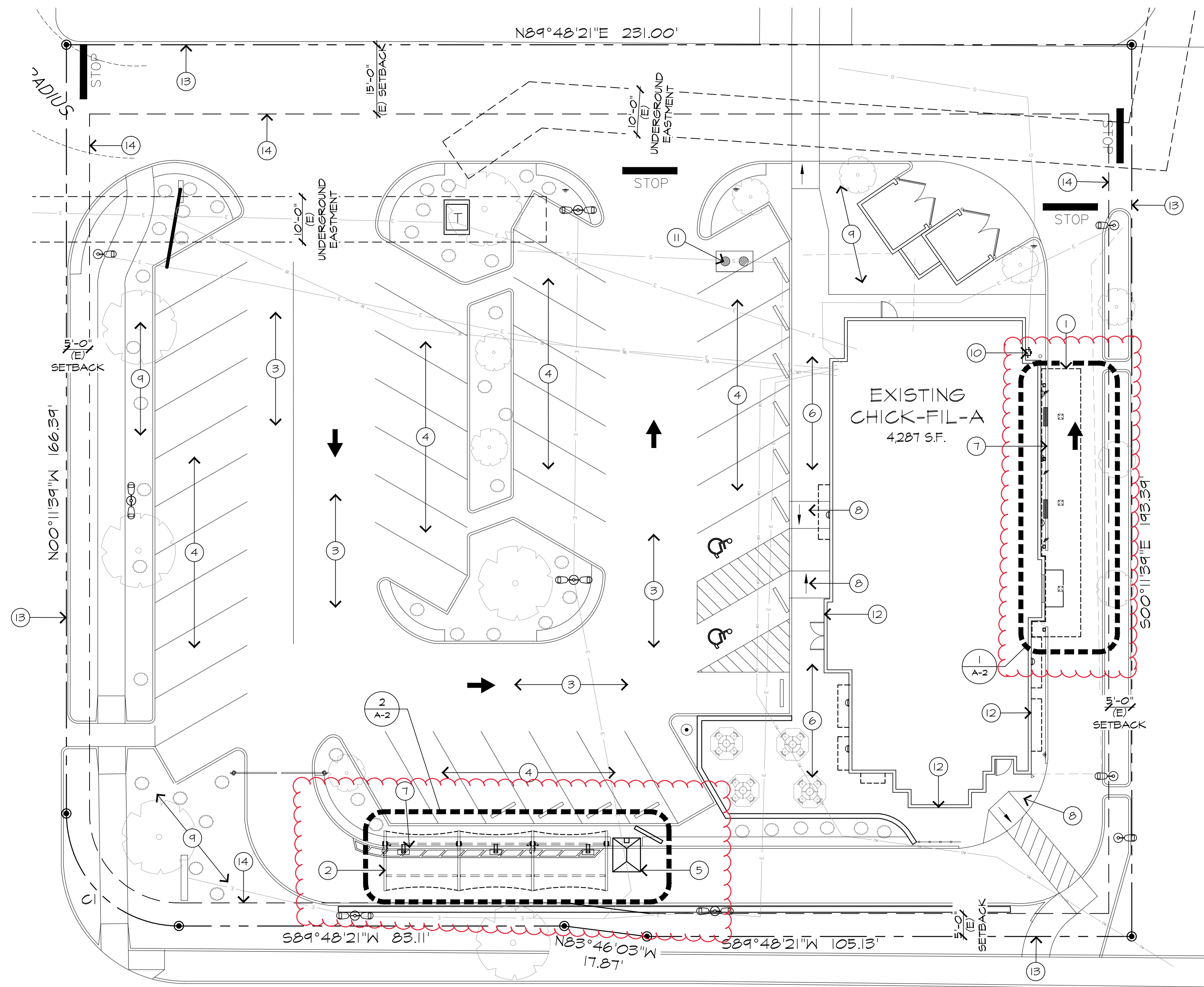


ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

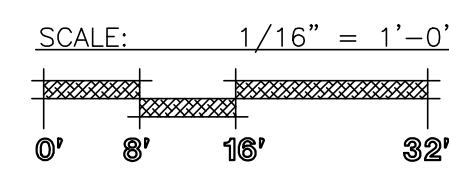
APPROVED BY

DATE

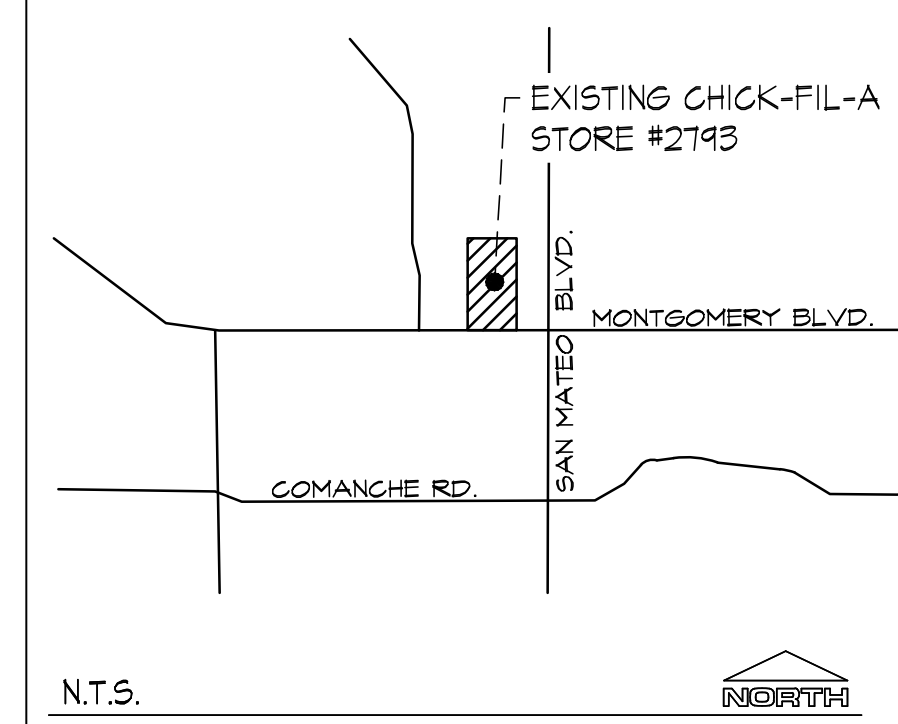


MONTGOMERY BOULEVARD N.E.

1 ENLARGED SITE PLAN - PROPOSED
SCALE: 1/16" = 1'-0"



VICINITY MAP



SHEET INDEX

- ARCHITECTURAL
 - A-1 PROJECT DATA & OVERALL SITE PLAN
 - A-2 ENLARGED CANOPY PLAN
- STRUCTURAL
 - FACE TO FACE CANOPY
 - S-1 CANOPY STRUCTURAL DRAWINGS
 - S-2 CANOPY FOOTER DETAILS
- MEAL DELIVERY CANOPY
 - OMD-1 FOOTING LOCATIONS
 - OMD-2 CANOPY FOOTINGS
 - OMD-3 FRAMING PLAN
 - OMD-4 SECTIONS
 - OMD-5 SECTIONS
 - OMD-6 SECTIONS
 - OMD-7 CANOPY ELEVATION PLAN
 - OMD-8 CANOPY LIGHT LAYOUT
- PLUMBING
 - P1.1 GAS PLUMBING PLAN
 - P1.2 GAS PLUMBING PLAN
 - P2.1 PLUMBING DETAILS
- ELECTRICAL
 - E1.1 POWER AND LIGHT PLAN
 - E1.2 ELECTRICAL DETAILS
 - E1.3 ELECTRICAL ONE-LINE PANEL SCHEDULE

GOVERNING CODES:

- BUILDING: 2015 EDITION I.B.C.
- MECHANICAL: 2015 EDITION U.M.C.
- PLUMBING: 2015 EDITION U.P.C.
- ENERGY: 2004 EDITION I.E.C.C.
- ELECTRICAL: 2011 EDITION N.E.C.
- FUEL / GAS: GOVERNED UNDER 2015 EDITION U.P.C.
- FIRE: 2015 EDITION I.F.C.
- ACCESSIBLE: 2010 EDITION A.D.A.

PROJECT DATA

1. PROJECT NAME: CHICK-FIL-A #27193
2. PROJECT ADDRESS: 5009 MONTGOMERY BLVD. NE ALBUQUERQUE, NM 87109
3. PROJECT WORKSCOPE: INSTALLATION OF STEEL FRAMED FACE TO FACE AND MEAL DELIVERY CANOPY (EMPLOYEE SHADE STRUCTURES) WITH MINOR ELECT. / PLUMB. WORK.
4. PARCEL NO: 101-706-148-301-640-115
5. ZONING: SU-1 C-2
6. PROPERTY AREA: 44,906 S.F. (1.071 ACRES)
7. FIRE SPRINKLERS: YES A.F.E.S. (EXISTING BUILDING)
8. TYPE OF CONSTRUCTION:
 - a. EXISTING BUILDING: VB (EXIST. UN-CHANGED)
 - b. NEW MEAL DELIVERY CANOPY: IIB
 - c. NEW FACE TO FACE CANOPY: IIB
9. OCCUPANCY:
 - a. EXISTING BUILDING: A-2 (EXIST. UNCHANGED)
 - b. NEW MEAL DELIVERY CANOPY: A-2
 - c. NEW FACE TO FACE CANOPY: U (ACCESSORY USE)
10. BUILDING AREA:

a. EXISTING BUILDING:	52. FT.	OCCUPANCY
b. NEW MEAL DELIVERY CANOPY	4,287 S.F.	A-2 (EXISTING)
c. NEW FACE TO FACE CANOPY	481 S.F.	A-2
	576 S.F.	U
- d. TOTAL AREA: 5,350 S.F.
11. ALLOWABLE AREA: PER IBC TABLE 506.2
 - a. FIRE SPRINKLERED BUILDING: 24,000 S.F. (EXIST. 1-STORY BLDG)
 - * b. ACTUAL BUILDING AREA: 5,350 S.F.
 - * NOTE: INCLUDED NEW CANOPIES IN TOTAL AREA IN CALCULATIONS
12. AREA OF CONSTRUCTION: 1,063 S.F.
13. CANOPY HEIGHT:
 - a. MEAL DELIVERY CANOPY: 9'-6" BOTT. OF CANOPY
 - b. FACE TO FACE CANOPY: 9'-6" BOTT. OF CANOPY
14. BUILDING SETBACKS:
 - a. NORTH PROP. LINE: 15'-0"
 - b. WEST PROP. LINE: 5'-0"
 - c. SOUTH PROP. LINE: 5'-0" (MONTGOMERY BLVD.)
 - d. EAST PROP. LINE: 5'-0"
15. PARKING REQUIREMENTS: EXISTING TO REMAIN NO CHANGE TO PARKING SPACES OR EXISTING DRIVE THRU LANES.

LEGAL DESCRIPTION

PORTION OF TRACT D-1, OF MONTGOMERY PLAZA, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT MAP OF TRACT D, OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 29, 1988, IN MAP BOOK C36, FOLIO 35.

PROJECT DIRECTORY

OWNER: CHICK-FIL-A, INC. 5200 BUFFINGTON ROAD ATLANTA, GA 30344 TROY TRUFF, DIRECTOR OF CONST. troymt@chickfila.com (404) 305-4613	ARCHITECT: esencia LLC 1743 E. McNAIR DRIVE SUITE 200 TEMPE, AZ, 85283 JEFFREY WINTER, R.A. winter@esencia.org (480) 755-0459 EXT 120	MECH. /PLUMB Interplan LLC 604 COURTLAND STREET SUITE 100 ORLANDO, FL, 32804 BARB MARTIN bmartin@interplanllc.com (407) 645-5008	MUNICIPALITY: CITY OF ALBUQUERQUE PLANNING DEPARTMENT PLAZA DEL SOL 600 2ND NW ALBUQUERQUE, NM 87103
PROJECT MANAGER: BUREAU VERITAS LLC 12200 N PERIMETER DRIVE SUITE 275 SCOTTSDALE, ARIZONA 85255 MICHAEL ANDERSON, CPM (480) 771-1800	STRUCTURAL: LANE SUPPLY, INC. 120 FAIRVIEW ST. ARLINGTON, TEXAS 76010 LARRY TOLBERT ltolbert@lanesupplyinc.com (817) 275-1660	STRUCTURAL: SUPERIOR SHAW-MCGUIRE 1050 COLUMBIA DRIVE CARROLLTON, GA 30111 SMCUIRE@SHAWBRANDS.COM	

SITE PLAN KEYED NOTES

1. DASHED LINE INDICATING OUTLINE OF PROPOSED OVERHEAD MEAL DELIVERY CANOPY.
2. DASHED LINE INDICATING OUTLINE OF PROPOSED OVERHEAD FACE TO FACE CANOPY.
3. EXISTING VEHICLE DRIVE AISLE TO REMAIN.
4. EXISTING PARKING FIELD TO REMAIN, NO CHANGE.
5. EXISTING ORDER POINT MENU BOARD TO REMAIN, NO CHANGE.
6. EXISTING CONCRETE WALKWAY TO REMAIN.
7. EXISTING CONCRETE CURB TO REMAIN, VERIFY EXISTING CONDITION OF CURB, REPLACE ANY DAMAGE OR BROKEN CURB TO LIKE NEW CONDITION.
8. EXISTING CONCRETE ACCESSIBLE CURB, RAMP / MARKED PATHWAY TO REMAIN.
9. EXISTING LANDSCAPING AREA TO REMAIN.
10. LOCATION OF ELECTRICAL AND/OR GAS CONNECTION, CONFIRM UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
11. EXISTING GREASE INTERCEPTOR TO REMAIN, VERIFY EXACT LOCATION PRIOR TO START OF CONSTRUCTION.
12. OUTSIDE FACE OF EXIST. BUILDING EXTERIOR WALL.
13. EXIST. PROPERTY LINE.
14. EXIST. BUILDING SET BACK LINE.

GENERAL NOTES

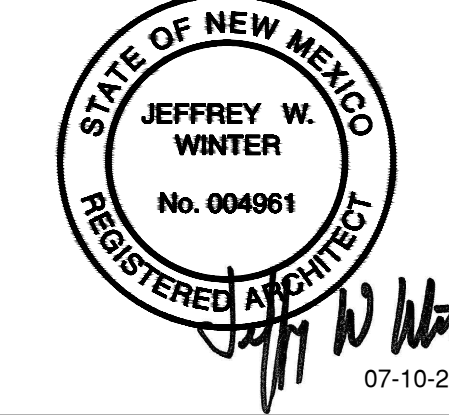
- A. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE G.C. SHALL BE RESPONSIBLE TO VERIFY AND LOCATE EXACT LOCATION/DEPTH OF UNDERGROUND UTILITY LINES, COMMUNICATION LINES, ETC. SERVING THIS SITE. IDENTIFY UTILITIES AS TO SCOPE OF WORK AND LOCATION OF DIGGING.
- B. WHERE REQUIRED, G.C. SHALL NOTIFY ADJACENT TENANTS / PROPERTY OWNERS OF ANY SERVICE INTERRUPTIONS AT LEAST 48 HOURS PRIOR TO SERVICE INTERRUPTIONS.
- C. ANY DAMAGES TO UNDERGROUND UTILITY LINES SHALL BE REPORTED TO THE UTILITY COMPANY INVOLVED. G.C. SHALL REPAIR DAMAGES PER UTILITY CO. REQUIREMENTS AT CONTRACTORS EXPENSE.
- D. UPON INSTALLATION OF FOOTINGS, IT SHALL BE THE G.C RESPONSIBILITY TO OBTAIN THE SERVICES OF A LAND SURVEYOR TO PROVIDE TOP OF ASPHALT/CONC. DIVE TOPO POINTS TO THE CANOPY FABRICATOR PRIOR TO CANOPY FABRICATION. SAID LAND SURVEYOR SHALL PROVIDE A DRAWING DEPICTING TOPO POINTS, NO EXCEPTIONS TAKEN.



Chick-fil-A
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
(404) 765-8000

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esencia
1743 E. McNair Drive, Suite 200
Tempe, Arizona 85283
Telephone 480-755-0959



Revision Schedule

Rev	Date	By	Description
1	07-10-20	JM	City comments review

Project Name: CANOPY PROGRAM

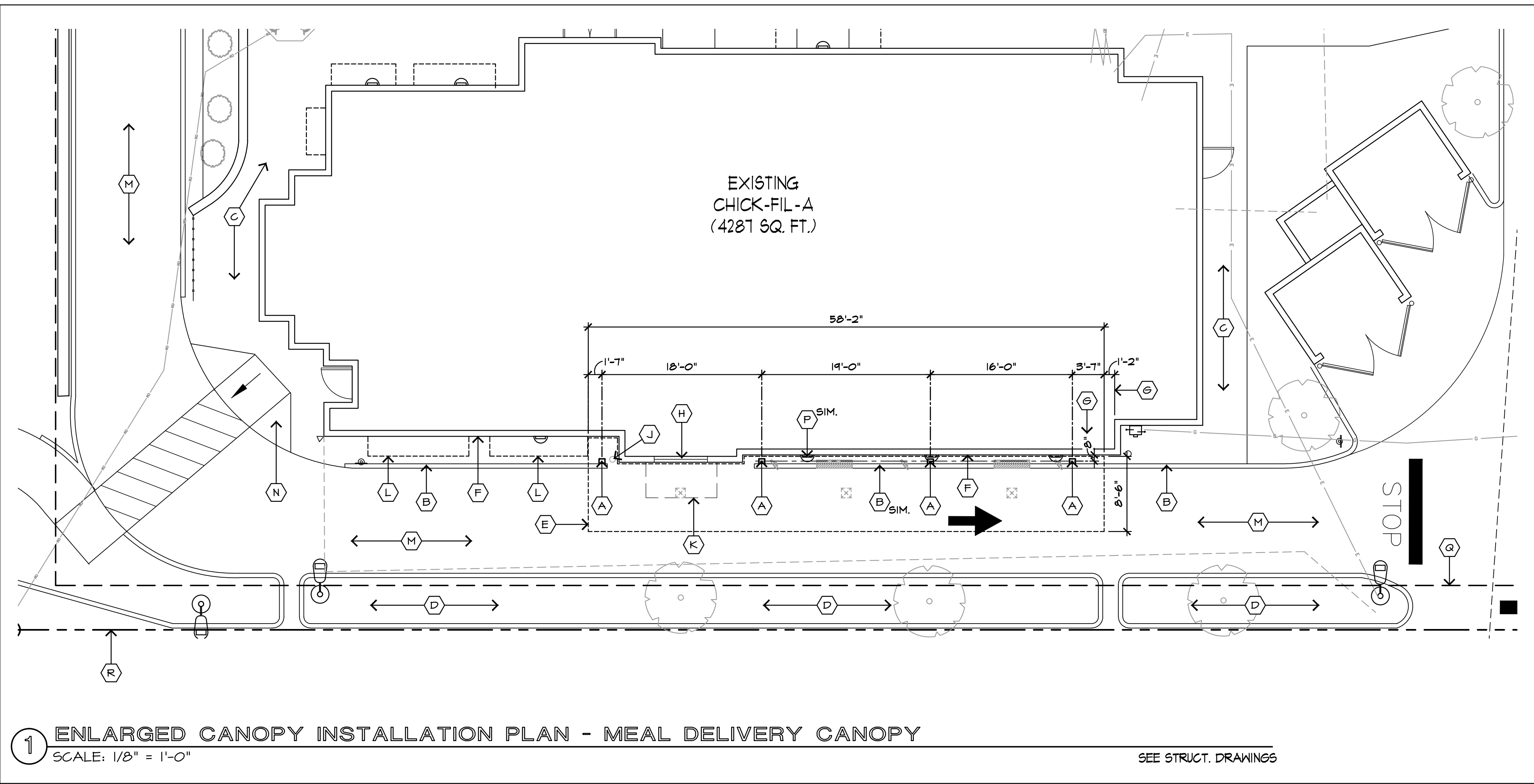
**CHICK-FIL-A
STORE #2793**

5009 MONTGOMERY BLVD. NE
ALBUQUERQUE, NM 87109

Issue Date: 05-29-2020
Drawn By: GA
Job Number: 19060

Sheet Title: **Project Data
Overall Site Plan**
Scale: As indicated

Sheet Number: **A-1**

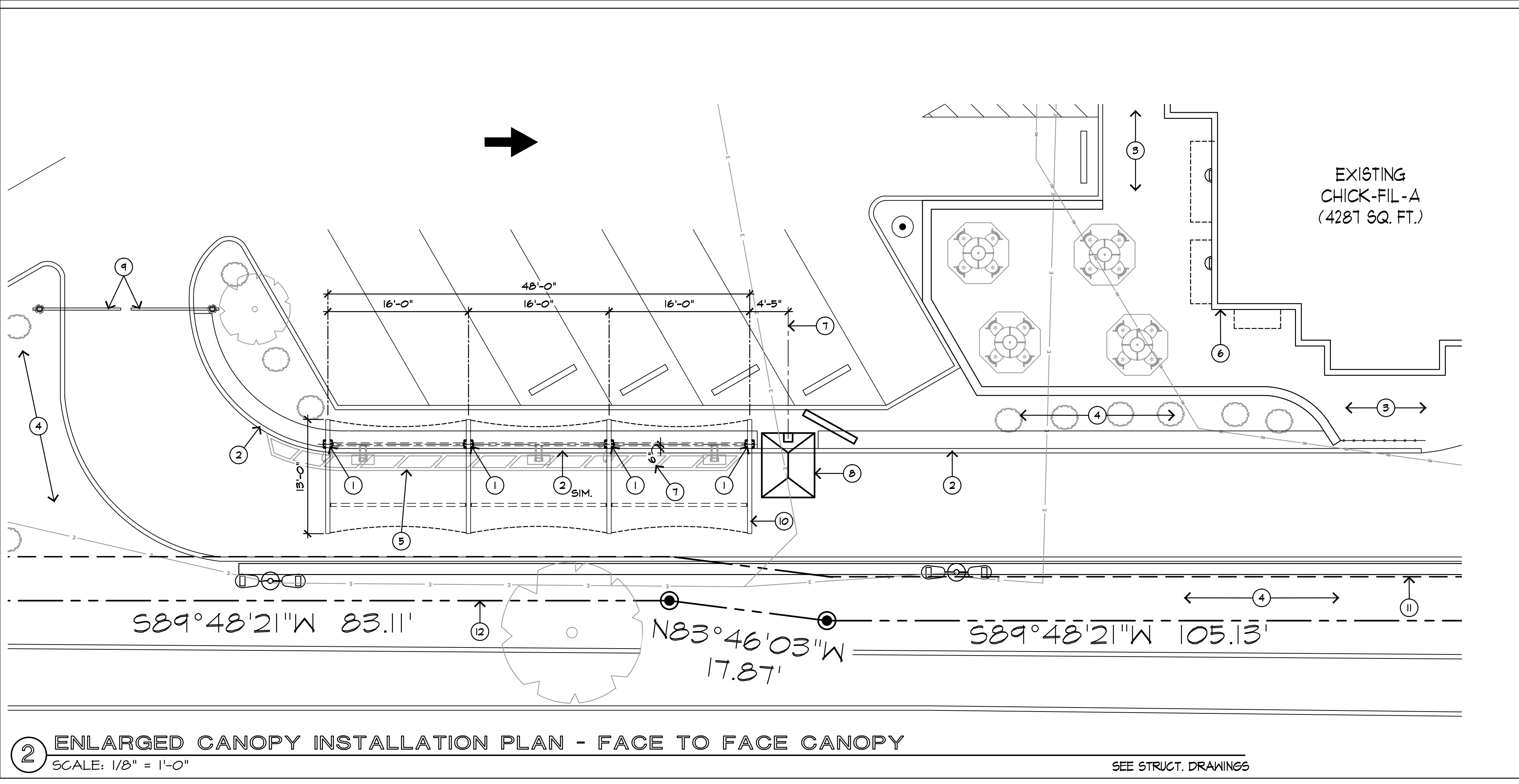


1 ENLARGED CANOPY INSTALLATION PLAN - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS

- GENERAL NOTES**
- THE DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTER OF COLUMN LINE ONLY AND HAVE BEEN ESTABLISHED IN ACCORDANCE WITH CHICK-FIL-A STANDARD DESIGN GUIDELINES.
 - COLUMNS SHALL BE INSTALLED IN A MANNER AS NOT TO DISTURB THE EXISTING EXTERIOR BUILDING FOUNDATIONS NOR UNDERMINE THE EXISTING EXTERIOR BUILDING STEM WALLS/FOOTINGS.
 - WHERE AN OFFSET CAISSON FOOTING OR SPREAD FOOTING IS REQUIRED, THE G.C. SHALL COORDINATE THE EXISTING FIELD CONDITIONS TO THE CANOPY FABRICATOR FOR APPROVAL PRIOR TO INSTALLATION OF THE FOOTINGS.
 - COLUMNS NEEDING TO BE RELOCATED INTO THE DRIVE LANE OR TEAM WALK WAY, THE G.C. SHALL NOTIFY THE FIELD CONSTRUCTION MANAGER TO GAIN PROPER APPROVAL FROM CHICK-FIL-A PRIOR TO COMMENCEMENT OF SAID CONSTRUCTION WORK.

- CONSTRUCTION NOTES - MEAL DELIVERY**
- NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR FURTHER DETAILS. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED OR REPLACED AS REQUIRED PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXIST. CONG. SURFACES.
 - EXISTING CONCRETE CURB TO REMAIN. SAW CUT AND REMOVE PORTION OF CURB AS REQUIRED FOR INSTALLATION OF NEW FOOTING. UPON FOOTING INSTALLATION G.C. SHALL PATCH AND REPAIR EXIST. CURB AS REQUIRED. PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXIST. CONG. CURB. G.C. SHALL REPLACE ANY KNOWN CRACKED OR DAMAGED ON SITE CONG. CURBING (TYP.).
 - EXISTING CONCRETE WALKWAY TO REMAIN.
 - EXISTING LANDSCAPING AREA TO REMAIN.
 - DASHED LINE INDICATING OUTLINE OF OVERHEAD CANOPY. REFER TO CANOPY SHOP DRAWINGS WITH-IN THIS SET.
 - FACE OF EXISTING EXTERIOR BUILDING WALL. DO NOT DISTURB.
 - XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. G.C. TO FIELD VERIFY EXACT LOCATION AND NOTIFY CHICK-FIL-A PROJECT TEAM IF CANOPY LOCATION CHANGES AND IMPACTS OTHER CONSTRUCTION RELATED CONDITIONS.
 - EXISTING MEAL DELIVERY PICK UP WINDOW. DO NOT DISTURB.
 - EXISTING BOLLARD TO BE REMOVED.
 - DASHED LINE INDICATING EXISTING AWNING TO BE REMOVED. G.C. TO REPAIR EXIST. EXTERIOR WALL AS REQUIRED APPLY TOUCH-UP PAINT FIELD MATCH EXIST. COLOR AND WALL FINISH. PROVIDE FLUSH TRANSITION FOR ALL PATCH WORK.
 - EXISTING AWNING TO REMAIN. NO CHANGE.
 - EXISTING DRIVE THRU LANE TO REMAIN.
 - EXIST. A.D.A. COMPLIANT CONG. CURB RAMP TO REMAIN. DO NOT DISTURB.
 - EXISTING SECURITY LIGHTS TO REMAIN.
 - EXISTING BUILDING SETBACK LINE SHOWN FOR REFERENCE.
 - EXISTING PROPERTY LINE SHOWN FOR REFERENCE.
- REFERENCE:**
- SCALE: 1/8" = 1'-0"
- NORTH



2 ENLARGED CANOPY INSTALLATION PLAN - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS

- GENERAL NOTES**
- THE DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTER OF COLUMN LINE ONLY AND HAVE BEEN ESTABLISHED IN ACCORDANCE WITH CHICK-FIL-A STANDARD DESIGN GUIDELINES.
 - COLUMNS SHALL BE INSTALLED IN A MANNER AS NOT TO DISTURB THE EXISTING EXTERIOR BUILDING FOUNDATIONS NOR UNDERMINE THE EXISTING EXTERIOR BUILDING STEM WALLS/FOOTINGS.
 - WHERE AN OFFSET CAISSON FOOTING OR SPREAD FOOTING IS REQUIRED, THE G.C. SHALL COORDINATE THE EXISTING FIELD CONDITIONS TO THE CANOPY FABRICATOR FOR APPROVAL PRIOR TO INSTALLATION OF THE FOOTINGS.
 - COLUMNS NEEDING TO BE RELOCATED INTO THE DRIVE LANE OR TEAM WALK WAY, THE G.C. SHALL NOTIFY THE FIELD CONSTRUCTION MANAGER TO GAIN PROPER APPROVAL FROM CHICK-FIL-A PRIOR TO COMMENCEMENT OF SAID CONSTRUCTION WORK.

- CONSTRUCTION NOTES - FACE TO FACE**
- NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR FURTHER DETAILS. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED OR REPLACED AS REQUIRED PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXIST. CONG. SURFACES.
 - EXISTING CONCRETE CURB TO REMAIN. SAW CUT AND REMOVE PORTION OF CURB AS REQUIRED FOR INSTALLATION OF NEW FOOTING. UPON FOOTING INSTALLATION G.C. SHALL PATCH AND REPAIR EXIST. CURB AS REQUIRED. PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXIST. CONG. CURB. G.C. SHALL REPLACE ANY KNOWN CRACKED OR DAMAGED ON SITE CONG. CURBING (TYP.).
 - EXISTING CONCRETE WALKWAY TO REMAIN.
 - EXISTING LANDSCAPING AREA TO REMAIN.
 - NEW 24" WIDE TEAM MEMBER DEMARCATION STRIPING. USE TRAFFIC RATED PAINT. MIN. (2) COATS.
 - FACE OF EXISTING EXTERIOR BUILDING WALL - DO NOT DISTURB.
 - XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. G.C. TO FIELD VERIFY EXACT LOCATION OF COLUMN STARTING POINT. NOTIFY CHICK-FIL-A PROJECT TEAM OF ANY DISCREPANCIES IMPACTING OTHER CONSTRUCTION PHASES OR RELATED CONDITIONS.
 - EXISTING DRIVE THRU ORDER POINT MENU BOARD. DO NOT DISTURB.
 - EXISTING CLEARANCE BARS TO REMAIN. DO NOT DISTURB.
 - DASHED LINE INDICATING OUTLINE OF OVERHEAD CANOPY. REFER TO CANOPY DRAWINGS WITH-IN THIS SET.
 - EXISTING BUILDING SETBACK LINE SHOWN FOR REFERENCE.
 - EXISTING PROPERTY LINE SHOWN FOR REFERENCE.
- REFERENCE:**
- SCALE: 1/8" = 1'-0"
- NORTH

5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
(404) 765-8000

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esencia

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Tempe, Arizona 85283
Telephone 480-755-0959

STATE OF NEW MEXICO
JEFFREY W. WINTER
No. 004961
REGISTERED ARCHITECT
05-29-2020

Revision Schedule

Rev	Date	By	Description

Project Name: CANOPY PROGRAM

CHICK-FIL-A

STORE #2793

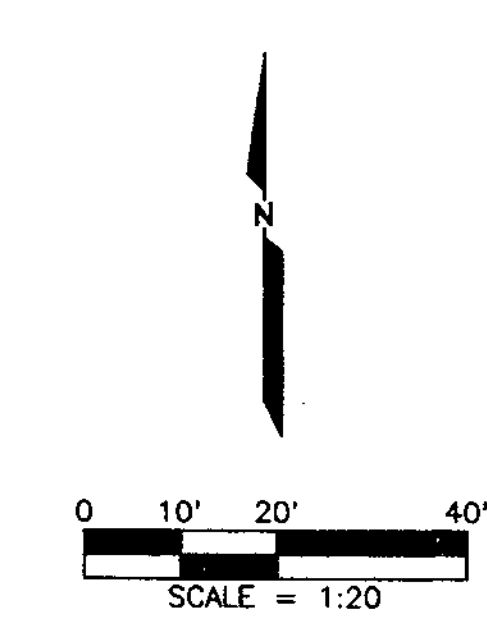
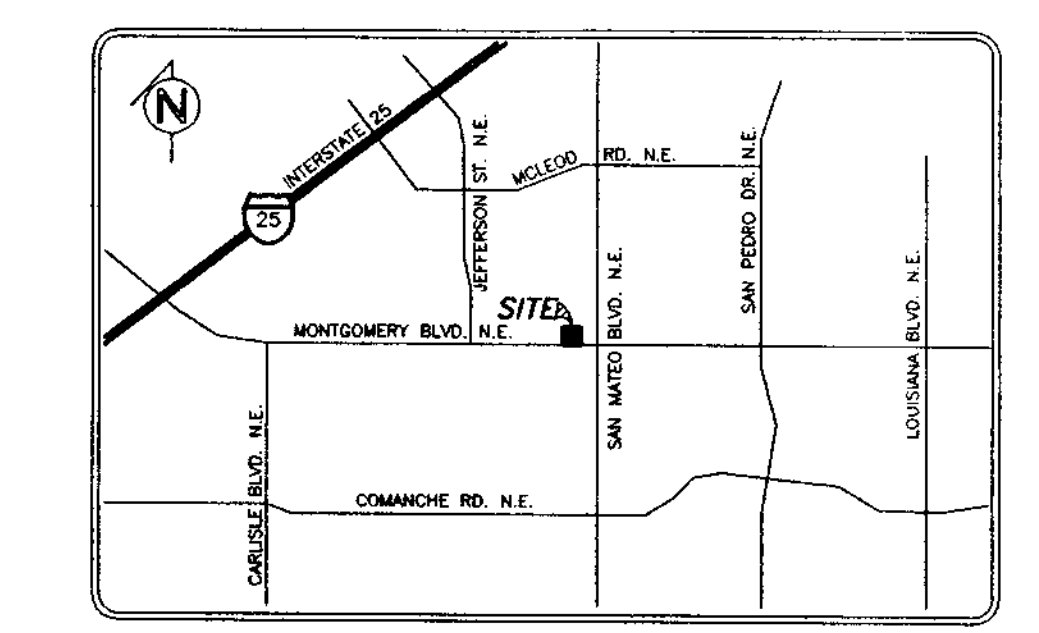
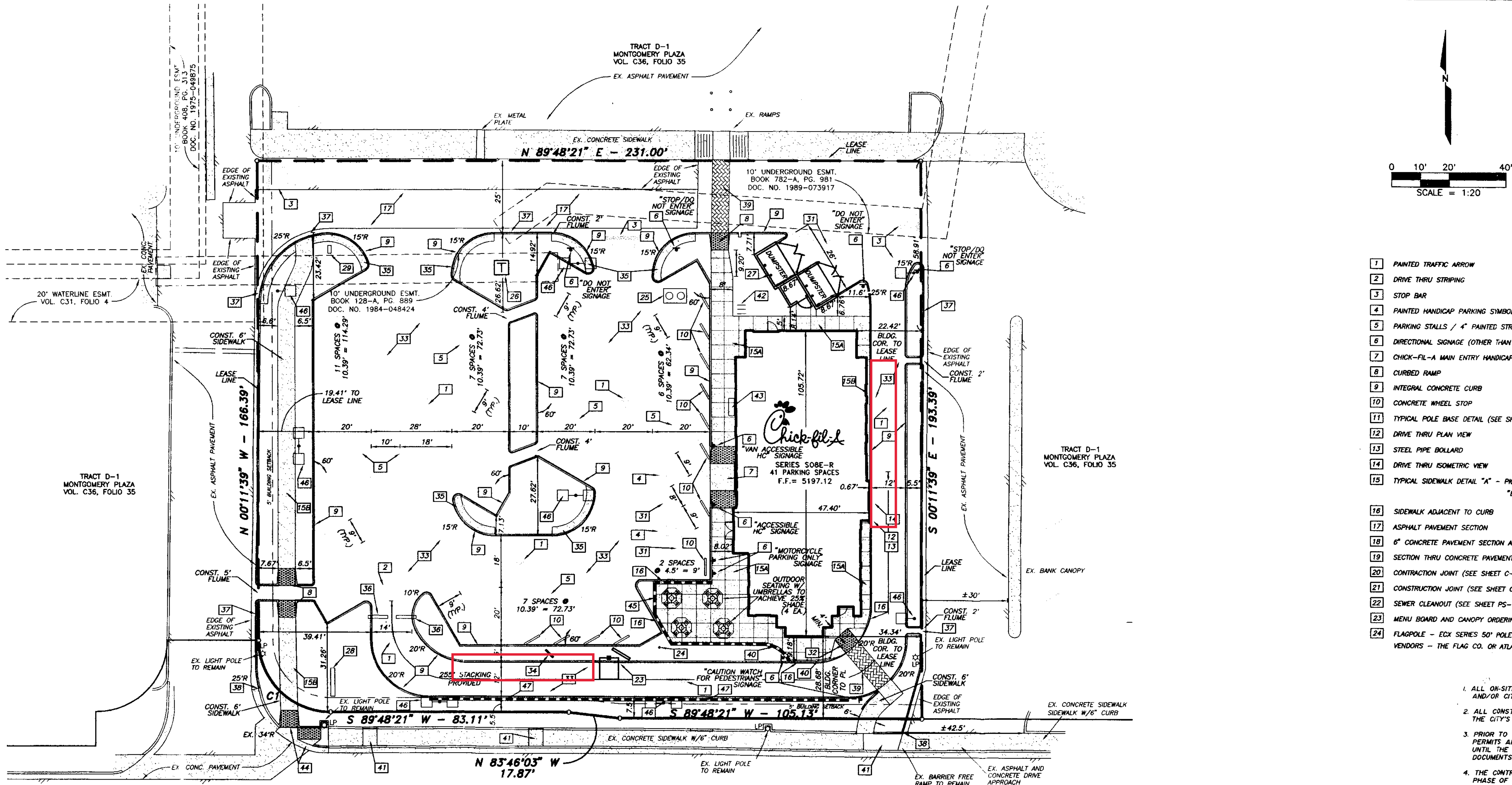
5009 MONTGOMERY BLVD. NE
ALBUQUERQUE, NM 87109

Issue Date: 05-29-2020
Drawn By: GA
Job Number: 19060

Sheet Title: **Enlarged Canopy Plan**

Scale: As indicated

Sheet Number: **A-2**



LAYOUT NOTES

- 1 PAINTED TRAFFIC ARROW
- 2 DRIVE THRU STRIPING
- 3 STOP BAR
- 4 PAINTED HANDICAP PARKING SYMBOL
- 5 PARKING STALLS / 4" PAINTED STRIPE
- 6 DIRECTIONAL SIGNAGE (OTHER THAN CHICK-FIL-A SIGNS)
- 7 CHICK-FIL-A MAIN ENTRY HANDICAP RAMP
- 8 CURBED RAMP
- 9 INTEGRAL CONCRETE CURB
- 10 CONCRETE WHEEL STOP
- 11 TYPICAL POLE BASE DETAIL (SEE SHEET ES1)
- 12 DRIVE THRU PLAN VIEW
- 13 STEEL PIPE BOLLARD
- 14 DRIVE THRU ISOMETRIC VIEW
- 15 TYPICAL SIDEWALK DETAIL "A" - PICTURE FRAME PATTERN "B" - BROOM FINISH
- 16 SIDEWALK ADJACENT TO CURB
- 17 ASPHALT PAVEMENT SECTION
- 18 6" CONCRETE PAVEMENT SECTION AT DRIVE-THRU (NOT USED)
- 19 SECTION THRU CONCRETE PAVEMENT AT DUMPSTER (NOT USED)
- 20 CONTRACTION JOINT (SEE SHEET C-7)
- 21 CONSTRUCTION JOINT (SEE SHEET C-7)
- 22 SEWER CLEANOUT (SEE SHEET PS-1)
- 23 MENU BOARD AND CANOPY ORDERING STATION
- 24 FLAGPOLE - EXX SERIES 50' POLE POG BY APPROVED VENDORS - THE FLAG CO. OR ATLAS FLAG
- 25 GREASE TRAP
- 26 TRANSFORMER
- 27 DUMPSTER/STORAGE AREA W/SCREENING TO MATCH BUILDING MATERIAL
- 28 CHICK-FIL-A PRIME SIGN (NOT USED)
- 29 CHICK-FIL-A ENTER SIGN
- 30 CHICK-FIL-A EXIT SIGN (NOT USED)
- 31 STRIPING
- 32 RECESSED FLARED HANDICAP RAMP
- 33 CONCRETE PAVEMENT
- 34 PRE-SELL MENU BOARD
- 35 CONCRETE RADIUS PROTECTION
- 36 CLEARANCE BAR (REF. SIGN PLAN)
- 37 MONOLITHIC CURB & GUTTER
- 38 MATCH EX. CURB & GUTTER
- 39 COLORED & PATTERNED CONCRETE PEDESTRIAN CROSSWALK
- 40 ALUMINUM HAND RAIL
- 41 NEW 6" SIDEWALK PER CITY DETAIL 24.30 W/6" CURB PER CITY OF ALBUQUERQUE STANDARDS
- 42 BIKE RACK INVERTED "U" STYLE, RED COLOR (3 EA.)
- 43 BENCH TO MATCH PATIO FURNITURE
- 44 BARRIER FREE RAMP W/ADA APPROVED TRUNCATED DOMES PER CITY OF ALBUQUERQUE STD. DWG. 2426
- 45 MASONRY SCREEN WALL WITH 1" LATTICE (REF. ARCH. PLANS DETAIL 6/A3.1)
- 46 LIGHT POLE
- 47 MASONRY SCREEN WALL WITHOUT LATTICE (REF. ARCH. PLANS DETAIL 6/A3.1)

NOTES

1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
2. ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
4. THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
6. IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
8. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
9. ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
10. ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.

Chick-fil-A
 5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:
 Mark Date By
 1 8-4-20 JM
 Addition of canopies

Mark Date By
 Mark Date By
 Mark Date By

BRYAN M. BURGER
 NEW MEXICO
 16354
 PROFESSIONAL ENGINEER
 5-29-11

PART OF TRACT D-1
 MONTGOMERY PLAZA
 5031 MONTGOMERY BOULEVARD, NE
 CITY OF ALBUQUERQUE, NEW MEXICO

STORE
 SERIES
 SO8E-R

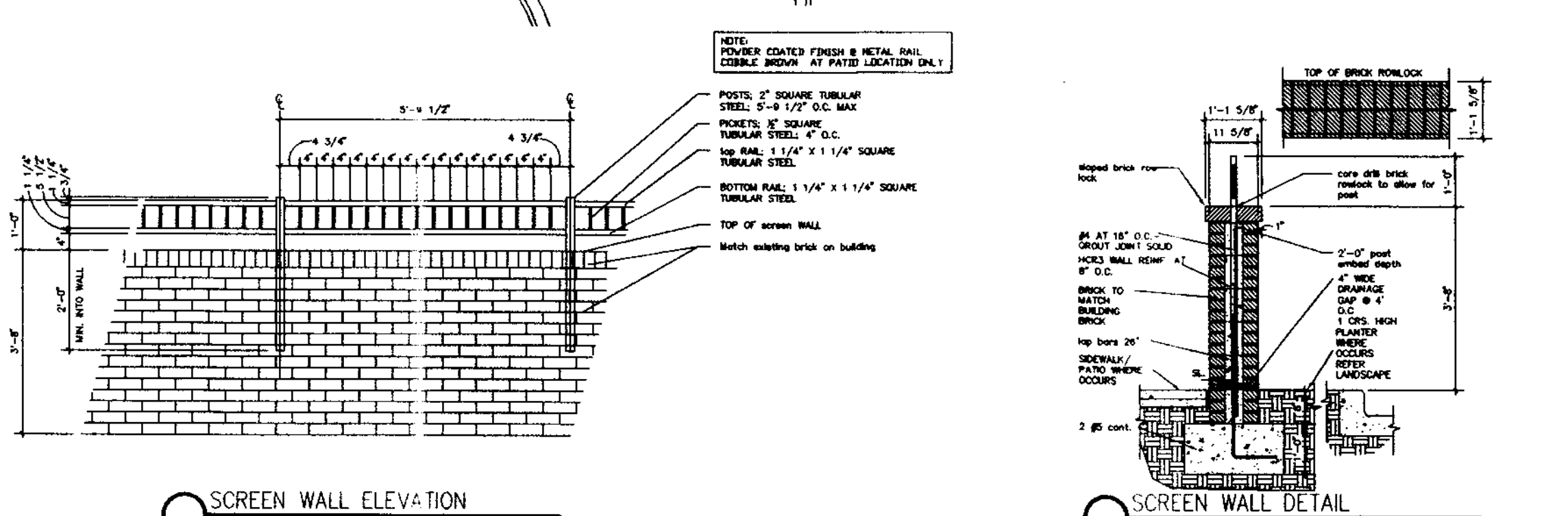
SHEET TITLE
SITE PLAN

88 Preliminary
 80% Submittal
 For Construction

Job No. : 013-007
 Store : 2793
 Date : 11/18/10
 Drawn By : JAC
 Checked By : BMB
 Sheet

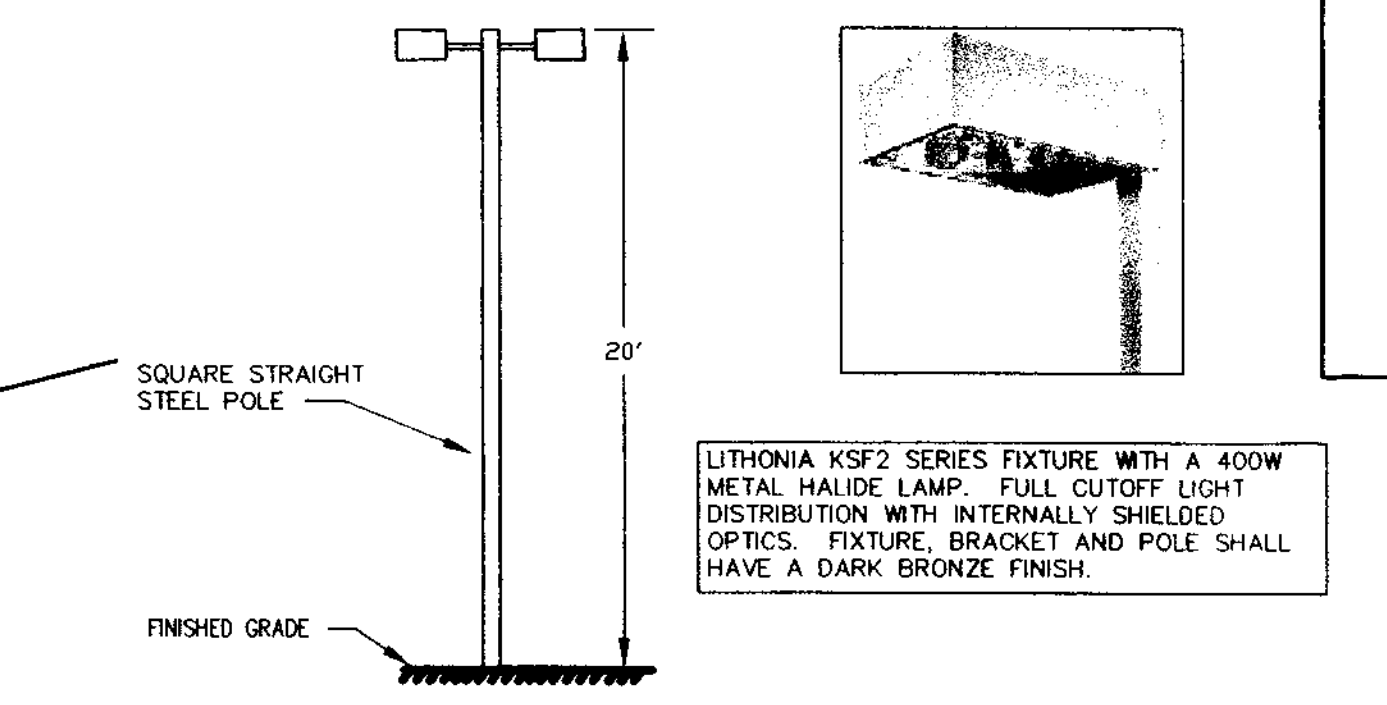
C-3

MONTGOMERY BOULEVARD N.E.



ADMINISTRATIVE AMENDMENT
 FILE # 11-10006 PROJECT # 1000736
 4300 drive thru restaurant
 APPROVED BY *Manore* DATE 4/7/11

2 SITE LIGHTING POLE DETAIL
 NOT TO SCALE



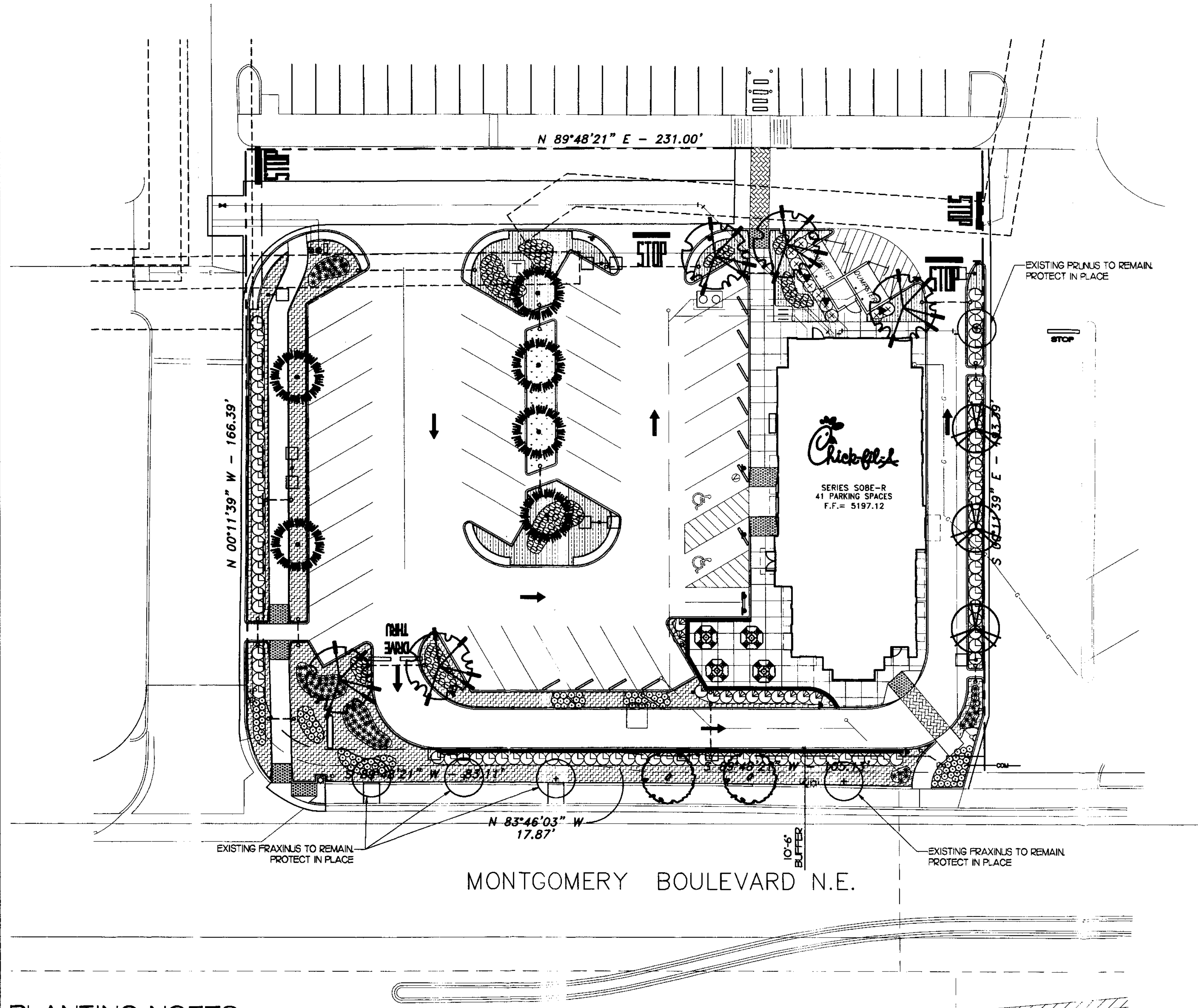
LITHONIA XSF2 SERIES FIXTURE WITH A 400W METAL HALIDE LAMP. FULL CUTOFF LIGHT DISTRIBUTION WITH INTERNALLY SHIELDED OPTICS. FIXTURE, BRACKET AND POLE SHALL HAVE A DARK BRONZE FINISH.

Albuquerque Control Survey Monument "9-F18"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83) as published
 North = 1,504,358.281 feet
 East = 1,539,870.627 feet
 Elevation = 5212.228 feet (NAVD 1988)
 Delta Alpha = -00'11"36.74"
 Ground to Grid Factor = 0.999666141

BURGER ENGINEERING
 Civil Consultants
 17103 Preston Road, Suite 180N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380

PLANTING LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.	REMARKS	WATER USAGE	HEIGHT	WIDTH
EXISTING PLANTING							
⊕	EXISTING PRUNUS	EXT'G	1	EXISTING TO REMAIN	-	-	-
+	EXISTING FRAXINUS	EXT'G	4	EXISTING TO REMAIN	-	-	-
TREES							
	FRAXINUS PENNSYLVANICA GREEN ASH	2" CALIPER	2	STANDARD DOUBLE STAKE	MED	60'	60'
	PROSOPIS GLANDULOSA HONEY MESQUITE	2" CALIPER	6	STANDARD DOUBLE STAKE	LOW	20'	25'
	PISTACIA CHINENSIS CHINESE PISTACHE	2" CALIPER	5	STANDARD DOUBLE STAKE LIFT • SITE TRIANGLES	MED	60'	60'
	PRUNUS CERASIFERA PURPLELEAF PLUM	2" CALIPER	3	STANDARD DOUBLE STAKE	MED	20'	20'
SHRUBS							
⊗	ELAEGNUS PUGENS SILVERBERRY	15 GALLON	11	4'-0" O.C.	MED	10'	10'
⊙	GENISTA HISPANICA SPANISH BROOM	5 GALLON	12	4'-0" O.C.	MED	48"	48"
*	HELICOTRICHON SEMPERVIRENS BLUE AVENA GRASS	5 GALLON	94	2'-0" O.C.	MED	24"	24"
⊖	HEMEROCALLIS 'STELLA D'ORO' EVERGREEN DAYLILY	5 GALLON	111	2'-0" O.C.	MED	24"	36"
⊕	LEUCOPHYLLUM LANGMANIAE RIO BRAVO RAINSAGE	5 GALLON	92	4'-0" O.C.	MED	48"	48"
⊖	SALVIA LAVANDULIFOLIA LAVENDER SAGE	5 GALLON	147	2'-0" O.C.	MED	24"	24"
GROUNDCOVERS							
	CYNODON DACTYLON BERMUDA GRASS	SOD	400 S.F.		MED	-	-
	FESTUCA OVINA 'GLAUCA' BLUE FESCUE	FLATS	3,488 S.F. 8" O.C.		MED	12"	12"
	OENOTHERA CAESPITOSA WHITE EVENING PRIMROSE	FLATS	1,205 S.F. 12" O.C.		LOW	12"	12"
VINES							
▼	LONICERA C. 'PURPURERA' PURPLE LEAF HONEYSUCKLE	15 GALLON	4	REMOVE FROM STAKES. ATTACH TO WALL WITH TUMAX VINE TIES	MED	-	-



PLANTING NOTES

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION(S) FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL TREES SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH IN THE LATEST EDITION OF 'NEW MEXICO ASSOCIATION OF NURSERY INDUSTRIES' (NMANI) FOR RECOMMENDED TREE SPECIFICATIONS.
- ALL SHRUBS AND GROUND COVER SHALL EQUAL OR SURPASS 'NEW MEXICO ASSOCIATION OF NURSERY INDUSTRIES' (NMANI) FOR STANDARDS, QUALITY, AND SIZE.
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- SEE PLANTING DETAILS FOR PLANTING AND STAKING AND GUTTING REQUIREMENTS.
- FERTILIZER FOR ALL GROUND COVER AREAS SHALL BE AS SPECIFIED WITHIN THE SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, ROLLING, MOVING, RESEEDING, EDGING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
- ALL SHRUB AREAS TO BE TOP DRESSED WITH 2" LAYER OF DECOMPOSED GRANITE 1/2" SCREENED 'EXPRESS BROWN'.
- ALL TREES PLANTED WITHIN FIVE (5) FEET OF ANY PAVING, WALLS, BUILDINGS, CURBS, ETC. SHALL BE INSTALLED WITH AN APPROVED 'DEEP ROOT' BARRIER (EXCLUDING PALMS).
- FINISH GRADE TO BE 1" BELOW TOP OF CURB OR SIDEWALK FOR TURF AND GROUND COVER AREAS.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF UTILITIES. REPAIR TO INCLUDE ALL DAMAGED IRRIGATION AND PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- ALL PLANTER AREAS TO BE ROTOTILLED AND AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS. NO DEVIATIONS.
- ALL PLANTED AREAS TO BE IRRIGATED UTILIZING LOW VOLUME SPRAY HEADS, BUBBLERS AND/OR DRIP EMITTERS CONNECTED TO AN AUTOMATIC REMOTE CONTROL VALVE AND TIED INTO A CENTRAL AUTOMATIC IRRIGATION CONTROLLER.
- IRRIGATION CONTROLLER TO BE INSTALLED WITH RAIN SENSOR DEVICE (RAINBIRD OR EQUAL) TO CONSERVE WATER.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT SHALL ADHERE TO CITY OF ALBUQUERQUE LANDSCAPE STANDARDS.
- ALL FINISH GRADING SHALL BE DIRECTED AWAY FROM THE BUILDING AND WALKS AND TOWARDS THE PVIOUS PLANTER AREAS TO THE MAXIMUM EXTENT PRACTICABLE. REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE.
- ALL UTILITIES TO BE SCREENED WITH PLANTING AND ALL BACKFLOW PREVENTERS TO BE SCREENED WITH PLANTING AND INSTALLED WITH A STAINLESS STEEL SECURITY ENCLOSURE.
- DEVELOPED AREAS OF THIS PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- MAXIMUM WATER ALLOWANCE & ESTIMATE WATER USE SHALL BE CALCULATED AND SUBMITTED ON ALL LANDSCAPE CONSTRUCTION DOCUMENTS SUBMITTED TO THE CITY OF ALBUQUERQUE.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO THE PUBLIC FACILITIES DEVELOPMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT. TREE & SHRUBS SHALL BE PLACED ON SEPARATE LINES & VALVES.

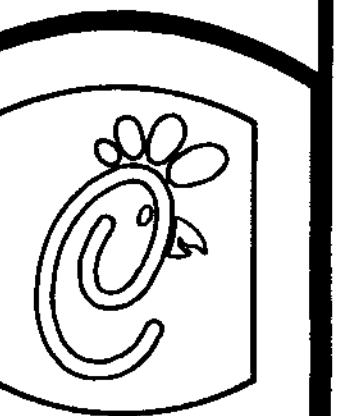
LANDSCAPE CALCULATIONS		
LOT AREA:	1.0171 ACRES (44,306 S.F.)	
TOTAL LANDSCAPE:	8,830 S.F. (20.0%)	
SHRUB AREA:	8,430 S.F.	
TURF AREA:	400 S.F.	
TOTAL LANDSCAPE AREA:	8,830 S.F.	
REQUIREMENT	REQUIRED	PROPOSED
PARKING LOT SHADING 1 TREE PER 10 STALLS (MIN 2" CALIPER) (PLANNING) 41/10 = 4.1	5	8
1 TREE PER 8 STALLS (ZONING) 41/8 = 5.125	6	8
BUFFER 10' MIN DEPTH	10'	10'-6"
MINIMUM PLANT SIZES TREES - 2" CALIPER SHRUBS 1 GALLON GROUNDCOVER - 75% COVERAGE WITHIN 1 SEASON		

Hourian Associates
Landscape Architecture
24661 DEL PRADO AVE. SUITE 9
DANA POINT, CA 92624
TEL: 949-464-5625
FAX: 949-464-5602

GRAPHIC SCALE
1 inch = 20 ft

PRELIMINARY PLANTING PLAN
1" = 20'-0"

BURGER ENGINEERING
Civil Consultants
17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

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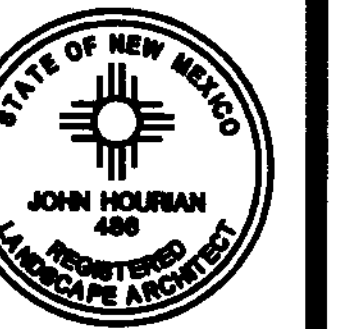
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Mark Date By

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Mark Date By

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PART OF TRACT D-1
MONTGOMERY PLAZA
5031 MONTGOMERY BOULEVARD, NE
CITY OF ALBUQUERQUE, NEW MEXICO

STORE

SERIES
S08E-R

SHEET TITLE
PRELIMINARY
PLANTING PLAN

80% Submittal
For Construction

Job No. : 013-007

Store : 2793

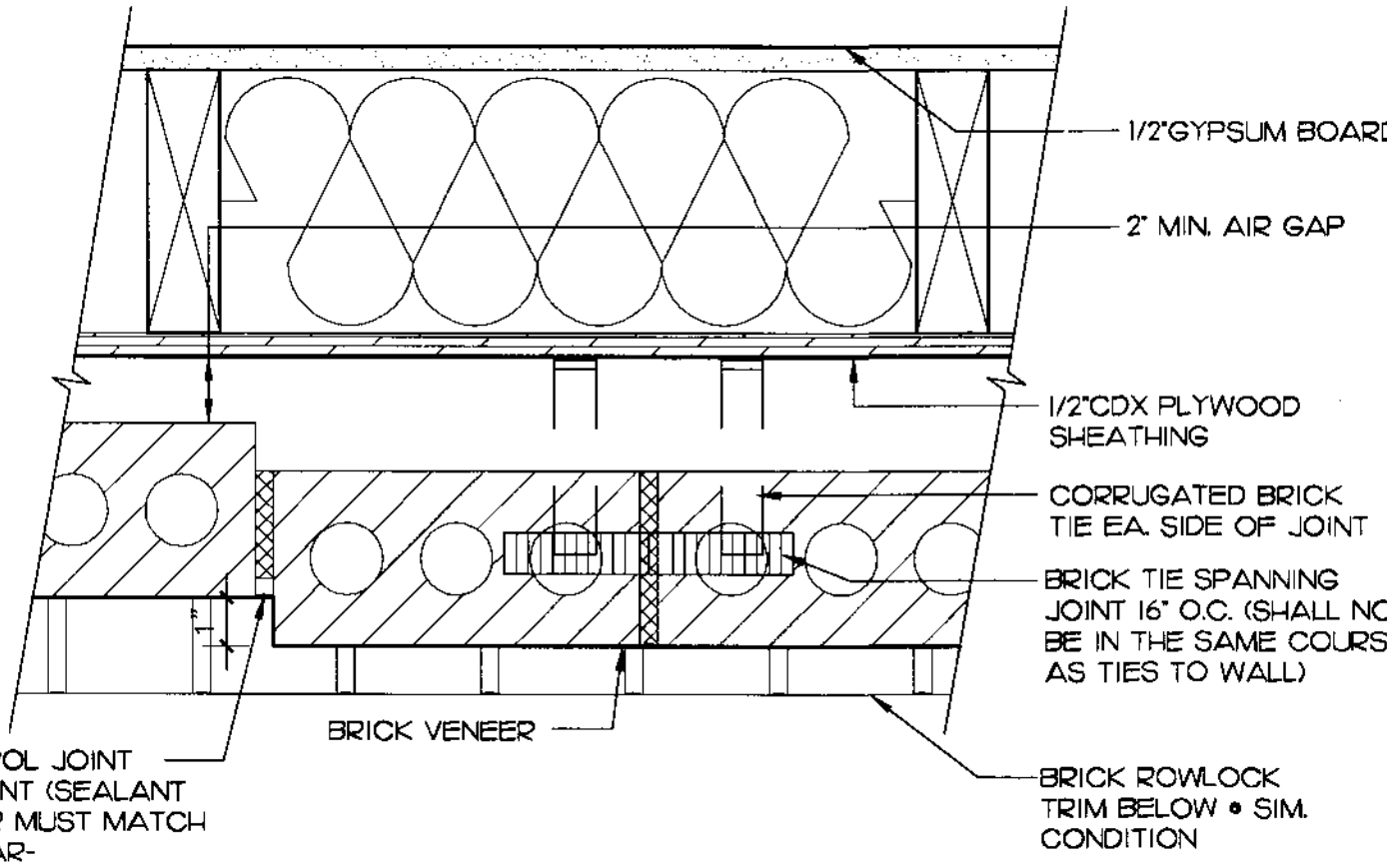
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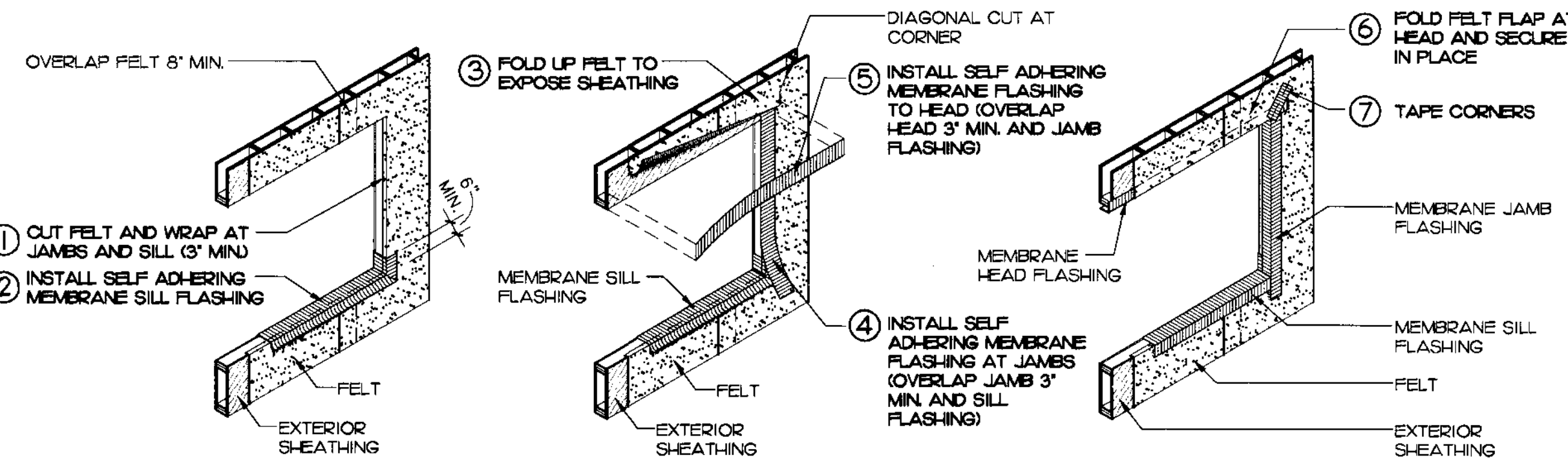
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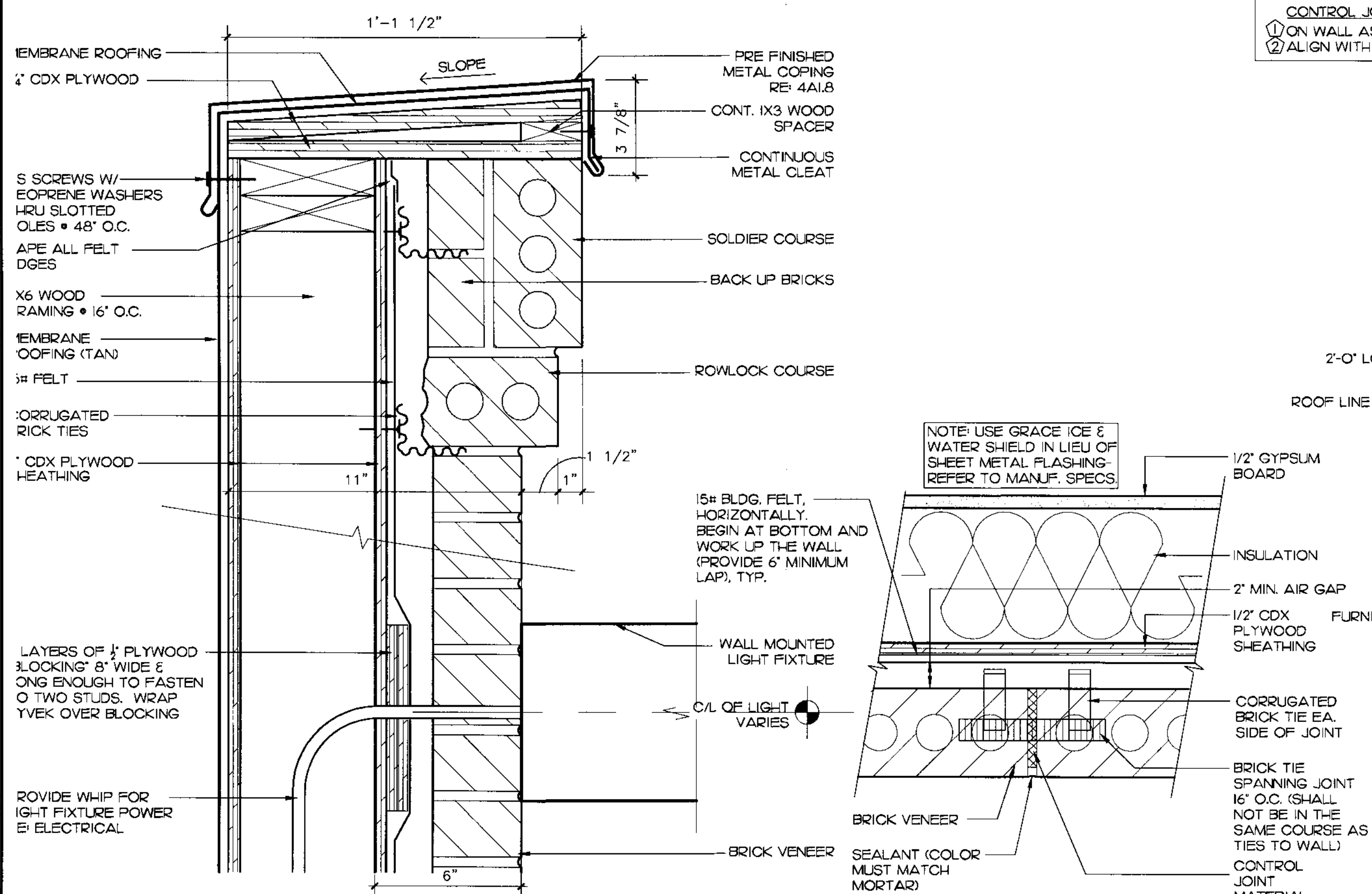
L-1



15 BRICK PILASTER DETAIL
3" = 1'-0"



5 STOREFRONT FLASHING
NOT TO SCALE



3 PARAPET DETAIL
3" = 1'-0"

5. GENERAL NOTES:

- REFER TO CIVIL DRAWINGS FOR FINISH GRADES AND LOCATION OF WALKS.
- PROVIDE BLOCKING FOR ALL EXTERIOR WALL MOUNTED LIGHT FIXTURES, AWNINGS & SIGNS AS REQUIRED.
- PAIN'T ALL WOOD AND METALS EXPOSED TO THE EXTERIOR.

6. DRIVE - THRU WINDOW:

QUIKSERV FULLY AUTOMATIC BI-PARTING MODEL BP-724IE - FINISH TO MATCH STOREFRONT CONTACT: JACKIE SLIGH • (800) 388-8307

7. STOREFRONT NOTES:

PRODUCT: YKK - YES 45 (DARK BRONZE - MATTED) TO OBTAIN A LIST OF QUALIFIED GLAZING CONTRACTORS CONTACT: CFA CONSTRUCTION MANAGER
SUPPLIER: PLEASE CONTACT YOUR LOCAL YKK AP BRANCH OR: YKK- WES THORPE 7660 THE BLUFFS, STE. 100 AUSTELL, GA 30168 1-678-836-6000 1-678-396-6726 (DIRECT) EMAIL: WEST-THORPE@YKK-API.COM *PROVIDE END DAMS IN SILLS*

8. BRICK COLORS:

- BRICK #1: CRIMSON BY ACME BRICK, MODULAR SIZE
- BRICK #2: RIDGEMAR BY ACME BRICK, MODULAR SIZE

SUPPLIER: ACME BRICK TONYA COLEMAN TCOLEMAN@ACMEBRICK.COM 1-817-390-1591

MORTAR - HOLCIM DESIGNER TAN

9. BRICK SPECIFICATIONS:

BRICK TIES: CORRUGATED BRICK TIES SPACED 16" O.C. HORIZONTALLY AND 24" O.C. VERTICALLY TO OBTAIN A LIST OF QUALIFIED GLAZING CONTRACTORS CONTACT: CFA CONSTRUCTION MANAGER
ON NEW CONSTRUCTION, MINIMIZE CLEANING BY:
1. KEEPING BRICK COVERED WITH PLASTIC.
2. KEEPING MORTAR TROWELING AND DROPPINGS OFF BRICK.
3. SPREADING STRAW AROUND THE FOUNDATION TO KEEP DIRT OFF OF THE WALL.
4. CLEANING BRICK AS YOU GO, ESPECIALLY THE HEAVY DEPOSITS OF DIRT AND MORTAR.
5. MASON TO CLEAN MORTAR AFTER EACH WORK SESSION.

10. SELF ADHERING MEMBRANE FLASHING:

- PROCEDURES
- REMOVE LARGE PARTICLES FROM THE WALL WITH A HAND TOOL.
 - THOROUGHLY PRE-WET THE AREA WITH PLENTY OF WATER.
 - MAKE SURE THE AREA BELOW THE SECTION TO BE CLEANED IS ALSO THOROUGHLY WET.
 - THE WALL MUST REMAIN WET AT ALL TIMES THROUGHOUT THE CLEANING PROCESS.
 - IF A TEST PANEL CANNOT BE USED, A SMALL AREA SHOULD BE TESTED PRIOR TO CLEANING.
 - APPLY THE CLEANER ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
 - RINSE THOROUGHLY WITH WATER.

- RECOMMENDED CLEANERS:
- CLOROX, TILEX, OR VANISH TO REMOVE MILDEW.
 - 800 STAIN REMOVER FOR VANADIUM STAIN • VANA TROL FOR GENERAL CLEANING.
 - ENVIROKLEAN MPC FOR MUD AND OIL STAINS •
- * BE SURE TO FOLLOW MANUFACTURER'S RECOMMENDED PROCEDURES ON THE LABEL

11. AWNING:

FLAT SEAMLESS PREFINISHED ALUMINUM AWNING COLOR - CARDINAL RED WITH APPLIED VINYL STRIPES BY SIGN MANUFACTURER. STRIPES TO BE 3M VINYL COLORS - 'TAN' (7725-39) & 'BURGUNDY' (7725-58).
SECURE AWNING BRACKET TO 2X6 BLOCKING WITH 3/8" LAG BOLTS (2 TOP AND 2 BOTTOM OF EACH BRACKET) AND NEOPRENE WASHER. LIGHT FIXTURE IS INSTALLED ON 3" WIDE BRACKET AFFIXED TO AWNING FRAME. MOUNT PERFORATED SCREEN BELOW LIGHT FIXTURE WITH 1/2" BOLTS TO WELDED NUTS ON FRAME.

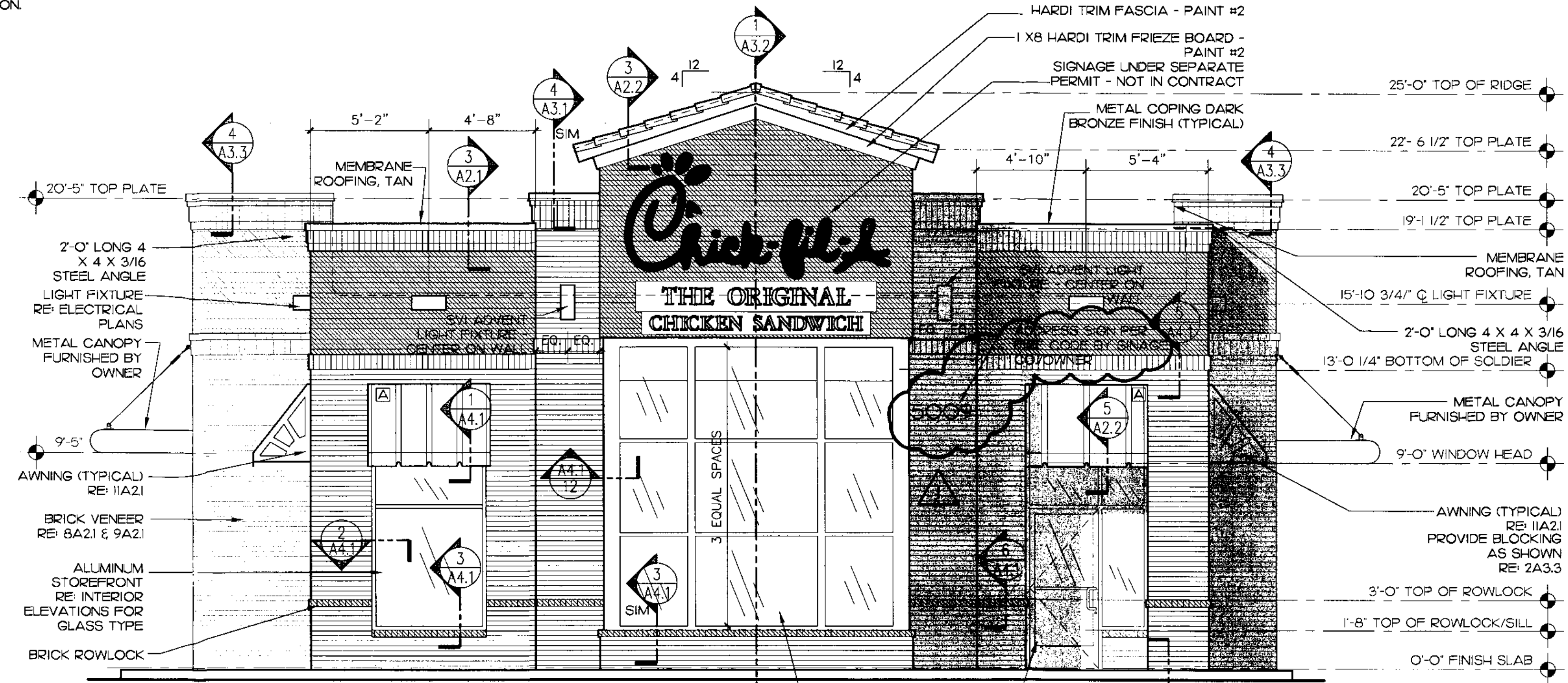
AWNING SCHEDULE:
A 5'-4" LONG
B 11'-0" LONG

12. HARDI SOFFITS & PANELS:

NON-COMBUSTIBLE FIBER-CEMENT PANELS (SMOOTH HARDI PLANK/NOT WOOD GRAIN) AS MANUFACTURED BY JAMES HARDI BUILDING PRODUCTS INC. PANELS SHALL BE SECURED WITH STAINLESS STEEL FASTENERS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
13. SEALANTS
DOW CORNING 795 URETHANE BUILDING SEALANT. COLOR - ADOBE TAN (SEALANT COLOR MUST MATCH MORTAR)
USE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

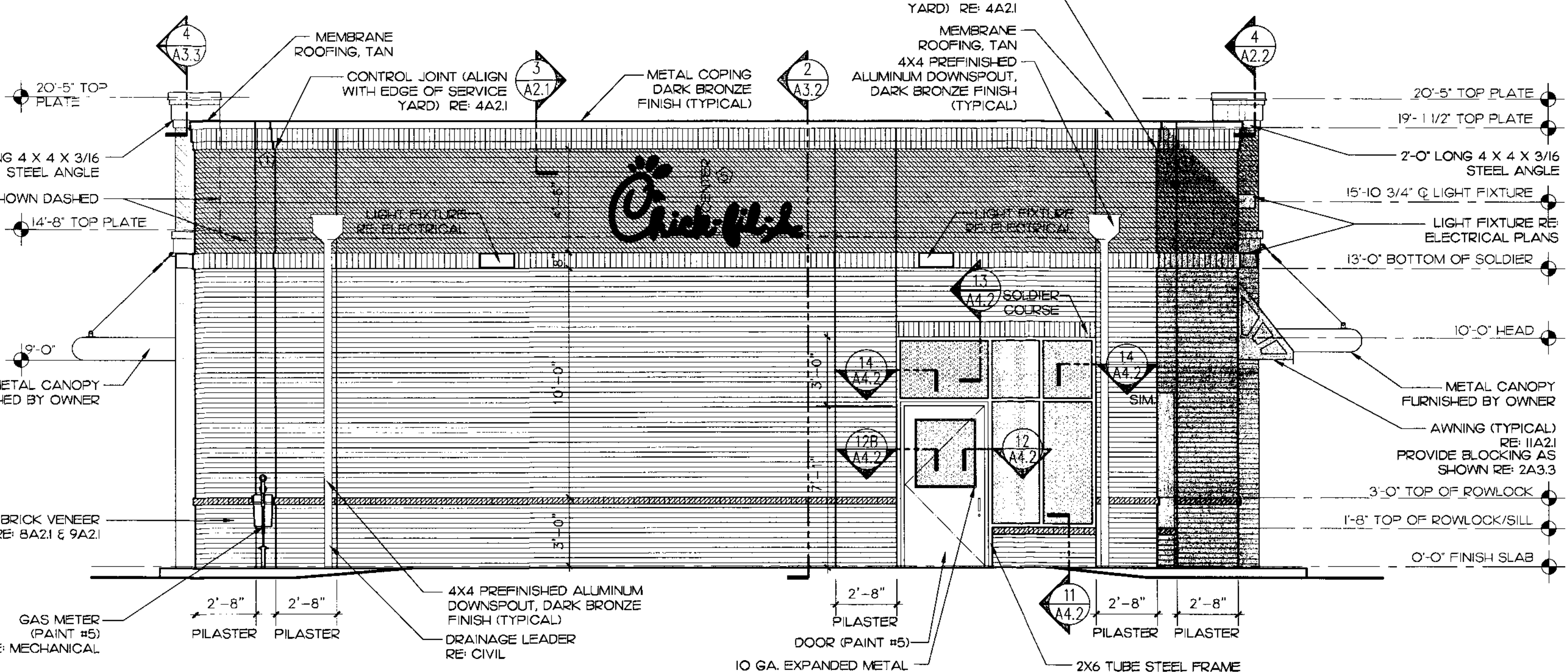
14. ATTIC ACCESS PANEL

22"x36" WEATHER RESISTANT FLUSH ACCESS PANEL, XP SERIES, MODEL #XPA (18 GA) AS MANUFACTURED BY J. INDUSTRIES.
PROVIDE ONE DOOR HANDLE (CENTERED) ON ATTIC ACCESS PANEL. DOOR LATCHES/CLOSURES ARE EXCESSIVE. SUPPLY SPRING CHAIN TO ACCESS PANEL DOOR TO PREVENT OPENING PAST 110 DEGREES.
TEL: 1-800-554-6077

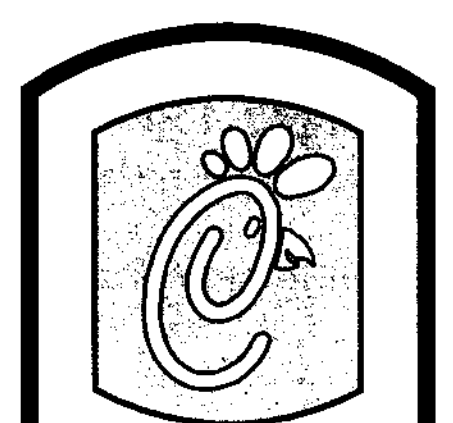


1 FRONT ELEVATION
1/4" = 1'-0"

BRICK JOINT LEGEND - RE: 4A21
CONTROL JOINTS
1 ON WALL AS DIMENSIONED
2 ALIGN WITH JAMB



2 REAR ELEVATION
1/4" = 1'-0"



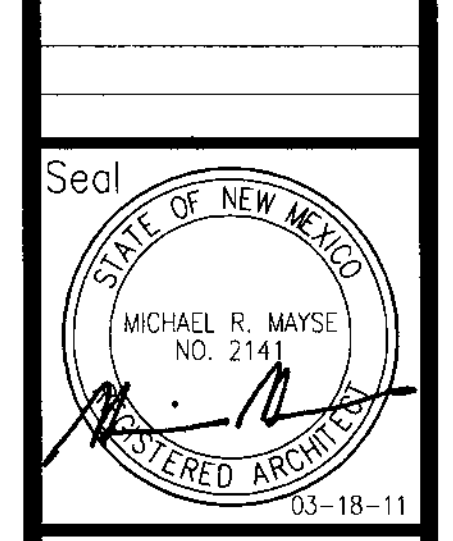
5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By

03-10-11 BUILDING PERMIT REVIEW COMMENTS

Mark Date By

Mark Date By



MAYSE & ASSOCIATES, INC.
Architects • Planners • Construction Management
15000 Camino Dr. Suite 201
Dallas, Texas 75244
Phone: (972) 346-0338 Fax: (972) 346-0576

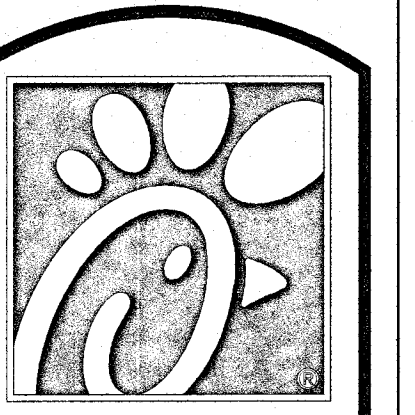
STORE
Montgomery & San Mateo FSU
508 E REVERSE V5-CL
5009 Montgomery Blvd NE
Albuquerque, NM

SHEET TITLE
EXTERIOR ELEVATIONS

VERSION: 5
ISSUE DATE: 2010

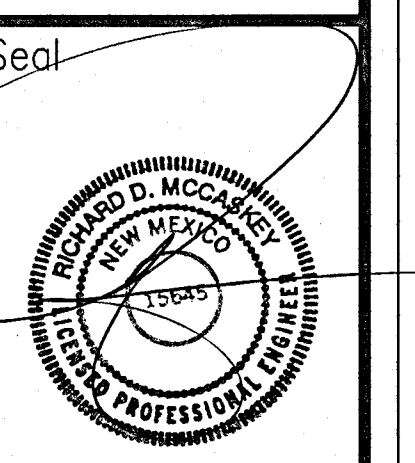
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Store : 2793
Date : 03-23-11
Drawn By : GG, EA
Checked By : ---

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Chick-fil-A
 5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:
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APR 20 2020

LANE
SUPPLY, INC.
 120 FAIRVIEW
 ARLINGTON, TX. 76010
 (817) 261-9116

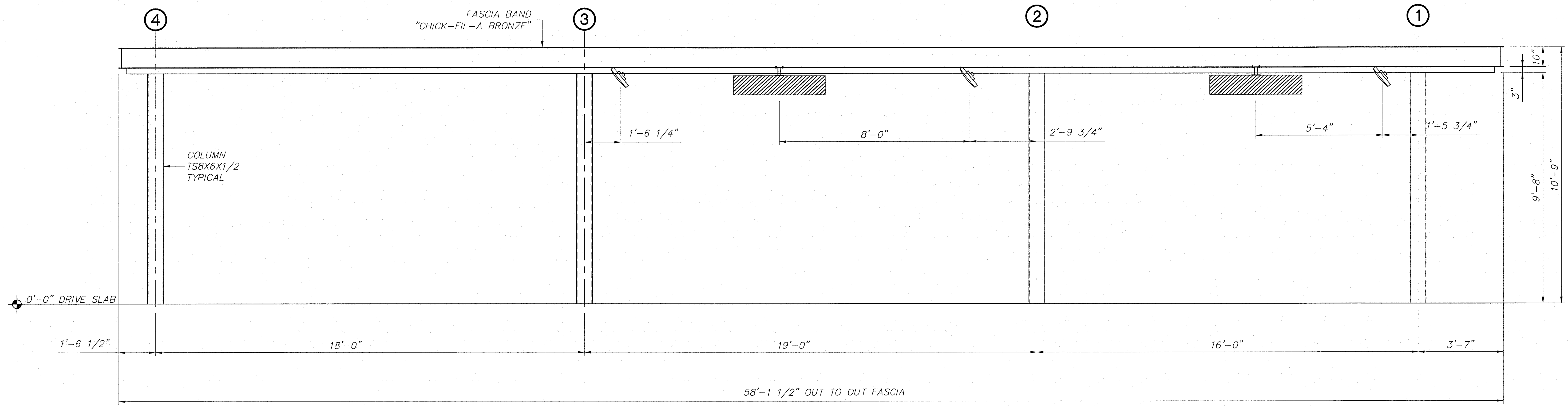
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STORE
 Chick-fil-A #2793
 5009 MONTGOMERY
 BLVD NE
 ALBUQUERQUE, NM
 87109

SHEET TITLE
**CANOPY
 ELEVATION
 PLAN**
 10'-6 1/2" X 58'-1 1/2"

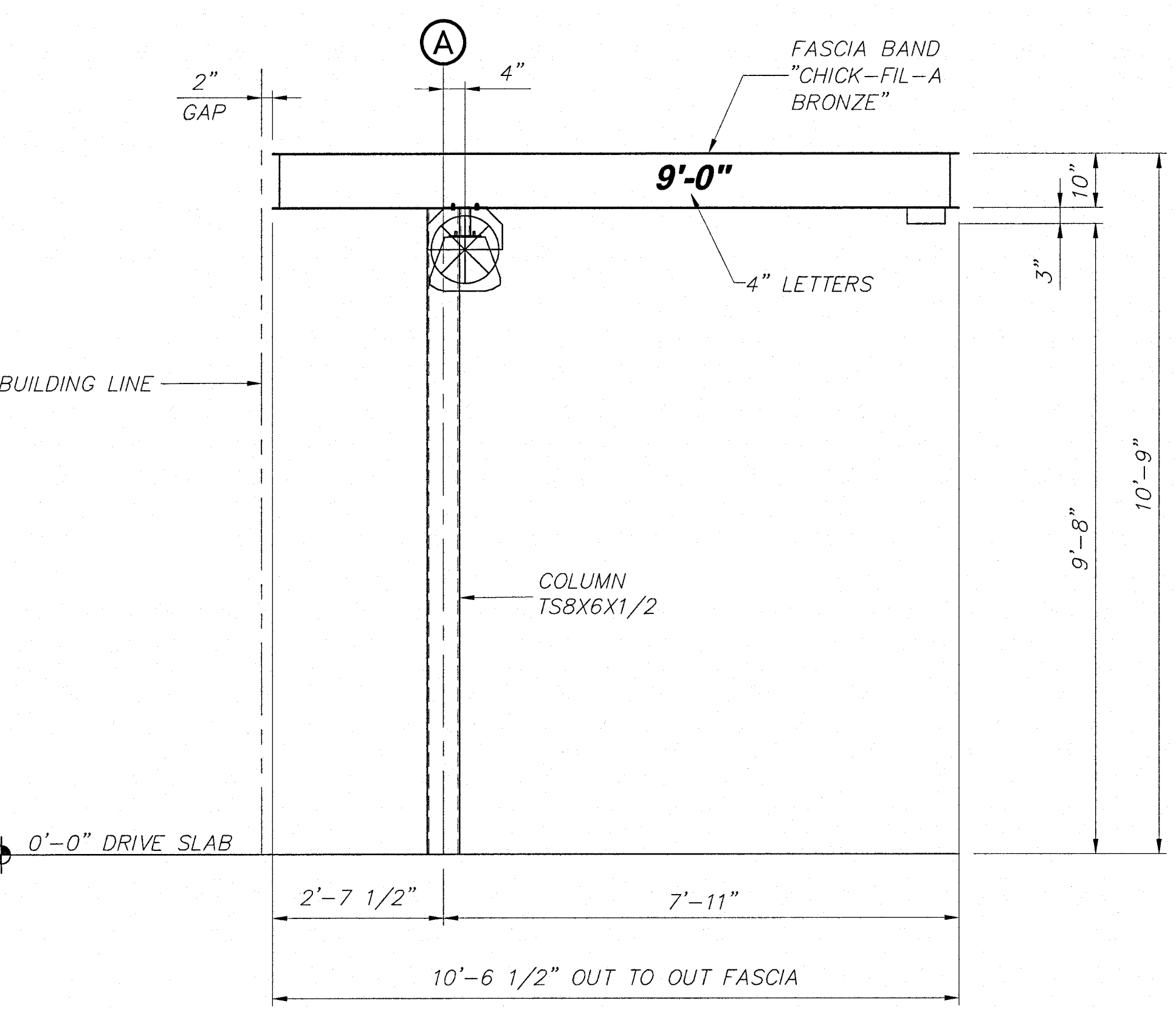
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 Store : 2793
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 Drawn By : AFG
 Checked By: ELM

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 ELI OF 1**



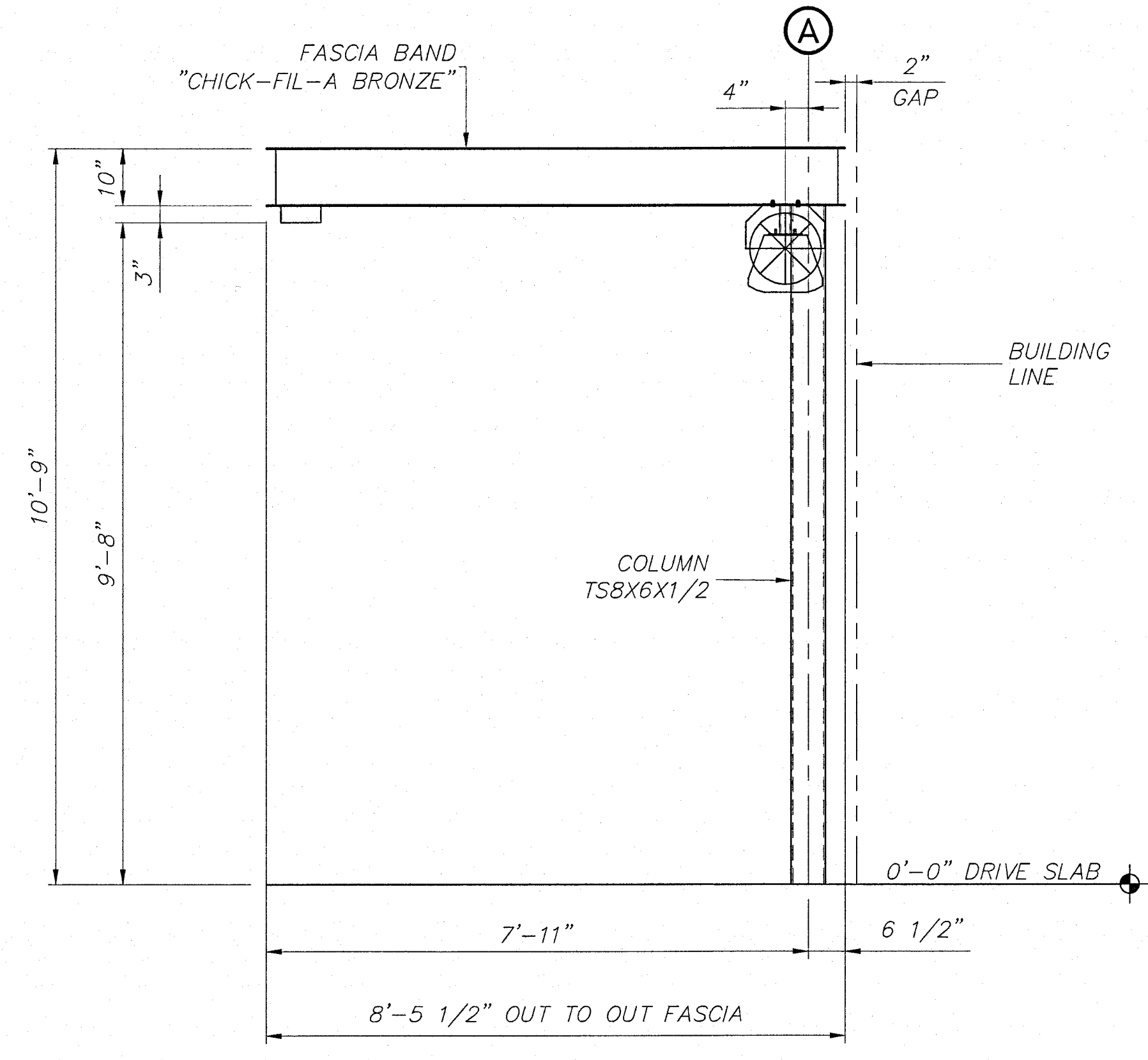
HI CANOPY SIDE ELEVATION

1/4" = 1'-0" FI-ABI, FI-EI, FI-LLI



AI CANOPY END ELEVATION

1/4" = 1'-0" FI-ABI, FI-EI, FI-LLI



A9 CANOPY END ELEVATION

1/4" = 1'-0" FI-ABI, FI-EI, FI-LLI