

01 APPLICATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Presbyterian - Jim Jeppson		Phone: 505-563-6641
Address: P.O. Box 26666		Email: JJeppson@phs.org
City: Albuquerque	State: NM	Zip: 87125
Professional/Agent (if any): Dekker/Perich/Sabatini - Anthony Santi		Phone: 505-761-9700
Address: 7601 Jefferson NE Suite 100		Email: anthony@dpdesign.org
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Amend prior approval to add a building addition and parking

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract 2	Block:	Unit:
Subdivision/Addition: New Heart Center Cont	MRGCD Map No.:	UPC Code: 101806216646720105
Zone Atlas Page(s): E-18-Z	Existing Zoning: MX-T	Proposed Zoning: MX-T
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 28.8742

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 6301 Forest Hills NE	Between: San Antonio	and: Pan American
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-84-22-(2)(3)

Signature:	Date: 6/22/2020
Printed Name: Anthony Santi	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-00573	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2020-004081

02 LETTER OF AUTHORIZATION



Presbyterian Healthcare Services
P.O. Box 26666
Albuquerque, NM 87125-6666
(505) 841-1234
www.phs.org

July 1, 2020

Russell Brito
Urban Design & Development Director
City of Albuquerque Planning Department
600 Second Street NW | Albuquerque, NM 87102

**Re: Request for Minor Administrative Amendment of an approved Site Development Plan
Presbyterian Healthplex
6301 Forest Hills NE, Albuquerque NM 87107**

Dear Russell Brito,

This letter authorizes Dekker/Perich/Sabatini LLC and Bohannon Huston Inc. to represent Presbyterian Healthcare Services with regard to the design and approval of all necessary steps related to the regulatory and permitting process with the city of Albuquerque for Presbyterian Healthplex. This letter authorizes Dekker/Perich/Sabatini LLC and Bohannon Huston Inc. to act as Presbyterian Healthcare Services' agent as necessary with the permitting and associated approval processes required for the proposed facilities on the property referenced above.

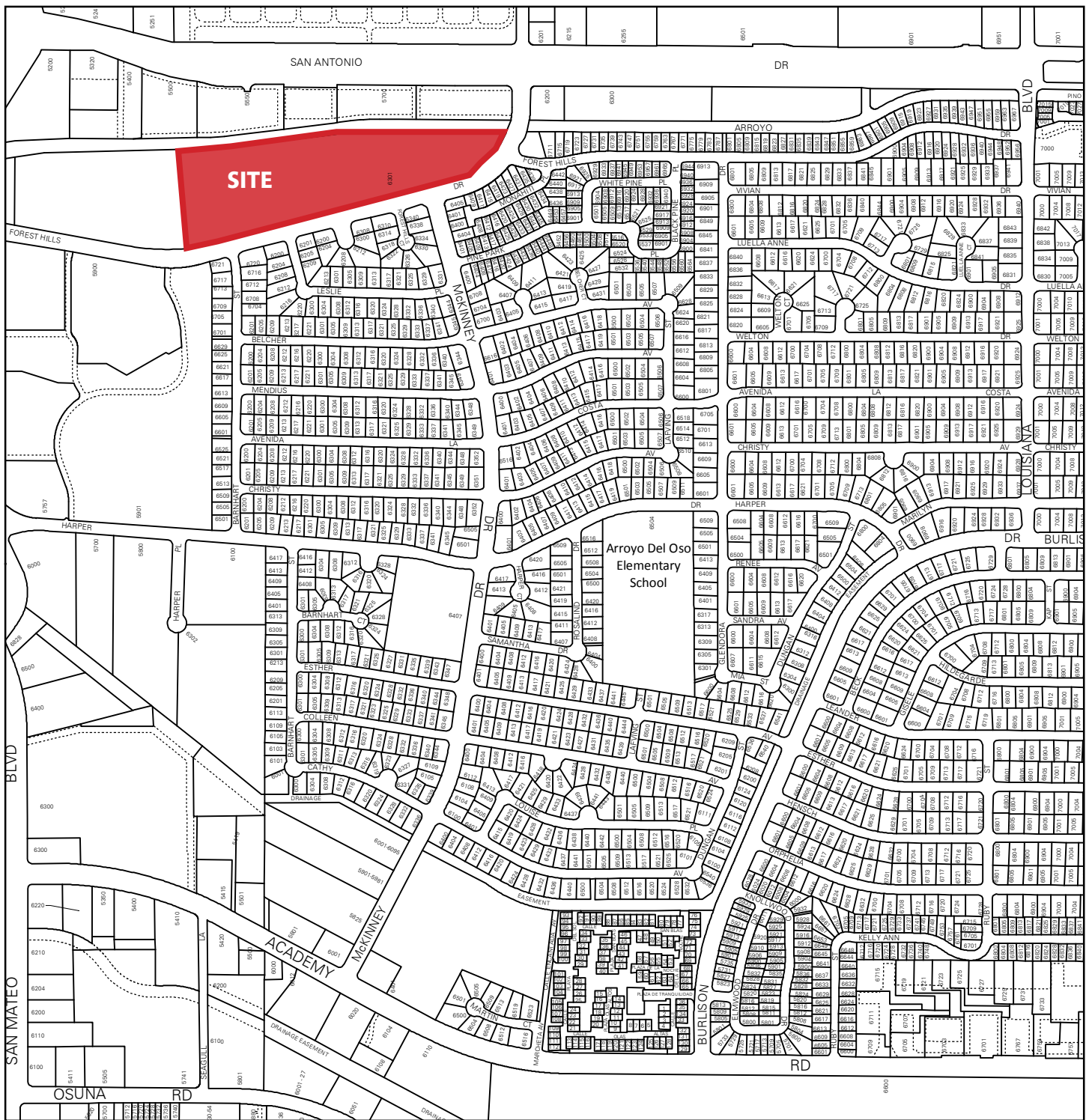
Please contact me at 563-6641 if there are any questions.

Sincerely,

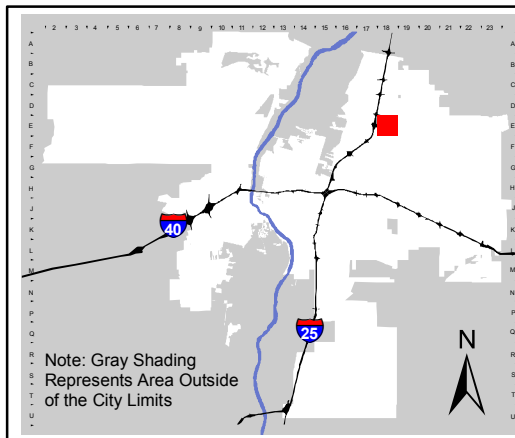
A handwritten signature in blue ink, appearing to read "James R. Jeppson".

James R. Jeppson
VP Real Estate and Construction

03 ZONE ATLAS MAP



For more current information and details visit: www.cabq.gov/gis

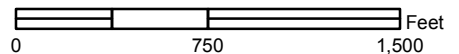
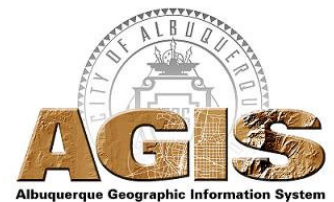


Address Map Page:

E-18-Z

Map Amended through:
3/17/2017

These addresses are for informational purposes only and are not intended for address verification.



04 FORM P3

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 6/22/2020</p>
<p>Printed Name: Anthony Santi</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number: PR-2020-004081</p>	<p>Case Numbers: SI-2020-00573</p>
<p>Staff Signature:</p>	
<p>Date:</p>	

05 JUSTIFICATION LETTER

July 2, 2020

Russell Brito
Urban Design & Development Director
City of Albuquerque Planning Department
600 Second Street NW | Albuquerque, NM 87102

**Re: Request for Minor Administrative Amendment of an approved Site Development Plan
Presbyterian Healthplex
6301 Forest Hills NE, Albuquerque NM 87107**

Dear Russell Brito,

Presbyterian Healthcare Services, owner of the subject property, is seeking to amend the existing site development plan for the Pres Healthplex located at 36301 Forest Hills NE. This request will facilitate slight modifications to the footprint of the originally approved pool addition on the southern façade of the existing facility and new parking on the northwest of the facility.

The original site plan for the Healthplex site was approved in the 1990's and included a future phase to accommodate a pool. Presbyterian plans to proceed with the expansion of the Healthplex, but is requesting a minor amendment to accommodate modifications to the originally approved footprint and expansion of the western parking lot. The revised expansion plans are proposed to occur over three phases that would result in an addition which will be of the same square footage as originally approved, but makes modifications to the original footprint to accommodate modern facility design concepts. In addition, the proposed site plan proposes to add 61 new parking spaces to the west of the existing facility.

The originally approved site plan does not appear to have included approved development standards drafted uniquely for the Healthplex facility. This request therefore defaults to the development standards of the Integrated Development Ordinance (IDO) for requirements such as off-street parking. The proposed addition and off-street parking that is the basis of this request complies with all applicable City regulations and meets the intent of the original Healthplex approval.

Based upon the rationale presented in this letter, we respectfully request administrative approval of the proposed amendment to the approved Site Development Plan to facilitate the expansion of the Presbyterian Healthplex. If you have any questions or need clarification of anything contained herein, please contact me by phone at 761-9700.

Sincerely,



Will Gleason, Dekker/Perich/Sabatini
Agent for Presbyterian Healthcare Services

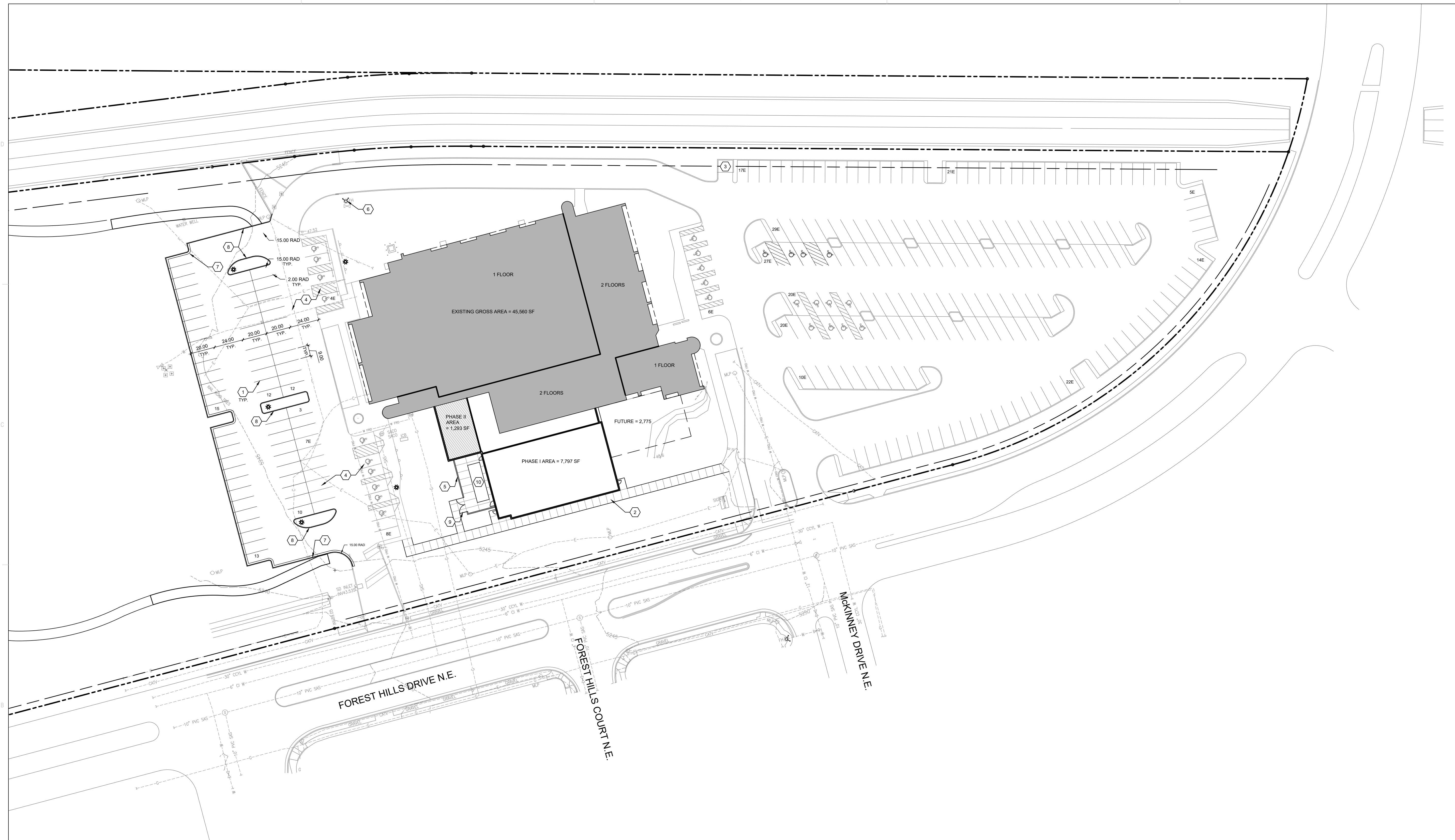
07 AMENDED SITE PLAN & APPLICABLE SHEETS

REVISIONS	
△	6/2/2020 MINOR AMENDMENT
△	
△	
△	

DRAWN BY	A. SANTI
REVIEWED BY	A. SANTI
DATE	06/12/2020
PROJECT NO.	20-0006.001
DRAWING NAME	

ARCHITECTURAL
SITE PLAN

SHEET NO.
AS101
OF



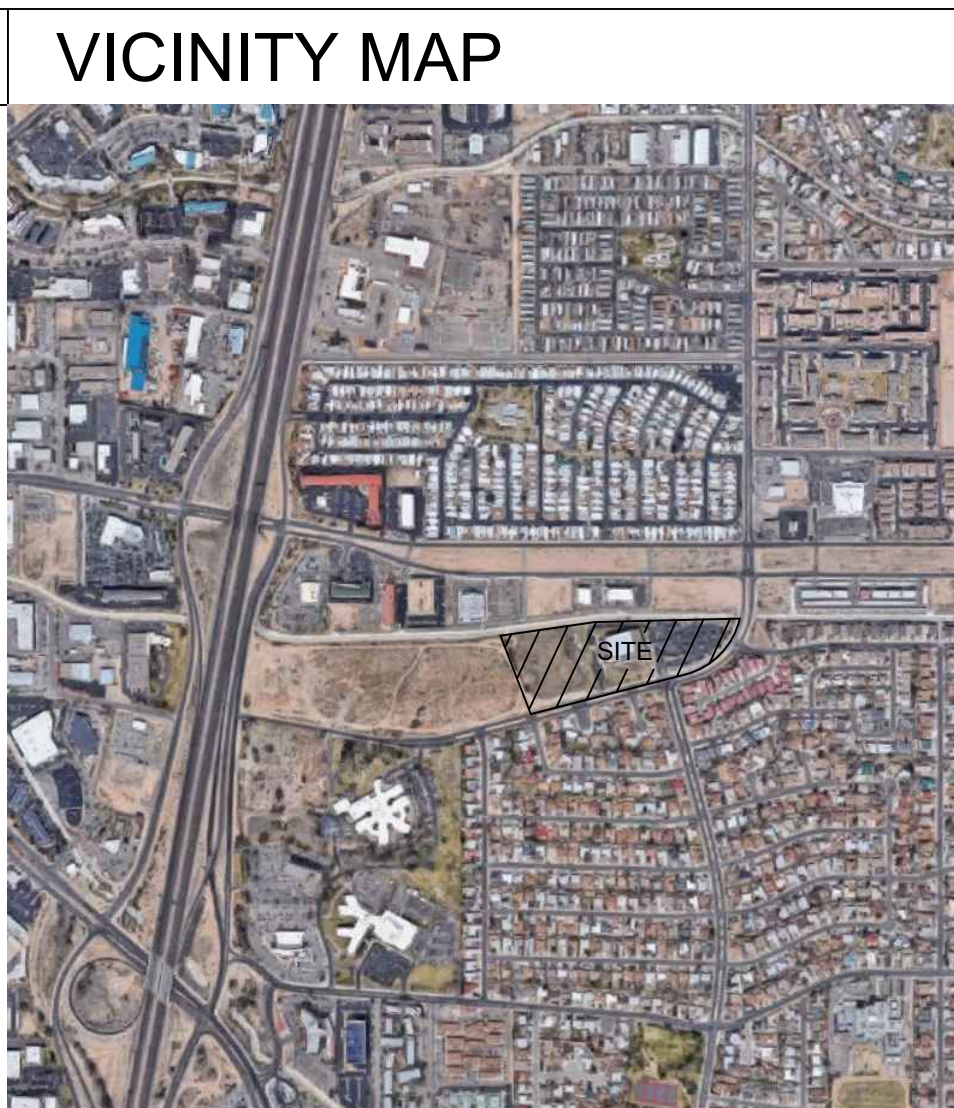
PROJECT DATA	
BUILDING AREA CALCULATIONS:	
EXISTING HEALTHPLEX	= 45,560 SF
PHASE I	= 7,797 SF
PHASE II	= 1,293 SF
FUTURE EXPANSION	= 2,775 SF
GROSS BUILDING AREA	= 57,425 SF
PARKING CALCULATIONS:	
C.O.A. REQUIRED PARKING: 54,650 / 1000 * 5	= 267 SPACES
ADA REQUIRED PARKING: 20% OF PATIENT/VISITOR PARKING	= 135 * 20 = 27 SPACES
PROVIDED PARKING:	
EXISTING	= 210 SPACES (23 ADA)
NEW	= 61 SPACES (4 ADA)
TOTAL	= 271 SPACES (27 ADA)

- GENERAL SHEET NOTES**
- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
 - ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
 - ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
 - ALL DRIVE AISLES ARE 24' UNLESS NOTED OTHERWISE.
 - ALL EXISTING PARKING SPACES ARE 9'X20' UNLESS NOTED OTHERWISE.
 - ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.

- SHEET KEYED NOTES**
- PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
 - 8' WIDE CONCRETE SIDEWALK, SEE DETAIL B3/AS501
 - EXISTING DUMPSTER ENCLOSURE
 - EXISTING ASPHALT PAVING TO REMAIN
 - 8' HIGH CMU SCREEN WALL, SEE DETAIL B3/AS501
 - EXISTING PRIVATE FIRE HYDRANT
 - CONCRETE CURB AND GUTTER, SEE A5/AS501
 - CONCRETE HEADER CURB, SEE B6/AS501
 - EQUIPMENT ENCLOSURE GATE, SEE A3/AS501.
 - MECHANICAL EQUIPMENT

LEGEND

	PROPERTY LINE
	BUILDING SETBACK
	NEW ASPHALT PARKING AREA
	LANDSCAPE AREA
	POLE LIGHT (16' MAX HEIGHT), SEE DETAIL A5/SDPS-3
	EXISTING FIRE HYDRANT
	EXISTING FIRE DEPARTMENT CONNECTION (F.D.C.)



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	2	GLEDTISIA TRIACANTHOS INERMIS 'SKYCOLE' TM	SKYLINE THORNLESS HONEY LOCUST	2" CAL.	45.00	35.00
	1	LAGERSTROEMIA INDICA 'TUSCARORA'	CRAPE MYRTLE	24" BOX	15.00	15.00
	3	PINUS NIGRA	AUSTRIAN BLACK PINE	6' HT	60.00	40.00
	8	ULMUS X 'FRONTIER'	FRONTIER ELM	2" CAL	35.00	30.00
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.
	34	BOUTELOUA 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GAL	3.00	3.00
	6	CHILOPSIS LINEARIS 'ARTS SEEDLESS'	DESERT WILLOW	24" BOX	25.00	25.00
	11	FALLUGIA PARADOXA	APACHE PLUME	5 GAL	5.00	6.00
	48	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	5.00	5.00
	37	NOLINA MICROCARPA	BEARGRASS	5 GAL	6.00	7.00
	10	SPOROBOLUS WRIGHTII 'WINDBREAKER'	LOS LUNAS SACATON	1 GAL	8.00	8.00

SHEET KEYED NOTES

- CLEAR SIGHT TRIANGLE. NO PLANT MATERIAL WITH A MATURE HEIGHT GREATER THAN 3'-0" TO BE WITHIN THIS AREA
- NATURAL EDGE BETWEEN WOOD MULCH AREA AND EXISTING VEGETATION
- COMMERCIAL GRADE STEEL EDGE
- EXTENT OF PARKING LOT AREA AS QUANTIFIED IN CALCULATIONS ON LP101

GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: DISTURBED LANDSCAPE AREAS ARE OR SHALL BE COVERED WITH TURF, OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH NEW TREE ROOTBALL AREA/DRIPLINE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 7 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE 5-6-1 OF THE IDO.
- LANDSCAPE AREAS THAT AREA DISTURBED DURING CONSTRUCTION WILL BE REPAIRED TO THEIR ORIGINAL CONDITION.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- EXISTING PLANT MATERIAL TO BE PRESERVED ON THE PROPERTY IS SHOWN AND QUANTIFIED IN THE LANDSCAPE CALCULATIONS.
- SEE SITE PLAN FOR IMPERVIOUS AREAS AND EASEMENTS.

IRRIGATION NOTES

- THE IRRIGATION FOR NEW CONSTRUCTION AREAS IS CONNECTED TO THE SITE'S EXISTING IRRIGATION SYSTEM.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON RECORD DRAWINGS AND OWNER'S REPRESENTATIVE'S INFORMATION TO SPECIFY EXISTING IRRIGATION EQUIPMENT AND DATA. RECORD DRAWINGS ARE AVAILABLE UPON REQUEST.
- THE IRRIGATION SYSTEM IS COMPRISED OF THE FOLLOWING:
 - AN EXISTING POINT OF CONNECTION AND CONTROLLER ARE LOCATED IN THE EXISTING MECHANICAL ROOM. THE EXISTING CONTROLLER WILL OPERATE NEW AND EXISTING IRRIGATION.
 - THE CURRENT VACUUM BREAKER WILL BE REMOVED AND REPLACED WITH A NEW BACKFLOW PREVENTER THAT COMPLIES WITH THE CITY OF ALBUQUERQUE BACKFLOW PREVENTION DEVICE STANDARDS AND SPECIFICATIONS.
 - THE IRRIGATION ZONES BEING CREATED OR MODIFIED WITH THIS PROJECT ARE COMPRISED OF THE FOLLOWING:
 - NEW DRIP IRRIGATION ZONES.
 - RETROFIT ZONES THAT ARE IRRIGATING EXISTING PLANTS AND TURF.
- THE NEW DRIP IRRIGATION ZONES ARE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE NEW AND RETROFIT IRRIGATION ZONES WILL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS, PARKING, AND LOADING AREAS.
- THE NEW AND RETROFIT IRRIGATION ZONE'S RUN TIMES ARE BASE UPON PLANT SPECIES AND ESTABLISHMENT. THE CONTRACTOR SHALL ADJUST RUN TIMES ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- THE CONTRACTOR SHALL AUDIT THE EXISTING IRRIGATION SYSTEM TO DETERMINE ITS EXTENTS, PERFORMANCE, AND CONDITION. THE CONTRACTOR SHALL VERIFY THE EXISTING SYSTEM AND NOTE WATER METERS, SHUT OFF VALVES, BACKFLOW PREVENTION ASSEMBLIES, PIPING, STATIONS AND OTHER COMPONENTS NECESSARY TO MANAGE DISTURBANCE, REPLACEMENT, AND OPERATION DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT THE EXISTING IRRIGATION SYSTEM TO ENSURE THAT REMAINING PLANTS RECEIVE IRRIGATION DURING CONSTRUCTION. THE CONTRACTOR MAY TEMPORARILY MODIFY THE EXISTING IRRIGATION SYSTEM TO ASSURE IRRIGATION TO THE REMAINING PLANT MATERIALS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.

LANDSCAPE CALCULATIONS

GROSS LOT AREA = 14.4371 AC = 628,880 SF
 AREA OF LOT COVERED BY BUILDINGS = 58,060 SF
 NET LOT AREA = 570,820 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA = 85,623 SF (15% OF NET LOT AREA)
 PROVIDED NEW LANDSCAPE AREA = 26,578 SF (4.6% OF NET LOT AREA)
 EXISTING LANDSCAPE AREA = 412,295 SF (72% OF NET LOT AREA)

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED= 1 TREE / 10 PARKING SPACES, NO PARKING SPACE MAY BE MORE THAN 100' FROM A TREE TRUNK
 TOTAL NUMBER OF NEW PARKING SPACES= 78 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 8 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 8

REQUIRED STREET TREES = 1 TREE PER 25' LINEAR FEET OF STREET FRONTAGE
 STREET TREES =
 FOREST HILLS FRONTAGE = 85 LF
 REQUIRED STREET TREES = 4
 PROVIDED STREET TREES = 4 (2 NEW/2 EXISTING)

REQUIRED PARKING LOT LANDSCAPE AREA
 NEW PARKING LOT AREA = 31,149
 REQUIRED LANDSCAPE AREA IN PARKING LOT = 4,672 SF (15% OF PKG LOT AREA)
 PROVIDED LANDSCAPE AREA = 4,672 SF (15% OF PKG LOT AREA)

REQUIRED VEGETATIVE COVERAGE
 TOTAL VEGETATIVE COVER REQUIRED = 19,934 SF (75% OF TOTAL MULCHED LANDSCAPE AREA)
 TOTAL VEGETATIVE COVER PROVIDED = 19,944 SF (75% OF TOTAL MULCHED LANDSCAPE AREA)

TOTAL GROUND-LEVEL PLANT COVER REQUIRED = 6,645 SF (25% OF TOTAL MULCHED LANDSCAPE AREA)
 TOTAL GROUND-LEVEL PLANT COVER PROVIDED = 7,104 SF (26% OF TOTAL MULCHED LANDSCAPE AREA)

GROUND COVER MATERIAL
 TOTAL ROCK MULCH GROUND COVER = 19,109 SF (72% OF MULCHED LANDSCAPE AREA)
 TOTAL ORGANIC MULCH GROUND COVER = 7,469 SF (28% OF MULCHED LANDSCAPE AREA)
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED. A MINIMUM OF 25% ORGANIC MULCH IS REQUIRED. 14-16-5-6(c)(5)(d)

LEGEND

- PROPERTY LINE
- EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
- SHREDDED BARK MULCH
- 7/8" SANTA FE BROWN ROCK MULCH AT 2" DEPTH OVER WEED BARRIER FABRIC
- EXCLUDED FROM LANDSCAPE AREA CALCULATIONS
- TURF GRASS SEEDING REPAIR OF EXISTING LAWN AREA
- EXISTING VEGETATION TO REMAIN



LANDSCAPE PLAN
 1" = 30'-0"
 NORTH



ARCHITECTURE
 DESIGN
 INSPIRATION

ARCHITECT



ENGINEER

PROJECT

PHS HEALTHPLEX
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 6301 FOREST HILLS DR. NE
 ALBUQUERQUE, NM

REVISIONS	
	06/02/2020 MINOR AMENDMENT

DRAWN BY MB/CD
 REVIEWED BY MB
 DATE 05/18/2020
 PROJECT NO. 20-0006.001
 DRAWING NAME

LANDSCAPE PLAN

SHEET NO.
LP101
 OF



SEAL



PROJECT

PHS HEALTHPLEX
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
6301 Forest Hills Dr NE
Albuquerque, NM 87109

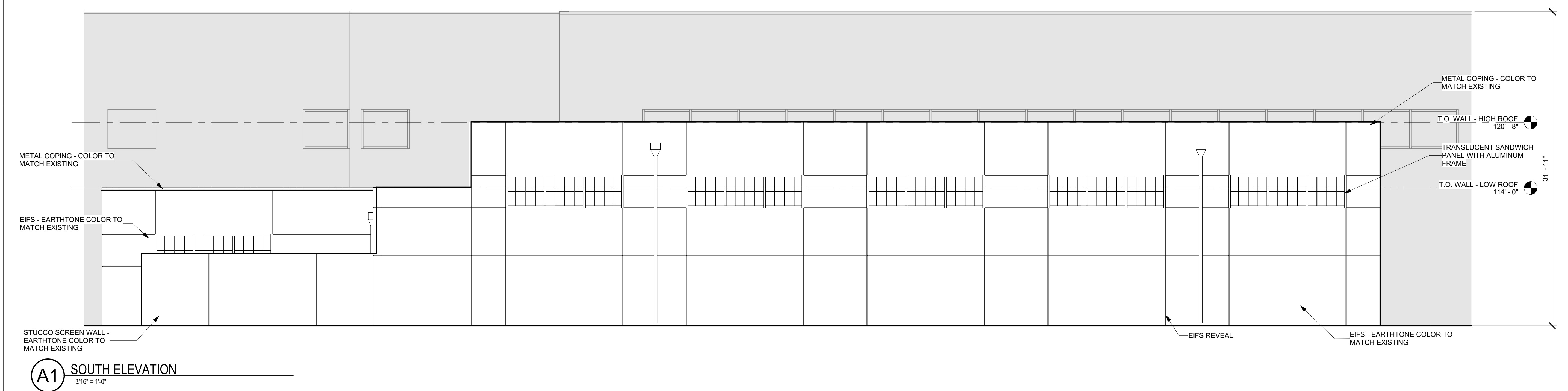
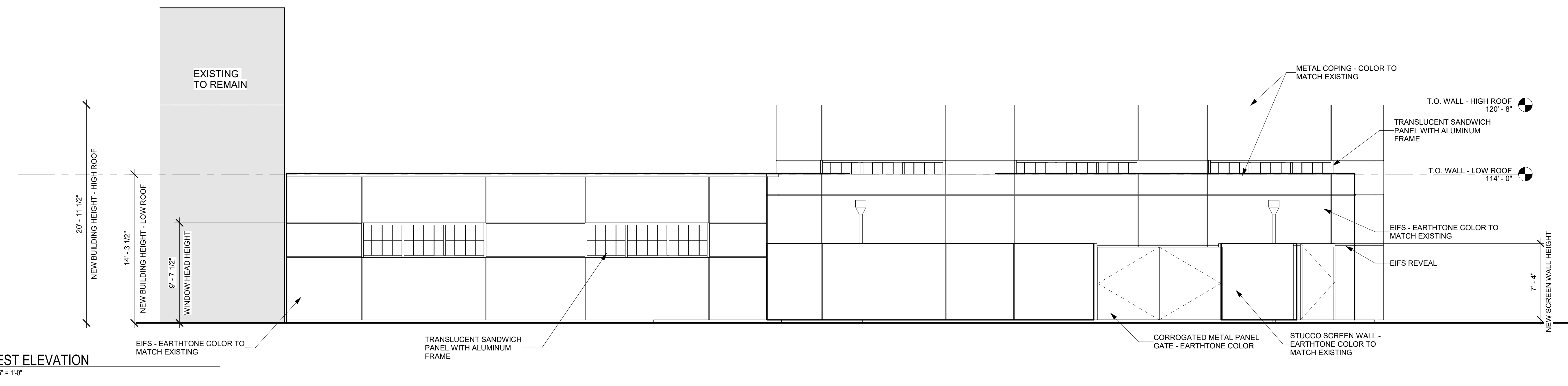
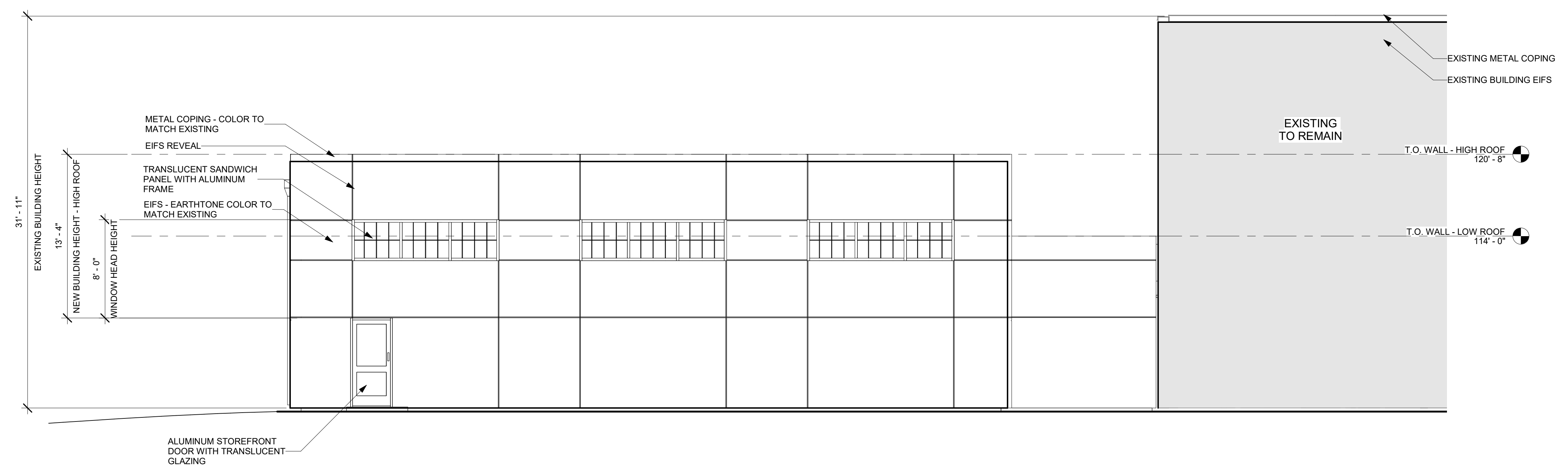
REVISIONS

1	6/2/2020	MINOR AMENDMENT

DRAWN BY K. ROWBOTHAM
REVIEWED BY C. LAFLIN
DATE 05/25/2020
PROJECT NO: 20-0006

DRAWING NAME
**EXTERIOR
ELEVATIONS**

SHEET NO
AE201



6/1/2020 12:31:38 PM

○ KEYED NOTES

1. INSTALL 18" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
2. INSTALL 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
3. INSTALL 24" WIDE CONCRETE RIBBON CHANNEL.
4. CONNECT RIBBON CHANNEL TO EXISTING CONCRETE CHANNEL.
5. MATCH EXISTING ASPHALT PAVEMENT.

**DEKKER
PERICH
SABATINI**

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

ENGINEER

PROJECT

PHS HEALTHPLEX
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
6301 FOREST HILLS DR. NE
ALBUQUERQUE, NM

REVISIONS

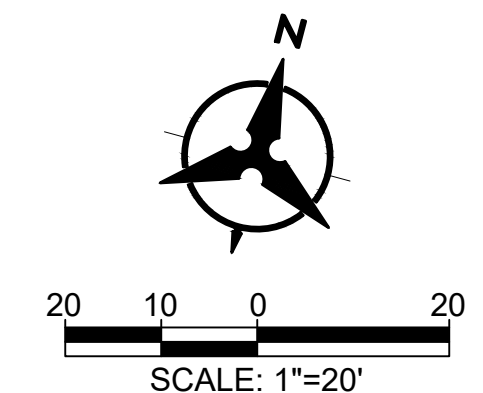
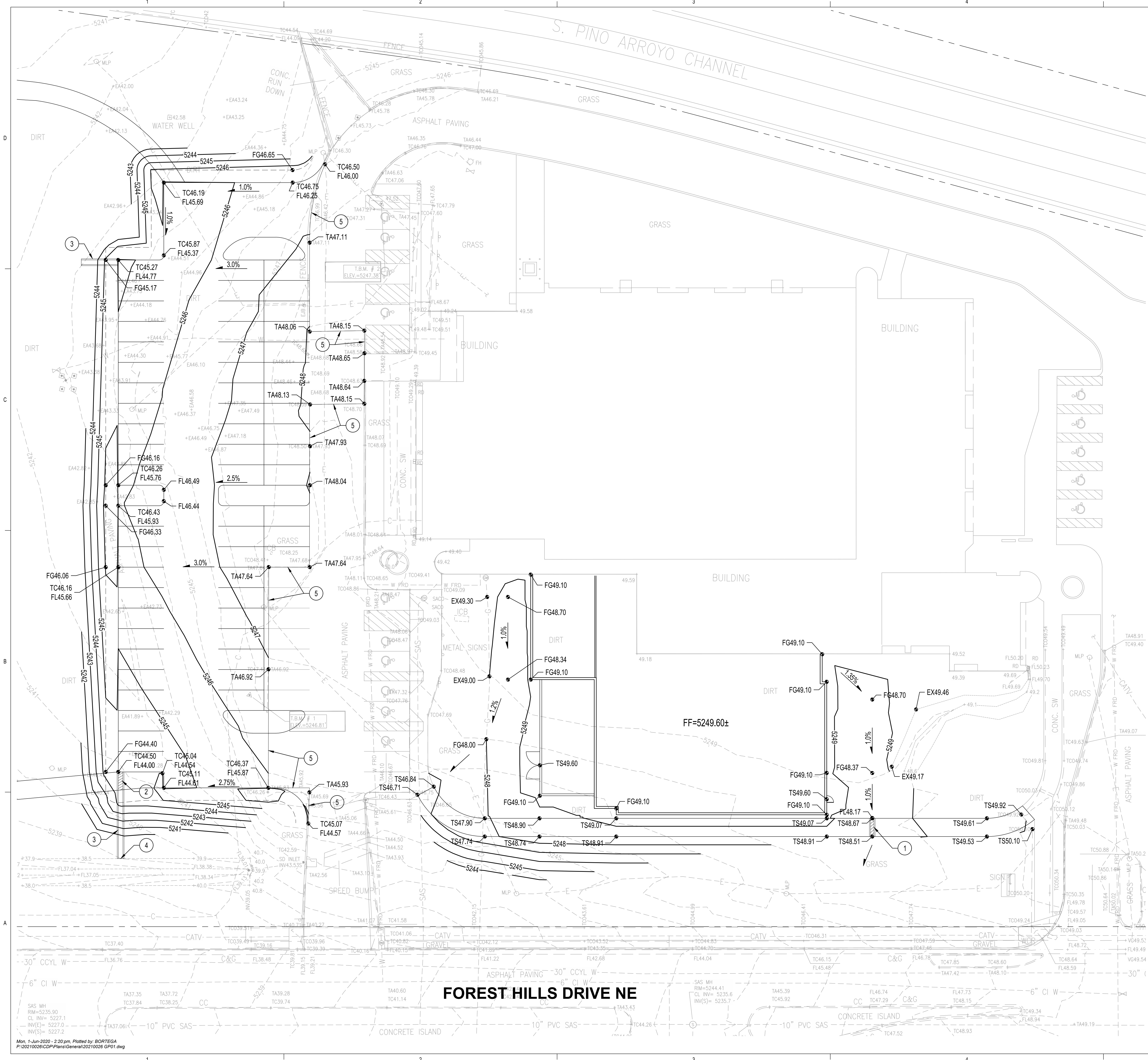
- △ 6/2/2020 MINOR AMMENDMENT
- △
- △
- △

DRAWN BY BO
REVIEWED BY GSB
DATE 05/18/2020
PROJECT NO. 20-0006.001
DRAWING NAME

GRADING &
DRAINAGE PLAN

SHEET NO.

C100
OF



Mon, 1 Jun 2020 - 2:20 pm. Plotted by: BORTEGA
P:\20210020\CDPI\Plans\General\20210026 GP01.dwg

