



## PLAN SNAPSHOT REPORT MAJOR\_PLT-2025-00006 FOR CITY OF ALBUQUERQUE

**Plan Type:** Preliminary Plat Applications **Project:** PR-2020-004098 (PR-2020-004098) **App Date:** 04/25/2025  
**Work Class:** Major Preliminary Plat **District:** City of Albuquerque **Exp Date:** NOT AVAILABLE  
**Status:** In Review **Square Feet:** 0.00 **Completed:** NOT COMPLETED  
**Valuation:** \$0.00 **Assigned To:** **Approval**  
**Expire Date:**  
**Description:** 38-lot residential duplex subdivision at the southeast corner of 86th St SW and Bridge Blvd SW, Albuquerque, NM.

<b>Parcel:</b> 100905645249810404	Main	<b>Address:</b> 99999 Bridge Blvd Sw Albuquerque, NM 87121	Main	<b>Zone:</b>
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<b>Applicant</b> Renee Regal 9384 Valley View Drive NW Suite 100 Suite 100 Albuquerque, NM 87114 Business: (505) 366-4187 Mobile: (717) 443-3717	<b>Engineer</b> John Stapleton 9384 Valley View Dr NW Albuquerque, NM 87114 Business: (505) 545-9607	<b>Owner</b> Michael Hare Home: (602) 418-4155 Business: (602) 418-4155 Mobile: (602) 418-4155	<b>Owner</b> Nicholas N Blincoe
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### Plan Custom Fields

Existing Project Number	PR-2020-004098	Existing Zoning	PD - Planned Development	Number of Existing Lots	1
Number of Proposed Lots	38	Total Area of Site in Acres	4.5307	Site Address/Street	99999 Bridge Boulevard SW
Site Location Located Between Streets	86th Street SW and 82nd Street SW	Case History	DFT: SI-2024-01284	Do you request an interpreter for the hearing?	No
Total Number of Dwelling Units	38				

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Renee_Regal_4/25/2025.jpg	04/25/2025 8:34	Regal, Renee		Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00018787	Major Preliminary Plat Fee	\$815.00	\$815.00
	Proposed Lot Fee	\$760.00	\$760.00
	Technology Fee	\$120.40	\$120.40
	Published Notice Fee - Legal Ad	\$75.00	\$75.00
	Facilitated Meeting Fee for Public Hearing Cases	\$50.00	\$50.00
	Posted Sign Fee	\$20.00	\$20.00
	<b>Total for Invoice INV-00018787</b>	<b>\$1,840.40</b>	<b>\$1,840.40</b>
NOT INVOICED	Intersection Fee	\$0.00	\$0.00
	<b>Total for Invoice NOT INVOICED</b>	<b>\$0.00</b>	<b>\$0.00</b>
	<b>Grand Total for Plan</b>	<b>\$1,840.40</b>	<b>\$1,840.40</b>

Hearing Type	Location	Scheduled Date	Status	Subject
DHO Hearing v.1	Zoom	05/21/2025	Scheduled	DHO

Workflow Step / Action Name	Action Type	Start Date	End Date
<b>Application Screening v.1</b>		04/28/2025 11:39	04/30/2025 10:08
Associate Project Number v.1	Generic Action		04/28/2025 11:39
Screen for Completeness v.1	Generic Action		04/30/2025 9:20
Verify Payment v.1	Generic Action		04/30/2025 10:07
Sign Posting v.1	Generic Action		04/30/2025 10:08
<b>Application Review v.1</b>		04/30/2025 10:08	
Create and Email Advertisement v.1	Generic Action		04/30/2025 10:08

## PLAN SNAPSHOT REPORT (MAJOR\_PLT-2025-00006)

<a href="#">DHO Hearing v.1</a>	Hold Hearing	04/30/2025 10:08
Major Preliminary Plat Review v.1	Receive Submittal	
DFT Comments Submittal v.1	Generic Action	
<b>Notice of Decision v.1</b>		
Upload Notice of Decision v.1	Generic Action	
Confirm AGIS Approval and Upload v.1	Generic Action	
<b>Conditions of Approval v.1</b>		
Add in Conditions of Approval v.1	Generic Action	
<b>Signature v.1</b>		
Confirm Latest PLAT Uploaded v.1	Generic Action	
Confirm Latest Infrastructure List Uploaded v.1	Generic Action	
Confirm Conditions Satisfied v.1	Generic Action	
Confirm Recorded IIA Uploaded v.1	Generic Action	
Signature Review for Plats v.1	Receive Submittal	
Confirm Recorded Plat is Uploaded v.1	Generic Action	
<b>Linked Applications v.1</b>		
Linked Major Final Plat v.1	Create Plan Case	

**Please refer to the DHO public meeting schedule for meeting dates and deadlines. Your attendance is required.**

**Legal/Request Descriptions & Location:**

TR A-1 CORRECTION PLAT FOR BRIDGEPOINT SUBD COMPRISED OF TRA & B BRIDGEPOINT SUBD & ALL LTS 23-29 TOGETHER WITH  
REMAINDER OF EXISTING 20' ALLEY R/W ORIG TOWNSITE OF WESTLAND CONT  
(Location: Southeast corner of 86th St SW and Bridge Blvd SW)

☐ **Hydrology:**

• Sensitive Lands Analysis (5-2(C))	_____ Approved	_____ X	_____ NA
• Grading and Drainage Plan	_____ X	_____ Approved	_____ NA
• AMAFCA	_____ Approved	_____ X	_____ NA
• Bernalillo County	_____ Approved	_____ X	_____ NA
• NMDOT	_____ Approved	_____ X	_____ NA
• MRGCD	_____ Approved	_____ X	_____ NA

  
Hydrology Department

4/1/2025  
Date

☐ **Transportation:**

• Traffic Circulations Layout (TCL)	_____ Approved	_____ NA
• Traffic Impact Study (TIS)	_____ Approved	_____ NA
• Neighborhood Impact Analysis (NIA)	_____ Approved	_____ NA
• Bernalillo County	_____ Approved	_____ NA
• NMDOT	_____ Approved	_____ NA

\_\_\_\_\_  
Transportation Department

\_\_\_\_\_  
Date

☐ **Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

• Availability Statement:	_____ Approved	_____ NA
• Development Agreement:	_____ Approved	_____ NA
• If None Explain: _____		

\_\_\_\_\_  
ABCWUA

\_\_\_\_\_  
Date

☐ Infrastructure Improvements Agreement (IIA\*) \_\_\_\_\_ Approved

☐ AGIS (DXF File\*\*) \_\_\_\_\_ Approved

☐ **Signatures on Plat:**

• Owner(s)	_____ Yes	
• City Surveyor	_____ Yes	
• AMAFCA***	_____ Yes	_____ NA
• NM Gas***	_____ Yes	
• PNM ***	_____ Yes	
• COMCAST***	_____ Yes	
• MRGCD***	_____ Yes	_____ NA

\* Prior to **Final Plat** submittals (include a copy of the recorded IIA)

\*\* DXF file required for **Preliminary/Final Plat** and **Final Plat** approval submittals and not required for **Preliminary Plat** application

\*\*\* Signatures required for **Preliminary/Final Plat** and **Final Plat** applications and not required for **Preliminary Plat** application

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(Location: Southeast corner of 86th St SW and Bridge Blvd SW)

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• Grading and Drainage Plan	_____ Approved	_____ NA
• AMAFCA	_____ Approved	_____ NA
• Bernalillo County	_____ Approved	_____ NA
• NMDOT	_____ Approved	_____ NA
• MRGCD	_____ Approved	_____ NA

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

☐ **Transportation:**

• Traffic Circulations Layout (TCL)	<u>X</u> _____ Approved	_____ NA
• Traffic Impact Study (TIS)	_____ Approved	<u>X</u> _____ NA
• Neighborhood Impact Analysis (NIA)	_____ Approved	<u>X</u> _____ NA
• Bernalillo County	_____ Approved	<u>X</u> _____ NA
• NMDOT	_____ Approved	<u>X</u> _____ NA

Ernest Armijo  
\_\_\_\_\_  
Transportation Department

4/1/2025  
\_\_\_\_\_  
Date

☐ **Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

• Availability Statement:	_____ Approved	_____ NA
• Development Agreement:	_____ Approved	_____ NA
• If None Explain: _____		

\_\_\_\_\_  
ABCWUA

\_\_\_\_\_  
Date

☐ Infrastructure Improvements Agreement (IIA\*) \_\_\_\_\_ Approved

☐ AGIS (DXF File\*\*) \_\_\_\_\_ Approved

☐ **Signatures on Plat:**

• Owner(s)	_____ Yes	
• City Surveyor	_____ Yes	
• AMAFCA***	_____ Yes	_____ NA
• NM Gas***	_____ Yes	
• PNM ***	_____ Yes	
• COMCAST***	_____ Yes	
• MRGCD***	_____ Yes	_____ NA

\* Prior to **Final Plat** submittals (include a copy of the recorded IIA)

\*\* DXF file required for **Preliminary/Final Plat** and **Final Plat** approval submittals and not required for **Preliminary Plat** application

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REMAINDER OF EXISTING 20' ALLEY R/W ORIG TOWNSITE OF WESTLAND CONT  
(Location: Southeast corner of 86th St SW and Bridge Blvd SW)

☐ **Hydrology:**

• Sensitive Lands Analysis (5-2(C))	_____ Approved	_____ NA
• Grading and Drainage Plan	_____ Approved	_____ NA
• AMAFCA	_____ Approved	_____ NA
• Bernalillo County	_____ Approved	_____ NA
• NMDOT	_____ Approved	_____ NA
• MRGCD	_____ Approved	_____ NA

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

☐ **Transportation:**


• Traffic Circulations Layout (TCL)	_____ Approved	_____ NA
• Traffic Impact Study (TIS)	_____ Approved	_____ NA
• Neighborhood Impact Analysis (NIA)	_____ Approved	_____ NA
• Bernalillo County	_____ Approved	_____ NA
• NMDOT	_____ Approved	_____ NA

\_\_\_\_\_  
Transportation Department

\_\_\_\_\_  
Date

☒ **Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

• Availability Statement:	<u>  x  </u> Approved	_____ NA
• Development Agreement:	_____ Approved	<u>  x  </u> NA
• If None Explain: 240408	_____	

  
ABCWUA

4/14/2025

\_\_\_\_\_  
Date

<input checked="" type="checkbox"/> Infrastructure Improvements Agreement (IIA*)	_____ Approved
<input type="checkbox"/> AGIS (DXF File**)	_____ Approved

☐ **Signatures on Plat:**

• Owner(s)	<u>  x  </u> Yes	
• City Surveyor	<u>  x  </u> Yes	
• AMAFCA***	_____ Yes	_____ NA
• NM Gas***	_____ Yes	
• PNM ***	_____ Yes	
• COMCAST***	_____ Yes	
• MRGCD***	_____ Yes	_____ NA

\* Prior to **Final Plat** submittals (include a copy of the recorded IIA)

\*\* DXF file required for **Preliminary/Final Plat** and **Final Plat** approval submittals and not required for **Preliminary Plat** application

\*\*\* Signatures required for **Preliminary/Final Plat** and **Final Plat** applications and not required for **Preliminary Plat** application

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: April 16, 2025  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DFT Project No.: PR-2020-004098  
DFT Application No.: SI-2024-01284

**INFRASTRUCTURE LIST**  
(Rev. 2-16-18)  
**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT HEARING OFFICER (DHO) REQUIRED INFRASTRUCTURE LIST**

**335 WOODWARD**  
**PROPOSED NAME OF PLAT**

**Lots 17, 18, 19, 20 & 21, Block A, SOUTH BROADWAY ACRES, and Tracts 64-A-1-B & 64-A-1-A-4 M.R.G.C.D. Map No. 44, Section 32, T.10N., R.3E., N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		<u>Roadway</u>							
		half street section	Collector paving, curb and gutter, streetlights & 6' wide sidewalk	East half of 86th Street SW	South end of Frontage	North end of Frontage	/	/	/
		half street section	6' wide sidewalk, streetlights, & collector paving for a 6' wide bike lane	South half of Bridge Blvd SW	West end of Frontage	East end of Frontage	/	/	/
		20'	20' wide Base course emergency vehicle access	Bridge Blvd SW	210 LF south of the NW property corner		/	/	/
		<u>Sewer</u>							
		8"	700 LF of 8" sanitary sewer main including manholes	Internal to public water and sewer easement	South end of Property	North end of Property	/	/	/
		8"	900 LF of 8" sanitary sewer main including manholes	Bridge Blvd	180' east of the intersection of 86th St and Bridge Blvd	Intersection of 82nd St and Bridge Blvd	/	/	/
		8"	200 LF of 8" sanitary sewer main including manholes	82nd Street	Intersection of 82nd St and Bridge Blvd	180' south of the intersection of 82nd St and Bridge Blvd			
		<u>Water</u>							
		8"	900 LF of 8" water main, including fittings, restraints, hydrants, and appurtenances	Internal to public water and sewer easement	North end of Property	South end of Property	/	/	/
		8"	200 LF of 8" water main, including fittings, restraints, hydrants, and appurtenances	Internal to public water and sewer easement	Site Entrance on Bridge Blvd	150LF into the Property	/	/	/

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 The onsite roads and detention pond are privately owned and maintained by the HOA.
- 2
- 3

AGENT / OWNER

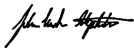
DEVELOPMENT FACILITATION TEAM APPROVALS

John Stapleton, PE

NAME (print)

Community Design Solutions

FIRM



SIGNATURE - date

PLANNING - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

## Renee Regal

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**From:** Flores, Suzanna A. <Suzannaflores@cabq.gov>  
**Sent:** Wednesday, April 23, 2025 9:34 AM  
**To:** Renee Regal  
**Subject:** 86th Street and Bridge Boulevard SW\_Public Notice Inquiry Sheet Submission  
**Attachments:** Zone Atlas Pages.pdf

Dear Applicant:

As of April 23, 2025 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

*Suzie*



**Suzie Flores**

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

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**From:** webmaster@cabq.gov <webmaster@cabq.gov>  
**Sent:** Tuesday, April 22, 2025 4:09 PM  
**To:** Office of Neighborhood Coordination <renee.regal@cdsnm.com>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Public Notice Inquiry Sheet Submission

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:

Development Hearing Officer

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Renee Regal

Telephone Number

7174433717

Email Address

[renee.regal@cdsnm.com](mailto:renee.regal@cdsnm.com)

Company Name

Community Design Solutions

Company Address

9384 Valley View Drive NW

City

Albuquerque

State

NM

ZIP

87114

Legal description of the subject site for this project:

UPC: 100905645249810404

TR A-1 CORRECTION PLAT FOR BRIDGEPOINT SUBD COMPRISED OF TRA & B BRIDGEPOINT SUBD & ALL  
LTS 23-29 TOGETHER WITH REMAINDER OF EXISTING 20' ALLEY R/W ORIG TOWNSITE OF WESTLAND  
CONT

Acres: 4.54

Tax Year: 2024

Physical address of subject site:

86th Street and Bridge Boulevard SW, ALBUQUERQUE NM 87121

Subject site cross streets:

Bridge Blvd SW and 86th St SW

Other subject site identifiers:

This site is located on the following zone atlas page:

K-09-Z, L-09-Z

Captcha

x

# Community *Design* Solutions

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April 24, 2025

Dear Property Owner:

## NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Development Hearing Officer (DHO) will hold a Public Hearing on **Wednesday, May 21, 2025, at 9:00 AM** for the request below. The DHO hearing will be held via Zoom. To access the hearing online use the following link and select the May 21<sup>st</sup> hearing date:

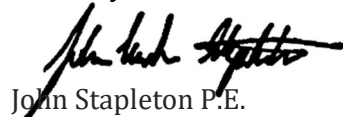
<https://www.cabq.gov/planning/boards-commissions/development-hearing-officer/development-hearing-officer-agendas-archives>

## REQUEST

Community Design Solutions, LLC (CDS), Agents for Landmark Land LTD CO., is submitting an application for a Preliminary Subdivision Plat for a single-family residential development. The property is known as the Bridgeport Subdivision, TR A-1 and TR A and B. It is located at the southeast corner of 86th St SW and Bridge Blvd SW, Albuquerque, NM (see enclosed Zone Atlas pages K-09-Z and L-09-Z). Included in this mailing is an exhibit showing the Preliminary Subdivision Plat and Sketch Plat.

If you have any questions or would like more information, contact John Stapleton at (505) 545-9607 or email at [john.stapleton@cdsnms.com](mailto:john.stapleton@cdsnms.com). You can also check the Development Hearing Officer website for information <https://www.cabq.gov/planning/boards-commissions/development-hearing-officer>.

Sincerely,



John Stapleton P.E.

CDS | Project Manager

Attached: Required Neighborhood Notification Packet.

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

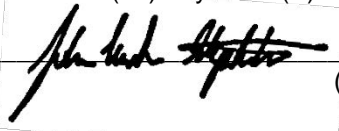
#### 4. TIME

Signs must be posted from May 5, 2025 To May 21, 2025

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

04/24/2025  
\_\_\_\_\_  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART I - PROCESS**

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Preliminary Plat

Decision-making Body: DHO

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☐ Yes ☒ No

Mailed Notice required: ☒ Yes ☐ No

Electronic Mail required: ☐ Yes ☒ No

Is this a Site Plan Application: ☐ Yes ☒ No **Note: if yes, see second page**

**PART II – DETAILS OF REQUEST**

Address of property listed in application: 99999 Bridge Boulevard SW, Albuquerque, NM 87121

Name of property owner: Landmark Land LTD CO

Name of applicant: Community Design Solutions, LLC (Agent)

Date, time, and place of public meeting or hearing, if applicable:

May 21, 2025 / City of Albuquerque / DHO Hearing

Address, phone number, or website for additional information:

Please contact John Stapleton at (505) 545-9607 or [john.stapleton@cdsnm.com](mailto:john.stapleton@cdsnm.com)

**PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE**

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

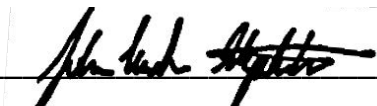
☐ Summary of pre-submittal neighborhood meeting, if applicable.

☒ Summary of request, including explanations of deviations, variances, or waivers.

**IMPORTANT:**

**PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [IDO §14-16-6-4\(K\)](#).  
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON  
APPLICATION.**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) 4/24/25 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.



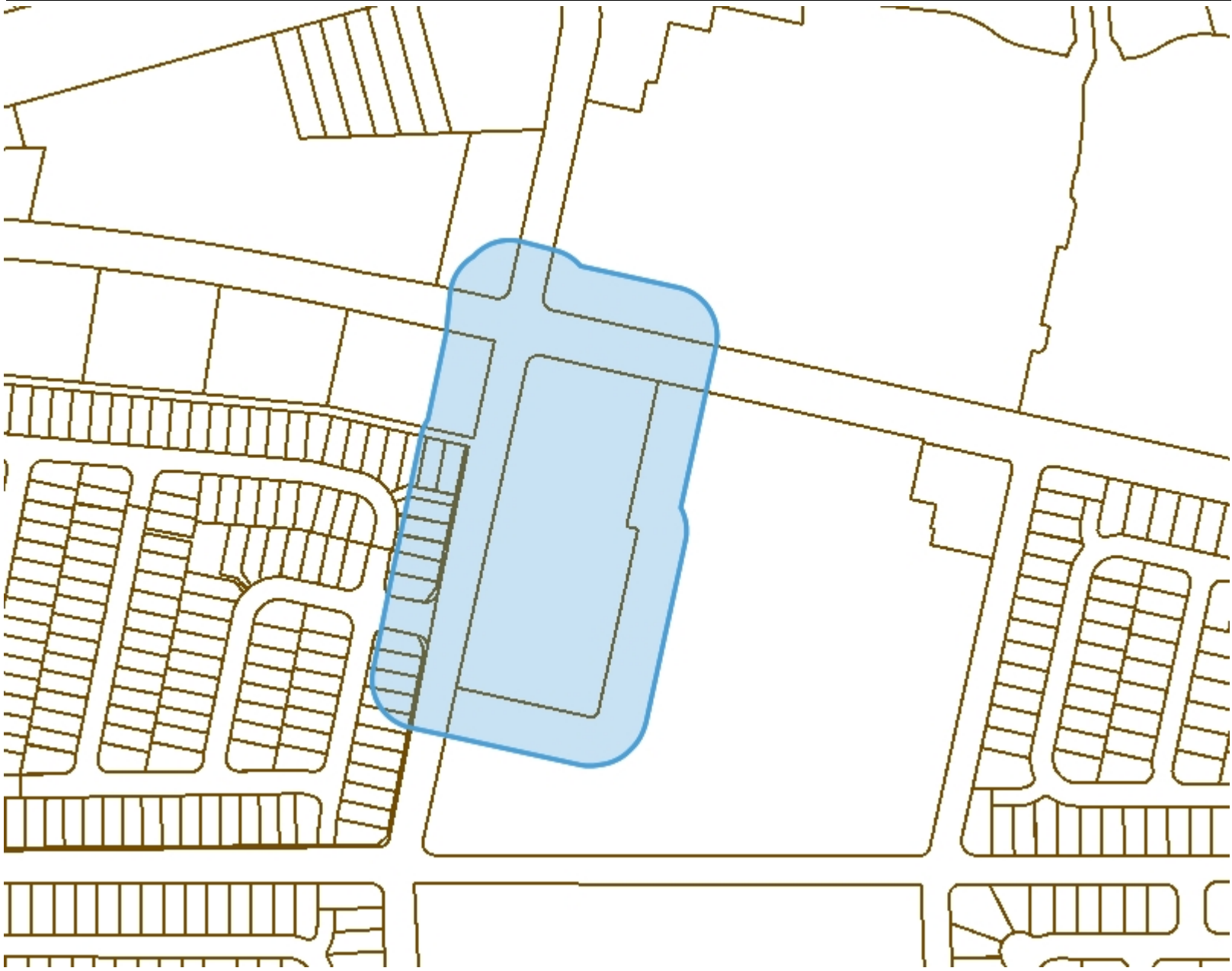


# TR A-1 Correction Plat For Bridgepoint Subd



## Legend

■ Bernalillo County Parcels



## Notes

Buffer: 100 Ft.  
ROW: 86th ST SW; Bridge Blvd SW

598 0 299 598 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
4/23/2025 © City of Albuquerque

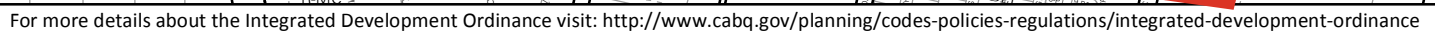
1: 3,587

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Bridge and 86Th

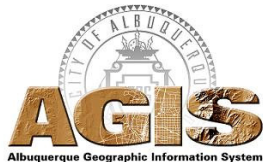
UPC	Owner	Owner Address	Owner Address 2	Deeded Assessed Acrea	Calculated GIS Acres
100905650348610405	8200 BRIDGE BOULEVARD SW LLC	65 N CATALINA AVE	PASADENA CA 91106-2301	16.48	16.47423925
100905643947210302	AGUINAGA MARIA & LUNA MARISA	8601 VIA DEL ORO SW	ALBUQUERQUE NM 87121-9334	0.1028	0.10280009
101005700505030316	ARMSTRONG CENTRAL UNSER BLVD LLC	1 ARMSTRONG PL	BUTLER PA 16001	16.2112	16.22037927
100905644148110304	ARRIAGA AURORA	8609 VIA DEL ORO SW	ALBUQUERQUE NM 87121	0.096	0.0856083
100905644749710309	BLANDO JOAQUIN TREJO & ROMERO CLAUDIA ARRATIA	8701 VIA DEL ORO SW	ALBUQUERQUE NM 87121-9337	0.104	0.09876757
100905743101240336	DOLGENCORP LLC	100 MISSION RIDGE	GOODLETTSVILLE TN 37072-2171	1.1199	1.13952758
100905644248910307	ESQUIBEL CHRISTINE M	93 JOE NESTOR RD	EDGEWOOD NM 87015	0.107	0.09737372
100905644047710303	GALLEGOS FRANK E	8605 VIA DEL ORO SW	ALBUQUERQUE NM 87121	0.0964	0.1058098
100905643949810311	GUTIERREZ IRENE K	405 HALE CIR SW	ALBUQUERQUE NM 87105-0307	0.101	0.09815889
100905643544911109	JIM MARLA & MATTHEW	316 CALLE AMARILLO SW	ALBUQUERQUE NM 87121-9300	0.0964	0.09379164
100905645249810404	LANDMARK LAND LTD CO	4902 ALAMEDA BLVD NE	ALBUQUERQUE NM 87113-1736	4.54	4.53366875
100905644148510306	MAESTAS JESSICA C & LARRY A	8615 VIA DEL ORO SW	ALBUQUERQUE NM 87121	0.097	0.09568358
100905643746111112	MARKS DENISE	300 CALLE AMARILLO SW	ALBUQUERQUE NM 87121-9300	0.099	0.09579427
100905643645311110	MARTINEZ EUGENE M	308 CALLE AMARILLO SW	ALBUQUERQUE NM 87121-9300	0.0964	0.09457305
100905643444611108	RIVERA AYANIRA	320 CALLE AMARILLO SW	ALBUQUERQUE NM 87121-9300	0.0964	0.09677819
100905741800540105	ROMERO DENNIS M	3500 VISTA GRANDE DR NW	ALBUQUERQUE NM 87120	1.4206	1.42061028
100905643745711111	SMITH CHRISTOPHER EDWARD & REESE-SMITH GERRI LYNN	304 CALLE AMARILLO SW	ALBUQUERQUE NM 87121-9300	0.0964	0.09743108
100905644349710310	STEPHENS KEVIN L & PATTY T R	8705 VIA DEL ORO SW	ALBUQUERQUE NM 87121-9337	0.097	0.09459331
100905644547110301	VALLE DEL CANTO HOMEOWNER ASSOC C/O CAROL PICKERT & ASSC	4121 EUBANK BLVD NE	ALBUQUERQUE NM 87111-3421	0.0136	0.01517341
100905643442111101	VALLE DEL CANTO HOMEOWNERS ASSOC C/O CAROL PICKERT & ASS	4121 EUBANK BLVD NE	ALBUQUERQUE NM 87111-3421	0.1471	0.1412936
100905644849110336	VALLE DEL CANTO HOMEOWNERS ASSOC C/O CAROL PICKERT & ASS	4121 EUBANK BLVD NE	ALBUQUERQUE NM 87111-3421	0.034	0.0341211
100905644249210308	VALLE DEL CANTO HOMEOWNERS ASSOC C/O CAROL PICKERT & ASS	4121 EUBANK BLVD NE	ALBUQUERQUE NM 87111-3421	0.067	0.06610166
100905638348510305	VALLE DEL CANTO HOMEOWNERS ASSOC C/O CAROL PICKERT & ASS	4121 EUBANK BLVD NE	ALBUQUERQUE NM 87111-3421	2.68	2.72962415



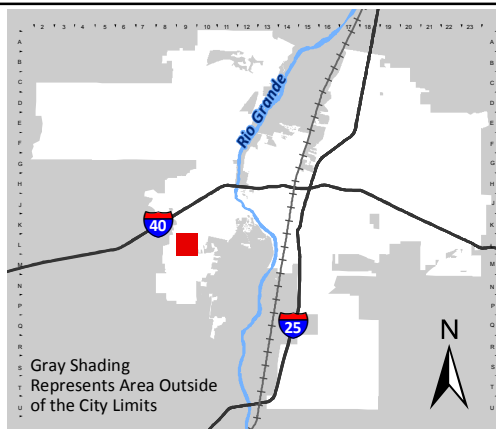


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



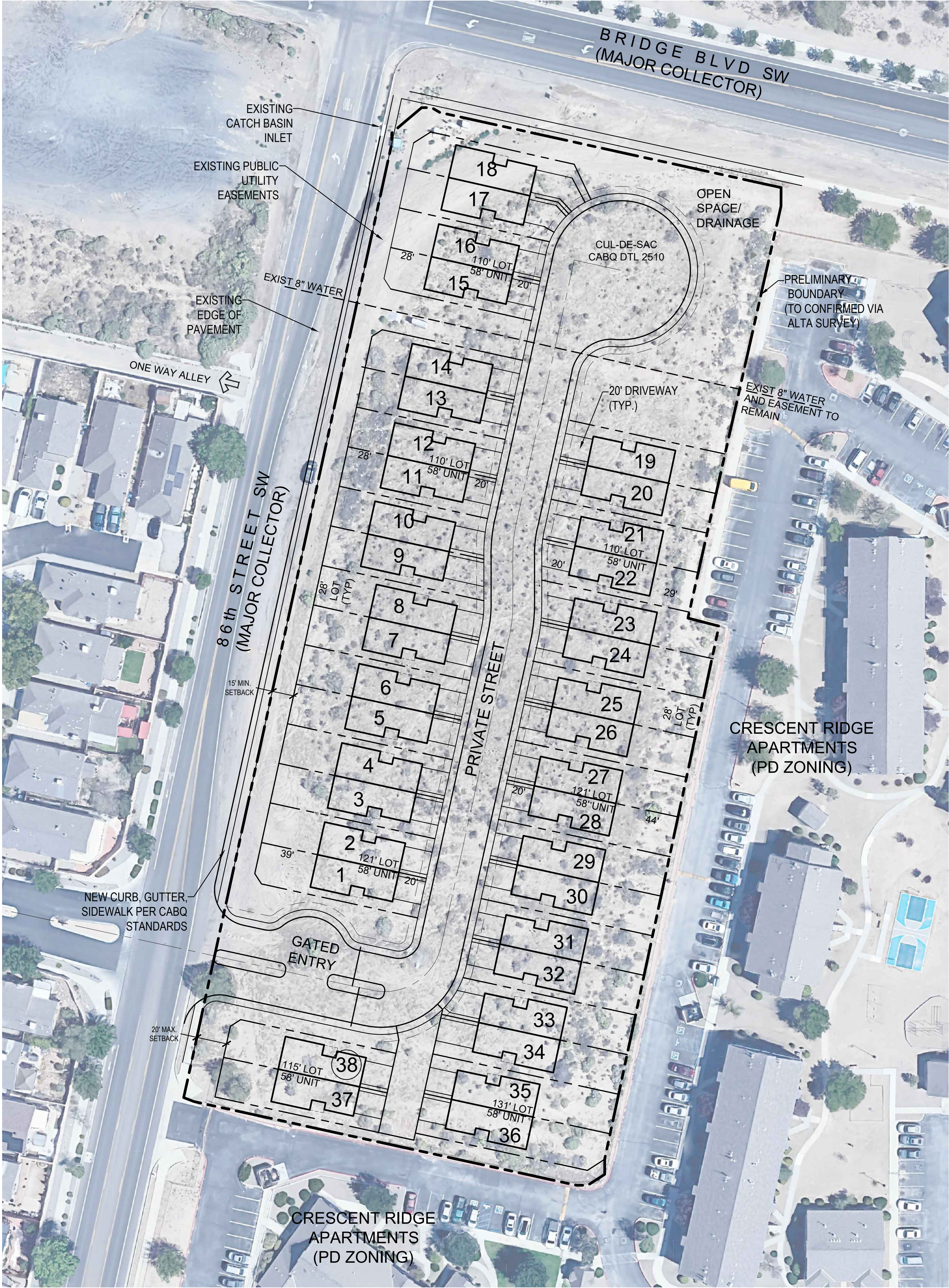
IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**L-09-Z**

- Easement
  - Escarpment
  - Petroglyph National Monument
  - Areas Outside of City Limits
  - Airport Protection Overlay (APO) Zone
  - Character Protection Overlay (CPO) Zone
  - Historic Protection Overlay (HPO) Zone
  - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet





# SKETCH PLAT

TRACT A-1 AS THE SAME IS SHOWN AND DESIGNATED ON THE CORRECTION PLAT FOR BRIDGEPOINT SUBDIVISION FILED OCTOBER 4, 1996, VOLUME 96C, FOLIO 418 RECORDS OF BENALILLO COUNTY, NEW MEXICO.

### CONCEPTUAL PLAN DATA

TOTAL AREA:	4.52 ac
EXISTING ZONING:	PD
TOTAL LOTS:	38
GROSS DENSITY:	8.44 du/ac

### SITE PLAN



Plan is conceptual and subject to change.  
Requires Engineering and City approvals.






# PRELIMINARY PLAT ELEVATE ON BRIDGE

BEING A REPLAT OF TRACT A-1, BRIDGEPOINT SUBDIVISION

SITUATE WITHIN  
SECTIONS 21 & 28, T.10N, R.2E, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2025

## NOTES:

1. PLEASE SEE SHEET 3 FOR:

- A)  PUBLIC WATER EASEMENTS GRANTED BY THIS PLAT
- B)  PUBLIC WATER & PUBLIC SEWER EASEMENT GRANTED BY THIS PLAT
2.  VACATED PORTION OF 10' P.U.E.

## LINE TABLE

NUM	BEARING	DISTANCE
L1	S77°21'26"E	15.00'
L2	S77°21'26"E	15.00'
L3	S77°21'26"E	25.00'
L4	N12°38'34"E	2.71'
L5	N46°07'45"E	4.86'
L6	N46°07'45"E	2.88'
L7	N46°07'45"E	1.98'
L8	N12°38'34"E	20.83'
L9	N12°38'34"E	5.64'
L10	N 5°38'42"E	45.29'
L11	N 5°38'42"E	23.12'
L12	N 5°38'42"E	22.17'
L13	N12°38'34"E	12.67'
L14	N12°38'34"E	20.23'
L15	S12°38'34"W	23.90'
L16	S12°38'34"W	20.00'
L17	N12°38'34"E	8.39'
L18	N 5°38'42"E	45.29'
L19	S 5°38'42"W	20.35'
L20	S 5°38'42"W	24.94'
L21	S12°38'34"W	9.92'
L22	N77°21'26"W	17.23'
L23	N12°38'34"E	17.11'
L24	S12°38'34"W	27.99'
L25	N12°38'34"E	41.89'
L26	S31°03'01"E	36.30'
L27	S12°38'19"W	9.50'
L28	S77°21'41"E	16.51'
L29	S12°38'34"W	27.02'
L30	S50°17'51"E	11.94'
L31	S12°38'34"W	20.48'
L32	S77°21'13"E	17.42'
L33	N12°38'47"E	7.50'
L34	N12°38'47"E	7.50'
L35	S77°21'13"E	17.41'
L36	S12°38'34"W	20.62'
L37	S12°38'34"W	12.81'

## EASEMENT TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	90°53'40"	7.93'	5.00'	N32°19'15"W	7.13'
C2	89°44'19"	23.49'	15.00'	N57°44'12"E	21.16'
C3	19°09'00"	20.26'	60.63'	N31°51'29"E	20.17'
C4	23°50'46"	4.16'	10.00'	S34°12'22"W	4.13'
C5	33°29'11"	5.84'	10.00'	N29°23'10"E	5.76'
C6	6°59'52"	27.48'	225.00'	N 9°08'38"E	27.46'
C7	5°42'12"	22.40'	225.00'	N 9°47'28"E	22.39'
C8	1°17'40"	5.08'	225.00'	N 6°17'32"E	5.08'
C9	6°59'52"	21.37'	175.00'	S 9°08'38"W	21.36'
C10	1°58'21"	6.03'	175.00'	S 6°37'53"W	6.02'
C11	5°01'30"	15.35'	175.00'	S10°07'49"W	15.34'
C12	83°23'20"	25.29'	17.38'	S54°20'14"W	23.11'
C13	171°39'36"	175.64'	58.63'	N 1°51'42"E	116.94'
C14	46°48'32"	47.89'	58.63'	S36°02'50"W	46.57'
C15	0°30'07"	0.51'	58.63'	S59°12'02"W	0.51'
C16	19°14'50"	19.69'	58.63'	S49°19'34"W	19.60'
C17	23°02'58"	23.58'	58.63'	S28°10'40"W	23.43'
C18	4°00'36"	4.10'	58.63'	S14°38'52"W	4.10'
C19	6°59'52"	27.48'	225.00'	S 9°08'38"W	27.46'
C20	5°00'02"	19.64'	225.00'	S10°08'33"W	19.63'
C21	1°59'50"	7.84'	225.00'	S 6°38'37"W	7.84'
C22	6°59'52"	21.37'	175.00'	N 9°08'38"E	21.36'
C23	1°04'08"	3.27'	175.00'	N 6°10'46"E	3.27'
C24	5°55'43"	18.11'	175.00'	N 9°40'42"E	18.10'
C25	2°05'44"	0.91'	25.00'	N78°24'10"W	0.91'
C26	90°00'08"	39.27'	25.00'	S57°38'38"W	35.36'

## PLAT GEOMETRY

## PRELIMINARY PLAT ELEVATE ON BRIDGE






DWG PATH: 3/28/2025 J:\N1462 - Gallo Partners\SURVEY\TRACT A-1 (PLAT).dwg

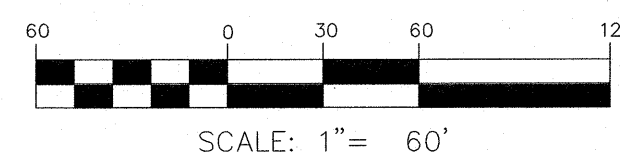
GPS: PRIMO AND NINO  
CREW: LRC/DCA/JAK/NSV  
SCALE: 1"=30'  
DATE: 03/11/2025  
DRAWN: AHM  
JOB NO: N1462-01

Community  
Sciences  
Corporation  
Land Surveying  
(505) 897.0000

2  
of  
4

## Monument Legend

-  FND CONTROL MONUMENT (AS NOTED)
-  FND PROPERTY CORNER (AS NOTED)
-  FND CHISELED OR SCRIBED "X"
-  SET 5/8" REBAR W/YELLOW PLASTIC CAP OR NAIL STAMPED "PATRICK PS12651"
-  EASEMENT POINT (NOT SET)



# *Community Design Solutions*

---

April 24, 2025

Development Hearing Officer  
City of Albuquerque  
600 2<sup>nd</sup> St NW  
Albuquerque, NM 87102

**RE: Project Description/Justification Letter for Preliminary Plat Application** – 38-lot subdivision at the southeast corner of 86th St SW and Bridge Blvd SW, Albuquerque, NM.

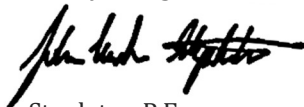
Dear Development Hearing Officer,

Community Design Solutions, LLC (CDS), on behalf of Ashland Companies, LLC, submits this project description/justification letter per the City's preliminary plat application requirements.

This request seeks to subdivide one 4.54-acre lot into 38 residential lots. The plat includes the necessary easements to support access, utilities, and drainage for the proposed lots. CDS has prepared an infrastructure list containing the developer-funded public infrastructure improvements.

If you have any questions or require additional information, please feel free to contact us.

Sincerely,  
Community Design Solutions, LLC



John Stapleton P.E.  
CDS | Project Manager  
505-545-9607

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

ROMERO DENNIS M  
3500 VISTA GRANDE DR NW  
ALBUQUERQUE NM 87120

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

VALLE DEL CANTO HOMEOWNERS ASSOC  
C/O CAROL PICKERT & ASSOC ATTN: JOEY  
4121 EUBANK BLVD NW  
ALBUQUERQUE NM 87111-3421

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

ARMSTRONG CENTRAL UNDER BLVD LLC  
1 ARMSTRONG PL  
BUTLER PA 16001

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

DOLGENCORP LLC  
100 MISSION RIDGE  
GOODLETTSVILLE TN 37072-2171

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

GUTIERREZ IRENE K  
405 HALE CIR SW  
ALBUQUERQUE NM 87105-0307

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

STEPHENS KEVIN L & PATTY T R  
8705 VIA DEL ORO SW  
ALBUQUERQUE NM 87121-9337

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

MARTINEZ EUGENE M  
308 CALLE AMARILLO SW  
ALBUQUERQUE NM 87121-9300

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

MAESTAS JESSICA C & LARRY A  
8615 VIA DEL ORO SW  
ALBUQUERQUE NM 87121

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

RIVERA AYANRA  
330 CALLE AMARILLO SW  
ALBUQUERQUE NM 87121-9300

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

SMITH CHRISTOPHER EDWARD & REESE-  
SMITH GERRI LYNN  
304 CALLE AMARILLO SW  
ALBUQUERQUE NM 87121-9300

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

8200 BRIDGE BOULEVARD SW LLC  
65 N CATALINA AVE  
PASADENA CA 91106-2301

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

ARRIAGA AURORA  
8609 VIA DEL ORO SW  
ALBUQUERQUE NM 87121

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

ESQUIBEL CHRISTINE M  
93 JOE NESTOR RD  
EDGEWOOD NM 87015

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

JIM MARLA & MATTHEW  
316 CALLE AMARILLO SW  
ALBUQUERQUE NM 87121-9300

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

MARKS DENISE  
300 CALLE AMARILLO SW  
ALBUQUERQUE NM 87121-9300

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

AGUINAGA MARIA & LUNA MARISA  
8601 VIA DEL ORO SW  
ALBUQUERQUE NM 87121-9334

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

BLANDO JOAQUIN TREJO & ROMERO  
CLAUDIA ARRATIA  
8701 VIA DEL ORO SW  
ALBUQUERQUE NM 87121-9337

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

GALLEGOS FRANK E  
8605 VIA DEL ORO SW  
ALBUQUERQUE NM 87121

Community Design Solutions, LLC  
9384 Valley View Drive NW, Suite 100  
Albuquerque, NM 87114

LANDMARK LAND LTD CO  
4902 ALAMEDA BLVD NE  
ALBUQUERQUE NM 87113-1736

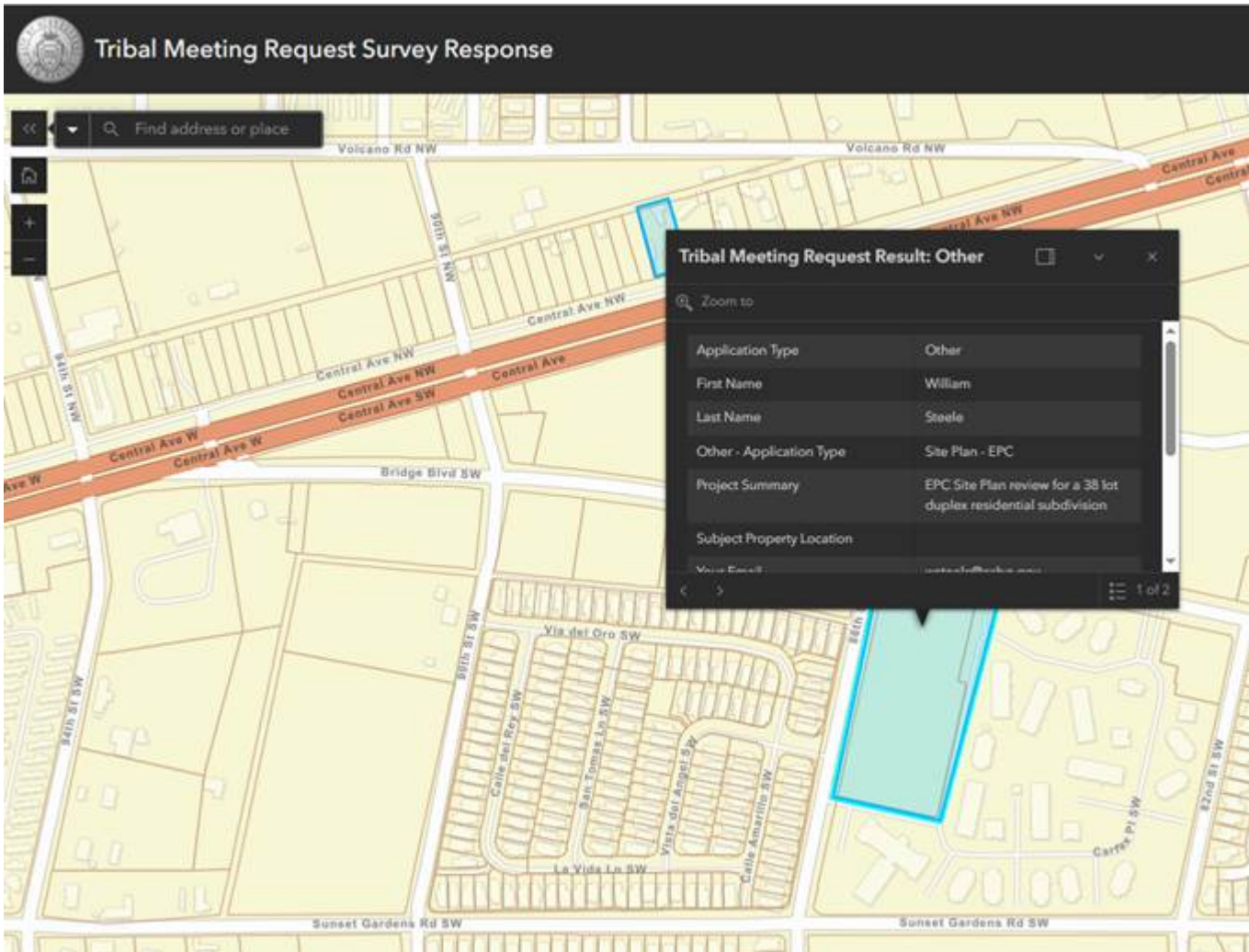


## Renee Regal

**From:** Ortiz, Annette <annetteortiz@cabq.gov>  
**Sent:** Monday, April 28, 2025 10:56 AM  
**To:** Renee Regal; John Stapleton  
**Cc:** Rodenbeck, Jay B.; Webb, Robert L.; Zamora, Renee C.; Boylan, Jacob; Montoya, Antoni; Ibarra, Marcelo X.  
**Subject:** PR-2020-004098/MAJOR\_PLT-20258-00006 - 99999 Bridge Blvd SW, 87121 (Tribal Meeting email)

Good afternoon Ryan,

We can confirm that the site in question at (99999 Bridge Blvd SW, 87121) will not require a Tribal Meeting offer or notice per Table 6-1-1 and 6-4(B) of the IDO, as it's not located within 660 feet of Major Public Open Space or a Tribal boundary per our Tribal Meeting Request GIS map that captured your request (see screenshot below):



Please include a copy of this email with your submittal for this site. Upload as pdf to attachments in ABQ-PLAN.

Thank you,



**ANNETTE V. ORTIZ**

senior admin/navigator

o 505-924-3623

e [annetteortiz@cabq.gov](mailto:annetteortiz@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

Our (LMS) POSSE and (E-PLAN) AVOLVE systems have been replaced with our new software system, ABQ-PLAN. (LMS) POSSE and (E-PLAN) AVOLVE users can create an ABQ-PLAN account with the same email address to access their data. We have a [user guide](#), [video tutorials in English and Spanish](#), and other resources to help you get up to speed. For more information about ABQ-PLAN please visit [cabq.gov/planning/abq-plan](http://cabq.gov/planning/abq-plan)

## AGENT LETTER / LETTER OF AUTHORIZATION

OWNER: Nicholas Blincoe  
Gallo Partners, LLC  
480.529.9376  
[nicholasb@wallacegrp.org](mailto:nicholasb@wallacegrp.org)

AGENT: Community Design Solutions, LLC | CDS  
John Stapleton, PE  
9384 Valley View Drive NW  
Suite 100  
Albuquerque, NM 87114  
[John.Stapleton@cdsnm.com](mailto:John.Stapleton@cdsnm.com)

**Property Description:** 38-lot subdivision at the southeast corner of 86th St SW and Bridge Blvd SW, Albuquerque, NM.

Gallo Partners, LLC, owner of the above-referenced land, hereby authorizes CDS as agent for a platting application for the property.

Nicholas Blincoe  
Signature

4/29/25  
Date

Nicholas Blincoe  
Printed Name

DEVELOPMENT FACILITATION TEAM

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2020-004098  
Bridge and 86th

AGENDA ITEM NO: 10

SUBJECT: Sketch

ENGINEERING COMMENTS:

1. Bridge and 86th are both major collectors and require 6' sidewalk with a 5' to 6' landscape buffer.
2. Please list ROW width along both roadways to ensure they meet the requirements of the DPM. There are also proposed bike lanes along Bridge. Please provide a cross section showing if proposed bike lanes will fit within the existing ROW, otherwise ROW dedication may be required.
3. An approved TCL will be required prior to site plan. Please also submit a filled in Traffic Scoping Form to Curtis Cherne ([ccherne@cabq.gov](mailto:ccherne@cabq.gov)) to determine if a TIS will be required.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.  
Transportation Development  
505-924-3991 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

DATE: August 7, 2024

---

ACTION:

APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: \_\_\_\_\_ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)

DEVELOPMENT FACILITATIVE TEAM (DFT) - **HYDROLOGY SECTION**

Renée Brissette, PE, Senior Engineer | 505-924-3995 [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)

---

DRB Project Number: 2020-004098 Hearing Date: 08-07-2024

Project: Bridgepoint Subdivision Agenda Item No: 10

☒ Sketch Plat

☐ Site Plan for Bldg.  
Permit

**ENGINEERING COMMENTS:**

- Hydrology will need to approve a Conceptual Grading & Drainage Plan prior to platting action.
- The infrastructure list will be needed for Preliminary Plat.
- Comment – Prior to submitting for Building Permit, a licensed New Mexico civil engineer will need to submit a Grading & Drainage Plan to Hydrology for review & approval if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).

☐ APPROVED  
☐ DENIED

DELEGATED TO: ☐ TRANS ☐ HYD ☐ WUA ☐ PRKS ☐ PLNG

Delegated For: \_\_\_\_\_

SIGNED: ☐ I.L. ☐ SPSP ☐ SPBP ☐ FINAL PLAT

DEFERRED TO \_\_\_\_\_



## DEVELOPMENT FACILITATION TEAM

### Planning Comments

**HEARING DATE:** 08/07/2024 **AGENDA ITEM:** #10

**Project Number:** PR-2020-004098

**Application Numbers:** PS-2024-00130

**Project Name:** Bridgepoint Subdivision

**Requests:**

*Sketch Plat of subdivision creating a 38-lot duplex subdivision with associated infrastructure improvements*

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*\*These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

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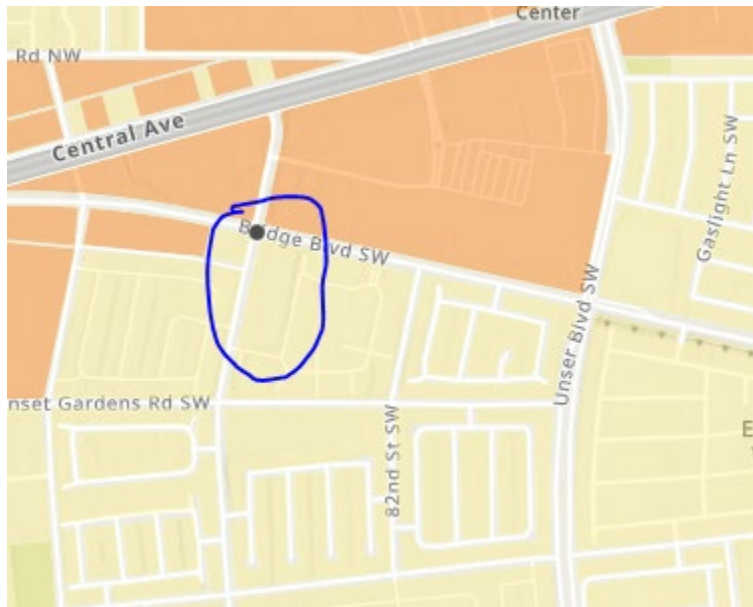
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### BACKGROUND

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- Review is subject to the IDO Effective August 3, 2024.
- This Sketch Plat proposal features a request for a subdivision of an existing 4.52 acre parcel that is vacant for 28 residential home lots that will accommodate 19 duplexes. Each unit will be two stories with a 2-car garage. The community will include a common open space area that will also accommodate drainage. The project will have a gated entrance off of 86<sup>th</sup> Street.
- The site is zoned PD.
- The subject parcel is not in any specially designated Corridor or Center.
- The subject parcel is in an Area of Consistency. Surrounding parcels on the south, east and west are also Areas of Consistency. The parcel to the north is an Area of Change.

*\*(See additional comments on next page(s))*



- The subject parcel is not in any IDO overlay zone.
- 86<sup>th</sup> Street and Bridge are both designated as Major Collectors in this area.
- 86<sup>th</sup> Street is designated for a bike lane. Bridge is a proposed bike lane.

---

#### **IDO/DPM COMMENTS**

*Comments in orange need attention*

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- The site is zoned PD and a Site Plan must be approved by the Environmental Planning Commission (EPC) along with final sign-off of the Site Plan by Development Facilitation Team (DFT) staff (if conditioned by the EPC) prior to subdivision and platting for a Major Preliminary Plat; due to the number of lots proposed, the platting application required for Development Hearing Officer (DHO) approval after Site Plan – EPC and final sign-off approval would be a Major Preliminary Plat.
- See the table below regarding duplexes as an allowable use.

**Table 4-2-1: Allowable Uses**

P = Permissive Primary C = Conditional Primary A = Permissive Accessory CA = Conditional Accessory  
 CV = Conditional if Structure Vacant for 5+ years T = Temporary CT = Conditional Temporary  
 Blank Cell = Not Allowed

Zone District >>	Residential						Mixed-use				Non-residential								Use-specific Standards
	R-A	R-1	R-MC	R-T	R-ML	R-MH	MX-T	MX-L	MX-M	MX-H	NR-C	NR-BP	NR-LM	NR-GM	NR-SU	NR-PO			
																A	B	C	
Land Uses																			
PRIMARY USES THAT MAY BE ACCESSORY IN SOME ZONE DISTRICTS																			
RESIDENTIAL USES																			
Household Living																			
Dwelling, single-family detached	P	P	P	P	P		P											4-3(B)(1)	
Dwelling, mobile home			P															4-3(B)(2)	
Dwelling, cluster development	P	P		P	P		P											4-3(B)(3)	
Dwelling, cottage development	P	P	P	P	P		P											4-3(B)(4)	
Dwelling, two-family detached (duplex)		P		P	P		P											4-3(B)(5)	
Dwelling, townhouse				P	P	P	P	P	P	P								4-3(B)(6)	
Dwelling, live-work				C	C	P	P	P	P	P	CA	CA						4-3(B)(7)	
Dwelling, multi-family					P	P	P	P	P	P		CV						4-3(B)(8)	
Group Living																			
Assisted living facility or nursing home				C	P	P	P	P	P	P									
Community residential facility, small	P	P		P	P	P	P	P	P	P								4-3(B)(9)	
Community residential facility, large					P	P	P	P	P	P								4-3(B)(9)	
Dormitory						P	C	P	P	P									
Group home, small					C	P	P	P	P									4-3(B)(10)	
Group home, medium					C	C	C	P	P	P								4-3(B)(10)	
Group home, large						C			C	C								4-3(B)(10)	

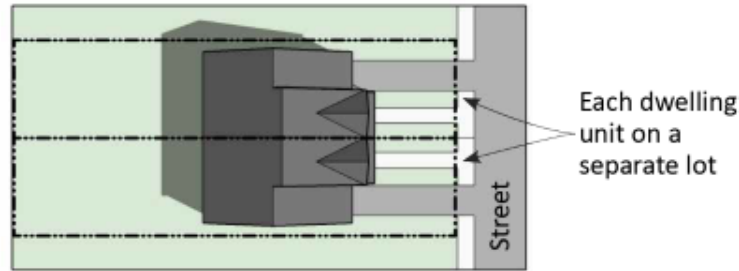
- Follow the Use Specific Standards for a Duplex



#### 4-3(B)(5) Dwelling, Two-family Detached (Duplex)

4-3(B)(5)(a) Where this use is allowed and the 2 dwelling units are on separate lots, interior side setbacks required by the zone district shall not apply to any lot line where the 2 units share a common wall.

4-3(B)(5)(b) This use is prohibited in the R-1 zone district, except in R-1A where 1 two-family detached dwelling is permissible on 2 lots where the building straddles the lot line and each dwelling unit is on a separate lot. (See figure below.)



- Any submittal for ungraded land requires a **Sensitive Lands Analysis submittal** per Section 5-2 of the IDO. See this link for directions on completing the analysis. [Sensitive\\_lands\\_analysis\\_form \(cabq.gov\)](https://cabq.gov/sensitive-lands-analysis-form)
- \*Please confirm ROW development detail and the compliance of section 7 of the DPM, Table 7.2.29. In regards to Sidewalk width requirements and its landscape buffer.**  
86<sup>th</sup> Street and Bridge are both Major Collectors, Outside of a Center.  
Each requires a **6-foot sidewalk and 5-6' landscape buffer is required.**  
***\*Defer to Transportation for confirmation.***
- Any drainage ponds must meet or exceed the requirements of Standard Specification 1013, Drainage ponds: Slope Stabilization and Seeding. See the link: [Section 1013 Specification.pdf \(cabq.gov\)](https://cabq.gov/section-1013-specification.pdf)
- On the Preliminary Plat, information on existing easements, easements that are proposed to be granted with the Plat, and easements that are proposed to be vacated from the Plat must be provided. If any easements are proposed to be vacated with the Plat, these Vacations must be approved as separate actions (each Vacation requires a DHO approval separately) by the DHO prior to the approval of the Preliminary Plat.

- Per Table 6-1-1 and 6-4(K)(3) of the IDO, Neighborhood Associations as well as property owners within 100 feet in any direction of the subject property must be notified by first-class mail of the Preliminary Plat application. Proof of notification must be provided in the submittal.
- Per Table 6-1-1 and 6-4(K)(4) of the IDO, a sign providing notice of the Preliminary Plat application must be posted on the site at least 15 calendar days before the DHO hearing, and proof must be provided to staff of the sign posting (digital pictures of the posted sign) before the 15-calendar day deadline and/or the pictures provided (if submitted after the 15-calendar day deadline) must be time-stamped. Proof of posting was provided by the applicant.

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## FUTURE DEVELOPMENT GUIDANCE

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Future development must meet all applicable standards and provisions of the IDO and the DPM.

***\*Submitted plans should demonstrate how standards are being met for any applicable previous approvals and/or current standards.***

***Please reference the following development standards from the IDO.***

<https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/integrated-development-ordinance>

*\*Subject to change pending formal submittal and/or changes in development type/use.*

*Changes may also require amendments to previous approvals.*

- ❖ **4-2 Allowed Uses, table 4-2-1. \*Reference Use Specific Standards 4-3-B-5 Dwelling, two family-detached.** Explain and demonstrate how all standards are being met.
- ❖ **5-1 Dimension Standards. 5-1-G Exceptions and Encroachments.**  
*\*Plans will need to demonstrate that Dimensional standard requirements are being met.*
- ❖ **5-3 Access & Connectivity requirements**  
*\*5-3(C)(3) Driveways, Drive Aisles, and Access 5-3(C)(3)(a) Development shall comply with the driveway, drive aisle, and access standards in the DPM.*  
***5-3(C)(3)(b) For all low-density residential development, driveways accessed from the front or street side of the property shall be at least 20 feet long, exclusive of the sidewalk or drive pad.***

5-3(C)(3)(b) For all low-density residential development, driveways accessed from the front or street side of the property shall be at least 20 feet long, exclusive of the sidewalk or drive pad.



- ❖ **5-4 Subdivision of Land.**
  - ❖ **5-5 Parking & Loading requirements, Table 5-5-1.**
  - ❖ **5-6 Landscaping, Buffering, and Screening standards and requirements.**
  - ❖ **5-7 Walls/Fences, table 5-7-1. \*Development requires separate permitting.**
  - ❖ **5-8 for Outdoor Lighting requirements.**
  - ❖ **5-11 Building and façade design requirements. 5-11-C for Low-Density Residential.**  
\*Demonstrate and explain how standards and requirements are being met.
  - ❖ **7-1 Development, dwelling, and use definitions**  
\*Reference definitions for Low-Density Residential and Two-Family, Detached (Duplex).
- 



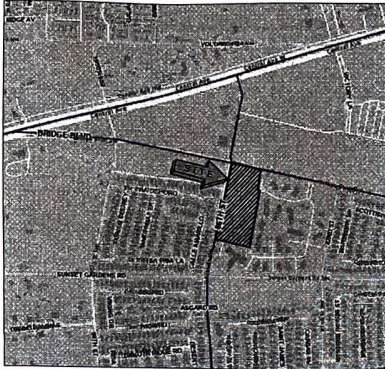
*Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.*

FROM: Jolene Wolfley/Jay Rodenbeck  
Planning Department

DATE: 8/6/24

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# VICINITY MAP ZONE ATLAS MAP NOT TO SCALE L-09-Z

## PUBLIC UTILITIES

Public Utility Easements shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico (PNM)**, a New Mexico Corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company (NMGC)** for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Century Link dba Lumen Technologies** for the installation, maintenance and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Comcast** for the installation, maintenance and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate within the easement, change, remove replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric, transformers/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

### Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a title search of the properties shown hereon. Consequently, PNM and NMGC DO NOT waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

### SOLAR NOTE:

No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat for subdivision.

## LEGAL DESCRIPTION: See Sheet 2.

### PURPOSE OF PLAT:

The purpose of this plat is to subdivide existing Tract A-1 into (38) new Lots and (3) new Tracts, to vacate a 10' P.U.E. as shown hereon, to grant a private road easement with maintenance responsibilities noted, to grant public water and sewer easements, to grant easements as shown hereon, and to dedicate public right of way in fee simple to the City of Albuquerque.

### FREE CONSENT AND DEDICATION:

The undersigned owners and proprietors of the properties represented hereon do hereby certify and affirm that this replat is created with our free will and consent in accordance with our expressed wishes and desires, do grant a private road easement, do grant public water and sewer easements, do grant easements and do dedicate private right of way in fee simple to the City of Albuquerque.

by Landmark Land Ltd. Co. 04-24-25  
Date

### ACKNOWLEDGEMENT

Arizona  
State of New Mexico  
County of Maricopa ) SS

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of April, 2025 by: Baron Wallace

Notary Public: Baron Wallace  
My commission expires: November 16, 2027



### NOTES:

- The basis of bearings is the line between AGRS Control Station 14-K9 and the Northeast corner of Elevate on Bridge Subdivision, as measured with the "Trimble VRS Now" GNSS RTK Virtual Reference System. Bearings are New Mexico State Plane Bearings, Central Zone 3002, NAD83. Distances are ground distances. Elevation Datum is NAVD88.
- Bearings and distances shown in ( ) are per record Correction Plat for Bridgepoint Subdivision recorded October 4, 1996 in Volume 96C, Folio 418.
- Documents used (on file at Bernalillo County Clerk unless otherwise noted):
  - Correction Plat of Bridgepoint Subdivision filed October 4, 1996 in Volume 96C, Folio 418
  - Title Commitment No SP000164183 from Fidelity National Title dated April 11, 2024
  - Unrecorded Alta Survey by High Mesa, signed by Joseph M. Solomon, Jr, NMPS 15075 on June 7, 2024
  - Easement Document recorded February 7th, 1996 in Book 96-4, Page 1985
- This Property lies within Zone X, Area of Minimal Flood Hazard as per FEMA Flood Insurance Rate Map (FIRM) 35001C0328J, Effective date 11/04/2016.
- Drainage Berms along western and northern boundaries may be released according to that Drainage Covenant recorded as Document No 1996113565 on October 15, 1996.
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points and street intersections as shown in the monument legend. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "Village of Los Lunas centerline monument- do not disturb, PS Number 12651" and will be set flush with the final asphalt lift.
- In lieu of front property corners, offset reference points will be scribed in the flow line of the new curb and gutter. the centerline monumentation, as described above, will control the subdivision.
- Tracts A, B, and C, will be conveyed by separate document to the Elevate on Bridge Homeowners' Association, Inc., (a nonprofit corporation, hereinafter known as "The Association"). The Association shall be responsible for maintenance and operation of the common area tracts and the private access, water and sewer easements. The rights and obligations of the lot owners with respect to the common area tracts shall be further established in the declaration of covenants, conditions and restrictions for Elevate on Bridge HOA.

All easements of record are shown hereon.

### TREASURER'S CERTIFICATION:

This is to certify that all taxes due and payable have been paid in full for year 2025 pursuant to New Mexico Statute 7-38-44.1

Tract A-1, Bridgepoint Subdivision

UPC #100905645249810404 - Tract A-1, Bridgepoint Subdivision

Bernalillo County Treasurer's Office: By: \_\_\_\_\_ Date: \_\_\_\_\_

# PRELIMINARY PLAT ELEVATE ON BRIDGE BEING A REPLAT OF TRACT A-1, BRIDGEPOINT SUBDIVISION

SITUATE WITHIN  
PROJECTED SECTIONS 21 & 28, T.10N, R.2E, N.M.P.M.  
TOWN OF ATRISCO GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2025

**SITE DATA:**  
FEMA Map Number 35001C0328J  
Zoning PD  
Miles of Full Width Streets Created 0 Miles  
No. of Existing Tracts 1  
No. of Existing Lots 0  
No. of Tracts Created 3  
No. of Lots Created 38  
Total Area 4.5307 acres  
Acreage of Dedicated Right-of-Way 0 acres

Project Number: \_\_\_\_\_  
Application Number: \_\_\_\_\_

## Plat Approval

### Utility Approvals

PNM Electric Services	Date
New Mexico Gas Company	Date
Century Link dba Lumen Technologies	Date
Comcast	Date
AMAFA	Date

### City Approvals:

<u>Loren W. Risenhoover P.S.</u>	4/23/2025
City Surveyor	Date
Traffic Engineering, Transportation Division	Date
City Parks & Recreation Department	Date
City Engineer	Date
Code Enforcement	Date
Hydrology	Date
ABCWUA	Date
Planning Department	Date

## COVER SHEET

### INFO FOR COUNTY CLERK:

Owner: Landmark Land LTD CO  
UPC #: 100905645249810404  
Property: Tract A-1, Bridgepoint Subdivision  
Location: Sections 21 & 28 Township 10 North, Range 2 East, NMPM City of Albuquerque Bernalillo County

# PRELIMINARY PLAT ELEVATE ON BRIDGE

NEW PLAT: 4/23/2025 P: 101462 - Date: Baron Wallace ELEVATE ON BRIDGE PRELIMINARY SUBDIVISION PLATING

PRIMO AND NINO  
LRC/DCA/JAK/NSV  
SCALE: 1"=30'  
DATE: 03/11/2025  
BY: AHM  
CHECKER: \_\_\_\_\_  
NEW PLAT: N1462-01

Community Sciences Corporation  
Land Surveying  
(505) 897.0000

1 of 4

### SURVEYOR'S CERTIFICATION

I, Thomas W. Patrick, New Mexico Professional Surveyor No. 12651, hereby certify that this plat was prepared from an actual ground survey performed by me or under my supervision, that I am responsible for this plat and that this plat is true and correct to the best of my knowledge and belief. This plat conforms to the minimum standards for surveying in New Mexico as adopted by the New Mexico Board of Registration for Professional Engineers and Surveyors and to the Albuquerque and Bernalillo County Subdivision Ordinance.



Thomas W. Patrick  
New Mexico Professional Surveyor No. 12651

4-23-2025  
Date





PRELIMINARY PLAT  
ELEVATE ON BRIDGE  
BEING A REPLAT OF TRACT A-1, BRIDGEPOINT SUBDIVISION  
SITUATE WITHIN  
PROJECTED SECTIONS 21 & 28, T.10N, R.2E, N.M.P.M.  
TOWN OF ATRISCO GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2025

LEGAL DESCRIPTION:

Tract A-1 of the Correction Plat of Bridgepoint Subdivision, as the same is shown and designated on the plat thereof recorded in the office of the County Clerk, Bernalillo County, New Mexico on October 4, 1996 in Volume 96C, Folio 418.

NOTES:

1. PLEASE SEE SHEET 3 FOR:

- A)  PUBLIC WATER EASEMENTS GRANTED BY THIS PLAT
- B)  PUBLIC WATER & PUBLIC SEWER EASEMENT GRANTED BY THIS PLAT

2.  VACATED PORTION OF 10' P.U.E.

LINE TABLE






NUM	BEARING	DISTANCE
L1	S77°21'26"E	15.00'
L2	S77°21'26"E	15.00'
L3	S77°21'26"E	25.00'
L4	N12°38'34"E	2.71'
L5	N46°07'45"E	4.86'
L6	N46°07'45"E	2.88'
L7	N46°07'45"E	1.98'
L8	N12°38'34"E	20.83'
L9	N12°38'34"E	5.64'
L10	N 5°38'42"E	45.29'
L11	N 5°38'42"E	23.12'
L12	N 5°38'42"E	22.17'
L13	N12°38'34"E	12.67'
L14	N12°38'34"E	20.23'
L15	S12°38'34"W	23.90'
L16	S12°38'34"W	20.00'
L17	N12°38'34"E	8.39'
L18	N 5°38'42"E	45.29'
L19	S 5°38'42"W	20.35'
L20	S12°38'34"W	24.94'
L21	S12°38'34"W	9.92'
L22	N77°21'26"W	17.23'
L23	N12°38'34"E	17.11'
L24	S12°38'34"W	27.99'
L25	N12°38'34"E	41.89'
L26	S31°03'01"E	36.30'
L27	S12°38'19"W	9.50'
L28	S77°21'41"E	16.51'
L29	S12°38'34"W	27.02'
L30	S50°17'51"E	11.94'
L31	S12°38'34"W	20.48'
L32	S77°21'13"E	17.42'
L33	N12°38'47"E	7.50'
L34	N12°38'47"E	7.50'
L35	S77°21'13"E	17.41'
L36	S12°38'34"W	20.62'
L37	S12°38'34"W	12.81'

EASEMENT TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	90°53'40"	7.93'	5.00'	N32°19'15"W	7.13'
C2	89°44'19"	23.49'	15.00'	N57°44'12"E	21.16'
C3	19°09'00"	20.26'	60.63'	N31°51'29"E	20.17'
C4	23°50'46"	4.16'	10.00'	S34°12'22"W	4.13'
C5	33°29'11"	5.84'	10.00'	N29°23'10"E	5.76'
C6	6°59'52"	27.48'	225.00'	N 9°08'38"E	27.46'
C7	5°42'12"	22.40'	225.00'	N 9°47'28"E	22.39'
C8	1°17'40"	5.08'	225.00'	N 6°17'32"E	5.08'
C9	6°59'52"	21.37'	175.00'	S 9°08'38"W	21.36'
C10	1°58'21"	6.03'	175.00'	S 6°37'53"W	6.02'
C11	5°01'30"	15.35'	175.00'	S10°07'49"W	15.34'
C12	83°23'20"	25.29'	17.38'	S54°20'14"W	23.11'
C13	171°39'36"	175.64'	58.63'	N 1°51'42"E	116.94'
C14	46°48'32"	47.89'	58.63'	S36°02'50"W	46.57'
C15	0°30'07"	0.51'	58.63'	S59°12'02"W	0.51'
C16	19°14'50"	19.69'	58.63'	S49°19'34"W	19.60'
C17	23°02'58"	23.58'	58.63'	S28°10'40"W	23.43'
C18	4°00'36"	4.10'	58.63'	S14°38'52"W	4.10'
C19	6°59'52"	27.48'	225.00'	S 9°08'38"W	27.46'
C20	5°00'02"	19.64'	225.00'	S10°08'33"W	19.63'
C21	1°59'50"	7.84'	225.00'	S 6°38'37"W	7.84'
C22	6°59'52"	21.37'	175.00'	N 9°08'38"E	21.36'
C23	1°04'08"	3.27'	175.00'	N 6°10'46"E	3.27'
C24	5°55'43"	18.11'	175.00'	N 9°40'42"E	18.10'
C25	2°05'44"	0.91'	25.00'	N78°24'10"W	0.91'
C26	90°00'08"	39.27'	25.00'	S57°38'38"W	35.36'
C27	87°33'13"	38.20'	25.00'	S56°03'06"W	34.59'

PLAT GEOMETRY

Monument Legend

-  FND CONTROL MONUMENT (AS NOTED)
-  FND PROPERTY CORNER (AS NOTED)
-  FND CHISELED OR SCRIBED "X"
-  SET 5/8" REBAR W/YELLOW PLASTIC CAP OR NAIL STAMPED "PATRICK PS12651"
-  EASEMENT POINT (NOT SET)

PRELIMINARY PLAT  
ELEVATE ON BRIDGE

DWG PATH: 4/23/2025 F:\N1462 - Gallo Partners\SURVEY\ELEVATE ON BRIDGE PRELIMINARY SUBDIVISION PLAT.dwg

DATE: 03/11/2025

SCALE: 1"=30'

DRAWN: AHM

REVIEW: N1462-01

PRIMO AND NINO

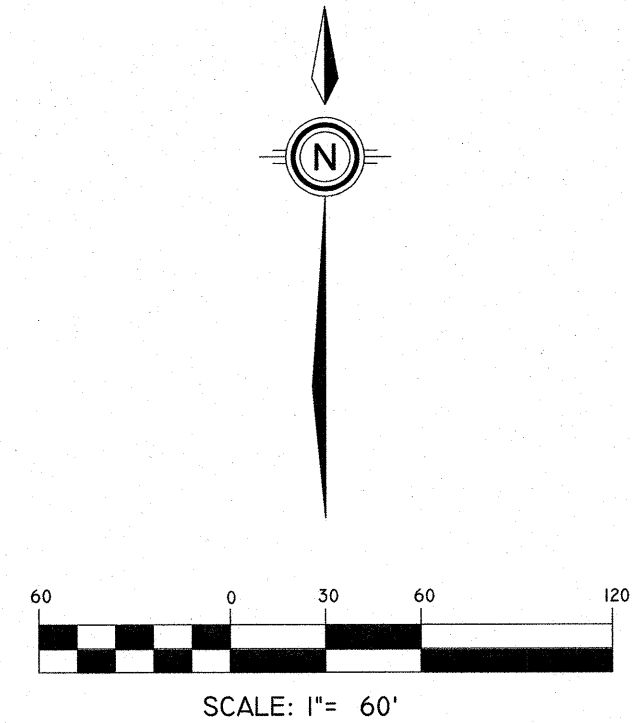
LRC/DCA/JAK/NSV

Community Sciences Corporation

Land Surveying (505) 897.0000

2 of 4




PRELIMINARY PLAT  
ELEVATE ON BRIDGE  
BEING A REPLAT OF TRACT A-1, BRIDGEPOINT SUBDIVISION  
SITUATE WITHIN  
PROJECTED SECTIONS 21 & 28, T.10N, R.2E, N.M.P.M.  
TOWN OF ATRISCO GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2025



EASEMENT LINE TABLE		
NUM	BEARING	DISTANCE
L1	N 5°38'42"E	45.29'
L2	N27°16'49"E	23.74'
L3	S12°38'34"W	20.25'
L4	N12°38'34"E	41.88'
L5	N 5°38'42"E	45.29'
L6	N27°16'49"E	23.74'
L7	S12°38'34"W	37.36'
L8	S12°38'34"W	27.98'






EASEMENT CURVE TABLE					
NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	6°59'52"	22.90'	187.50'	N 9°08'38"E	22.89'
C2	6°59'52"	25.95'	212.50'	S 9°08'38"W	25.94'
C3	6°59'52"	25.95'	212.50'	N 9°08'38"E	25.94'
C4	6°59'52"	22.90'	187.50'	S 9°08'38"W	22.89'

NOTES:

- PLEASE SEE SHEET 3 FOR:
  -  PUBLIC WATER EASEMENTS GRANTED BY THIS PLAT
  -  PUBLIC WATER & PUBLIC SEWER EASEMENT GRANTED BY THIS PLAT
-  VACATED PORTION OF 10' P.U.E.


EASEMENT SHEET

Monument Legend

-  FND CONTROL MONUMENT (AS NOTED)
-  FND PROPERTY CORNER (AS NOTED)
-  FND CHISELED OR SCRIBED "X"
-  SET 5/8" REBAR W/YELLOW PLASTIC CAP OR NAIL STAMPED "PATRICK PS12651"
-  EASEMENT POINT (NOT SET)

PRELIMINARY PLAT  
ELEVATE ON BRIDGE

DWG PATH: 4/23/2025 F:\N1462 - Gallo Partners\SURVEY\ELEVATE ON BRIDGE PRELIMINARY SUBDIVISION PLAT.dwg			
GPS:	PRIMO AND NINO		
ORIG:	LRC/DCA/JAK/NSV		
SCALE:	1"=60'		
DATE:	03/11/2025		
DRAWN:	AHM	REVIEW:	DKS
JOB NO:	N1462-01		



Community  
Sciences  
Corporation


Land Surveying  
(505) 897.0000

3  
of  
4

AGRS "18-L9 2002"  
3-1/4" ALUMINUM DISC  
NEW MEXICO STATE PLANE COORDINATES:  
NM CENTRAL ZONE 3002, NAD83  
N=1480884.02 USFT  
E=1496454.614 USFT  
ORTHO HT.=5117.432 USFT NAVD 1988  
GROUND TO GRID FACTOR= 0.999682892  
MAPPING ANGLE= -0°16'35.20"

AGRS "14-K9 2002"  
3-1/4" ALUMINUM DISC  
NEW MEXICO STATE PLANE COORDINATES:  
NM CENTRAL ZONE 3002, NAD83  
N=1482352.731 USFT  
E=1496702.894 USFT  
ORTHO HT.=5118.017 USFT NAVD 1988  
GROUND TO GRID FACTOR= 0.99968278  
MAPPING ANGLE= -0°16'33.63"

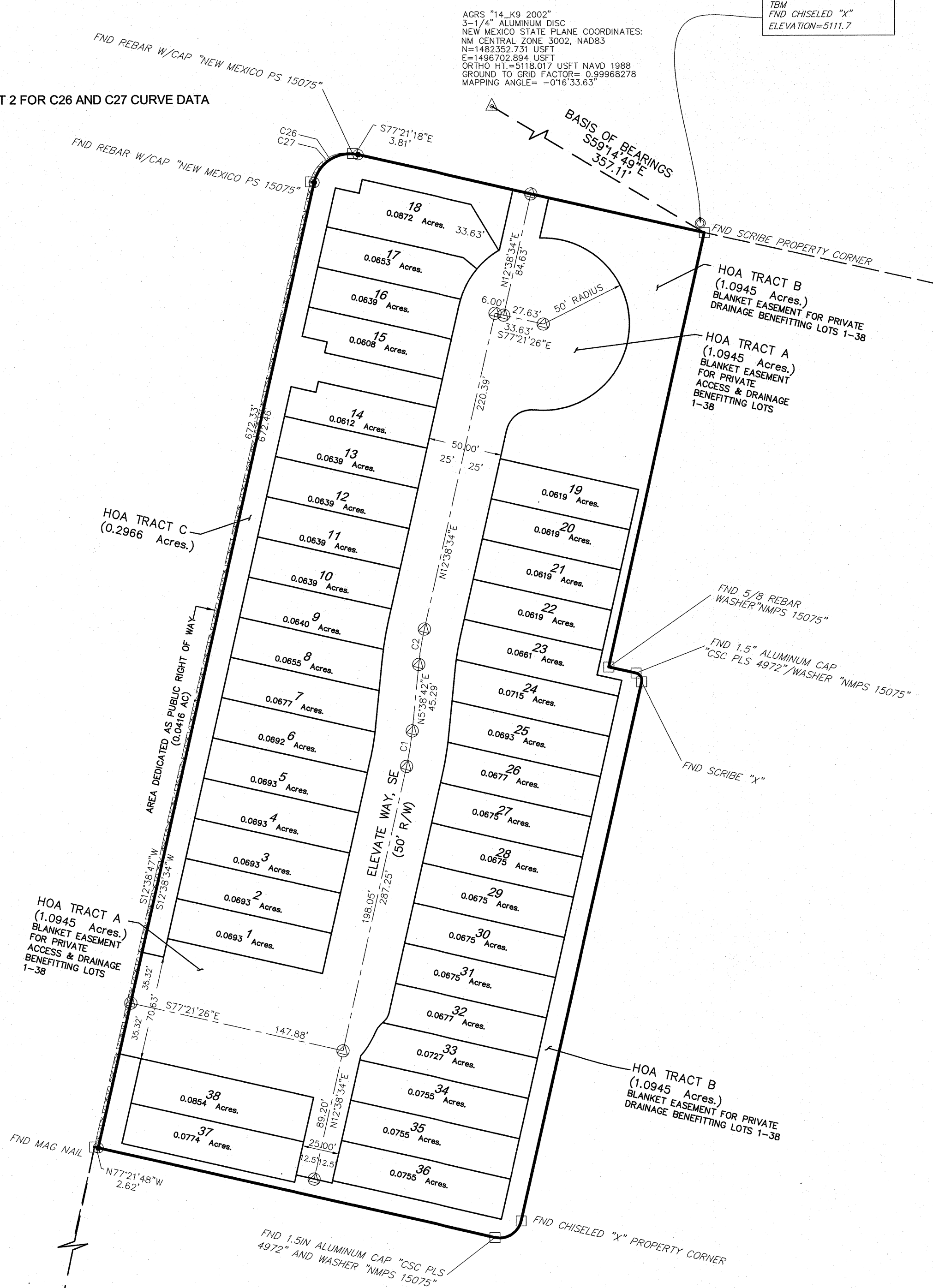
TBM  
FND CHISELED "X"  
ELEVATION=5111.7

-  EASEMENT TABLE
- A 5'x12.5' PUBLIC WATER EASEMENT  
CENTERED ON LOT LINE UNLESS SHOWN OTHERWISE  
GRANTED BY THIS PLAT
  - B 10'x12.5' PUBLIC WATER EASEMENT  
CENTERED ON LOT LINE UNLESS SHOWN OTHERWISE  
GRANTED BY THIS PLAT
  - C 5' WIDE PUBLIC WATER EASEMENT  
CENTERED ON LOT LINE  
DIMENSIONED (AS SHOWN HEREON)  
GRANTED BY THIS PLAT
  - D 10' WIDE PUBLIC WATER EASEMENT  
CENTERED ON LOT LINE  
DIMENSIONED (AS SHOWN HEREON)  
GRANTED BY THIS PLAT
  - E 5'x5' PUBLIC WATER EASEMENT  
CENTERED ON LOT UNLESS SHOWN OTHERWISE  
GRANTED BY THIS PLAT
  - F 10'x5' PUBLIC WATER EASEMENT  
CENTERED ON LOT UNLESS SHOWN OTHERWISE  
GRANTED BY THIS PLAT

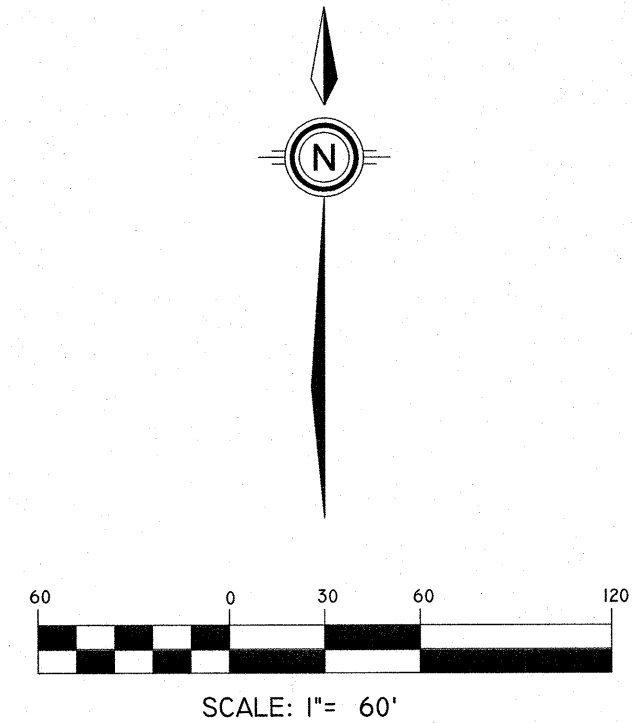


NOTE:

1. PLEASE SEE SHEET 2 FOR C26 AND C27 CURVE DATA



PRELIMINARY PLAT  
ELEVATE ON BRIDGE  
BEING A REPLAT OF TRACT A-1, BRIDGEPOINT SUBDIVISION  
SITUATE WITHIN  
PROJECTED SECTIONS 21 & 28, T.10N, R.2E, N.M.P.M.  
TOWN OF ATRISCO GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2025



CENTERLINE CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	6°59'52"	24.43'	200.00'	N 9°08'38"E	24.41'
C2	6°59'52"	24.43'	200.00'	S 9°08'38"W	24.41'

PRIVATE STREET CENTERLINE SHEET

Monument Legend

- FND CONTROL MONUMENT (AS NOTED)
- FND PROPERTY CORNER (AS NOTED)
- FND CHISELED OR SCRIBED "X"
- SET 5/8" REBAR W/YELLOW PLASTIC CAP OR NAIL STAMPED "PATRICK PS12651"
- EASEMENT POINT (NOT SET)
- CENTERLINE MONUMENTS

PRELIMINARY PLAT  
ELEVATE ON BRIDGE

DWG PATH: 4/23/2025 F:\N1462 - Gallo Partners\SURVEY\ELEVATE ON BRIDGE PRELIMINARY SUBDIVISION PLAT.dwg	PRIMO AND NINO	4
CREW: LRC/DCA/JAK/NSV	Community Sciences Corporation	of
SCALE: 1"=60'	Land Surveying	4
DATE: 03/11/2025	(505) 897.0000	
DRAWN: AHM	REVIEW: DKS	
JOB NO: N1462-01		

# *Community Design Solutions*

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April 30, 2025

Development Hearing Officer  
City of Albuquerque  
600 2<sup>nd</sup> St NW  
Albuquerque, NM 87102

**RE: Project Description/Justification Letter for Preliminary Plat Application** – 38-lot subdivision at the southeast corner of 86th St SW and Bridge Blvd SW, Albuquerque, NM.

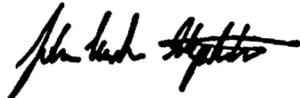
Dear Development Hearing Officer,

Community Design Solutions, LLC (CDS), on behalf of Gallo Partners, LLC, submits this project description/justification letter per the City's preliminary plat application requirements.

This request seeks to subdivide one 4.54-acre lot into 38 residential lots. The plat includes the necessary easements to support access, utilities, and drainage for the proposed lots. CDS has prepared an infrastructure list containing the developer-funded public infrastructure improvements. This Plat complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

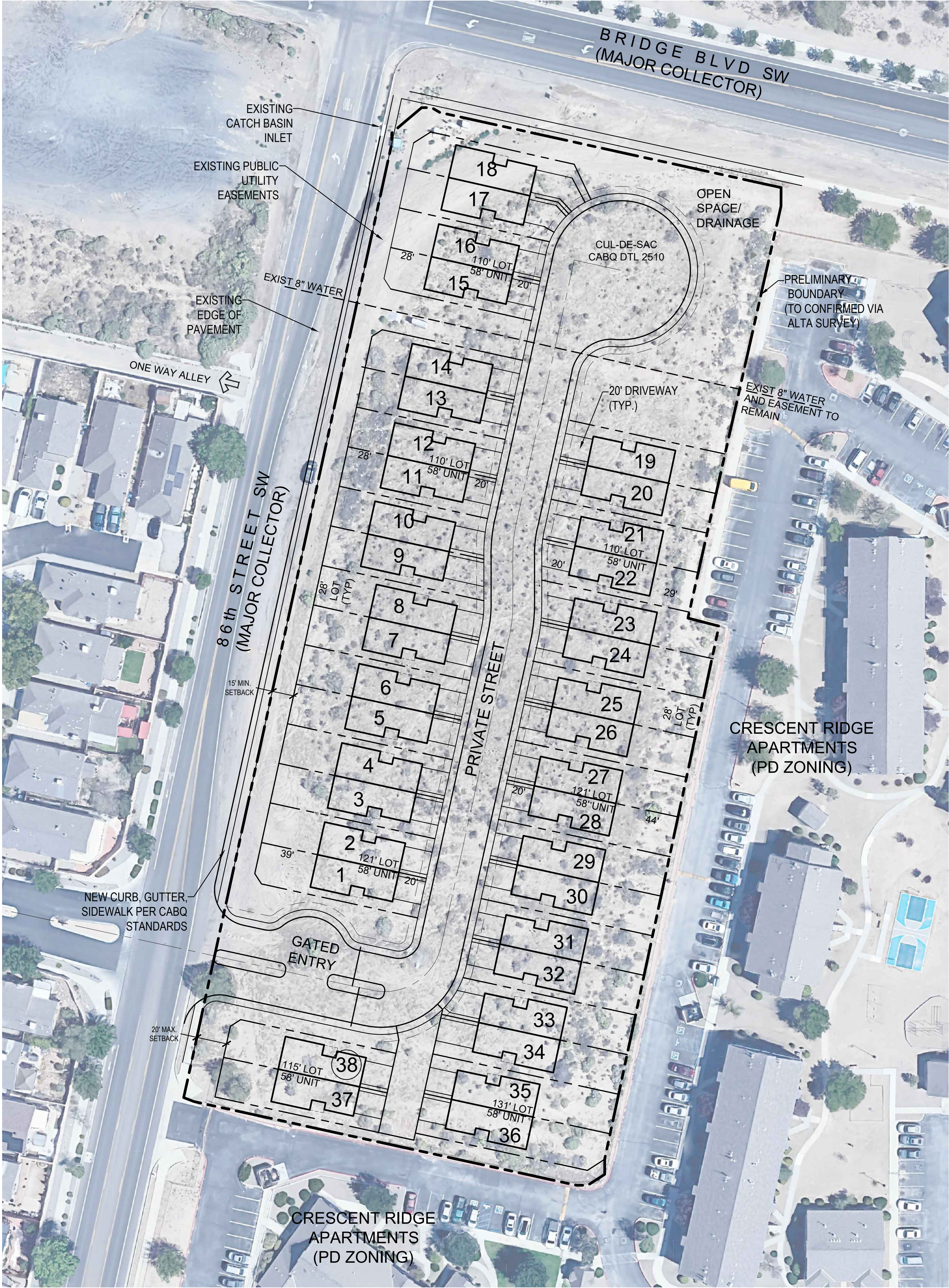
If you have any questions or require additional information, please feel free to contact us.

Sincerely,  
Community Design Solutions, LLC



John Stapleton P.E.  
**CDS** | Project Manager  
505-545-9607





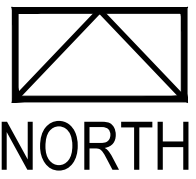
# SKETCH PLAT

TRACT A-1 AS THE SAME IS SHOWN AND DESIGNATED ON THE CORRECTION PLAT FOR BRIDGEPOINT SUBDIVISION FILED OCTOBER 4, 1996, VOLUME 96C, FOLIO 418 RECORDS OF BENALILLO COUNTY, NEW MEXICO.

### CONCEPTUAL PLAN DATA

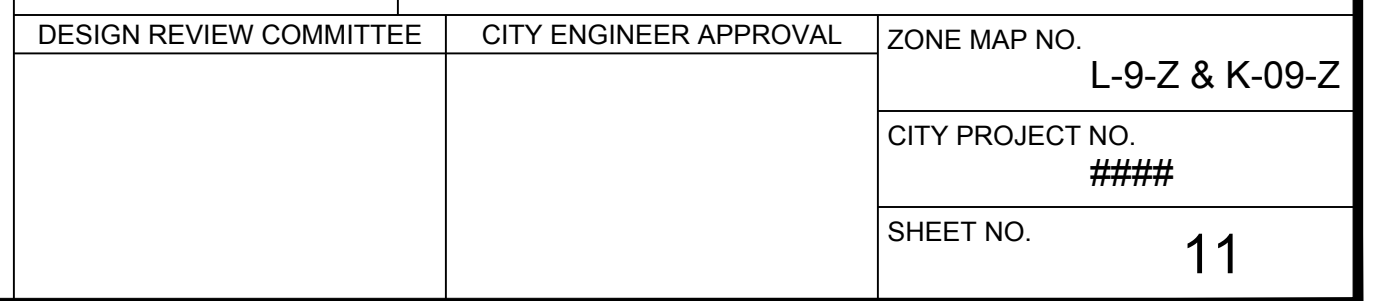
TOTAL AREA:	4.52 ac
EXISTING ZONING:	PD
TOTAL LOTS:	38
GROSS DENSITY:	8.44 du/ac

### SITE PLAN



Plan is conceptual and subject to change.  
Requires Engineering and City approvals.





CONSULTANTS

CDS.

**COMMUNITY DESIGN SOLUTIONS, LLC**  
9384 VALLEY VIEW DR NW, SUITE 100  
ALBUQUERQUE, NEW MEXICO 87114  
PHONE: (505)366-4187

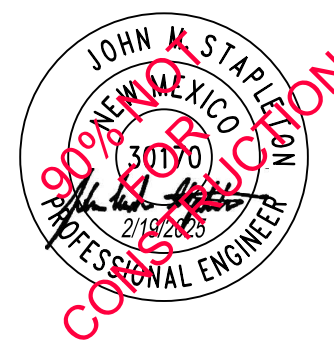
## BENCH MARKS

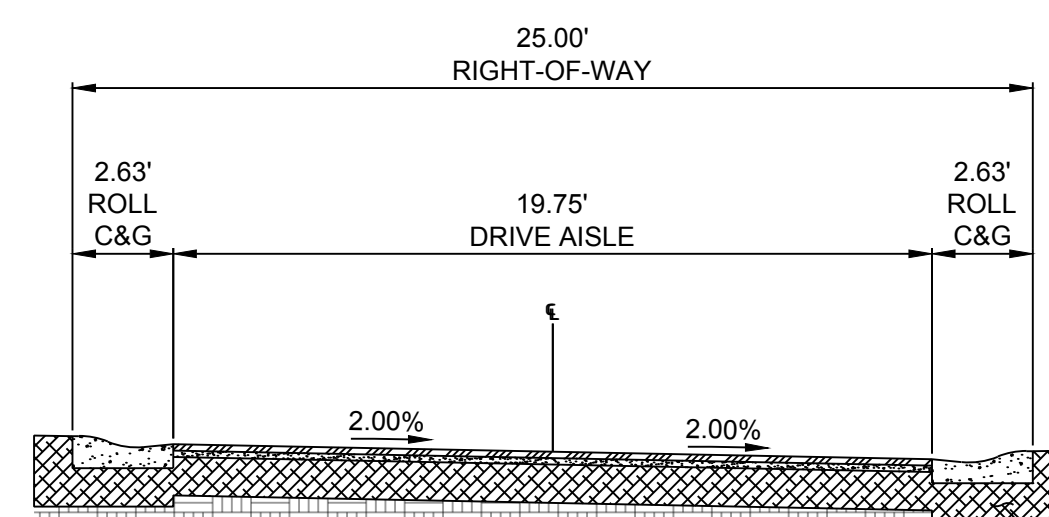
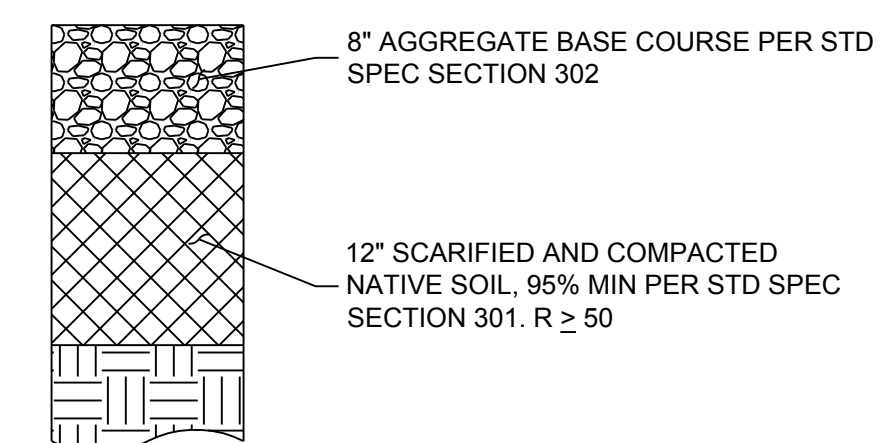
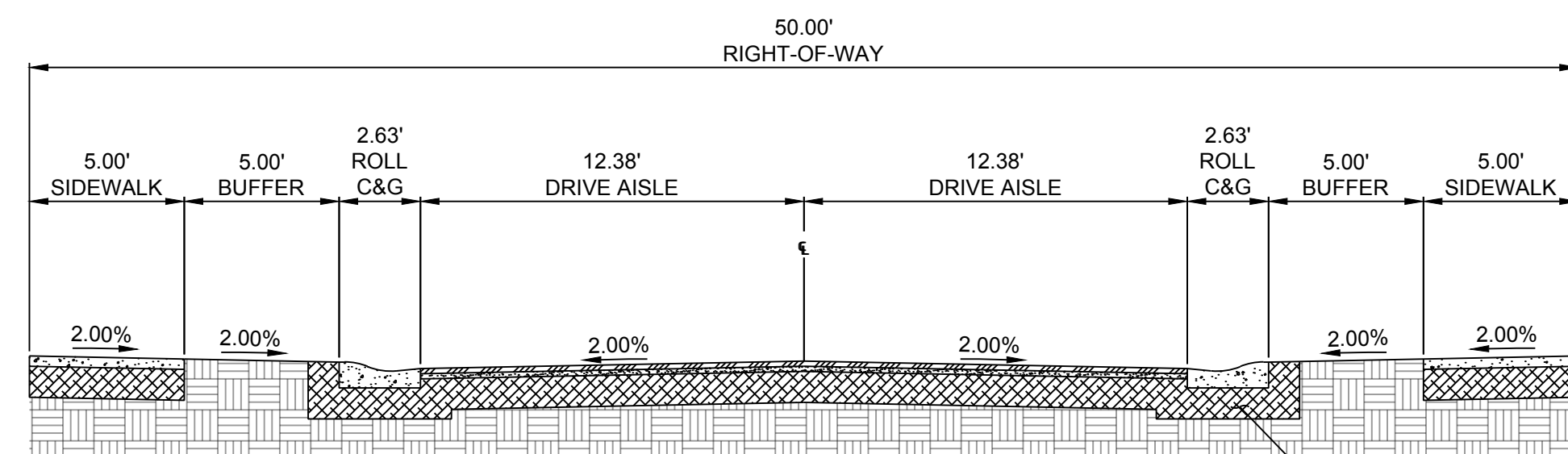
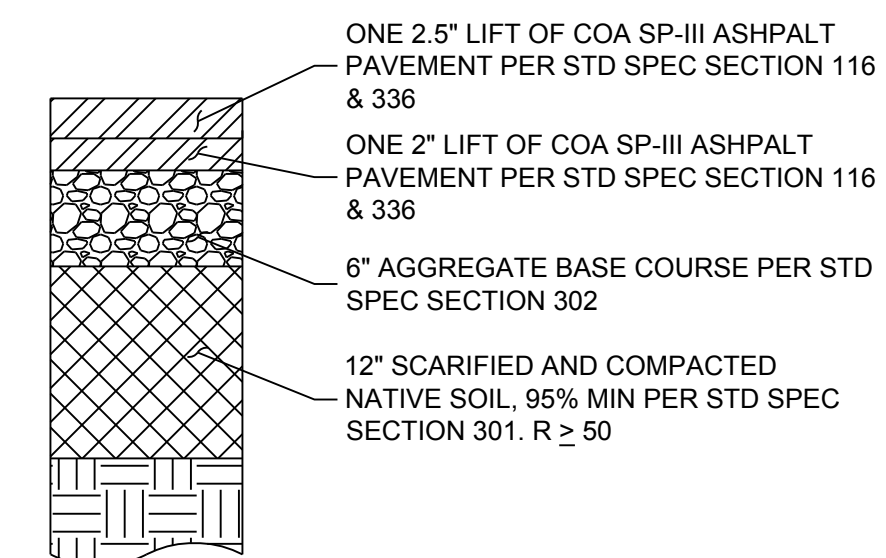
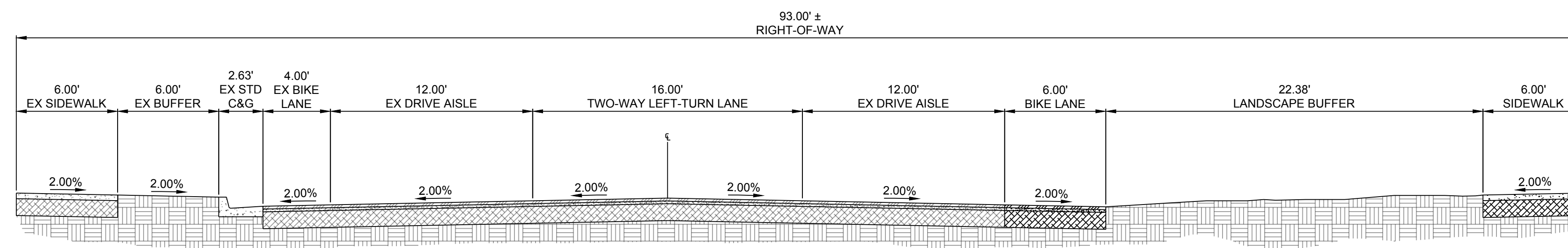
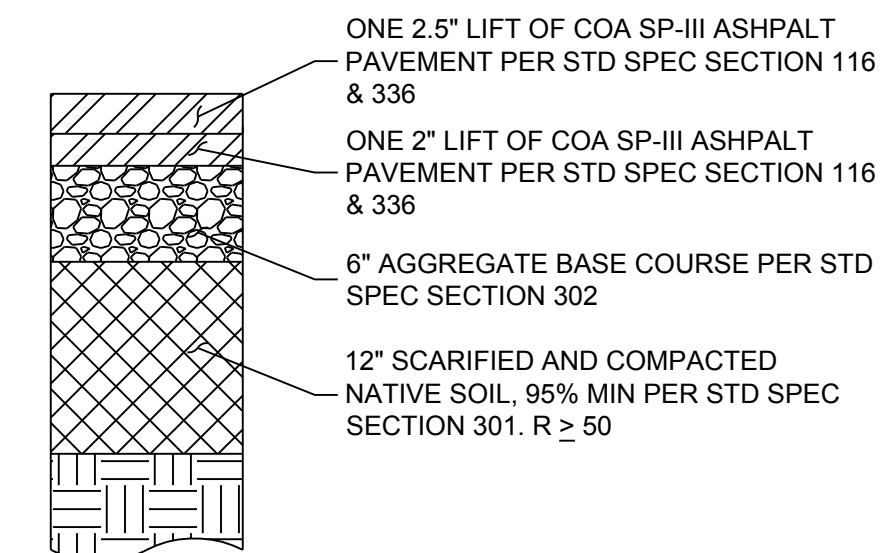
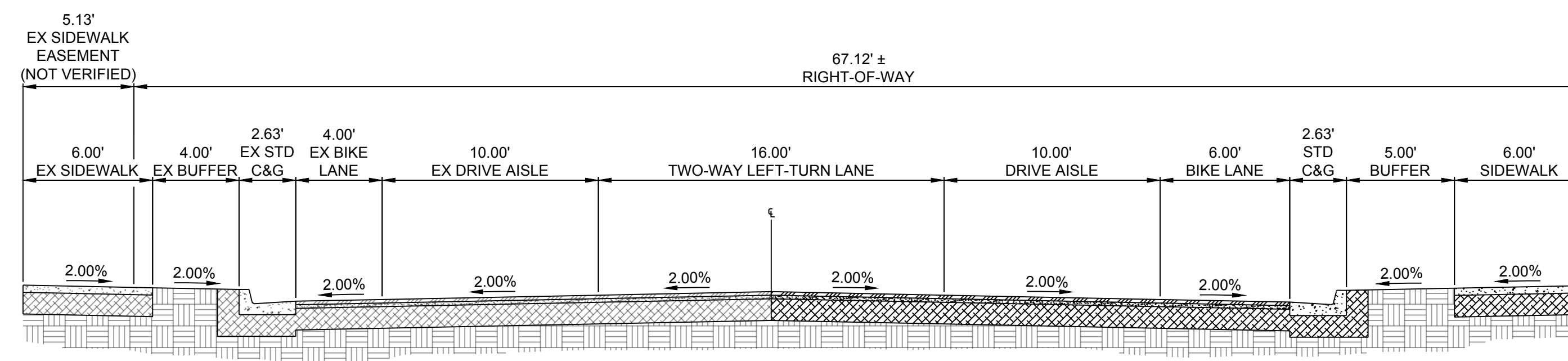
A SCRIBED "4" IN CONCRETE CURB NEAR THE WESTERN END OF THE PROJECT SITE, APPROXIMATELY 12 FEET WEST OF THE EDGE OF ASPHALT OF 86TH STREET SW AND 17 FEET NORTH OF THE EDGE OF ASPHALT OF AN UNNAMED ONE WAY ROAD.

MODIFIED GROUND COORDINATES:

NORTHING = 1,482,056.72 FEET

EASTING	=	1,496,639.51 FEET
ELEVATION	=	5118.73 FEET (NAVD 1988)





NAME: P:\246101 Ashland Bridge and 86th\3. Sheets\12 Proposed Road Cross Sections.dwg Plotted: Apr 23, 2025 3:09pm



CITY OF ALBUQUERQUE  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ENGINEERING DIVISION

## PROPOSED ROAD CROSS SECTIONS

	DESIGN REVIEW COMMITTEE
--	-------------------------

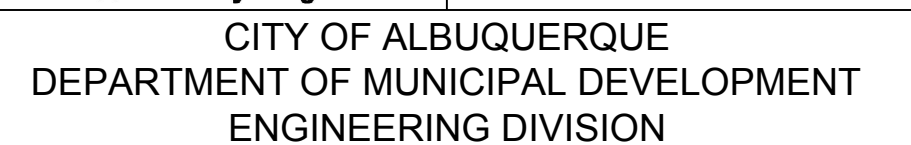
E	CITY ENGINEER APPROVAL
---	------------------------

ZONE MAP NO.	1 0 3 8 1 6 0 0 7
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CITY PROJECT NO. #####

SHEET NO.	12
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DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. L-9-Z & K-09-Z
		CITY PROJECT NO. ####
		SHEET NO. 11

CONSULTANTS

**CDS**

**COMMUNITY DESIGN SOLUTIONS, LLC**  
9384 VALLEY VIEW DR NW, SUITE 100  
ALBUQUERQUE, NEW MEXICO 87114  
PHONE: (505)366-4187

BENCH MARKS

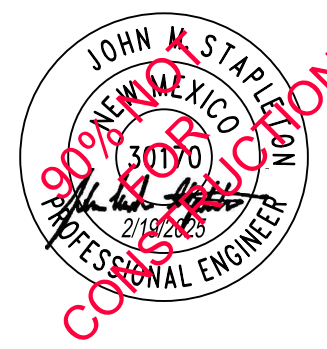
A SCRIBED "4" IN CONCRETE CURB NEAR THE WESTERN END OF THE PROJECT SITE, APPROXIMATELY 12 FEET WEST OF THE EDGE OF ASPHALT OF 86TH STREET SW AND 17 FEET NORTH OF THE EDGE OF ASPHALT OF AN UNNAMED ONE WAY ROAD.

MODIFIED GROUND COORDINATES:

NORTHING = 1,482,056.72 FEET

EASTING	=	1,496,639.51 FEET
ELEVATION	=	5118.73 FEET (NAVD 1988)

SEAL



DESIGNED BY: CDS

DRAWN BY: CDS

CHECKED BY: CDS

DATE	11/08/2024
------	------------

BUQUERQUE

MUNICIPAL DEVELOPMENT  
PLANNING DIVISION

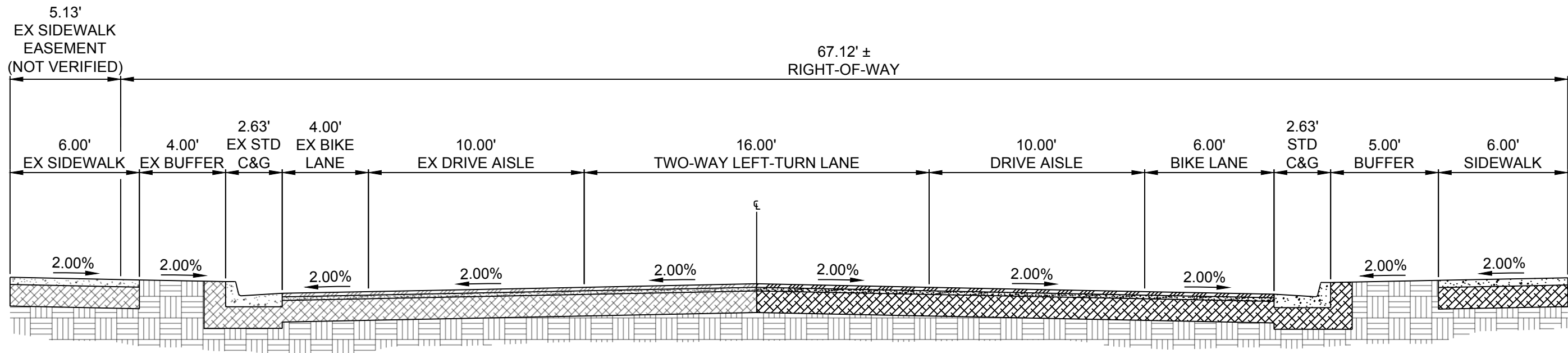
ZONE MAP NO.

L-9-Z & K-09-Z

CITY PROJECT NO.

#####

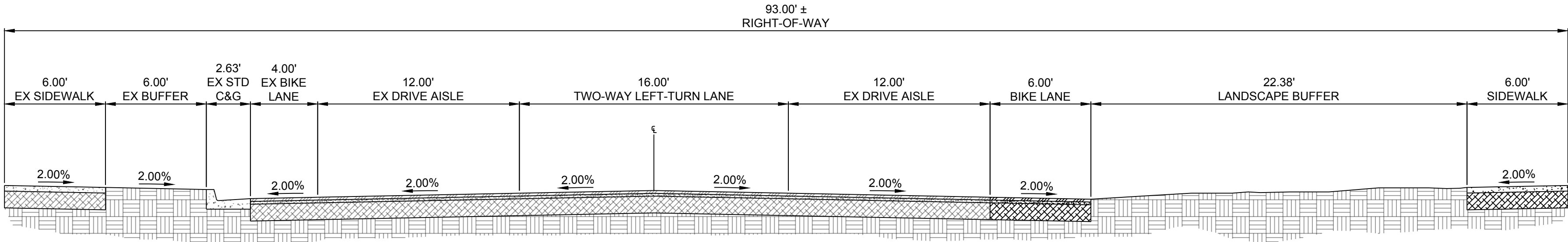
SHEET NO.	11
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1  
13

PROPOSED TYPICAL SECTION - 86TH STREET SW

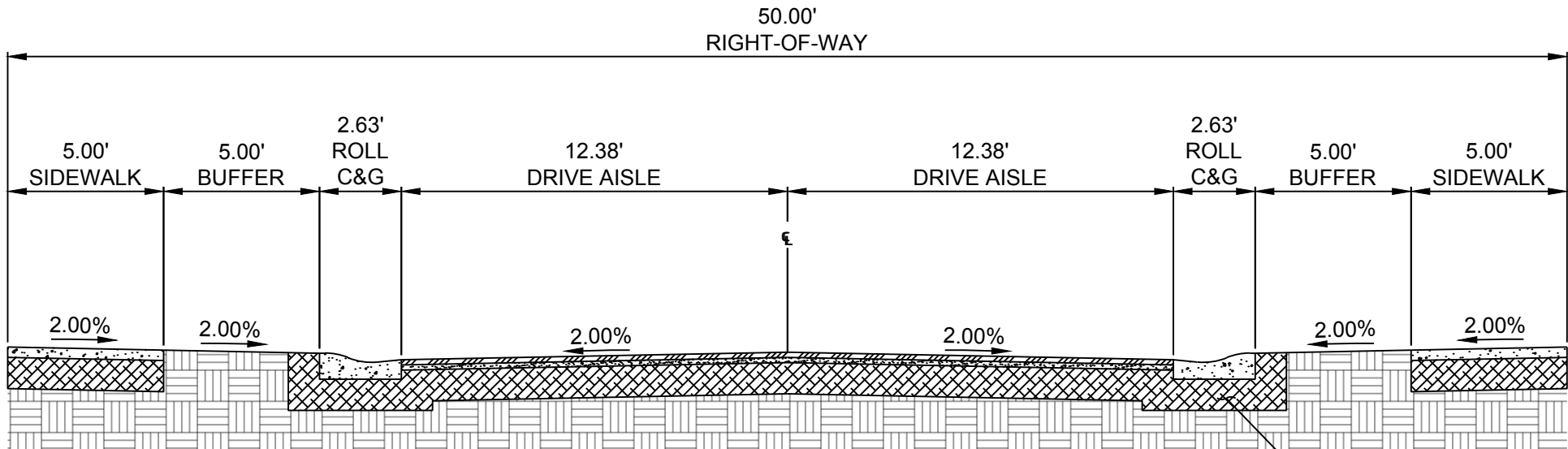
SCALE 1:5



2  
13

PROPOSED TYPICAL SECTION - BRIDGE BLVD SW

SCALE 1:5

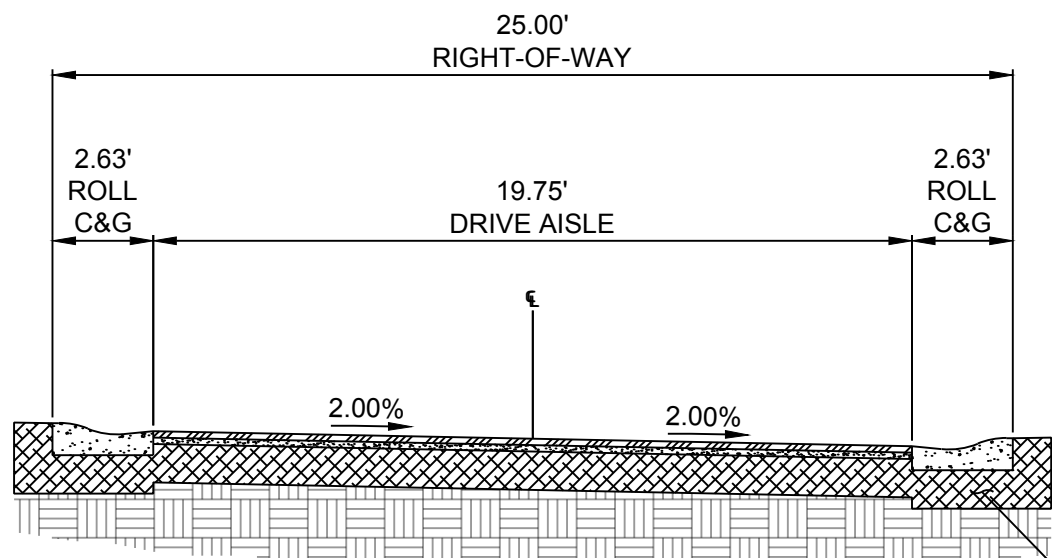


3  
13

PROPOSED TYPICAL SECTION - PRIVATE STREET

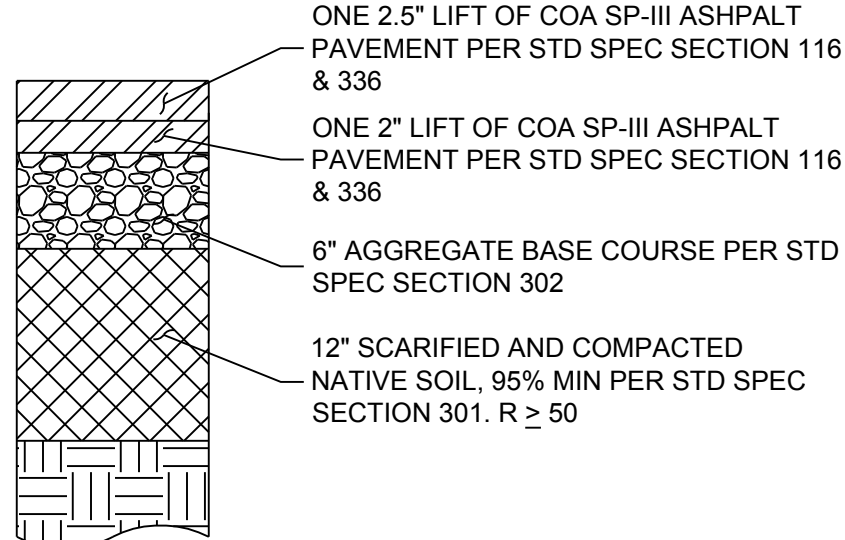
SCALE 1:5

INSTALL FLEXIBLE PAVEMENT SECTION PER CITY OF  
ALBUQUERQUE STANDARD DETAIL 2405A

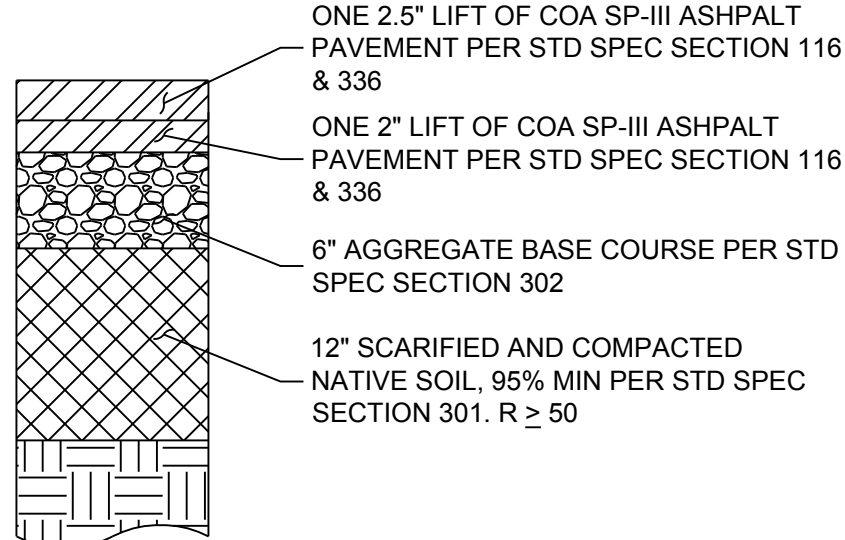


4 PROPOSED TYPICAL SECTION - PRIVATE ALLEY

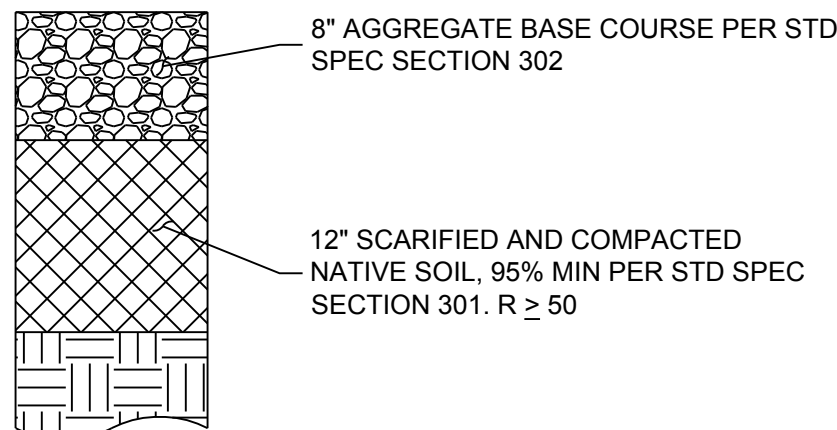
INSTALL FLEXIBLE PAVEMENT SECTION PER CITY OF  
ALBUQUERQUE STANDARD DETAIL 2405A



PROPOSED ARTERIAL/COLLECTOR PAVEMENT SECTION: FOR 86TH STREET SW



PROPOSED ARTERIAL/COLLECTOR PAVEMENT SECTION: FOR BRIDGE BLVD SW



PROPOSED BASE COURSE SECTION: FOR EMERGENCY ACCESS



CITY OF ALBUQUERQUE  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ENGINEERING DIVISION

## PROPOSED ROAD CROSS SECTIONS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. L-9-Z & K-09-Z
		CITY PROJECT NO. ####
		SHEET NO. 12

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

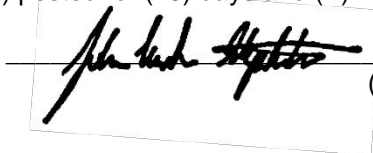
#### 4. TIME

Signs must be posted from May 5, 2025 To May 21, 2025

#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent)

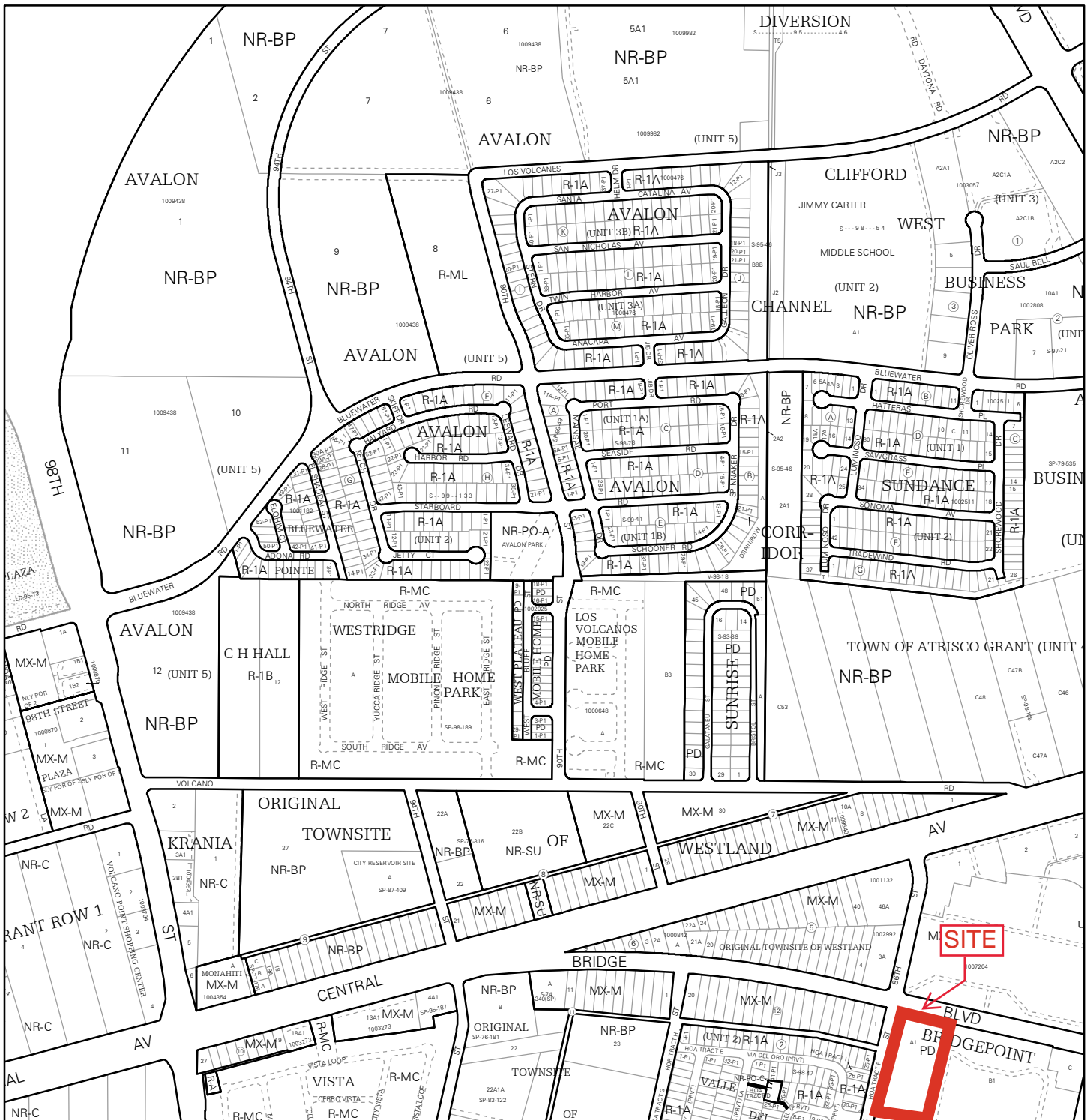
04/24/2025

(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

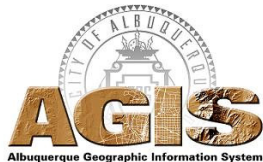
**PROJECT NUMBER:** \_\_\_\_\_



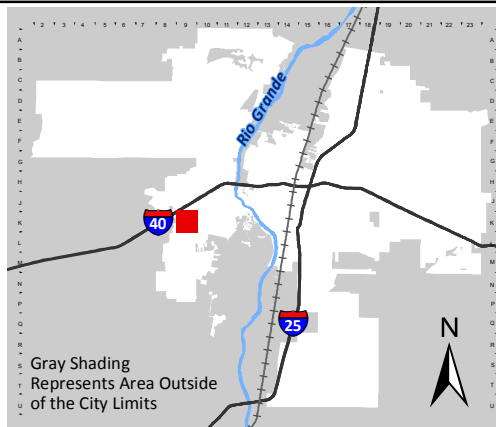


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



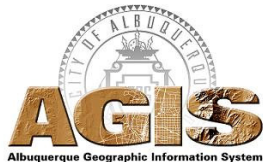
Zone Atlas Page:  
**K-09-Z**

- Easement
  - Escarpment
  - Petroglyph National Monument
  - Areas Outside of City Limits
  - Airport Protection Overlay (APO) Zone
  - Character Protection Overlay (CPO) Zone
  - Historic Protection Overlay (HPO) Zone
  - View Protection Overlay (VPO) Zone
- Gray Shading  
Represents Area Outside  
of the City Limits
- 0 250 500 1,000 Feet

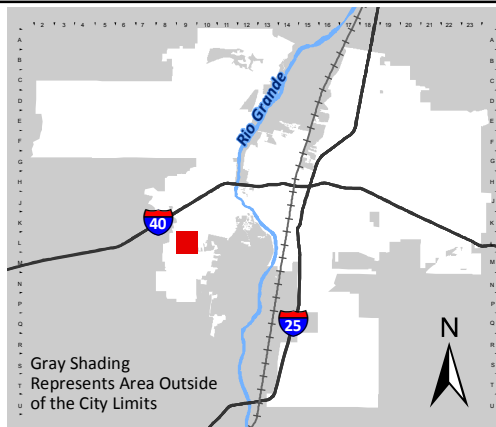


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**L-09-Z**

- Easement
  - Escarpment
  - Petroglyph National Monument
  - Areas Outside of City Limits
  - Airport Protection Overlay (APO) Zone
  - Character Protection Overlay (CPO) Zone
  - Historic Protection Overlay (HPO) Zone
  - View Protection Overlay (VPO) Zone
- Gray Shading  
Represents Area Outside  
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