

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

☒ **SITE PLAN – EPC**

☐ **MASTER DEVELOPMENT PLAN**

☐ **MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

☐ **EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

☒ Interpreter Needed for Hearing? _NO_, if yes, indicate language: _____

☒ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form P1 at the front followed by the remaining documents in the order provided on this form.

☒ Zone Atlas map with the entire site clearly outlined and labeled

☒ Letter of authorization from the property owner if application is submitted by an agent

☐ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)

☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable

☐ Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

☒ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)

☐ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

☒ Office of Neighborhood Coordination neighborhood meeting inquiry response

☐ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

☐ Completed neighborhood meeting request form(s)

☐ If a meeting was requested/held, copy of sign-in sheet and meeting notes

☒ Sign Posting Agreement

☒ Required notices with content per IDO Section 14-16-6-4(K)(1)

☐ Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)

☒ Office of Neighborhood Coordination notice inquiry response

☒ Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO

Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

☒ Proof of emailed notice to affected Neighborhood Association representatives

☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in

accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

☒ Completed Site Plan Checklist

☒ Scaled Site Plan or Master Development Plan and related drawings

Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.

☐ Copy of the original approved Site Plan or Master Development Plan (for amendments only)

☒ Site Plan or Master Development Plan

☒ Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)

☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily

site plans except if the development is industrial or the multifamily is less than 25 units.

☐ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

☐ **VARIANCE – EPC**

____ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Gallo Partners LLC		Phone:
Address: 1334 E. Chandler Blvd., Suite 5/D80		Email: nicholasb@wallacegrp.org
City: Phoenix	State: AZ	Zip: 85048
Professional/Agent (if any): Ron Harris - Evolution Planning & Design		Phone: 480-450-7471
Address: 2954 S Hillridge St		Email: evteamplanning@gmail.com
City: Mesa	State: AZ	Zip: 85212
Proprietary Interest in Site: none - design consultant		List all owners: Landmark Land Ltd.

BRIEF DESCRIPTION OF REQUEST

EPC Site Plan review for a 38 lot duplex residential subdivision

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract A-1	Block:	Unit:
Subdivision/Addition: Bridgepoint Subdivision	MRGCD Map No.: N/A	UPC Code: 1009056452499810404
Zone Atlas Page(s): L-9-Z & K-09-Z	Existing Zoning: PD	Proposed Zoning: PD
# of Existing Lots: 1	# of Proposed Lots: 38	Total Area of Site (acres): 4.52

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 99999 Bridge Blvd SW	Between: 86th St SW	and: 82nd St SW
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PA 24-031; DRB-95-517; PR-2020-04098

Signature: <i>Ronald Harris</i>	Date: 08/08/24
Printed Name: Ronald Harris	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

LANDMARK LAND LTD. CO.
4902 ALAMEDA BLVD. NE
ALBUQUERQUE, NM 87113-1736
(505) 998-1800 (o) / (505) 998-1818 (f)

August 6, 2024

City of Albuquerque
Planning Department

To: Planning Department Staff & Environmental Planning Commissioners

Re: Authorization For EPC Site Plan Application Submittal
SEC 86th Street SW & Bridge Blvd. SW (UPC 100905645249810404)

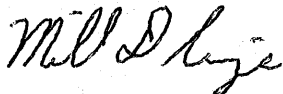
To Whom It May Concern:

This letter is being provided to authorize submittal of a Site Plan Application for EPC review. As owner of the subject property, I authorize representatives of Evolution Planning & Design LLC to submit such an application to the City of Albuquerque Planning Department.

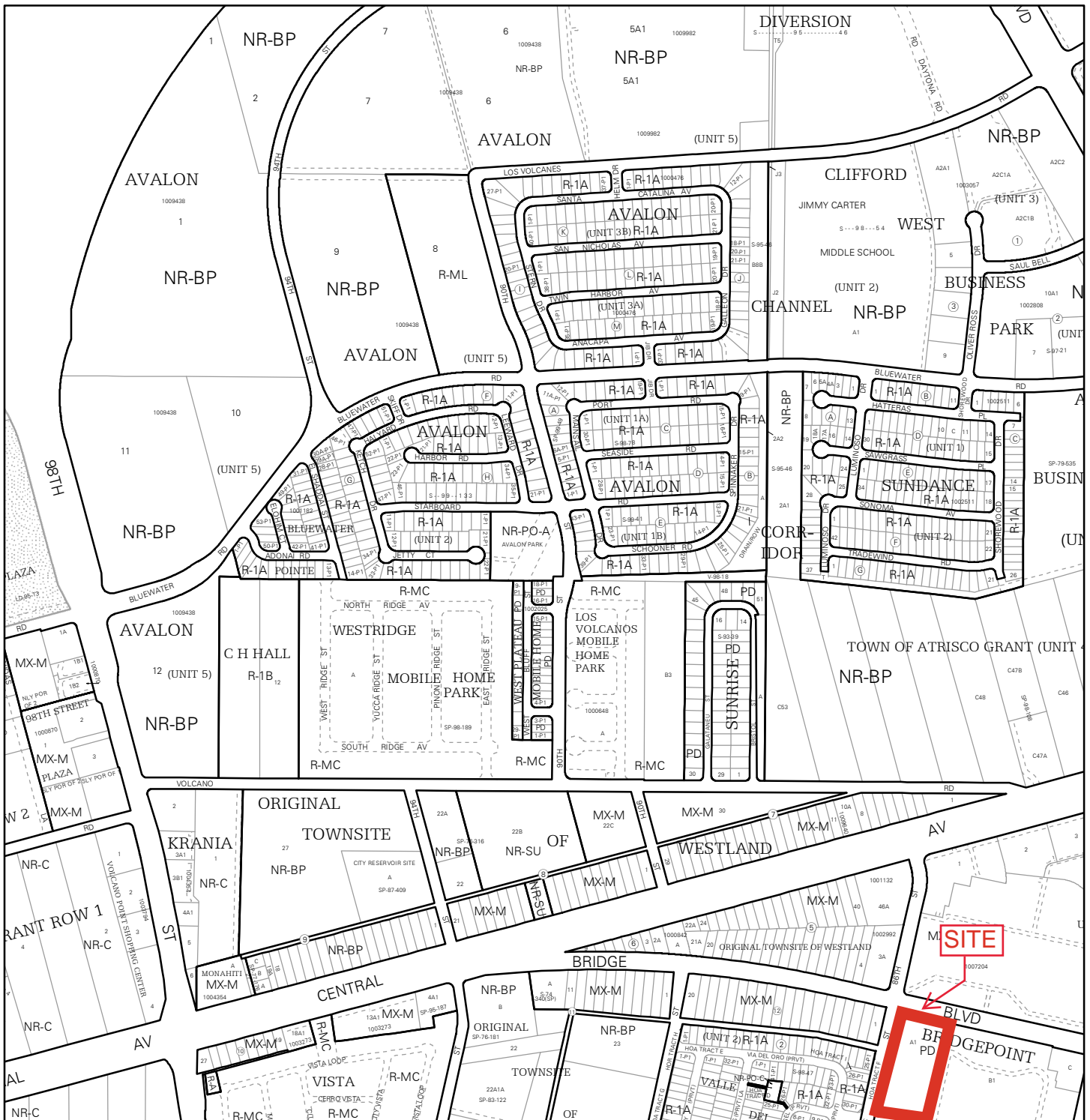
Please do not hesitate to contact me with any questions. My cell phone number is (505) 715-1797 and my e-mail address is msivage@sivage.com.

Sincerely,

LANDMARK LAND LTD. CO.

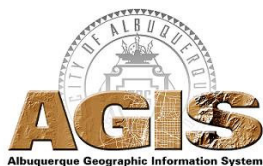


Michael D. Sivage
Manager

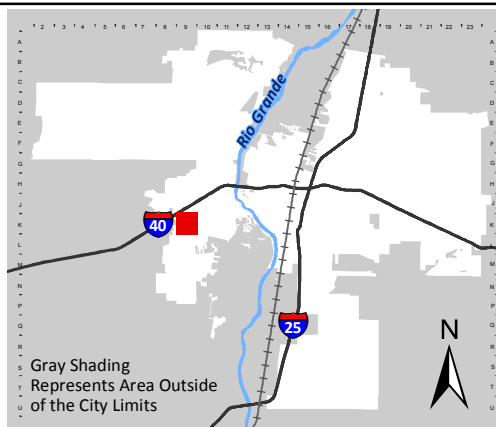


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



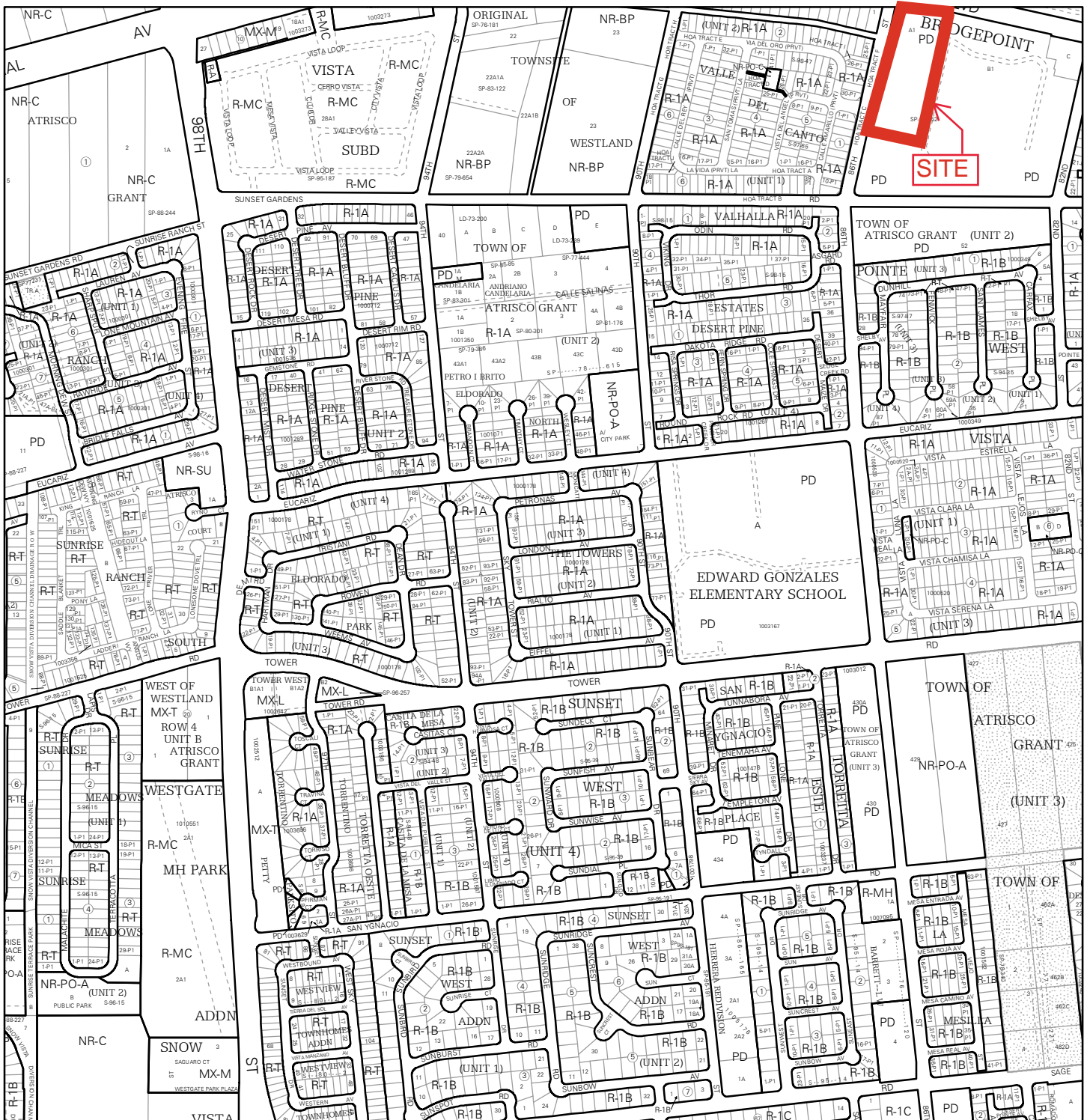
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
K-09-Z

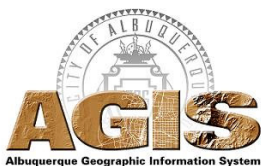
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

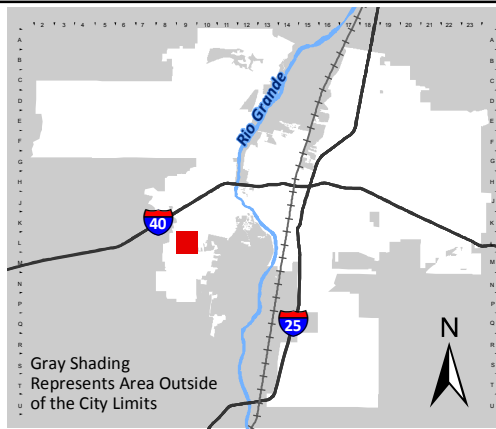


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
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Zone Atlas Page:
L-09-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
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- 0 250 500 1,000 Feet

September 5, 2024

Mr. Jonathan Hollinger, Chairman
Environmental Planning Commission
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

RE: Site Plan-EPC for SWC 86th Street & Bridge Blvd SW

Mr. Chairman, the purpose of this letter is to request the approval of a Site Plan – EPC for the development of a new residential duplex subdivision for the subject property location within the Bridgepoint Subdivision.

HISTORY

Located at the corner of two major Collector roadways, this 4.52-acre property was originally entitled as part of the Bridgepoint Subdivision and slated as a Future Phase development parcel within the current approved plans for the existing Bridgepoint Apartments which exist to the east and south of the subject parcel. PD (Planned Development) Zoning was granted for the Bridgepoint Subdivision. Subsequently, any newly proposed project site plan proposal is required to be submitted to the Environmental Planning Commission for your review and consideration of support.

REQUEST

Since no site plan was previously provided for this parcel during the approval of the Bridgepoint Subdivision, it was determined that this project would require the Environmental Planning Commission (EPC) approval of a site plan.

The proposed site plan and future plat will consist of 38 subdivided residential home lots which will accommodate 19 duplex buildings. Each 2-story home will include 2-car garage, full depth driveway and private backyard. The community will feature amenitized common space area for residents including sitting and play areas, as well as adequate open space to manage project drainage. Project access will be taken from 86th Street and has been aligned with the existing intersection of the Valle Del Canto subdivision to the west. The project will feature a gated entry and internal street design per the City of Albuquerque engineering requirements.

EXISTING CONDITIONS

The vacant property has not previously been developed and falls within a city development Area of Consistency. Existing residential land use designations and zoning categories exist to the west, south and east of the property, which makes the subject site well suited for the proposed residential development type and density. Additionally, the subdivided Duplex home pattern is an appropriate transitional density between the existing apartments to the east and single-family residential neighborhood to the west.

Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

Applicant Response: The Site Plan furthers Policy 5.6.3 because it supports the residential development pattern character and is surrounded by existing single-family neighborhoods and the improvements. We believe the proposal will remove blight with the current vacant parcel and will enhance the greater character of the neighborhood.

Policy 6.2.2 Complete Streets: Incorporate Complete Streets concepts and policies into the development, retrofit, and rehabilitation of all transportation infrastructure at all phases, including planning, scoping, design, implementation, and performance monitoring.

Applicant Response: The project will be responsible for completing sidewalk, roadway and bike lane improvements along both 86th Street and Bride Blvd to bring both roadways into conformance with City Engineering standards. This will complete unfinished segments of each multi-modal element to the signalized intersection allowing the public unimpeded circulation.

Policy 7.3.4 Infill: Promote infill that enhances the built environment or blends in style and building materials with surrounding structures and the streetscape of the block in which it is located.

Applicant Response: This project will develop a remnant vacant parcel, which remained as an unused future phase for the existing neighboring development and has remained as a visual blight for the surrounding residential community. The project will complement existing character and streetscape improvements which exist today along both roadways and provide an attractive contemporary architectural style at an appropriate scale for the site and context.

6-6(I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

Applicant Response: The subject site is zoned PD. There is no previous Site Plan on file. Site Development Standards for this PD zoned parcel are depicted on the proposed Site Plan.

6-6(I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: The Site Plan has been designed in accordance with all applicable policies and regulations within the IDO and DPM. The existing use is permissive within the zone district and the Applicant is not proposing to change the property zoning.

6-6(I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed

development, and any burdens on those systems have been mitigated to the maximum extent practicable.

Applicant Response: The property is planned to be connected to existing municipal water, sewer, and storm drain systems adjacent to the site; major street network; and newly proposed sidewalks lining both 86th Street and Bridge Blvd. A Traffic Study Scoping Form has been provided to City Traffic Engineering for review.

6-6(I)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

Applicant Response: The proposed Site Plan has no adverse impact to the project site or the surrounding area. We believe the improvements will enhance the surrounding neighborhood.

6-6(I)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Applicant Response: The subject site is not located within the Master Development Plan.

6-6(I)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other lands in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

Applicant Response: The subject site is not located in the Railroad and Spur Area

CONCLUSION

In addition to complying with the criteria of IDO Section 14-16-6-6(I)(3), the proposed Site Plan- EPC for the proposed residential development furthers Comprehensive Plan goals and policies, including those related to placemaking, community planning areas, Areas of Consistency, and universal design. Based on the information provided in this justification, request that the site plan be approved by EPC for the new residential development proposal.



Sincerely,
Ron Harris, Principal
Evolution Planning + Design LLC

SEC 86th Street SW & Bridge Blvd SW

SKETCH PLAT APPLICATION

LEGAL DESCRIPTION

TRACT A-1 AS THE SAME IS SHOWN AND DESIGNATED ON THE CORRECTION PLAT FOR BRIDGEPOINT SUBDIVISION FILED OCTOBER 4, 1996, VOLUME 96C, FOLIO 418 RECORDS OF BENALILLO COUNTY, NEW MEXICO.

PRE-APPLICATION REVIEW NOTES

PA#: 24-031

Notes Provided: 04/24/24

Site Address and/or Location: Southeast Corner of Bridge Blvd SW and 86th St SW

Pre-application notes are for informational purposes only and are non-binding and do not constitute any type of approval and are not certificates of zoning. Additional research may be necessary to determine the exact type of process and/or application required. Factors unknown and/or thought of as minor at this time could become significant as a case progresses.

Request. Dwelling, Two-family Detached (Duplex) (based on site plan received)

Basic Site Information

Current Use: Vacant

Size (acreage): approximately 4.55 acres

Zoning: Planned Development

Overlay Zone(s): None

Comprehensive Plan Designations

Corridor(s): None

Development Area: Area of Consistency

Near Major Public Open Space (MPOS)? No

Center: None

Integrated Development Ordinance (IDO)

Please refer to the IDO for requirements regarding dimensional standards, parking, landscaping, walls, signage, etc. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

Proposed Use(s): Dwelling, Two-family Detached (Duplex)

Use Specific Standards: IDO 14-16-4-3(B)(5)

Applicable Definition(s):

Dwelling, Two-family Detached (Duplex): A residential building containing 2 dwelling units, each of which is designed for or occupied by 1 family only, with kitchens for each. Each unit in a two-family dwelling is completely separated from the other by an unpierced wall dividing the 2 units side-to-side or back-to front or by an unpierced ceiling and floor extending from exterior wall to exterior wall (over under), except for a stairwell exterior to 1 of the dwelling units. See also Development Definitions for Low-density Residential.

Site Plan: An accurate plan that includes all information required for that type of application, structure, or development.

Sensitive Lands: Please see IDO Section 14-16-5-2 for information about required analysis, development standards, and changes to process that may result if this Section applies.

Notice

Neighborhood Meeting Offer Required? (see IDO Table 6-1-1). If yes, please refer to:

<https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

Process

Decision Type(s) (see IDO Table 6-1-1): Site Plan – EPC

Specific Procedure(s)*: IDO 14-16-6-6(I)

**Please refer to specific procedures for relevant decision criteria required to be addressed.*

Decision Making Body/ies: EPC

Is this a PRT requirement? No

Handouts Provided

- | | | | |
|--|--|--|--|
| <input type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Site Plan Amendments | <input checked="" type="checkbox"/> Site Plan- EPC | <input type="checkbox"/> Site Plan-DHO |
| <input type="checkbox"/> Site Plan- Administrative | <input type="checkbox"/> Variance-ZHE | <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Site History/Research | <input checked="" type="checkbox"/> Transportation | <input checked="" type="checkbox"/> Hydrology | <input type="checkbox"/> Fire |

If you have additional questions after reviewing these notes, or would like to schedule a follow up call or meeting, please contact Staff at planningprt@cabq.gov. Please include the PA# with your inquiry.

Additional Notes:

- The subject site for the proposed development is listed as a future Phase III but is listed as a separate lot from the existing site plan. The most current Site Plan Amendment for this site is the July 15, 2022 Administrative Amendment (File SI-2020-00590, PR-2020-04098).
- Townhome and Duplex are separate uses in the IDO. From the sketch received from the applicant the two units share a wall and are on their own lot. This would meet the standards for a duplex. Please see the definition of Duplex above.
- 4-3(B)(5) Dwelling, Two-family Detached (Duplex): See IDO 14-16-4-3(B)(5)(a) Where this use is allowed and the 2 dwelling units are on separate lots, interior side setbacks required by the zone district shall not apply to any lot line where the 2 units share a common wall.
- Planned Development Use (PD) must adhere to Table 2-6-1: Other Applicable IDO Sections.
 - PD zone are required to negotiate allowable uses and standards by creating a table using Table 2-6-1 as a template.
 - Allowable uses are negotiated on a case-by-case basis but may not include any use that is not included in Table 4-2-1.
- Contact the following for more information:
 - Ernest Armijo, P.E., Transportation Development, Planning Department
Email: earmijo@cabq.gov
 - Tiequan Chen, P.E., Hydrology & City Engineer's Representative, Planning Department
Email: tchen@cabq.gov
 - David Gutierrez, Water Authority Engineer
Email: dggutierrez@abcwua.org
 - Herman Gallegos, Solid Waste Department, Code and Ordinance Enforcement

Email: hgallegos@cabq.gov

- Fire Marshal's Office Plans Review Section
Phone: (505) 924-3611

Applicant Comments:

1. Are formal Engineering permit plans (on-site & on-site Grading, Paving, Utility Plan, etc.) submitted and reviewed by the City concurrently during Administrative Site Plan amendment review?
 - This request wouldn't be an Administrative Site Plan Amendment but a Site Plan-EPC review under the PD zone district requirements.
 - Typically engineering permit plans can be submitted and reviewed by the city concurrently but all requirements must be met before their final approval.
- 1a. What is the estimated city review cycle time?
 - Review timelines vary depending on which processes are required. We recommend that you apply for a Sketch Plat/Plan with the DFT to obtain information and feedback. This would be a good time to ask about a timeline. EPC is an approximately a 6 week process from the time of submittal.
2. What On-site / public infrastructure improvements are required for this property?
 - For onsite and public infrastructure improvements it is recommended to apply for a sketch plat.
 - A Sketch Plat/plan will be required for all infrastructure engineering, transportation and parking lot access questions and regulations. For more information on the sketch plat/plan process please see: <https://www.cabq.gov/planning/boards-commissions/development-review-board/sketch-plat> and contact Robert Webb, Senior Planner, Development Review Services, (505) 924-3910 rwebb@cabq.gov or Jay Rodenbeck, Planning Manager, Development Review Services, (505) 924-3994 jrodenbeck@cabq.gov.
 - During a sketch plat/plan, the Development Facilitation Team (DFT) can give information and feedback about the feasibility of a specific request or any considerations that applicants should keep in mind as they prepare their applications. Applicants will receive written comments that they can discuss at a meeting with DFT staff should they (applicants) elect to have a meeting with DFT staff.
3. Can a Final Subdivision Plat be reviewed concurrently during Administrative Site Plan review? (Understanding that Plat approval cannot be granted by the EPC until Site and Engineering plans are approved).
 - Your understanding is correct.
 - A Plat (Subdivision of Land) approval is granted by the Development Hearing Officer (DHO) not the EPC. Please see IDO 14-16-6-6(L) Subdivision of Land – Major for Specific Procedures for more information.

4. Must wet utility improvement plans be submitted to ABCWUA prior to other City engineering submittals and will the project require public or private utilities internally?
 - Please request a pre-design review form transportation and hydrology engineers. This can be held simultaneously with a Sketch Plat/Plan review.
 - To find out more information regarding if this specific project requires public or private utilities internally please submit a Sketch Plat/Plan which will provide more site specific information.
 - Please contact ABCWUA and the Planning Hydrology Section for more information. See the contact information above for ABCWUA, Hydrology and Transportation.
5. Do the ABCWUA “Work Order” and City “Infrastructure Improvements Agreement” work together, or are these completely separated based on scope of work? What is typical timing to complete this step of the plan approval process?
 - The ABCWUA and City Infrastructure Approval Agreement work together but they are completely separate processes.
 - Review timelines vary depending on which processes are required. We recommend that you apply for a Sketch Plat/Plan with the DFT to obtain information and feedback.

DEVELOPMENT FACILITATION TEAM

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2020-004098
Bridge and 86th

AGENDA ITEM NO: 10

SUBJECT: Sketch

ENGINEERING COMMENTS:

1. Bridge and 86th are both major collectors and require 6' sidewalk with a 5' to 6' landscape buffer.
2. Please list ROW width along both roadways to ensure they meet the requirements of the DPM. There are also proposed bike lanes along Bridge. Please provide a cross section showing if proposed bike lanes will fit within the existing ROW, otherwise ROW dedication may be required.
3. An approved TCL will be required prior to site plan. Please also submit a filled in Traffic Scoping Form to Curtis Cherne (ccherne@cabq.gov) to determine if a TIS will be required.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.
Transportation Development
505-924-3991 or earmijo@cabq.gov

DATE: August 7, 2024

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)

DEVELOPMENT FACILITATIVE TEAM (DFT) - **HYDROLOGY SECTION**

Renée Brissette, PE, Senior Engineer | 505-924-3995 rbrissette@cabq.gov

DRB Project Number: 2020-004098 Hearing Date: 08-07-2024

Project: Bridgepoint Subdivision Agenda Item No: 10

☒ Sketch Plat

☐ Site Plan for Bldg.
Permit

ENGINEERING COMMENTS:

- Hydrology will need to approve a Conceptual Grading & Drainage Plan prior to platting action.
- The infrastructure list will be needed for Preliminary Plat.
- Comment – Prior to submitting for Building Permit, a licensed New Mexico civil engineer will need to submit a Grading & Drainage Plan to Hydrology for review & approval if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).

☐ APPROVED
☐ DENIED

DELEGATED TO: ☐ TRANS ☐ HYD ☐ WUA ☐ PRKS ☐ PLNG

Delegated For: _____

SIGNED: ☐ I.L. ☐ SPSP ☐ SPBP ☐ FINAL PLAT

DEFERRED TO _____



DEVELOPMENT FACILITATION TEAM

Planning Comments

HEARING DATE: 08/07/2024 **AGENDA ITEM:** #10

Project Number: PR-2020-004098

Application Numbers: PS-2024-00130

Project Name: Bridgepoint Subdivision

Requests:

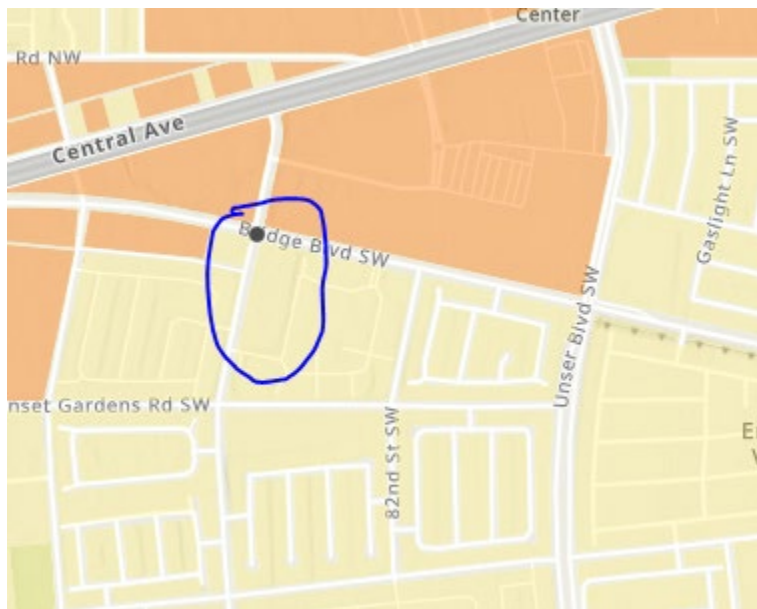
Sketch Plat of subdivision creating a 38-lot duplex subdivision with associated infrastructure improvements

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

BACKGROUND

- Review is subject to the IDO Effective August 3, 2024.
- This Sketch Plat proposal features a request for a subdivision of an existing 4.52 acre parcel that is vacant for 28 residential home lots that will accommodate 19 duplexes. Each unit will be two stories with a 2-car garage. The community will include a common open space area that will also accommodate drainage. The project will have a gated entrance off of 86th Street.
- The site is zoned PD.
- The subject parcel is not in any specially designated Corridor or Center.
- The subject parcel is in an Area of Consistency. Surrounding parcels on the south, east and west are also Areas of Consistency. The parcel to the north is an Area of Change.

**(See additional comments on next page(s))*



- The subject parcel is not in any IDO overlay zone.
- 86th Street and Bridge are both designated as Major Collectors in this area.
- 86th Street is designated for a bike lane. Bridge is a proposed bike lane.

IDO/DPM COMMENTS

Comments in orange need attention

- The site is zoned PD and a Site Plan must be approved by the Environmental Planning Commission (EPC) along with final sign-off of the Site Plan by Development Facilitation Team (DFT) staff (if conditioned by the EPC) prior to subdivision and platting for a Major Preliminary Plat; due to the number of lots proposed, the platting application required for Development Hearing Officer (DHO) approval after Site Plan – EPC and final sign-off approval would be a Major Preliminary Plat.
- See the table below regarding duplexes as an allowable use.

evteamplanning@gmail.com

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Thursday, May 2, 2024 7:52 AM
To: evteamplanning@gmail.com
Subject: N/A ALBUQUERQUE NM 87121_Neighborhood Meeting Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_L-09-Z.pdf

Dear Applicant:

As of May 2, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Thursday, May 2, 2024 8:34 AM
To: Office of Neighborhood Coordination <evteamplanning@gmail.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Ron Harris

Telephone Number

4804507471

Email Address

evteamplanning@gmail.com

Company Name

Evolution Planning & Design

Company Address

11201 N Tatum Blvd , Ste 300 #790678

City

Phoenix

State

AZ

ZIP

85028

Legal description of the subject site for this project:

TR A-1 CORRECTION PLAT FOR BRIDGEPOINT SUBD COMPRISED OF TRA & B BRIDGEPOINT SUBD & ALL
LTS 23-29 TOGETHER WITH REMAINDER OF EXISTING 20' ALLEY R/W ORIG TOWNSITE OF WESTLAND
CONT

Physical address of subject site:

N/A ALBUQUERQUE NM 87121

Subject site cross streets:

86th Street SW & Bridge Blvd SW

Other subject site identifiers:

This site is located on the following zone atlas page:

L-09-Z

Captcha

x

From: [Office of Neighborhood Coordination](#)
To: evteamplanning@gmail.com
Subject: 99999 Bridge Blvd SW_Public Notice Inquiry Sheet Submission
Date: Thursday, August 8, 2024 11:44:12 AM
Attachments: [image001.png](#)
[Zone Atlas Map L-09-Z.pdf](#)

Dear Applicant:

As of August 8, 2024 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflares@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Thursday, August 8, 2024 12:29 PM

To: Office of Neighborhood Coordination <evteamplanning@gmail.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Ron Harris

Telephone Number

4804507471

Email Address

evteamplanning@gmail.com

Company Name

Evolution Planning & Design, LLC

Company Address

2954 S Hillridge St

City

Mesa

State

AZ

ZIP

85212

Legal description of the subject site for this project:

Physical address of subject site:

99999 Bridge Blvd SW

Subject site cross streets:

86th Street SW & Bridge Blvd SW

Other subject site identifiers:

This site is located on the following zone atlas page:

L-09-Z & K-09-Z

Captcha

x

[Note: Items with an asterisk (*) are required.]

Public Notice of a Hearing in the City of Albuquerque for a Policy Decision

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [IDO §14-16-6-4\(K\)](#).¹

- ☐ Emailed / mailed notice to Neighborhood Association Representatives on the attached list from the Office of Neighborhood Coordination.*
- ☐ Mailed notice to Property Owners within 100 feet of the Subject Property.

Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Applicant [if applicable] _____
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Zoning Map Amendment _____ (EPC or Council)
 - ☐ Other: _____

Summary of project/request²*: _____

5. This application will be decided at a public hearing by*:

☐ Environmental Planning Commission (EPC) ☐ City Council

This application will be first reviewed and recommended by:

☐ Environmental Planning Commission (EPC) ☐ Landmarks Commission (LC)

☐ Not applicable (Zoning Map Amendment – EPC only)

Hearing Date/Time*: _____

Location*³: _____

¹ Please mark as relevant. See [IDO Table 6-1-1](#) for notice requirements.

² Attach additional information, as needed to explain the project/request.

³ Physical address or Zoom link

[Note: Items with an asterisk (*) are required.]

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860 and select the option for “Boards, Commissions, and ZHE signs.”

6. Where more information about the project can be found*:

Preferred project contact name: _____

Email: _____

Phone: _____

Online website or project page: _____

Attachments: _____

Information Required for Mail/Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ _____
2. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☐ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

[Note: The meeting report is required to be provided in the application materials.]

Additional Information from IDO Zoning Map⁵:

1. Area of Property [typically in acres] _____
2. IDO Zone District _____
3. Overlay Zone(s) [if applicable] _____
4. Center or Corridor Area [if applicable] _____
5. Current Land Use(s) [vacant, if none] _____

NOTE: Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting up to 15 calendar days before the public hearing date. Contact the Planning Department at devhelp@cabq.gov or 505-924-3860 and select the option for “Boards, Commissions, and ZHE signs.”

Integrated Development Ordinance (IDO): <https://ido.abc-zone.com>

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas>

⁵ Available here: <https://tinyurl.com/idozoningmap>

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

SEC 86th Street SW & Bridge Blvd SW

LEGAL DESCRIPTION

TRACT A-1 AS THE SAME IS SHOWN AND DESIGNATED ON THE CORRECTION PLAT FOR BRIDGEPOINT SUBDIVISION FILED OCTOBER 4, 1996, VOLUME 96C, FOLIO 418 RECORDS OF BENALILLO COUNTY, NEW MEXICO.

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type:

Decision-making Body:

Pre-Application meeting required: ☐ Yes ☐ No

Neighborhood meeting required: ☐ Yes ☐ No

Mailed Notice required: ☐ Yes ☐ No

Electronic Mail required: ☐ Yes ☐ No

Is this a Site Plan Application: ☐ Yes ☐ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application:

Name of property owner:

Name of applicant:

Date, time, and place of public meeting or **hearing**, if applicable:

EPC Public Hearing-

<https://cabq.zoom.us>

Address, phone number, or website for additional information:

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☐ Zone Atlas page indicating subject property.

☐ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable. **(N/A)**

☐ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT:

**PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [IDO §14-16-6-4\(K\)](#).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON
APPLICATION.**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Ronald Harris (Applicant signature) 09/04/24 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN & LC APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☐ a. Location of proposed buildings and landscape areas.
- ☐ b. Access and circulation for vehicles and pedestrians.
- ☐ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☐ e. For non-residential development:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

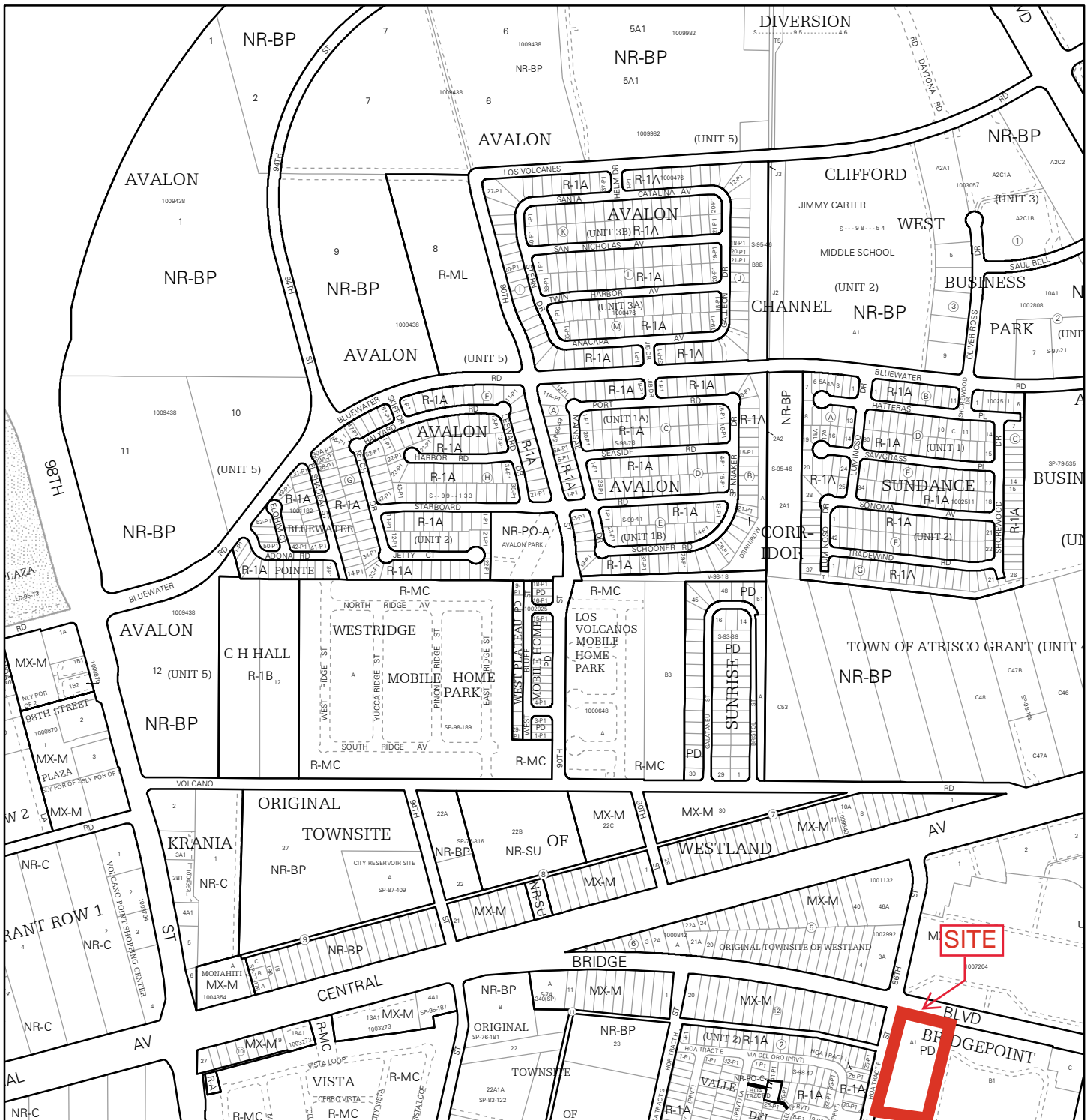
Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

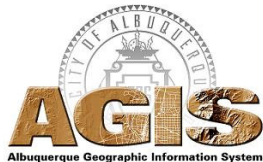
Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

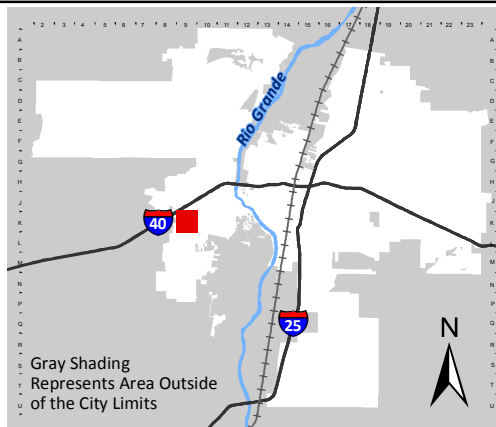


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



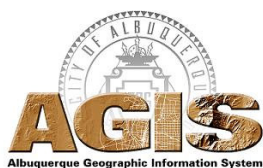
Zone Atlas Page:
K-09-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- Gray Shading
Represents Area Outside
of the City Limits
- 0 250 500 1,000 Feet

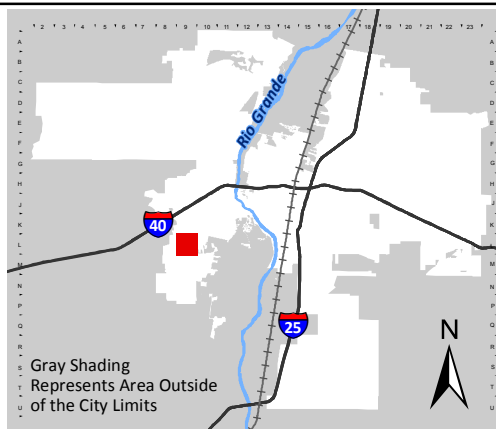


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
L-09-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet

**Re: Residential Development Plan for
SEC 86th Street SW & Bridge Blvd SW
EPC SITE PLAN APPLICATION**

September 4, 2024

Dear Neighbors,

On behalf of Gallo Partners, LLC I am pleased to provide the following project summary and attached exhibits for the subject property future residential development. As required by the existing Planned Development (PD) zoning district for the subject property, Site Plan review and approval by the Environmental Planning Commission (EPC) shall be required for new development. Please see the site description and proposed project summary below, and do not hesitate to contact me with any questions or comments. I can be reached by email at evteamplanning@gmail.com or at (480) 450-7471.

PROJECT SUMMARY

This project proposal is located on a 4.52-acre parcel, which is currently vacant and has not been previously developed. Located at the corner of two major Collector roadways, this property was originally entitled as part of the Bridgepoint Subdivision, and slated as a Future Phase development parcel within the current approved plans for the existing Bridgepoint Apartments which exist to the east and south of this parcel. PD (Planned Development) Zoning was granted for the Bridgepoint Subdivision. Subsequently, this project site plan proposal is being submitted to the Environmental Planning Commission for your review and consideration of support.

The vacant property has not previously been developed and falls within a city development Area of Consistency. Existing residential land use designations and zoning categories exist to the west, south and east of the property, which makes it well suited for the proposed residential development type and density. Additionally, the subdivided Duplex home pattern is an appropriate transitional density between the existing apartments to the east and single-family residential neighborhood to the west.

The proposed site plan and plat will consist of 38 subdivided residential home lots which will accommodate 19 duplex buildings. Each 2-story home will include a 2-car garage, full depth driveway and private backyard. The community will feature an amenitized common

space area for residents including sitting and play areas, as well as adequate open space to manage project drainage. Project access will be taken from 86th Street and has been aligned with the existing intersection of the Valle Del Canto subdivision to the west. The project will feature a gated entry and internal street design per the City of Albuquerque engineering requirements.

The project will also include an array of off-site engineering improvements, including roadway widening, addition of bike lanes, and new sidewalk work along both street frontages of the project.

We look forward to working closely with you, the Environmental Planning Commission and City staff to bring this new residential opportunity to fruition.

Truly Yours,

Ron Harris, Principal

Evolution Planning & Design LLC

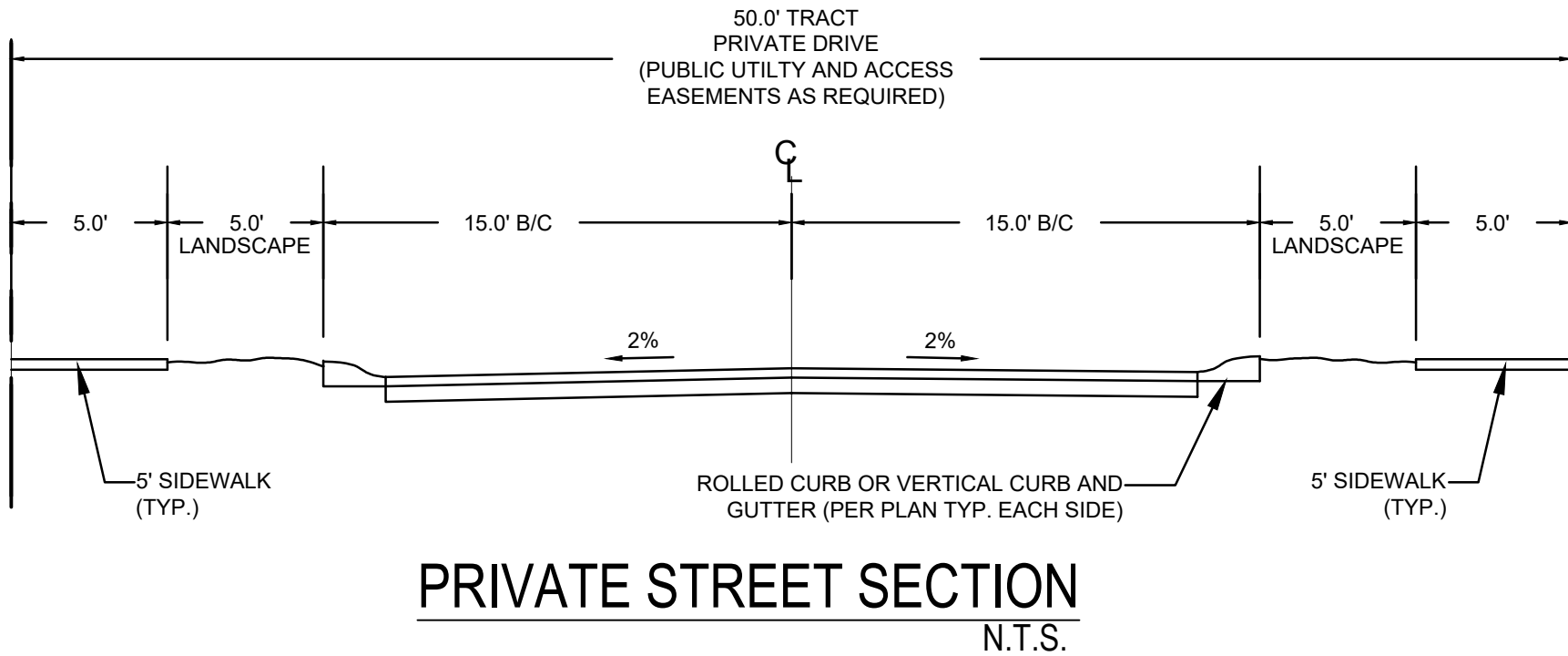
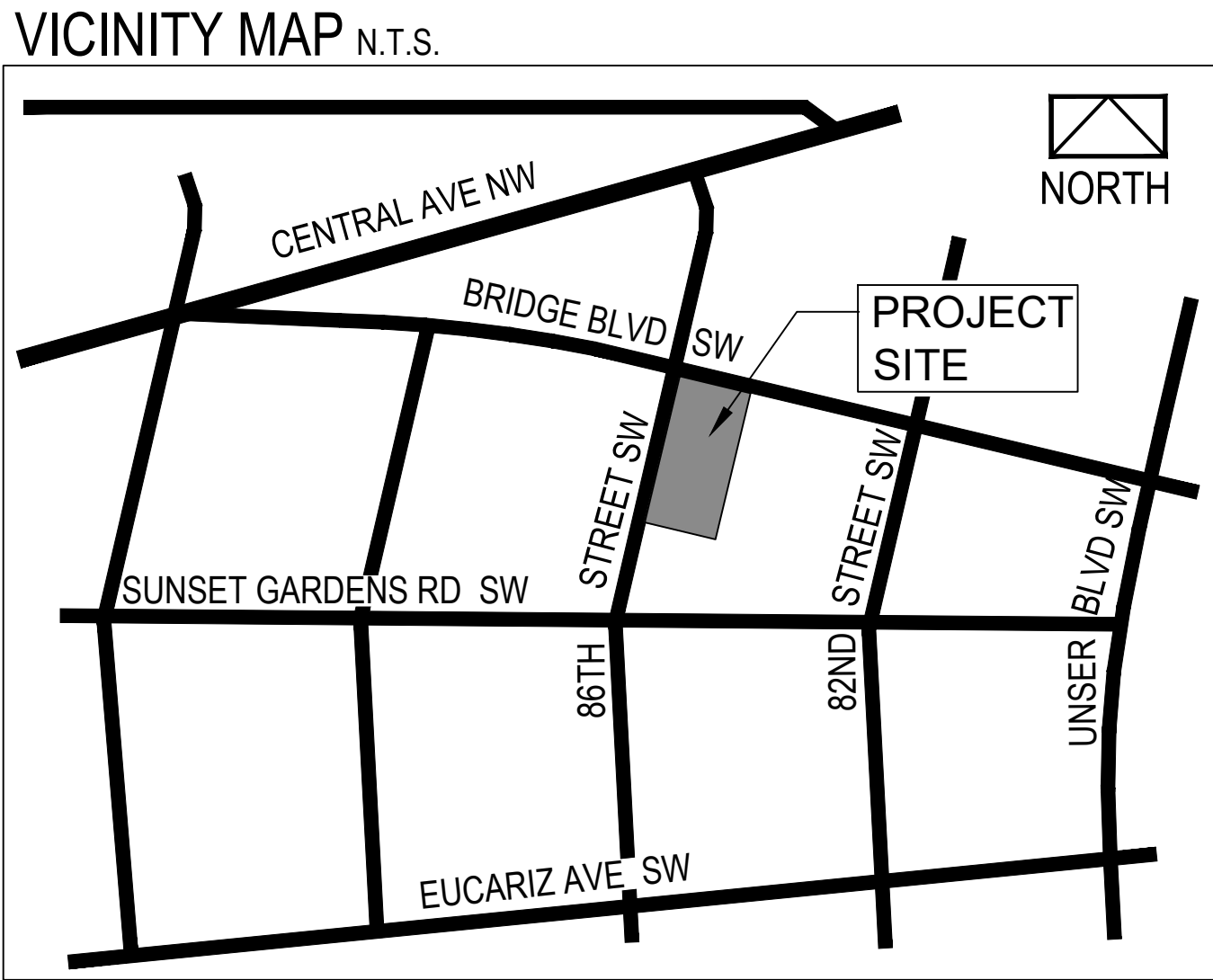
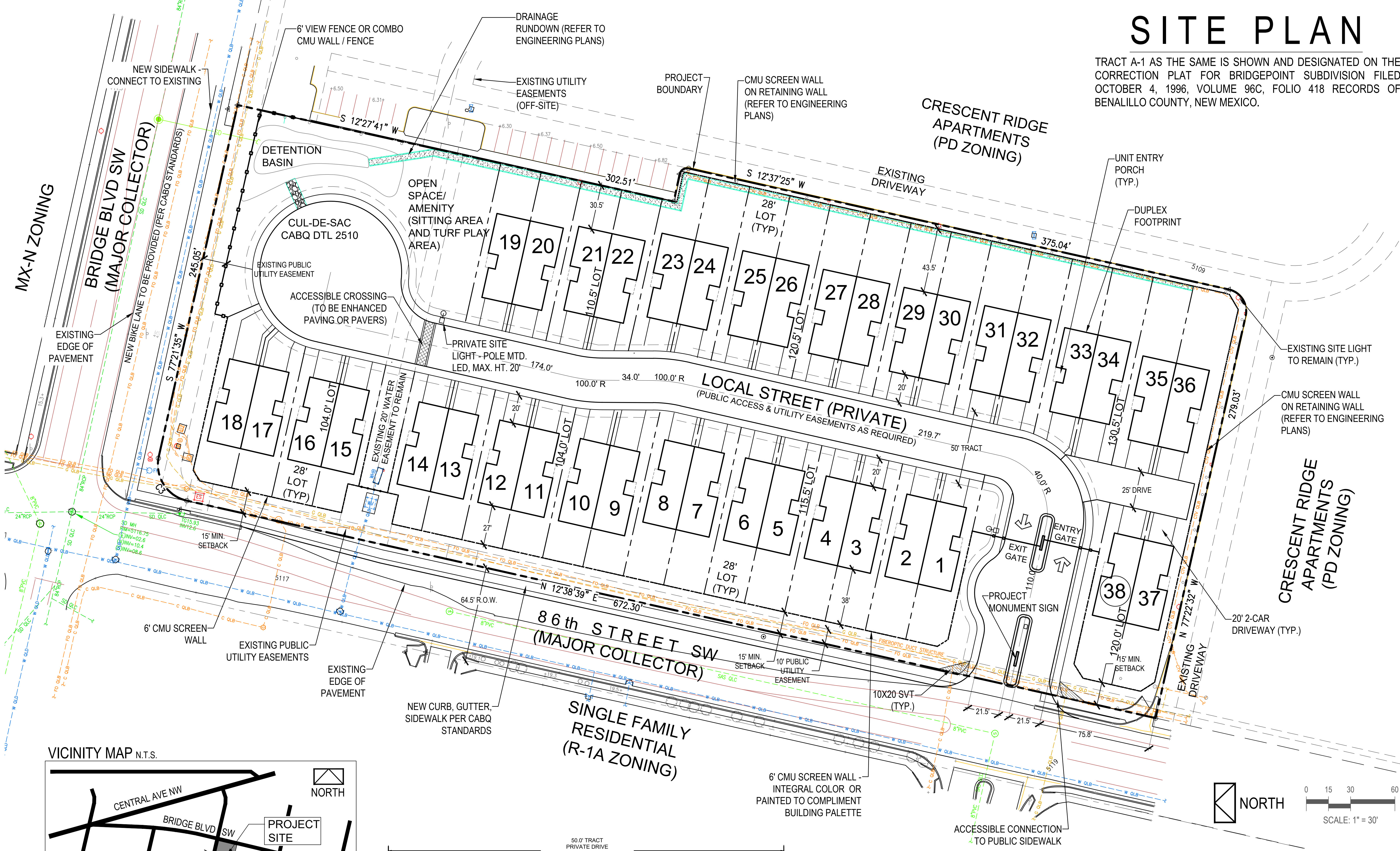
SITE PLAN

TRACT A-1 AS THE SAME IS SHOWN AND DESIGNATED ON THE CORRECTION PLAT FOR BRIDGEPOINT SUBDIVISION FILED OCTOBER 4, 1996, VOLUME 96C, FOLIO 418 RECORDS OF BENALILLO COUNTY, NEW MEXICO.

PREPARED BY

EVOLUTION
PLANNING
& DESIGN
480.450.7471
evteamplanning@gmail.com

Plan is conceptual and
subject to change.
Requires Engineering
and City approvals.
NOT FOR
CONSTRUCTION



SITE PLAN DATA

TOTAL LOT AREA:	4.52 ac
EXISTING ZONING:	PD
TOTAL LOTS:	38
TOTAL BUILDINGS:	19
PROJECT TYPE:	DUPLEX
RESIDENTIAL	
GROSS DENSITY:	8.44 du/ac
OPEN SPACE PROVIDED:	13,780 SF (7% OF SITE AREA)

BUILDING DATA

TOTAL BUILDING FOOTPRINT:	2,235 SF
LIVABLE AREA (EACH UNIT):	1,736 SF
GARAGE (EACH UNIT):	423 SF
COVERED FRONT PORCH:	71 SF
MIN SEPARATION BETWEEN BLDGS:	10-FEET

BUILDINGS NOT FIRE SPRINKLERED

LOCATION
SEC 86th Street SW & Bridge Blvd. SW
ALBUQUERQUE, NEW MEXICO

SCALE	1" = 30.0'
DATE	08/08/24
REVISION	
TITLE	EPC SITE PLAN
SHEET	

SP.01

PRT# 24-031
DRB PROJECT# 2020-004098



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



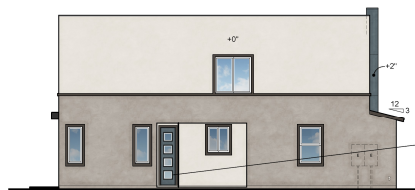
LEFT ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

Bridgepoint Duplex - PLAN A Elevations

EPC SITE PLAN APPLICATION
August 8, 2024



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

Bridgepoint Duplex - PLAN B Elevations

EPC SITE PLAN APPLICATION
August 8, 2024

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212

With:

RONALD SER
Medicine, Intern

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212

PROBATION
Pima County Re
Pinal County Pa
Real Estate Advi
Rio Nuevo Board



MARKS DENISE
300 CALLE AMARILLO SW
ALBUQUERQUE NM 87121-9300



VALLE DEL CANTO HOMEOWNER ASSOC C/O
CAROL PICKERT & ASSOC ATTN: JODY
4121 EUBANK BLVD NE
ALBUQUERQUE NM 87111-3421

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



AGUINAGA MARIA & LUNA MARISA
8601 VIA DEL ORO SW
ALBUQUERQUE NM 87121-9334

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



ARRIAGA AURORA
8609 VIA DEL ORO SW
ALBUQUERQUE NM 87121

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



BLANDO JOAQUIN TREJO & ROMERO CLAUDIA
ARRATIA
8701 VIA DEL ORO SW
ALBUQUERQUE NM 87121-9337

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



8200 BRIDGE BOULEVARD SW LLC
65 N CATALINA AVE
PASADENA CA 91106-2301

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



ARRIAGA AURORA
8609 VIA DEL ORO SW
ALBUQUERQUE NM 87121

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



ESQUIBEL CHRISTINE M
93 JOE NESTOR RD
EDGEWOOD NM 87015

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



JIM MARLA & MATTHEW
316 CALLE AMARILLO SW
ALBUQUERQUE NM 87121-9300

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



ROMERO DENNIS M
3500 VISTA GRANDE DR NW
ALBUQUERQUE NM 87120

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



With:

RONALD S
Medic

GALLEGOS FRANK E
8605 VIA DEL ORO SW
ALBUQUERQUE NM 87121

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



MARTINEZ EUGENE M
308 CALLE AMARILLO SW
ALBUQUERQUE NM 87121-9300

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



LANDMARK LAND LTD CO
4902 ALAMEDA BLVD NE
ALBUQUERQUE NM 87113-1736

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



SMITH CHRISTOPHER EDWARD & REESE-SMITH
GERRI LYNN
304 CALLE AMARILLO SW
ALBUQUERQUE NM 87121-9300

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



ARMSTRONG CENTRAL UNSER BLVD LLC
1 ARMSTRONG PL
BUTLER PA 16001

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



DOLGENCORP LLC
100 MISSION RIDGE
ALBUQUERQUE NM 87105-0307

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



GUTIERREZ IRENE K
405 HALE CIR SW
ALBUQUERQUE NM 87105-0307

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



MAESTAS JESSICA C & LARRY A
8615 VIA DEL ORO SW
ALBUQUERQUE NM 87121

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



RIVERA AYANIRA
320 CALLE AMARILLO SW
ALBUQUERQUE NM 87121-9300

EVOLUTION Planning + Design
2954 S Hillridge Street
Mesa, AZ 85212



STEPHENS KEVIN L & PATTY TR
8705 VIA DEL ORO SW
ALBUQUERQUE NM 87121-9337



MESA SUPERSTITION SPRINGS
7316 E SOUTHERN AVE
MESA, AZ 85209-9997
(800)275-8777

09/04/2024

04:10 PM

Product	Qty	Unit Price	Price
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WeddingBlooms NDN	20	\$1.01	\$20.20
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FIRST CLASS

Grand Total:			\$20.20
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Debit Card Remit			\$20.20
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Card Name: MasterCard

Account #: XXXXXXXXXXXXX4972

Approval #: 161408

Transaction #: 362

Receipt #: 058670

Debit Card Purchase: \$20.20

AID: A0000000042203 Chip

AL: US Debit

PIN: Verified

In a hurry? Self-service kiosks offer quick and easy check-out. Any Retail Associate can show you how.

Preview your Mail
Track your Packages
Sign up for FREE @

<https://informedelivery.usps.com>

All sales final on stamps and postage.
Refunds for guaranteed services only.
Thank you for your business.

Tell us about your experience.
Go to: <https://postalexperience.com/Pos>
or scan this code with your mobile device,



or call 1-800-410-7420.

UFN: 035225-0429

Receipt #: 840-58520378-3-7960339-2

8200 BRIDGE BOULEVARD SW LLC
65 N CATALINA AVE
PASADENA CA 91106-2301

AGUINAGA MARIA & LUNA MARISA
8601 VIA DEL ORO SW
ALBUQUERQUE NM 87121-9334

ARMSTRONG CENTRAL UNSER BLVD LLC
1 ARMSTRONG PL
BUTLER PA 16001

ARRIAGA AURORA
8609 VIA DEL ORO SW
ALBUQUERQUE NM 87121

BLANDO JOAQUIN TREJO & ROMERO
CLAUDIA ARRATIA
8701 VIA DEL ORO SW
ALBUQUERQUE NM 87121-9337

DOLGENCORP LLC
100 MISSION RIDGE
GOODLETTSVILLE TN 37072-2171

ESQUIBEL CHRISTINE M
93 JOE NESTOR RD
EDGEWOOD NM 87015

GALLEGOS FRANK E
8605 VIA DEL ORO SW
ALBUQUERQUE NM 87121

GUTIERREZ IRENE K
405 HALE CIR SW
ALBUQUERQUE NM 87105-0307

JIM MARLA & MATTHEW
316 CALLE AMARILLO SW
ALBUQUERQUE NM 87121-9300

LANDMARK LAND LTD CO
4902 ALAMEDA BLVD NE
ALBUQUERQUE NM 87113-1736

MAESTAS JESSICA C & LARRY A
8615 VIA DEL ORO SW
ALBUQUERQUE NM 87121

MARKS DENISE
300 CALLE AMARILLO SW
ALBUQUERQUE NM 87121-9300

MARTINEZ EUGENE M
308 CALLE AMARILLO SW
ALBUQUERQUE NM 87121-9300

RIVERA AYANIRA
320 CALLE AMARILLO SW
ALBUQUERQUE NM 87121-9300

ROMERO DENNIS M
3500 VISTA GRANDE DR NW
ALBUQUERQUE NM 87120

SMITH CHRISTOPHER EDWARD & REESE-
SMITH GERRI LYNN
304 CALLE AMARILLO SW
ALBUQUERQUE NM 87121-9300

STEPHENS KEVIN L & PATTY T R
8705 VIA DEL ORO SW
ALBUQUERQUE NM 87121-9337

VALLE DEL CANTO HOMEOWNER ASSOC
C/O CAROL PICKERT & ASSOC ATTN:
JODY
4121 EUBANK BLVD NE
ALBUQUERQUE NM 87111-3421

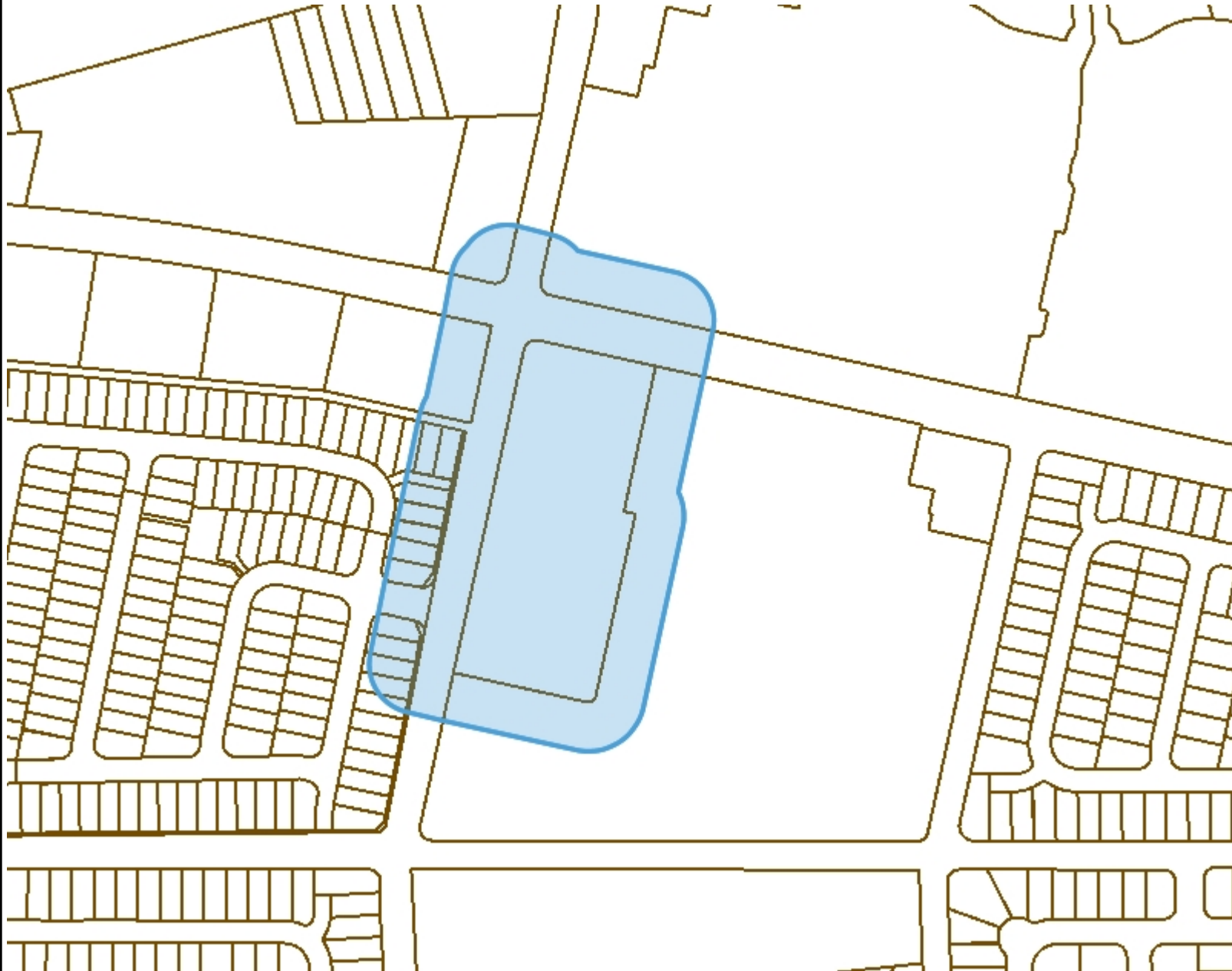


TRA A-1 CORRECTION PLAT FOR BRIDGEPOINT SUBD COMPRISED OF TRA & B BRIDGEPOINT SUBD



Legend

□ Bernalillo County Parcels



Notes

Buffer: 100 Ft.
ROW: 86th St SW; Bridge Blvd SW

601 0 300 601 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
9/4/2024 © City of Albuquerque

1: 3,606

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 05/2024)

Project Title: _____

Zone Atlas Page: _____ DFT/DHO #: _____ BP #: _____

Development Street Address: _____

(If no City Address include a Vicinity Map with site highlighted and legible street names)

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ E-mail: _____

Development Information

Build out/Implementation Year: _____

Existing Use: _____

Describe Proposed Development and Uses:

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): _____

Number of Residential Units: _____

Number of Commercial Units: _____

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour and ITE # (if known):* _____

Driveway(s) Located on: Street Name _____

Adjacent Roadway(s) Posted Speed: Street Name _____ Speed _____

Street Name _____ Speed _____

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation (e.g. Main Street, Major Transit, N/A): _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Comprehensive Plan Center Designation (e.g. urban center, Downtown, N/A): _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Street Functional Classification (e.g. Principal Arterial, Collector) : _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Jurisdiction of roadway (NMDOT, City, County): _____

Adjacent Roadway(s):

Name: _____ Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____

Name: _____ Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/623/Traffic-Flow-Maps-and-Busiest-Intersecti> and <https://mrcog-nm.gov/574/Transportation-Analysis-and-Querying-App>

Adjacent Transit Service(s) : _____ Nearest Transit Stop(s): _____
<https://www.cabq.gov/gis/advanced-map-viewer>

Is site within 660 feet of Premium Transit?: _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Current/Proposed Bicycle Infrastructure : _____

Bikeways: <https://mrcog-nm.gov/544/Long-Range-System-maps>

Current/Proposed Sidewalk and buffer Infrastructure: _____

Sidewalk and buffer width : DPM Table 7.2.29

Submit by email to Traffic Engineer Curtis Cherne: ccherne@cabq.gov. Email or call 505-924-3986 for information.

For City Personnel Use:

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No []

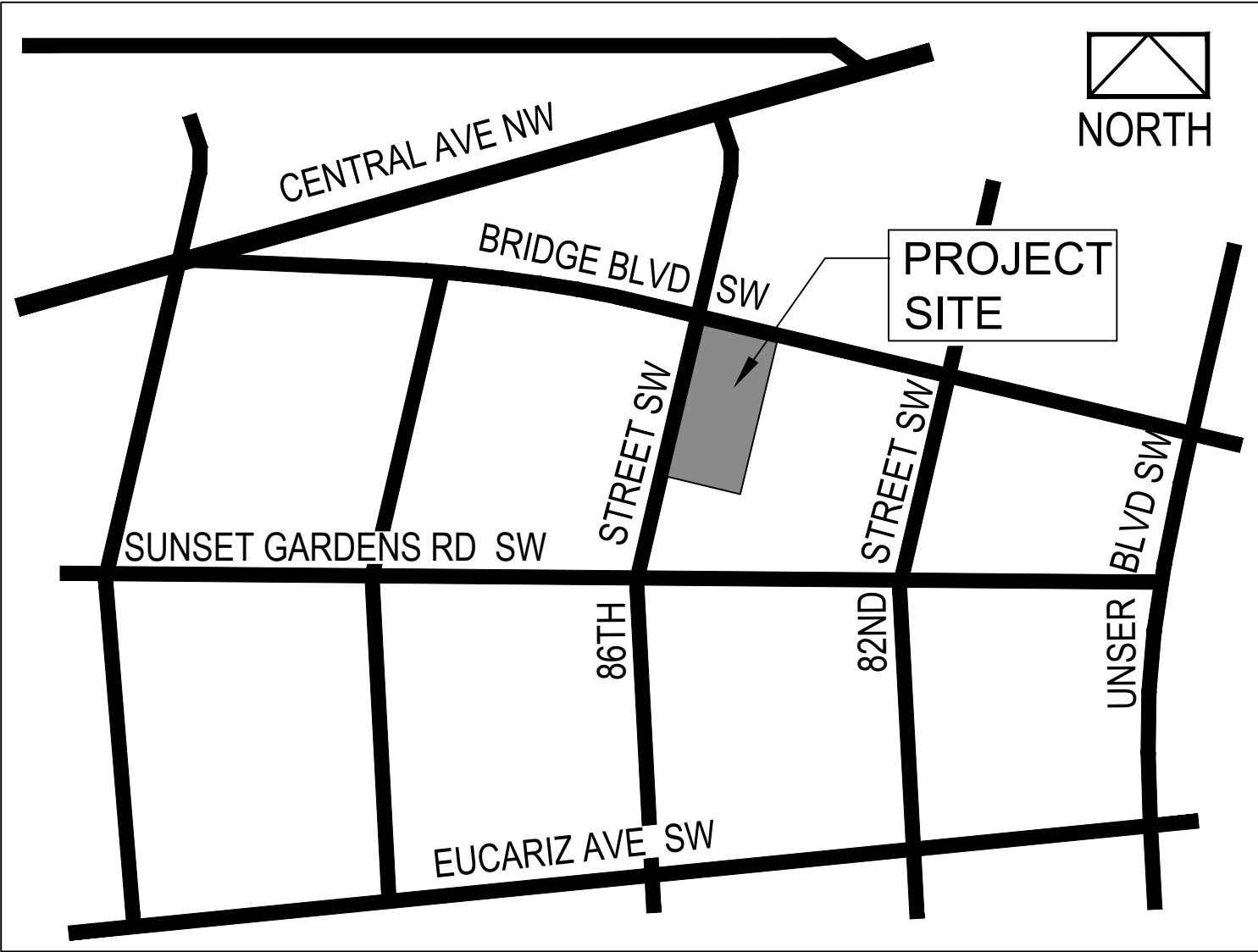
Thresholds Met? Yes [] No []

Mitigating Reasons for Not Requiring TIS and/or Notes:

TRAFFIC ENGINEER

DATE

VICINITY MAP N.T.S.



SITE PLAN CHECKLIST

Project #: 2020-004098 Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Ronald Harris

08/08/2024

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'
- 1.0 - 5.0 acres 1" = 20'
- Over 5 acres 1" = 50'
- Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- ✓ 3. Bar scale
- ✓ 4. North arrow
- N/A 5. Legend
- ✓ 6. Scaled vicinity map
- ✓ 7. Property lines (clearly identify)
- ✓ 8. Existing and proposed easements (identify each)
- N/A 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- ✓ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ✓ B. Square footage of each structure
- ✓ C. Proposed use of each structure
- ✓ D. Signs (freestanding) and other improvements
- ✓ E. Walls, fences, and screening: indicate height, length, color and materials
- ✓ F. Dimensions of all principal site elements or typical dimensions
- N/A G. Loading facilities
- ✓ H. Site lighting (indicate height & fixture type)
- N/A I. Indicate structures within 20 feet of site
- N/A J. Elevation drawing of refuse container and enclosure, if applicable.
- ✓ K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- N/A A. Parking layout with spaces numbered per aisle and totaled.
 - ___ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - ___ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - ___ 3. On street parking spaces
- N/A B. Bicycle parking & facilities
 - ___ 1. Bicycle racks – location and detail
 - ___ 2. Other bicycle facilities, if applicable
- ✓ C. Vehicular Circulation (Refer to DPM and IDO)
 - ✓ 1. Ingress and egress locations, including width and curve radii dimensions
 - ✓ 2. Drive aisle locations, including width and curve radii dimensions
 - ✓ 3. End aisle locations, including width and curve radii dimensions
 - N/A 4. Location & orientation of refuse enclosure, with dimensions
 - N/A 5. Loading, service area, and refuse service locations and dimensions
- ✓ D. Pedestrian Circulation
 - ✓ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- ☒ 2. Location and dimension of drive aisle crossings, including paving treatment
- ☒ 3. Location and description of amenities, including patios, benches, tables, etc.

N/A E. Off-Street Loading

- ☐ 1. Location and dimensions of all off-street loading areas

N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- ☐ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- ☐ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- ☐ 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- ☒ A. Locate and identify adjacent public and private streets and alleys.
 - ☒ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ☒ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - N/A 3. Location of traffic signs and signals related to the functioning of the proposal
 - N/A 4. Identify existing and proposed medians and median cuts
 - ☒ 5. Sidewalk widths and locations, existing and proposed
 - ☒ 6. Location of street lights
 - ☒ 7. Show and dimension clear sight triangle at each site access point
 - ☒ 8. Show location of all existing driveways fronting and near the subject site.
- ☒ B. Identify Alternate transportation facilities within site or adjacent to site
 - ☒ 1. Bikeways and bike-related facilities
 - N/A 2. Pedestrian trails and linkages
 - N/A 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- ☒ 1. Scale - must be same as scale on sheet #1 - Site plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Identify nature of ground cover materials
 - ☒ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ☒ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - ☒ C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- ☒ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ☐ A. Existing, indicating whether it is to be preserved or removed.
 - ☐ B. Proposed, to be established for general landscaping.
 - ☐ C. Proposed, to be established for screening/buffering.
- ☒ 8. Describe irrigation system – Phase I & II . . .
- ☒ 9. Planting Beds, indicating square footage of each bed
- ☒ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ☒ 11. Responsibility for Maintenance (statement)
- ☒ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ☒ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ☒ 14. Planting or tree well detail
- ☒ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ☒ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ☒ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- ☒ 1. Scale - must be same as Sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Building footprints
- ☒ 7. Location of Retaining walls

B. Grading Information

- ☒ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ☒ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ☒ 3. Identify ponding areas, erosion and sediment control facilities.
- ☒ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- ☒ A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- ☒ B. Distribution lines
- ☒ C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ☒ D. Existing water, sewer, storm drainage facilities (public and/or private).
- ☒ E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- ☒ A. Scale
- ☐ B. Bar Scale
- ☒ C. Detailed Building Elevations for each facade
 - ☐ 1. Identify facade orientation
 - ☐ 2. Dimensions of facade elements, including overall height and width
 - ☐ 3. Location, material and colors of windows, doors and framing
 - ☐ 4. Materials and colors of all building elements and structures
 - ☐ 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- N/A ☐ 1. Site location(s)
- ☐ 2. Sign elevations to scale
- ☐ 3. Dimensions, including height and width
- ☐ 4. Sign face area - dimensions and square footage clearly indicated
- ☐ 5. Lighting
- ☐ 6. Materials and colors for sign face and structural elements.
- ☐ 7. List the sign restrictions per the IDO

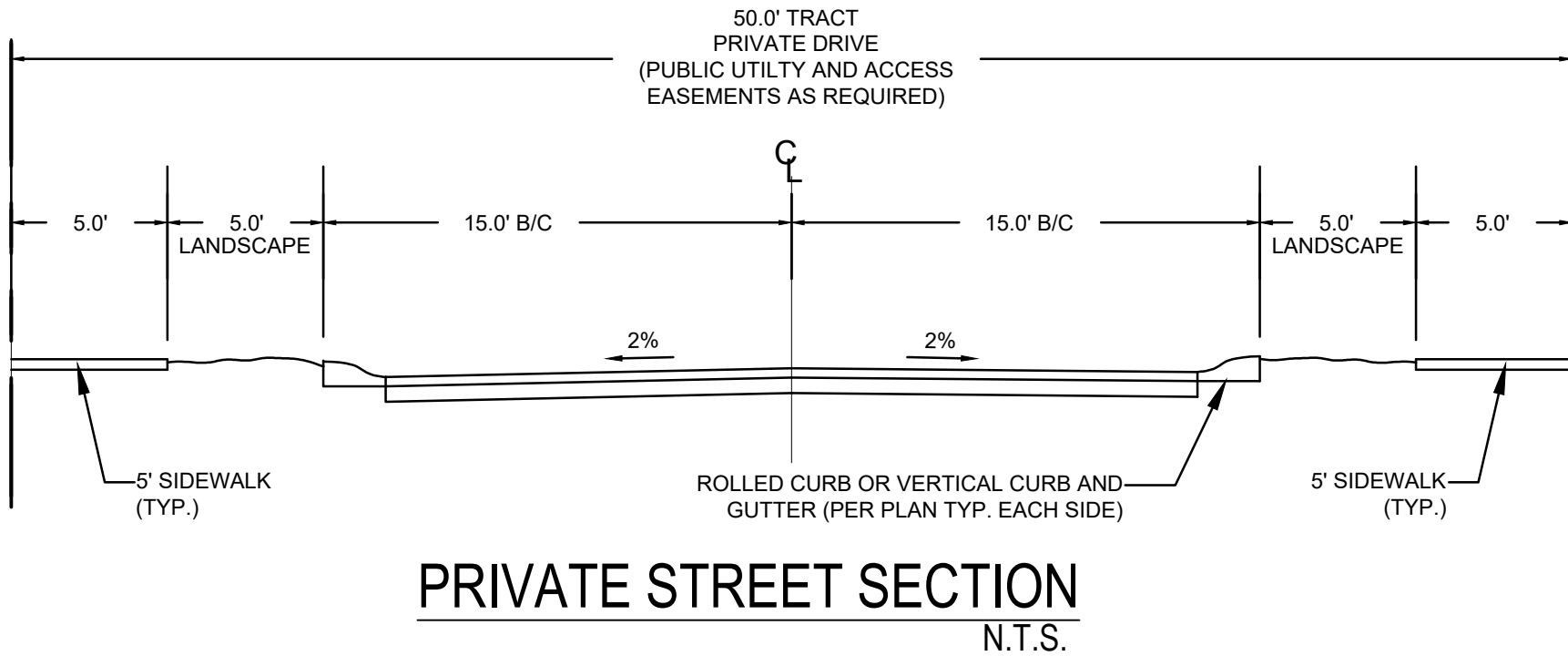
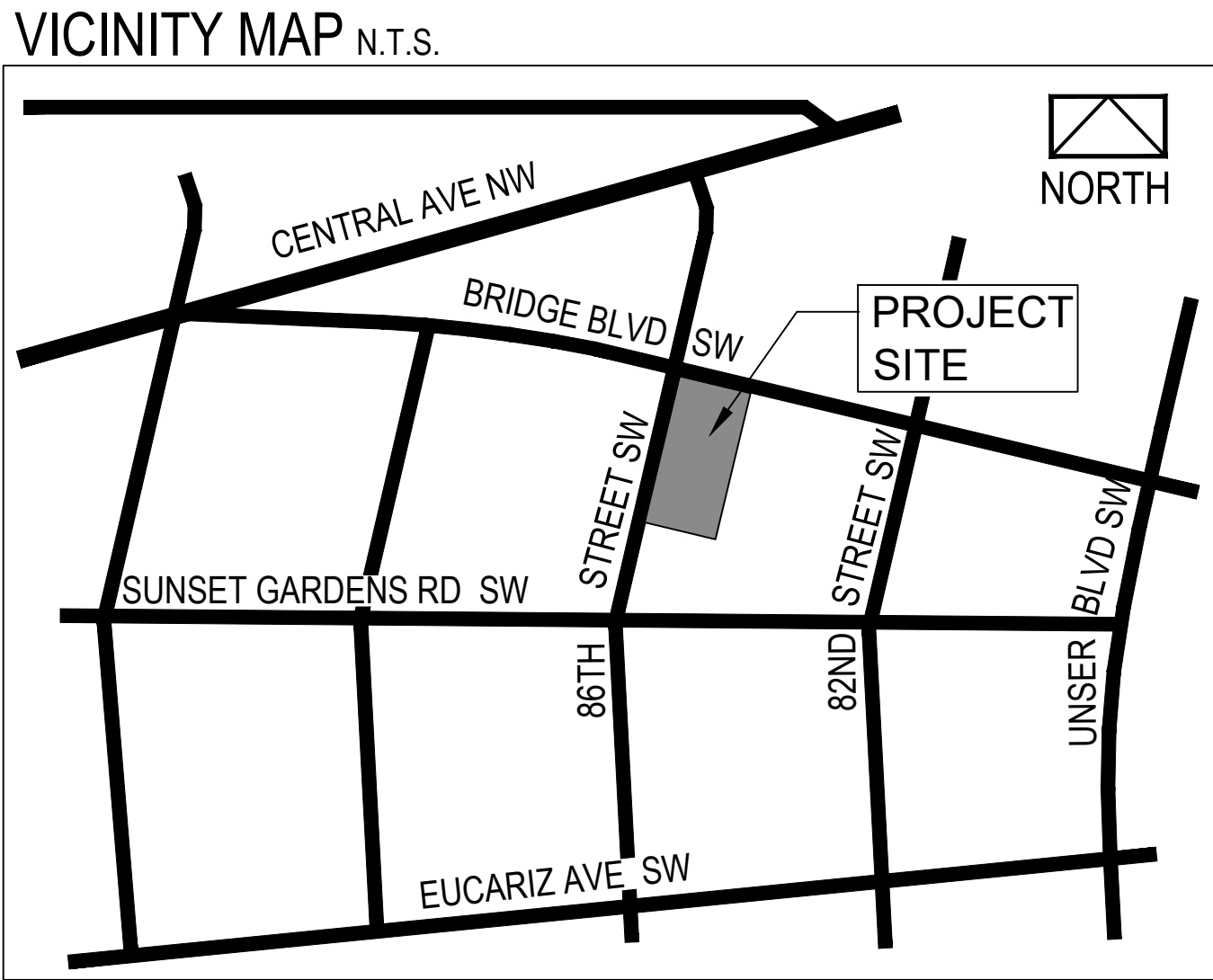
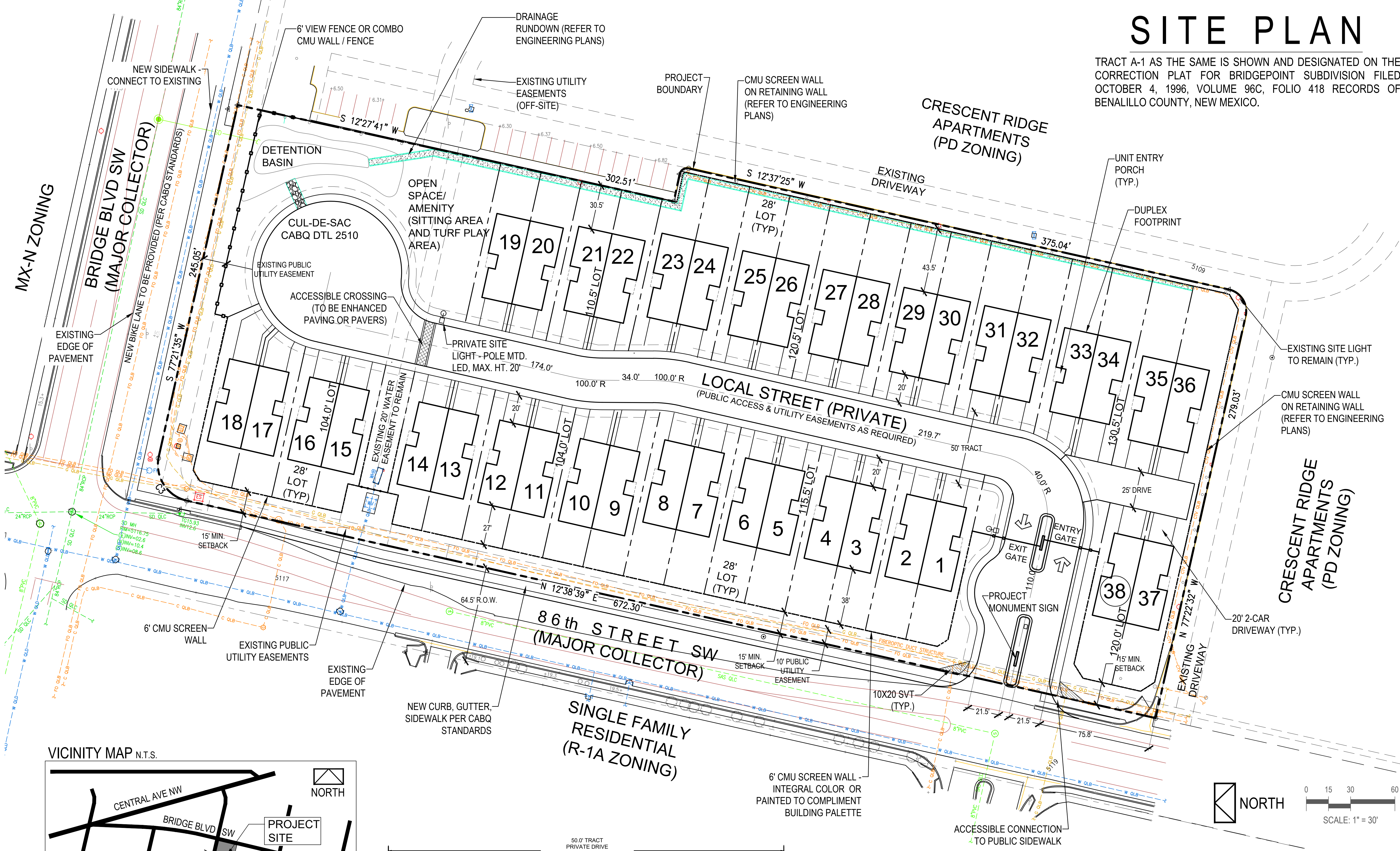
SITE PLAN

TRACT A-1 AS THE SAME IS SHOWN AND DESIGNATED ON THE CORRECTION PLAT FOR BRIDGEPOINT SUBDIVISION FILED OCTOBER 4, 1996, VOLUME 96C, FOLIO 418 RECORDS OF BENALILLO COUNTY, NEW MEXICO.

PREPARED BY

EVOLUTION
PLANNING
& DESIGN
480.450.7471
evteamplanning@gmail.com

Plan is conceptual and
subject to change.
Requires Engineering
and City approvals.
NOT FOR
CONSTRUCTION



SITE PLAN DATA

TOTAL LOT AREA:	4.52 ac
EXISTING ZONING:	PD
TOTAL LOTS:	38
TOTAL BUILDINGS:	19
PROJECT TYPE:	DUPLEX
RESIDENTIAL	
GROSS DENSITY:	8.44 du/ac
OPEN SPACE PROVIDED:	13,780 SF (7% OF SITE AREA)

BUILDING DATA

TOTAL BUILDING FOOTPRINT:	2,235 SF
LIVABLE AREA (EACH UNIT):	1,736 SF
GARAGE (EACH UNIT):	423 SF
COVERED FRONT PORCH:	71 SF
MIN SEPARATION BETWEEN BLDGS:	10-FEET

BUILDINGS NOT FIRE SPRINKLERED

LOCATION
SEC 86th Street SW & Bridge Blvd. SW
ALBUQUERQUE, NEW MEXICO

SCALE	1" = 30.0'
DATE	08/08/24
REVISION	
TITLE	EPC SITE PLAN
SHEET	

SP.01

PRT# 24-031
DRB PROJECT# 2020-004098

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME
DECIDUOUS TREE		
	9	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE
	3	CERCIS RENIFORMIS 'OKLAHOMA' / OKLAHOMA RED BUD
	3	CHILOPSIS LINEARIS / DESERT WILLOW
	5	FRAXINUS AMERICANA 'URBANITE' / URBANITE AMERICAN ASH
	4	MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE
	2	ULMUS PARVIFOLIA 'ALLEE' / ALLEE® LACEBARK ELM
	5	ULMUS PROPINQUA 'EMERALD SUNSHINE' / EMERALD SUNSHINE ELM

EVERGREEN TREE		
	9	PICEA PUNGENS GLAUCA 'GLOBOSA NANA' / DWARF GLOBE BLUE SPRI
	6	PINUS CEMBROIDES EDULIS / PINYON PINE

DESERT ACCENT		
	12	HESPERALOE PARVIFLORA / RED YUCCA
	6	NOLINA MICROCARPA / BEARGRASS

DECIDUOUS SHRUBS		
	14	AMORPHA CANESCENS / LEADPLANT
	14	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA
	4	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE
	4	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE
	12	SALVIA GREGGII / AUTUMN SAGE CHERRY

EVERGREEN SHRUBS		
	8	ARTEMISIA FILIFOLIA / SAND SAGEBRUSH

MATERIAL SCHEDULE

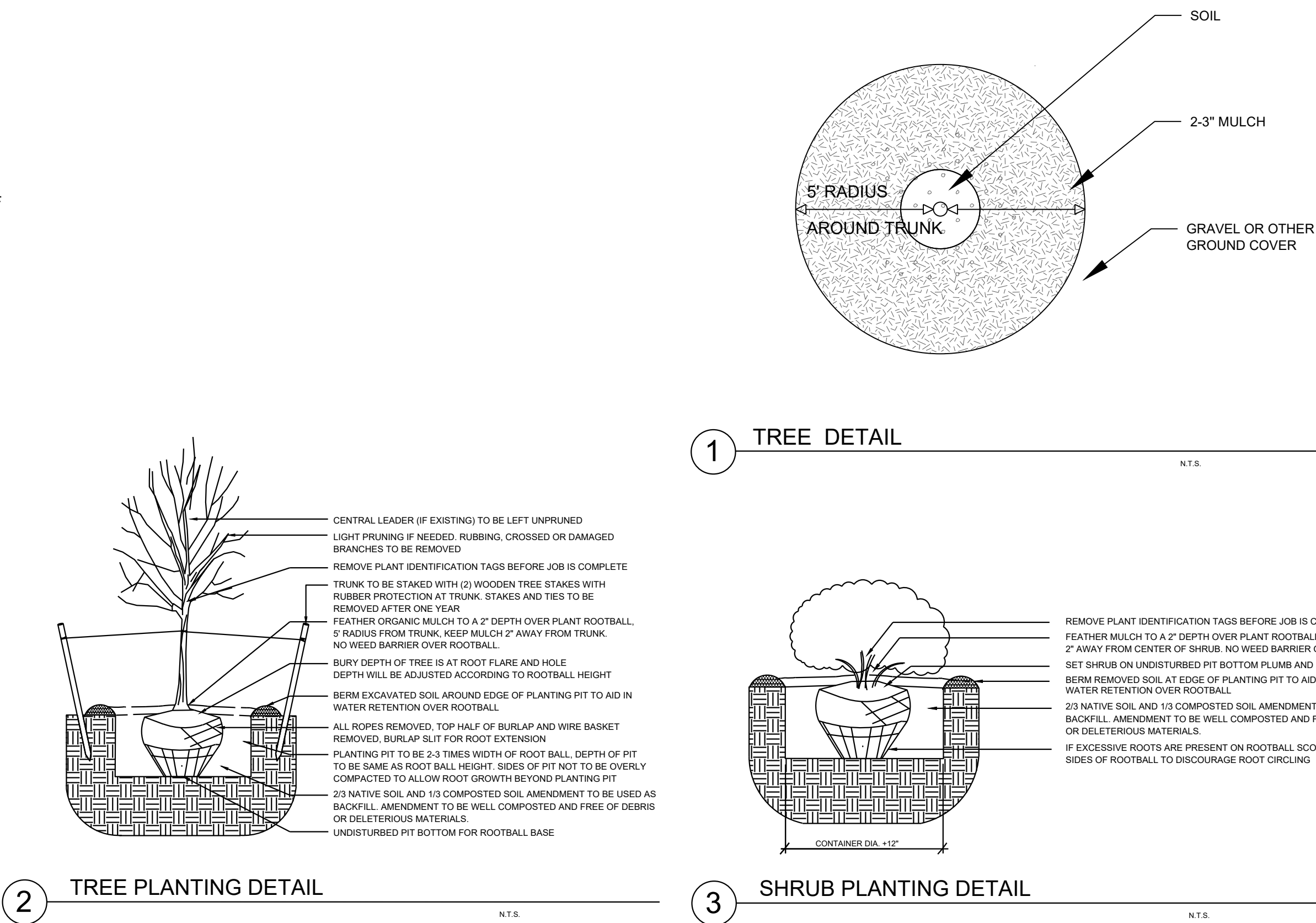
SYMBOL	DESCRIPTION	QTY
	BENCH	2
	PICNIC TABLE	2
	TRASH RECEPTACLE	1
	PET WASTE STATION	1
	18'X18' SHADE STRUCTURE	1
SYMBOL DESCRIPTION QTY		
	7/8" GRAVEL MULCH 3" DEPTH OVER FILTER FABRIC	26,173 SF
	2"-4" ANGULAR COBBLE 4" DEPTH OVER FILTER FABRIC	8,187 SF
	BLUEGRASS SOD 9 % OF LANDSCAPE AREA	3,546 SF
	CONCRETE PAVING LIGHT BROOM FINISH	1,066 SF

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT. GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

IRRIGATION NOTES

- ALL PLANTS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY BUBBLER IRRIGATION SYSTEM PER COA SPEC. ALL PLANTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE ZONED SEPARATELY FROM THE PLANTS WITHIN THE PROPERTY LINE.
- ALL PLANTS WITHIN THE SITE, NOT IN THE PUBLIC RIGHT-OF-WAY, SHALL BE IRRIGATED WITH A DRIP IRRIGATION SYSTEM CONSISTING OF A REDUCED PRESSURE BACKFLOW PREVENTION DEVICE, MASTER VALVE, CONTROL VALVES, LOW FLOW POINT-SOURCE DRIP EMITTERS ON 3/4" POLY DRIP TUBING WITH FLUSH CAPS.
- ALL SOD AREAS TO BE IRRIGATED WITH CONTROL VALVES, PVC LATERAL LINE TO PRESSURE COMPENSATING HEADS.
- ALL IRRIGATION SHALL BE PERMANENT AND SHALL BE CONTROLLED BY AN AUTOMATIC IRRIGATION CONTROLLER.
- PER 5-6(C)(14)(a), IRRIGATION SYSTEMS SHALL COMPLY WITH SECTION 8 OF THE ABCVUA LEGISLATION AND ORDINANCES (CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE)
- PER 5-6(C)(14)(b), ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- PER 5-6(C)(14)(c), ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING.
- PER 5-6(C)(14)(d), THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVE AISLES, STREETS, AND PARKING AND LOADING AREAS.





YELLOWSTONE
LANDSCAPE

www.yellowstonelandscape.com
P O Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com

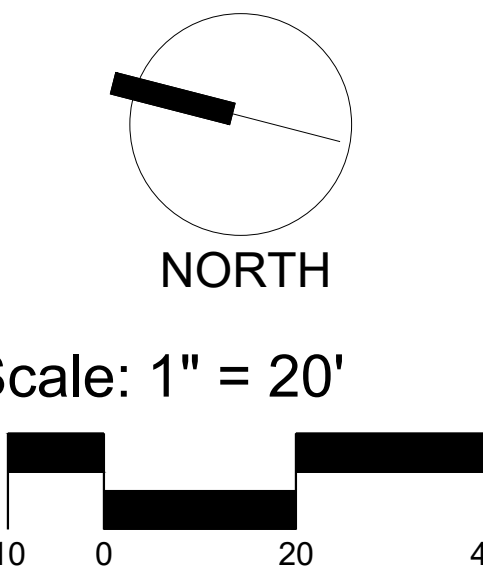


Date: 08/08/2024
Revisions:

- △
- △
- △
- △
- △

Drawn by: CC
Reviewed by: CM

Ashland Development
86th & Bridge
Albuquerque, New Mexico



Sheet Title:
LANDSCAPE PLAN

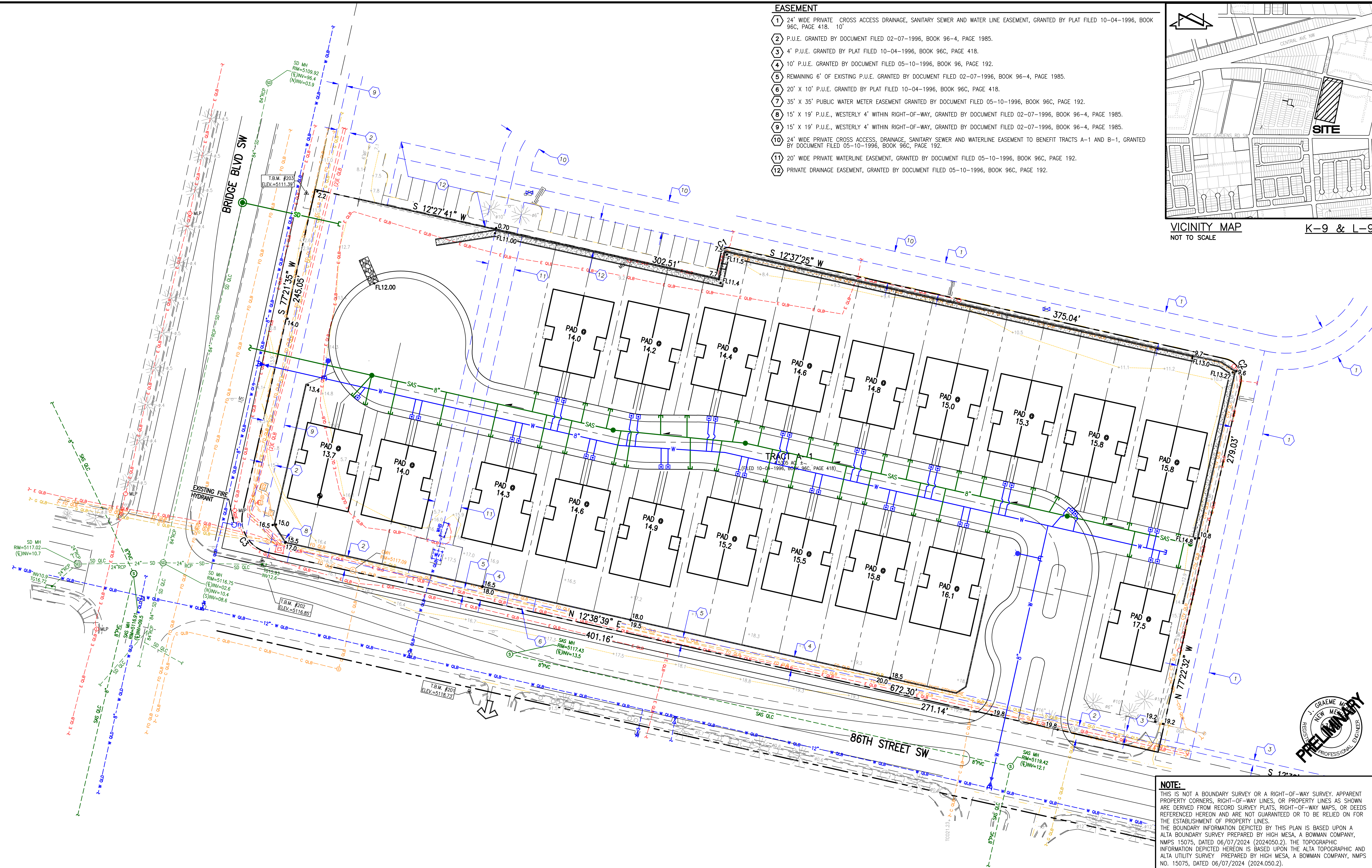
Sheet Number:
LS-01

File Name: P:\data\2024\0504\ENG\240504_Design Base.dwg - CU101 Plot Date: 8/5/24 Plot Time: 12:54

CONCEPTUAL UTILITY PLAN
BRIDGE BLVD AND 86TH STREET SW
ALBUQUERQUE, NM

DESIGNED BY G.M.
DRAWN BY J.Y.R.
APPROVED BY G.M.

NO.				DATE		BY		REVISIONS		JOB NO.	
										2024.050.4	
										08-2024	
										SHEET	
										CU101	





LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



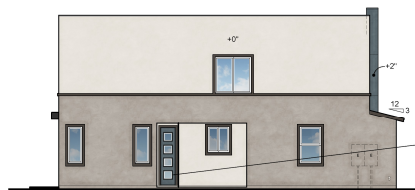
LEFT ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

Bridgepoint Duplex - PLAN A Elevations

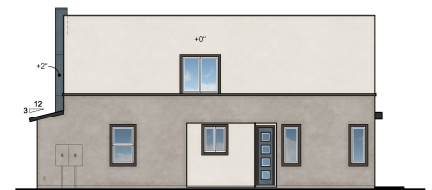
EPC SITE PLAN APPLICATION
August 8, 2024



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

Bridgepoint Duplex - PLAN B Elevations

EPC SITE PLAN APPLICATION
August 8, 2024

September 5, 2024

To: City Of Albuquerque Planning Department

Re: Sensitive Lands Analysis for **SEC 86th Street SW & Bridge Blvd SW (4.52 Acres)**

This letter responds to the Sensitive Lands criteria in IDO Section 14-16-5-2 for the subject property location. We have analyzed the project site for the presence of sensitive lands and the constraints related to such lands. As outlined below, only one of the features identified as sensitive lands by the IDO are present on the subject property. Unnatural steep slopes were left around the south and east side of the property as result of neighboring property development grading which occurred in the 1990's. Relevant features were identified and are tabulated below. The accompanying map identifies the locations of occurrences of each element.

FEATURE	NOTED ON MAP	EXHIBIT ATTACHED	NOTES/COMMENTS
Flood Hazard Area	X		Zone X
Steep Slopes	X		Unnatural sloped cuts along east and south edges of site – due to adjacent property previous development.
Unstable Soils			N/A
Wetlands/Riparian Areas			N/A
Arroyos			N/A
Acequias/Ditches			N/A
Escarpment			N/A
Rock Outcroppings			N/A
Large Stands of Mature Trees			N/A
Individual Mature Trees	X		Desert Willow – To be removed with proejct
Archaeological Site			N/A

1. Floodplains and Flood Hazard Areas

The property surveyed has a Flood zone X designation which is further described as “an area determined to be outside the 0.2% annual chance Floodplain” based upon review of the national flood insurance program, flood insurance rate maps, map no. 35001C0328J, dated November 4, 2016,

2. Steep Slope and Escarpment

The previously undeveloped property was left scarred development of the neighboring apartment complex which exists to the east and south of the subject site. As depicted on the Sensitive Lands Analysis Exhibit, slopes of varying percentage exist along these project edges as indicated by the 1' contours shown on the exhibit. The steepest sloped areas remaining are approximately 10-11%. With the new project development, these areas will be filled and included in a master grading and drainage plan for the newly proposed development.

3. Unstable Soils

As indicated by Geotechnical report prepared by Geomat Inc. (project no. 242-4946A, dated July 8, 2024) there are no unstable soils detected on this site.

4. Wetlands (constant supply of water)

There are currently no wetland areas contained within the subject site.

5. Arroyos

There are currently no Arroyos traversing or adjacent to the subject site.

6. Irrigation Facilities (acequias)

There are currently no MRGCD identified irrigation facilities on site.

7. Large Standing of Mature Trees

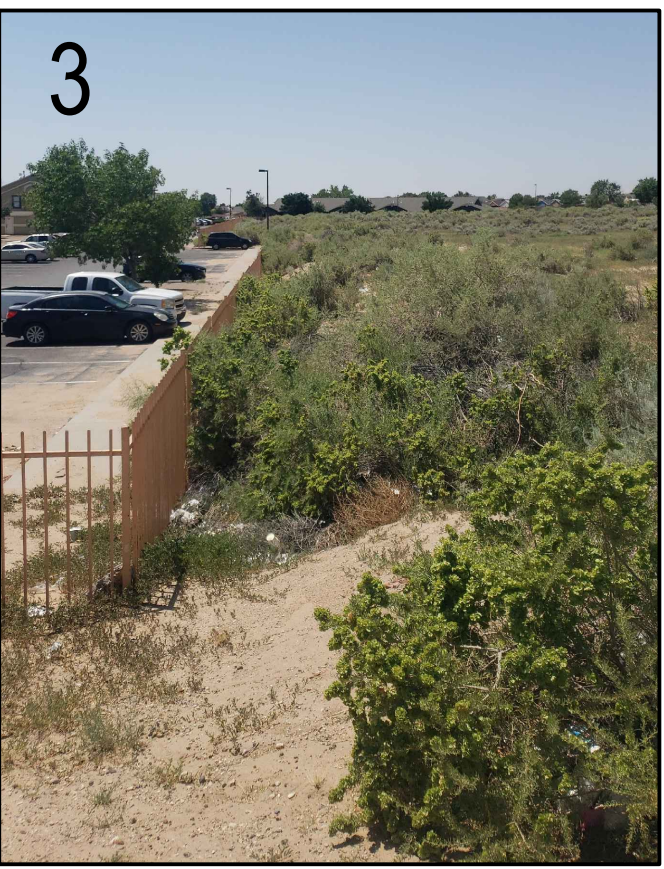
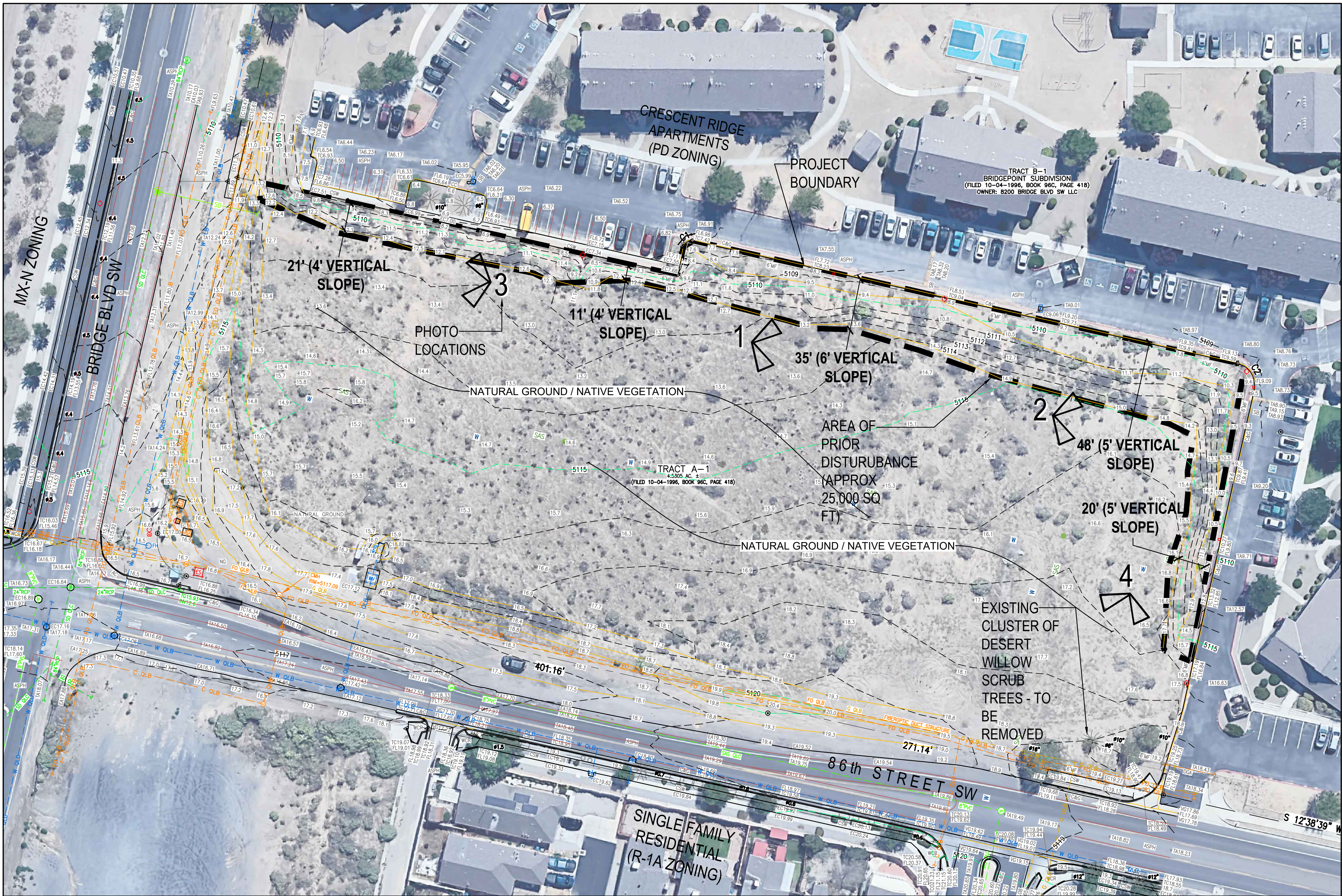
There are no existing areas on site that contain 5 or more mature trees clustered on the site.

8. Rock Outcroppings

There are no rock outcroppings on the subject site.

9. Archeological Site

This site is under the 5 acre requirement for an Archeological Certificate.



Plan is conceptual and
subject to change.
Requires Engineering
and City approvals.
NOT FOR
CONSTRUCTION

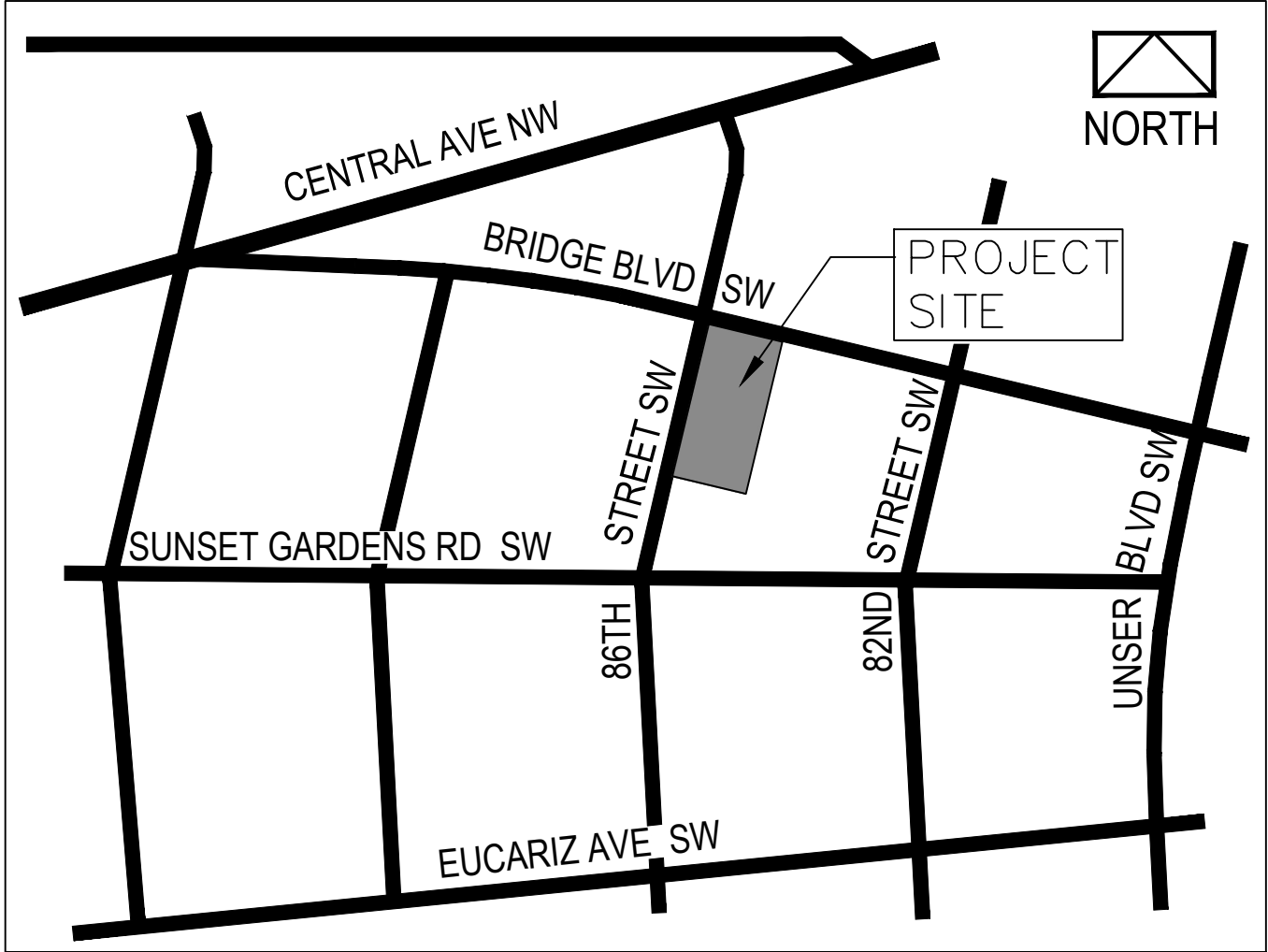
LOCATION
SEC 86th Street SW & Bridge Blvd. SW
ALBUQUERQUE, NEW MEXICO

UPC 100905645249810404

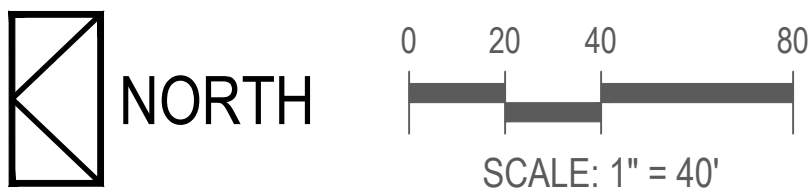
SCALE	1" = 40.0'
DATE	09/05/24
REVISION	
TITLE	SENSITIVE LANDS ANALYSIS
SHEET	

SL.01

VICINITY MAP N.T.S.



SENSITIVE LANDS ANALYSIS



SITE DESCRIPTION

THE PROPERTY IS CURRENTLY VACANT AND POPULATED WITH COMMON NATIVE PLANT MATERIALS. THE PROPERTY HAS NOT BEEN PREVIOUSLY DEVELOPED, HOWEVER WAS SUBJECTED TO UNNATURAL SLOPED EARTH CUTS ALONG ITS EAST AND SOUTH BORDERS WHEN THE NEIGHBORING APARTMENT SITE WAS DEVELOPED IN THE 1990'S. AS PART OF THE NEWLY PROPOSED RESIDENTIAL DEVELOPMENT PLAN FOR THE SITE, THE CUT SLOPED AREAS IDENTIFIED ON THE THE EXHIBIT ABOVE WILL BE FILLED AND GRADED AS PART OF AN OVERALL SITE GRADING AND DRAINAGE PLAN. MUCH OF THE AREA IDENTIFIED WILL SUPPORT HOME PADS OR PRIVATE READ YARDS AND MUST BE APPROPRIATELY INCORPORATED INTO THE GREATER PLAN.