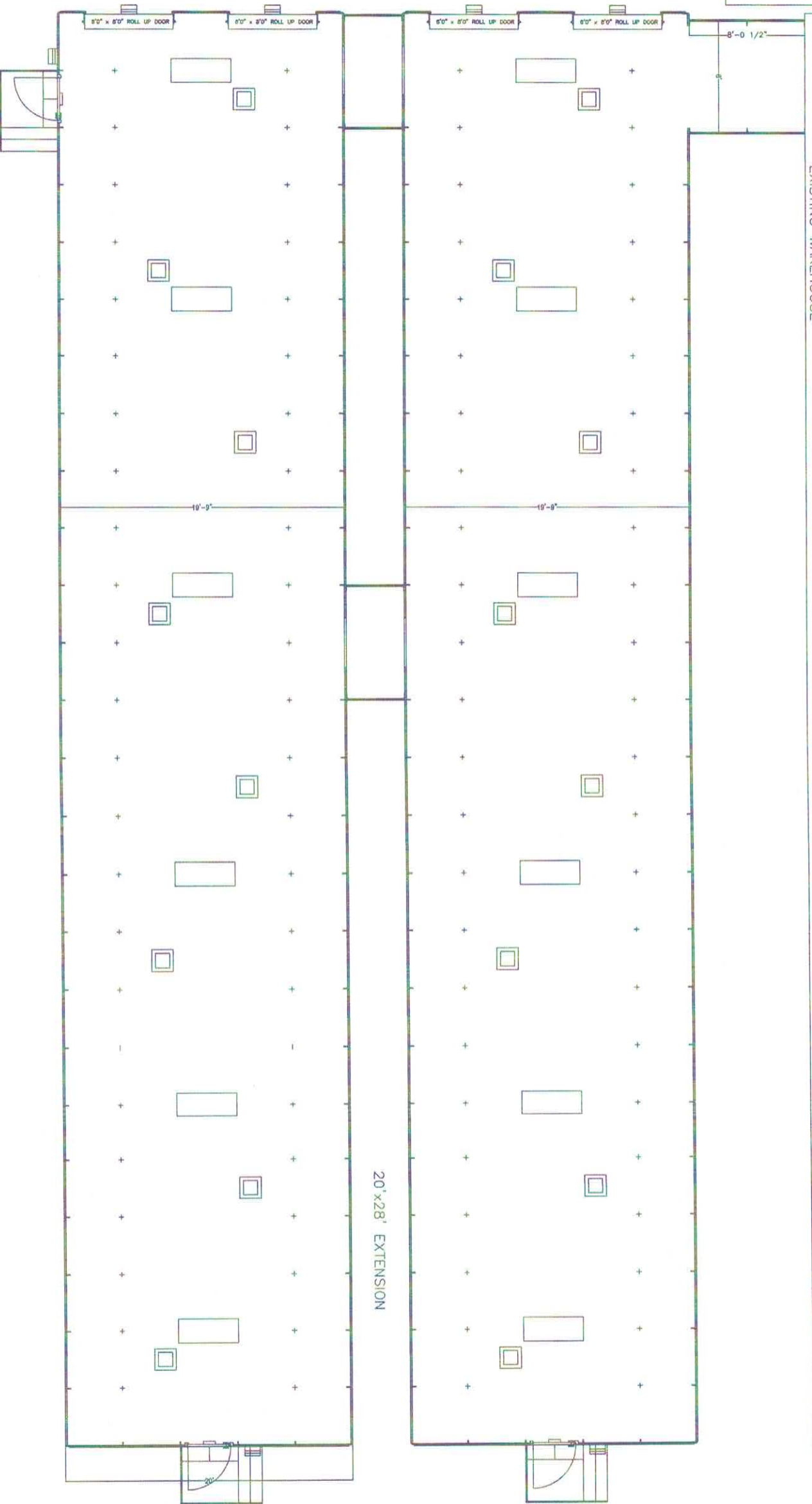
ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

All fastening of the building components and mounting of electrical fixtures are surface mounted and visual for inspection.
No fastening or electrics are hidden.



NOV 20 2020

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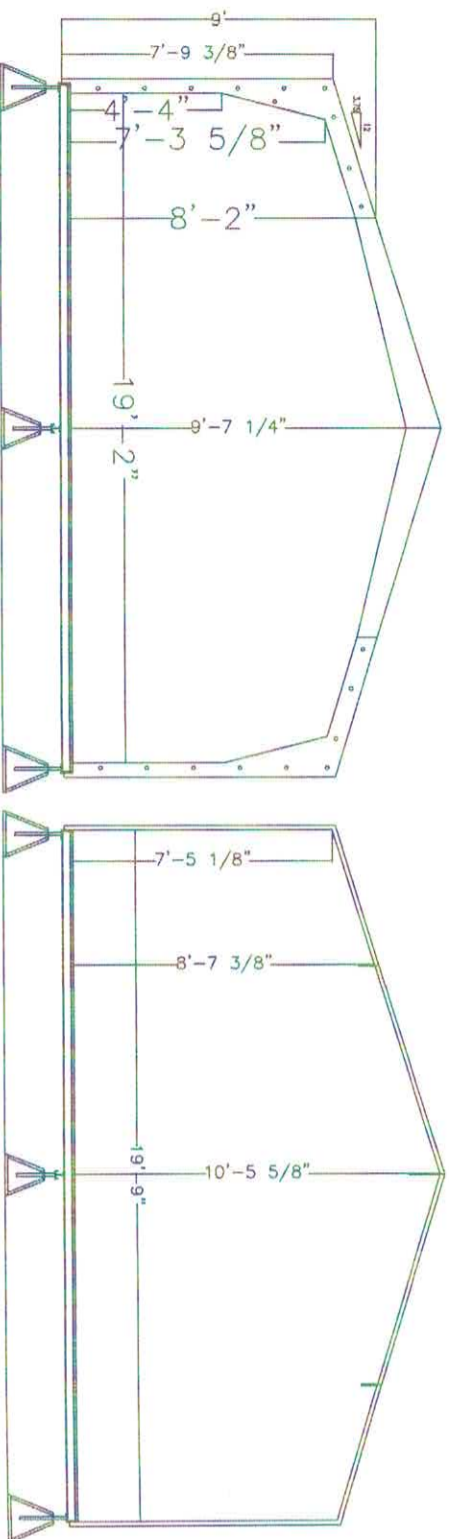
D. O. Gonzalez
PE. P.L.D.

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CLIENT:	Frito	PG#	FANNE-01
LOCATION:	Albuquerque, NM	REV#	0
PROJECT:	Albuquerque warehouse	DATE	DD MM YYYY
VIEW:		DATE	22 10 2020
SIZE:	20'wx100'lx13'9'h ext.	BY:	SS

9' Warehouse Cross section



Dock Level Warehouse Details:

- Warehouse #1 -
- Electrical:
 - interior lights (qty:6)
 - exterior lights (qty:3)

Ventilation:

- 12"x12" aluminum louvre located on either side of the rollup door at minimum 6ft elevation(qty:4)
- 50 sqin. roof vent (qty:8)
- 24" exhaust fan with motion sensor and hood with insect screen (qty:1)

Doors:

- 36"x84" steel door & frame with door closer and entry style lockset (qty:1)
- 6'x8' rollup door (qty:2)

Warehouse #2 -

- Electrical:
 - interior lights (qty:6)
 - exterior lights (qty:4)
 - exit sign (qty:3)

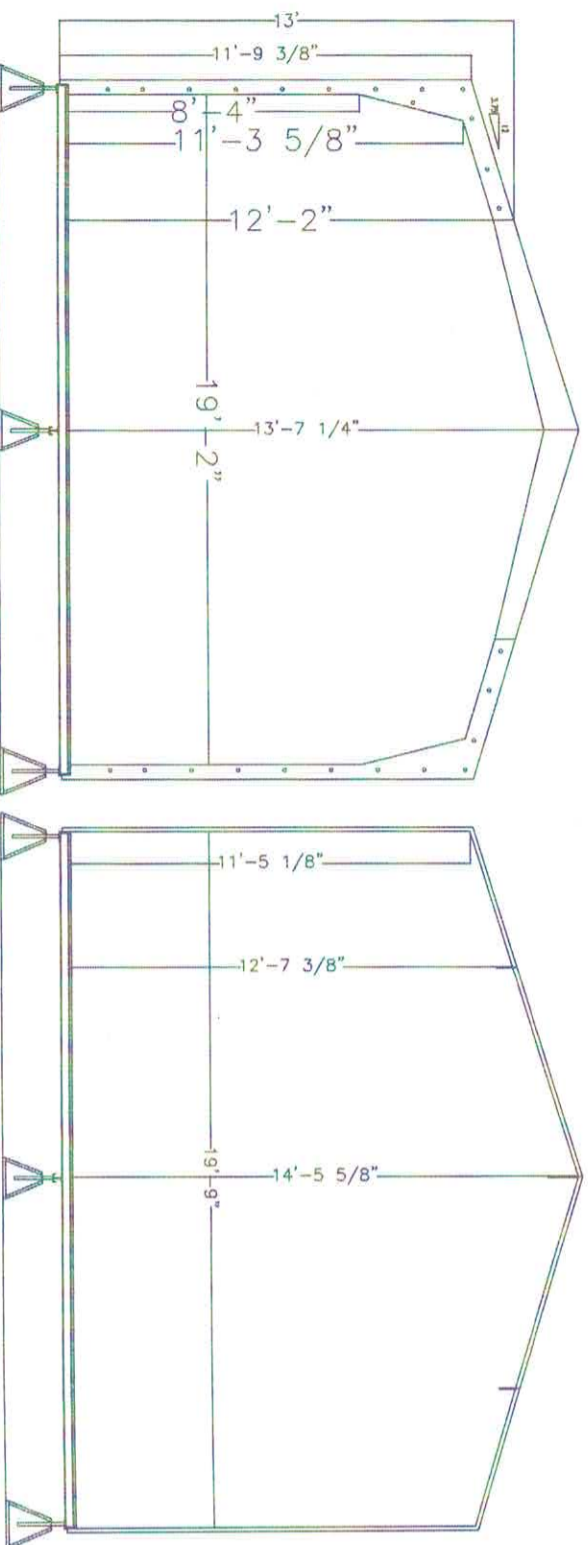
Ventilation:

- 12"x12" PVC louvre located on either side of the rollup door at minimum 6ft elevation (qty:4)
- 50 sqin. roof vent (qty:8)
- 24" exhaust fan with motion sensor and hood with insect screen (qty:1)

Doors:

- 36"x84" steel door & frame with door closer and entry style lockset (qty:2)

13' Warehouse Cross section



Design Notes:

Pre-engineered fiberglass, self-supporting, modular building. Building system is designed to withstand the maximum limits for wind & snow loads calculated according to the International Building Code. These maximum loads are: wind speed of 150 mph, snow loads of 50 lbs/sq.ft. This enclosure is located in Albuquerque, NM(Bernalillo County)-Risk Category: 1

Modular Sections:

All component sections consist of a single molded piece made of solid fiberglass & have an internal structural flange. Components are attached by the internal flanges using adhesive & steel fasteners.

Exterior Finish:

All exterior surfaces are orthoathralic polyester laminate with high quality ultra violet inhibitors & fire retardant fillers. Materials used meet the International Building Code as approved for plastics material in construction.

Insulation:

Foam core panel R12, composed of 1" polyiso insulation, interior fiberglass skin.

Caulking:

All exterior caulking is premium quality silicone sealant adhesive. All roof seams are topped with 4" wide UV protected butyl roofing tape & sealed with a brush on silicone sealant coating.

Fastening:

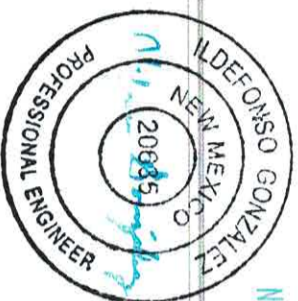
Exterior fastening is 304 stainless & interior fastening is zinc.

Base/Floor:

Dock level steel flooring system anchored to concrete pad (concrete pad provided by others.)

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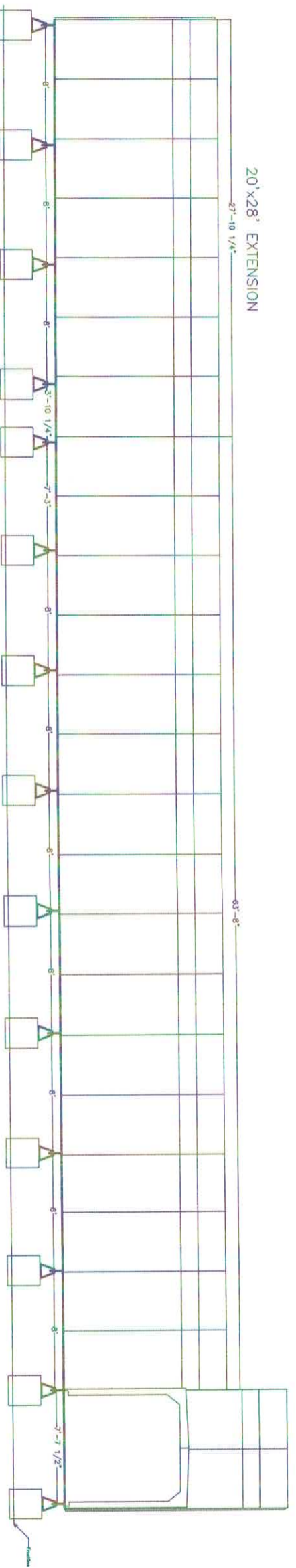
PE. PLD

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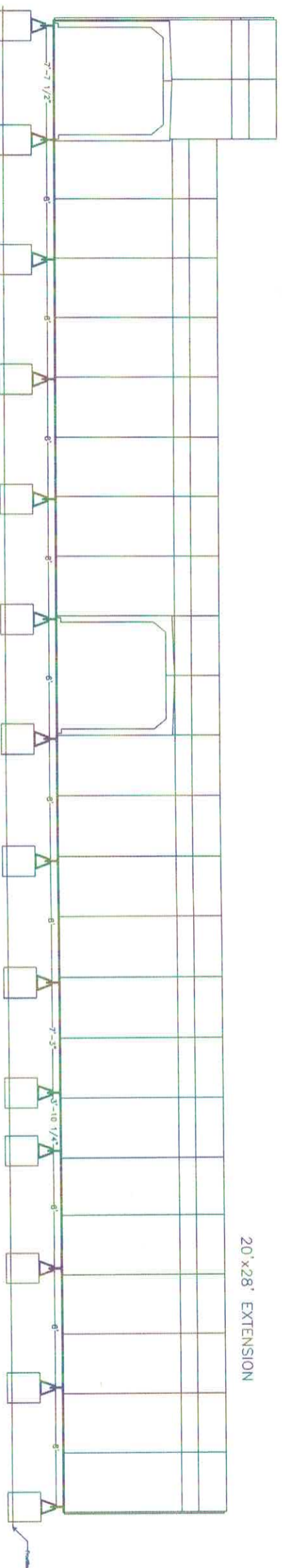


CLIENT:	
Frto	
LOCATION:	Abuquerque, NM
PROJECT:	Abuquerque warehouse
VIEW:	
Cross section / Design Notes	
SIZE: 20'w x 28'1 x 9'h ext.	
PC# FANME-02	
REV# 0	
MO#	
DDI MM	22/10
YYYY	2020
BY: SS	

Warehouse #1 - Left Side View

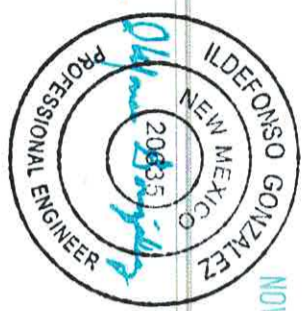


Warehouse #1 - Right side view



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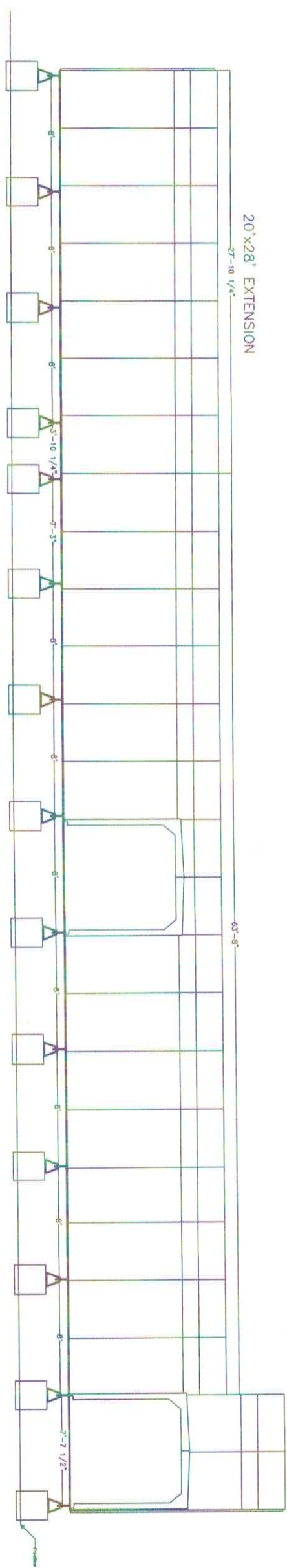
D. Ramirez
P.E., P.L.D.

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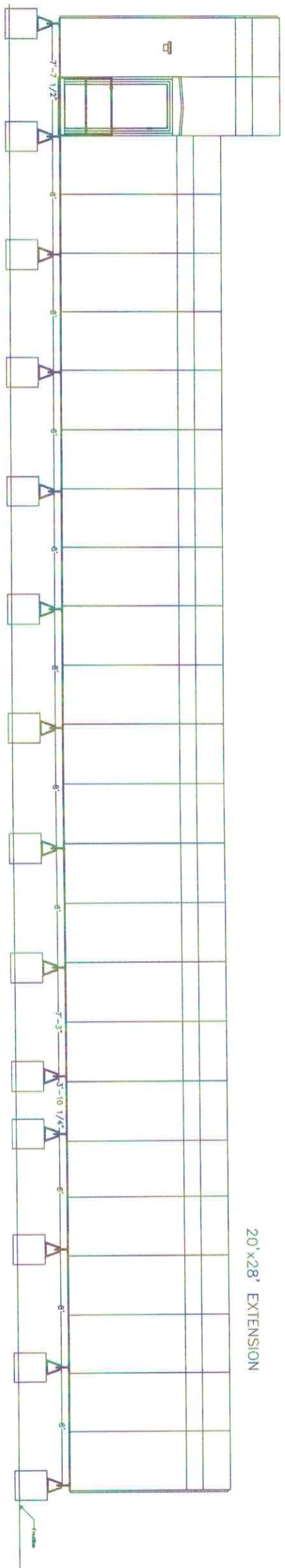


CLIENT:	Frito	PG#	FANME-03
LOCATION:	Albuquerque, NM	REV#	0
PROJECT:	Albuquerque warehouse	WO#	
VIEW:	Side elevation(warehouse#1)	DD	MM
SIZE:	20'wx100'lx13'9"h ext.	22	10
		2020	
		By:	SS

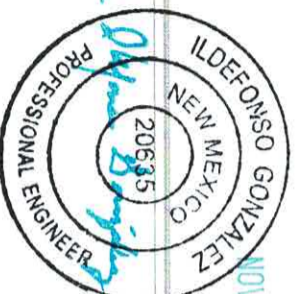
Warehouse #2 - Left Side View



Warehouse #2 - Right side view



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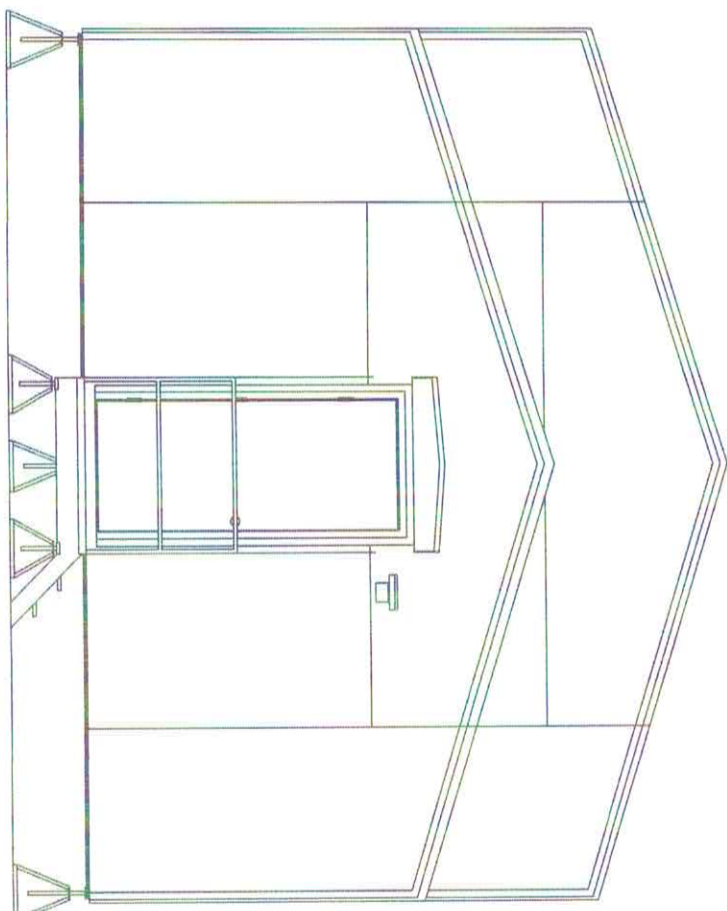
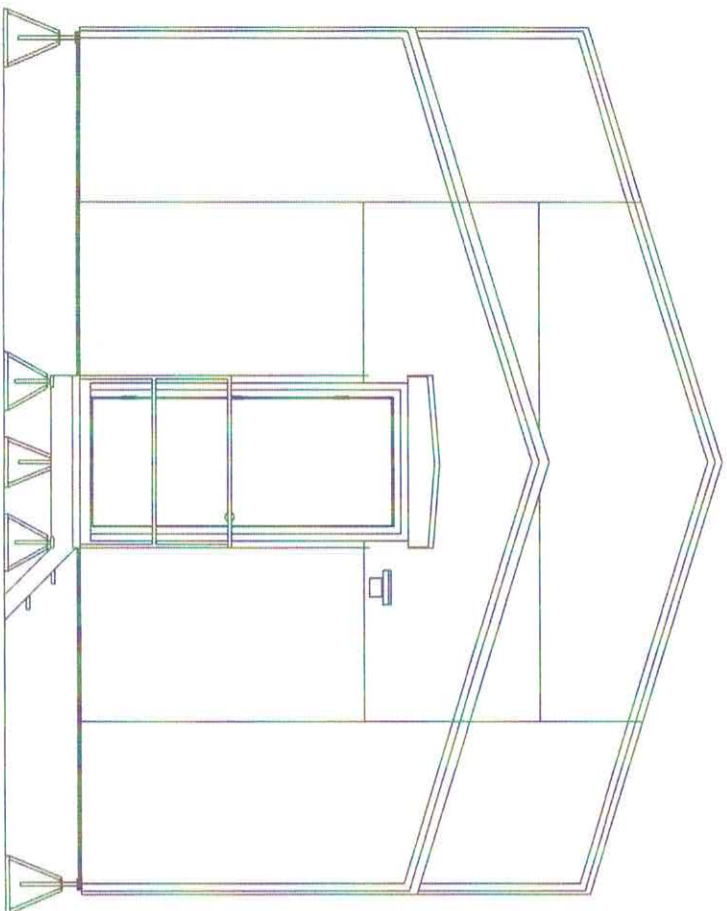
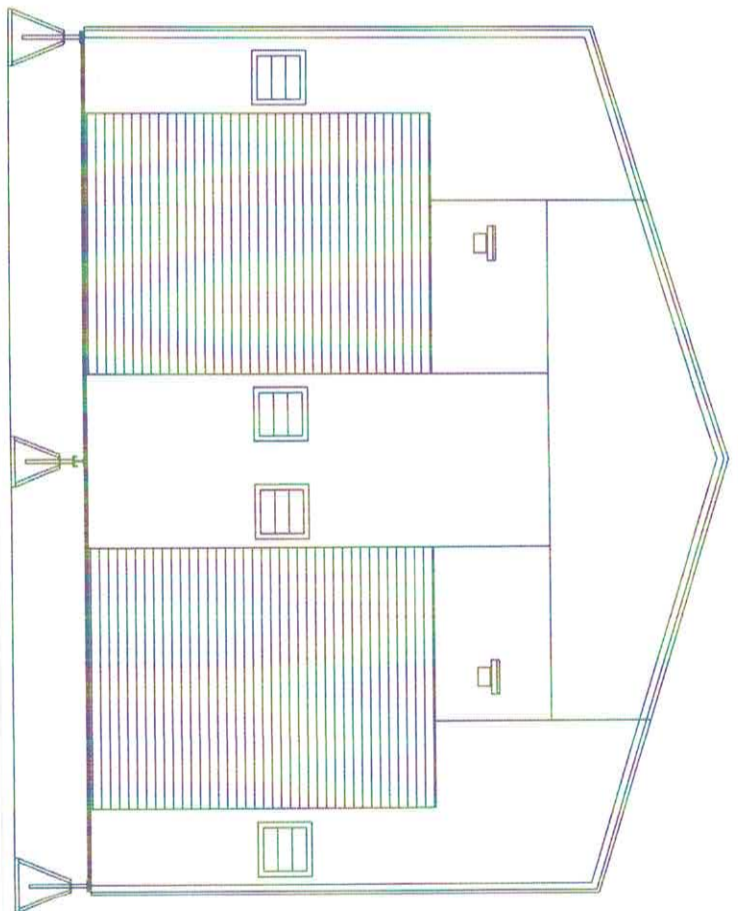
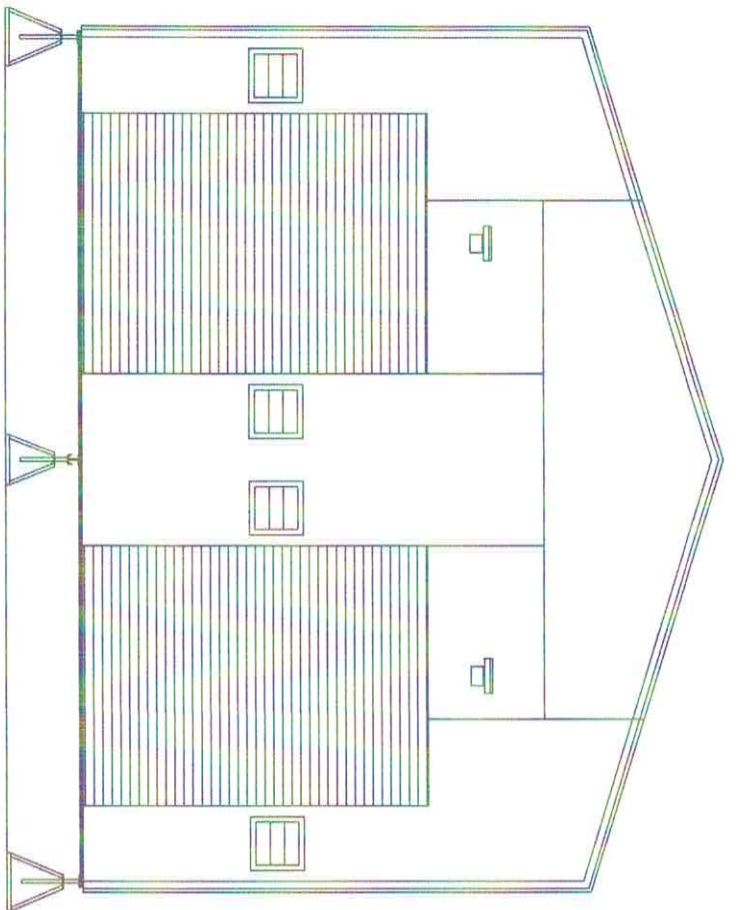
D. Gonzalez
P.E. P4D

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CLIENT:	Filo	PG#	FANME-04
LOCATION:	Albuquerque, NM	REV#	0
PROJECT:	Albuquerque warehouse	WO#	
VIEW:	Side elevation(warehouse#2)	DD	MM YYYY
SIZE:	20'wx100'lx13'9" h ext.		22 10 2020
		BY:	SS



Steel Floor:

Material:
 -steel angle 4x3x.250 thickness ASTM A 500, min. yield 50.0 ksi, min. tensile 62.0 ksi, along 2- $\frac{7}{8}$ " min 23
 -3x2.9 super light i-beam, min yield 80.0 ksi, min tensile 100.0 ksi, along 2- $\frac{7}{8}$ " min 18
 - $\frac{3}{4}$ " spruce 1&G

Layout:
 Steel angle runs on the outside length of the floor, i-beam runs the center length of the floor for support. I-beams are set at 24" o.c. running the width of the floor. Plywood is fastened with a 1- $\frac{1}{2}$ " drive pin fastening system.

Load Requirements:
 fiberglass enclosure - 9360 lbs
 steel floor with plywood - 6863 lbs

Required storage load at 100lbs/sq.ft over 960sq.ft(20'w x 72'l) - 144000 lbs

Total weight: 160223 lbs

Complete enclosure and flooring supported by 30 jacksstands with an ultimate load of 20000 lbs each, total weight load capacity: 600000 lbs

Anchoring:

Wind Speed(see Wind Load Calculator for more detail):
 V = 110 mph
 Pv = 30.98

Wall Length:

Wall Length = 100 ft
 Wall Height = 12/8 ft
 Surface Area = 832 sq.ft.

Total Wind Load =(Pv x sq.ft.) = 25 775.36 lbs

Anchoring:

2x $\frac{1}{2}$ " x 3- $\frac{3}{4}$ " anchor bolt set min. 2.24" in min. 4000 PSI concrete actual pull-out load = 7716 lbs

Anchors required

=TNL/APOL
 =2577536/7716
 =3.34 pcs

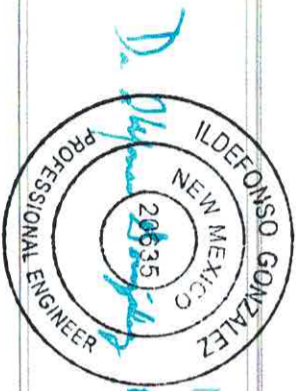
Straps:

Each strap is designed to withstand 5000lbs. There are 10 strap points
 =SP*SDL
 =10*5000
 =50000 lbs

NOTE:

This floor is only designed as a general storage and cannot be used for heavier warehouse loads. Maximum weight is 100 psf. It shall not be used for any other purpose unless rechecked and reseded.

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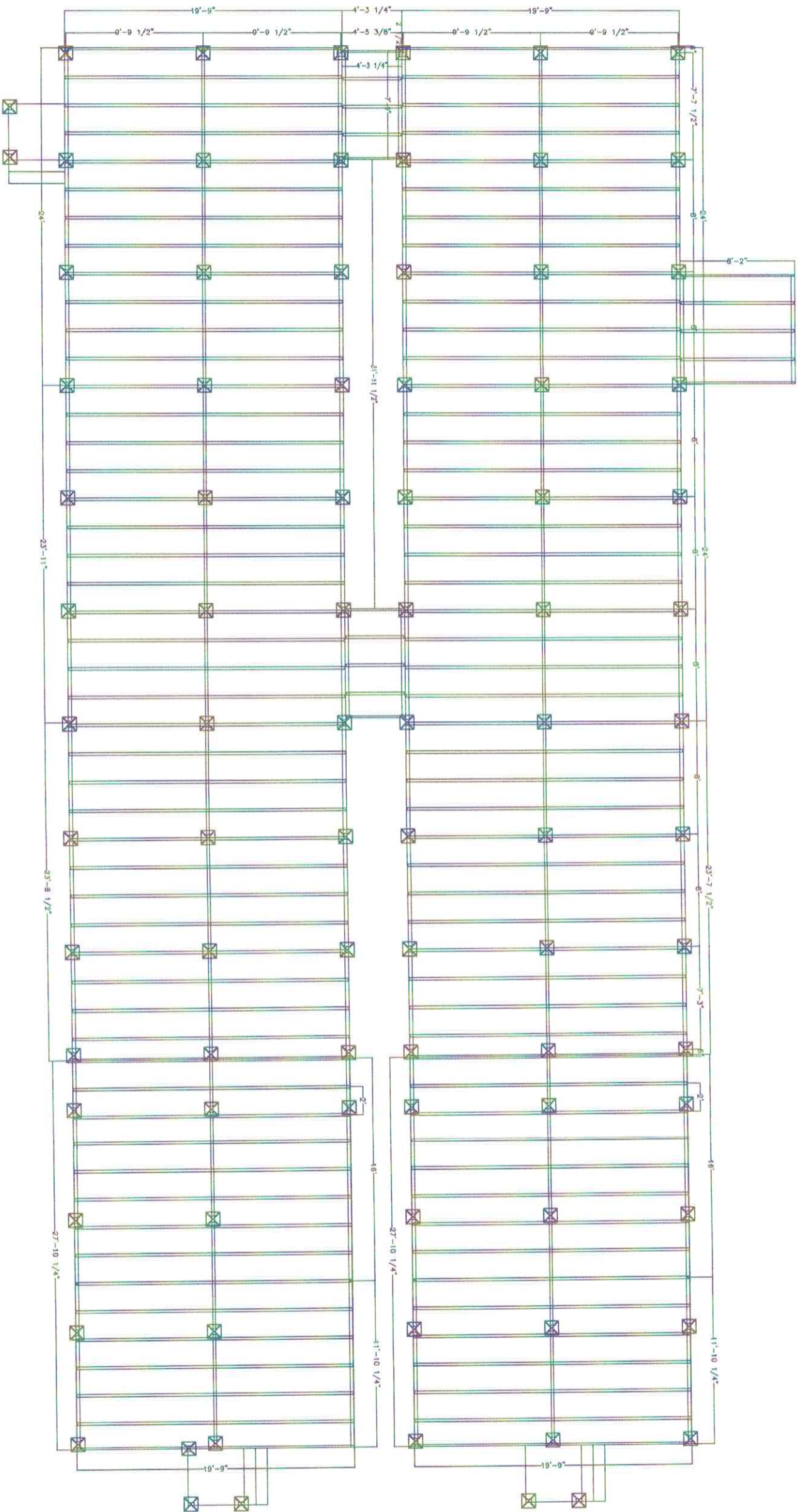
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PE. P4D

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CLIENT:	
LOCATION:	Frito
PROJECT:	Albuquerque, NM
REV#:	0
DATE:	Albuquerque warehouse
BY:	DDI MM/ YYYY
SCALE:	22.101 2020
	FRONT / Rear Elevation
	SIZE: 20'w x 100'l x 13'/9'h ext.
	PG# FANME-05
	REV# 0
	DDI MM/ YYYY
	22.101 2020
	BY: SS



Anchors - Located approximately every 8' o.c. next to exterior jackstands on all warehouses.

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D. Gonzalez
PE, P.E.D.

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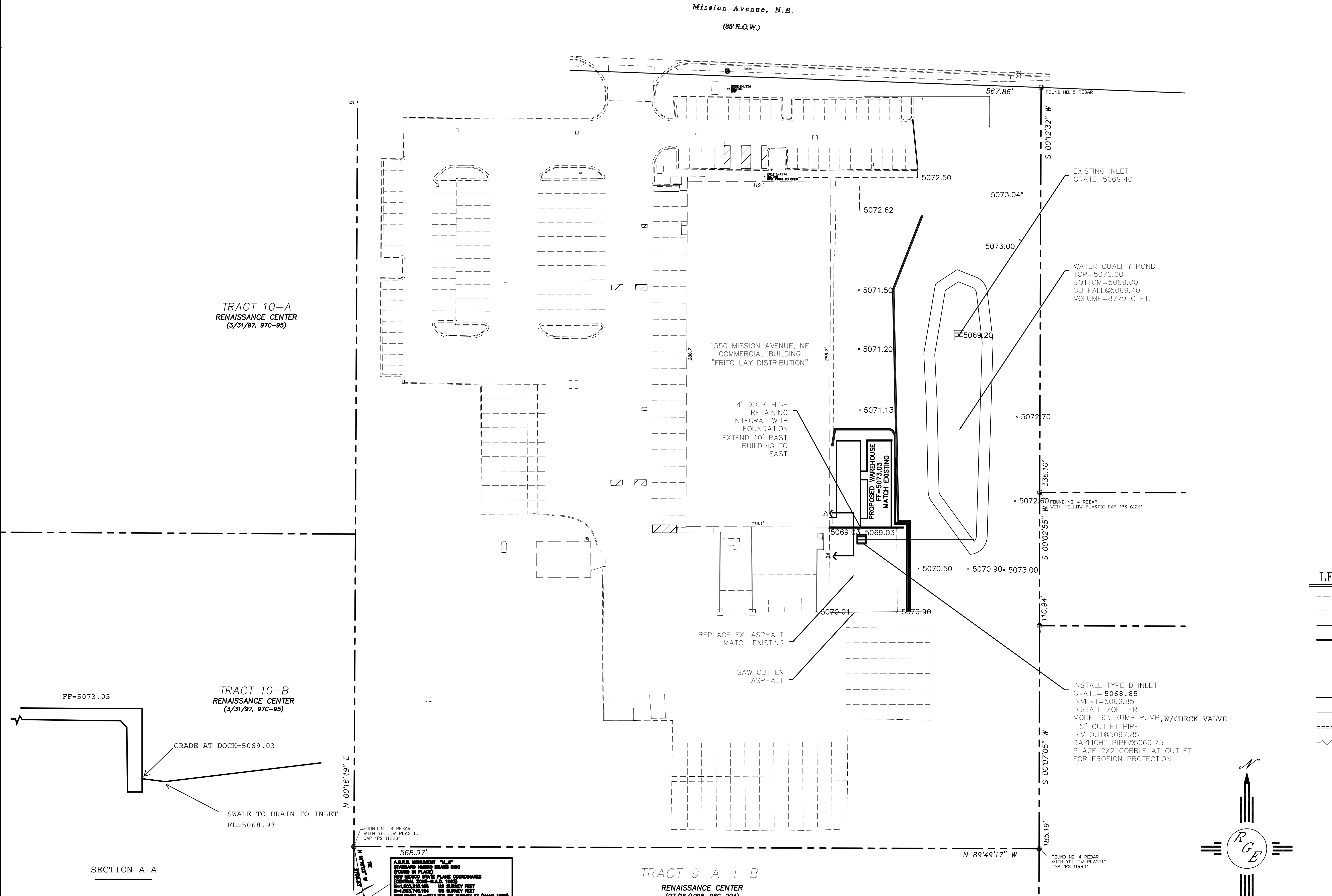
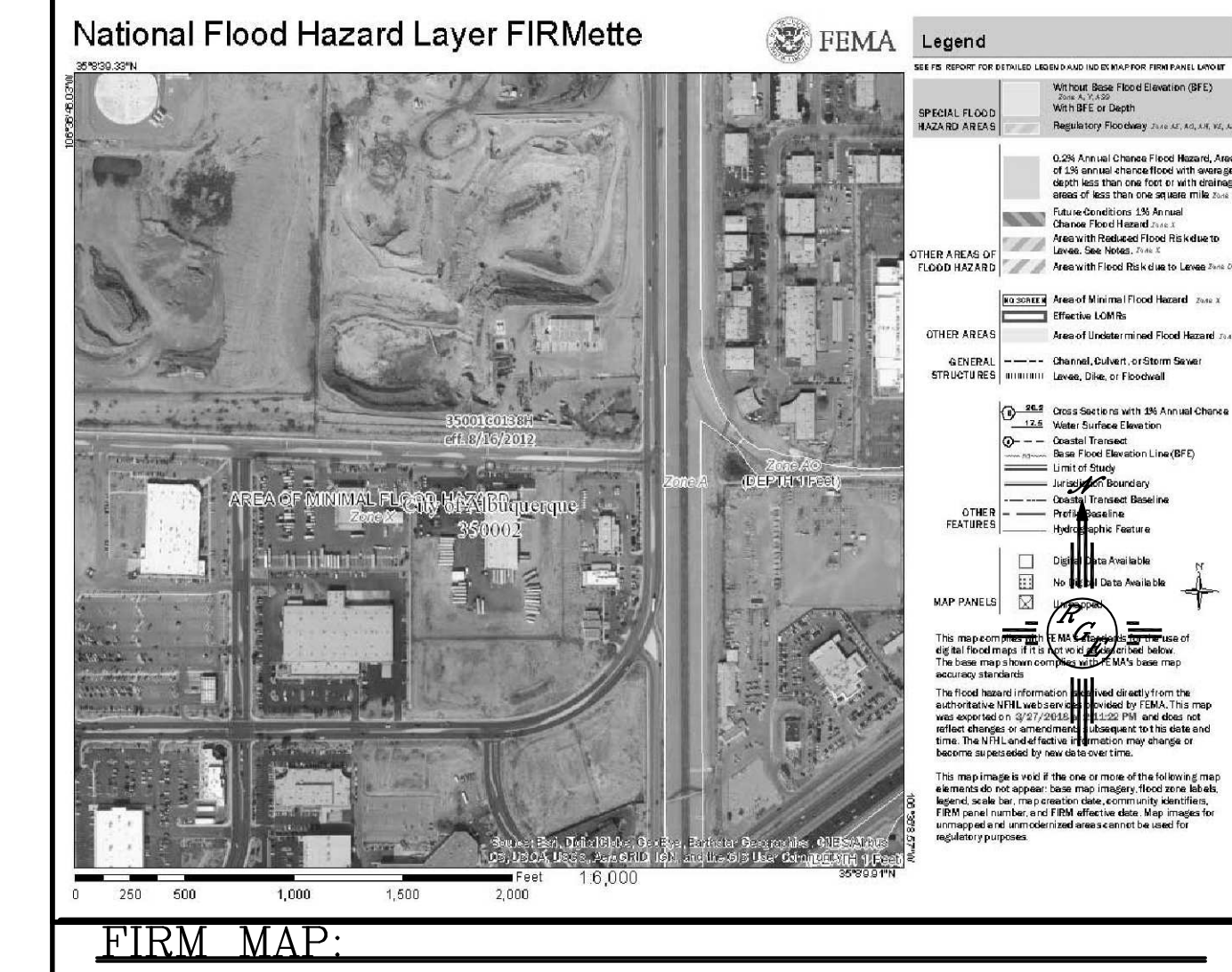
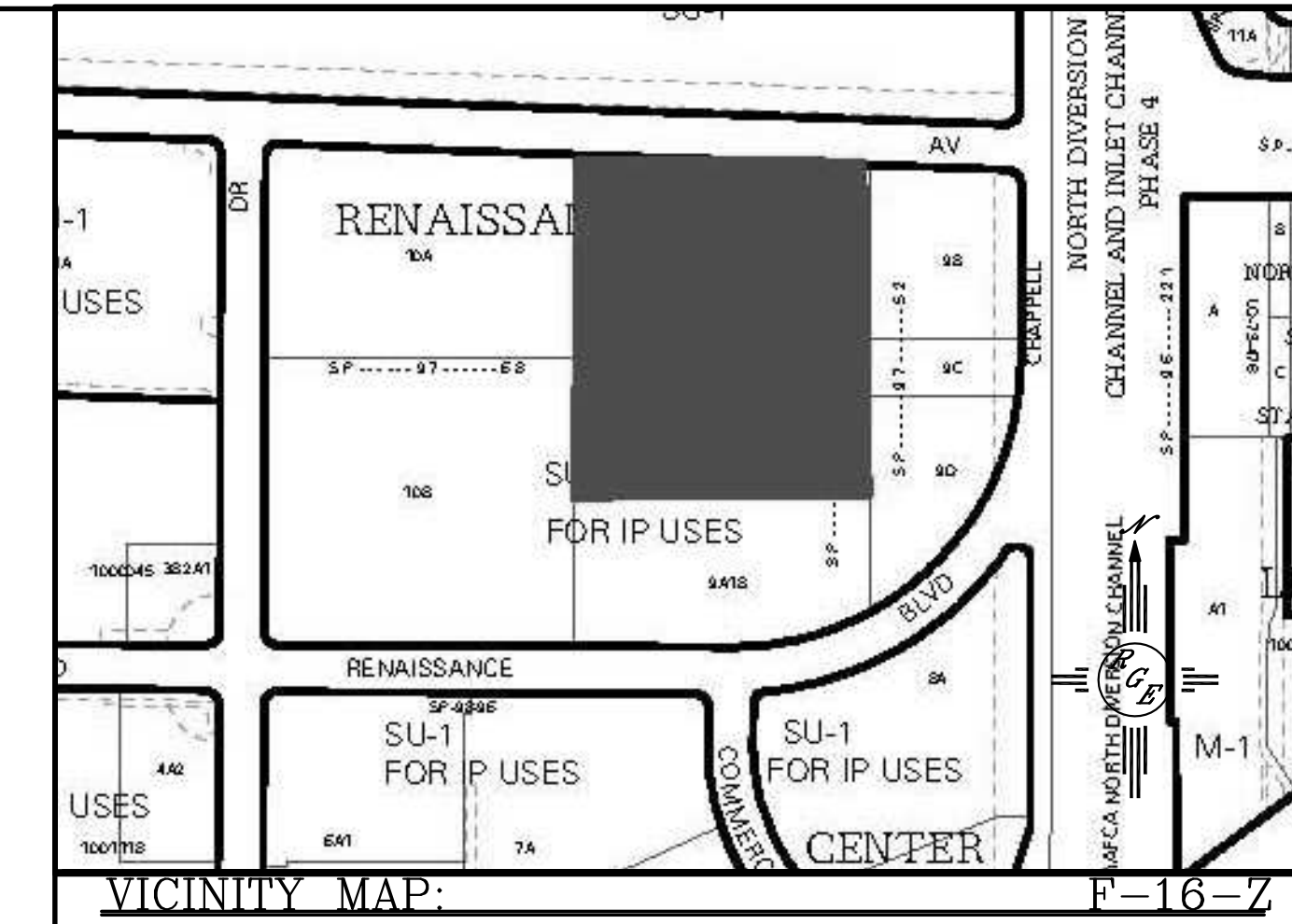
CLIENT:	Frito	PG#	FANME-06
LOCATION:	Albuquerque, NM	REV#	0
PROJECT:	Albuquerque warehouse	WO#	
MEW:	Steel floor	DD	MM YYYY
SIZE:	20'wx100'lx13' / 9'h ext.	BY:	SS

DRAINAGE NARRATIVE

THIS SITE WAS DESIGNED FOR FULLY DEVELOPED CONDITIONS. THE INITIAL CONSTRUCTION DID NOT PAVE ALL THE AREAS IDENTIFIED WITHIN THE APPROVED GRADING PLAN (F15-D51) THE DRAINAGE INFRASTRUCTURE WAS CONSTRUCTED AND THE PROPOSED ADDITIONAL BUILDING AND REPLACING EXISTING PAVEMENT THAT CONFORMS TO THE DEVELOPED CONDITION ASSUMPTIONS OF THE APPROVED PLANDUE TO THE LAYOUT OF THE SITE AND EXISTING INFRASTRUCTURE, A FIRST FLUSH POND IS CONSTRUCTED

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

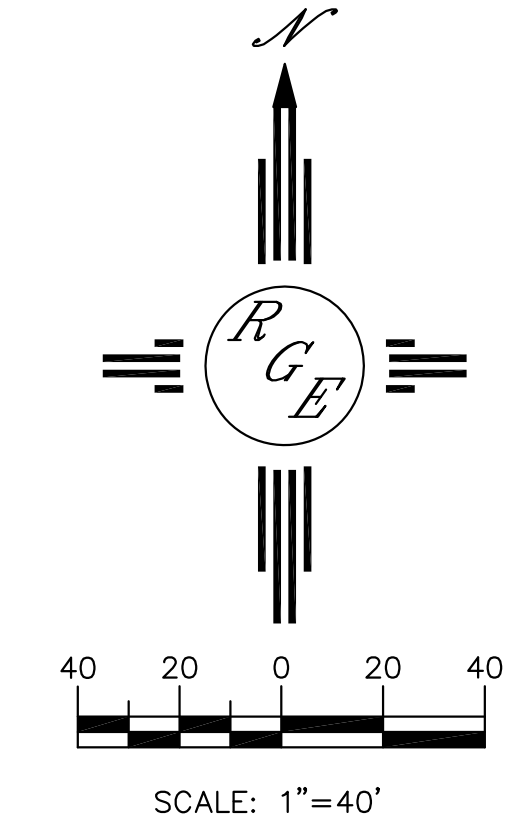


LEGAL DESCRIPTION:
Tract 9-A-1-A, Renaissance Center

NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

---	EXISTING CONTOUR
- - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
- - -	PROPOSED INDEX CONTOUR
▲	SLOPE TIE
x	EXISTING SPOT ELEVATION
·	PROPOSED SPOT ELEVATION
---	BOUNDARY
- - -	CENTERLINE
=====	EXISTING CURB
~~~~~	GRADE BREAK



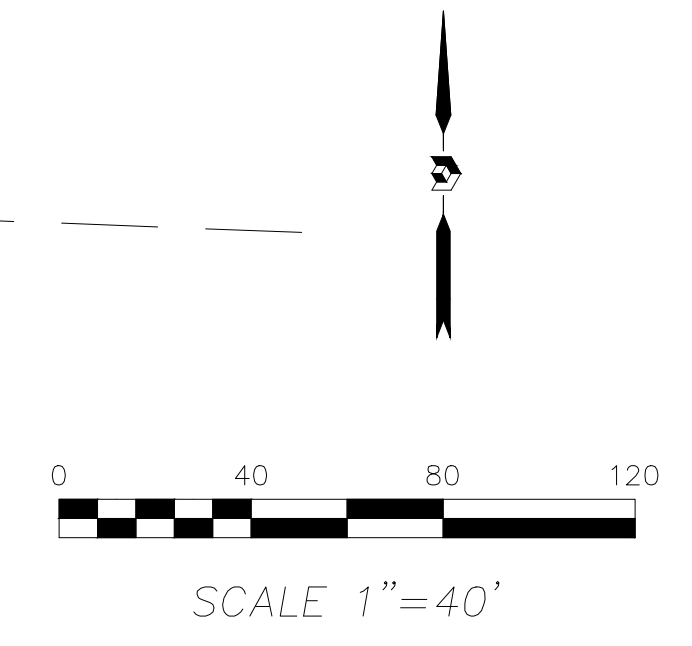
ENGINEER'S SEAL	FRITO LAY	DRAWN BY WCWJ
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 6-15-20
		210245-LAYOUT-6-15-20
6/16/20		SHEET #
DAVID SOULE P.E. #14522		JOB # 210245



# Mission Avenue, N.E.

(86' R.O.W.)

Site Plan of  
**Tract 9-A-1-A**  
**Renaissance Center**  
 City of Albuquerque, Bernalillo County, New Mexico  
 April 2020



TRACT 10-A  
 RENAISSANCE CENTER  
 (3/31/97, 97C-95)

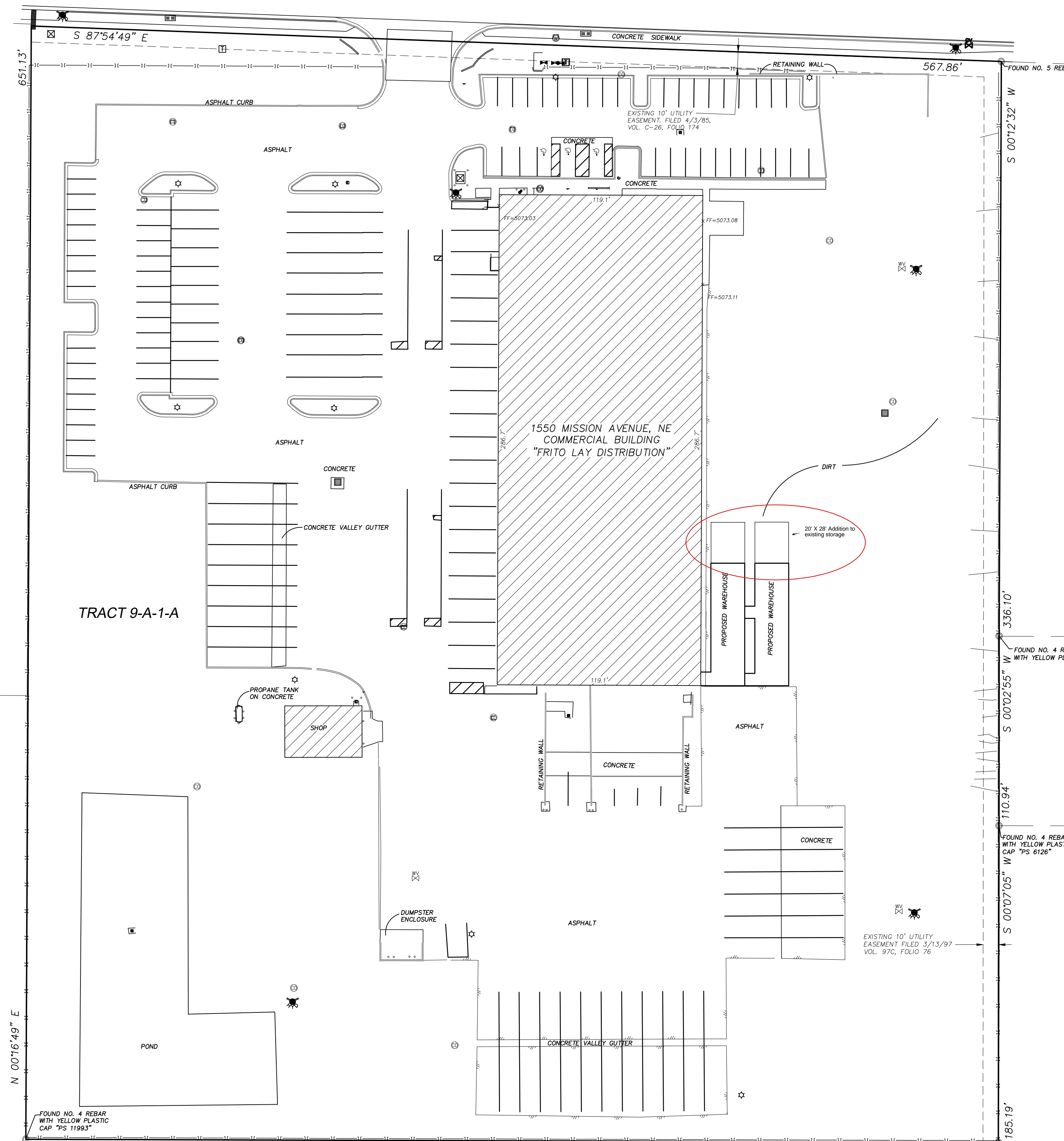
TRACT 9-B  
 RENAISSANCE CENTER  
 (3/13/97, 97C, 76)

TRACT 9-A-1-A

TRACT 9-C  
 RENAISSANCE CENTER  
 (3/13/97, 97C, 76)

TRACT 10-B  
 RENAISSANCE CENTER  
 (3/31/97, 97C-95)

TRACT 9-D  
 RENAISSANCE CENTER  
 (3/13/97, 97C, 76)



## Notes

- PLAT REFERENCES:  
 A. RENAISSANCE CENTER (07/16/1998, 98C-204)
- ELEVATION DATUM IS BASED ON NAVD 1988 FROM AGRS MONUMENT "M_6", PUBLISHED ELEVATION (FEET) = 5113.206
- LOCATION OF UNDERGROUND UTILITIES AND EASEMENTS NOT VERIFIED BY THIS PLAN. UNDERGROUND UTILITIES MAY EXIST WHERE NONE ARE SHOWN. UNDERGROUND UTILITY LOCATION IS BASED UPON INFORMATION PROVIDED BY OTHERS AND MAY BE INCOMPLETE OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE OWNER SHOULD INFORM HIMSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE OWNER IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES. THE OWNER IS URGED TO COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES, IN PLANNING AND CONDUCTING EXCAVATION. THE OWNER SHOULD MAKE THEMSELVES AWARE OF REGULATIONS STATED IN CHAPTER 62, ARTICLE 14, NMSA 1978 RELATING TO EXCAVATION DAMAGE TO PIPELINES AND UNDERGROUND UTILITY LINES.
- THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT HAVE BEEN DEMONSTRATED TO PRODUCE DATA THAT MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR A TOPOGRAPHIC MAP COMPILED AT A SCALE OF 1"=40' WITH A CONTOUR INTERVAL OF ONE FOOT.

568.97'  
 A.G.R.S. MONUMENT "M_6"  
 STANDARD MACH. BRASS DISC  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1502515.165 US SURVEY FEET  
 E=1533745.194 US SURVEY FEET  
 PUBLISHED E=1513,206 US SURVEY FT (NAVD 1988)  
 GRID TO GRID FACTOR=0.999672339  
 DELTA ALPHA ANGLE=-0°12'19.10"

TRACT 9-A-1-B  
 RENAISSANCE CENTER  
 (07/16/1998, 98C-204)

COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION			
STATE PLANE ZONE: <b>NM-C</b>	GRID (GROUND COORDINATES): <b>GRID</b>	TYPE: <b>STANDARD</b>		LAND GRANT: <b>ELENA GALLEGOS</b>				PROPERTY OWNER: <b>ROLLING FRITO-LAY SALES LP C/O GEORGE MCELROY &amp; ASSOC</b>					CREW/TECH: <b>MT</b>	DATE OF SURVEY: <b>04/16/2019</b>	
HORIZONTAL DATUM: <b>NAVD88</b>	VERTICAL DATUM: <b>NAVD88</b>	ROTATION ANGLE: <b>0° 00' 00.00"</b>	MATCHES DRAWING UNITS: <b>YES</b>	SECTION: <b>34</b>	TOWNSHIP: <b>11 NORTH</b>	RANGE: <b>03 EAST</b>	MERIDIAN: <b>NMPM</b>	SUBDIVISION NAME: <b>RENAISSANCE CENTER</b>					DRAWN BY: <b>JK</b>	CHECKED BY: <b>LM</b>	
CONTROL USED: <b>ALBUQUERQUE GEODETIC REFERENCE SYSTEM</b>	COMBINED SCALE FACTOR: <b>E = 0</b>	DISTANCE ANNOTATION: <b>E = 0</b>	BEARING ANNOTATION: <b>GRID</b>	CITY: <b>ALBUQUERQUE</b>	COUNTY: <b>BERNALILLO</b>	STATE: <b>NM</b>	UPC: <b>101606141931610220</b>						PSI JOB NO. <b>204040T</b>	SHEET NUMBER <b>1 OF 1</b>	



OFFICE LOCATION:  
 9200 San Mateo Boulevard, NE  
 Albuquerque, NM 87113  
 505.856.5700 PHONE  
 505.856.7900 FAX