

01 APPLICATION

02 LETTER OF AUTHORIZATION



Presbyterian Healthcare Services
P.O. Box 26666
Albuquerque, NM 87125-6666
(505) 841-1234
www.phs.org

July 1, 2020

Russell Brito
Urban Design & Development Director
City of Albuquerque Planning Department
600 Second Street NW | Albuquerque, NM 87102

**Re: Request for Minor Administrative Amendment of an approved Site Development Plan
Presbyterian Healthplex
6301 Forest Hills NE, Albuquerque NM 87107**

Dear Russell Brito,

This letter authorizes Dekker/Perich/Sabatini LLC and Bohannon Huston Inc. to represent Presbyterian Healthcare Services with regard to the design and approval of all necessary steps related to the regulatory and permitting process with the city of Albuquerque for Presbyterian Healthplex. This letter authorizes Dekker/Perich/Sabatini LLC and Bohannon Huston Inc. to act as Presbyterian Healthcare Services' agent as necessary with the permitting and associated approval processes required for the proposed facilities on the property referenced above.

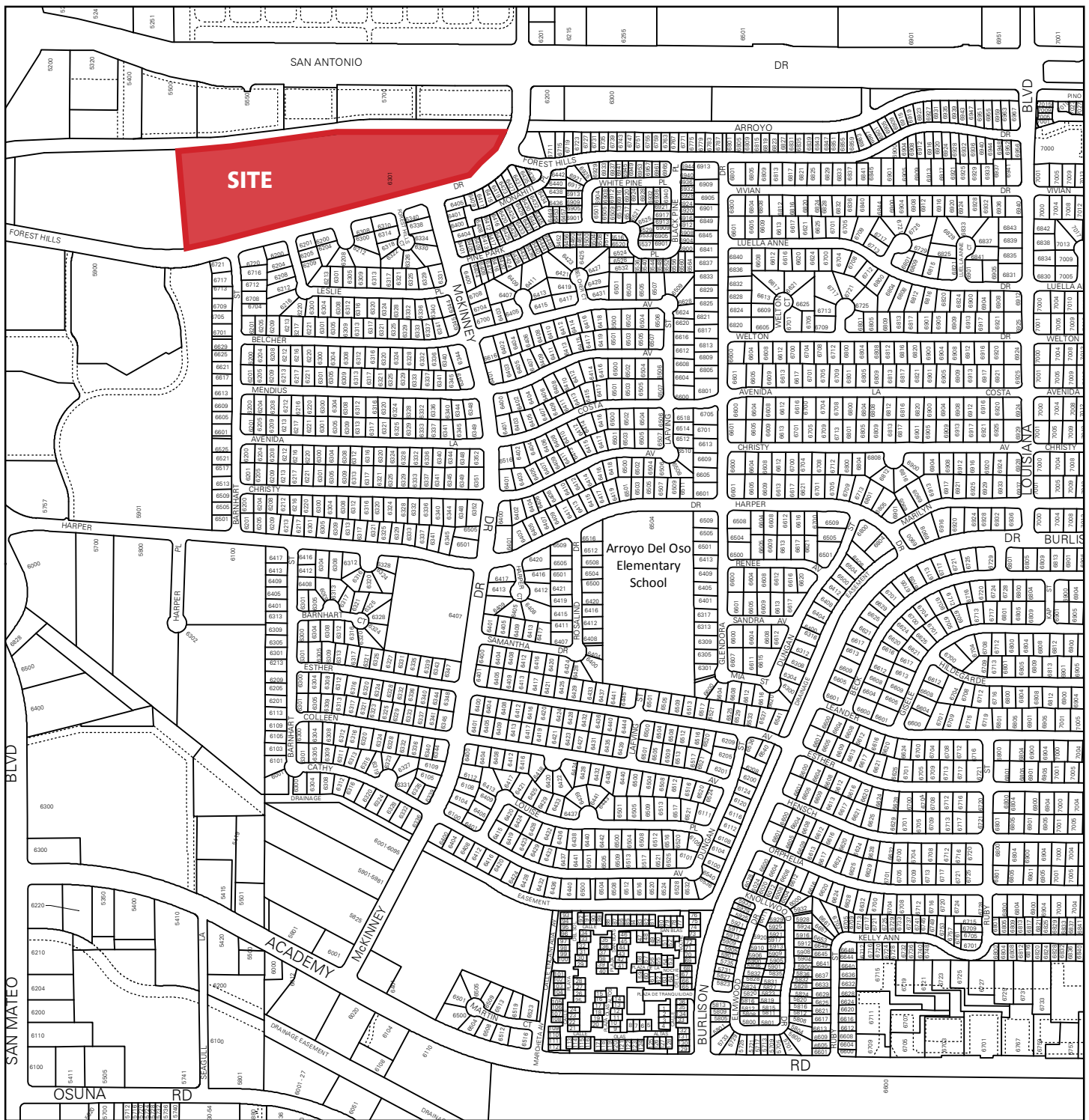
Please contact me at 563-6641 if there are any questions.

Sincerely,

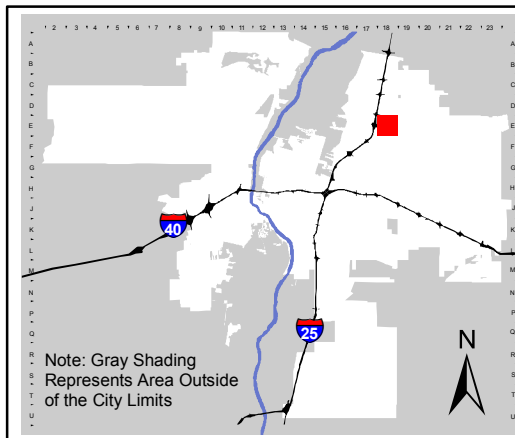
A handwritten signature in blue ink, appearing to read "James R. Jeppson".

James R. Jeppson
VP Real Estate and Construction

03 ZONE ATLAS MAP



For more current information and details visit: www.cabq.gov/gis

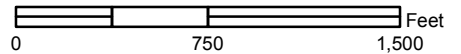
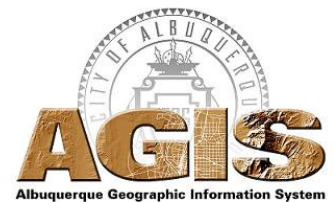


Address Map Page:

E-18-Z

Map Amended through:
3/17/2017

These addresses are for informational purposes only and are not intended for address verification.



04 FORM P3

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 6/22/2020</p>
<p>Printed Name: Anthony Santi</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number: PR-2020-004081</p>	<p>Case Numbers: SI-2020-00573</p>
<p>Staff Signature:</p>	
<p>Date:</p>	

05 JUSTIFICATION LETTER

July 2, 2020

Russell Brito
Urban Design & Development Director
City of Albuquerque Planning Department
600 Second Street NW | Albuquerque, NM 87102

**Re: Request for Minor Administrative Amendment of an approved Site Development Plan
Presbyterian Healthplex
6301 Forest Hills NE, Albuquerque NM 87107**

Dear Russell Brito,

Presbyterian Healthcare Services, owner of the subject property, is seeking to amend the existing site development plan for the Pres Healthplex located at 36301 Forest Hills NE. This request will facilitate slight modifications to the footprint of the originally approved pool addition on the southern façade of the existing facility and new parking on the northwest of the facility.

The original site plan for the Healthplex site was approved in the 1990's and included a future phase to accommodate a pool. Presbyterian plans to proceed with the expansion of the Healthplex, but is requesting a minor amendment to accommodate modifications to the originally approved footprint and expansion of the western parking lot. The revised expansion plans are proposed to occur over three phases that would result in an addition which will be of the same square footage as originally approved, but makes modifications to the original footprint to accommodate modern facility design concepts. In addition, the proposed site plan proposes to add 61 new parking spaces to the west of the existing facility.

The originally approved site plan does not appear to have included approved development standards drafted uniquely for the Healthplex facility. This request therefore defaults to the development standards of the Integrated Development Ordinance (IDO) for requirements such as off-street parking. The proposed addition and off-street parking that is the basis of this request complies with all applicable City regulations and meets the intent of the original Healthplex approval.

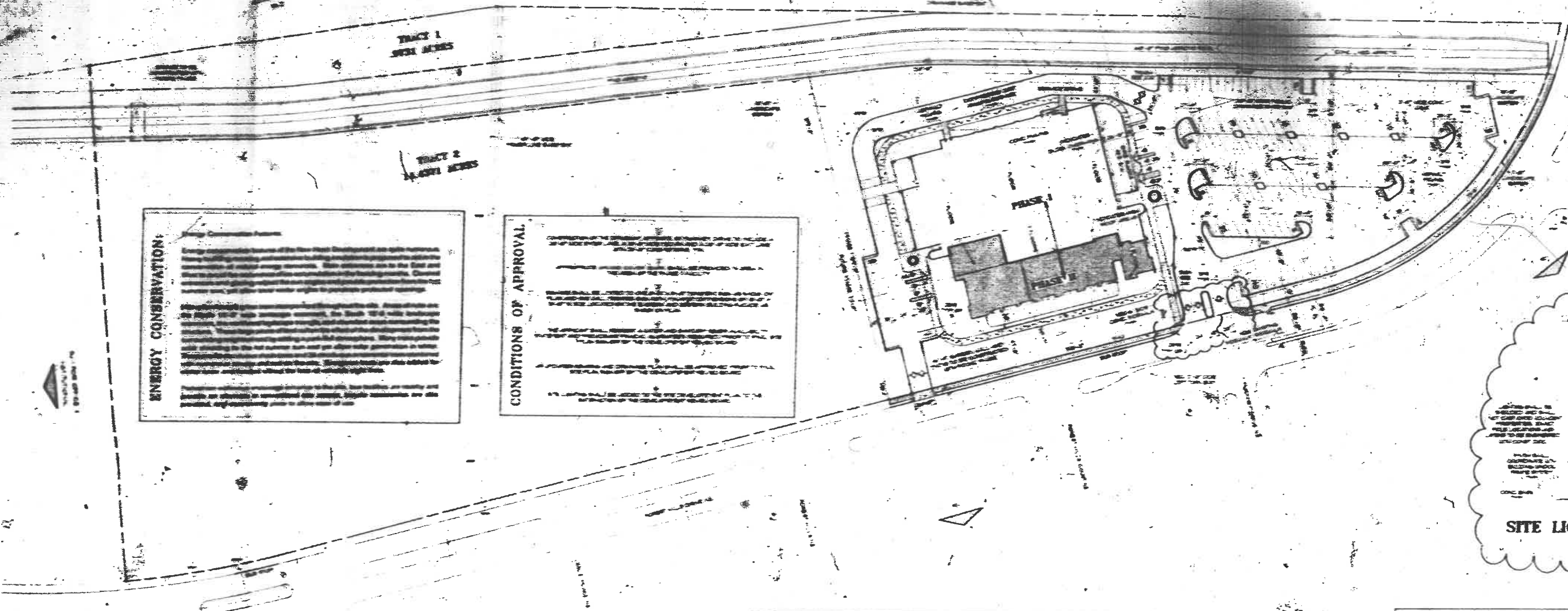
Based upon the rationale presented in this letter, we respectfully request administrative approval of the proposed amendment to the approved Site Development Plan to facilitate the expansion of the Presbyterian Healthplex. If you have any questions or need clarification of anything contained herein, please contact me by phone at 761-9700.

Sincerely,



Will Gleason, Dekker/Perich/Sabatini
Agent for Presbyterian Healthcare Services

06 PRIOR APPROVED SITE PLAN

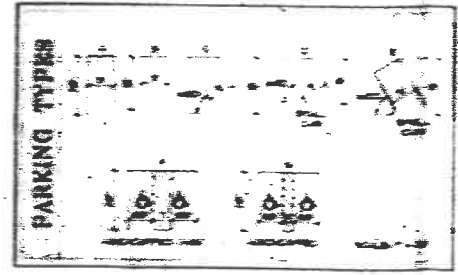
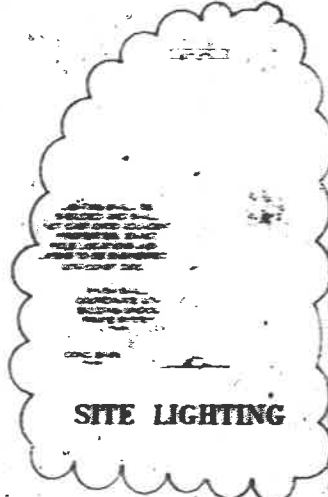


ENERGY CONSERVATION:

The design of this building is in accordance with the requirements of the Energy Conservation Act of 1976, Public Law 94-163, as amended. The building is designed to meet the minimum energy efficiency requirements of the Act. The building is designed to be energy efficient and to conserve energy. The building is designed to be energy efficient and to conserve energy. The building is designed to be energy efficient and to conserve energy.

CONDITIONS OF APPROVAL:

The applicant is required to comply with the following conditions of approval: 1. The applicant shall provide a copy of this plan to the appropriate agencies for their review and approval. 2. The applicant shall provide a copy of this plan to the appropriate agencies for their review and approval. 3. The applicant shall provide a copy of this plan to the appropriate agencies for their review and approval.



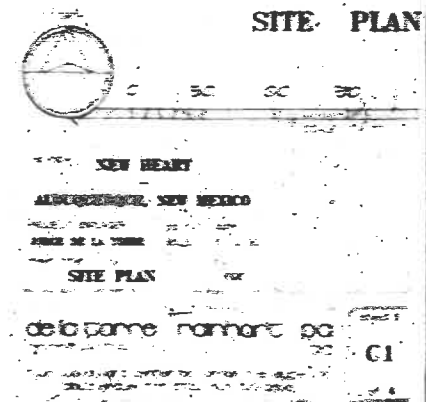
2-84-22-3

SIGNATURE BLOCK

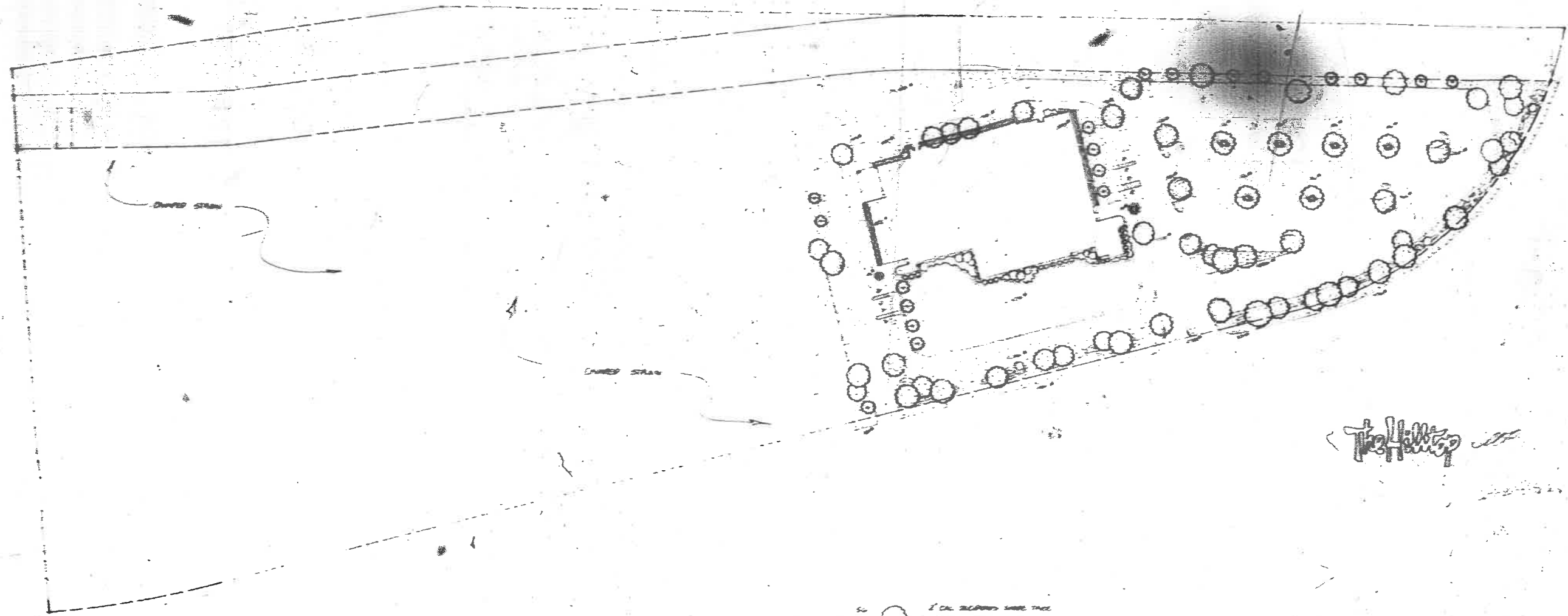
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PROJECT INFORMATION

LOCATION:	1000 S. 1000 E. OF 1000 N. 1000 W. 1000 E. 1000 W.	TOTAL BUILDING AREA:	1000 SQ. FT.
OWNER:	1000 S. 1000 E. 1000 W. 1000 E. 1000 W.	OFFICE:	1000 SQ. FT.
ARCHITECT:	1000 S. 1000 E. 1000 W. 1000 E. 1000 W.	LABORATORY:	1000 SQ. FT.
LEGAL DESCRIPTION:	1000 S. 1000 E. 1000 W. 1000 E. 1000 W.	CONFERENCE ROOM:	1000 SQ. FT.
CURRENT ZONING:	1000 S. 1000 E. 1000 W. 1000 E. 1000 W.	RESTROOM:	1000 SQ. FT.
TOTAL AREA:	1000 S. 1000 E. 1000 W. 1000 E. 1000 W.	RECEPTION:	1000 SQ. FT.
BUILDING SITE COVERAGE:	1000 S. 1000 E. 1000 W. 1000 E. 1000 W.	STORAGE:	1000 SQ. FT.
EXISTING ATLAS PAGE:	1000 S. 1000 E. 1000 W. 1000 E. 1000 W.	TRASH:	1000 SQ. FT.
TOTAL LANDSCAPED AREA:	1000 S. 1000 E. 1000 W. 1000 E. 1000 W.	MEETING ROOM:	1000 SQ. FT.
PERCENTAGE OF LANDSCAPED AREA:	1000 S. 1000 E. 1000 W. 1000 E. 1000 W.	TRAINING ROOM:	1000 SQ. FT.
LANDSCAPE TO PARKING AREA RATIO:	1000 S. 1000 E. 1000 W. 1000 E. 1000 W.	WORKSHOP:	1000 SQ. FT.



2 5812
Z-84-22-3



The Hilltop

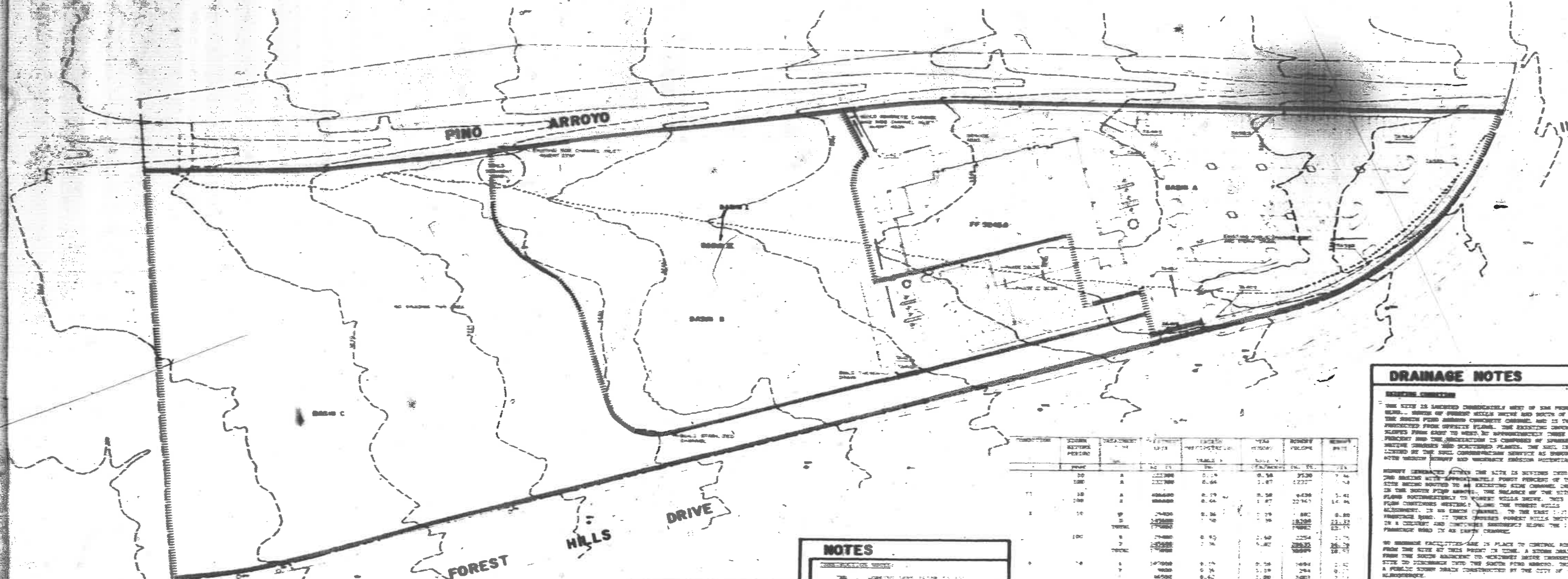
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- 98" OIL SCREED 1/2" DIA. TREE
- 100" OIL SCREED 1/2" DIA. TREE

2: 84-22-3
9 of 12

LANDSCAPING PLAN

LAND AREA 28,000 P
 BLDG AREA (FOOTPRINT) 3,000 P
 NET LOT AREA 17,145 P
 1/2" REQUIRED LANDSCAPING 25,000 P
 LANDSCAPING PROVIDED 82,344 P Plus 2 5200' LANDSCAPING AREA

NEW HEART
 ALBUQUERQUE, NEW MEXICO
 1000 N. 10TH ST.
 ALBUQUERQUE, N.M. 87102
 PHONE (505) 263-1234
 FAX (505) 263-1234
 GRADE DRAIN



DRAINAGE NOTES

EXISTING CHANNELS
 THE SITE IS SITUATED IMMEDIATELY WEST OF THE PINO ARROYO. PORTIONS OF PINO ARROYO EXIST TO THE NORTH AND SOUTH OF THE SITE. PINO ARROYO IS A CONCRETE CHANNEL AND IS MAINTAINED FROM SURFACE FLOW. THE EXISTING CHANNEL FLOWS FROM EAST TO WEST. IN APPROXIMATELY THREE PERCENT AND THE DRAINAGE IS COMPOSED OF GRADE DITCHES AND SCATTERED PONDAGE. THE SOIL IS CLASSIFIED BY THE SOIL CONSERVATION SERVICE AS SANDY SILTY CLAY LOAM AND MODERATELY IMPROVED. DRAINAGE FACILITIES ARE IN PLACE TO CONTROL SURFACE FLOW FROM THE NORTH AND SOUTH PORTIONS OF THE SITE. DRAINAGE TO AN EXISTING SIDE CHANNEL DRAIN IN THE SOUTH PINO ARROYO. THE BALANCE OF THE SITE FLOWS SOUTHWESTWARD TO FOREST HILLS DRIVE. THIS FLOW CONTINUES WESTWARD ALONG THE FOREST HILLS DRIVE TO AN EXISTING CHANNEL. TO THE EAST OF THE FOREST HILLS DRIVE IS A CHANNEL AND DRAINAGE SYSTEM WHICH IS A PUBLIC STREET DRAIN MAINTAINED BY THE CITY OF NEW ORLEANS.

PROPOSED CHANNELS
 THE EASTERN ONE THIRD OF THE SITE IS TO BE DEVELOPED AS A MEDICAL FACILITY. THIS IS ALSO THE UPSTREAM PORTION OF THE SITE. SURFACE DRAINAGE OF THE PROPOSED PORTION OF THE SITE SHALL BE DRAINAGE TO THE SOUTH PINO ARROYO. ALL OF THE REMAINING AREA SHALL BE DRAINAGE TO A PROPOSED SIDE CHANNEL DRAIN IN THE VICINITY OF THE PROPOSED EXISTING EXHAUST CHANNEL. THE BALANCE OF THE DRAINAGE AREA AND APPROXIMATELY FORTY PERCENT OF THE REMAINING AREA SHALL BE DRAINAGE TO THE SOUTH PINO ARROYO. THE EXISTING SIDE CHANNEL DRAIN VIA A COMBINED CHANNEL AND INTERSECTION POND.

NO DRAINAGE FACILITIES ARE IN PLACE TO CONTROL SURFACE FLOW FROM THE WEST PORTION OF THE SITE. A STORM DRAIN FROM THE SOUTH PINO ARROYO TO FOREST HILLS DRIVE AND THE SITE TO DRAINAGE INTO THE SOUTH PINO ARROYO. THIS IS A PUBLIC STREET DRAIN MAINTAINED BY THE CITY OF NEW ORLEANS.

NO DRAINAGE FACILITIES ARE IN PLACE TO CONTROL SURFACE FLOW FROM THE WEST PORTION OF THE SITE. A STORM DRAIN FROM THE SOUTH PINO ARROYO TO FOREST HILLS DRIVE AND THE SITE TO DRAINAGE INTO THE SOUTH PINO ARROYO. THIS IS A PUBLIC STREET DRAIN MAINTAINED BY THE CITY OF NEW ORLEANS.

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SECTION	SLOPE PERCENT	LENGTH	AREA	VOLUME		TOTAL VOLUME	COST
				CUBIC YD.	CU. FT.		
1	0.50	100	10000	5000	5000	1000	
2	0.75	150	15000	7500	7500	1500	
3	1.00	200	20000	10000	10000	2000	
4	1.25	250	25000	12500	12500	2500	
5	1.50	300	30000	15000	15000	3000	
6	1.75	350	35000	17500	17500	3500	
7	2.00	400	40000	20000	20000	4000	
8	2.25	450	45000	22500	22500	4500	
9	2.50	500	50000	25000	25000	5000	
10	2.75	550	55000	27500	27500	5500	
11	3.00	600	60000	30000	30000	6000	
12	3.25	650	65000	32500	32500	6500	
13	3.50	700	70000	35000	35000	7000	
14	3.75	750	75000	37500	37500	7500	
15	4.00	800	80000	40000	40000	8000	
16	4.25	850	85000	42500	42500	8500	
17	4.50	900	90000	45000	45000	9000	
18	4.75	950	95000	47500	47500	9500	
19	5.00	1000	100000	50000	50000	10000	
TOTAL							

NOTES

1. THE PROPOSED DRAINAGE SYSTEM IS BASED ON THE ASSUMPTION THAT THE EXISTING CHANNELS ARE MAINTAINED AND THE PROPOSED CHANNELS ARE MAINTAINED.

2. THE PROPOSED DRAINAGE SYSTEM IS BASED ON THE ASSUMPTION THAT THE EXISTING CHANNELS ARE MAINTAINED AND THE PROPOSED CHANNELS ARE MAINTAINED.

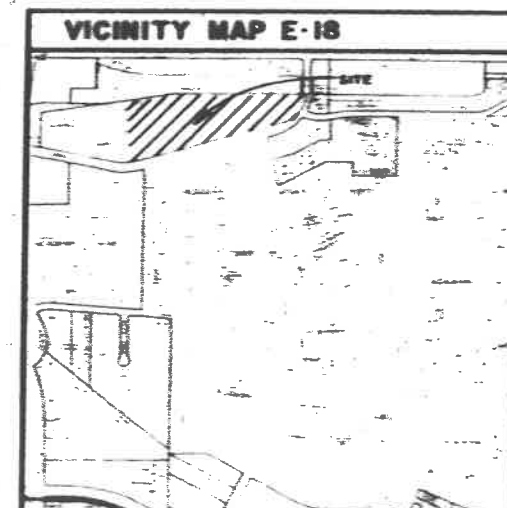
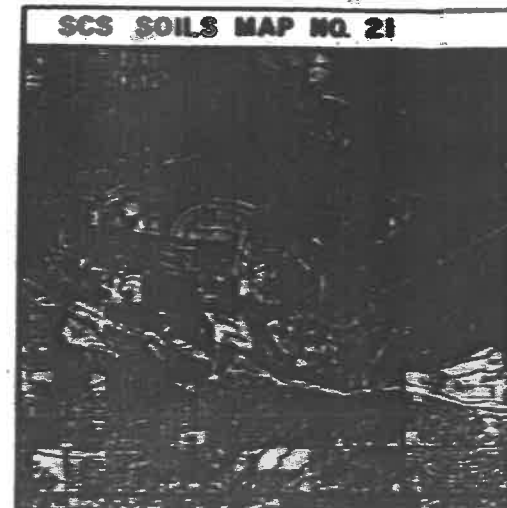
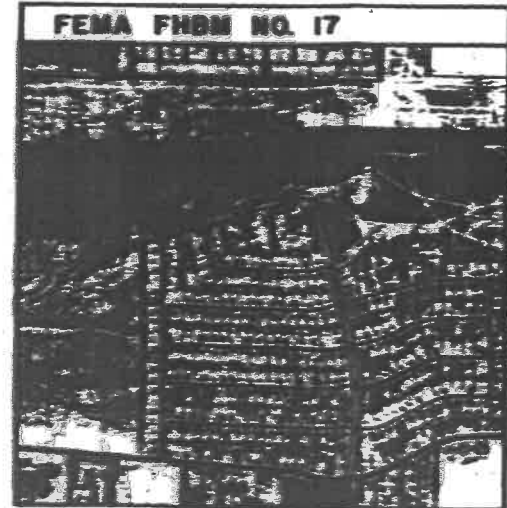
3. THE PROPOSED DRAINAGE SYSTEM IS BASED ON THE ASSUMPTION THAT THE EXISTING CHANNELS ARE MAINTAINED AND THE PROPOSED CHANNELS ARE MAINTAINED.

CONSTRUCTION

1. THE PROPOSED DRAINAGE SYSTEM IS BASED ON THE ASSUMPTION THAT THE EXISTING CHANNELS ARE MAINTAINED AND THE PROPOSED CHANNELS ARE MAINTAINED.

2. THE PROPOSED DRAINAGE SYSTEM IS BASED ON THE ASSUMPTION THAT THE EXISTING CHANNELS ARE MAINTAINED AND THE PROPOSED CHANNELS ARE MAINTAINED.

3. THE PROPOSED DRAINAGE SYSTEM IS BASED ON THE ASSUMPTION THAT THE EXISTING CHANNELS ARE MAINTAINED AND THE PROPOSED CHANNELS ARE MAINTAINED.



LEGAL DESCRIPTION

SECTION 10, TOWNSHIP 10 N, RANGE 10 E, MERIDIAN 10 W, PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

PERMANENT BM

BM 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

TOPO SOURCE

TOPOGRAPHY SOURCE OF THIS SHEET IS BASED ON AERIAL PHOTOGRAPHS DATED SEPTEMBER 1954. THESE PHOTOS WERE SUPPLIED BY THE U.S. ARMY CORPS OF ENGINEERS, NEW ORLEANS, LOUISIANA.

LEGEND

- PROPOSED DRAINAGE CHANNEL
- EXISTING DRAINAGE CHANNEL
- PROPOSED SIDE CHANNEL
- EXISTING SIDE CHANNEL
- PROPOSED EXHAUST CHANNEL
- EXISTING EXHAUST CHANNEL
- PROPOSED PONDAGE
- EXISTING PONDAGE
- PROPOSED INTERSECTION POND
- EXISTING INTERSECTION POND
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PROPOSED DRIVE
- EXISTING DRIVE
- PROPOSED LOT
- EXISTING LOT
- PROPOSED BOUNDARY
- EXISTING BOUNDARY

CONCEPTUAL GRADING AND DRAINAGE PLAN

NEW HEART
 ARCHITECTS, NEW ORLEANS, LOUISIANA
 1000 PINE STREET
 NEW ORLEANS, LOUISIANA 70112
 GRADE 1000

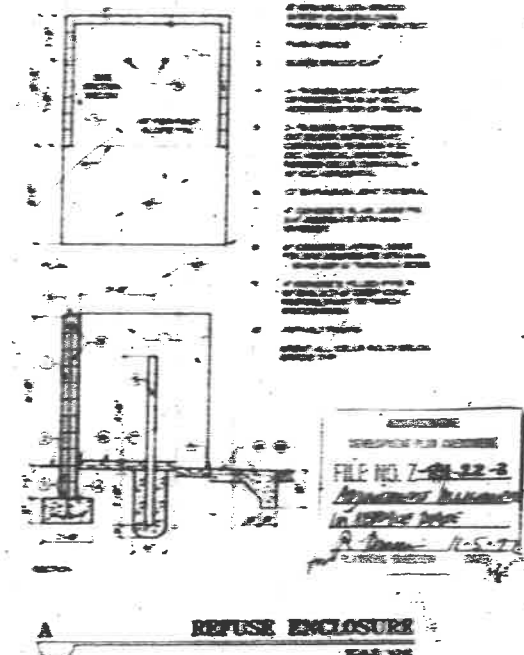
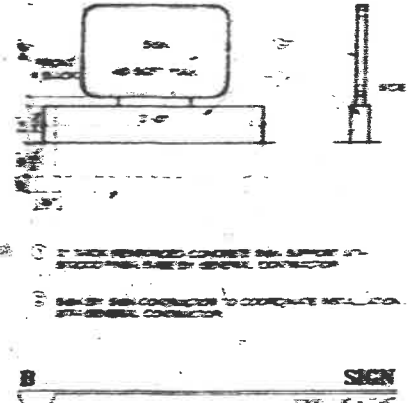
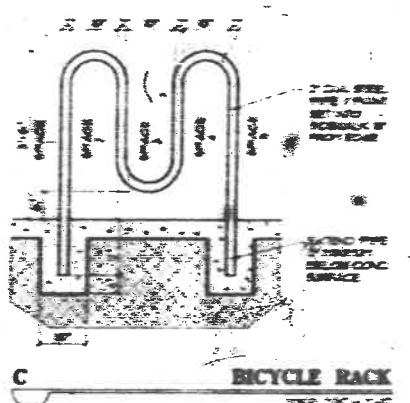
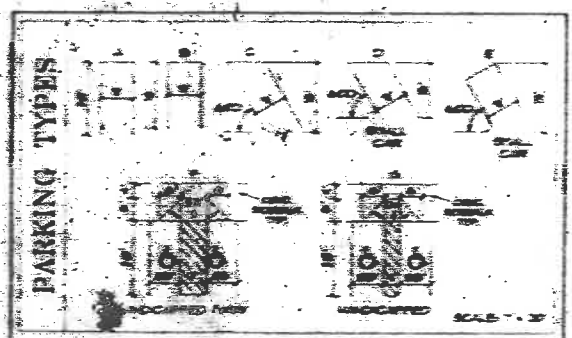
2-84-22-3
 3 of 12



GENERAL NOTE:

KEYED NOTES:

- 1. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI CODE.
- 2. ALL REINFORCING SHALL BE PLACED AND TIED AS SHOWN ON THE DRAWINGS.
- 3. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI CODE.
- 4. ALL CONCRETE SHALL BE CURED AS SHOWN ON THE DRAWINGS.
- 5. ALL CONCRETE SHALL BE TESTED AS SHOWN ON THE DRAWINGS.
- 6. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI CODE.
- 7. ALL CONCRETE SHALL BE CURED AS SHOWN ON THE DRAWINGS.
- 8. ALL CONCRETE SHALL BE TESTED AS SHOWN ON THE DRAWINGS.
- 9. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI CODE.
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- 11. ALL CONCRETE SHALL BE TESTED AS SHOWN ON THE DRAWINGS.
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- 14. ALL CONCRETE SHALL BE TESTED AS SHOWN ON THE DRAWINGS.
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- 16. ALL CONCRETE SHALL BE CURED AS SHOWN ON THE DRAWINGS.
- 17. ALL CONCRETE SHALL BE TESTED AS SHOWN ON THE DRAWINGS.
- 18. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI CODE.
- 19. ALL CONCRETE SHALL BE CURED AS SHOWN ON THE DRAWINGS.
- 20. ALL CONCRETE SHALL BE TESTED AS SHOWN ON THE DRAWINGS.



SITE PLAN

SCALE: 1\"/>

FILE NO. 7-84-22-3
 Approved by
 in office of
 1-5-77

PRESBYTERIAN NEW HEART
 ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER: 7-84-22-3
 CONTRACT NUMBER: 1-5-77

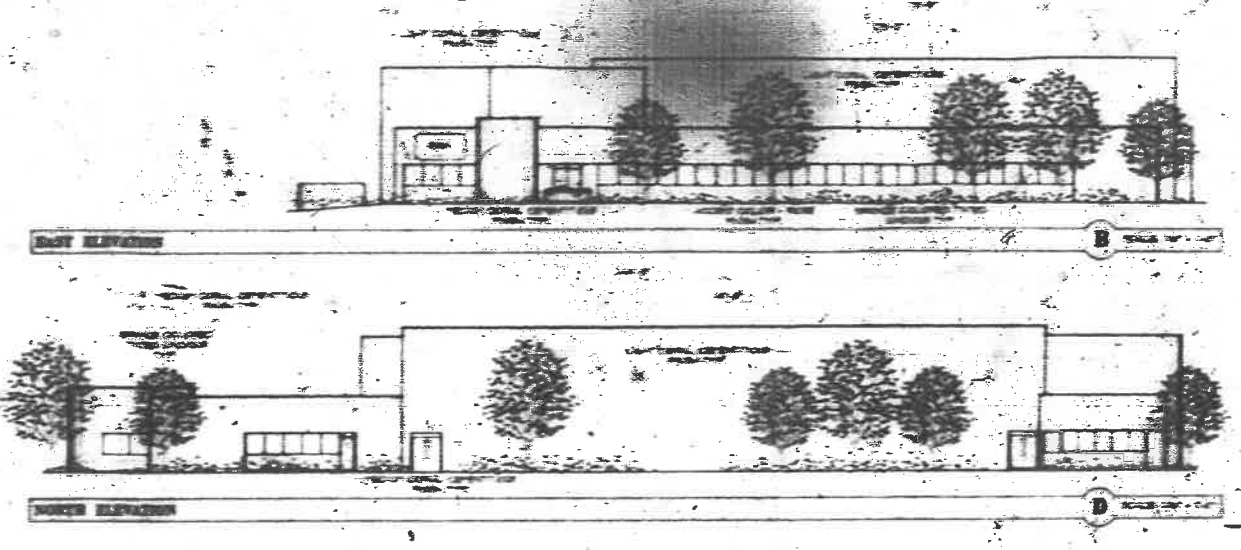
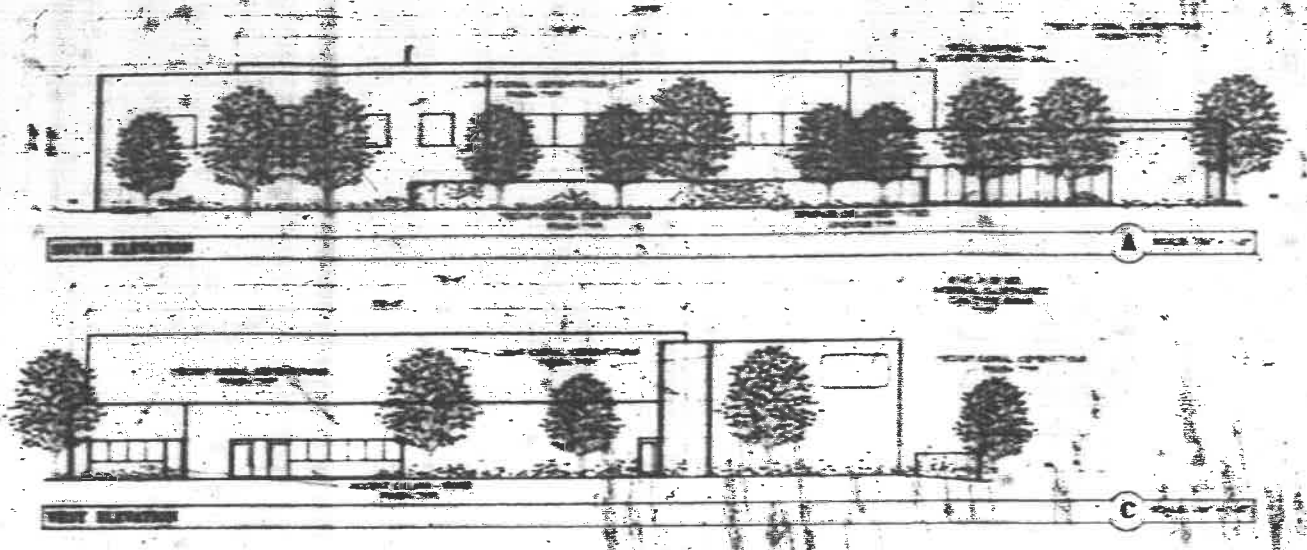
SITE PLAN

de la Torre - Ramirez, P.A.
 architects

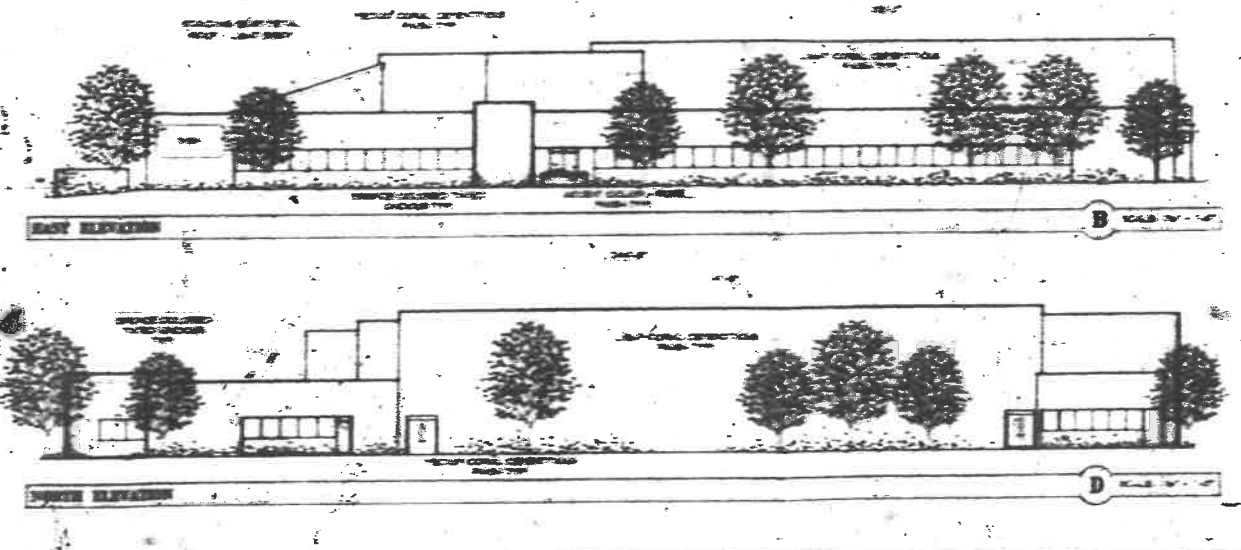
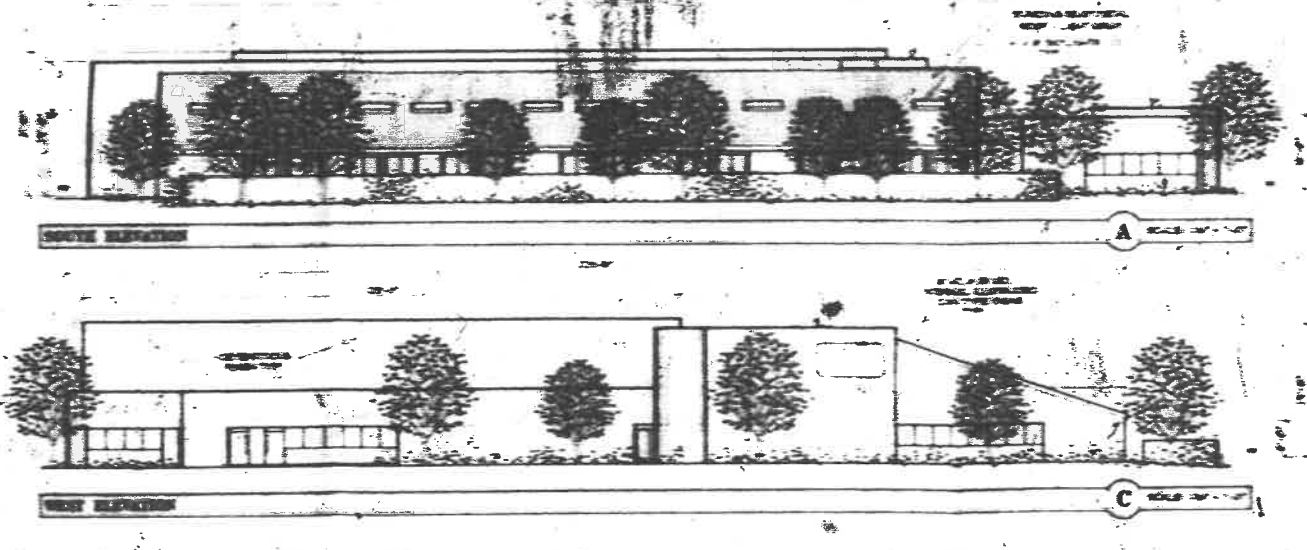
D.L.C. LICENSED ARCHITECT STATE OF NEW MEXICO
 REGISTRATION NO. 825-00-40-282

7-84-22-3
 1-5-77
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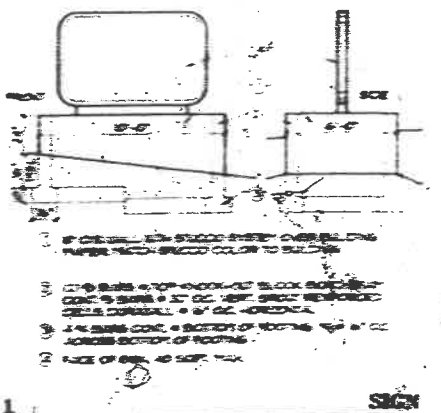
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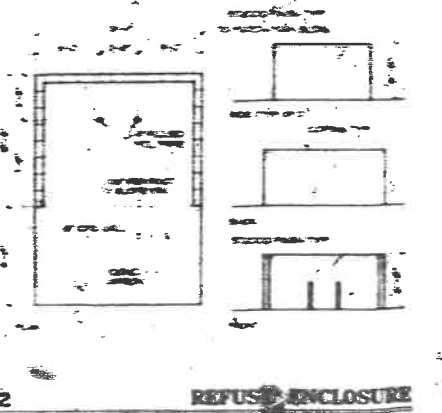
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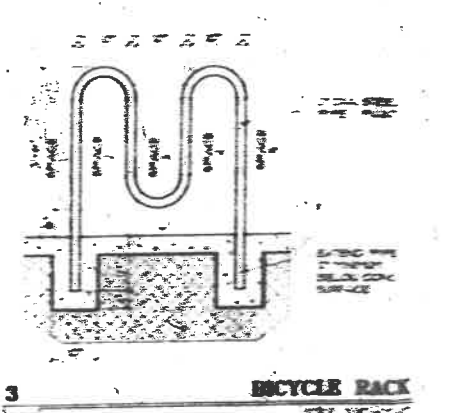
2-84-22-3
5-10-12



SIGN



REFUSE ENCLOSURE



BICYCLE RACK

ELEVATION

NEW HEART
ALBUQUERQUE, NEW MEXICO

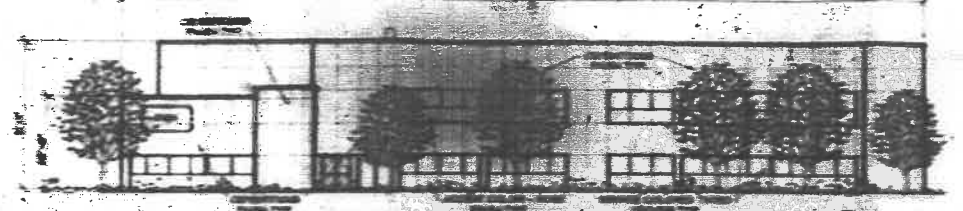
DELTA TORRE - NORTHERN CO
TULSA, OKLAHOMA

delta torre northern co
TULSA, OKLAHOMA

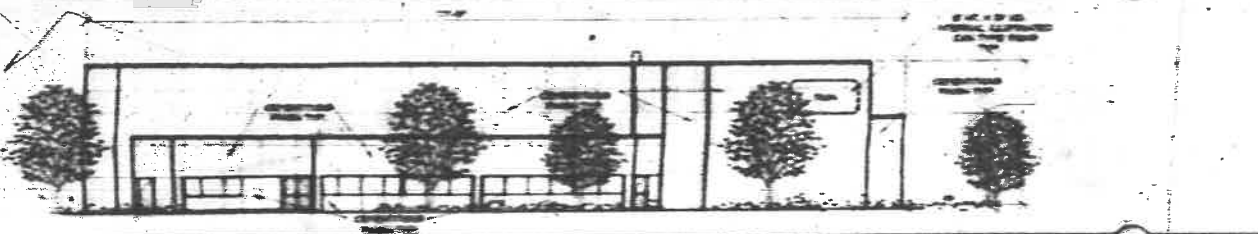
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SOUTH ELEVATION A SCALE 1/4" = 1'-0"



EAST ELEVATION B SCALE 1/4" = 1'-0"



WEST ELEVATION C SCALE 1/4" = 1'-0"

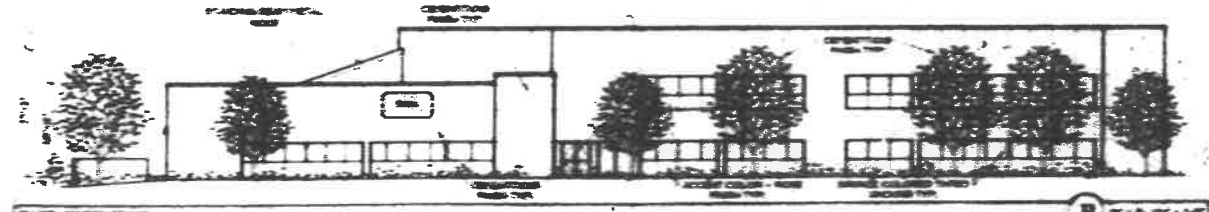


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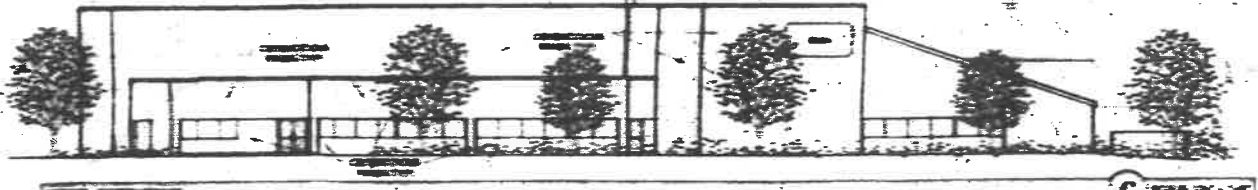
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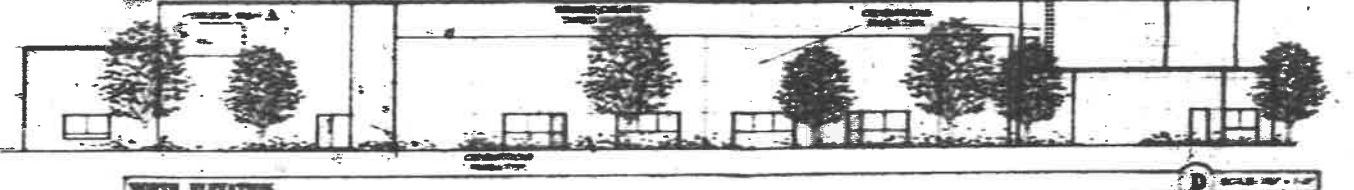
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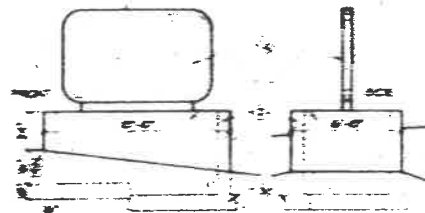
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WEST ELEVATION C SCALE 1/4" = 1'-0"

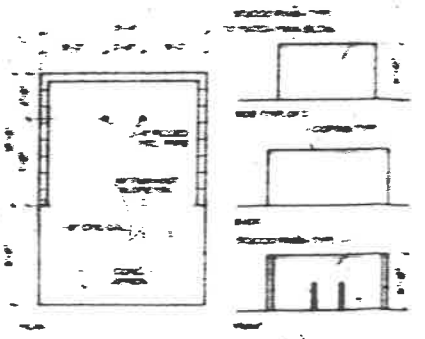


NORTH ELEVATION D SCALE 1/4" = 1'-0"

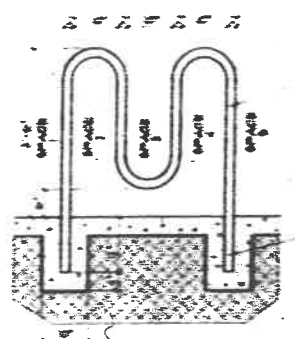


- 1. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 2. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 3. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 4. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 5. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
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- 8. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 9. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 10. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 11. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 12. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 13. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 14. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 15. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 16. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 17. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 18. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 19. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING
- 20. 4" DIA. 1/2" SLOPED STEEL OVER BUILDING

1 CURB SCALE 1/4" = 1'-0" SGN



2 REFUSE ENCLOSURE SCALE 1/4" = 1'-0"

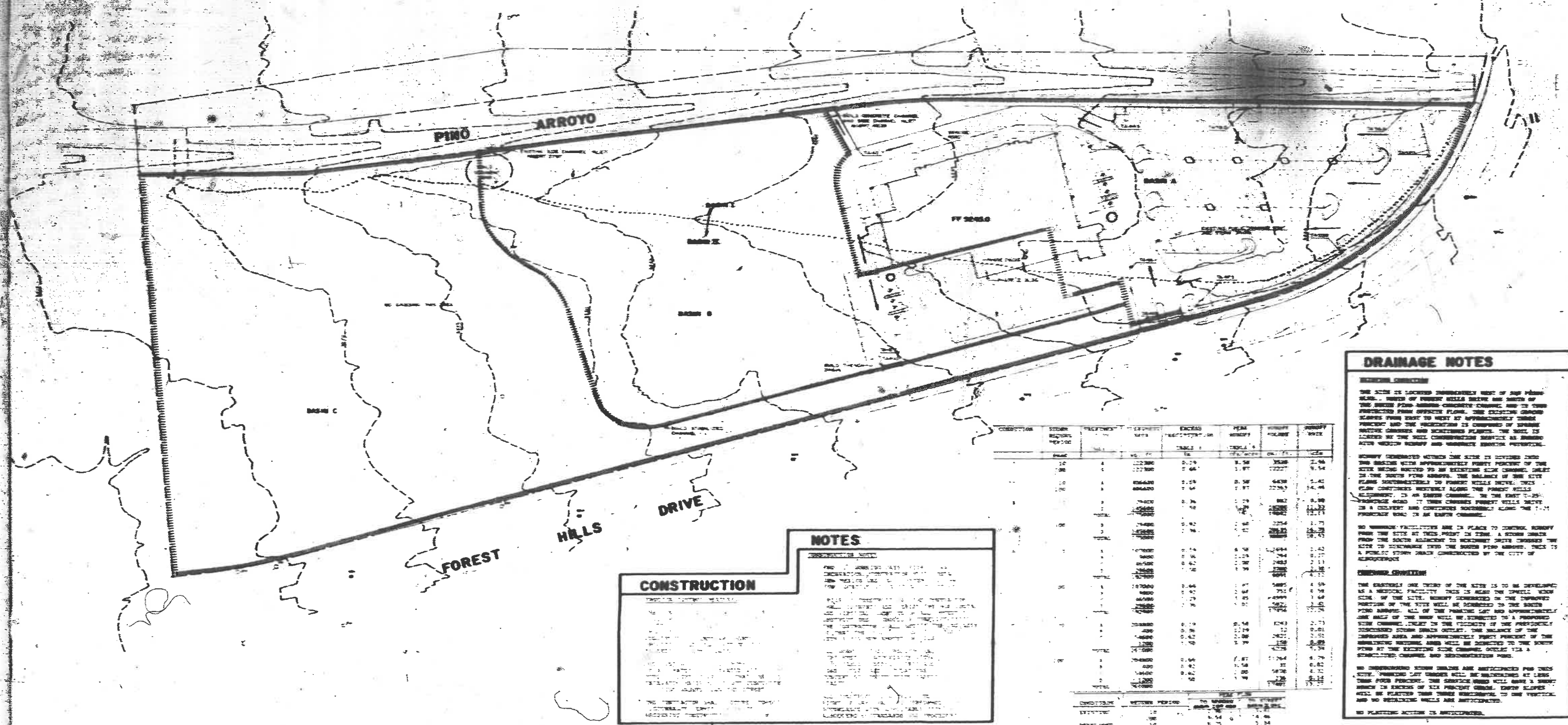


3 BICYCLE RACK SCALE 1/4" = 1'-0"

2.84.22-3
8 of 12

ELEVATIONS

NEW HEIGHT	
APPROXIMATE NEW HEIGHT	
DATE	
BY	
REVISIONS	
della torre - ryan, pa	
architect	
1000 MARKET STREET, PHILADELPHIA, PA 19102	
TEL: 215-595-1200	



DRAINAGE NOTES

GENERAL CONDITIONS

THE SITE IS LOCATED IMMEDIATELY WEST OF SAN PABLO VALLEY. SLOPES OF FOREST HILLS DRIVE AND SOUTH OF THE DRIVE FROM ARROYO CHANNEL AND TO THE SOUTHWEST FROM ARROYO CHANNEL. THE EXISTING DRAINAGE CHANNELS FROM WEST TO EAST APPROXIMATELY NORTH FOREST AND THE SOUTHWEST IS COMPOSED OF DRAINAGE CHANNELS AND SOUTHWEST PLANTS. THE SOIL IS CLASSIFIED BY THE SOIL CONSERVATION SERVICE AS BRASSIC AFTER WHICH HONEY AND SOUTHWEST DRAINAGE.

HONEY GENERATED WITHIN THE SITE IS DIVIDED INTO TWO DRAINAGE VIEWS APPROXIMATELY FORTY PERCENT OF THE SITE BEING DEDICATED TO AN EXISTING SLOPE CHANNEL DRAIN IN THE SOUTH PINO ARROYO. THE BALANCE OF THE SITE PLANS SOUTHWEST TO FOREST HILLS DRIVE. THIS PLAN CONSIDERS WESTWARD SLOPE THE FOREST HILLS ALIGNMENT. IS AN EXIST CHANNEL. IN THE EAST 7-25 PERCENTAGE ROAD. IT THEN CHANGES FOREST HILLS DRIVE IS A CHANNEL AND CONSIDERS SOUTHWEST ALONG THE 7-25 PERCENTAGE ROAD IN AN EXIST CHANNEL.

NO DRAINAGE FACILITIES ARE IN PLACE TO CONTROL HONEY FROM THE SITE. AN EXIST POINT IN THE SOUTH SLOPE FROM THE SOUTH ALIGNMENT TO SOUTHWEST DRIVE CHANGES THE SITE TO SOUTHWEST INTO THE SOUTH PINO ARROYO. THIS IS A PUBLIC STREET DRAIN CONSTRUCTED BY THE CITY OF ALBUQUERQUE.

CONSTRUCTED CHANNELS

THE CHANNELS ON THE WEST OF THE SITE IS TO BE DEVELOPED AS A MEDICAL FACILITY THIS IS NEAR THE SMALL VIEW SIDE OF THE SITE. HONEY GENERATED IN THE IMPROVED PORTION OF THE SITE WILL BE DRAINAGE TO THE SOUTH PINO ARROYO. ALL OF THE PAVEMENT LOT AND APPROXIMATELY ONE HALF OF THE ROAD WILL BE DEDICATED TO A PROPOSED SLOPE CHANNEL DRAIN IN THE VICINITY OF THE PREVIOUSLY EXISTING CHANNEL. THE BALANCE OF THE IMPROVED AREA AND APPROXIMATELY FIFTY PERCENT OF THE SOUTHWEST CHANNEL AREA WILL BE DEDICATED TO THE SOUTH PINO ARROYO CHANNEL. SOIL CONSERVATION SERVICE WITH A STRUCTURED CHANNEL AND SOUTHWEST DRAIN.

NO DRAINAGE CHANNELS ARE ANTICIPATED FOR THIS SITE. PAVEMENT LOT CHANGES WILL BE MAINTAINED AT LEAST ONE FOOT PERCENT. THE CHANNELS WILL HAVE A SLOPE WHICH IS EXCESSIVE OF THE PERCENT CHANNEL. EXIST SLOPES WILL BE MAINTAINED WITHIN CHANNELS. NO CHANNELS TO THE VERTICAL AND NO SOUTHWEST WELLS ARE ANTICIPATED.

NO PAVEMENT LOT IS ANTICIPATED.

CONDITION	AREA	PERCENTAGE	EXCESS	FEET	PERCENTAGE	FEET	PERCENTAGE
1	10000	0.10	1.00	1.00	1.00	1.00	1.00
2	10000	0.10	1.00	1.00	1.00	1.00	1.00
3	10000	0.10	1.00	1.00	1.00	1.00	1.00
4	10000	0.10	1.00	1.00	1.00	1.00	1.00
5	10000	0.10	1.00	1.00	1.00	1.00	1.00
6	10000	0.10	1.00	1.00	1.00	1.00	1.00
7	10000	0.10	1.00	1.00	1.00	1.00	1.00
8	10000	0.10	1.00	1.00	1.00	1.00	1.00
9	10000	0.10	1.00	1.00	1.00	1.00	1.00
10	10000	0.10	1.00	1.00	1.00	1.00	1.00
11	10000	0.10	1.00	1.00	1.00	1.00	1.00
12	10000	0.10	1.00	1.00	1.00	1.00	1.00
13	10000	0.10	1.00	1.00	1.00	1.00	1.00
14	10000	0.10	1.00	1.00	1.00	1.00	1.00
15	10000	0.10	1.00	1.00	1.00	1.00	1.00
16	10000	0.10	1.00	1.00	1.00	1.00	1.00
17	10000	0.10	1.00	1.00	1.00	1.00	1.00
18	10000	0.10	1.00	1.00	1.00	1.00	1.00
19	10000	0.10	1.00	1.00	1.00	1.00	1.00
20	10000	0.10	1.00	1.00	1.00	1.00	1.00
21	10000	0.10	1.00	1.00	1.00	1.00	1.00
22	10000	0.10	1.00	1.00	1.00	1.00	1.00
23	10000	0.10	1.00	1.00	1.00	1.00	1.00
24	10000	0.10	1.00	1.00	1.00	1.00	1.00
25	10000	0.10	1.00	1.00	1.00	1.00	1.00
26	10000	0.10	1.00	1.00	1.00	1.00	1.00
27	10000	0.10	1.00	1.00	1.00	1.00	1.00
28	10000	0.10	1.00	1.00	1.00	1.00	1.00
29	10000	0.10	1.00	1.00	1.00	1.00	1.00
30	10000	0.10	1.00	1.00	1.00	1.00	1.00
31	10000	0.10	1.00	1.00	1.00	1.00	1.00
32	10000	0.10	1.00	1.00	1.00	1.00	1.00
33	10000	0.10	1.00	1.00	1.00	1.00	1.00
34	10000	0.10	1.00	1.00	1.00	1.00	1.00
35	10000	0.10	1.00	1.00	1.00	1.00	1.00
36	10000	0.10	1.00	1.00	1.00	1.00	1.00
37	10000	0.10	1.00	1.00	1.00	1.00	1.00
38	10000	0.10	1.00	1.00	1.00	1.00	1.00
39	10000	0.10	1.00	1.00	1.00	1.00	1.00
40	10000	0.10	1.00	1.00	1.00	1.00	1.00
41	10000	0.10	1.00	1.00	1.00	1.00	1.00
42	10000	0.10	1.00	1.00	1.00	1.00	1.00
43	10000	0.10	1.00	1.00	1.00	1.00	1.00
44	10000	0.10	1.00	1.00	1.00	1.00	1.00
45	10000	0.10	1.00	1.00	1.00	1.00	1.00
46	10000	0.10	1.00	1.00	1.00	1.00	1.00
47	10000	0.10	1.00	1.00	1.00	1.00	1.00
48	10000	0.10	1.00	1.00	1.00	1.00	1.00
49	10000	0.10	1.00	1.00	1.00	1.00	1.00
50	10000	0.10	1.00	1.00	1.00	1.00	1.00

NOTES

CONSTRUCTION

1. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE CHANNELS AND SOUTHWEST PLANTS THROUGHOUT THE CONSTRUCTION PERIOD.

2. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE CHANNELS AND SOUTHWEST PLANTS THROUGHOUT THE CONSTRUCTION PERIOD.

3. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE CHANNELS AND SOUTHWEST PLANTS THROUGHOUT THE CONSTRUCTION PERIOD.

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5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE CHANNELS AND SOUTHWEST PLANTS THROUGHOUT THE CONSTRUCTION PERIOD.

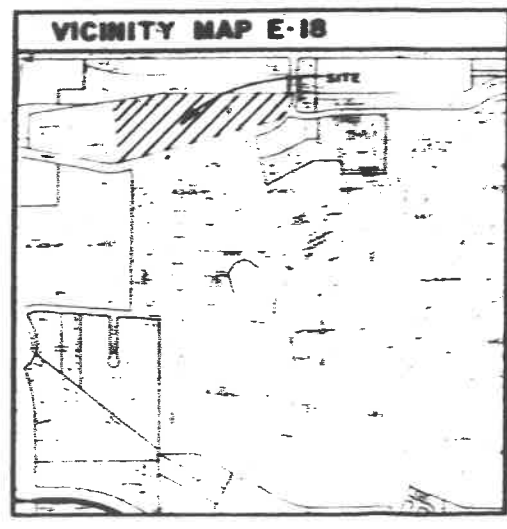
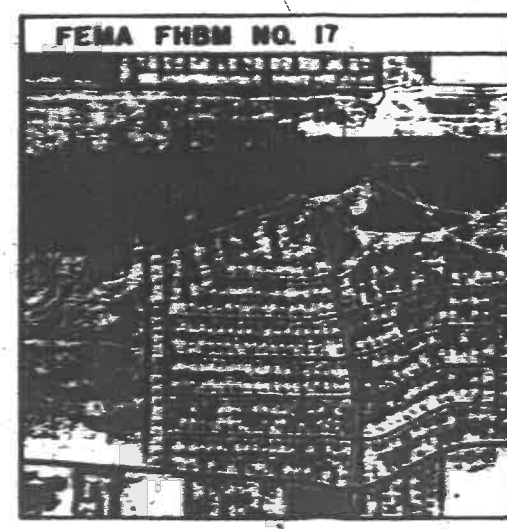
6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE CHANNELS AND SOUTHWEST PLANTS THROUGHOUT THE CONSTRUCTION PERIOD.

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LEGAL DESCRIPTION

TRACT 1, SAN HEART CENTER, FIELD NUMBER 1, 100 AC.

PERMANENT BM

BY ALL THE SURVEYORS 1971

TOPO SOURCE

TOPOGRAPHY SHOWN ON THIS SHEET IS BASED ON AERIAL PHOTOGRAPHY DATED SEPTEMBER 1964. ALL SURVEYING AND PREPARATION BY THOMAS J. WEAVER AND ASSOCIATES, INC.

LEGEND

CONCEPTUAL GRADING AND DRAINAGE PLAN

NEW HEART ALBUQUERQUE, NEW MEXICO

THOMAS J. WEAVER AND ASSOCIATES, INC.

GRADE DEAN

2-84-22-3
7 of 12

FUTURE PHASES PHASES J & K

TRACT 1
1521 ACRES

TRACT 2
11,471 ACRES

CONDITIONS OF APPROVAL

1. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

2. THE DEVELOPER SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY REPAIRS OR REPLACEMENTS.

3. THE DEVELOPER SHALL MAINTAIN THE EXISTING ROADWAY AND SHALL BE RESPONSIBLE FOR ANY REPAIRS OR REPLACEMENTS.

4. THE DEVELOPER SHALL MAINTAIN THE EXISTING FENCING AND SHALL BE RESPONSIBLE FOR ANY REPAIRS OR REPLACEMENTS.

5. THE DEVELOPER SHALL MAINTAIN THE EXISTING LANDSCAPING AND SHALL BE RESPONSIBLE FOR ANY REPAIRS OR REPLACEMENTS.

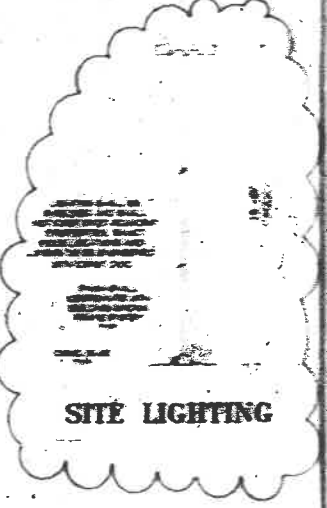
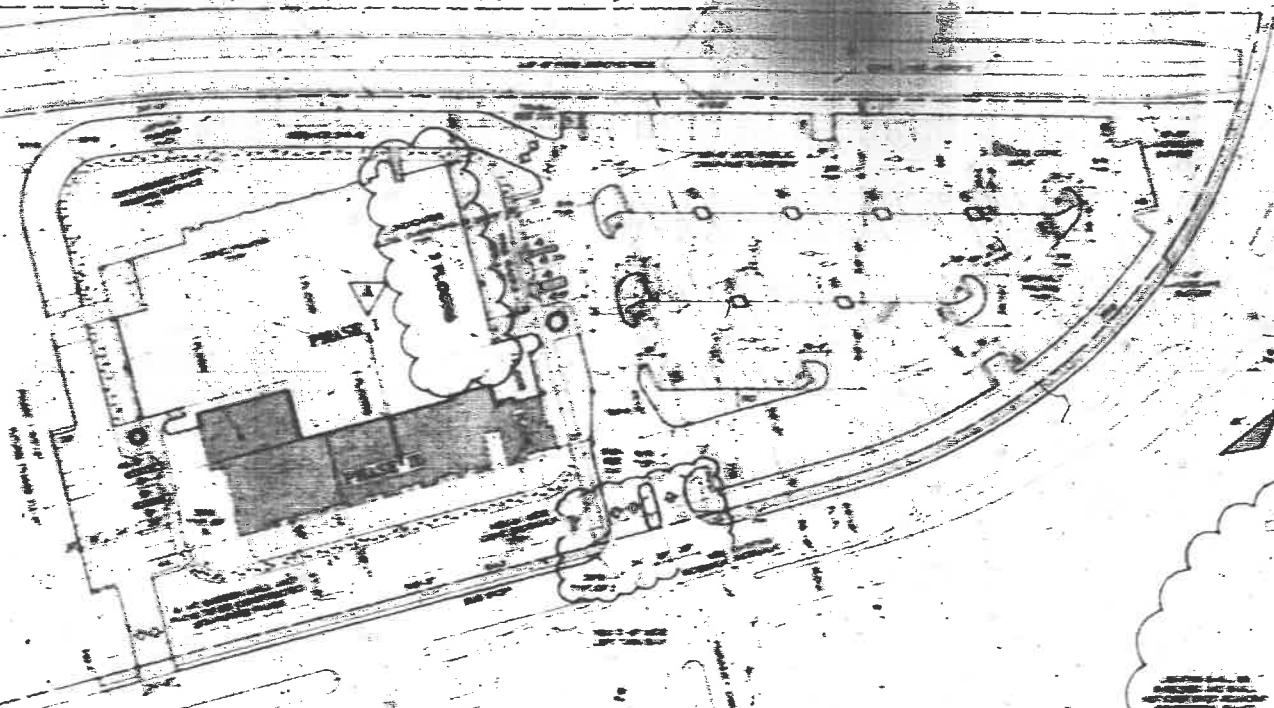
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8. THE DEVELOPER SHALL MAINTAIN THE EXISTING FENCING AND SHALL BE RESPONSIBLE FOR ANY REPAIRS OR REPLACEMENTS.

9. THE DEVELOPER SHALL MAINTAIN THE EXISTING LANDSCAPING AND SHALL BE RESPONSIBLE FOR ANY REPAIRS OR REPLACEMENTS.

10. THE DEVELOPER SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY REPAIRS OR REPLACEMENTS.



PROJECT INFORMATION

LOCATION: PROJECT S LOCATED NORTH OF HIGHWAY 111, 0.5 MILES WEST OF TOWN OF ALBUQUERQUE, NEW MEXICO.

OWNER: NEW MEXICO INC., 2000 ALBUQUERQUE BLVD., ALBUQUERQUE, NEW MEXICO, PH. 505.261.2004.

ARCHITECT: DE LA TORRE - RANNEY ARCHITECTS, 1000 ACACIA ROAD NE, SUITE 1, ALBUQUERQUE, NEW MEXICO, PH. 505.261.2004.

LEGAL DESCRIPTION: A TRACT OF LAND BEING PART OF PROJECT SECTION 29, TOWNSHIP 36 NORTH, RANGE 12 EAST, COUNTY OF SAGUO, NEW MEXICO.

CURRENT ZONING: S-1 - OFFICES & MEDICAL USE.

TOTAL ACREAGE: PHASE 1 & 2 - 132 ACRES
TOTAL PHASES 1 & 2 - 132 ACRES
TOTAL SITE - 124 ACRES

BUILDING SITE COVERAGE: PHASE 1 - 10%
PHASE 2 - 20%

EXISTING ATLAS PAGE: 6-2-2

TOTAL LANDSCAPED AREA: PHASE 1 - 6000 SQ. FT.
PHASE 2 - 10000 SQ. FT.

PERCENTAGE OF LANDSCAPED AREA: PHASE 1 - 20%
PHASE 2 - 25%

LANDSCAPE TO PARKING AREA RATIO: PHASE 1 - 10:1
PHASE 2 - 15:1

APPROX. PAVED AREA: PHASES 1 & 2 - 100000 SQ. FT.

TOTAL BUILDING AREA:

PHASE 1:
OFFICE - 20,000 SQ. FT.
CLASSROOMS - 2,000 SQ. FT.
LABORATORY - 1,000 SQ. FT.
TOTAL 1ST FLOOR - 23,000 SQ. FT.

PHASE 2:
OFFICE - 10,000 SQ. FT.
LABORATORY - 5,000 SQ. FT.
TOTAL 2ND FLOOR - 15,000 SQ. FT.

TOTAL PHASES 1 & 2 - 38,000 SQ. FT.

PHASE 3:
OFFICE - 10,000 SQ. FT.
LABORATORY - 5,000 SQ. FT.
TOTAL 3RD FLOOR - 15,000 SQ. FT.

TOTAL PHASES 1, 2 & 3 - 53,000 SQ. FT.

PARKING ANALYSIS:

PHASE 1 - 1000 SPACES
PHASE 2 - 2000 SPACES
PHASE 3 - 1000 SPACES

TOTAL PROPOSED PARKING - 3000 SPACES

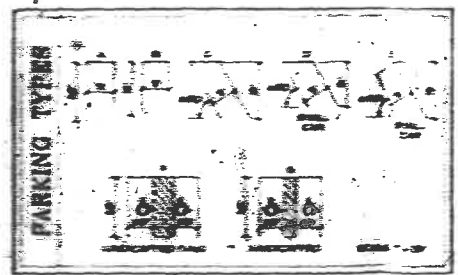
PHASE 1 - 1000 SPACES
PHASE 2 - 2000 SPACES
PHASE 3 - 1000 SPACES

FILE NO. 2-84-22-3
New Mexico Building

FILE

2-84-22-3

SITE PLAN



NEW MEXICO
ARCHITECTURAL AND ENGINEERING BOARD

PROJECT NUMBER: 2-84-22-3
DATE OF LA. ISSUE: 11/23/84

SITE PLAN

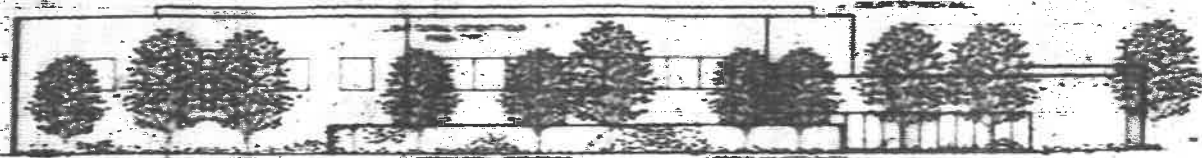
delatorre-ranney, pa. ca
ARCHITECTS

1000 ACACIA ROAD NE, SUITE 1
ALBUQUERQUE, NEW MEXICO 87109-2004

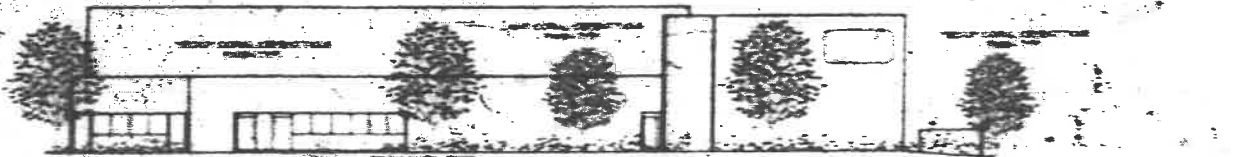
DATE: 11/23/84

11/23/84

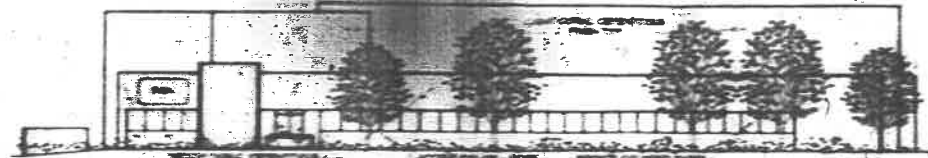
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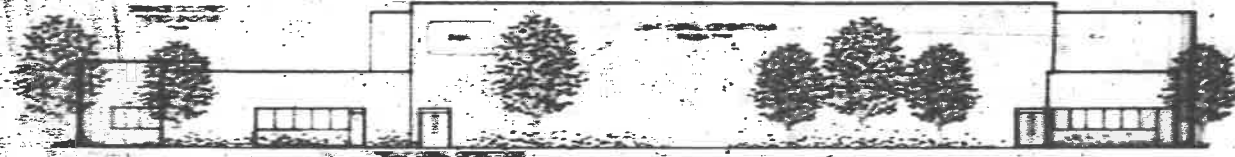
SOUTH ELEVATION SCALE 1/4" = 1'-0"



WEST ELEVATION SCALE 1/4" = 1'-0"



EAST ELEVATION SCALE 1/4" = 1'-0"

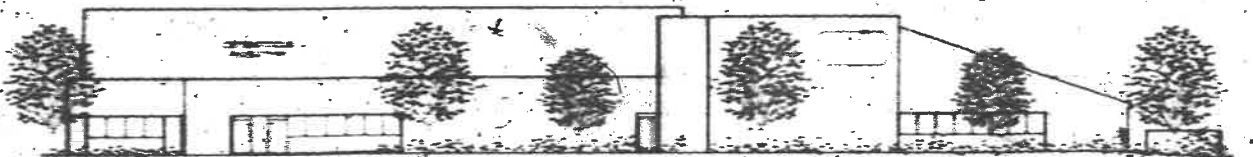


NOISE ELEVATION SCALE 1/4" = 1'-0"

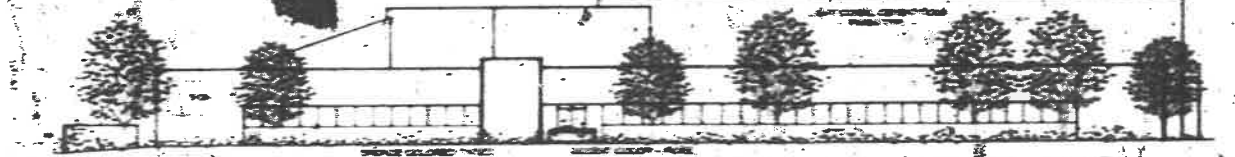
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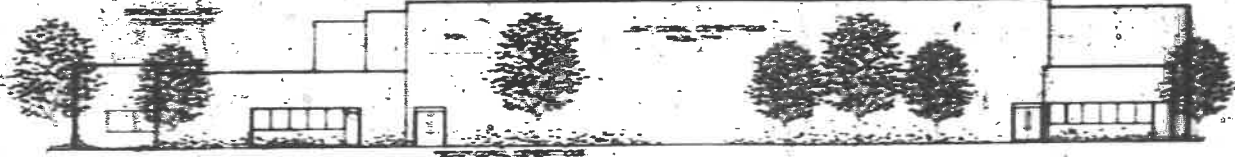
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WEST ELEVATION SCALE 1/4" = 1'-0"

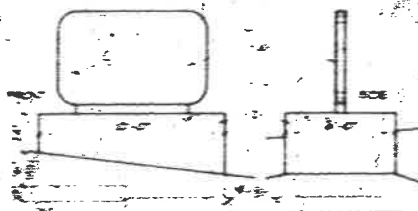


EAST ELEVATION SCALE 1/4" = 1'-0"



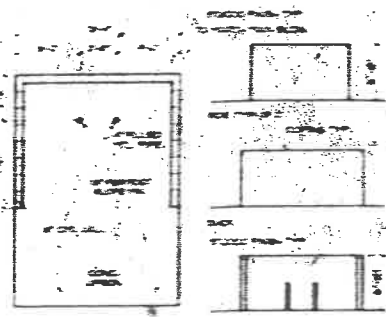
NOISE ELEVATION SCALE 1/4" = 1'-0"

7-84-22-3
10 & 12

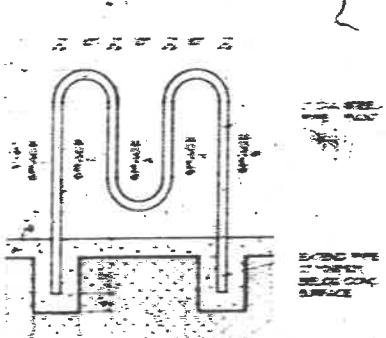


1. 1/2" DIA. SIGN POST OVER SIGN
2. 1/2" DIA. SIGN POST OVER SIGN
3. 1/2" DIA. SIGN POST OVER SIGN
4. 1/2" DIA. SIGN POST OVER SIGN
5. 1/2" DIA. SIGN POST OVER SIGN
6. 1/2" DIA. SIGN POST OVER SIGN
7. 1/2" DIA. SIGN POST OVER SIGN
8. 1/2" DIA. SIGN POST OVER SIGN
9. 1/2" DIA. SIGN POST OVER SIGN
10. 1/2" DIA. SIGN POST OVER SIGN

1 SIGN SCALE 1/4" = 1'-0"



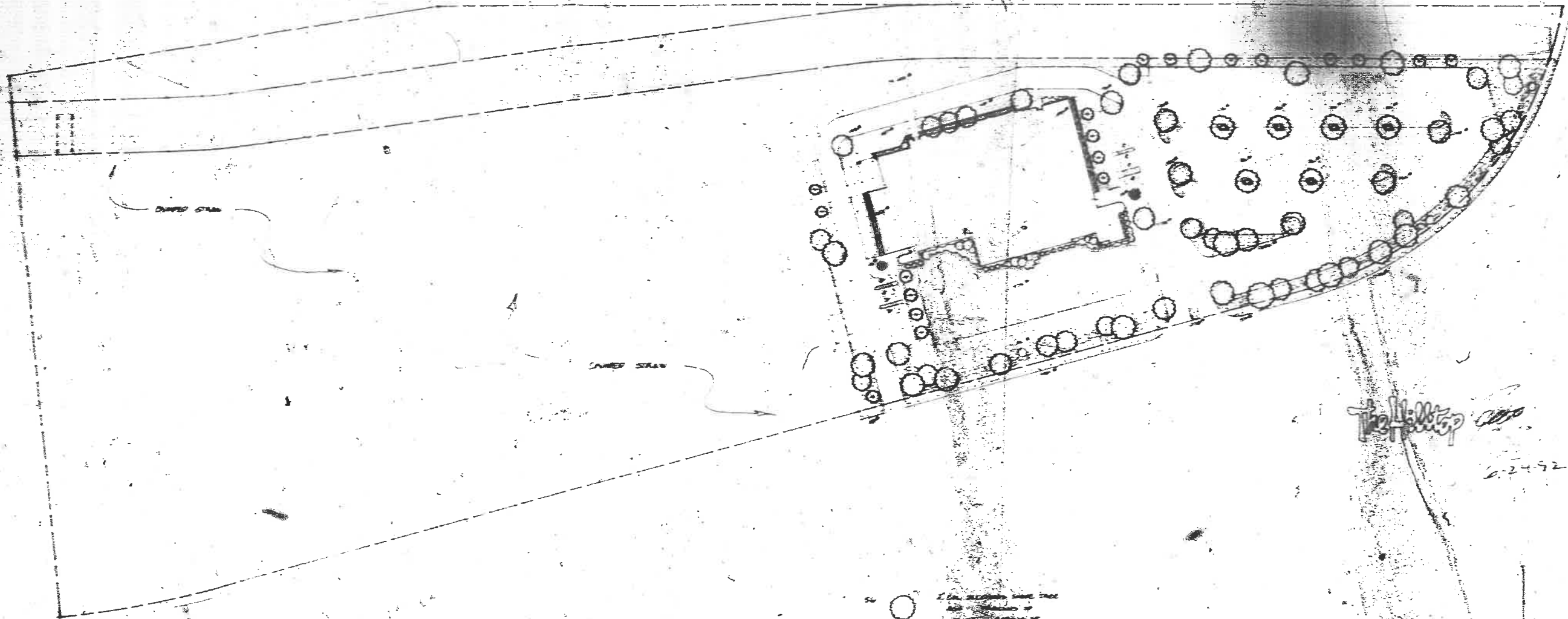
2 REFUSE ENCLOSURE SCALE 1/4" = 1'-0"



3 BICYCLE RACK SCALE 1/4" = 1'-0"

ELEVATIONS

NEW HEAT
ADORNMENT, NEW HEAT
ELEVATIONS
delaware - portland, pa.
AI



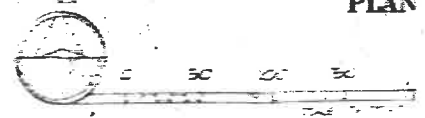
The Hilltop

2-24-92

- 1. 2" DIA. BURNING BUSH TREE
- 2. 4" DIA. BURNING BUSH TREE
- 3. 6" DIA. BURNING BUSH TREE
- 4. 8" DIA. BURNING BUSH TREE
- 5. 10" DIA. BURNING BUSH TREE
- 6. 12" DIA. BURNING BUSH TREE
- 7. 14" DIA. BURNING BUSH TREE
- 8. 16" DIA. BURNING BUSH TREE
- 9. 18" DIA. BURNING BUSH TREE
- 10. 20" DIA. BURNING BUSH TREE
- 11. 22" DIA. BURNING BUSH TREE
- 12. 24" DIA. BURNING BUSH TREE
- 13. 26" DIA. BURNING BUSH TREE
- 14. 28" DIA. BURNING BUSH TREE
- 15. 30" DIA. BURNING BUSH TREE
- 16. 32" DIA. BURNING BUSH TREE
- 17. 34" DIA. BURNING BUSH TREE
- 18. 36" DIA. BURNING BUSH TREE
- 19. 38" DIA. BURNING BUSH TREE
- 20. 40" DIA. BURNING BUSH TREE
- 21. 42" DIA. BURNING BUSH TREE
- 22. 44" DIA. BURNING BUSH TREE
- 23. 46" DIA. BURNING BUSH TREE
- 24. 48" DIA. BURNING BUSH TREE
- 25. 50" DIA. BURNING BUSH TREE
- 26. 52" DIA. BURNING BUSH TREE
- 27. 54" DIA. BURNING BUSH TREE
- 28. 56" DIA. BURNING BUSH TREE
- 29. 58" DIA. BURNING BUSH TREE
- 30. 60" DIA. BURNING BUSH TREE
- 31. 62" DIA. BURNING BUSH TREE
- 32. 64" DIA. BURNING BUSH TREE
- 33. 66" DIA. BURNING BUSH TREE
- 34. 68" DIA. BURNING BUSH TREE
- 35. 70" DIA. BURNING BUSH TREE
- 36. 72" DIA. BURNING BUSH TREE
- 37. 74" DIA. BURNING BUSH TREE
- 38. 76" DIA. BURNING BUSH TREE
- 39. 78" DIA. BURNING BUSH TREE
- 40. 80" DIA. BURNING BUSH TREE
- 41. 82" DIA. BURNING BUSH TREE
- 42. 84" DIA. BURNING BUSH TREE
- 43. 86" DIA. BURNING BUSH TREE
- 44. 88" DIA. BURNING BUSH TREE
- 45. 90" DIA. BURNING BUSH TREE
- 46. 92" DIA. BURNING BUSH TREE
- 47. 94" DIA. BURNING BUSH TREE
- 48. 96" DIA. BURNING BUSH TREE
- 49. 98" DIA. BURNING BUSH TREE
- 50. 100" DIA. BURNING BUSH TREE

2-84-22-3
12 of 12

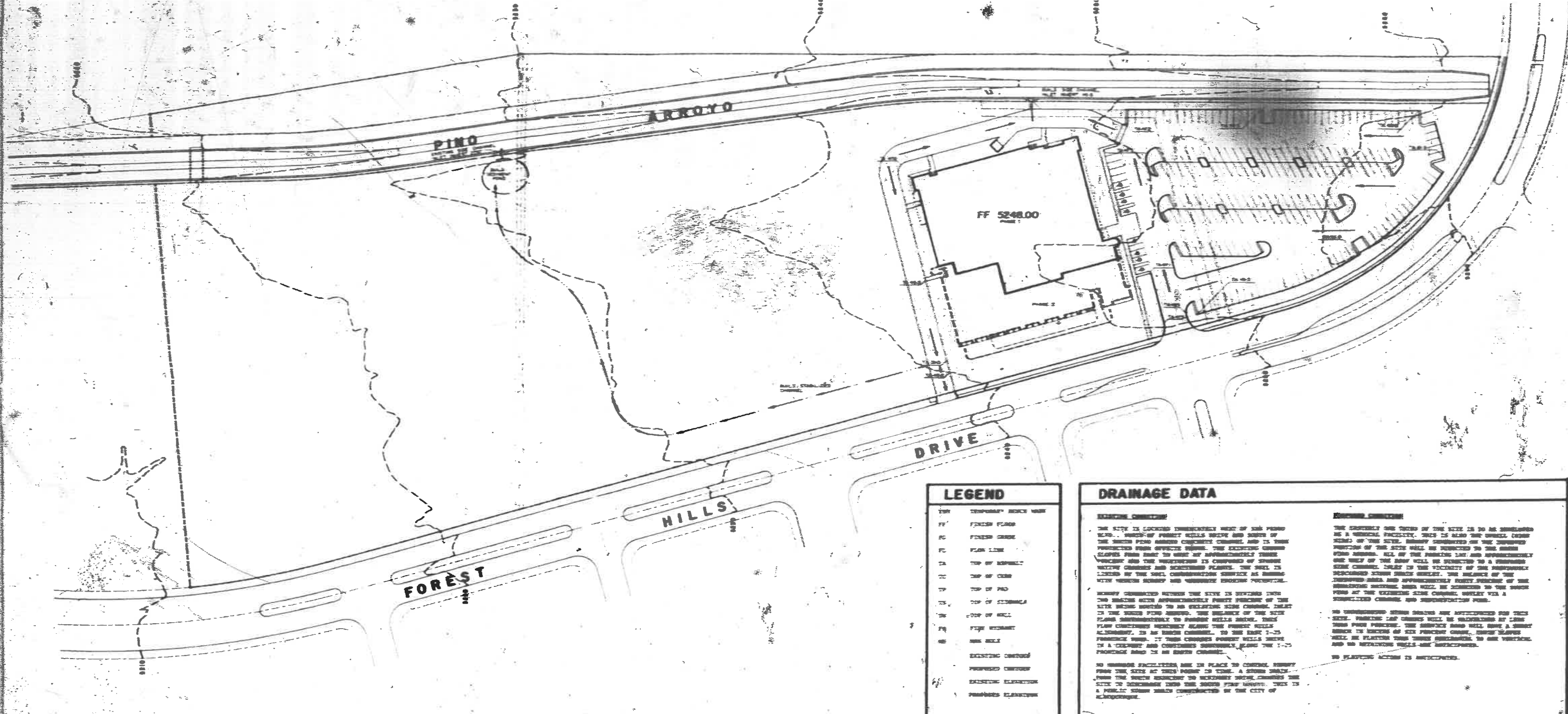
LANDSCAPING PLAN



LANDSCAPING PLAN
 GROSS LOT AREA 20,000 SF
 BUILDING AREA (PARCEL 2) 3,000 SF
 NET LOT AREA 17,000 SF
 1.5% REQUIRED LANDSCAPING 25,500 SF
 LANDSCAPING PROVIDED 62,340 SF (361% EXCESS)

NEW HEART
 ALBUQUERQUE, NEW MEXICO
 1200 W. UNIVERSITY BLVD. SUITE 100
 ALBUQUERQUE, NM 87102
 PHONE (505) 263-1111
 FAX (505) 263-1112
 WWW.NEHEART.COM

DATE: 2/24/92
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]



LEGEND	
---	TEMPORARY BENCH MARK
FF	FOREST FLOOD
FC	FOREST CRACK
PL	PLAN LINE
TA	TOP OF ASPHALT
TC	TOP OF CURB
TP	TOP OF PAD
TS	TOP OF SIDEWALK
TR	TOP OF ROAD
TT	TOP OF TERRACE
TV	TOP OF WALL
FW	FOREST WOODS
MS	MUD HOLE
---	EXISTING CURB
---	PROPOSED CURB
---	EXISTING ELEVATION
---	PROPOSED ELEVATION

DRAINAGE DATA

EXISTING CONDITIONS

THE SITE IS LOCATED IMMEDIATELY WEST OF THE PINE BLVD. ...

PROPOSED CONDITIONS

THE EXISTING ONE THIRD OF THE SITE IS TO BE MAINTAINED AS A ...

LEGAL DESCRIPTION

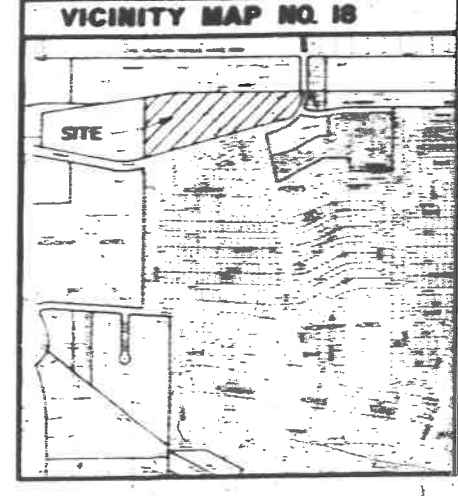
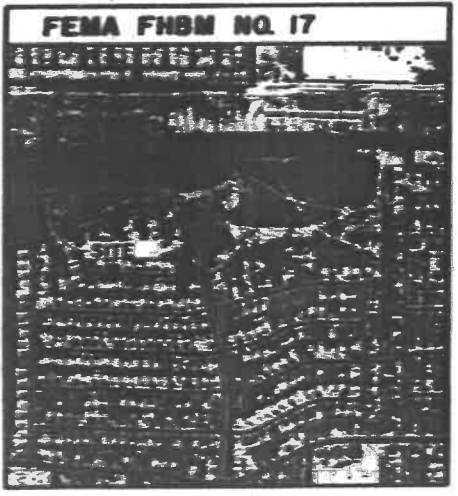
TRACT 11, NEW HEART CENTER ...

PERMANENT BENCHMARK

NO. 1111, 1974 ...

TOPOGRAPHY SURVEY

TOPOGRAPHY SURVEY ON THIS TRACT IS BASED ON AERIAL PHOTOGRAPHY DATED SEPTEMBER 15, 1960 ...



CONCEPTUAL GRADING & DRAINAGE

SCALE 1" = 5'-0"

NEW HEART CENTER
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: [Name]
DATE: [Date]

C & D PLAN

delo corne - rauharc, pa
and associates

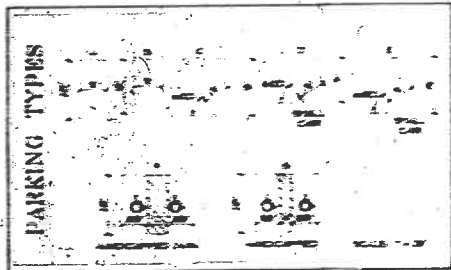
CI

2-84-22-3
11 of 12

ENERGY CONSERVATION:

Energy Conservation Features:

Energy conservation features of the New Heart Development are comprehensive. They include energy efficient lighting systems to provide the maximum amount of natural energy resources. The building is in the Class and Class II areas of the code. The building is designed to meet the energy conservation requirements of the code. The building is designed to meet the energy conservation requirements of the code. The building is designed to meet the energy conservation requirements of the code.



SIGNATURE BLOCK

PLANNING DIRECTOR	DATE
PROJECT MANAGER	DATE
ARCHITECT	DATE
ENGINEER	DATE
LANDSCAPE ARCHITECT	DATE
CONTRACTOR	DATE

PROJECT INFORMATION

LOCATION: TRACT 1 9731 ACRES

OWNER: TRACT 2 11,4371 ACRES

ARCHITECTS: [Name]

LEAD ARCHITECT: [Name]

CURRENT STATUS: [Status]

TOTAL ACREAGE: [Value]

BUILDING SITE COVERAGE: [Value]

INDEXING ATLAS PAGE: [Value]

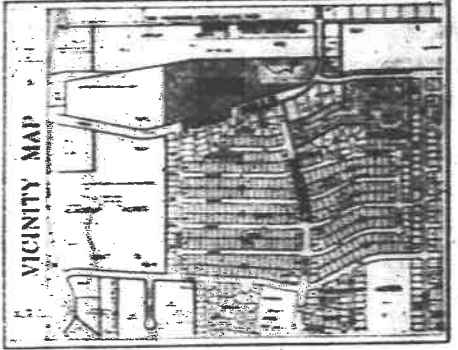
TOTAL LANDSCAPED AREA: [Value]

PERCENTAGE OF LANDSCAPED AREA: [Value]

LANDSCAPE TO PARKING AREA RATIO: [Value]

TOTAL BUILDING AREA: [Value]

PARKING ANALYSIS: [Table with parking space counts and ratios]



SITE PLAN

NEW HEART
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: [Name]

DATE OF THIS SHEET: [Date]

SITE PLAN [Scale]

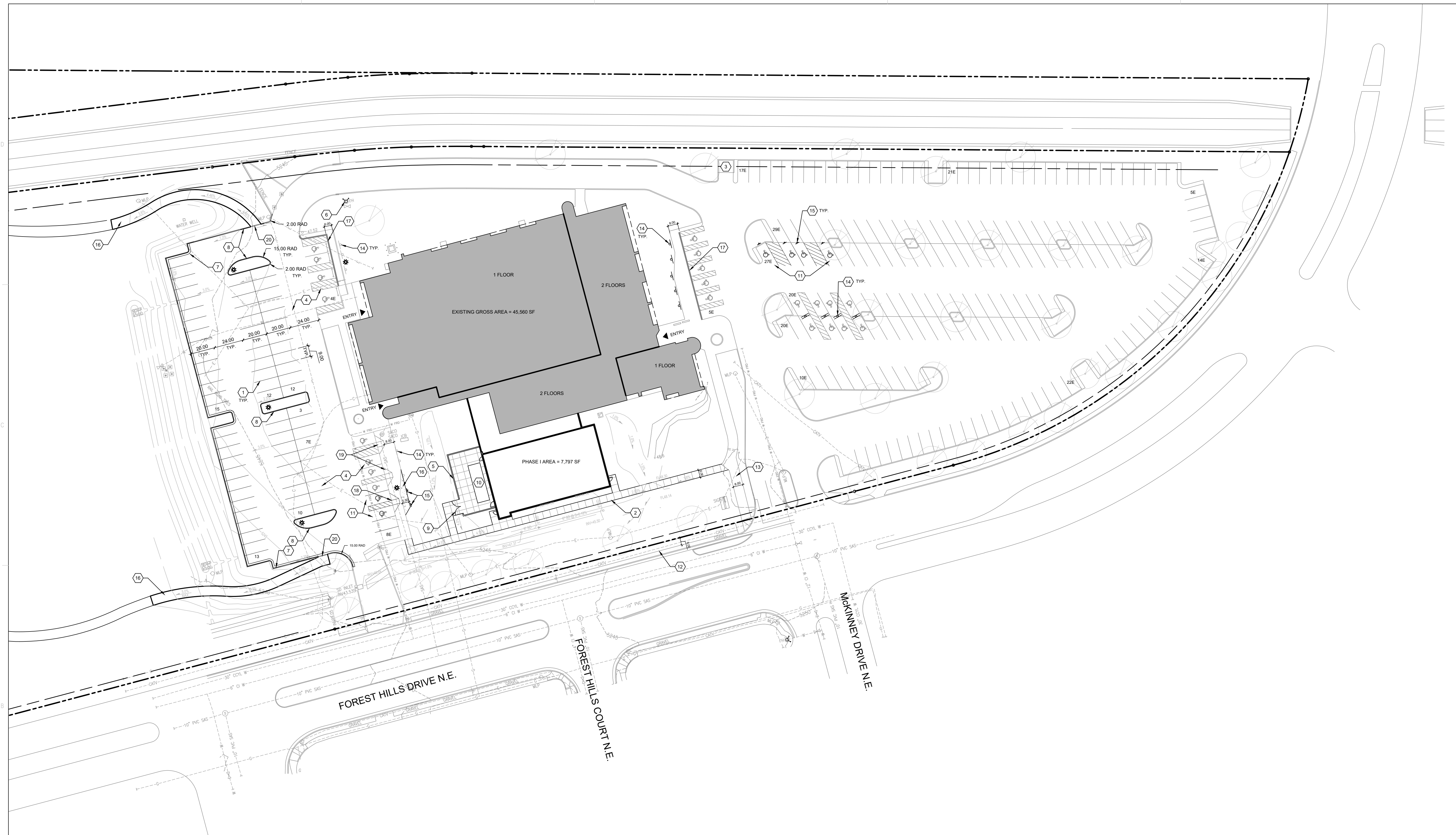
obla corne - northern pa

architects

SCALE: 1/8" = 1'-0"

2: 84-22-3
a of 12

07 AMENDED SITE PLAN & APPLICABLE SHEETS



PROJECT DATA	
BUILDING AREA CALCULATIONS:	
EXISTING HEALTHPLEX	= 45,560 SF
PHASE I	= 7,797 SF
PHASE II	= 1,293 SF
FUTURE EXPANSION	= 2,775 SF
GROSS BUILDING AREA	= 57,425 SF
PARKING CALCULATIONS:	
C.O.A. REQUIRED PARKING: 54,650 / 1000 * 5	= 267 SPACES
ADA REQUIRED PARKING: 20% OF PATIENT/VISITOR PARKING	= 135 * .20 = 27 SPACES
PROVIDED PARKING:	
EXISTING	= 210 SPACES (23 ADA)
NEW	= 61 SPACES (4 ADA)
TOTAL	= 271 SPACES (27 ADA)

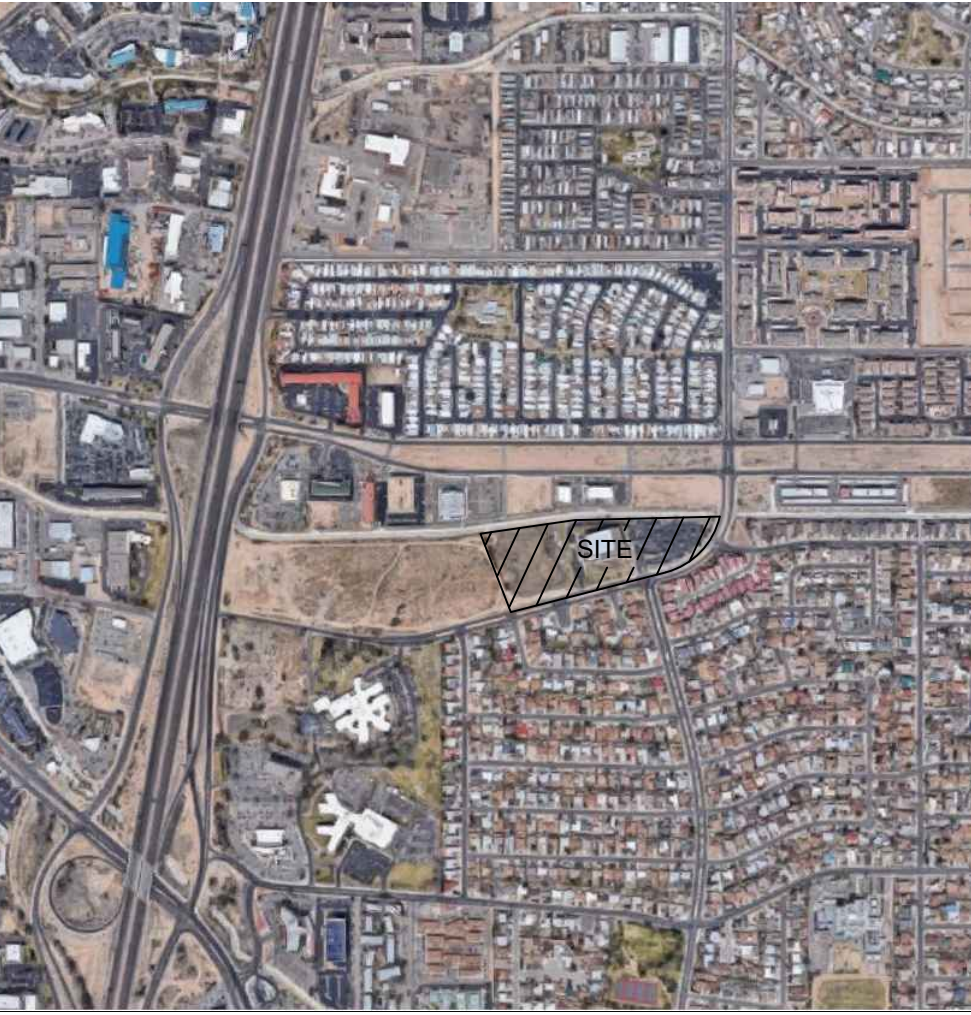
- GENERAL SHEET NOTES**
- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
 - ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
 - ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
 - ALL DRIVE AISLES ARE 24' UNLESS NOTED OTHERWISE.
 - ALL EXISTING PARKING SPACES ARE 9'X20' UNLESS NOTED OTHERWISE.
 - ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
 - ALL ADA PARKING IS EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.

- SHEET KEYED NOTES**
- PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
 - 8' WIDE CONCRETE SIDEWALK, SEE A6/AS501
 - EXISTING DUMPSTER ENCLOSURE
 - EXISTING ASPHALT PAVING TO REMAIN
 - 8' HIGH CMU SCREEN WALL, SEE DETAIL B3/AS501
 - EXISTING PRIVATE FIRE HYDRANT
 - CONCRETE CURB AND GUTTER, SEE A5/AS501
 - CONCRETE HEADER CURB, SEE B6/AS501
 - EQUIPMENT ENCLOSURE GATE, SEE A3/AS501.
 - MECHANICAL EQUIPMENT
 - PAINT NEW ACCESSIBLE PARKING, SEE C6/AS501.
 - EXISTING 6' WIDE CONCRETE SIDEWALK.
 - EXISTING 8' WIDE CONCRETE SIDEWALK.
 - EXISTING ACCESSIBILITY SIGNAGE
 - NEW ACCESSIBILITY SIGNAGE, SEE A3/AS501.
 - WIDEN EXISTING CONCRETE SIDEWALK AS INDICATED, SEE A6/AS501
 - EXISTING FLUSH SIDEWALK CONDITION ALONG ALL ADA SPACES.
 - NEW ADA ACCESSIBLE RAMP, SEE B2/AS501
 - EXISTING ADA ACCESSIBLE RAMP.
 - CURB CUT TO ACCESS TRAIL, SEE D2/AS501. ASPHALT TRAIL TO BE FLUSH WITH ASPHALT PARKING LOT.

LEGEND

	PROPERTY LINE
	BUILDING SETBACK
	NEW ASPHALT PARKING AREA
	LANDSCAPE AREA
	POLE LIGHT (16' MAX HEIGHT), SEE DETAIL A5/SDPS-3
	EXISTING FIRE HYDRANT
	EXISTING FIRE DEPARTMENT CONNECTION (F.D.C.)

VICINITY MAP



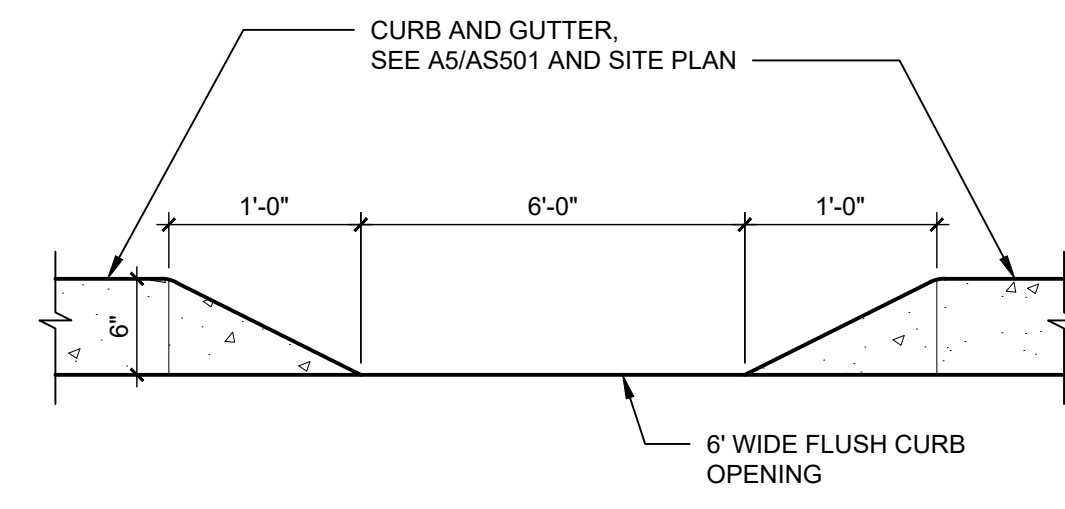
REVISIONS

	6/2/2020	MINOR AMENDMENT
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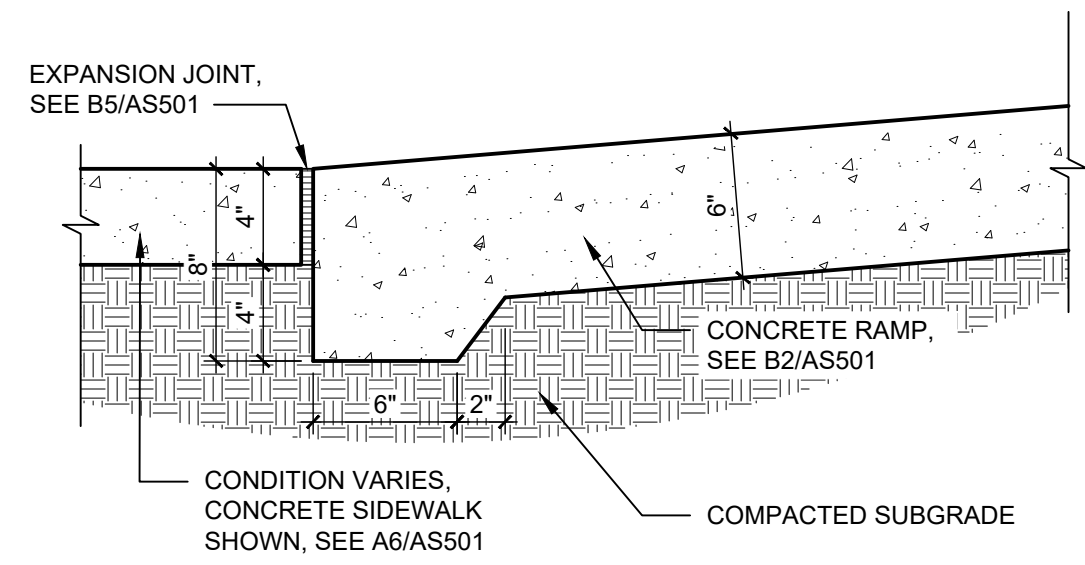
DRAWN BY	A. SANTI
REVIEWED BY	A. SANTI
DATE	06/12/2020
PROJECT NO.	20-0006.001
DRAWING NAME	

**ARCHITECTURAL
SITE PLAN**

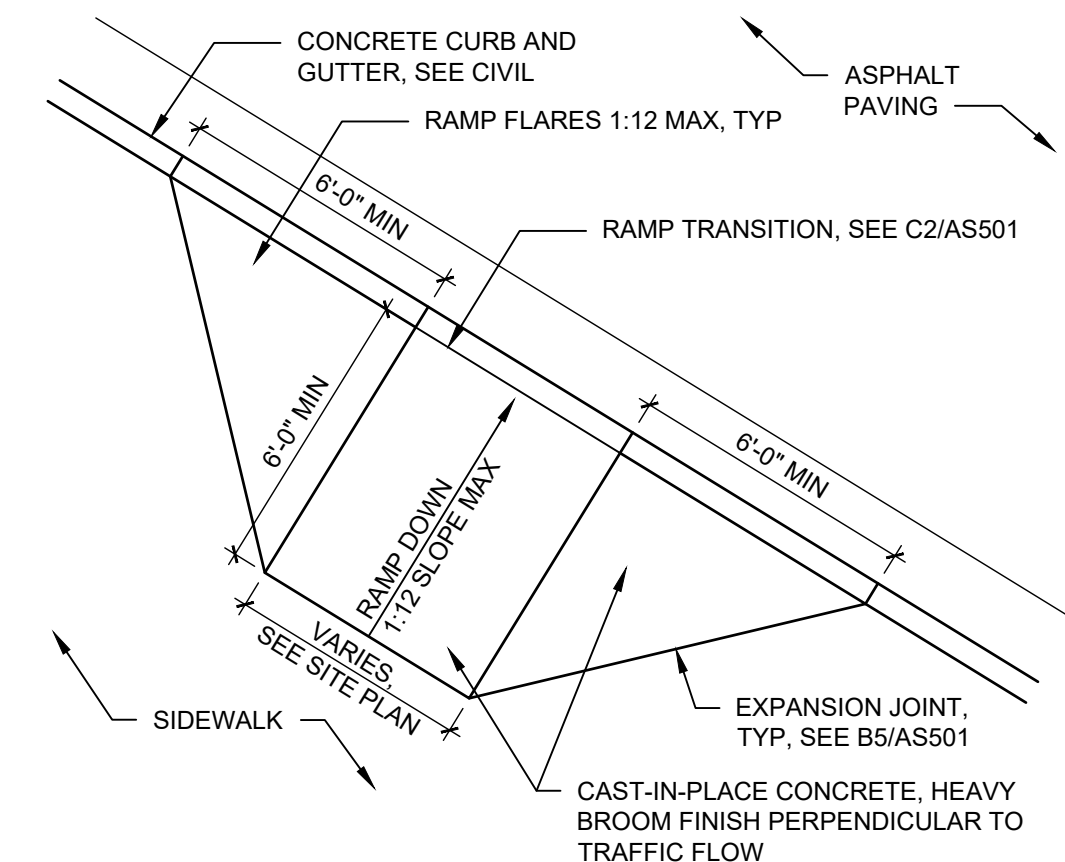
NOTES:
1. SEE SITE PLAN FOR CURB CUT LOCATIONS.



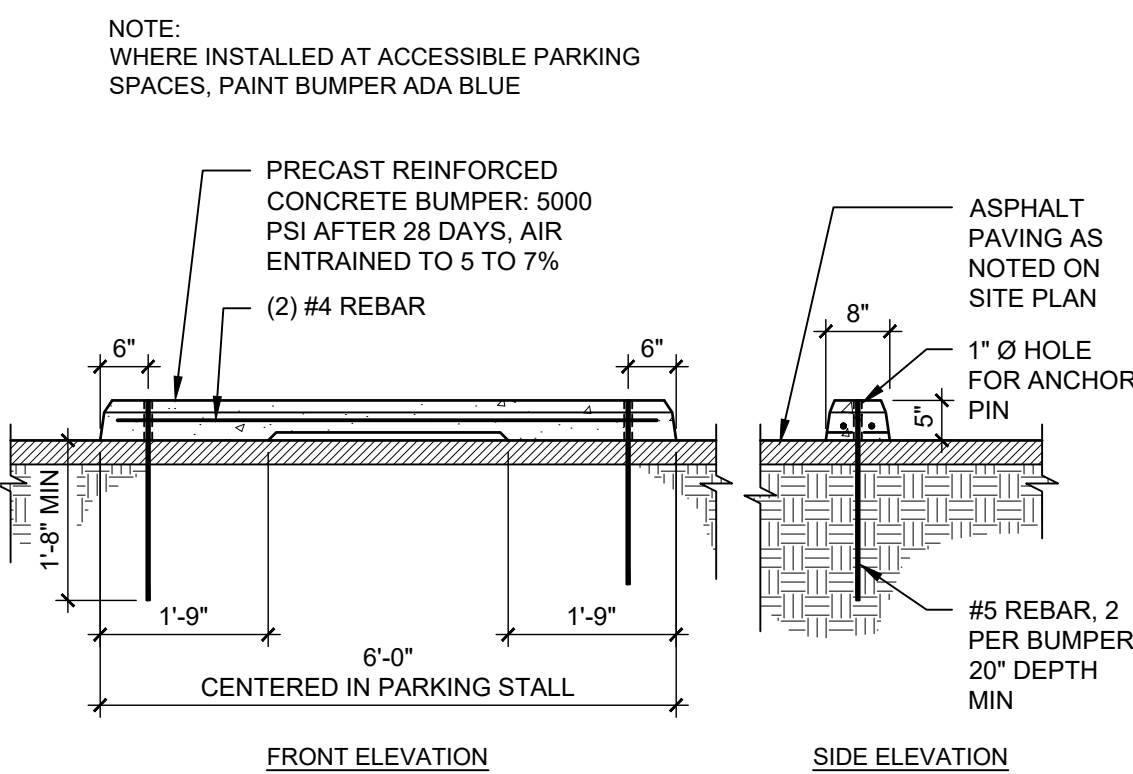
D2 CURB CUT ELEVATION
1" = 1'-0"



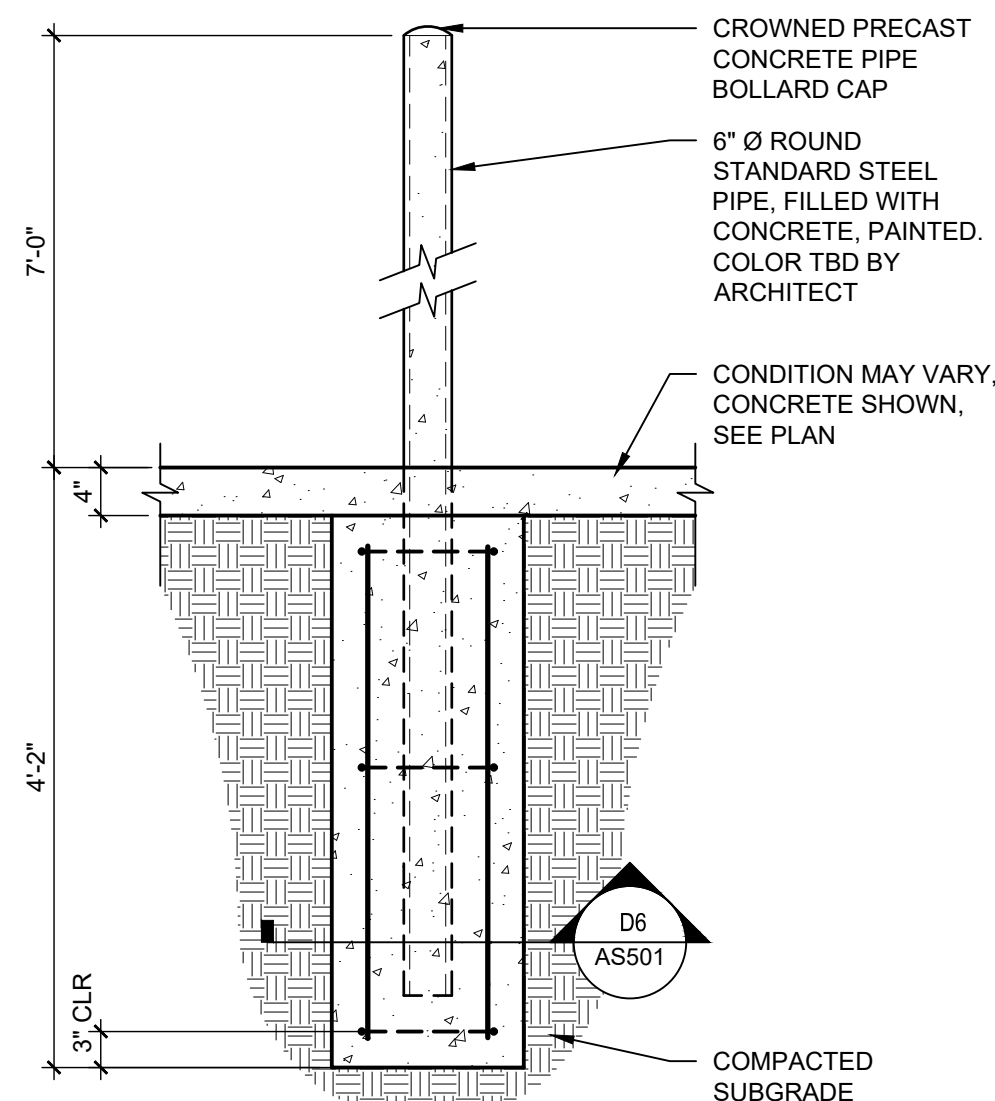
C2 RAMP TRANSITION
1 1/2" = 1'-0"



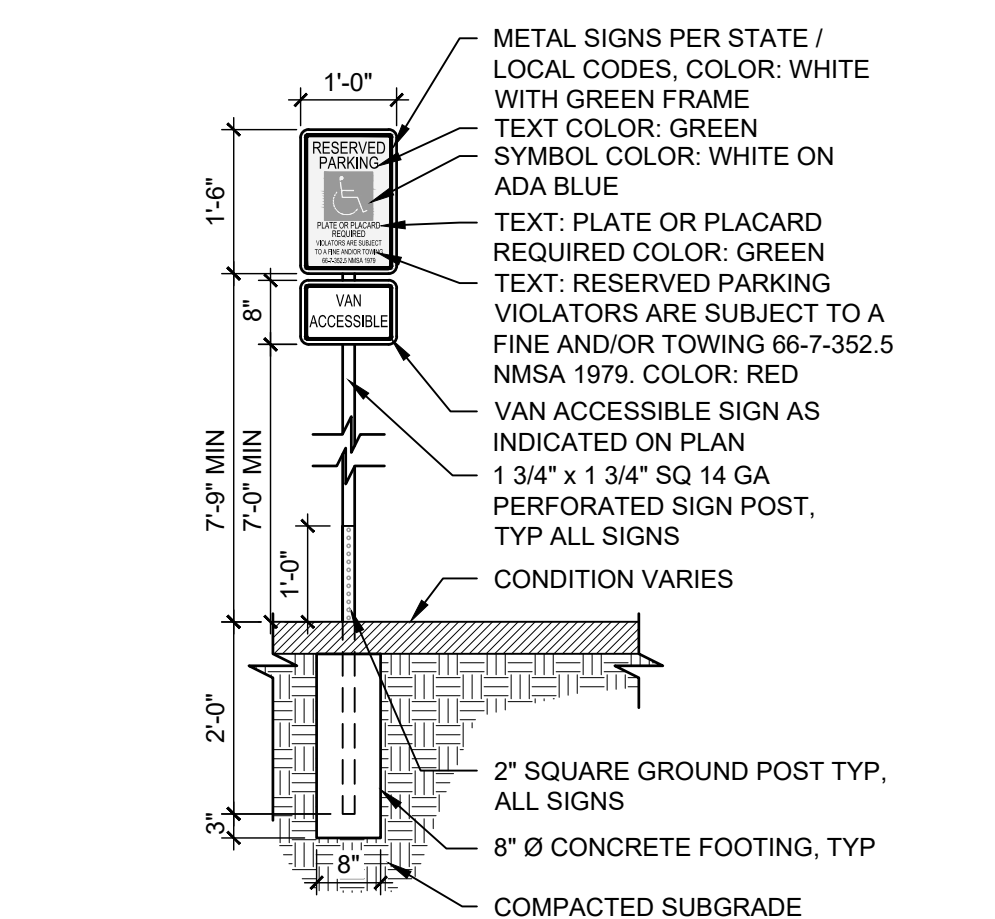
B2 ACCESSIBLE RAMP
1/4" = 1'-0"



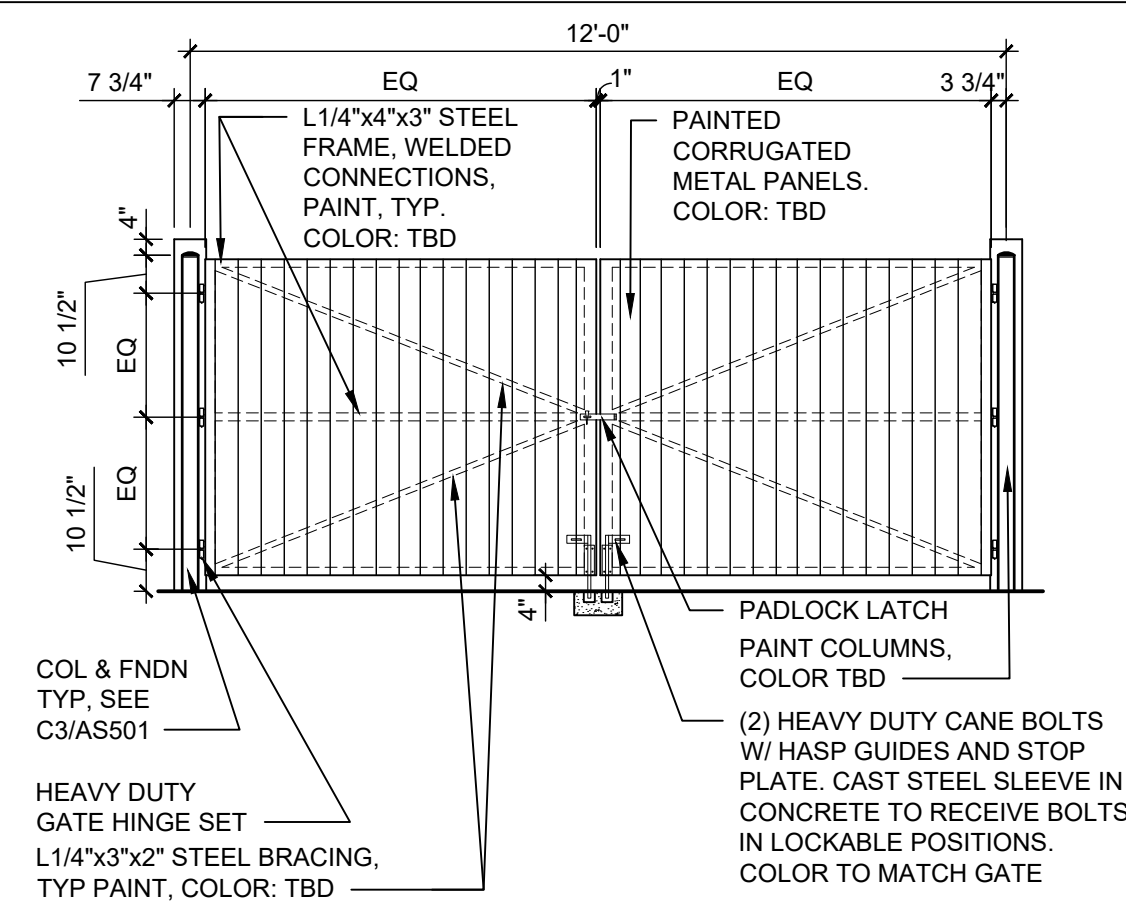
A2 PARKING BUMPER
1/2" = 1'-0"



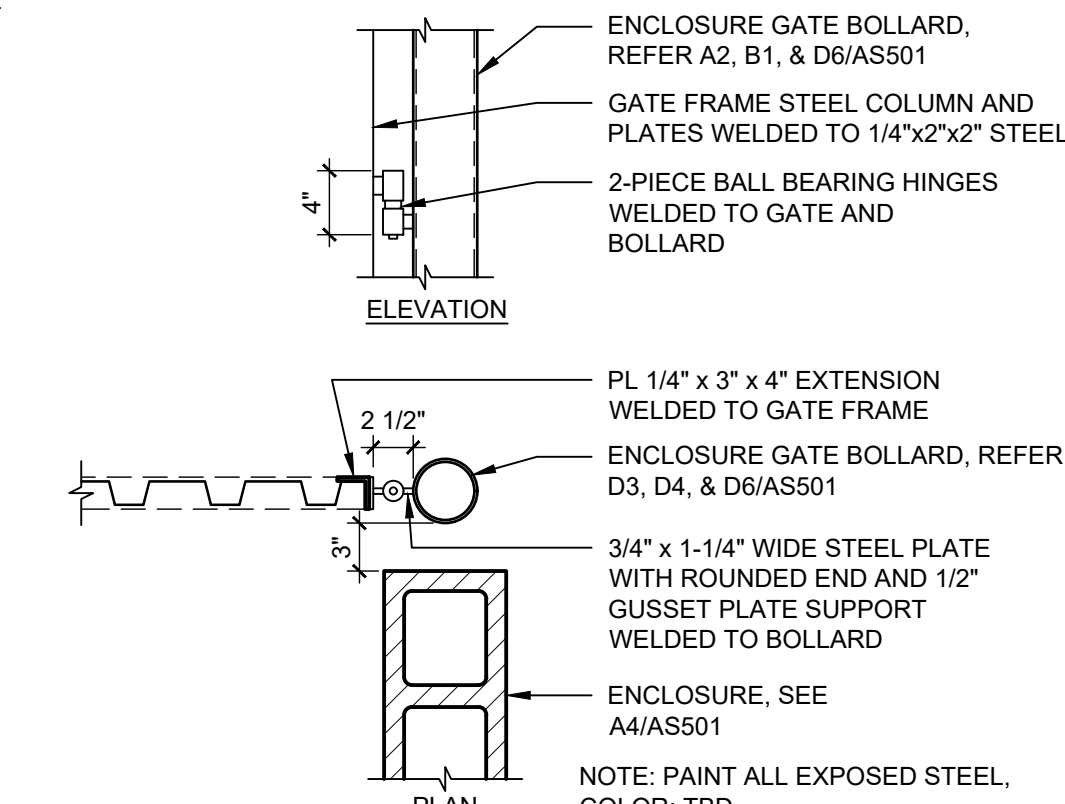
C3 GATE PIPE BOLLARD
3/4" = 1'-0"



A3 POLE MOUNTED H.C. SIGN (VAN)
1/2" = 1'-0"

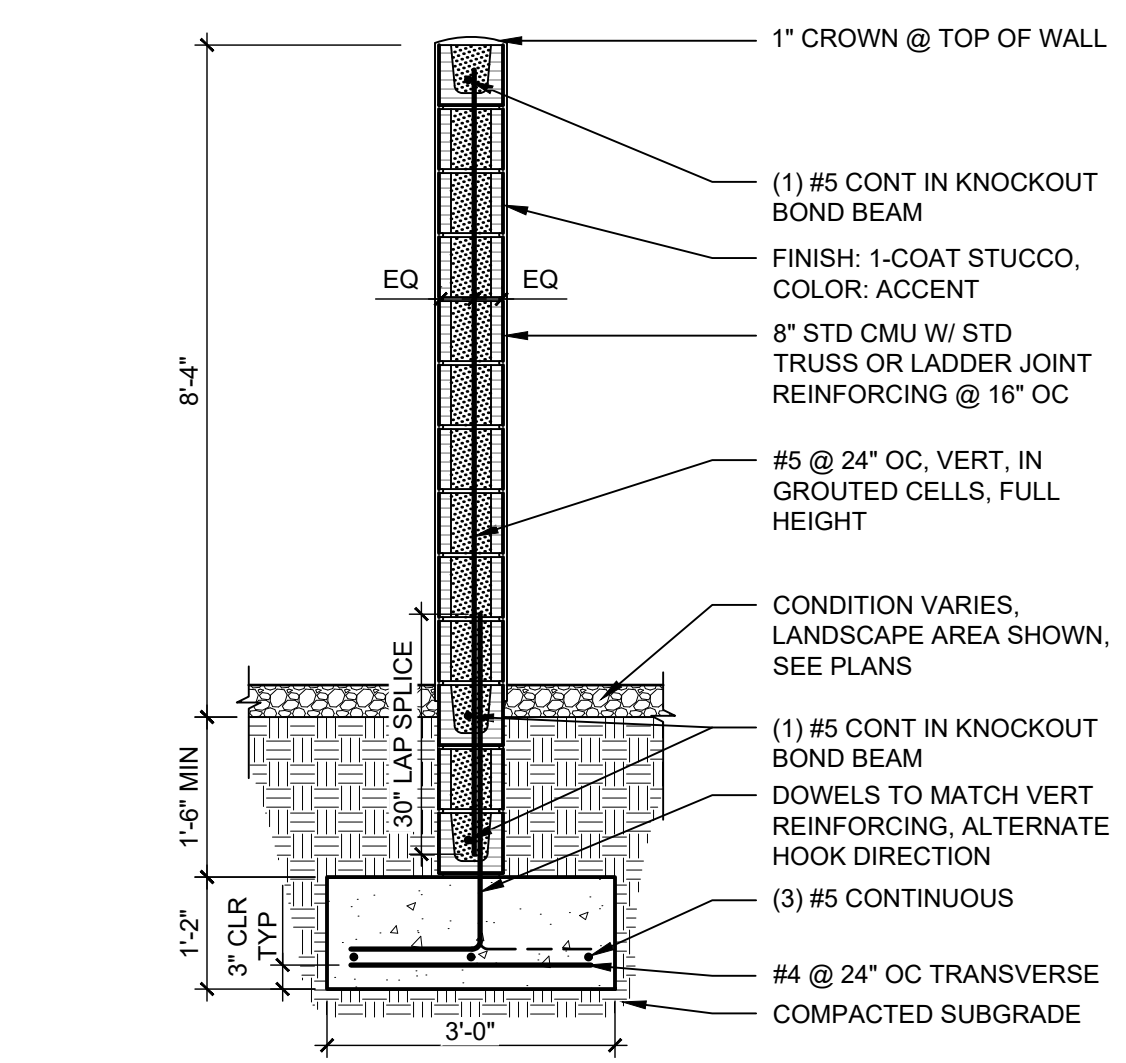


D4 ENCLOSURE GATE
1/4" = 1'-0"

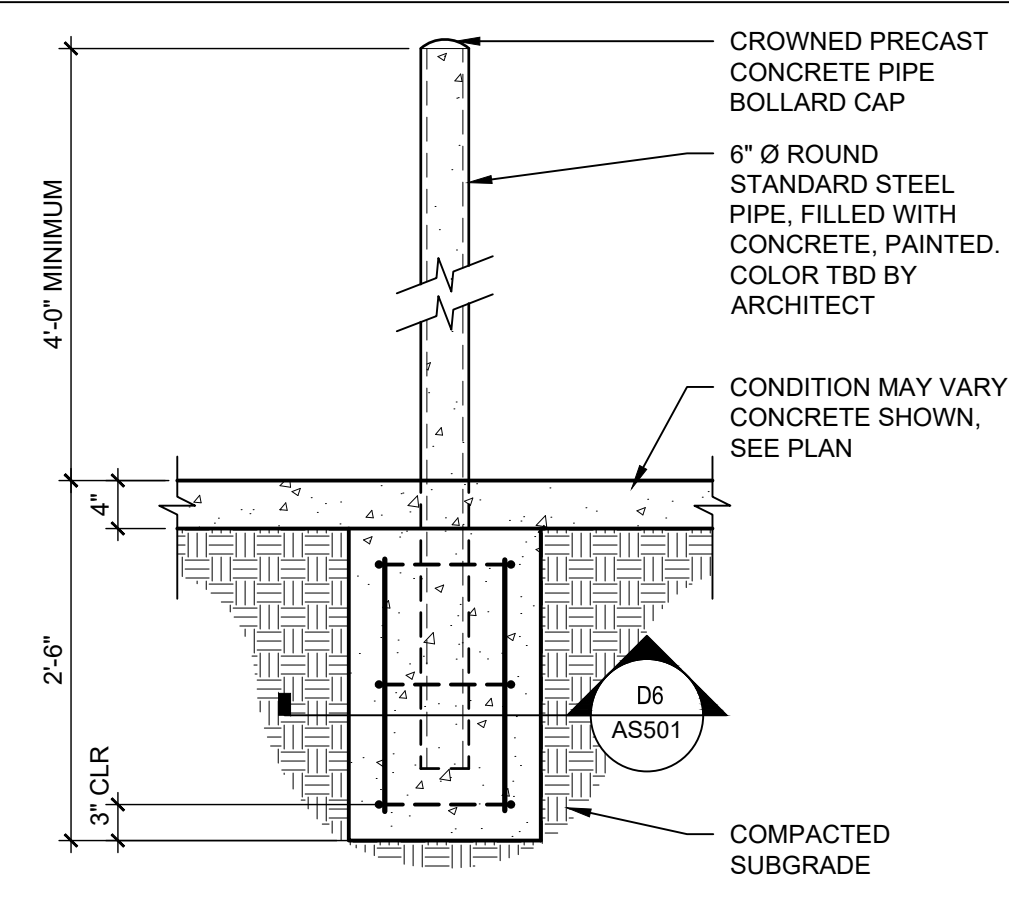


C4 POST CONNECTION @ UTILITY ENCLOSURE GATE
1" = 1'-0"

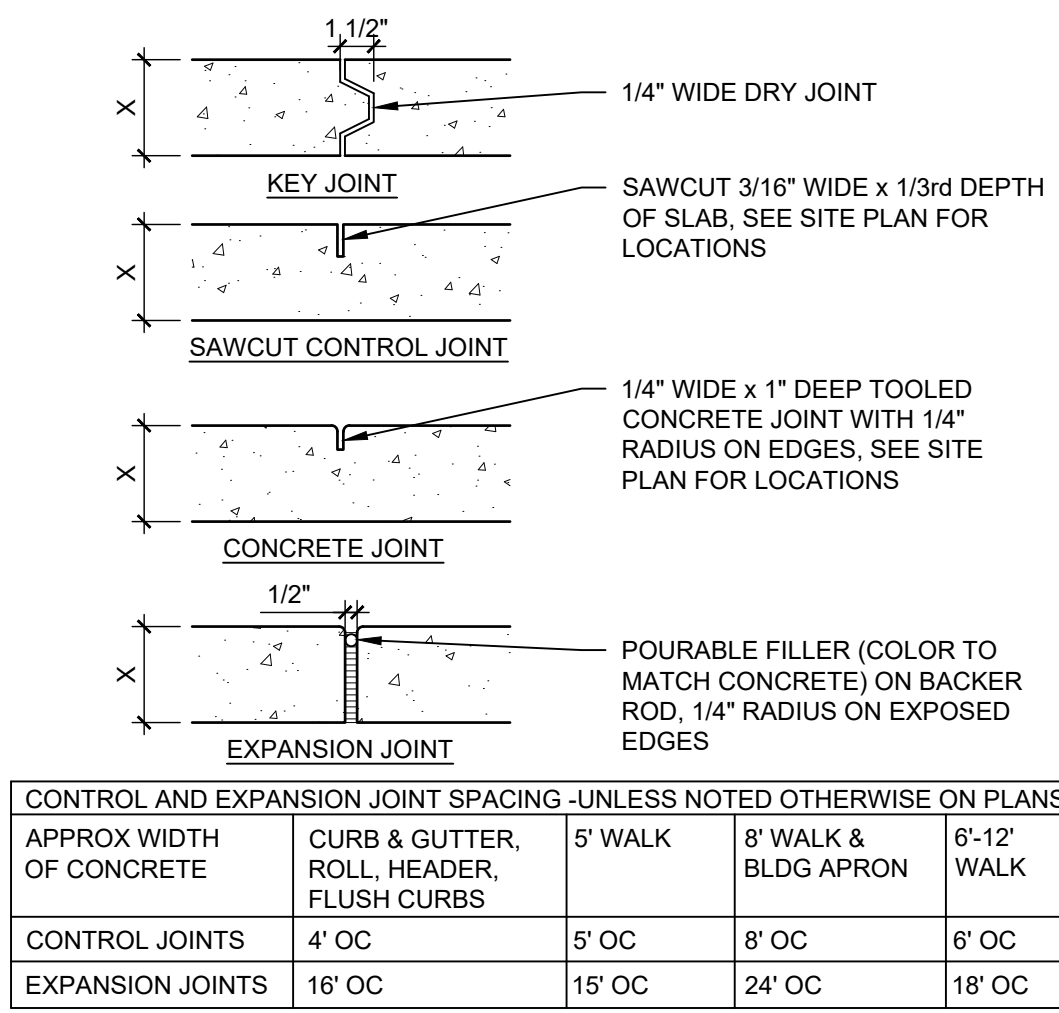
NOTE: PROVIDE MASONRY CONTROL JOINTS PER DETAIL D4/SB11 AT 10'-0" O.C. MAXIMUM



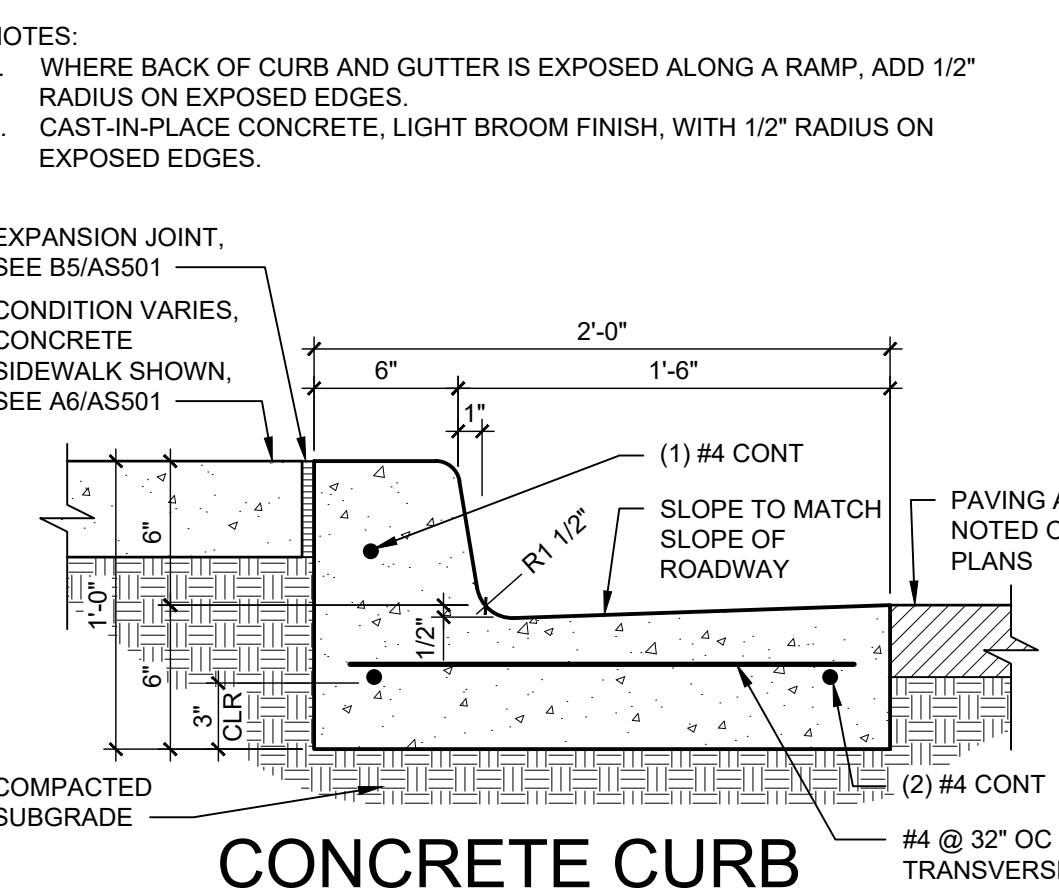
A4 8' CMU SCREEN WALL
1/2" = 1'-0"



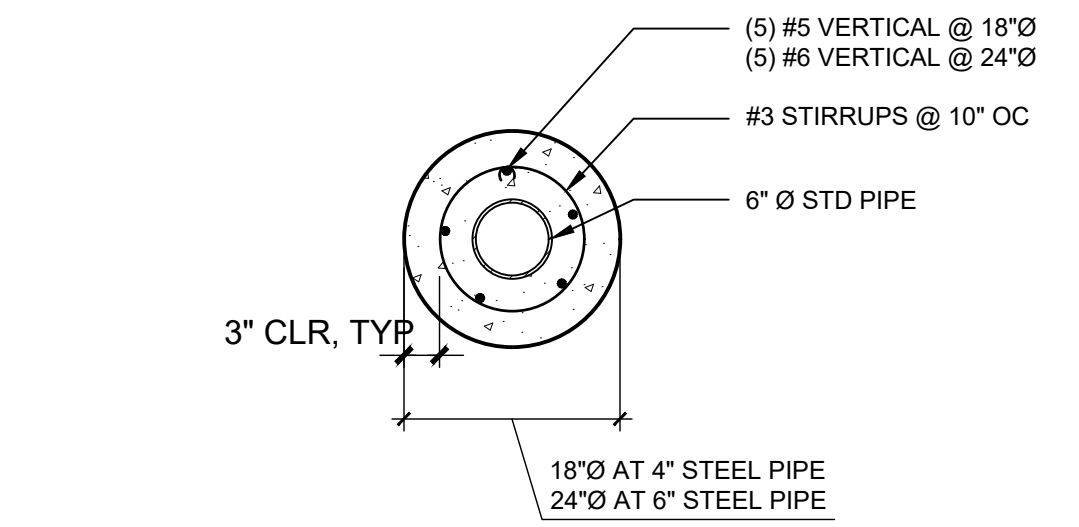
D5 PIPE BOLLARD
3/4" = 1'-0"



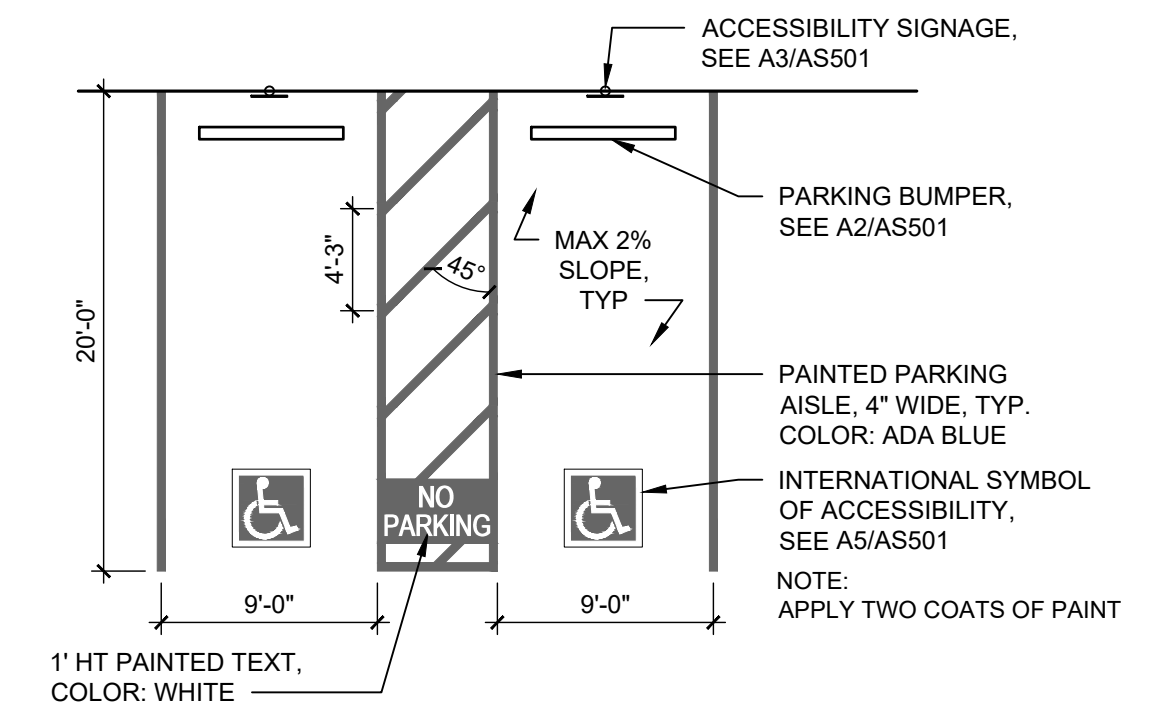
B5 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"



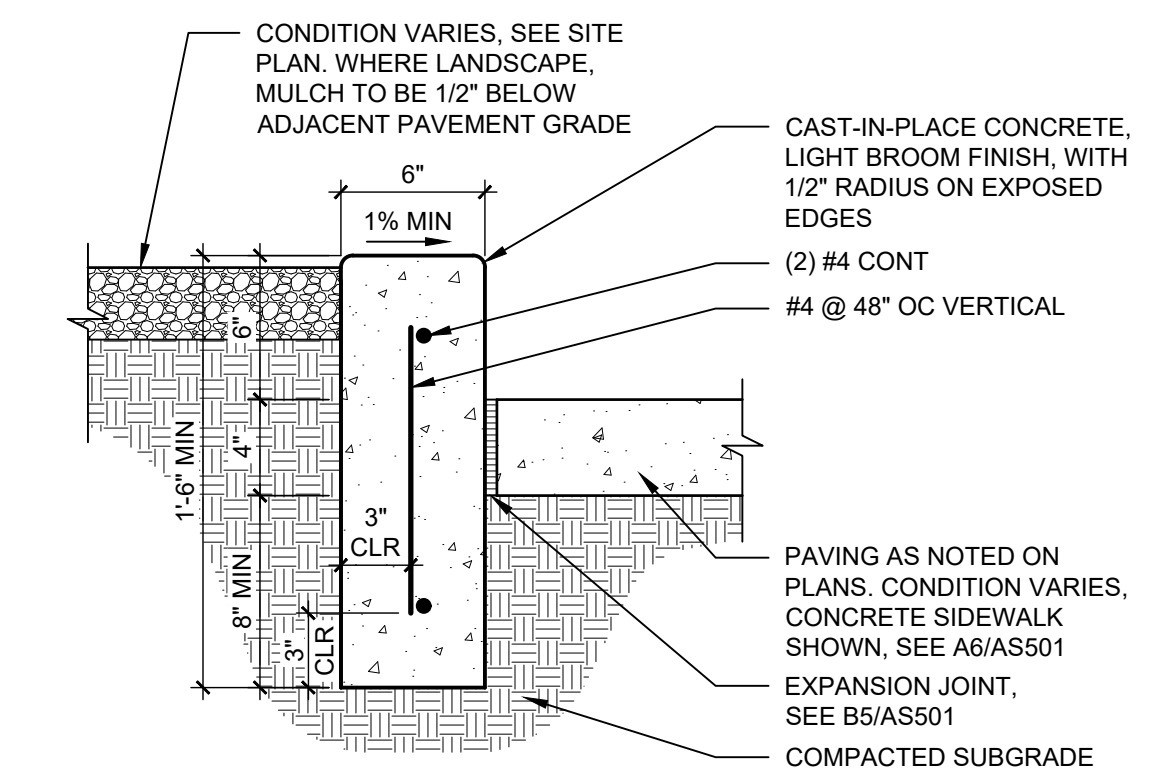
A5 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"



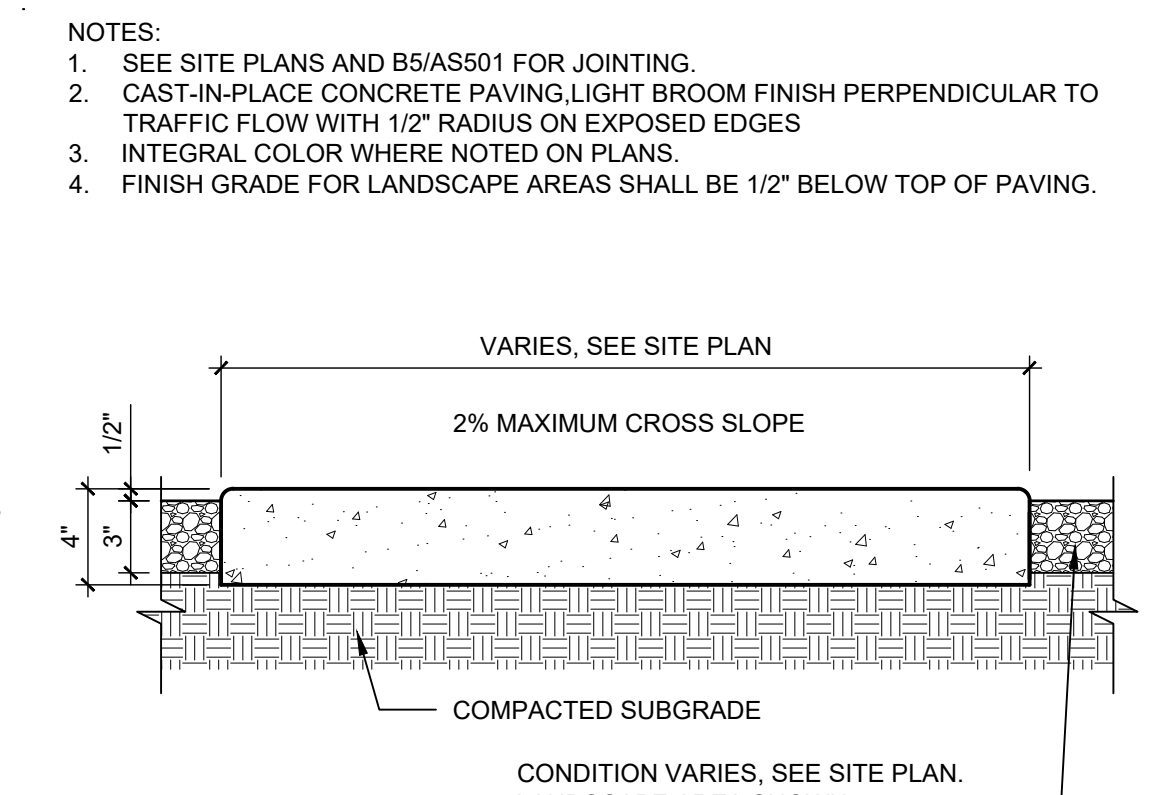
D6 PIPE BOLLARD FOOTING SECTION
3/4" = 1'-0"



C6 ACCESSIBLE PARKING
1/8" = 1'-0"



B6 CONCRETE HEADER CURB
1 1/2" = 1'-0"



A6 CONCRETE SIDEWALK
1 1/2" = 1'-0"

REVISIONS

6/2/2020	MINOR AMENDMENT
▲	
▲	
▲	
▲	

DRAWN BY A. SANTI
REVIEWED BY A. SANTI
DATE 06/12/2020
PROJECT NO. 20-0006.001
DRAWING NAME

SITE DETAILS

SHEET NO.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	2	GLEDTISIA TRIACANTHOS INERMIS 'SKYCOLE' TM	SKYLINE THORNLESS HONEY LOCUST	2" CAL.	45.00	35.00
	1	LAGERSTROEMIA INDICA 'TUSCARORA'	CRAPE MYRTLE	24" BOX	15.00	15.00
	3	PINUS NIGRA	AUSTRIAN BLACK PINE	6' HT	60.00	40.00
	8	ULMUS X 'FRONTIER'	FRONTIER ELM	2" CAL	35.00	30.00
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	34	BOUTELOUA 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GAL	3.00	3.00
	6	CHILOPSIS LINEARIS 'ARTS SEEDLESS'	DESERT WILLOW	24" BOX	25.00	25.00
	11	FALLUGIA PARADOXA	APACHE PLUME	5 GAL	5.00	6.00
	48	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	5.00	5.00
	37	NOLINA MICROCARPA	BEARGRASS	5 GAL	6.00	7.00
	10	SPOROBOLUS WRIGHTII 'WINDBREAKER'	LOS LUNAS SACATON	1 GAL	8.00	8.00

SHEET KEYED NOTES

- CLEAR SIGHT TRIANGLE. NO PLANT MATERIAL WITH A MATURE HEIGHT GREATER THAN 3'-0" TO BE WITHIN THIS AREA
- NATURAL EDGE BETWEEN WOOD MULCH AREA AND EXISTING VEGETATION
- COMMERCIAL GRADE STEEL EDGE
- EXTENT OF PARKING LOT AREA AS QUANTIFIED IN CALCULATIONS ON LP101

GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: DISTURBED LANDSCAPE AREAS ARE OR SHALL BE COVERED WITH TURF, OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH NEW TREE ROOTBALL AREA/DRIPLINE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 7 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- LANDSCAPE AREAS THAT AREA DISTURBED DURING CONSTRUCTION WILL BE REPAIRED TO THEIR ORIGINAL CONDITION.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- EXISTING PLANT MATERIAL TO BE PRESERVED ON THE PROPERTY IS SHOWN AND QUANTIFIED IN THE LANDSCAPE CALCULATIONS.
- SEE SITE PLAN FOR IMPERVIOUS AREAS AND EASEMENTS.

IRRIGATION NOTES

- THE IRRIGATION FOR NEW CONSTRUCTION AREAS IS CONNECTED TO THE SITE'S EXISTING IRRIGATION SYSTEM.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON RECORD DRAWINGS AND OWNER'S REPRESENTATIVE'S INFORMATION TO SPECIFY EXISTING IRRIGATION EQUIPMENT AND DATA. RECORD DRAWINGS ARE AVAILABLE UPON REQUEST.
- THE IRRIGATION SYSTEM IS COMPRISED OF THE FOLLOWING:
 - AN EXISTING POINT OF CONNECTION AND CONTROLLER ARE LOCATED IN THE EXISTING MECHANICAL ROOM. THE EXISTING CONTROLLER WILL OPERATE NEW AND EXISTING IRRIGATION.
 - THE CURRENT VACUUM BREAKER WILL BE REMOVED AND REPLACED WITH A NEW BACKFLOW PREVENTER THAT COMPLIES WITH THE CITY OF ALBUQUERQUE BACKFLOW PREVENTION DEVICE STANDARDS AND SPECIFICATIONS.
 - THE IRRIGATION ZONES BEING CREATED OR MODIFIED WITH THIS PROJECT ARE COMPRISED OF THE FOLLOWING:
 - NEW DRIP IRRIGATION ZONES.
 - RETROFIT ZONES THAT ARE IRRIGATING EXISTING PLANTS AND TURF.
- THE NEW DRIP IRRIGATION ZONES ARE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE NEW AND RETROFIT IRRIGATION ZONES WILL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- THE NEW AND RETROFIT IRRIGATION ZONE'S RUN TIMES ARE BASE UPON PLANT SPECIES AND ESTABLISHMENT. THE CONTRACTOR SHALL ADJUST RUN TIMES ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- THE CONTRACTOR SHALL AUDIT THE EXISTING IRRIGATION SYSTEM TO DETERMINE ITS EXTENTS, PERFORMANCE, AND CONDITION. THE CONTRACTOR SHALL VERIFY THE EXISTING SYSTEM AND NOTE WATER METERS, SHUT OFF VALVES, BACKFLOW PREVENTION ASSEMBLIES, PIPING, STATIONS AND OTHER COMPONENTS NECESSARY TO MANAGE DISTURBANCE, REPLACEMENT, AND OPERATION DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT THE EXISTING IRRIGATION SYSTEM TO ENSURE THAT REMAINING PLANTS RECEIVE IRRIGATION DURING CONSTRUCTION. THE CONTRACTOR MAY TEMPORARILY MODIFY THE EXISTING IRRIGATION SYSTEM TO ASSURE IRRIGATION TO THE REMAINING PLANT MATERIALS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.

LANDSCAPE CALCULATIONS

GROSS LOT AREA = 14.4371 AC = 628,880 SF
 AREA OF LOT COVERED BY BUILDINGS = 58,060 SF
 NET LOT AREA = 570,820 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA = 85,623 SF (15% OF NET LOT AREA)
 PROVIDED NEW LANDSCAPE AREA = 26,578 SF (4.6% OF NET LOT AREA)
 EXISTING LANDSCAPE AREA = 412,295 SF (72% OF NET LOT AREA)

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED= 1 TREE / 10 PARKING SPACES, NO PARKING SPACE MAY BE MORE THAN 100' FROM A TREE TRUNK
 TOTAL NUMBER OF NEW PARKING SPACES= 78 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 8 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 8

REQUIRED STREET TREES = 1 TREE PER 25' LINEAR FEET OF STREET FRONTAGE
 STREET TREES
 FOREST HILLS FRONTAGE = 85 LF
 REQUIRED STREET TREES = 4
 PROVIDED STREET TREES = 4 (2 NEW/2 EXISTING)

REQUIRED PARKING LOT LANDSCAPE AREA
 NEW PARKING LOT AREA = 31,149
 REQUIRED LANDSCAPE AREA IN PARKING LOT = 4,672 SF (15% OF PKG LOT AREA)
 PROVIDED LANDSCAPE AREA = 4,672 SF (15% OF PKG LOT AREA)

REQUIRED VEGETATIVE COVERAGE
 TOTAL VEGETATIVE COVER REQUIRED = 19,934 SF (75% OF TOTAL MULCHED LANDSCAPE AREA)
 TOTAL VEGETATIVE COVER PROVIDED = 19,944 SF (75% OF TOTAL MULCHED LANDSCAPE AREA)

TOTAL GROUND-LEVEL PLANT COVER REQUIRED = 6,645 SF (25% OF TOTAL MULCHED LANDSCAPE AREA)
 TOTAL GROUND-LEVEL PLANT COVER PROVIDED = 7,104 SF (26% OF TOTAL MULCHED LANDSCAPE AREA)

GROUND COVER MATERIAL
 TOTAL ROCK MULCH GROUND COVER = 19,109 SF (72% OF MULCHED LANDSCAPE AREA)
 TOTAL ORGANIC MULCH GROUND COVER = 7,469 SF (28% OF MULCHED LANDSCAPE AREA)
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED. A MINIMUM OF 25% ORGANIC MULCH IS REQUIRED. 14-16-5-6(c)(5)(d)

LEGEND

- PROPERTY LINE
- EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- SHREDDED BARK MULCH
- 7/8" SANTA FE BROWN ROCK MULCH AT 2" DEPTH OVER WEED BARRIER FABRIC
- EXCLUDED FROM LANDSCAPE AREA CALCULATIONS
- TURF GRASS SEEDING REPAIR OF EXISTING LAWN AREA
- EXISTING VEGETATION TO REMAIN



NORTH
A1 LANDSCAPE PLAN
 1" = 30'-0"
 0 30' 60'



ARCHITECTURE
 DESIGN
 INSPIRATION



ARCHITECT
 ENGINEER
 PROJECT

PHS HEALTHPLEX
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 6301 FOREST HILLS DR. NE
 ALBUQUERQUE, NM

REVISIONS

06/02/2020	MINOR AMENDMENT
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DRAWN BY MB/CD
 REVIEWED BY MB
 DATE 05/18/2020
 PROJECT NO. 20-0006.001
 DRAWING NAME

LANDSCAPE PLAN
 SHEET NO. LP101
 OF



SEAL



PROJECT

PHS HEALTHPLEX
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
6301 Forest Hills Dr NE
Albuquerque, NM 87109

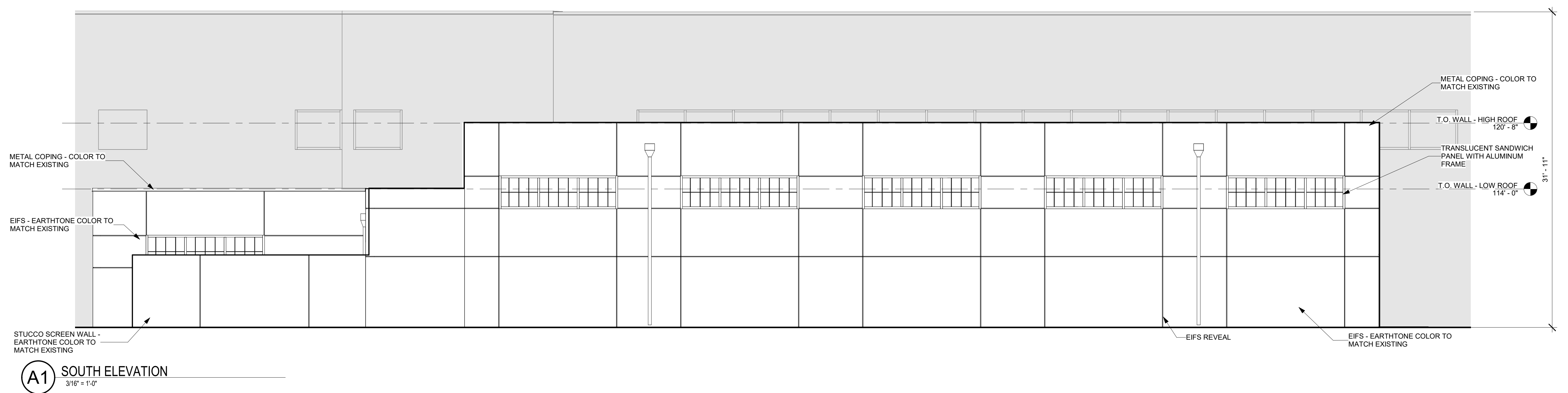
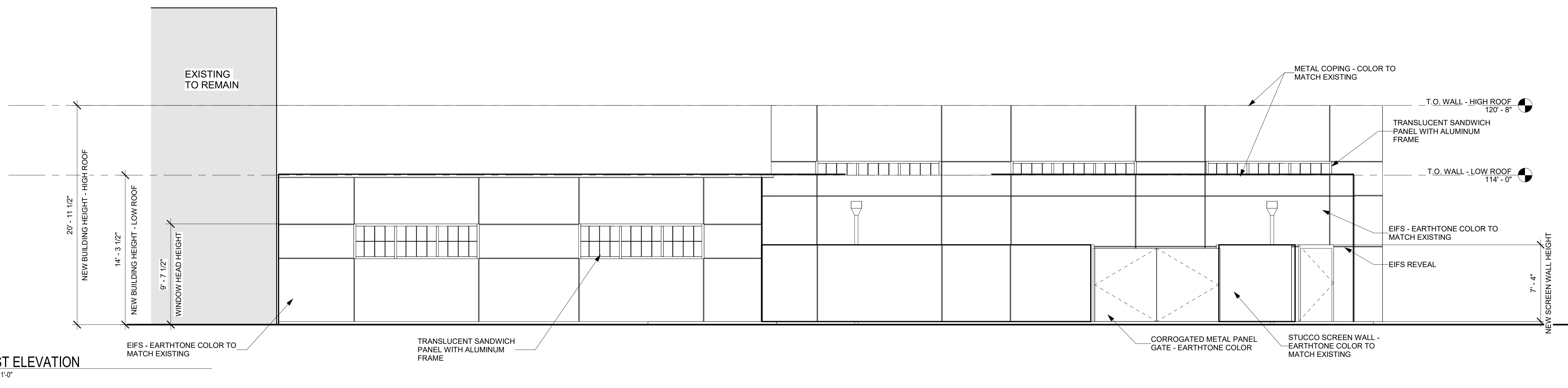
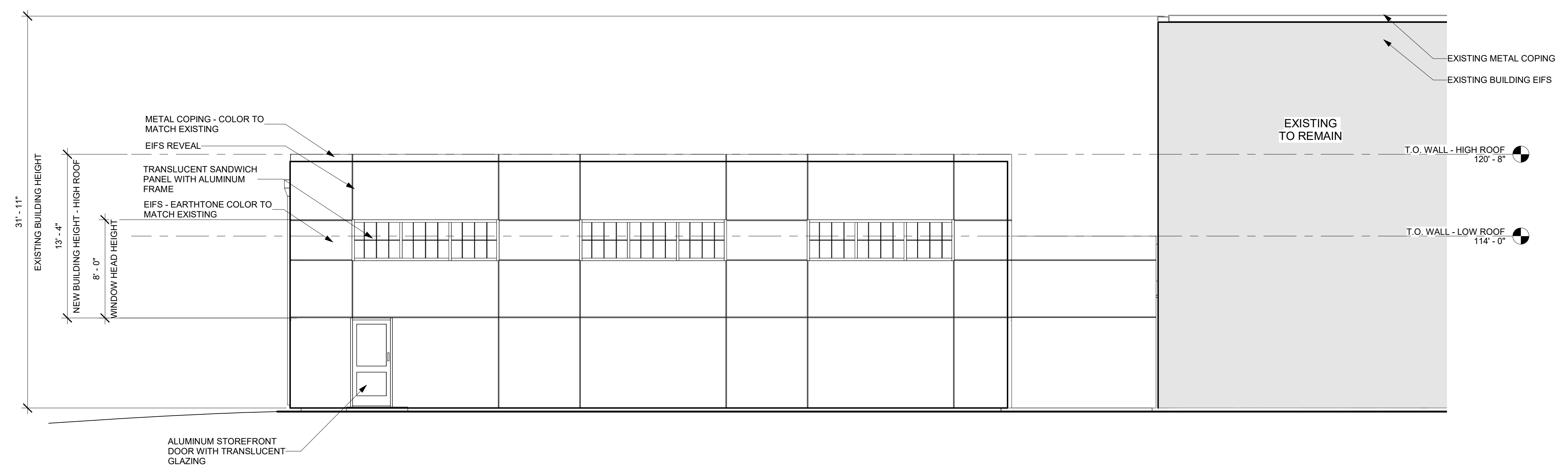
REVISIONS

1	6/2/2020	MINOR AMENDMENT

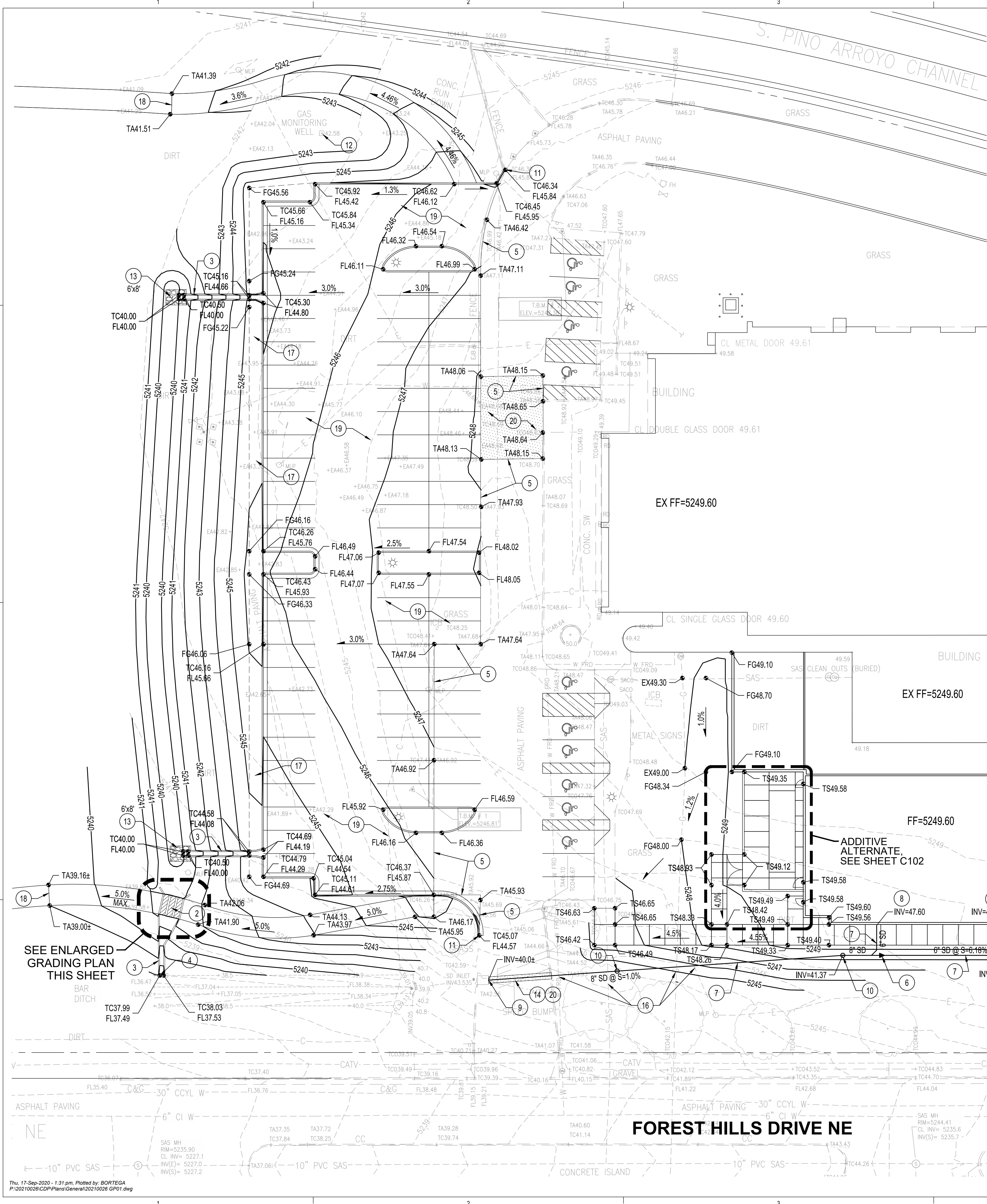
DRAWN BY: K. ROWBOTHAM
REVIEWED BY: C. LAFLIN
DATE: 05/25/2020
PROJECT NO: 20-0006

DRAWING NAME
**EXTERIOR
ELEVATIONS**

SHEET NO
AE201

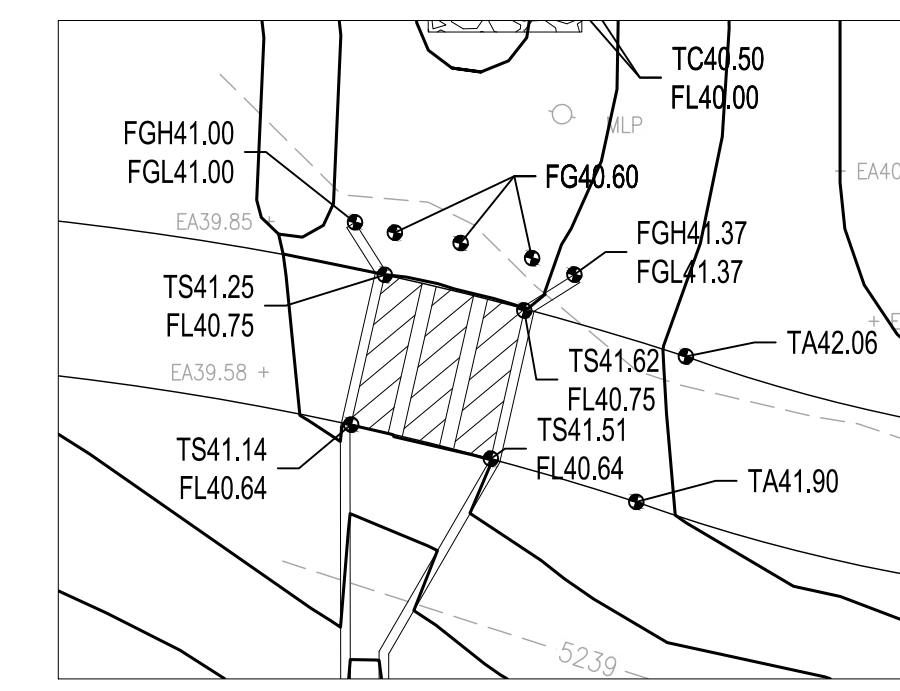


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LEGEND

	PROPERTY LINE
	PROPOSED SPOT ELEVATION TA=TOP OF ASPHALT TC=TOP OF CURB FL=FLOW LINE TOC=TOP OF CONCRETE TS=TOP OF SIDEWALK TG=TOP OF GRATE FG=FINISHED GRADE FGH=FINISHED GRADE HIGH FGL=FINISHED GRADE LOW INV=INVERT
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	DIRECTION OF FLOW
	PROPOSED STORM DRAIN PIPE
	HEAVY DUTY ASPHALT PAVEMENT PER 6/C201



- KEYED NOTES**
- INSTALL 18" WIDE SIDEWALK CULVERTS PER COA STD DWG 2236.
 - INSTALL 3 - 24" WIDE SIDEWALK CULVERTS PER COA STD DWG 2236 AND SECTION A/C201.
 - INSTALL 18" WIDE CONCRETE RIBBON CHANNEL PER 2/C201.
 - CONNECT CONCRETE RIBBON CHANNEL TO EXISTING CONCRETE CHANNEL PER SECTION B/C201.
 - MATCH EXISTING ASPHALT PAVEMENT.
 - INSTALL 8"x6" ECCENTRIC REDUCER.
 - INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE AND SLOPE.
 - CONNECT ROOF DRAIN DOWNSPOUT TO UNDERGROUND STORM DRAIN PIPE PER DETAIL 1/C201.
 - CORE DRILL AND CONNECT TO EXISTING STORM DRAIN INLET. INSTALL BITUMINOUS SEALANT OR APPROVED EQUAL TO SEAL ANNULAR SPACE. CONTRACTOR TO VERIFY EXACT INVERT ELEVATION OF EXISTING INLET AND MAINTAIN A MINIMUM OF 1.0% SLOPE ON THE 8" STORM DRAIN PIPE.
 - INSTALL STORM DRAIN CLEANOUT PER 3/C201.
 - MATCH EXISTING CURB AND GUTTER HORIZONTALLY AND VERTICALLY.
 - EXISTING GAS MONITORING WELL TO REMAIN. PROTECT IN PLACE.
 - INSTALL RIP-RAP EROSION CONTROL PAD PER 4/C201.
 - REMOVE AND REPLACE EXISTING ASPHALT PAVEMENT, ASPHALT SPEED BUMP AND CONCRETE CURB AS NEEDED FOR INSTALLATION OF STORM DRAIN PIPE. MATCH EXISTING.
 - COORDINATE EXACT LOCATION OF RIP-RAP PAD WITH ROOF DRAIN LOCATION. SEE ARCHITECTURAL / PLUMBING PLANS.
 - CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO STORM DRAIN TRENCHING AND INSTALLATION. NOTIFY ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS.
 - MAINTAIN A 2.0% SLOPE FROM BACK OF CURB FOR 5'.
 - MATCH EXISTING ASPHALT TRAIL.
 - INSTALL LIGHT DUTY ASPHALT PAVEMENT PER 5/C201.
 - INSTALL HEAVY DUTY ASPHALT PAVEMENT PER 6/C201.

**DEKKER
PERICH
SABATINI**

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

ENGINEER



PROJECT

**PHS HEALTHPLEX
POOL ADDITION**
6301 FOREST HILLS DR. NE
ALBUQUERQUE, NM

ISSUED FOR
PERMIT & BID

REVISIONS

DRAWN BY	BO
REVIEWED BY	GSB
DATE	08.12.2020
PROJECT NO.	20-0006.001
DRAWING NAME	

GRADING &
DRAINAGE PLAN

SHEET NO.

C101
OF

Bohannon & Huston
www.bhinc.com 800.877.5332

This 17-Sep-2020 - 1:31 pm. Plotted by: BORTEGA
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