



PLAN SNAPSHOT REPORT VAC-2025-00024 FOR CITY OF ALBUQUERQUE

Plan Type: Vacation **Project:** PR-2020-004098 (PR-2020-004098) **App Date:** 05/28/2025
Work Class: Public Easement(s) **District:** City of Albuquerque **Exp Date:** NOT AVAILABLE
Status: Submitted - Online **Square Feet:** 0.00 **Completed:** NOT COMPLETED
Valuation: \$0.00 **Assigned To:** **Approval**
Description: Vacate slivers of existing public easement that are now in the new ROW. **Expire Date:**

Parcel: 100905645249810404	Main	Address: 99999 Bridge Blvd Sw Albuquerque, NM	Zone:
		99999 Bridge Blvd Sw Albuquerque, NM 87121	Main

Applicant	Engineer	Owner
Renee Regal	John Stapleton	Nicholas N Blincoe
9384 Valley View Drive NW	9384 Valley View Dr NW	
Suite 100 Suite 100	Albuquerque, NM 87114	
Albuquerque, NM 87114	Business: (505) 545-9607	
Business: (505) 366-4187		
Mobile: (717) 443-3717		

Plan Custom Fields

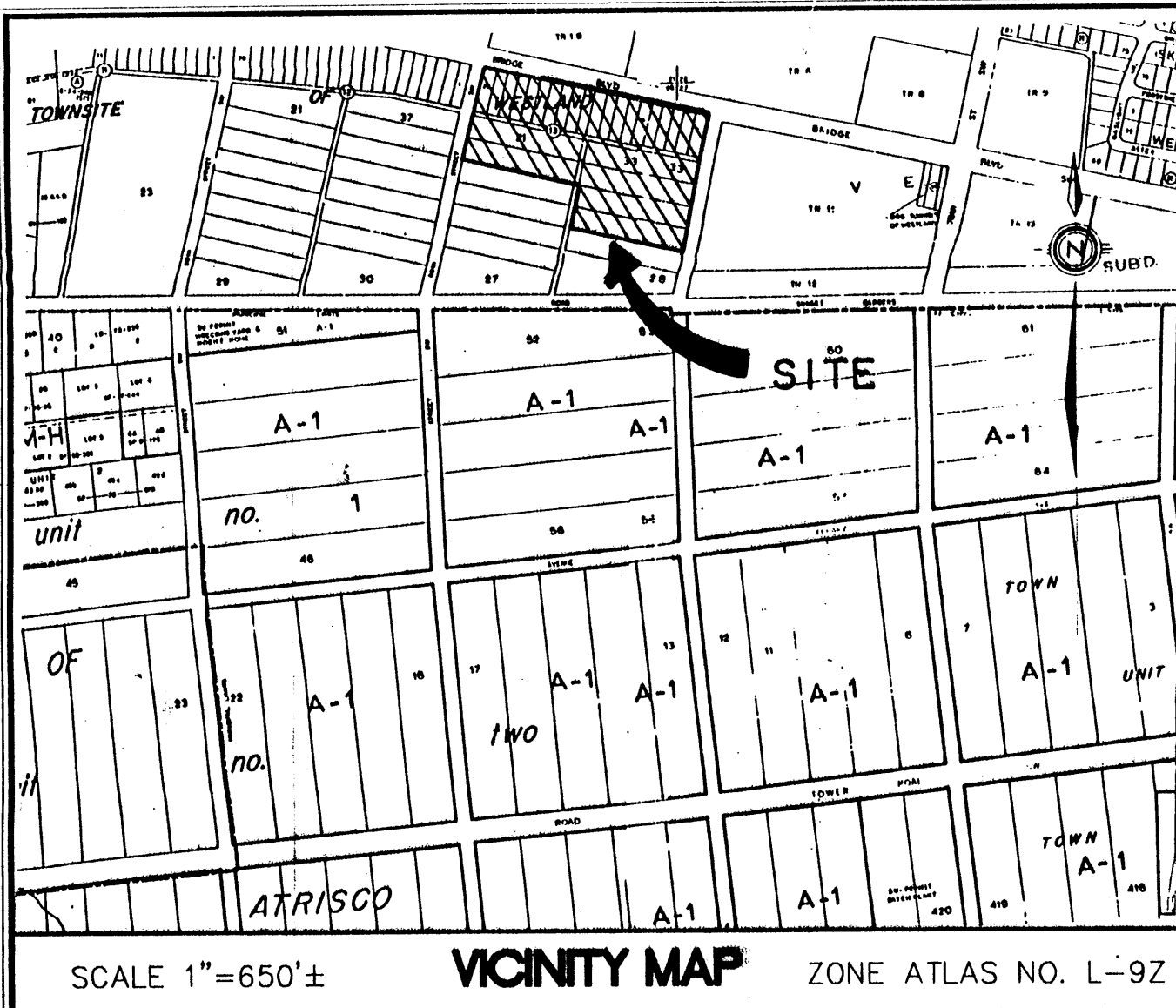
Existing Project NumberPA#: 24-031; (If unknown, type N/A) DRB-95-517; PR-2020-04098	Number of Existing Lots1	Total Area of Site in Acres4.54
Site Location Located Between StreetsBridge Boulevard and 86th Street	Detailed Description of Vacated EasementVacating a 35' x 1' sliver of public water easement that will overlap the new right of way	Do you request an interpreter for the hearing?No
Lot and/or Tract NumberA1	Block Number	Subdivision Name and/or Unit NumberBRIDGEPOINT
Legal DescriptionTR A-1 CORRECTION PLAT FOR BRIDGEPOINT SUBD COMPRISED OF TRA & B BRIDGEPOINT SUBD & ALL LTS 23-29 TOGETHER WITH REMAINDER OF EXISTIN 20' ALLEY R/W ORIG TOWNSITE OF WESTLAND CONT	Existing Zone DistrictPD	Zone Atlas Page(s)K-09, L-09
Acreage4.54	Calculated Acreage4.53367	Council District3
Community Planning Area(s)Southwest Mesa	Development Area(s)Consistency	Current Land Use(s)15 Vacant
Pre-IDO Zoning DistrictSU-1	Pre-IDO Zoning DescriptionPRD 20 DU/A	Major Street Functional Classification4 - urban major collector
FEMA Flood ZoneX		

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Renee_Regal_5/28/2025.jpg	05/28/2025 10:38	Regal, Renee		Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
NOT INVOICED	Published Notice Fee - Legal Ad	\$75.00	\$0.00
	Vacation of Public Easement	\$300.00	\$0.00
	Facilitated Meeting Fee for Public Hearing Cases	\$50.00	\$0.00
	Technology Fee	\$29.75	\$0.00
Total for Invoice NOT INVOICED		\$454.75	\$0.00
Grand Total for Plan		\$454.75	\$0.00

PLAN SNAPSHOT REPORT (VAC-2025-00024)

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Screening v.1		06/04/2025 11:58	
Associate Project Number v.1	Generic Action		06/04/2025 11:58
Screen for Completeness v.1	Generic Action		06/04/2025 12:14
Verify Payment v.1	Generic Action		
Application Review v.1			
DHO Hearing v.1	Hold Hearing		
Vacation Submittal v.1	Receive Submittal		
DFT Comments Submittal v.1	Generic Action		
Notice of Decision v.1			
Print Notice of Decision v.1	Create Report		
Linked Project Plans v.1			



NOTES:

- THE PURPOSE OF THIS PLAT IS TO REPLAT LOTS 1 THROUGH 22 AND LOTS 30 THROUGH 33, BLOCK 13 OF THE ORIGINAL TOWNSITE OF WESTLAND, TOGETHER WITH THE VACATED PORTION OF THE 20' WIDE ALLEY RIGHT-OF-WAY AND THE SOUTHERLY 6' OF BRIDGE BOULEVARD INTO 3 TRACTS FOR PHASE I PER THE APPROVED SITE PLAN (EPC NUMBER Z-95-6).
- ALL BEARINGS SHOWN HEREON ARE GRID BEARING BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM CENTRAL ZONE MEAN DELTA ALPHA = -0°16'25". ALL DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE FROM RECORD PLATS.
- ALL DIMENSIONS PUBLISHED ALONG CURVED LINES ARE ARC DISTANCES. LOT LINES MARKED N/R ARE NON-RADIAL.
- BENCHMARK FOR THIS PLAT IS THE CITY OF ALBUQUERQUE ACS MONUMENT "7-K9" LOCATED ON THE CENTER MEDIAN OF CENTRAL AVENUE AND 530' EAST OF CENTER LINE OF 90TH STREET.
- UNLESS OTHERWISE NOTED, ALL CORNERS ARE EVIDENCED BY A #5 REBAR WITH ALUMINUM CAP STAMPED "P.S. #4972".
- PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE TEN (10) FEET WIDE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 - THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - THE GAS COMPANY OF NEW MEXICO FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH UNDERGROUND LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

- EACH TRACT AND/OR FUTURE PHASES WILL BE RESPONSIBLE FOR ANY MAINTENANCE OF UTILITIES OR INFRASTRUCTURE WITHIN ITS BOUNDARIES AND PRIVATE EASEMENTS.

LEGAL DESCRIPTION:

THAT CERTAIN PARCEL OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT ("PROJECTED" SECTIONS 21, 27 & 28, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING COMPRISED OF LOTS 1-22 AND LOTS 30-33 AND A SOUTHERLY 6' PORTION OF BRIDGE BOULEVARD, S.W. RIGHT-OF-WAY AND A PORTION OF THE EXISTING 20' ALLEY RIGHT-OF-WAY ADJOINING LOTS 1-22, BLOCK 13, "THE ORIGINAL TOWNSITE OF WESTLAND" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 23, 1935, IN VOLUME D, FOLIO 53, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS.

BEGINNING AT THE ALBUQUERQUE CITY SURVEY MONUMENT "7-K9" (ALUMINUM CAP 3 1/4 DIA. RIVETED TO A PIPE 0.20" ABOVE GROUND AND HAVING NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE OF X=355,816.77 AND Y=1,482,842.09), THENCE S44°58'32"E, 982.70 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF BRIDGE BOULEVARD, S.W. (93' RIGHT-OF-WAY), THE NORTHWEST CORNER OF BLOCK 13 "THE ORIGINAL TOWNSITE OF WESTLAND" AND THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE S77°22'28"E, 12.75 FEET TO A POINT ON A CURVE; THENCE NORTHEASTERLY 17.69 FEET ALONG AN ARC OF A CURVE BEARING TO THE RIGHT, (SAID ARC HAVING A RADIUS OF 25.00 FEET, A DELTA OF 040° 32'09", A TANGENT OF 9.23 FEET AND A CHORD THAT BEARS N82°21'27"E 17.32 FEET) TO THE SOUTHERLY RIGHT-OF-WAY OF BRIDGE BOULEVARD, S.W., THENCE S77°22'28"E-988.04 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY 17.69 FEET ALONG AN ARC OF A CURVE BEARING TO THE RIGHT, (SAID ARC HAVING A RADIUS OF 25.00 FEET, A DELTA OF 040°32'09", A TANGENT OF 9.23 FEET, AND A CHORD THAT BEARS S87°08'25"E, 17.32 FEET) TO THE SOUTHERLY RIGHT-OF-WAY OF BRIDGE BOULEVARD, S.W., THENCE S77°22'28"E 8.76 FEET TO THE WESTERLY RIGHT-OF-WAY OF 82ND STREET, S.W. (60' RIGHT-OF-WAY) THENCE S12°38'06"W, 620.00 FEET ALONG THE WESTERLY RIGHT-OF-WAY OF 82ND STREET, SW, TO THE SOUTHEAST CORNER OF LOT 30; THENCE N77°21'54"W, 500.00 FEET TO THE SOUTHWEST CORNER OF LOT 30; THENCE N12°38'03"E, 199.87 FEET ALONG THE EASTERLY RIGHT-OF-WAY OF THE EXISTING 20 FOOT ALLEY TO THE SOUTHWEST CORNER OF LOT 32; THENCE N77°22'12"W, 520.00 FEET TO THE SOUTHWEST CORNER OF LOT 22 AND THE EASTERLY RIGHT-OF-WAY OF 86TH STREET, SW (60' RIGHT-OF-WAY); THENCE N12°37'48"E, 420.00 FEET ALONG THE EASTERLY RIGHT-OF-WAY OF 86TH STREET TO THE POINT AND PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

THE ABOVE DESCRIBED ENCLOSURE CONTAINING 12.2332 ACRES MORE OR LESS.

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE AND ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS (SEE NOTE 7). SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

ABQ PROPERTIES
A NEW MEXICO LIMITED PARTNERSHIP

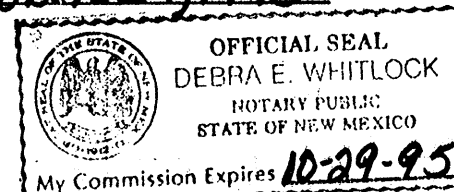
BY: W. David Savage
W. DAVID SAVAGE, MANAGING GENERAL PARTNER

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON March 30, 1995
BY W. DAVID SAVAGE, MANAGING GENERAL PARTNER, INC., ON BEHALF OF SAID CORPORATION.

BY: Debra E. Whitlock
NOTARY PUBLIC

MY COMMISSION EXPIRES: October 29, 1995



SURVEYOR'S CERTIFICATION:

I, C. A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

C. A. SPIROCK, N.M.R.P.S. #4972

3/30/95
DATE

96053168

VACATION AND REPLAT FOR BRIDGEPOINT SUBDIVISION

State of New Mexico) SS
County of Bernalillo)
This instrument was filed for record on 3:54 MAY 10 1995
at 10:00 o'clock a.m. Recorded in 96C-418
of records of said County Folio 1995
Debra E. Whitlock, Clerk & Recorder
Deputy Clerk

COMPRISED OF
LOTS 1-22 AND LOTS 30-33
AND A SOUTHERLY 6' PORTION OF BRIDGE BLVD. S.W. RIGHT-OF-WAY
AND A PORTION OF EXISTING 20' ALLEY RIGHT-OF-WAY OF
THE ORIGINAL TOWNSITE OF WESTLAND
SITUATE WITHIN
TOWN OF ATRISCO GRANT
"PROJECTED" SECTIONS 21, 27, AND 28; R 2 E, T 10 N
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 1995

SCANNED

SUBDIVISION DATA:

CASE NO.	DRB-95-139
GROSS SUBDIVISION ACREAGE	12.2331 AC
ZONE ATLAS INDEX NO.	L-9Z
NO. OF EXISTING LOTS	25
NO. OF TRACTS CREATED	3
MILES OF FULL-WIDTH STREETS CREATED	N/A
DATE OF SURVEY	FEBRUARY, 1995
S.P. TALOS LOG NO.	95-03-28-1100-0325

APPROVALS:

SUBDIVISION CASE NUMBER	96-96-119	DATE	5-10-96
CITY PLANNER/ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION	<u>[Signature]</u>	DATE	6-13-95
PARKS AND GENERAL SERVICE DEPARTMENT	<u>[Signature]</u>	DATE	6-13-95
TRAFFIC ENGINEER/TRANSPORTATION DEPARTMENT	<u>[Signature]</u>	DATE	5-8-96
CITY ENGINEER, ENGINEERING DIVISION	<u>[Signature]</u>	DATE	5-8-96
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	<u>[Signature]</u>	DATE	6-13-95
UTILITY DEVELOPMENT	<u>[Signature]</u>	DATE	03-20-95
CITY SURVEYOR, ENGINEERING DIVISION	<u>[Signature]</u>	DATE	3-1-96
PROPERTY MANAGEMENT	<u>[Signature]</u>	DATE	4-12-95
GAS COMPANY OF NEW MEXICO	<u>[Signature]</u>	DATE	4-12-95
PUBLIC SERVICE COMPANY OF NEW MEXICO	<u>[Signature]</u>	DATE	4-11-95
USWEST COMMUNICATIONS, INC.	<u>[Signature]</u>	DATE	

In approving this plat, P.N.M./GAS CO
OF NM do not waive or release any
easement or easement rights which may
have been granted by prior plat, replat,
or other document which are not shown
on this plat.

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #'s:

LOT 1 THRU LOT 20, BLOCK 13,	UPC# 100905649051540410
LOT 21, BLOCK 13	UPC# 100905648450510428
LOT 22, BLOCK 13	UPC# 100905648249510429
LOT 30, BLOCK 13	UPC# 100905680846310404
LOT 31, BLOCK 13	UPC# 100905651047310405
LOT 32, BLOCK 13	UPC# 100905651248310406
LOT 33, BLOCK 13	UPC# 100905651449310407

PROPERTY OWNER OF RECORD: ABQ PROPERTIES, LIMITED PARTNERSHIP

BERNALILLO COUNTY TREASURER'S OFFICE:

BY: Bernita Santillana

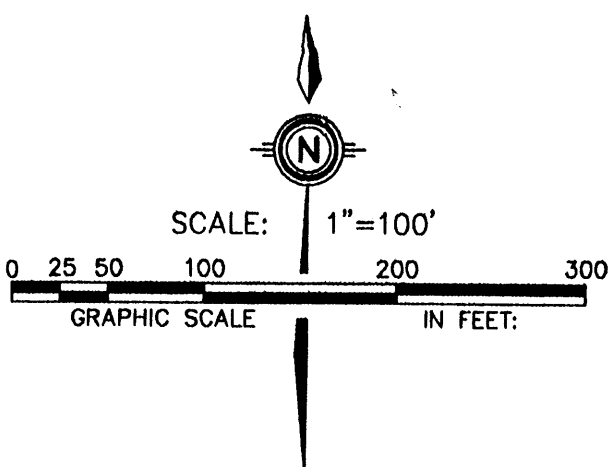
DATE: 5-10-96



SHEET 1 OF 2

DATE: MAR, 1995	community sciences corporation
SCALE: 1"=100'	
DESIGNED: SPS	
DRAWN: DLW	
JOB NO.: 57-01-025	
LAND PLANNING P.O. Box 1328	ENGINEERING Corrales, N.M. 87048

Superceded 10-4-1996, 96C-418 - Corrected Plat



N44°58'32"W, 962.70' (GRND)
TIE: ACS ALUMINUM CAP "7-K9"
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE) NAD 1927
X= 355,815.77 Y= 1,482,842.09
DELTA ALPHA = -0°16'37"
G TO G=0.99967820 ELEV.=5137.36

CURVE DATA					
Iden	Radius	Arc	Delta	Chord	Chord Brg
C1	25.00	17.69	040-32-08	17.32	S57-06-25E
C2	25.00	21.59	049-28-27	20.92	S12-06-08E
C3	25.00	39.27	090-00-35	35.36	S32-22-11E
C4	25.00	17.69	040-32-09	17.32	N82-21-27E
C5	25.00	39.27	089-59-43	35.35	N57-37-40E
C6	25.00	21.58	049-27-34	20.92	N37-21-35E
C7	5.00	7.85	090-00-00	7.07	S32-22-29E
C8	50.00	17.45	020-00-00	17.36	S67-22-29E
C9	50.00	17.45	020-00-00	17.36	N67-22-29W
C10	50.00	21.82	025-00-02	21.64	N89-52-30W
C11	70.00	69.32	056-44-30	66.52	S74-00-15E
C12	70.00	71.18	058-15-30	68.15	S16-30-15E
C13	5.00	7.85	090-00-00	7.07	N57-37-45E
C14	25.00	28.86	066-08-29	27.28	S44-18-01E
C15	70.00	3.85	003-09-00	3.85	S14-11-59W

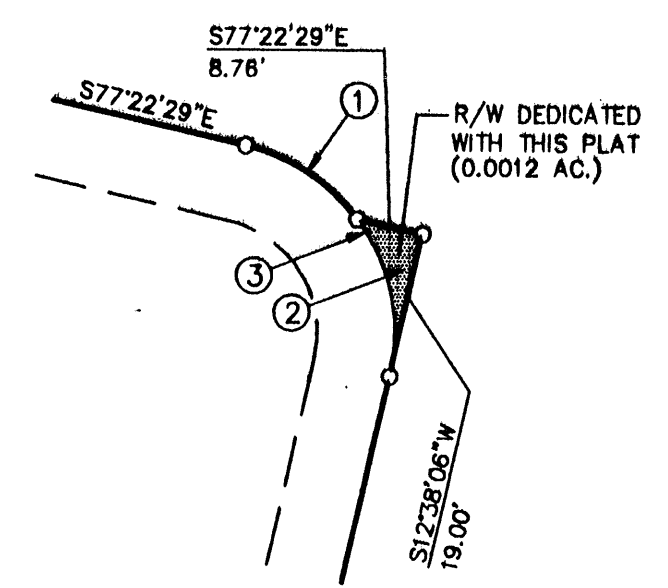
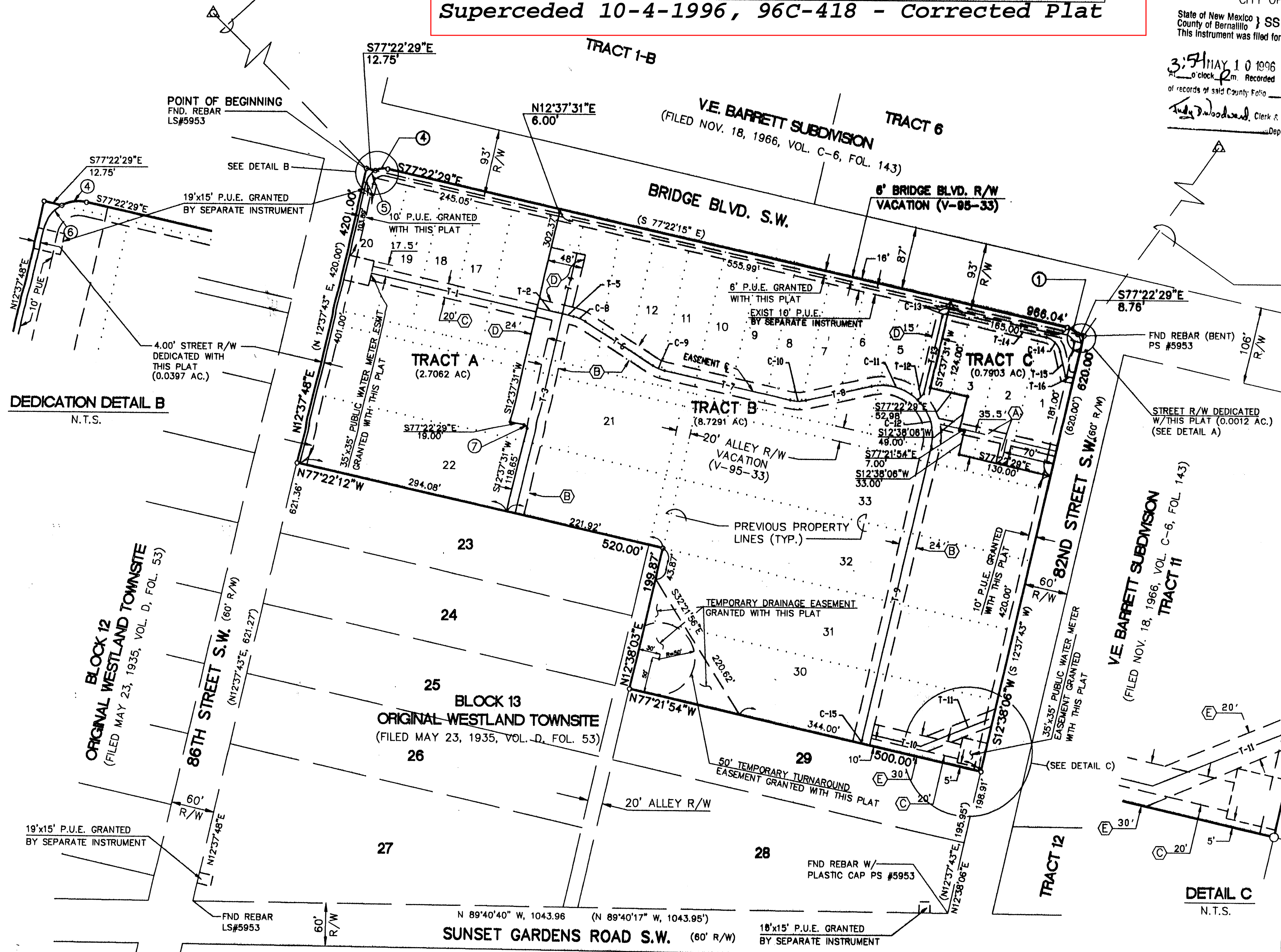
SCANNED
96053168
VACATION AND REPLAT
FOR
BRIDGEPOINT SUBDIVISION

COMPRISED OF
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"PROJECTED" SECTIONS 21, 27, AND 28; R 2 E, T 10 N
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 1996

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on
3:51 MAY 10 1996
at 10 o'clock P.M. Recorded in Vol. 96C
of records of said County Folio 192
Tudy J. Woodward, Clerk & Recorder
Deputy Clerk

EASEMENT TANGENT TABLE		
T-1	S77-22-29E	235.06
T-2	S77-22-29E	36.06
T-3	N12-37-31E	285.64
T-4	N12-37-31E	86.00
T-5	S77-22-29E	15.73
T-6	S57-22-29E	111.51
T-7	S77-22-29E	179.89
T-8	N77-37-30E	93.37
T-9	S12-38-21W	422.14
T-10	S77-21-54E	69.07
T-11	N68-00-52E	107.92
T-12	N44-21-40E	11.97
T-13	N12-37-45E	109.09
T-14	N77-22-15W	141.96
T-15	S13-47-19E	34.66
T-16	S77-21-54E	11.62

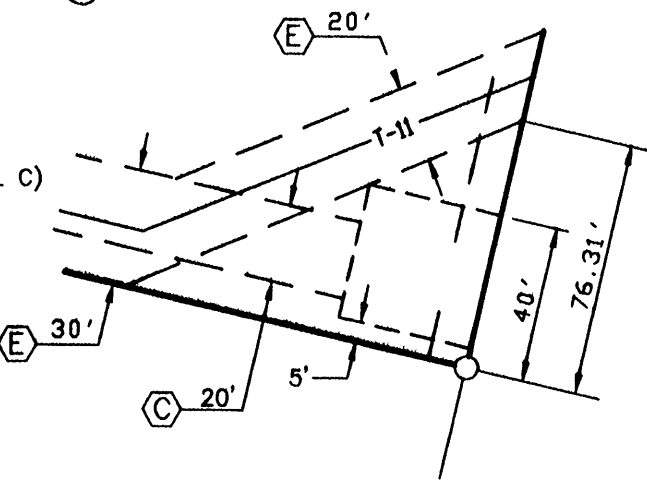
N35°10'25"E, 2126.75' (GRND)
TIE: ACS ALUMINUM CAP "7-K10, 1989"
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE) NAD 1927
X= 358,716.71 Y= 1,483,676.54
DELTA ALPHA = -0°16'17"
G TO G=0.99967921 ELEV.=5095.142



DEDICATION DETAIL A
N.T.S.

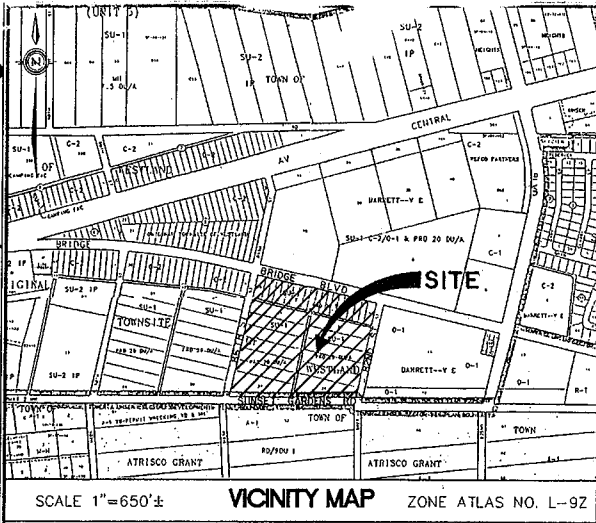
- KEY NOTE:**
- (A) 15' PRIVATE SANITARY SEWER EASEMENT TO BENEFIT TRACTS A & B GRANTED WITH THIS PLAT.
 - (B) 24' WIDE PRIVATE CROSS ACCESS, DRAINAGE, SANITARY SEWER & WATER LINE EASEMENT TO BENEFIT TRACTS A, B & LOTS 23-29 BLK 13. GRANTED WITH THIS PLAT. (REF. SITE PLAN Z-95-8) (SEE NOTE 8 SHEET 1 OF 2)
 - (C) 20' WIDE PRIVATE WATER LINE EASEMENT GRANTED WITH THIS PLAT.
 - (D) PRIVATE DRAINAGE EASEMENT GRANTED WITH THIS PLAT.
 - (E) PUBLIC DRAINAGE EASEMENT GRANTED WITH THIS PLAT.

V.E. BARRETT SUBDIVISION
TRACT II
(FILED NOV. 18, 1966, VOL. C-6, FOL. 143)



DETAIL C
N.T.S.

TRACT 52
TOWN OF ATRISCO GRANT UNIT TWO
(FILED DEC. 05, 1944, VOL. D, FOL. 118)



NOTES:

- THE PURPOSE OF THIS PLAT IS TO REPLAT TRACTS A AND B OF THE ORIGINAL BRIDGEPOINT SUBDIVISION AND LOTS 23 THROUGH 29, BLOCK 13 OF THE ORIGINAL TOWNSITE OF WESTLAND AND TO VACATE REMNANT PORTION OF AN EXISTING 20' ALLEY, TEMPORARY DRAINAGE EASEMENT AND TEMPORARY TURNAROUND EASEMENT (V98-34).
- ALL BEARINGS SHOWN HEREON ARE GRID BEARING BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM CENTRAL ZONE MEAN DELTA ALPHA = -00°16'25". ALL DISTANCES ARE GROUND DISTANCES.
- ALL DIMENSIONS PUBLISHED ALONG CURVED LINES ARE ARC DISTANCES.
- BENCHMARK FOR THIS PLAT IS THE CITY OF ALBUQUERQUE ACS MONUMENT "740" LOCATED ON THE CENTER MEDIAN OF CENTRAL AVENUE AND 530' EAST OF CENTER LINE OF 90TH STREET.
- UNLESS OTHERWISE NOTED, ALL CORNERS ARE EVIDENCED BY A #5 REBAR WITH ALUMINUM CAP STAMPED "P.S. #3794".
- PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE TEN (10) FEET WIDE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 - PNM ELECTRIC SERVICES OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - THE PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - US WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH UNDERGROUND LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

- EACH TRACT AND/OR FUTURE PHASES WILL BE RESPONSIBLE FOR ANY MAINTENANCE OF UTILITIES OR INFRASTRUCTURE WITHIN ITS BOUNDARIES AND PRIVATE EASEMENTS.

LEGAL DESCRIPTION

THAT CERTAIN PARCEL OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT ("PROJECTED" SECTIONS 21, 27 & 28, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING COMPRISED OF TRACTS A AND B OF BRIDGEPOINT SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 10, 1995, IN VOLUME 960 FOLIO 192, AND ALL OF LOTS 23-29, BLOCK 13, AND THE REMAINDER OF THE EXISTING 20' ALLEY RIGHT-OF-WAY ADJOINING LOTS 23-29, BLOCK 13, "THE ORIGINAL TOWNSITE OF WESTLAND" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 23, 1995, IN VOLUME D, FOLIO 53, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE ALBUQUERQUE CITY SURVEY MONUMENT "740" (ALUMINUM CAP 3/4 DIA. RIVETED TO A PIPE 0.20" ABOVE GROUND AND HAVING NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE OF X = 355,915.77, AND Y = 1,402,042.00); THENCE S48°10'30"E, 90.10 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF BRIDGE BOULEVARD, S.W. 100' (RIGHT-OF-WAY), SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE, S77°22'29"E, A DISTANCE OF 801.04 FEET; THENCE, S12°37'31"W, A DISTANCE OF 124.00 FEET; THENCE, S77°22'29"E, A DISTANCE OF 82.00 FEET; THENCE, S12°38'00"W, A DISTANCE OF 45.00 FEET; THENCE, S77°21'54"E, A DISTANCE OF 7.00 FEET; THENCE S12°38'00"W, A DISTANCE OF 33.00 FEET; THENCE, S77°22'29"E, A DISTANCE OF 130.00 FEET; THENCE, S12°38'00"W, A DISTANCE OF 618.91 FEET; THENCE N89°40'40"W, A DISTANCE OF 1,043.96 FEET; THENCE, N12°37'48"E, A DISTANCE OF 821.36 FEET; THENCE S77°22'12"E, A DISTANCE OF 4.00 FEET; THENCE N12°37'48"E, A DISTANCE OF 40.00 FEET; THENCE, ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 23.00 FEET, ARC LENGTH OF 30.27 FEET, CENTRAL ANGLE OF 09°59'43", A CHORD BEARING OF N57°37'40"E, AND A CHORD LENGTH OF 35.35 FEET TO THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED, AND CONTAINS 21.0849 ACRES (914.58 SQUARE FEET), MORE OR LESS.

FREE CONSENT AND DEDICATION

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETOR(S) THEREOF AND SAID OWNERS AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL, POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS (SEE NOTE 6). SAID OWNERS AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

ADD PROPERTIES LIMITED PARTNERSHIP

A LIMITED PARTNERSHIP

BY: Bern Montijo
EXECUTIVE DIRECTOR
GREATER ALBUQUERQUE HOUSING PARTNERSHIP
ITS CO-GENERAL PARTNER

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 18, 1996 BY
BEN MONTIJO, EXECUTIVE DIRECTOR, GREATER ALBUQUERQUE HOUSING PARTNERSHIP, ITS CO-GENERAL PARTNER, ON BEHALF OF SAID PARTNERSHIP.

BY: Adrian P. Vigil
NOTARY PUBLIC

MY COMMISSION EXPIRES: 9/4/99

-AND-

ERC-LLC LTD. CO.
A LIMITED LIABILITY COMPANY

BY: W. David Savage
OPERATING MANAGER
LANDMARK LAND LTD. CO.
ITS CO-OPERATING MANAGER

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 18, 1996 BY W. DAVID SAVAGE, AS OPERATING MANAGER OF LANDMARK LAND LTD. CO., CO-OPERATING MANAGER OF ERC-LLC LTD. CO., AND AS CEO OF SAVAGE-THOMAS HOMES, INC., ATTORNEY IN FACT FOR ERC PROPERTIES, INC., CO-OPERATING MANAGER OF ERC-LLC LTD. CO.

BY: Debra E. Whitlock
NOTARY PUBLIC

MY COMMISSION EXPIRES: October 29, 1999

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

TRACT A (PLAT FILED MAY 10TH 1996, FORMERLY LOTS 16-22)
LOTS 18-20, 1-009-058-432-521-10420
(OUT OF CODE 1-009-058-432-515-10410)
LOT 21, 1-009-058-432-515-10410
LOT 22, 1-009-058-432-515-10410

TRACT B (PLAT FILED MAY 10TH 1996, FORMERLY LOTS 1-15 & 30-33)
LOTS 1-15, 1-009-058-432-515-10410
(OUT OF CODE 1-009-058-432-515-10410)
LOT 30, 1-009-058-432-515-10410
LOT 31, 1-009-058-432-515-10410
LOT 32, 1-009-058-432-515-10410
LOT 33, 1-009-058-432-515-10410
LOT 23, 1-009-058-432-515-10410
LOT 24, 1-009-058-432-515-10410
LOT 25, 1-009-058-432-515-10410
LOT 26, 1-009-058-432-515-10410
LOT 27, 1-009-058-432-515-10410
LOT 28, 1-009-058-432-515-10410
LOT 29, 1-009-058-432-515-10410

PROPERTY OWNER OF RECORD: ADD PROPERTIES LIMITED PARTNERSHIP & ERC-LLC LTD. CO.

BERNALILLO COUNTY TREASURERS OFFICE:

BY: Chasandra L. Allen

DATE: 6-23-96

96070220

VACATION AND REPLAT
FOR
BRIDGEPOINT SUBDIVISION

COMPRISED OF
TRACT A & TRACT B OF THE BRIDGEPOINT SUBDIVISION
AND ALL OF LOTS 23-29, TOGETHER WITH
THE REMAINDER OF AN EXISTING 20' ALLEY RIGHT-OF-WAY OF
THE ORIGINAL TOWNSITE OF WESTLAND
SITUATE WITHIN
TOWN OF ATRISCO GRANT

State of New Mexico) SS
County of Bernalillo)
This instrument was filed for record on

21 JUN 24 1996

at 4:45 P.M. Recorded in Volume

of records of said County File # 96-0209-1545-0412
by Debra E. Whitlock Clerk & Recorder
Deputy Clerk

"PROJECTED" SECTIONS 21, 27, AND 28; T 10 N, R 2 E,
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE, 1996

SUBDIVISION DATA:

CASE NO.	V-96-34-DRB-95-139
GROSS SUBDIVISION ACREAGE	21.0849 AC
ZONE ATLAS INDEX NO.	L-92
NO. OF EXISTING LOTS	2
NO. OF EXISTING TRACTS	2
NO. OF TRACTS CREATED	2
MILES OF FULL-WIDTH STREETS CREATED	N/A
DATE OF SURVEY	JUNE 1996
S.P. LOG NO.	96-0209-1545-0412

APPROVALS:

SUBDIVISION CASE NUMBER DRB-95-517
CITY PLANNER/ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION
Calvin K. Fung
PARKS AND GENERAL SERVICE DEPARTMENT
Paul J. Brown
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT
Frank J. Brown
CITY ENGINEER, ENGINEERING DIVISION
Robert W. Kane
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY
Michael L. Miller
UTILITY DEVELOPMENT
Paul J. Brown
CITY SURVEYOR, ENGINEERING DIVISION
Paul J. Brown
PROPERTY MANAGEMENT
Paul J. Brown
PNM GAS SERVICES
Paul J. Brown
PNM ELECTRIC SERVICES
Norma S. Carrillo
US WEST COMMUNICATIONS, INC.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYOR'S CERTIFICATION:

I, R. C. MILLER, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

R. C. Miller
R. C. MILLER, N.M.P.S. #3794

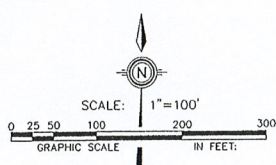


SHEET 1 OF 2

DATE: JUNE, 1996
SCALE: 1"=100'
SHEET: 207/84-67
DESIGNED: SP5
DRAWN: DER
FOR NO. 57-01-645

community
sciences
corporation
LAND PLANNING
P.O. Box 1328
Corrales, N.M. 87048
ENGINEERING
Corrales, N.M. 87048
SURVEYING
Corrales, N.M. 87048

96C-2756
COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000 (505) 897-7966



S46°10'30"E, 984.51' (GRND)
TIE: ACS ALUMINUM CAP "7-K9"
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE) NAD 1927
X = 355,815.77 Y = 1,482,842.09
DELTA ALPHA = -0°16'37"
G TO G=0.99967820 ELEV.=5137.36

CURVE DATA					
Iden	Radius	Arc	Delta	Chord	Chord Brg
C1	20.00	27.12	077-41-14	25.09	S51-28-43W
C2	25.00	44.64	102-10-28	38.94	N30-31-28W
C3	25.00	39.27	089-59-43	35.35	N57-37-40E
C4	15.00	23.56	090-00-17	21.21	S57-37-40W
C5	5.00	7.85	090-00-00	7.07	S30-22-29E
C6	70.00	94.93	077-41-50	87.82	S51-28-25W
C7	70.00	124.99	102-10-11	109.03	N38-31-35W
C8	70.00	36.66	030-00-17	36.24	N74-40-32W
C9	70.00	88.33	072-17-54	82.58	N23-31-26W
C10	50.00	17.45	020-00-00	17.36	S67-22-29E
C11	50.00	17.45	020-00-00	17.36	S67-22-29E
C12	50.00	21.82	025-00-02	21.64	S89-52-30E
C13	70.00	68.67	056-12-29	68.95	S74-16-16E
C14	70.00	71.83	058-47-31	68.72	S16-46-16E
C15	5.00	7.85	090-00-14	7.07	N57-37-38E

96070220

VACATION AND REPLAT FOR BRIDGEPOINT SUBDIVISION

COMPRISED OF
TRACT A & TRACT B OF THE BRIDGEPOINT SUBDIVISION
AND ALL OF LOTS 23-29, BLOCK 13, TOGETHER WITH
THE REMAINDER OF AN EXISTING 20' ALLEY RIGHT-OF-WAY OF
THE ORIGINAL TOWNSITE OF WESTLAND
SITUATE WITHIN
TOWN OF ATRISCO GRANT
"PROJECTED" SECTIONS 21, 27, AND 28; T 10 N, R 2 E,
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE, 1996

EASEMENT TANGENT TABLE		
T-1	S77-22-29E	235.86
T-2	S77-22-29E	36.00
T-3	S12-37-31W	568.95
T-4	N12-37-31E	86.00
T-5	S77-22-29E	15.79
T-6	S57-22-29E	111.51
T-7	S77-22-29E	179.89
T-8	N77-37-30E	93.37
T-10	S77-21-54E	69.07
T-11	N68-00-52E	107.92
T-12	N43-49-59E	12.00
T-13	N12-37-31E	108.67
T-17	S89-40-40E	409.40
T-18	S30-19-37W	217.84
T-19	S77-22-12E	306.11

State of New Mexico 1 SS
County of Bernalillo 1
This instrument was filed for record on
3:21 JUN 24 1996
at 3:21 P.M. Recorded in Vol. 96C
of records of said County File # 96C-2756
Audrey J. [Signature] Clerk & Recorder
Deputy Clerk

N39°48'21"E, 2201.96' (GRND)
TIE: ACS ALUMINUM CAP "7-K10, 1989"
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE) NAD 1927
X = 358,716.71 Y = 1,483,676.54
DELTA ALPHA = -0°16'17"
G TO G=0.99967921 ELEV.=5095.142

BLOCK 12
ORIGINAL WESTLAND TOWNSITE
(FILED MAY 23, 1935, VOL. D, FOL. 53)

DETAIL D
N.T.S.

TRACT C
BRIDGEPOINT SUBDIVISION
FILED: 5-10-96, VOL. 96C, FOL. 192

TRACT 12
V.E. BARRETT SUBDIVISION
TRACT 11
(FILED NOV. 18, 1966, VOL. C-6, FOL. 143)

DEDICATION DETAIL A
N.T.S.

KEY NOTE:

- (A) EXIST 15' PRIVATE SANITARY SEWER EASEMENT TO BENEFIT TRACT B-1 (FILED: 5-10-96, VOL. 96C, FOL. 192)
- (B) EXIST 24' WIDE PRIVATE CROSS ACCESS, DRAINAGE, SANITARY SEWER & WATER LINE EASEMENT TO BENEFIT TRACTS A-1 AND B-1 (FILED: 5-10-96, VOL. 96C, FOL. 192 (REF. SITE PLAN Z-95-6))
- (C) EXIST 20' WIDE PRIVATE WATER LINE EASEMENT (FILED: 5-10-96, VOL. 96C, FOL. 192)
- (D) EXIST PRIVATE DRAINAGE EASEMENT (FILED: 5-10-96, VOL. 96C, FOL. 192)
- (E) EXIST PUBLIC DRAINAGE EASEMENT (FILED: 5-10-96, VOL. 96C, FOL. 192)
- (F) 24' WIDE PRIVATE CROSS ACCESS, DRAINAGE, SANITARY SEWER & WATER LINE EASEMENT TO BENEFIT TRACTS A-1, B-1 GRANTED WITH THIS PLAT
- (G) PUBLIC DRAINAGE EASEMENT GRANTED WITH THIS PLAT, SAID EASEMENT SUBJECT TO VACATION UPON SUNSET GARDENS STORM DRAIN SYSTEM COMPLETION

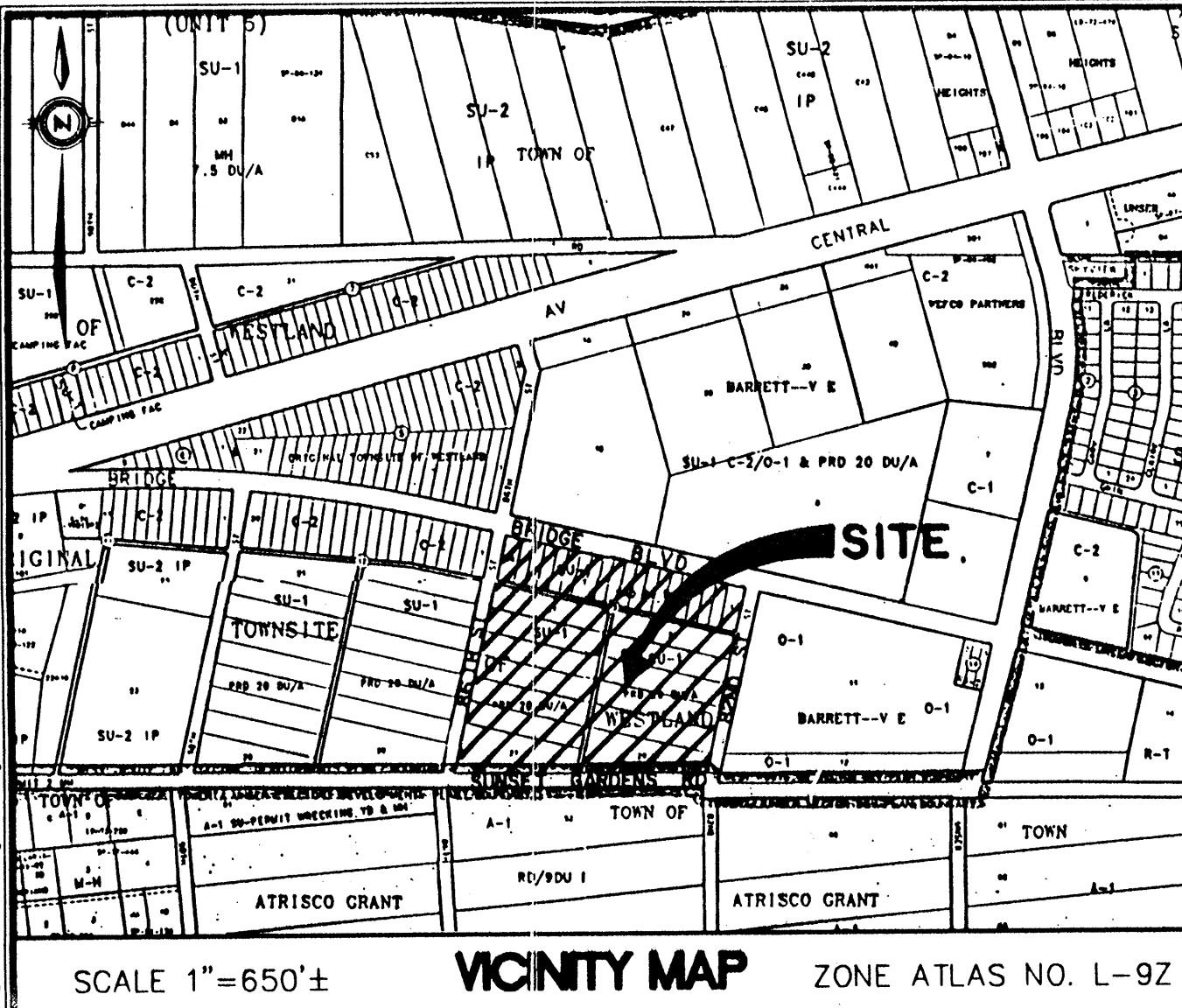
DATE: JUNE, 1996
SCALE: 1"=100'
F8/PS: 207/64-67
DESIGNED: SPS
DRAWN: DER
JOB NO.: 57-01-645

SHEET 2 OF 2

community
sciences
corporation

LAND PLANNING P.O. Box 1328 ENGINEERING SURVEYING Corrales, N.M. 87048

96C-2756



NOTES:

- THE PURPOSE OF THIS PLAT IS TO REPLAT TRACTS A AND B OF THE ORIGINAL BRIDGEPOINT SUBDIVISION AND LOTS 23 THROUGH 29, BLOCK 13 OF THE ORIGINAL TOWNSITE OF WESTLAND AND TO VACATE REMNANT PORTION OF AN EXISTING 20' ALLEY, TEMPORARY DRAINAGE EASEMENT AND TEMPORARY TURNAROUND EASEMENT (V96-34).
- ALL BEARINGS SHOWN HEREON ARE GRID BEARING BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM CENTRAL ZONE MEAN DELTA ALPHA = -00°16'25". ALL DISTANCES ARE GROUND DISTANCES.
- ALL DIMENSIONS PUBLISHED ALONG CURVED LINES ARE ARC DISTANCES.
- BENCHMARK FOR THIS PLAT IS THE CITY OF ALBUQUERQUE ACS MONUMENT "7-K9" LOCATED ON THE CENTER MEDIAN OF CENTRAL AVENUE AND 530' EAST OF CENTER LINE OF 90TH STREET.
- UNLESS OTHERWISE NOTED, ALL CORNERS ARE EVIDENCED BY A #5 REBAR WITH ALUMINUM CAP STAMPED "P.S. #3794".
- PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE TEN (10) FEET WIDE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 - PNM ELECTRIC SERVICES OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - THE PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - US WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH UNDERGROUND LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

- EACH TRACT AND/OR FUTURE PHASES WILL BE RESPONSIBLE FOR ANY MAINTENANCE OF UTILITIES OR INFRASTRUCTURE WITHIN ITS BOUNDARIES AND PRIVATE EASEMENTS.

LEGAL DESCRIPTION

THAT CERTAIN PARCEL OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT ("PROJECTED" SECTIONS 21, 27 & 28, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING COMPRISED OF TRACTS A AND B OF BRIDGEPOINT SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 10, 1996, IN VOLUME 866, FOLIO 192, AND ALL OF LOTS 23-29, BLOCK 13, AND THE REMAINDER OF THE EXISTING 20' ALLEY RIGHT-OF-WAY ADJOINING LOTS 23-29, BLOCK 13, "THE ORIGINAL TOWNSITE OF WESTLAND" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 23, 1995, IN VOLUME D, FOLIO 53, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE ALBUQUERQUE CITY SURVEY MONUMENT "7-K9" (ALUMINUM CAP 3 1/4 DIA. RIVETED TO A PIPE 0.20" ABOVE GROUND AND HAVING NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE OF X = 355,815.77, AND Y = 1,482,842.09). THENCE, S48°10'30"E, 884.18 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF BRIDGE BOULEVARD, S.W., (83' RIGHT-OF-WAY), SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE, S77°22'29"E, A DISTANCE OF 801.04 FEET; THENCE, S12°37'31"W, A DISTANCE OF 124.00 FEET; THENCE, S77°22'29"E, A DISTANCE OF 52.98 FEET; THENCE, S12°38'06"W, A DISTANCE OF 49.00 FEET; THENCE, S77°21'54"E, A DISTANCE OF 7.00 FEET; THENCE, S12°38'06"W, A DISTANCE OF 33.00 FEET; THENCE, S77°22'29"E, A DISTANCE OF 130.00 FEET; THENCE, S12°38'06"W, A DISTANCE OF 618.91 FEET; THENCE, N89°40'40"W, A DISTANCE OF 1,043.96 FEET; THENCE, N12°37'48"E, A DISTANCE OF 621.36 FEET; THENCE, S77°22'12"E, A DISTANCE OF 4.00 FEET; THENCE, N12°37'48"E, A DISTANCE OF 401.00 FEET; THENCE, ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 25.00 FEET, ARC LENGTH OF 39.27 FEET, CENTRAL ANGLE OF 89°59'43", A CHORD BEARING OF N57°37'40"E, AND A CHORD LENGTH OF 35.35 FEET TO THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED, AND CONTAINING 21.0849 ACRES (918,458 SQUARE FEET), MORE OR LESS.

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS (SEE NOTE 6). SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

ABQ PROPERTIES LIMITED PARTNERSHIP
A NM LIMITED PARTNERSHIP

BY: Bern Montijo
BEN MONTIJO
EXECUTIVE DIRECTOR
GREATER ALBUQUERQUE HOUSING PARTNERSHIP, ITS: CO-GENERAL PARTNER

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 18, 1996 BY BEN MONTIJO, EXECUTIVE DIRECTOR, GREATER ALBUQUERQUE HOUSING PARTNERSHIP, ITS: CO-GENERAL PARTNER, ON BEHALF OF SAID ABQ PROPERTIES.

BY: Valores P. Vigil
NOTARY PUBLIC

MY COMMISSION EXPIRES: 9/6/99

-AND-

ERC-LLC LTD. CO.
A NM LIMITED LIABILITY COMPANY

BY: W. David Sivage & BY: W. David Sivage
W. DAVID SIVAGE
OPERATING MANAGER
LANDMARK LAND LTD. CO.
ITS: CO-OPERATING MANAGER

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON June 18, 1996 BY W. DAVID SIVAGE, AS OPERATING MANAGER OF LANDMARK LAND LTD. CO., CO-OPERATING MANAGER OF ERC-LLC LTD. CO., AND AS CEO OF SIVAGE-THOMAS HOMES, INC., ATTORNEY IN FACT FOR ERC PROPERTIES, INC., CO-OPERATING MANAGER OF ERC-LLC LTD. CO.

BY: Dana E. Whitlock
NOTARY PUBLIC

MY COMMISSION EXPIRES: October 29, 1999

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

TRACT A (PLAT FILED MAY 10TH 1996, FORMERLY LOTS 16-22)
LOTS 16-20, 1-009-056-452-521-10420
(OUT OF CODE 1-009-056-490-515-10410)
LOT 21, 1-009-056-464-505-10428
LOT 22, 1-009-056-462-495-10429

TRACT B (PLAT FILED MAY 10TH 1996, FORMERLY LOTS 1-15 & 30-33)
LOTS 1-15, 1-009-056-497-514-10410
(OUT OF CODE 1-009-056-490-515-10410)
LOT 30, 1-009-056-508-463-10404
LOT 31, 1-009-056-510-473-10405
LOT 32, 1-009-056-512-483-10406
LOT 33, 1-009-056-514-493-10407
LOT 23, 1-009-056-459-485-10430
LOT 24, 1-009-056-457-475-10431
LOT 25, 1-009-056-455-465-10432
LOT 26, 1-009-056-452-456-10433
LOT 27, 1-009-056-449-443-10401
LOT 28, 1-009-056-502-441-10402
LOT 29, 1-009-056-505-453-10403

PROPERTY OWNER OF RECORD: ABQ PROPERTIES LIMITED PARTNERSHIP & ERC-LLC LTD. CO.

BERNALILLO COUNTY TREASURER'S OFFICE:

BY: Chasandra L. Lujan

DATE: 6-25-96

SCANNED

98110247

66870620

CORRECTION PLAT

FOR

BRIDGEPOINT SUBDIVISION

COMPRISED OF
TRACT A & TRACT B OF THE BRIDGEPOINT SUBDIVISION
AND ALL OF LOTS 23-29, TOGETHER WITH
THE REMAINDER OF AN EXISTING 20' ALLEY RIGHT-OF-WAY OF
THE ORIGINAL TOWNSITE OF WESTLAND
SITUATE WITHIN
TOWN OF ATRISCO GRANT
"PROJECTED" SECTIONS 21, 27, AND 28; T 10 N, R 2 E,
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE, 1996

NOTE:
THE PURPOSE OF THIS CORRECTION PLAT IS TO CORRECT * AN
EXIST. PRIVATE DRAINAGE EASEMENT MISTAKENLY LABELLED AS A
SANITARY SEWER EASEMENT AND ** TO SHOW AN EXISTING
SANITARY SEWER EASEMENT LEFT OUT OF TRACT B-1.

State of New Mexico) SS
County of Bernalillo)
This instrument was filed for record on
3-21-97 at 2:00 PM
of record in Volume 906
of records of said County at 418
by Judy D. Anderson, Clerk & Recorder
Deputy Clerk

SUBDIVISION DATA:

CASE NO. V-96-34-DRB-95-139
GROSS SUBDIVISION ACREAGE 21.0849 AC
ZONE ATLAS INDEX NO. L-92
NO. OF EXISTING LOTS 7
NO. OF EXISTING TRACTS 2
NO. OF TRACTS CREATED 2
MILES OF FULL-WIDTH STREETS CREATED N/A
DATE OF SURVEY JUNE 1996
S.P. LOG NO. 96-0209-1545-0412

APPROVALS:

SUBDIVISION CASE NUMBER DRB-95-517
CITY PLANNER/ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION
PARKS AND GENERAL SERVICE DEPARTMENT
TRAFFIC ENGINEER/TRANSPORTATION DEPARTMENT
CITY ENGINEER, ENGINEERING DIVISION
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY
UTILITY DEVELOPMENT
CITY SURVEYOR, ENGINEERING DIVISION
PROPERTY MANAGEMENT
PNM GAS SERVICES
PNM ELECTRIC SERVICES
US WEST COMMUNICATIONS, INC.

By approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a title search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYOR'S CERTIFICATION:

I, R. C. MILLER, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

R. C. Miller
R. C. MILLER, N.M.R.P.S. #3794

SHEET 1 OF 2

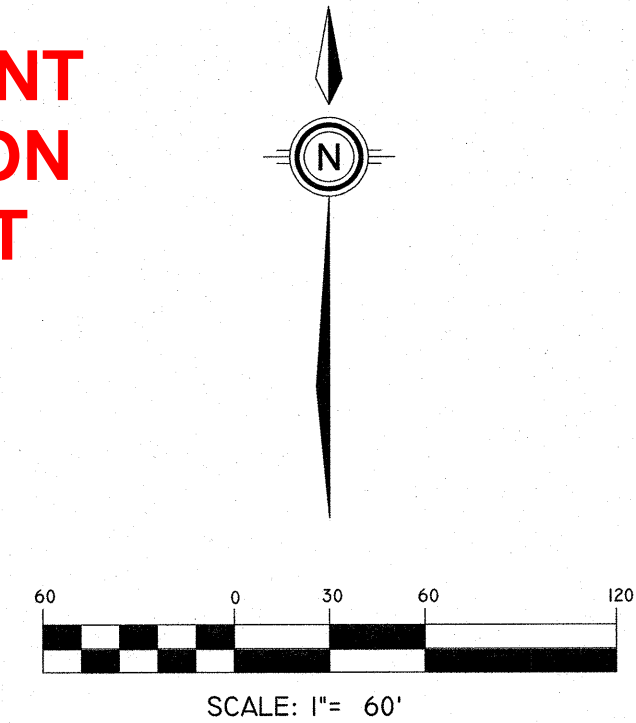
DATE: JUNE, 1996
SCALE: 1"=100'
FB/PG: 207/64-87
DESIGNED: SPS
DRAWN: DER
JOB NO.: 57-01-645

LAND PLANNING
P.O. Box 1328
ENGINEERING
Corrales, N.M. 87048
SURVEYING

community
sciences
corporation

PRELIMINARY PLAT
ELEVATE ON BRIDGE
BEING A REPLAT OF TRACT A-1, BRIDGEPOINT SUBDIVISION
SITUATE WITHIN
PROJECTED SECTIONS 21 & 28, T.10N, R.2E, N.M.P.M.
TOWN OF ATRISCO GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2025




EASEMENT
VACATION
EXHIBIT



EASEMENT LINE TABLE		
NUM	BEARING	DISTANCE
L1	N 5°38'42"E	45.29'
L2	N27°16'49"E	23.74'
L3	S12°38'34"W	20.25'
L4	N12°38'34"E	41.88'
L5	N 5°38'42"E	45.29'
L6	N27°16'49"E	23.74'
L7	S12°38'34"W	37.36'
L8	S12°38'34"W	27.98'






EASEMENT CURVE TABLE					
NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	6°59'52"	22.90'	187.50'	N 9°08'38"E	22.89'
C2	6°59'52"	25.95'	212.50'	S 9°08'38"W	25.94'
C3	6°59'52"	25.95'	212.50'	N 9°08'38"E	25.94'
C4	6°59'52"	22.90'	187.50'	S 9°08'38"W	22.89'

NOTES:


- PLEASE SEE SHEET 3 FOR:
 -  PUBLIC WATER EASEMENTS GRANTED BY THIS PLAT
 -  PUBLIC WATER & PUBLIC SEWER EASEMENT GRANTED BY THIS PLAT
-  VACATED PORTION OF 10' P.U.E.

EASEMENT SHEET

Monument Legend

-  FND CONTROL MONUMENT (AS NOTED)
-  FND PROPERTY CORNER (AS NOTED)
-  FND CHISELED OR SCRIBED "X"
-  SET 5/8" REBAR W/YELLOW PLASTIC CAP OR NAIL STAMPED "PATRICK PS12651"
-  EASEMENT POINT (NOT SET)

PRELIMINARY PLAT
ELEVATE ON BRIDGE

DWG PATH: 4/23/2025 F:\N1462 - Gallo Partners\SURVEY\ELEVATE ON BRIDGE PRELIMINARY SUBDIVISION PLAT.dwg			3 of 4
QPS:	PRIMO AND NINO		
DRAWN:	LRC/DCA/JAK/NSV		
SCALE:	1"=60'		
DATE:	03/11/2025		
DRAWN:	AHM	REVIEW:	DKS
JOB NO:	N1462-01		

- EASEMENT TABLE
- A 5'x12.5' PUBLIC WATER EASEMENT CENTERED ON LOT LINE UNLESS SHOWN OTHERWISE GRANTED BY THIS PLAT
 - B 10'x12.5' PUBLIC WATER EASEMENT CENTERED ON LOT LINE UNLESS SHOWN OTHERWISE GRANTED BY THIS PLAT
 - C 5' WIDE PUBLIC WATER EASEMENT CENTERED ON LOT LINE DIMENSIONED (AS SHOWN HEREON) GRANTED BY THIS PLAT
 - D 10' WIDE PUBLIC WATER EASEMENT CENTERED ON LOT LINE DIMENSIONED (AS SHOWN HEREON) GRANTED BY THIS PLAT
 - E 5'x5' PUBLIC WATER EASEMENT CENTERED ON LOT UNLESS SHOWN OTHERWISE GRANTED BY THIS PLAT
 - F 10'x5' PUBLIC WATER EASEMENT CENTERED ON LOT UNLESS SHOWN OTHERWISE GRANTED BY THIS PLAT

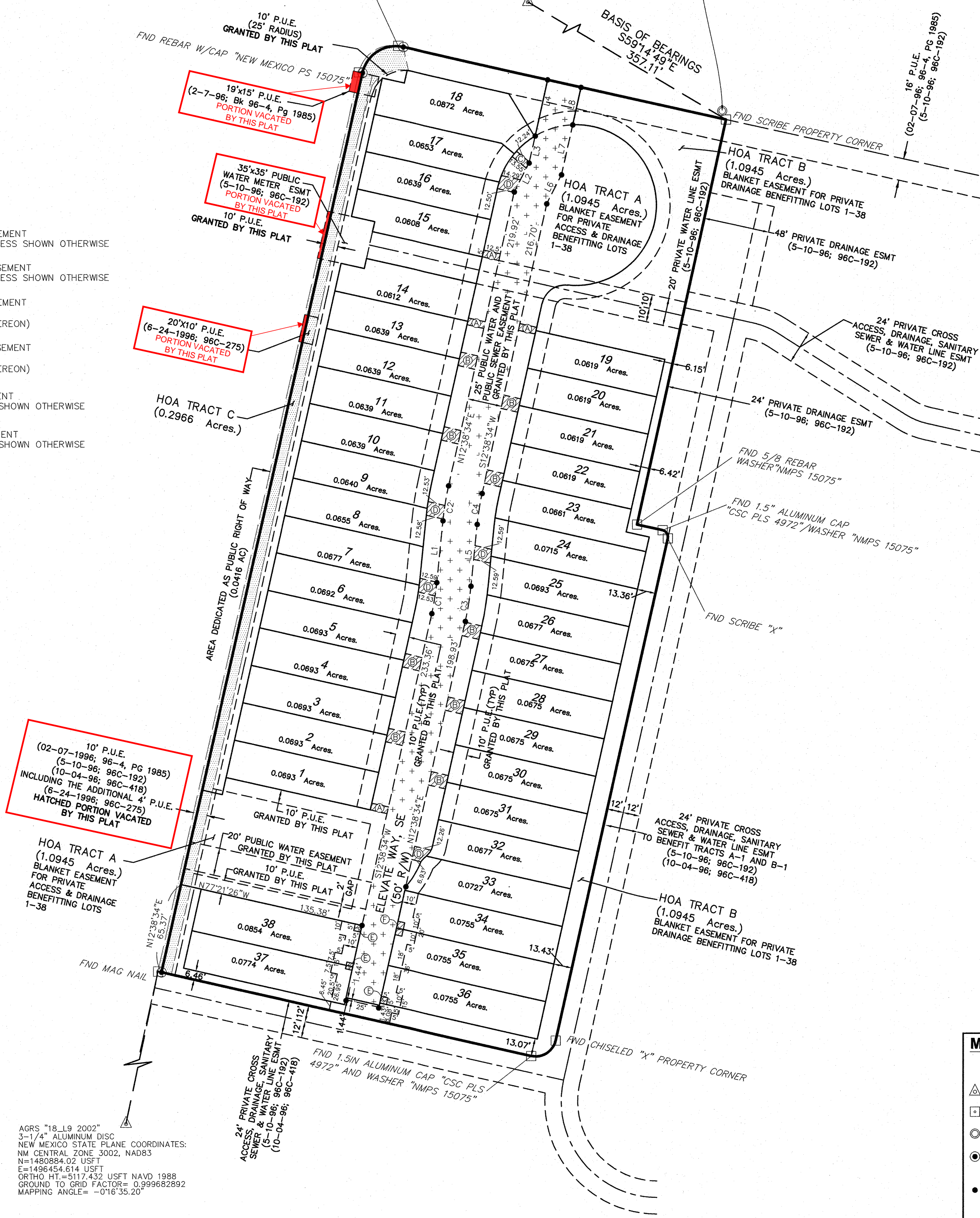
10' P.U.E.
(02-07-96; 96-4, PG 1985)
(5-10-96; 96C-192)
INCLUDING THE ADDITIONAL 4' P.U.E.
(6-24-1996; 96C-275)
HATCHED PORTION VACATED
BY THIS PLAT

HOA TRACT A
(1.0945 Acres.)
BLANKET EASEMENT
FOR PRIVATE
ACCESS & DRAINAGE
BENEFITTING LOTS
1-38

AGRS "18-L9 2002"
3-1/4" ALUMINUM DISC
NEW MEXICO STATE PLANE COORDINATES:
NM CENTRAL ZONE 3002, NAD83
N=1480884.02 USFT
E=1496454.614 USFT
ORTHO HT.=5117.432 USFT NAVD 1988
GROUND TO GRID FACTOR= 0.999682892
MAPPING ANGLE= -0°16'35.20"

AGRS "14-K9 2002"
3-1/4" ALUMINUM DISC
NEW MEXICO STATE PLANE COORDINATES:
NM CENTRAL ZONE 3002, NAD83
N=1482352.731 USFT
E=1496702.894 USFT
ORTHO HT.=5118.017 USFT NAVD 1988
GROUND TO GRID FACTOR= 0.999682878
MAPPING ANGLE= -0°16'33.63"

TBM
FND CHISELED "X"
ELEVATION=5111.7



Community Design Solutions

May 28, 2025

Development Hearing Officer
City of Albuquerque
600 2nd St NW
Albuquerque, NM 87102

RE: Vacation of Public Easement Description/Justification Letter – 38-lot subdivision at the southeast corner of 86th St SW and Bridge Blvd SW, Albuquerque, NM.

Dear Development Hearing Officer,

Community Design Solutions, LLC (CDS), on behalf of Gallo Partners, LLC, submits this project description /justification letter per the City's Vacation of Public Easement requirement, IDO Section 14-16-6-6(M).

This request seeks to vacate slivers of existing public easements that will overlap the proposed right of way. The preliminary plat includes the necessary easements to support access, utilities, and drainage for the proposed lots. The proposed right-of-way for this plat encroaches on an existing public water and various PUE easements which necessitated the need to vacate slivers of the existing public easements. The preliminary plat complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

If you have any questions or require additional information, please feel free to contact us.

Sincerely,
Community Design Solutions, LLC



John Stapleton P.E.
CDS | Project Manager
505-545-9607

AGENT LETTER / LETTER OF AUTHORIZATION

OWNER: Nicholas Blincoe
Gallo Partners, LLC
480.529.9376
nicholasb@wallacegrp.org

AGENT: Community Design Solutions, LLC | CDS
John Stapleton, PE
9384 Valley View Drive NW
Suite 100
Albuquerque, NM 87114
John.Stapleton@cdsnm.com

Property Description: 38-lot subdivision at the southeast corner of 86th St SW and Bridge Blvd SW, Albuquerque, NM.

Gallo Partners, LLC, owner of the above-referenced land, hereby authorizes CDS as agent for a platting application for the property.

Nicholas Blincoe
Signature

4/29/25
Date

Nicholas Blincoe
Printed Name



Development Facilitation Team (DFT) – Review Comments

Reviewer: David G. Gutierrez, P.E. | Phone: 505-289-3381 | dggutierrez@abcwua.org

Project No: PR-2020-004098 Date: 05/21/2025 Agenda Item: #4 Zone Atlas Page: K-09

Legal Description: Tract A-1, BRIDGEPOINT SUBDIVISION

Request: EPC Site Plan Review for a 38-lot residential subdivision.

Location: On Bridge SW between 86th St SW and 82nd Street SW.

☐ Approved No Conditions

☒ Approved W/Conditions

☐ Not Approved

Application For: MAJOR_PLT- 2025-00006 – PRELIMINARY PLAT

1. Availability Statement 240808 provides conditions for service.
 - a. Infrastructure improvements are required and must be constructed or financially guaranteed prior to final sign off.
2. The proposed 10' PUE along the west property boundary is encroaching into the existing water meter easement. Please revise so that is not the case.
3. A portion of the public meter easement is encroaching into the proposed public right-of-way being granted. Please provide a vacation of the public water meter easement for the portion of the easement within the proposed area being granted for public right-of-way.
4. Please label the adjacent public right-of-way street names.

Other Comments:

5. Infrastructure List
 - a. Please revise the sewer in 82nd St. to state the “To” will connect to the existing sanitary sewer along 82nd St. or you can call out existing manhole L10001.
 - b. For the waterline infrastructure, please make it clear that it connects to existing infrastructure in 86th and Bridge.
 - i. E.G. 8” Waterline in Bridge, from public easement to existing WL in Bridge... similarly for the line along 86th.



DEVELOPMENT FACILITATION TEAM

Parks and Recreation Department

PR-2020-004098

MAJOR_PLT-2025-00006 – PRELIMINARY PLAT

RENEE REGAL agent for MICHAEL HARE requests the aforementioned action(s) for all or a portion of: TRACT A-1, BRIDGEPOINT SUBDIVISION zoned PD located at on BRIDGE SW between 86TH STREET SW AND 82ND STREET SW containing approximately 4.5307 ACRE(S). (K-09)

PROPERTY OWNERS: Michael Hare

REQUEST: 38-lot residential duplex subdivision at the southeast corner of 86th St SW and Bridge Blvd SW

SKETCH 8-7-24 (DFT)

IDO – 2025

T/MPOS

Comments:

5.20.2025

Parks and Recreation has no objections to this request.

DEVELOPMENT HEARING OFFICER - HYDROLOGY SECTION
Anthony Montoya, Jr., PE, Senior Engineer | 505-924-3314 amontoya@cabq.gov

DRB Project Number: 2020-004098 Hearing Date: 05-21-2025
TRACT A-1, BRIDGEPOINT
SUBDIVISION located on
BRIDGE SW between 86TH
STREET SW AND 82ND
Project: STREET SW Agenda Item No: 4

<input type="checkbox"/> Minor Preliminary / Final Plat	<input checked="" type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

ENGINEERING COMMENTS:

- Hydrology has an approved Grading & Drainage Plan (HT# L09D046) with engineer's stamp 1/27/2025.
- Hydrology has no objection to the platting action.

☐ APPROVED
☐ DENIED

DELEGATED TO: ☐ TRANS ☐ HYD ☐ WUA ☐ PRKS ☐ PLNG
Delegated For: _____
SIGNED: ☐ I.L. ☐ SPSP ☐ SPBP ☐ FINAL PLAT
DEFERRED TO _____

DEVELOPMENT HEARING OFFICER

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2020-004098
Bridge and 86th

AGENDA ITEM NO: 4

SUBJECT: Preliminary Plat

ENGINEERING COMMENTS:

1. All comments have been addressed. No objection

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.
Transportation Development
505-924-3991 or earmijo@cabq.gov

DATE: May 21, 2025

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



DEVELOPMENT HEARING OFFICER

Planning Comments

HEARING DATE: 5/21/25 -- **AGENDA ITEM:** #4

Project Number: PR-2020-004098

Application Number: Major PLT-2025-00006

Project Name: 86th St. and Bridge Blvd.

Request:

Request to review a 38 lot sub-division at the SE corner of 86th and Bridge

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

Items in orange type need comment or corrections

Items in Green type are compliant

BACKGROUND

- This is a request for a preliminary plat review for a Major Sub-division to subdivide the existing parcels into 38 new residential lots. The subject property is located at the intersection of 86th St SW and Bridge Blvd SW.
- The subject property previously came in for DFT staff preliminary review on 8/7/2024 under PR-2020-004098_PS-2024-00130.
- The Subject property is not located within any PT/MT/MS Corridor areas and is not within any Overlay zones. The site is fully located in an area of consistency.

IDO/DPM COMMENTS

5-4 SUBDIVISION OF LAND

5-4(C) COMPLIANCE WITH ZONING REQUIREMENTS

5-4(C)(6) In the PD and NR-SU zone districts, and for development in any zone district on a site 5 acres or greater adjacent to Major Public Open Space, an approved Site Plan – EPC is required prior to any platting action. In the PC zone district, an approved Framework Plan is required prior to any platting action. Subsequent platting must conform to the approved plans.

The EPC approved a site plan for the subject property on Oct. 10th 2024. The DFT will still need to review and administratively approve the site plan -EPC to fulfill the conditions outlined in the approval.

6-6 DECISIONS REQUIRING A PUBLIC HEARING

6-6(L) SUBDIVISION OF LAND – MAJOR

All applicable provisions of Section 14-16-6-4 (General Procedures) apply unless specifically modified by the provisions of this Subsection 14-16-6-6(L) or the DPM.

6-6(L)(2)(c) Preliminary Plat

1. Any request for a Waiver from the Development Standards applicable to the subdivision in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), or 14-16-5-5 (Parking and Loading) shall be reviewed and decided pursuant to Subsection 14-16-6-6(P) (Waiver – DHO), shown on the Preliminary Plat, and considered simultaneously with the review and approval of the Preliminary Plat.
2. City Planning Department staff shall refer the submittal to commenting agencies pursuant to Subsection 14-16-6-4(J).
3. Required commenting agencies pursuant to Subsection 14-16-6-4(J) shall review the submittal and forward any comments and a recommendation to the DHO.
4. The DHO shall conduct a public hearing and make a decision on the preliminary plat.
5. The applicant shall provide an IIA and construction plans and specifications for all required improvements conforming to the Preliminary Plat, pursuant to Subsection 14-16-6-4(Q).

6-6(L)(2)(d) Final Plat

1. Within 1 year after DHO approval, or approval with conditions, of a Preliminary Plat, the applicant shall submit a Final Plat that includes all changes, conditions, and requirements contained in the Preliminary Plat approval.
2. City Planning Department staff shall refer the submittal to required commenting agencies pursuant to Subsection 14-16-6-4(J).
3. Required commenting agencies pursuant to Subsection 14-16-6-4(J) shall review the submittal and forward any comments and a recommendation to the DHO.

4. The DHO shall conduct a public hearing and make a decision on the application.
5. Final Plats shall include a list of any Vacations, Variances, Waivers, and deviations granted as an exhibit or note.
6. Staff from required commenting agencies pursuant to Subsection 14-16-6-4(J)(3) shall review final plats administratively for compliance with conditions of approval, DPM standards, and zoning standards.

6-6(L)(3) Review and Decision Criteria

An application for a Subdivision of Land – Major shall be approved if it meets all of the following criteria.

6-6(L)(3)(a) A Preliminary Plat shall be approved if it complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

6-6(L)(3)(b) A Final Plat shall be approved if it includes all changes, conditions, and requirements contained in the Preliminary Plat approval.

General Comments

- ABCWUA has provided comments related to the need for a Vacation of Easement in the public right of way. Per Table 6-1-1 of the IDO, a pre-application meeting with City staff is required for a Vacation of Easement application. Therefore, a sketch plat application will need to be reviewed by the Development Facilitation Team for the Vacation of Easement, and a Vacation of Easement application must be submitted prior to the approval of the Preliminary Plat.
- Please confirm if the Infrastructure List is going to be tied to the Preliminary Plat or tied to the associated Site Plan approved by the EPC and currently undergoing review by DFT staff for final sign-off.
- Confirm that the Preliminary Plat addresses/meets the EPC conditions of approval for the Site Plan – EPC for SI-2024-01284.

***** Once approved, before a Site Plan, Plat, or Infrastructure List will be distributed for signatures, the following must be met:**

1. The Site Plan, Plat, or Infrastructure List to be distributed for signatures must depict any revisions required per the conditions and/or findings featured in the Notice of Decision for the application.
2. All Site Plan, Plat, or Infrastructure List sheets must be included in the submittal to be distributed for signatures; no additional documents/sheets should be included in this submittal (for example, submit a comment response letter separately).
3. The Site Plan, Plat, or Infrastructure List submittal to be distributed for signatures must be featured in a single PDF.
4. All Site Plan sheets must be stamped and signed by a design professional licensed in the State of New Mexico, with the Landscape Plan sheet(s) stamped and signed by a Landscape Architect licensed in the State of New Mexico.

5. The title of the Site Plan, Plat, or Infrastructure must follow the following naming scheme:
 - a. Site Plan: project number_application_number_Site_Plan_Approved_date of approval
 - b. Plat: project number_application number_Plat_Approved_date of approval
 - c. Infrastructure List: project number_application number_IL_Approved_date of approval

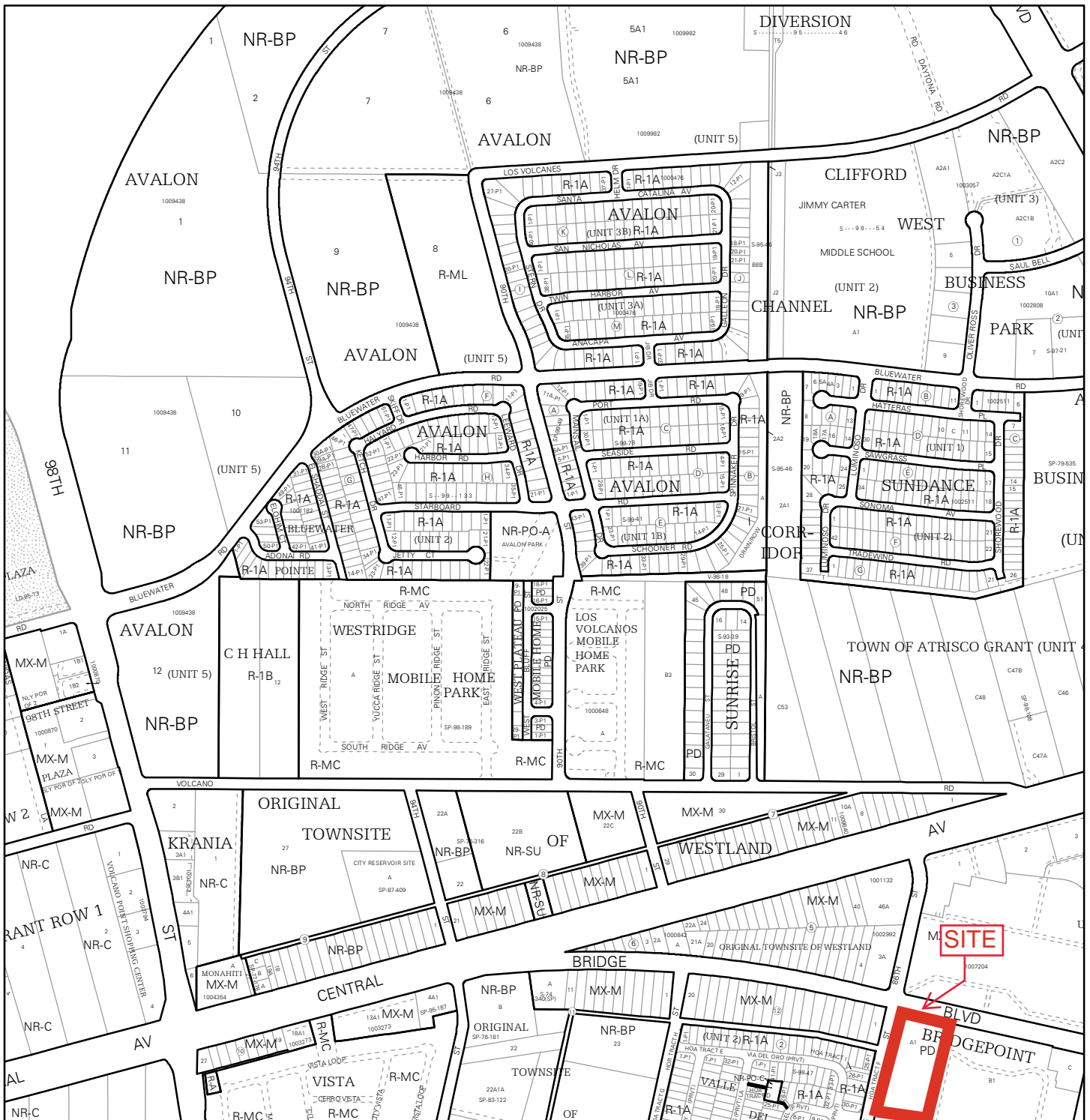
****Project has been reviewed to the standards and provisions within the IDO-Integrated Development Ordinance and the standards within the DPM-Development Process Manual.***



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Jacob Boylan/Jay Rodenbeck
Planning Department


DATE: 5/20/25



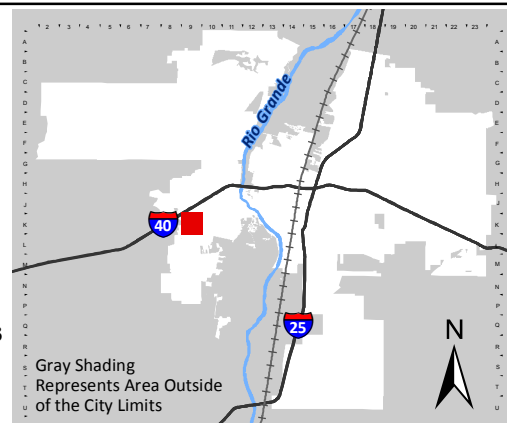
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018



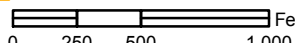
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
K-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

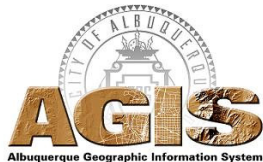


0 250 500 1,000 Feet

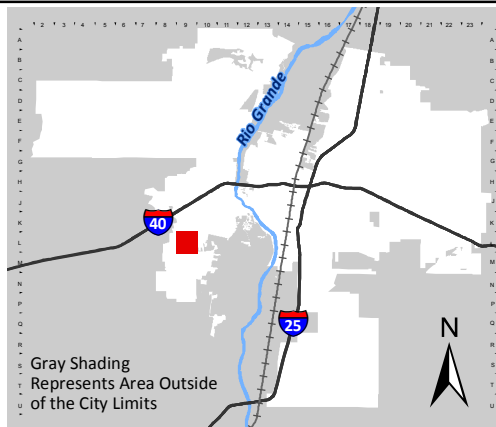


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
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Zone Atlas Page:
L-09-Z

- Easement
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 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet