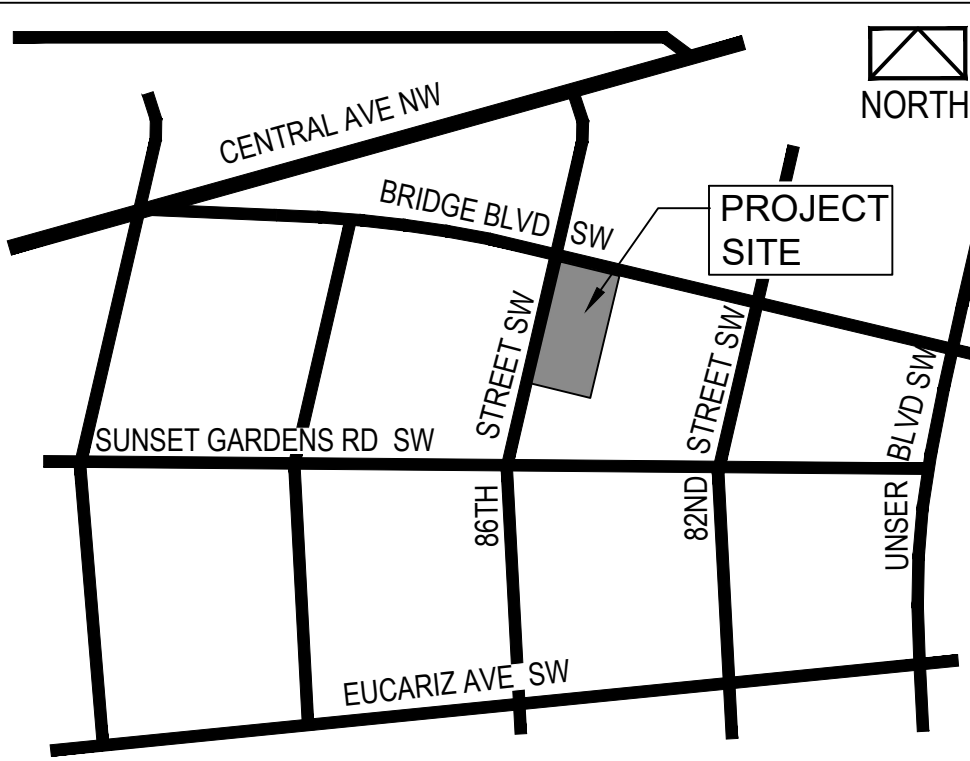


S I T E P L A N

VICINITY MAP N.T.S.



PREPARED BY

EVOLUTION
PLANNING
& DESIGN
480.450.7471
evteamplanning@gmail.com

LEGAL DESCRIPTION
TR A-1 CORRECTION PLAT FOR BRIDGEPOINT SUBD COMPRISED OF TR A
& B BRIDGEPOINT SUBD & ALL LTS 23-29 TOGETHER WITH REMAINDER OF
EXISTING 20' ALLEY R/W ORIG TOWNSITE OF WESTLAND CONT

CRESCENT RIDGE
APARTMENTS
(PD ZONING)

CRESCENT RIDGE
APARTMENTS
(PD ZONING)

MX-M ZONING

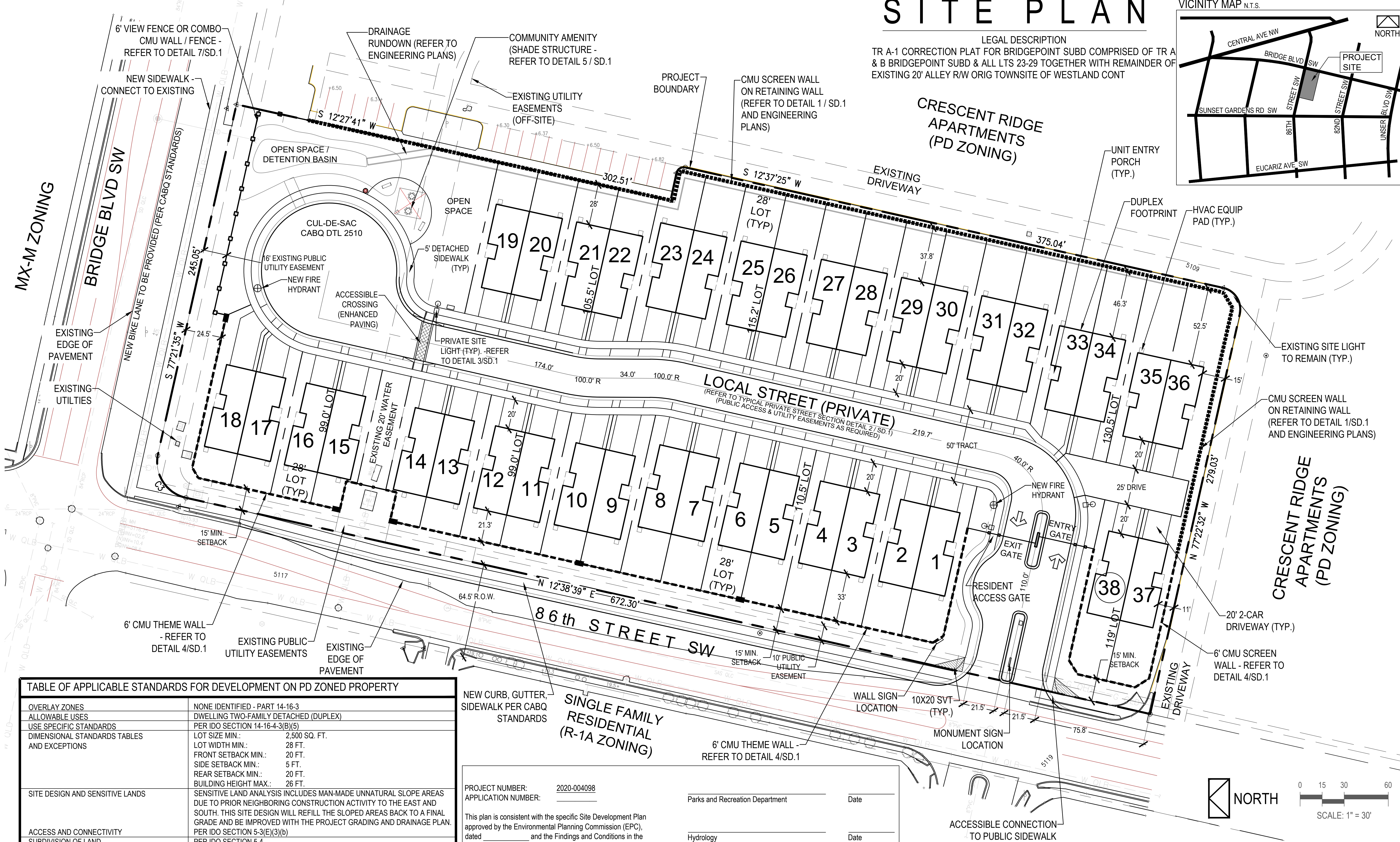


TABLE OF APPLICABLE STANDARDS FOR DEVELOPMENT ON PD ZONED PROPERTY

OVERLAY ZONES	NONE IDENTIFIED - PART 14-16-3
ALLOWABLE USES	DWELLING TWO-FAMILY DETACHED (DUPLEX)
USE SPECIFIC STANDARDS	PER IDO SECTION 14-16-4.3(B)(5)
DIMENSIONAL STANDARDS TABLES AND EXCEPTIONS	LOT SIZE MIN.: 2,500 SQ. FT. LOT WIDTH MIN.: 28 FT. FRONT SETBACK MIN.: 20 FT. SIDE SETBACK MIN.: 5 FT. REAR SETBACK MIN.: 20 FT. BUILDING HEIGHT MAX.: 26 FT.
SITE DESIGN AND SENSITIVE LANDS	SENSITIVE LAND ANALYSIS INCLUDES MAN-MADE UNNATURAL SLOPE AREAS DUE TO PRIOR NEIGHBORING CONSTRUCTION ACTIVITY TO THE EAST AND SOUTH. THIS SITE DESIGN WILL REFILL THE SLOPED AREAS BACK TO A FINAL GRADE AND BE IMPROVED WITH THE PROJECT GRADING AND DRAINAGE PLAN.
ACCESS AND CONNECTIVITY	PER IDO SECTION 5-3(E)(3)(b)
SUBDIVISION OF LAND	PER IDO SECTION 5-4
PARKING AND LOADING	PER IDO SECTION 5-5
LANDSCAPING, BUFFERING, AND SCREENING	STREET TREES PER STREET TREE ORD. 6-6-2-4, MULCHING PER IDO 5-6(C)(5)(E) AND PONDING PER CITY STANDARD SPEC., SECT. 1013 AND REMAINING AS INDICATED ON LANDSCAPE PLAN.
WALLS AND FENCES	PER IDO SECTION 5-7 AND GRADING AND DRAINAGE PLAN REQUIREMENTS
OUTDOOR AND SITE LIGHTING	15-FT. PRE-FINISHED OR PAINTED STELL TUBE LIGHT POLES AS INDICATED AND REMAINDER AS INDICATED PER IDO SECTION 5-8
NEIGHBORHOOD EDGES	NOT APPLICABLE
SOLAR ACCESS	NOT APPLICABLE
BUILDING DESIGN	AS INDICATED ON DUPLEX ELEVATIONS
SIGNS	MAX. (1) MONUMENT SIGN (24 SQ. FT. MAX. SIGN FACE AREA, MAX. 6 FT. HEIGHT); MAX. (1) WALL-MOUNTED SIGN (24 SQ. FT. MAX)
OPERATION AND MAINTENANCE	PER IDO SECTION 5-13

NEW CURB, GUTTER, SIDEWALK PER CABQ STANDARDS

SINGLE FAMILY RESIDENTIAL (R-1A ZONING)

PROJECT NUMBER: 2020-004098
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division

ABCWUA

Parks and Recreation Department

Hydrology

Code Enforcement

Environmental Health Department (conditional)

Solid Waste Management

Planning Department

SITE PLAN DATA

TOTAL LOT AREA: 4.52 ac
EXISTING ZONING: PD
TOTAL LOTS: 38
TOTAL BUILDINGS: 19
PROJECT TYPE: DUPLEX
RESIDENTIAL
GROSS DENSITY: 8.44 du/ac
OPEN SPACE PROVIDED: 13,780 SF (7% OF SITE AREA)

BUILDING DATA

TOTAL BUILDING FOOTPRINT: 2,235 SF
LIVABLE AREA (EACH UNIT): 1,736 SF
GARAGE (EACH UNIT): 423 SF
COVERED FRONT PORCH: 71 SF
MIN SEPARATION BETWEEN BLDGS: 10-FEET

BUILDINGS NOT FIRE SPRINKLERED

SEC 86th Street SW & Bridge Blvd. SW
ALBUQUERQUE, NEW MEXICO

UPC 100905645249810404

LOCATION

SCALE

1" = 30.0'

DATE

10/01/24

REVISION

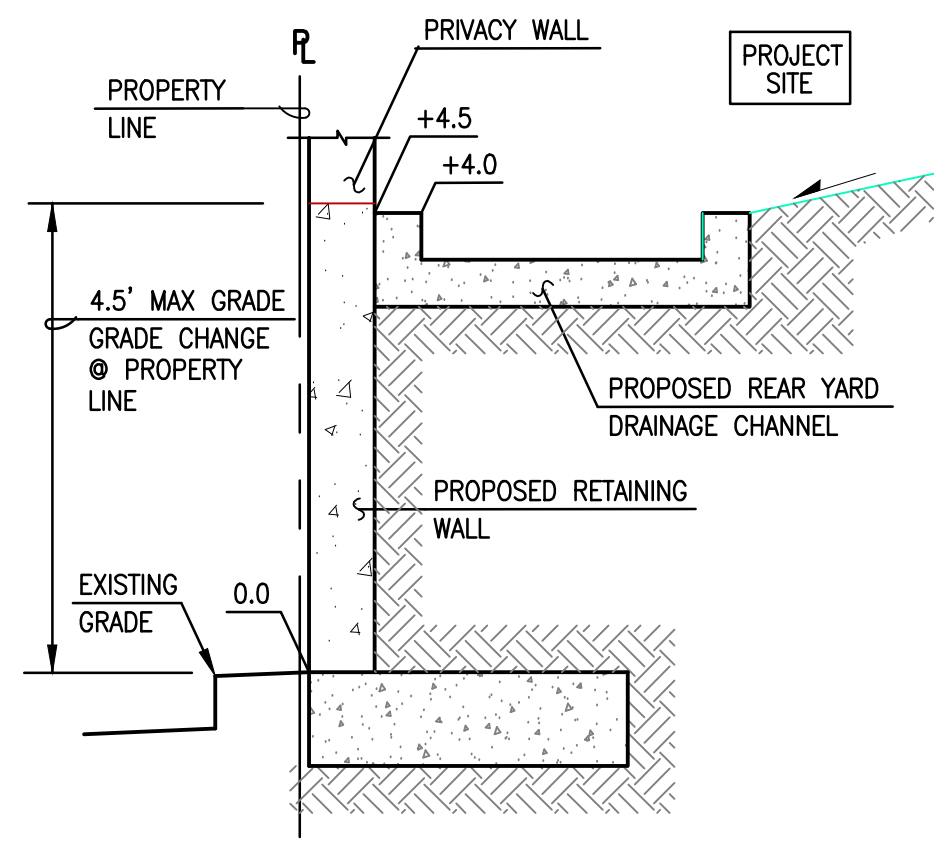
02/11/25

TITLE

SITE PLAN

SHEET

SP.01

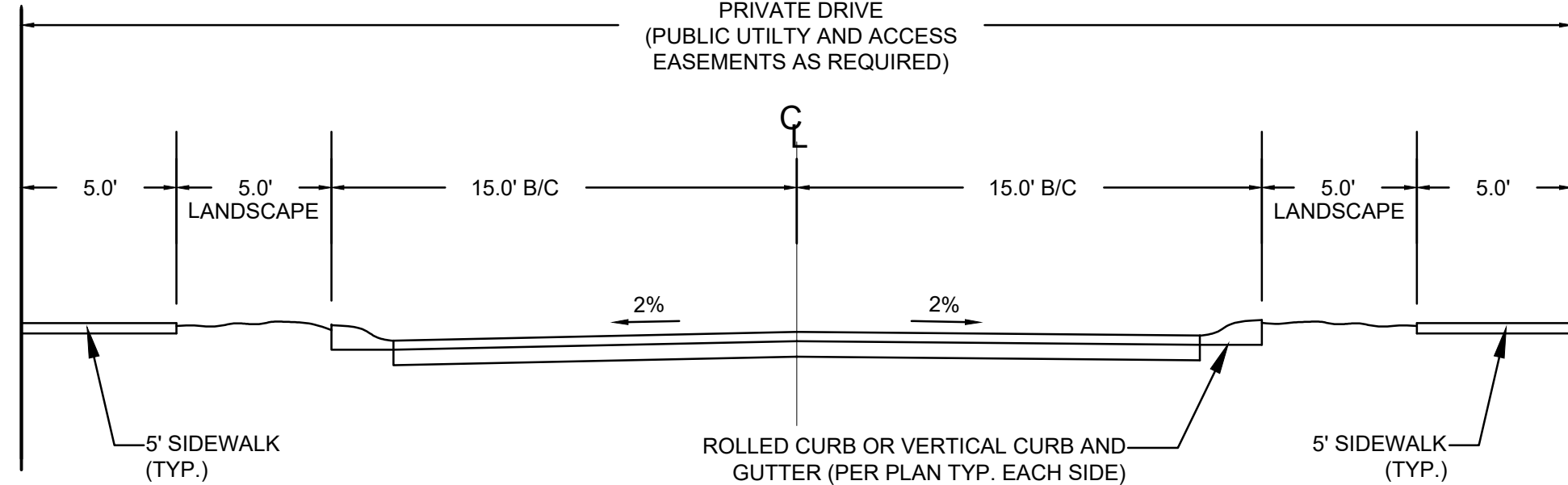


1

RETAINING WALL SECTION A-A

(DETAIL PREPARED BY PROJECT CIVIL ENGINEER - REFER TO GRADING AND DRAINAGE PLAN)

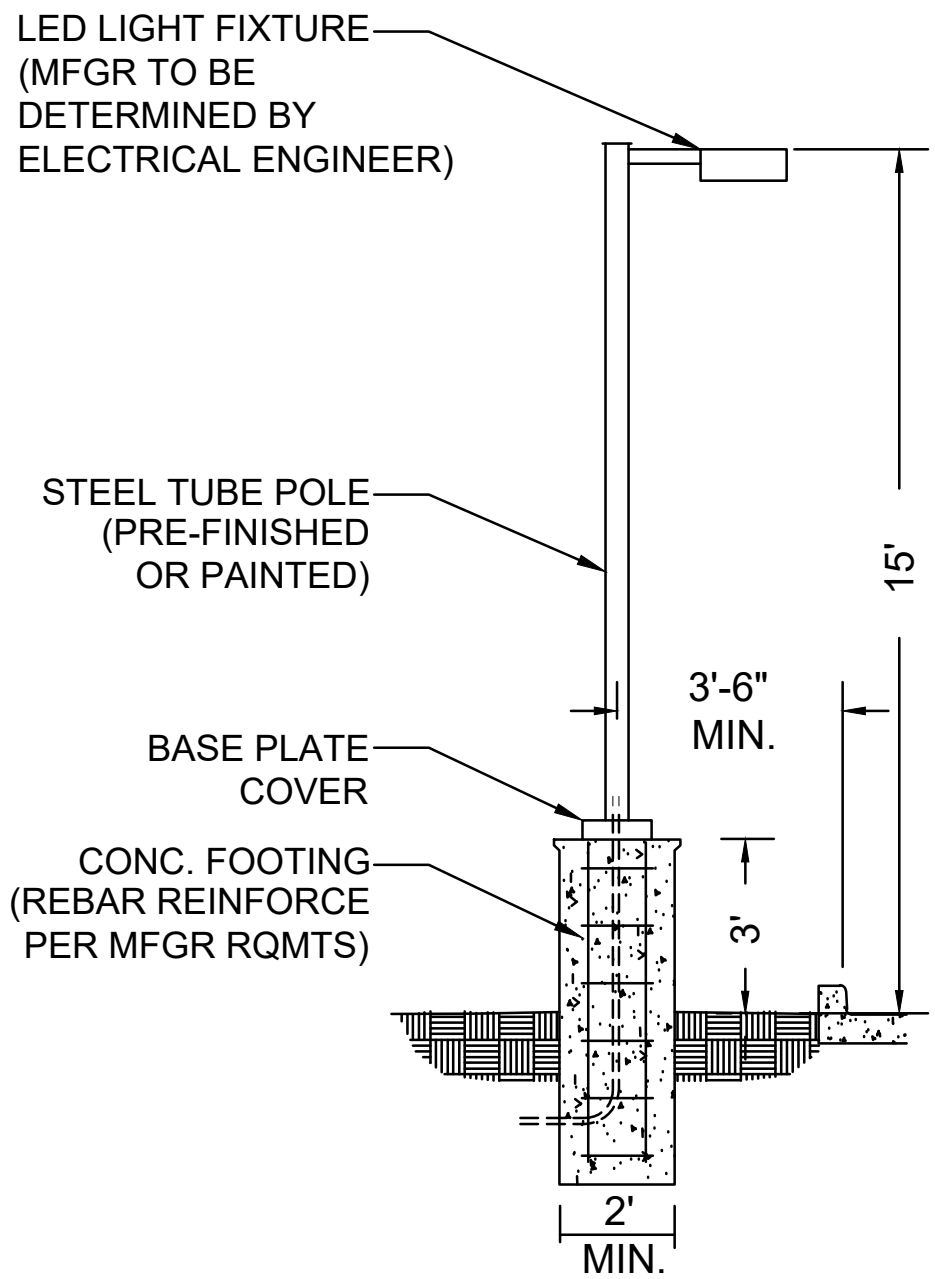
NTS



2

TYPICAL PRIVATE STREET SECTION

NTS

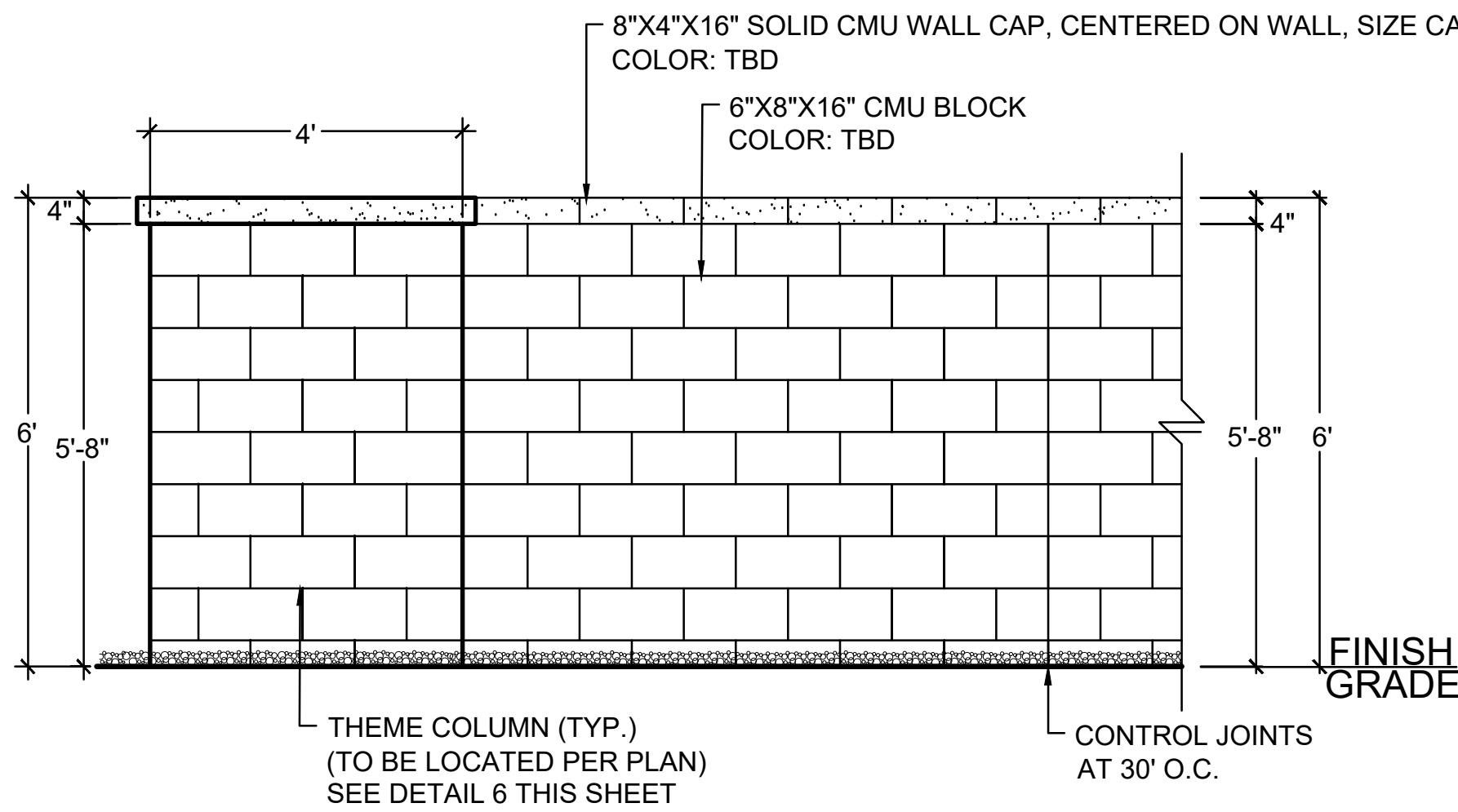


3

TYPICAL SITE POLE LIGHT DETAIL

NTS

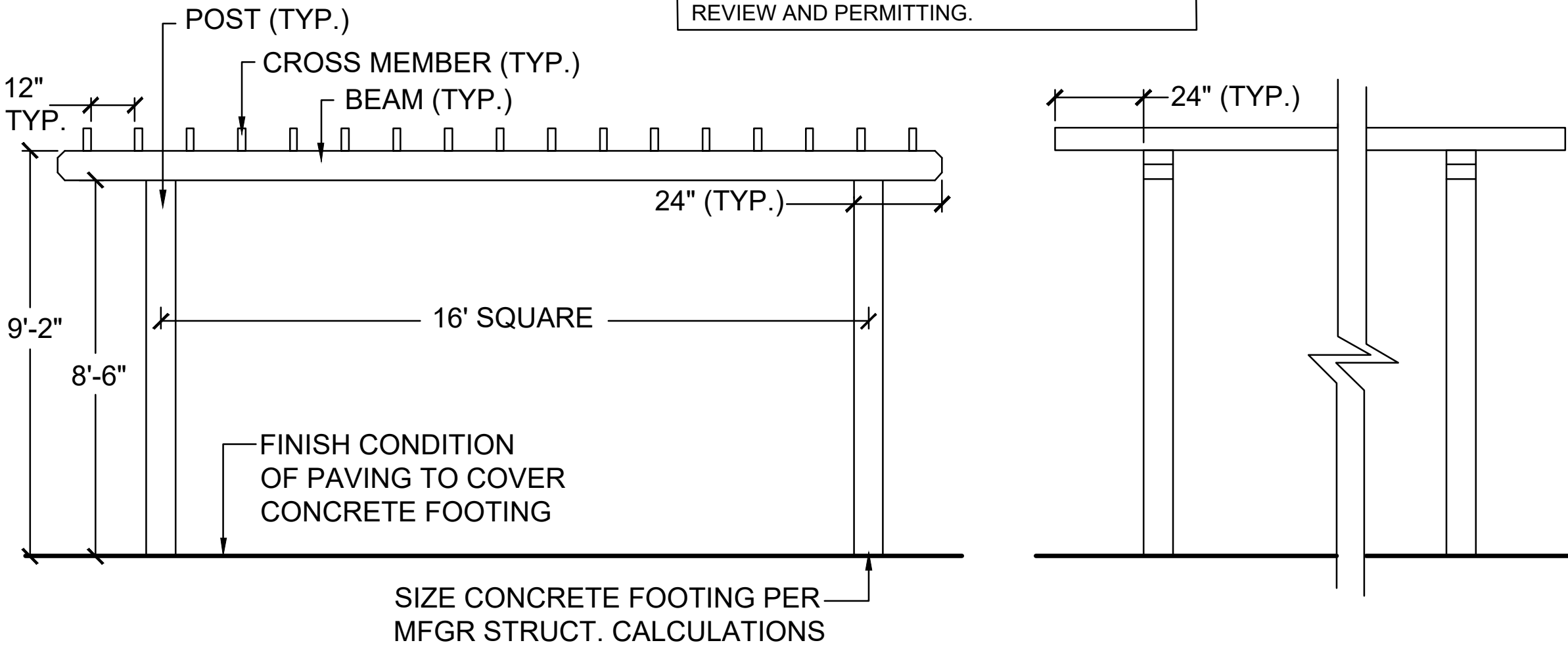
DETAIL FOR REFERENCE ONLY. SHOP DRAWINGS REQUIRED FOR OWNER / LANDSCAPE ARCHITECT APPROVAL. PROVIDE STRUCTURAL DRAWINGS AND DETAILS FOR REVIEW AND PERMITTING.



4

TYPICAL CMU PERIMETER THEME WALL

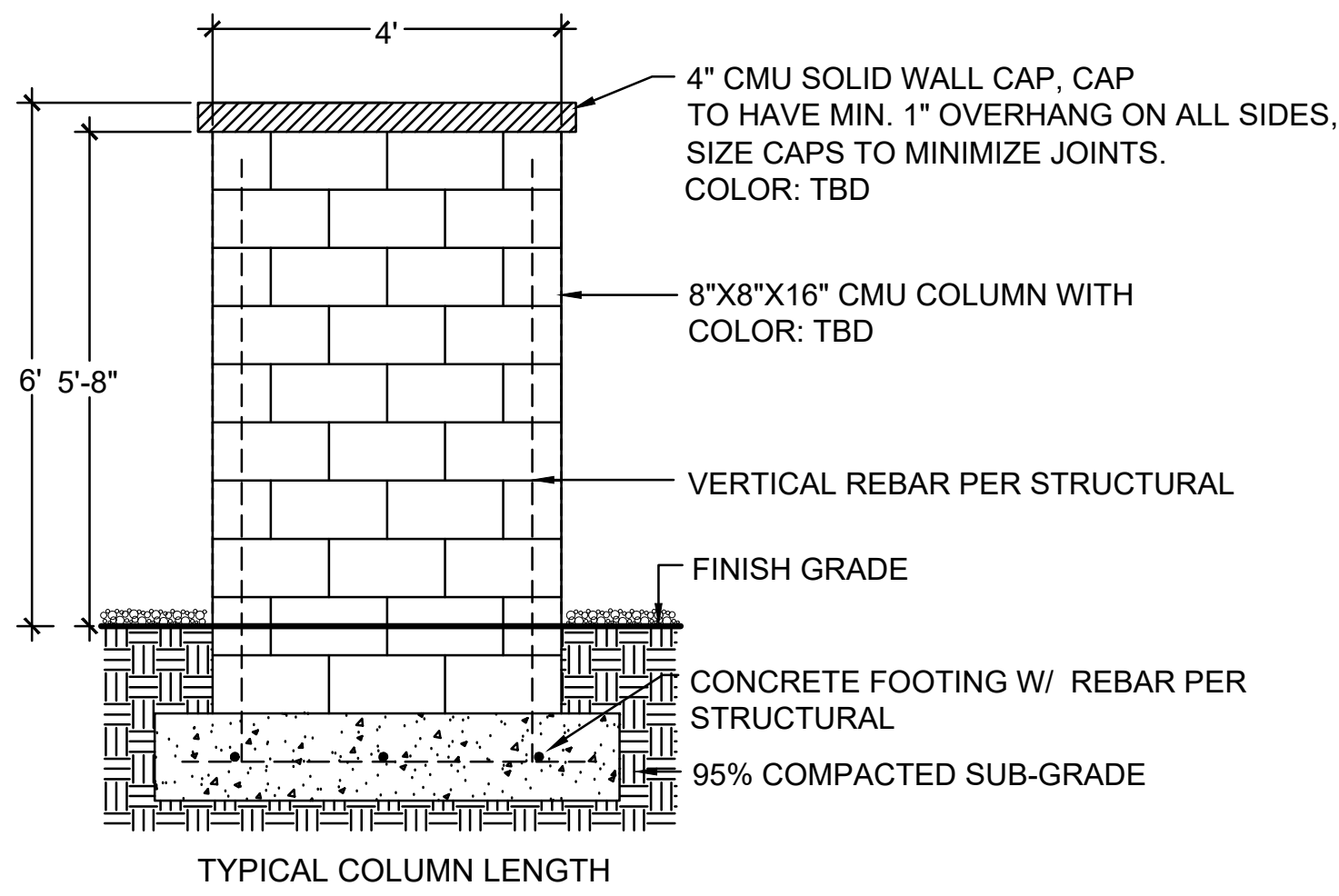
NTS



5

ALUMAWOOD SHADE STRUCTURE

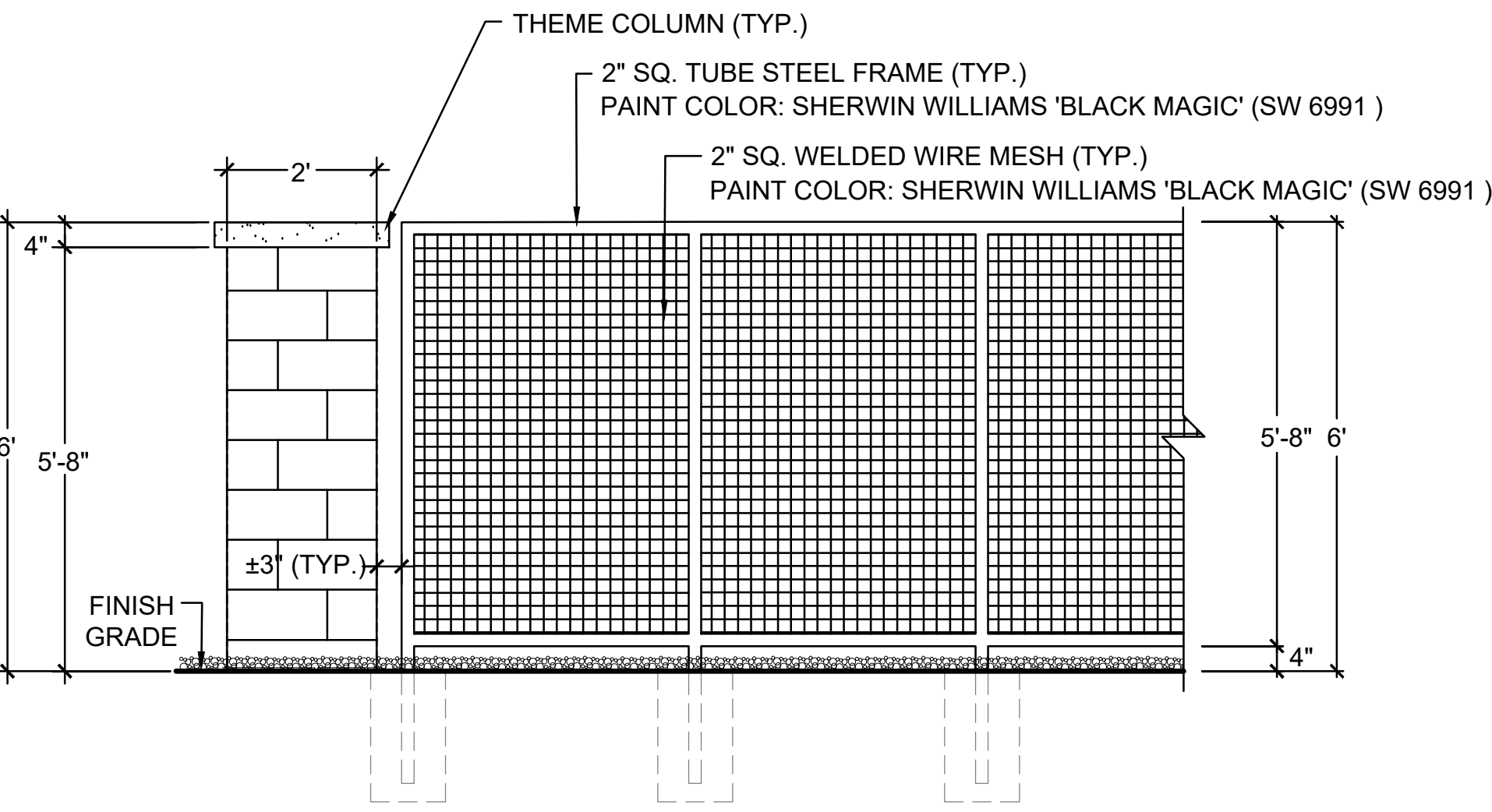
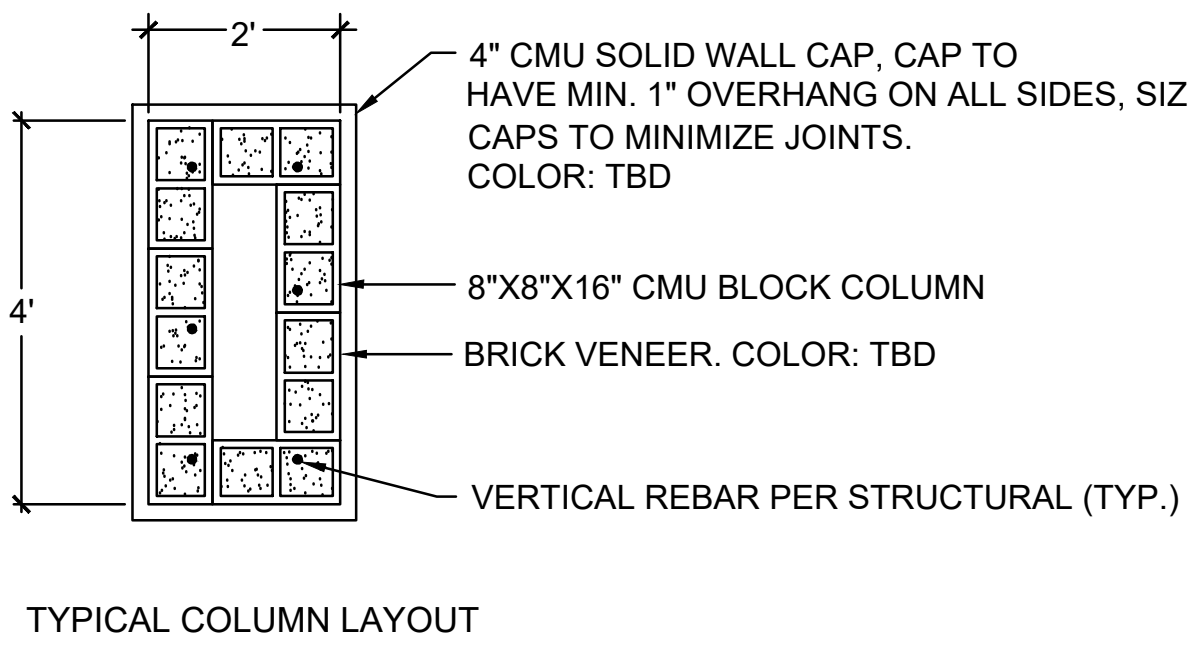
NTS



6

TYPICAL CMU THEME WALL COLUM SECTIONS

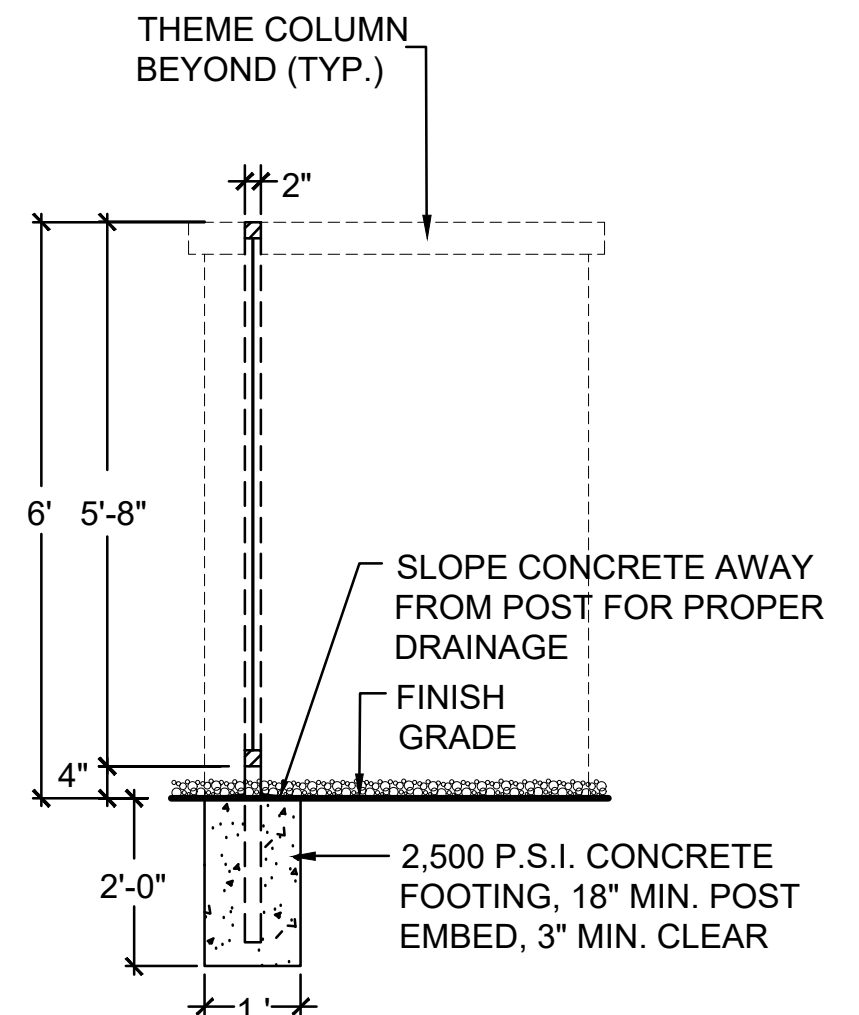
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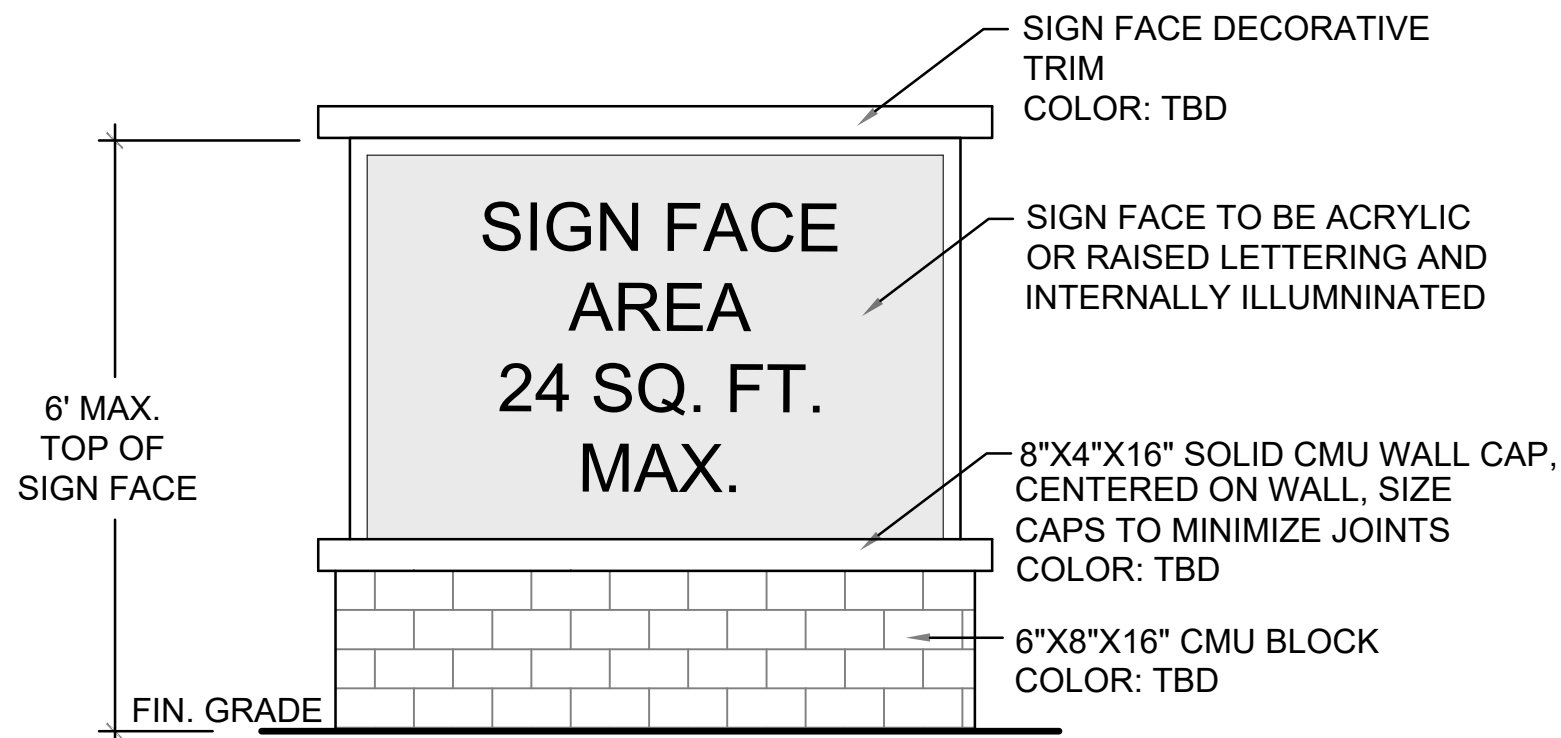
7

TYPICAL 6' VIEW FENCE

NTS



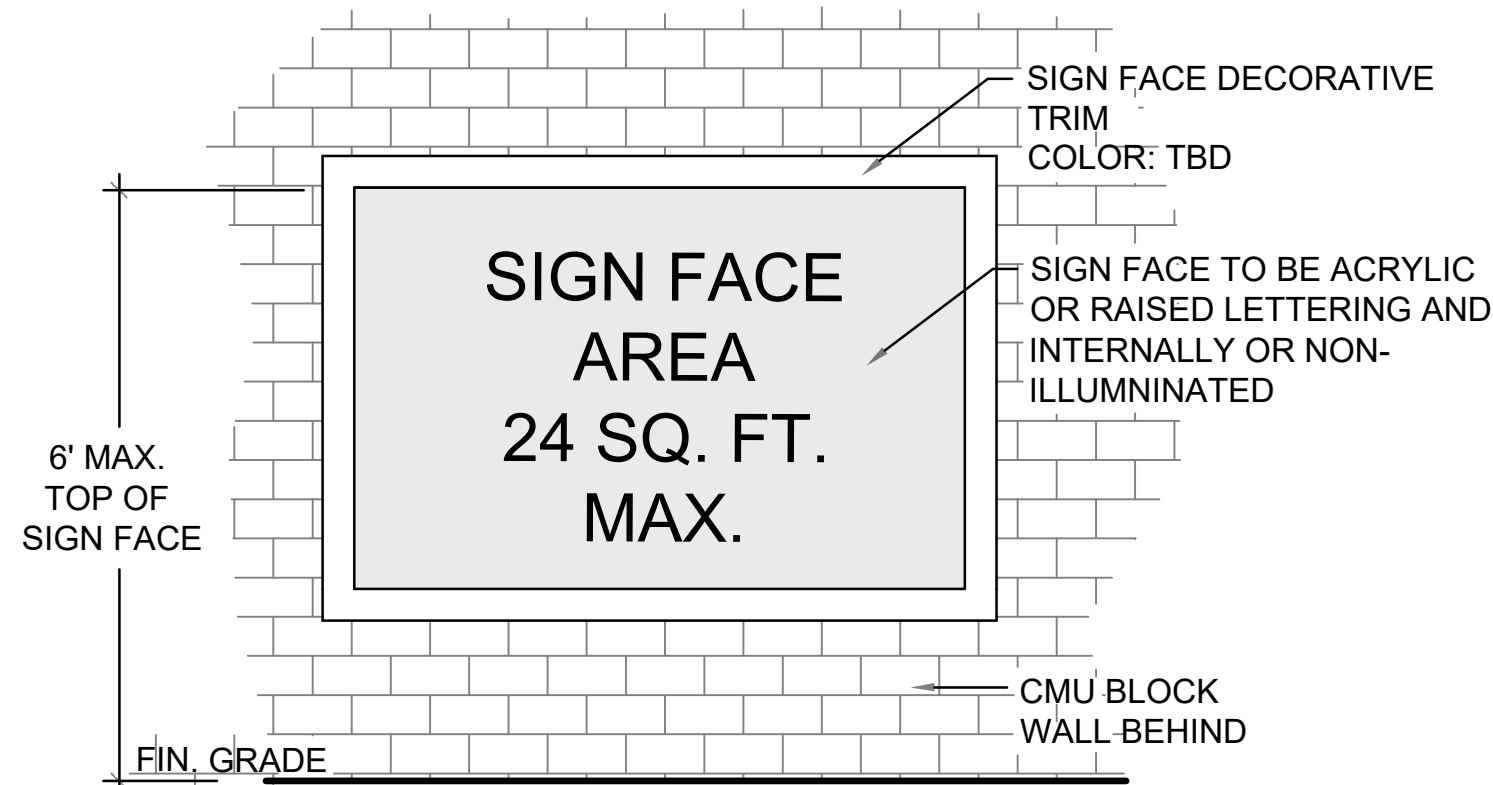
SCALE	AS NOTED
DATE	02/04/24
REVISION	
TITLE	SITE SIGNAGE DETAILS
SHEET	



8

MONUMENT SIGN ELEVATION

NTS



9

WALL SIGN ELEVATION

NTS



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

COLOR SCHEME-1



Main Body: Plain De Jui (SW 7666)
Mr. Sherwin Williams

Accent Body 1: Sunlit Gray (SW 7669)
Mr. Sherwin Williams

Accent Body 2: Popcorn (SW 7674)
Mr. Sherwin Williams



Trim/ Facade: Tricorn Black (SW 6258)
Mr. Sherwin Williams



Front Door: Rockwood Dark Red (SW 2801)
Mr. Sherwin Williams

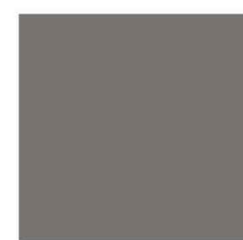
COLOR SCHEME-2



Main Body: Zurich White (SW 7626)
Mr. Sherwin Williams

Accent Body 1: Functional Gray (SW 7024)
Mr. Sherwin Williams

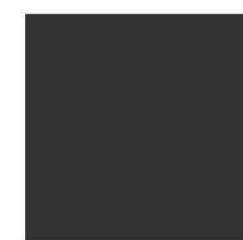
Accent Body 2: Slate Tile (SW 7624)
Mr. Sherwin Williams



Trim/ Facade/Garage: Gauntlet Gray (SW 7019)
Mr. Sherwin Williams



Front Door: Slate Tile (SW 7624)
Mr. Sherwin Williams



Metal Roof: Black Magic (SW 6991)
Mr. Sherwin Williams

COLOR SCHEME-3



Main Body: Classic Light Buff (SW 0050)
Mr. Sherwin Williams

Accent Body 1: Green Earth (SW 7748)
Mr. Sherwin Williams

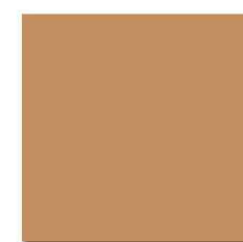
Accent Body 2: Green Earth (SW 7748)
Mr. Sherwin Williams



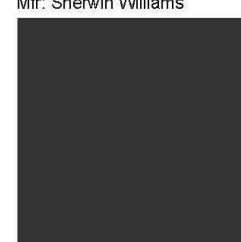
Garage: Rookwood Medium Brown (SW 2807)
Mr. Sherwin Williams



Trim/ Facade: Rookwood Bronze Green (SW 2846)
Mr. Sherwin Williams



Front Door: Eastlake Gold (SW 0009)
Mr. Sherwin Williams



Metal Roof: Black Magic (SW 6991)
Mr. Sherwin Williams



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

COLOR SCHEME -1		
Main Body: Fleur De Sel (SW 7686) Mfr: Sherwin Williams	Accent Body 1: Summit Gray (SW 7669) Mfr: Sherwin Williams	Accent Body 2: Peppercorn (SW 7674) Mfr: Sherwin Williams
Trim/ Fascia: Triton Black (SW 6258) Mfr: Sherwin Williams	Front Door: Rosewood Dark Red (SW 2801) Mfr: Sherwin Williams	

COLOR SCHEME -2		
Main Body: Zurich White (SW 7626) Mfr: Sherwin Williams	Accent Body 1: Functional Gray (SW 7024) Mfr: Sherwin Williams	Accent Body 2: Slate Tile (SW 7624) Mfr: Sherwin Williams
Trim/ Fascia/Garage: Gunmetal Gray (SW 7019) Mfr: Sherwin Williams	Front Door: Slate Tile (SW 7624) Mfr: Sherwin Williams	Metal Roof: Black Magic (SW 6991) Mfr: Sherwin Williams

COLOR SCHEME -3		
Main Body: Classic Light Buff (SW 0050) Mfr: Sherwin Williams	Accent Body 1: Green Earth (SW 7748) Mfr: Sherwin Williams	Accent Body 2: Green Earth (SW 7748) Mfr: Sherwin Williams
Garage: Rockwood Medium Brown (SW 2307) Mfr: Sherwin Williams	Trim/ Fascia: Roycroft Bronze Green (SW 2846) Mfr: Sherwin Williams	Front Door: Eastlake Gold (SW 0059) Mfr: Sherwin Williams
Metal Roof: Black Magic (SW 6991) Mfr: Sherwin Williams		

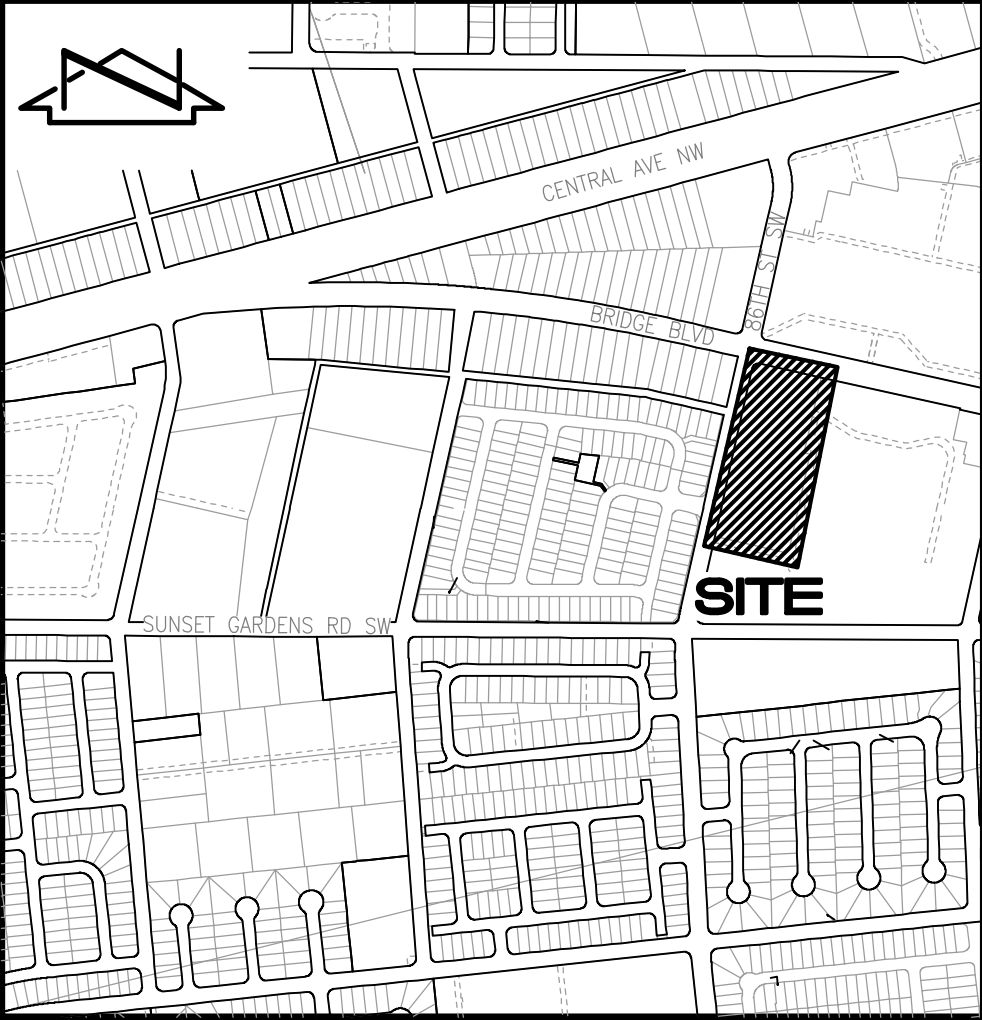
GRADING AND DRAINAGE PLAN NARRATIVE

THE EXISTING SITE IS UNDEVELOPED AND CONSISTS OF NATIVE VEGETATION WITH MODERATE DENSITY. THE SITE SLOPES FROM WEST EAST WITH APPROXIMATELY 10 FT OF VERTICAL RELIEF FROM WEST TO EAST, WITH HALF OF THAT DROP OCCURRING OVER THE EASTERMOST 20 FT OF THE SITE.

THE PROPOSED RESIDENTIAL DEVELOPMENT WILL DRAIN TO THE NORTHEAST CORNER OF SITE VIA PAVED INTERNAL ROADWAY AND A REAR-YARD DRAINAGE CHANNEL ALONG THE EASTERN EDGE OF THE SITE. A PROPOSED LANDSCAPED WATER QUALITY/DETENTION POND WILL ADDRESS STORMWATER QUALITY AND WILL OUTFALL TO THE EXISTING 84" PUBLIC STORM DRAIN IN BRIDGE BLVD SW.

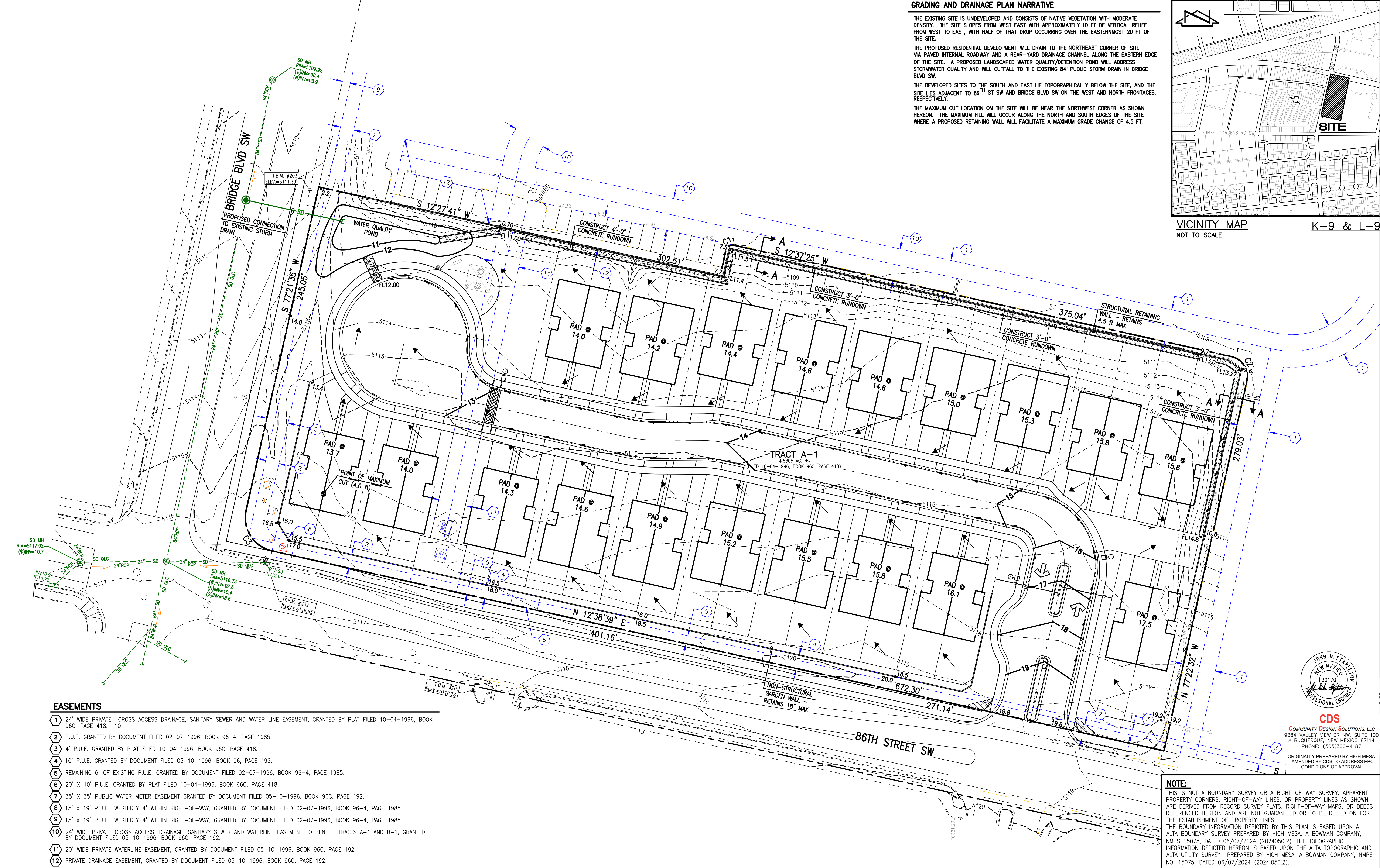
THE DEVELOPED SITES TO THE SOUTH AND EAST LIE TOPOGRAPHICALLY BELOW THE SITE, AND THE SITE LIES ADJACENT TO 86TH ST SW AND BRIDGE BLVD SW ON THE WEST AND NORTH FRONTTAGES, RESPECTIVELY.

THE MAXIMUM CUT LOCATION ON THE SITE WILL BE NEAR THE NORTHWEST CORNER AS SHOWN HEREON. THE MAXIMUM FILL WILL OCCUR ALONG THE NORTH AND SOUTH EDGES OF THE SITE WHERE A PROPOSED RETAINING WALL WILL FACILITATE A MAXIMUM GRADE CHANGE OF 4.5 FT.



VICINITY MAP
NOT TO SCALE

K-9 & L-9



EASEMENTS

- 24' WIDE PRIVATE CROSS ACCESS DRAINAGE, SANITARY SEWER AND WATER LINE EASEMENT, GRANTED BY PLAT FILED 10-04-1996, BOOK 96C, PAGE 418. 10'
- P.U.E. GRANTED BY DOCUMENT FILED 02-07-1996, BOOK 96-4, PAGE 1985.
- 4' P.U.E. GRANTED BY PLAT FILED 10-04-1996, BOOK 96C, PAGE 418.
- 10' P.U.E. GRANTED BY DOCUMENT FILED 05-10-1996, BOOK 96, PAGE 192.
- REMAINING 6' OF EXISTING P.U.E. GRANTED BY DOCUMENT FILED 02-07-1996, BOOK 96-4, PAGE 1985.
- 20' X 10' P.U.E. GRANTED BY PLAT FILED 10-04-1996, BOOK 96C, PAGE 418.
- 35' X 35' PUBLIC WATER METER EASEMENT GRANTED BY DOCUMENT FILED 05-10-1996, BOOK 96C, PAGE 192.
- 15' X 19' P.U.E., WESTERLY 4' WITHIN RIGHT-OF-WAY, GRANTED BY DOCUMENT FILED 02-07-1996, BOOK 96-4, PAGE 1985.
- 15' X 19' P.U.E., WESTERLY 4' WITHIN RIGHT-OF-WAY, GRANTED BY DOCUMENT FILED 02-07-1996, BOOK 96-4, PAGE 1985.
- 24' WIDE PRIVATE CROSS ACCESS, DRAINAGE, SANITARY SEWER AND WATERLINE EASEMENT TO BENEFIT TRACTS A-1 AND B-1, GRANTED BY DOCUMENT FILED 05-10-1996, BOOK 96C, PAGE 192.
- 20' WIDE PRIVATE WATERLINE EASEMENT, GRANTED BY DOCUMENT FILED 05-10-1996, BOOK 96C, PAGE 192.
- PRIVATE DRAINAGE EASEMENT, GRANTED BY DOCUMENT FILED 05-10-1996, BOOK 96C, PAGE 192.

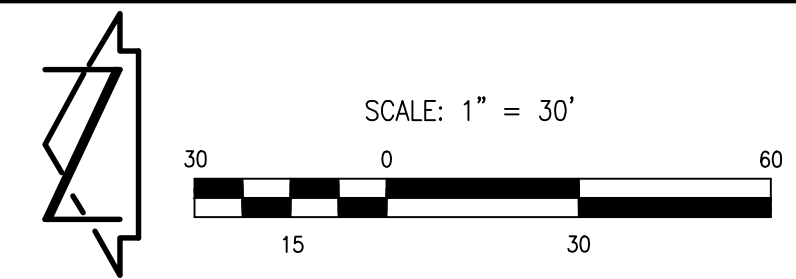
NOTE:

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES.

THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A ALTA BOUNDARY SURVEY PREPARED BY HIGH MESA, A BOWMAN COMPANY, NMPS 15075, DATED 06/07/2024 (2024050.2). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE ALTA TOPOGRAPHIC AND ALTA UTILITY SURVEY PREPARED BY HIGH MESA, A BOWMAN COMPANY, NMPS NO. 15075, DATED 06/07/2024 (2024.050.2).

HIGH MESA a Bowman company

6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com



GRADING AND DRAINAGE PLAN
BRIDGE BLVD AND 86TH STREET SW
ALBUQUERQUE, NM

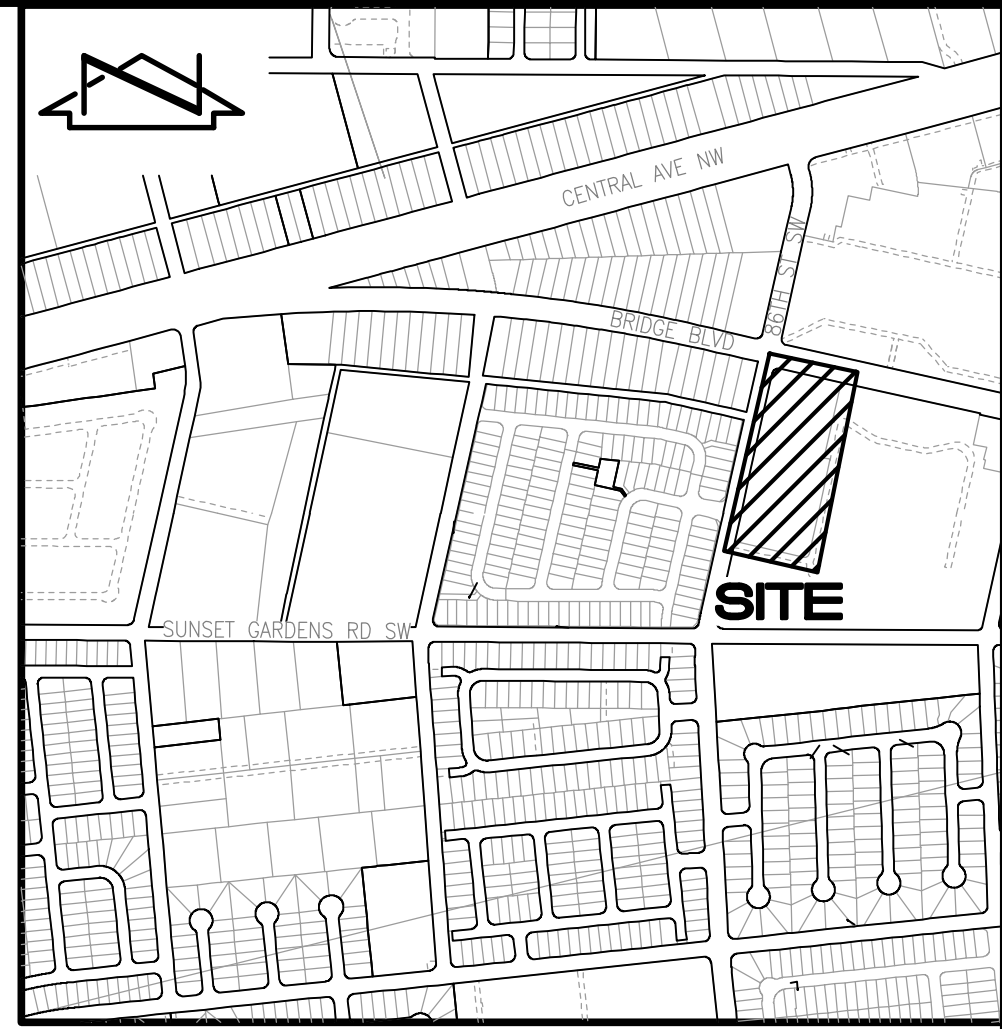
DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2024.050.4
DRAWN BY	J.Y.R.					DATE	08-2024
APPROVED BY	G.M.					SHEET	CG101

DESIGN UTILITY LEGEND:

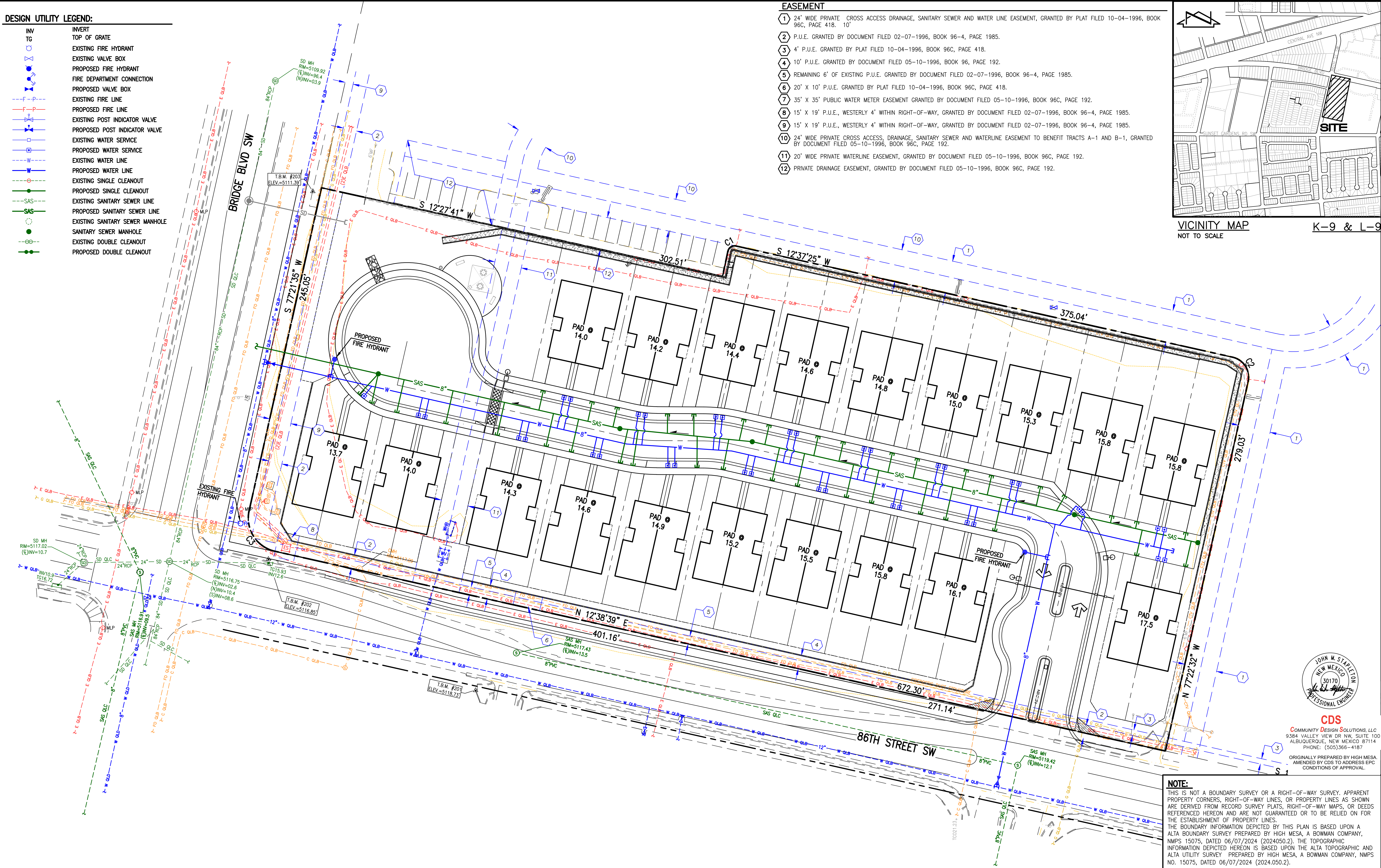
INV	INVERT
TG	TOP OF GRADE
	EXISTING FIRE HYDRANT
	EXISTING VALVE BOX
	PROPOSED FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	PROPOSED VALVE BOX
	EXISTING FIRE LINE
	PROPOSED FIRE LINE
	EXISTING POST INDICATOR VALVE
	PROPOSED POST INDICATOR VALVE
	EXISTING WATER SERVICE
	PROPOSED WATER SERVICE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SINGLE CLEANOUT
	PROPOSED SINGLE CLEANOUT
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE
	SANITARY SEWER MANHOLE
	EXISTING DOUBLE CLEANOUT
	PROPOSED DOUBLE CLEANOUT

EASEMENT

- 24' WIDE PRIVATE CROSS ACCESS DRAINAGE, SANITARY SEWER AND WATER LINE EASEMENT, GRANTED BY PLAT FILED 10-04-1996, BOOK 96C, PAGE 418. 10'
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- 15' X 19' P.U.E., WESTERLY 4' WITHIN RIGHT-OF-WAY, GRANTED BY DOCUMENT FILED 02-07-1996, BOOK 96-4, PAGE 1985.
- 24' WIDE PRIVATE CROSS ACCESS, DRAINAGE, SANITARY SEWER AND WATERLINE EASEMENT TO BENEFIT TRACTS A-1 AND B-1, GRANTED BY DOCUMENT FILED 05-10-1996, BOOK 96C, PAGE 192.
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- PRIVATE DRAINAGE EASEMENT, GRANTED BY DOCUMENT FILED 05-10-1996, BOOK 96C, PAGE 192.

VICINITY MAP
NOT TO SCALE

K-9 & L-9



CDS

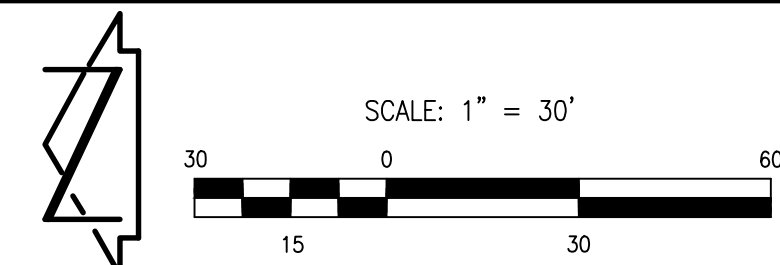
COMMUNITY DESIGN SOLUTIONS, LLC
9384 VALLEY VIEW DR NW, SUITE 100
ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505)366-4187ORIGINALLY PREPARED BY HIGH MESA,
AMENDED BY CDS TO ADDRESS EPC
CONDITIONS OF APPROVAL.

NOTE:

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HIGH MESA a Bowman company

6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.comUTILITY PLAN
BRIDGE BLVD AND 86TH STREET SW
ALBUQUERQUE, NMDESIGNED BY G.M.
DRAWN BY J.Y.R.
APPROVED BY G.M.

NO.	DATE	BY	REVISIONS	JOB NO.
				2024.050.4
				DATE
				08-2024
				SHEET
				CU101



Reviewed by: CM

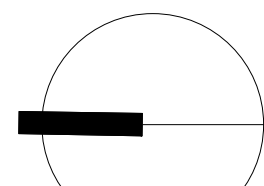
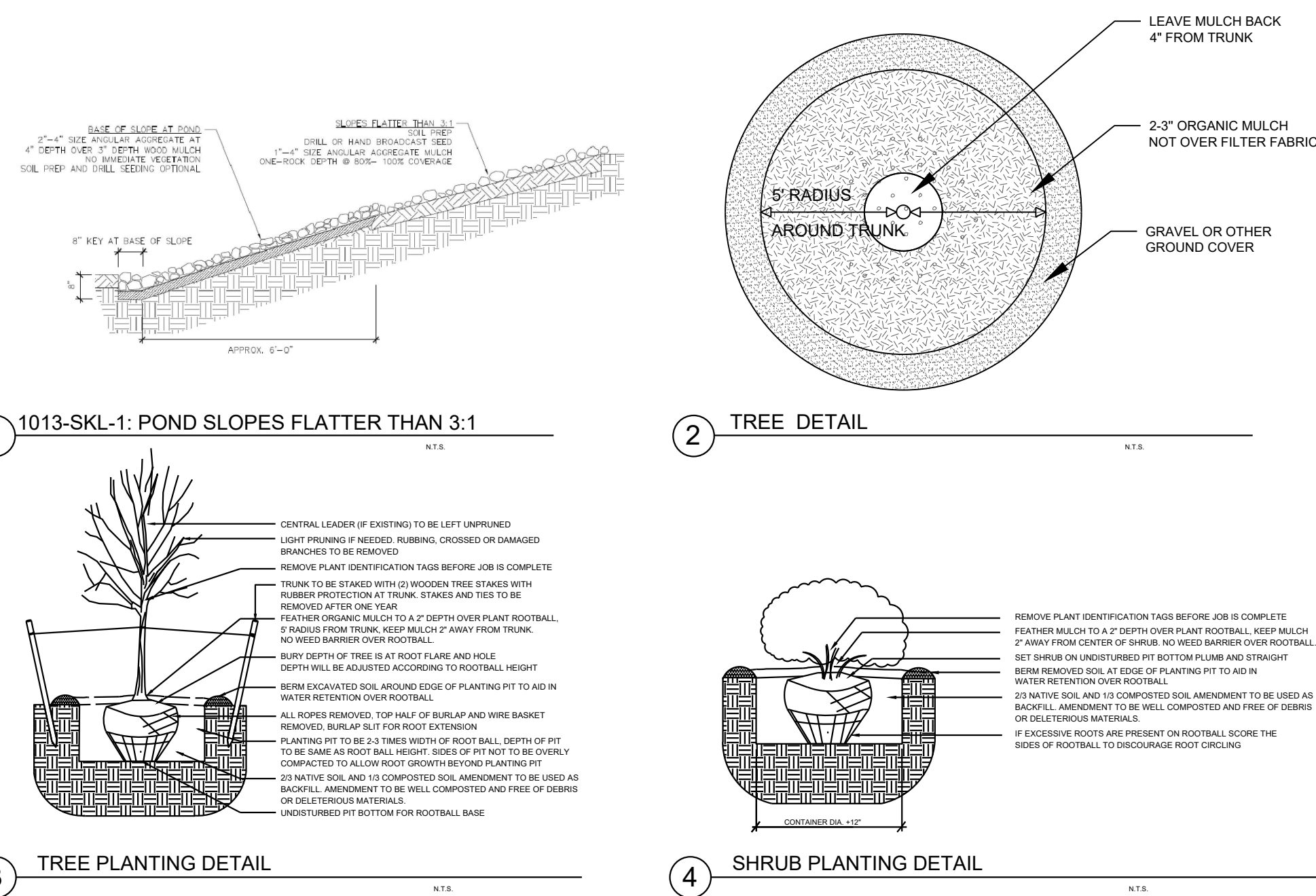
SYMBOL	DESCRIPTION	QTY
	1.5" GRAVEL MULCH 3" DEPTH OVER FILTER FABRIC	
	2"-4" ANGULAR COBBLE 4" DEPTH OVER FILTER FABRIC	
	BLUEGRASS SOD 9% OF LANDSCAPE AREA	
	WOOD MULCH NOT OVER FILTER FABRIC	
	CONCRETE PAVING LIGHT BROOM FINISH	
	BENCH	2
	PICNIC TABLE	2
	TRASH RECEPTACLE	1
	PET WASTE STATION	1

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
<u>DECIDUOUS TREE</u>			
	6	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2" B&B
	3	CERCIS RENIFORMIS 'OKLAHOMA' / OKLAHOMA RED BUD	2" B&B
	3	CHIOPSIS LINEARIS / DESERT WILLOW	25 GAL
	24	FRAXINUS AMERICANA 'URBANITE' / URBANITE AMERICAN ASH	2" B&B
	4	MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE	2" B&B
	2	ULMUS PARVIFOLIA 'ALLEE' / ALLEE® LACEBARK ELM	2" B&B
	6	ULMUS PROPINQUA 'EMERALD SUNSHINE' / EMERALD SUNSHINE ELM	2" B&B
<u>EVERGREEN TREE</u>			
	9	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	15 GAL
	6	PINUS ELДАРICA / AFGHAN PINE	6"
<u>DESERT ACCENT</u>			
	34	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL
	17	NOLINA MICROCARPA / BEARGRASS	5 GAL
<u>DECIDUOUS SHRUBS</u>			
	20	AMORPHA CANESCENS / LEADPLANT	5 GAL
	29	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL
	4	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL
	4	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	5 GAL
	15	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL
<u>EVERGREEN SHRUBS</u>			
	23	ARTEMISIA FILIFOLIA / SAND SAGEBRUSH	5 GAL

13. ALL PLANTS CHOSEN ARE PART OF THE ABQ PLANT PALETTE LIST..

14. POLLEN CONTROL, WATER CONSERVATION AND STREET TREES:
PURSUANT TO IDO 5-6 (C)(4)(G) ALL VEGETATION SHALL COMPLY WITH
ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL,
WATER CONSERVATION, LANDSCAPING AND WATER WASTE, AND STREET
TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY
WATER AUTHORITY (ABCUWA) LEGISLATION AND ORDINANCES (WATER
WASTE WASTE REDUCTION ORDINANCE) AS APPLICABLE."

1. ALL PLANTS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY BUBBLER IRRIGATION SYSTEM PER COA SPEC. ALL PLANTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE ZONED SEPARATELY FROM THE PLANTS WITHIN THE PROPERTY LINE.
2. ALL PLANTS WITHIN THE PROPERTY LINE, NOT IN THE PUBLIC RIGHT-OF-WAY, SHALL BE IRRIGATED WITH A DRIP IRRIGATION SYSTEM CONSISTING OF A REDUCED PRESSURE BACKFLOW PREVENTION DEVICE, MASTER VALVE, CONTROL VALVES, LOW FLOW POINT-SOURCE DRIP EMITTERS ON 3/4" POLY DRIP TUBING WITH FLUSH CAPS.
3. ALL SOD AREAS TO BE IRRIGATED WITH CONTROL VALVES, PVC LATERAL AND AIR PRESSURE COMPENSATING HEADS.
4. ALL IRRIGATION SHALL BE PERMANENT AND SHALL BE CONTROLLED BY AN AUTOMATIC IRRIGATION CONTROLLER.
5. PER 5.6(C)(14)(a), IRRIGATION SYSTEMS SHALL COMPLY WITH SECTION 8 OF THE ABCVUWA LEGISLATION AND ORDINANCES (CROSS CONNECTION PREVENTION AND CONTROL PERFORMANCE).
6. PER 5.6(C)(14)(b), ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
7. PER 5.6(C)(14)(c), ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING.
8. PER 5.6(C)(14)(d), THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVE AISLES, STREETS, AND PARKING AND LOADING AREAS.



Scale: 1" = 30'



Landscqape Plan

LP-01