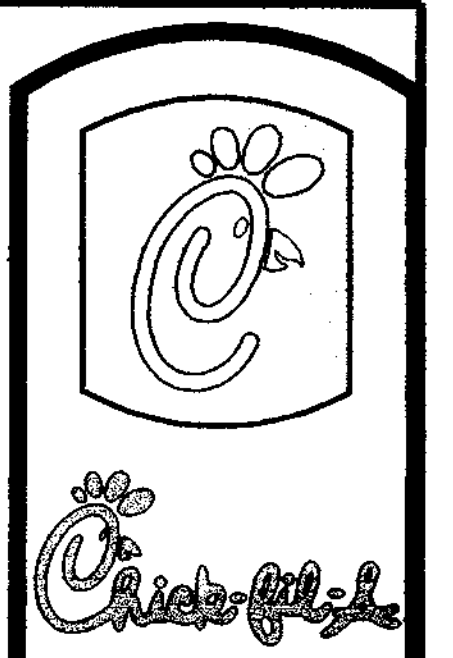


LAYOUT NOTES

- 1 PAINTED TRAFFIC ARROW
- 2 DRIVE THRU STRIPING
- 3 STOP BAR
- 4 PAINTED HANDICAP PARKING SYMBOL
- 5 PARKING STALLS / 4" PAINTED STRIPE
- 6 DIRECTIONAL SIGNAGE (OTHER THAN CHICK-FIL-A SIGNS)
- 7 CHICK-FIL-A MAIN ENTRY HANDICAP RAMP
- 8 CURBED RAMP
- 9 INTEGRAL CONCRETE CURB
- 10 CONCRETE WHEEL STOP
- 11 TYPICAL POLE BASE DETAIL (SEE SHEET ES1)
- 12 DRIVE THRU PLAN VIEW
- 13 STEEL PIPE BOLLARD
- 14 DRIVE THRU ISOMETRIC VIEW
- 15 TYPICAL SIDEWALK DETAIL "A" - PICTURE FRAME PATTERN "B" - BROOM FINISH
- 16 SIDEWALK ADJACENT TO CURB
- 17 ASPHALT PAVEMENT SECTION
- 18 6" CONCRETE PAVEMENT SECTION AT DRIVE-THRU (NOT USED)
- 19 SECTION THRU CONCRETE PAVEMENT AT DUMPSTER (NOT USED)
- 20 CONTRACTION JOINT (SEE SHEET C-7)
- 21 CONSTRUCTION JOINT (SEE SHEET C-7)
- 22 SEWER CLEANOUT (SEE SHEET PS-1)
- 23 MENU BOARD AND CANOPY ORDERING STATION
- 24 FLAGPOLE - EXX SERIES 50" POLE POG BY APPROVED VENDORS - THE FLAG CO. OR ATLAS FLAG
- 25 GREASE TRAP
- 26 TRANSFORMER
- 27 DUMPSTER/STORAGE AREA W/SCREENING TO MATCH BUILDING MATERIAL
- 28 CHICK-FIL-A PRIME SIGN (NOT USED)
- 29 CHICK-FIL-A ENTER SIGN
- 30 CHICK-FIL-A EXIT SIGN (NOT USED)
- 31 STRIPING
- 32 RECESSED FLARED HANDICAP RAMP
- 33 CONCRETE PAVEMENT
- 34 PRE-SELL MENU BOARD
- 35 CONCRETE RADIUS PROTECTION
- 36 CLEARANCE BAR (REF. SIGN PLAN)
- 37 MONOLITHIC CURB & GUTTER
- 38 MATCH EX. CURB & GUTTER
- 39 COLORED & PATTERNED CONCRETE PEDESTRIAN CROSSWALK
- 40 ALUMINUM HAND RAIL
- 41 NEW 6" SIDEWALK PER CITY DETAIL 24.30 W/6" CURB PER CITY OF ALBUQUERQUE STANDARDS
- 42 BIKE RACK INVERTED "U" STYLE, RED COLOR (3 EA.)
- 43 BENCH TO MATCH PATIO FURNITURE
- 44 BARRIER FREE RAMP W/ADA APPROVED TRUNCATED DOMES PER CITY OF ALBUQUERQUE STD. DWG. 2426
- 45 MASONRY SCREEN WALL WITH 1" LATTICE (REF. ARCH. PLANS DETAIL 6/A3.1)
- 46 LIGHT POLE
- 47 MASONRY SCREEN WALL WITHOUT LATTICE (REF. ARCH. PLANS DETAIL 6/A3.1)

NOTES

1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
2. ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
4. THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
6. IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
8. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
9. ALL RADII ARE 2" UNLESS OTHERWISE NOTED.
10. ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

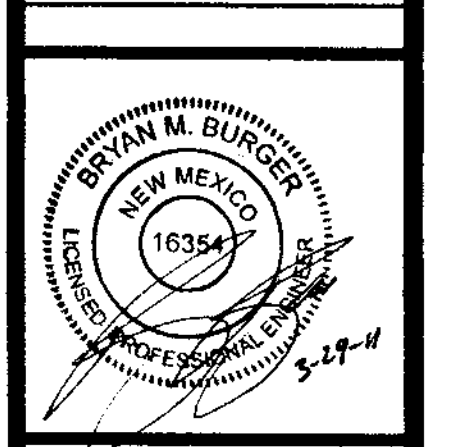
Revisions:

Mark	Date	By
1	8-4-20	JM

Addition of canopies

Mark	Date	By

Mark	Date	By



PART OF TRACT D-1
MONTGOMERY PLAZA
5031 MONTGOMERY BOULEVARD, NE
CITY OF ALBUQUERQUE, NEW MEXICO

STORE
SERIES
SOBE-R

SHEET TITLE

SITE PLAN

88 Preliminary
80% Submittal
For Construction

Job No. : 013-007
Store : 2793
Date : 11/18/10
Drawn By : JAC
Checked By: BMB

Sheet
C-3

SITE DATA

ZONING:	SU-1 C-2
LOT AREA:	1,0171 ACRES (44,306 S.F.)
BUILDING AREA:	4,287 S.F.
F.A.R.:	0.10:1
TOTAL SEATING:	120 SEATS
PARKING REQUIRED:	1 SPACE FOR EVERY 4 SEATS 120/4 = 30 SPACES
PARKING PROVIDED:	41 SPACES (2 H.C.) 120/4 = 30 SPACES
BUILDING HEIGHT:	25' (1 STORY)
EXISTING LANDSCAPE:	2,763 S.F. (6.24%)
INTERIOR LANDSCAPE PROVIDED:	8,825 S.F. (19.92%)

APPLICANT:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA, 30349
PHONE: (404) 765-8000
CONTACT: STEVE LEWIS

ENGINEER:
BURGER ENGINEERING, LLC
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.

2 SITE LIGHTING POLE DETAIL
NOT TO SCALE

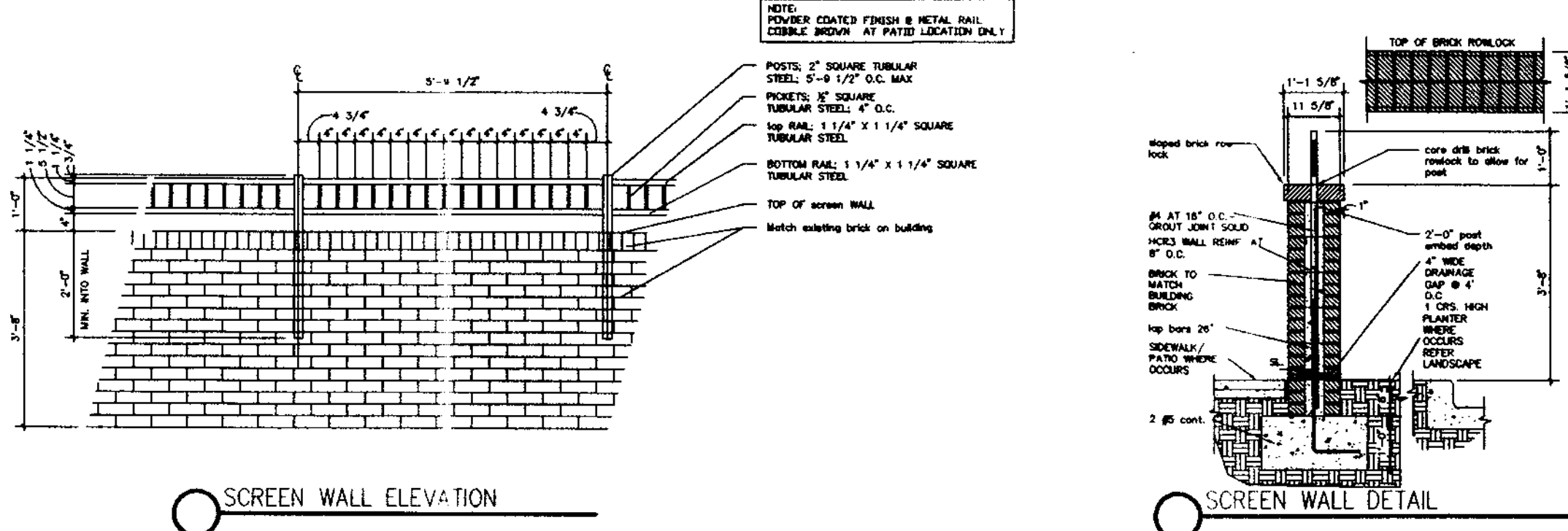


LITHONIA XSF2 SERIES FIXTURE WITH A 400W METAL HALIDE LAMP. FULL CUTOFF LIGHT DISTRIBUTION WITH INTERNALLY SHIELDED OPTICS. FIXTURE, BRACKET AND POLE SHALL HAVE A DARK BRONZE FINISH.

Albuquerque Control Survey Monument "9-F18"
New Mexico State Plane Coordinates
(Central Zone - NAD 83) as published
North= 1,504,358,281 feet
East= 1,539,870,627 feet
Elevation= 5212.228 feet (NAVD 1988)
Delta Alpha= -00'11'36.74"
Ground to Grid Factor= 0.999666141

ADMINISTRATIVE AMENDMENT
FILE # 11-10006 PROJECT # 1000736
4300 drive thru restaurant
APPROVED BY *Manore* DATE 4/7/11

MONTGOMERY BOULEVARD N.E.



SCREEN WALL ELEVATION

SCREEN WALL DETAIL

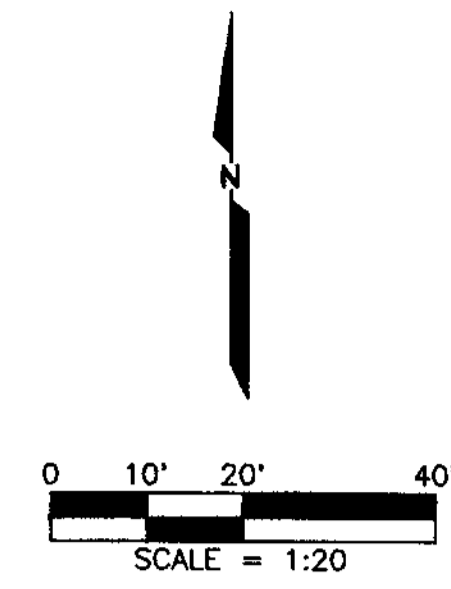
NOTE: ALL DAMAGED CITY SIDEWALK AND CURB SHALL BE REPLACED IN KIND PER CITY OF ALBUQUERQUE STD. DWG. 5430.

DRAINAGE NOTE: THE STORMWATER RUNOFF FROM THE EXISTING MONTGOMERY PLAZA SHOPPING CENTER CURRENTLY DRAINING THROUGH THE CHICK-FL-A SITE WILL CONTINUE TO DRAIN THROUGH THE CHICK-FL-A SITE TO MONTGOMERY BOULEVARD FOLLOWING CONSTRUCTION. THERE WILL BE NO IMPACT TO THE DRAINAGE PATTERNS FOR THE MONTGOMERY PLAZA SHOPPING CENTER.

DRAINAGE NARRATIVE: THE EXISTING RESTAURANT CURRENTLY LOCATED ON THE SITE WILL BE COMPLETELY DEMOLISHED AND REMOVED PRIOR TO THE CONSTRUCTION BEGINNING FOR THE NEW CHICK-FL-A. ALL EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED FOR THE MONTGOMERY PLAZA SHOPPING CENTER. THE SITE CURRENTLY DRAINS SOUTH TO MONTGOMERY BOULEVARD VIA THE TWO EXISTING ACCESS DRIVES. THE CHICK-FL-A SITE WILL CONTINUE TO SHEET DRAIN TO MONTGOMERY BOULEVARD VIA THE TWO EXISTING ACCESS DRIVES AS WELL AS MAINTAINING THE CURRENT DRAINAGE PATTERNS FOR THE EXISTING MONTGOMERY PLAZA SHOPPING CENTER.

LEGEND

- 87 — EXIST. CONTOUR
- 87 — PROP. CONTOUR
- x1366.50 EXIST. SPOT ELEV.
- 86.35 PROP. PAVEMENT SPOT ELEV.
- 86.25 TO 85.75 G PROP. TOP OF CURB & GUTTER ELEVATION
- ACCESSIBLE SPACE
- VAN ACCESSIBLE PARKING SPACE
- DRAINAGE AREA NUMBER
- ACRES
- — DRAINAGE DIVIDE
- CONTRACTOR TO LEAVE LANDSCAPE AREAS DEPRESSED TO CAPTURE RAINWATER. (TYP.)

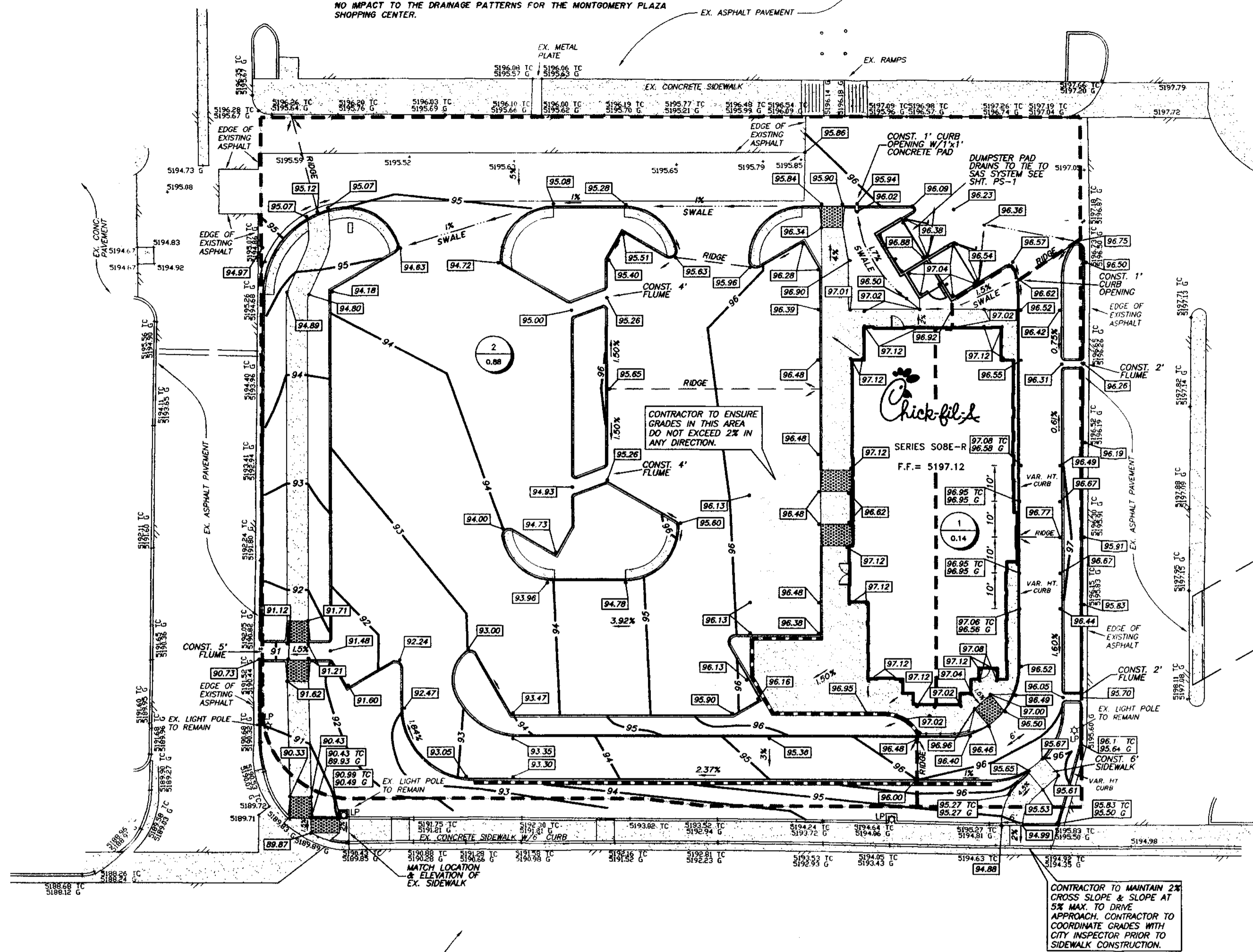


GRADING NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY STANDARDS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
3. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGN SHALL CONFORM TO STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADING AND CONSTRUCTION STANDARDS AND CITY SPECIFICATIONS.
4. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENT TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
5. ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
6. REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.
7. SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL COMPACTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
9. THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
10. GRATE INLETS TO BE PRECAST, SINGLE GRATE INLET MANUFACTURED BY BROOKS PRODUCTS INC. (B-87-467-2783) WITH TRAFFIC BEARING GRATE, OR APPROVED EQUAL.
11. CONTRACTOR TO ENSURE GRADES IN ACCESSIBLE ROUTE DO NOT EXCEED 5% IN THE RUN DIRECTION W/ A 2% CROSS SLOPE.
12. UNLESS OTHERWISE NOTED, ALL PARKING LOT GRADES ARE TO GUTTER OR INVERT. ADD 0.5' TO GUTTER GRADE FOR TOP OF CURB GRADE.

CONSTRUCTION SEQUENCE

1. OBTAIN GRADING PERMIT.
2. INSTALL ALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING.
3. CLEAR SITE.
4. INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES THAT COULD NOT BE INSTALLED PRIOR TO SITE CLEARING.
5. GRADE SITE.
6. INSTALL ALL UNDERGROUND UTILITIES. INSTALL EROSION CONTROL AROUND CATCH BASINS AND INLETS.
7. INSTALL PAVEMENT.
8. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED OFFSITE & ONSITE AREAS HAVE BEEN HYDROMULCHED OR SOUDED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND A MOWABLE STAND OF GRASS IS ACHIEVED.

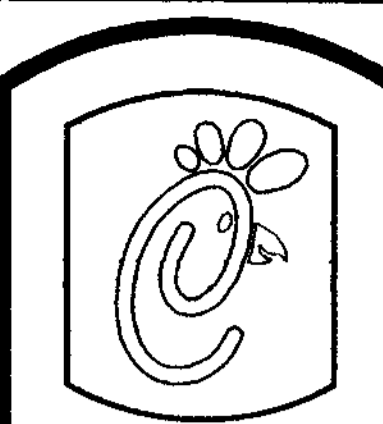


MONTGOMERY BOULEVARD N.E.

HYDRAULIC DATA

$Q = C \times I \times A$

D.A. No.	AREA (acres)	Tc (min.)	C (runoff)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	REMARKS
1	0.14	10	0.86	4.70	0.56	SHEET FLOW TO EAST ACCESS DRIVE TO MONTGOMERY BLVD.
2	0.88	10	0.86	4.70	3.56	SHEET FLOW TO WEST ACCESS DRIVE TO MONTGOMERY BLVD.

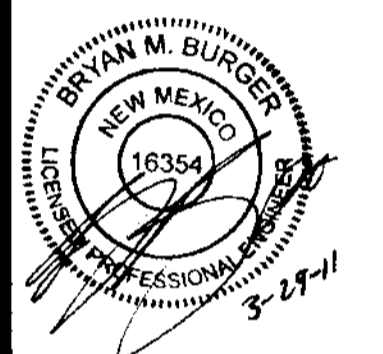


Chick-Fl-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		



**PART OF TRACT D-1
MONTGOMERY PLAZA
5031 MONTGOMERY BOULEVARD, NE
CITY OF ALBUQUERQUE, NEW MEXICO**

STORE
SERIES
SOBE-R

SHEET TITLE
**GRADING &
DRAINAGE
PLAN**

Preliminary
 80% Submittal
 For Construction

Job No. : 013-007
Store : 2793
Date : 11/18/10
Drawn By : JAC
Checked By : BMB

Sheet

C-4



Albuquerque Control Survey Monument "9-F18"
New Mexico State Plane Coordinates
(Central Zone - NAD 83) as published
North = 1,504,358.281 feet
East = 1,539,870.657 feet
Elevation = 5212.228 feet (NAVD 1988)
Delta Alpha = -00°11'36.74"
Ground to Grid Factor = 0.999666141

**B | BURGER
ENGINEERING**
Civil Consultants

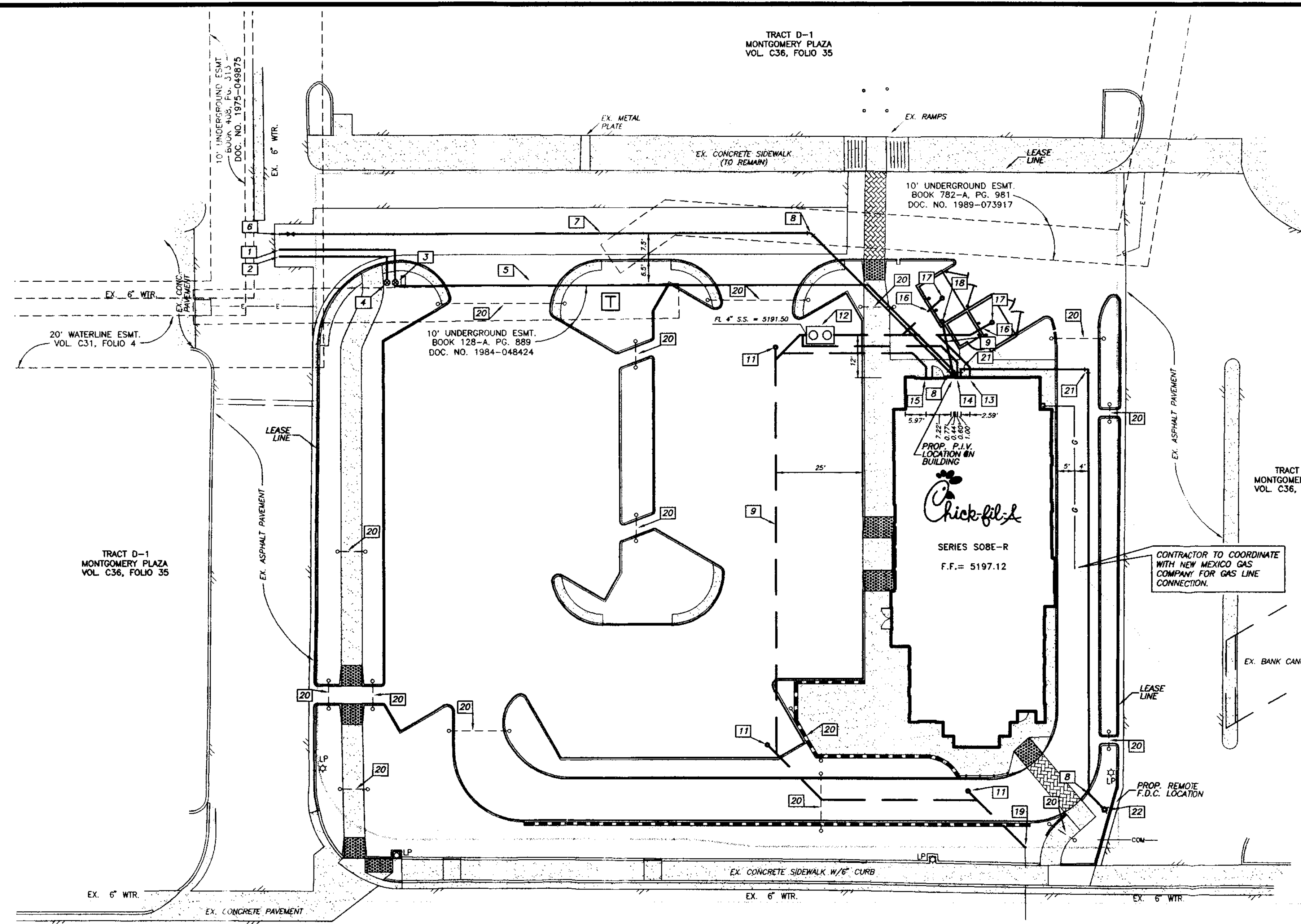
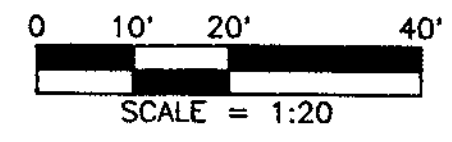
17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380

TRACT D-1
MONTGOMERY PLAZA
VOL. C36, FOLIO 35

UTILITY CONTACTS

UTILITY	UTILITY COMPANY	CONTACT	PHONE
ELECTRIC	POWER NEW MEXICO	MICHAEL MOYER	(505) 241-3697
WATER & WASTEWATER	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	JEREMY HOOVER	(505) 924-3988
TELEPHONE	QWEST COMMUNICATIONS	RICHARD REDMAN	(505) 245-6098
GAS	NEW MEXICO GAS COMPANY	JOE HERRERA	(505) 891-6995

- LEGEND**
- FH FIRE HYDRANT
 - X SET CHISELED "X" FOUND
 - F.I.R. IRON ROD FOUND (SIZE AS NOTED)
 - S.I.R. IRON ROD SET (SIZE AS NOTED)
 - U.P. OVERHEAD UTILITY POLE W/ GUY
 - U.E.P. UNDERGROUND ELECTRIC OR TELEPHONE LIGHT POLE
 - S.S.M.H. SANITARY SEWER MANHOLE
 - S.C.O. SAN. SWR. CLEAN OUT
 - G.V. GAS VALVE
 - W.V. WATER VALVE
 - T TREE
 - M.H. MANHOLE (TYPE AS NOTED)
 - S.C. BOX TRAFFIC SIGNAL BOX
 - TRANS. ELECTRIC TRANSFORMER BOX
 - S.T. TOWER ELECTRIC TRANSMISSION STEEL TOWER
 - C.M. CABLE UNDERGROUND CABLE MARKER
 - SGN SIGN

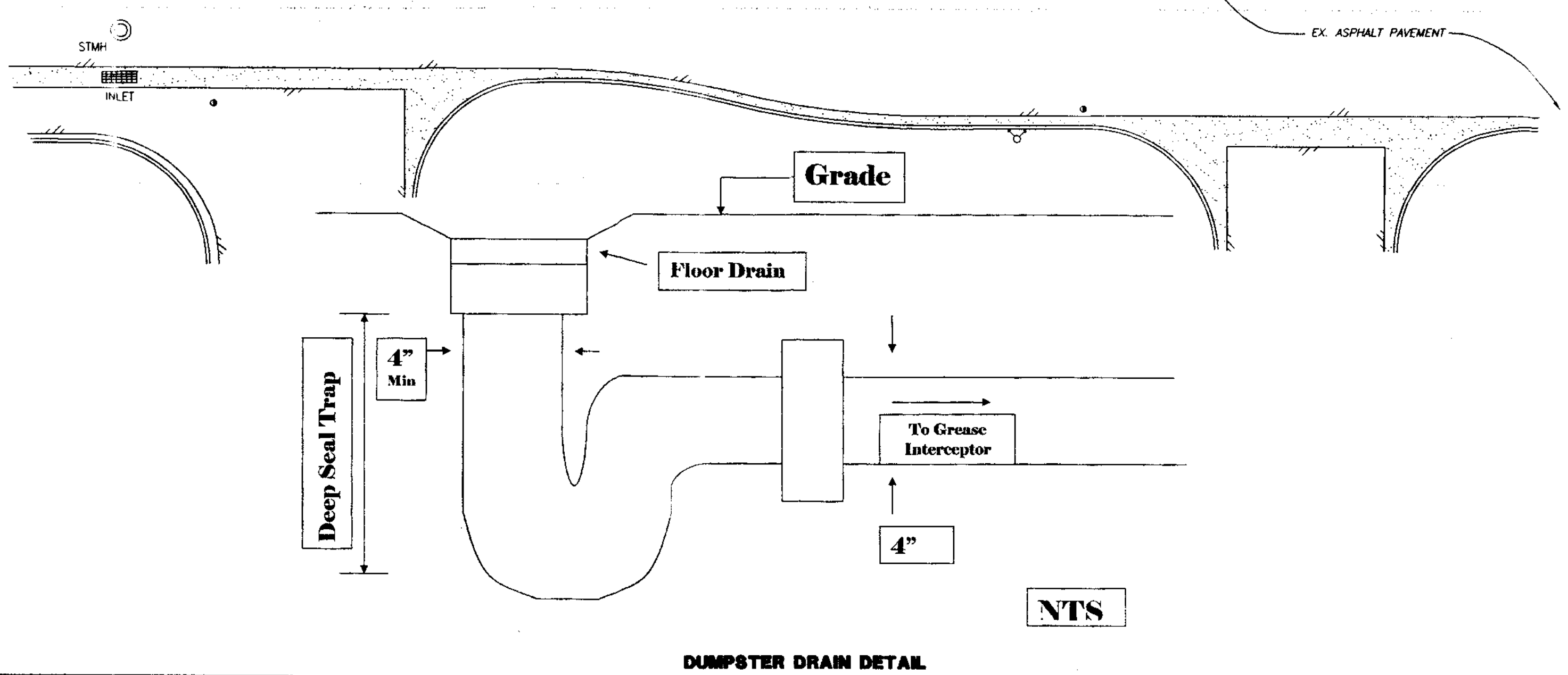


- LAYOUT NOTES**
- 1 INSTALL 6"x12" SERVICE CONNECTION TO EX. 6" WATER.
 - 2 INSTALL 6"x1" SERVICE CONNECTION TO EX. 6" WATER.
 - 3 INSTALL 1/2" DOMESTIC WATER SERVICE METER W/METER BOX.
 - 4 INSTALL 1" IRRIGATION WATER SERVICE METER W/ METER BOX.
 - 5 INSTALL 2" COPPER DOMESTIC WATER SERVICE. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR.
 - 6 INSTALL 6"x4" TAPPING SLEEVE & VALVE.
 - 7 4" FIRE LINE
 - 8 4"x45" BEND
 - 9 3/4" CW TO DUMPSTER POST HYDRANT
 - 10 4" SCHEDULE 40 PVC WASTEWATER SERVICE LINE 1/2" MIN.
 - 11 CLEANOUT
 - 12 PRECAST 1,000 GAL CAPACITY GREASE TRAP. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP RIM OF MANHOLE TO BE FLUSH WITH FINISHED GRADE.
 - 13 4" KITCHEN WASTE LINE
 - 14 3" VENT LINE
 - 15 4" RESTROOM WASTE LINE
 - 16 4" DUMPSTER WASTE LINE
 - 17 DUMPSTER PAD DRAIN REFER TO P-32.
 - 18 DUMPSTER POST HYDRANT REFER TO P-31.
 - 19 CONNECT TO EX. 4" S.S. LATERAL. CONTRACTOR TO VERIFY FLOW LINE.
 - 20 4" IRRIGATION SLEEVE W/90° ELBOWS TURNED UP TO ABOVE GRADE.
 - 21 4"x90° BEND
 - 22 REMOTE FIRE DEPARTMENT CONNECTION

- WATER LINE GENERAL NOTES**
1. ALL WORK AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
 2. ALL 6" OR 8" WATER MAINS SHALL BE PVC ANNA CROO, DR 18, CLASS 150 WATER PIPE. FOR PVC SERVICE TAPS 1" AND LARGER, TAPPING SADDLES SHALL BE USED.
 3. DEPTHS OF WATER LINES TO MEET CITY DESIGN CRITERIA.
 4. FIRE HYDRANTS TO BE CITY APPROVED.
 5. VALVES TO BE CITY APPROVED.
 6. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN TWO (2) YEARS FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE CITY. THE MAINTENANCE BOND WILL NEED TO BE ON THE CITY'S STANDARD FORM.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "RECORD DRAWING" PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER SERVICES AND VALVES.
 8. FIRE HYDRANTS SHALL BE PAINTED AS PER CITY STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
 9. STREAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LINE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
 10. ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER CITY STANDARDS AND SPECIFICATIONS.
 11. ALL WATER LINES SHALL BE STERILIZED PER CITY STANDARDS AND SPECIFICATIONS.
 12. ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 6" CURBS OR BOLLARDS.
 13. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING.
 14. UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER CITY SPECIFICATIONS.
 15. ANCHOR FITTINGS SHALL BE USED TO ATTACH FIRE HYDRANTS.
 16. ALL WATER SERVICES OUTSIDE OF EASEMENTS SHALL BE INSTALLED BY A PLUMBER.
 17. CONTRACTOR TO INCLUDE ALL CITY WATER AND SEWER FEES IN BID. PAY CITY IMPACT FEES FOR WATER & S.S.

- WASTE WATER GENERAL NOTES**
1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
 2. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
 3. CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING ANY DEVIATIONS FROM THESE PLANS.
 4. CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT.
 5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT; ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
 6. SANITARY SEWER PIPE SHALL CONFORM TO CITY SPECIFICATIONS AND SHALL BE MANUFACTURED FROM ONE OF THE FOLLOWING MATERIALS:
 - a. Polyvinyl Chloride (PVC) Diameter 4" - 15"
 - ASTM D 3034 SDR 35
 7. SANITARY SEWER PIPE MUST BE KEPT CLEAR OF BROKEN CONCRETE, DIRT OR ANY OTHER DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
 8. ALL SANITARY SEWER MAINS ARE TO HAVE 1'-21" JOINT CENTERED ON EITHER SIDE OF WATER MAINS WHERE CROSSINGS OCCUR.
 9. CONTRACTOR SHALL TIE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36" OF FLAGGING EXPOSED AFTER CURB AND PAVING IS COMPLETED. CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
 10. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN 2 YEARS FROM THE DATE OF FINAL ACCEPTANCE OF THE SYSTEM BY THE CITY.
 11. ALL SANITARY SEWER LATERALS SHALL BE SIZED AND LOCATED AS SHOWN.
 12. CONTRACTOR TO INCLUDE ALL RECD. BONDS, TAP FEES & CAMERA FEES IN PROPOSAL.

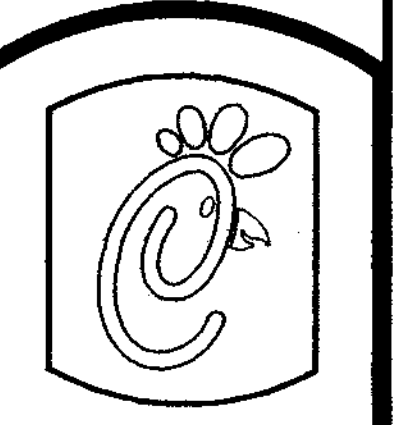
MONTGOMERY BOULEVARD N.E.



Albuquerque Control Survey Monument "9-F18"
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Elevation= 5212.228 feet (NAVD 1988)
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Ground to Grid Factor= 0.999666141

IMPORTANT:
CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A COORDINATION PLAN OF CONSTRUCTION WITH EXISTING TENANTS SO NOT TO DISTURB ACCESSIBILITY TO EXISTING BUSINESSES TO REMAIN.

B BURGER ENGINEERING
Civil Consultants
17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380

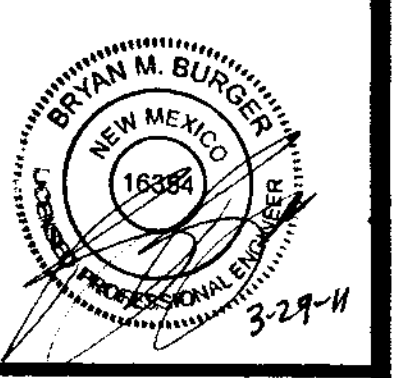


5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By

Mark Date By

Mark Date By



PART OF TRACT D-1
MONTGOMERY PLAZA
5031 MONTGOMERY BOULEVARD, NE
CITY OF ALBUQUERQUE, NEW MEXICO

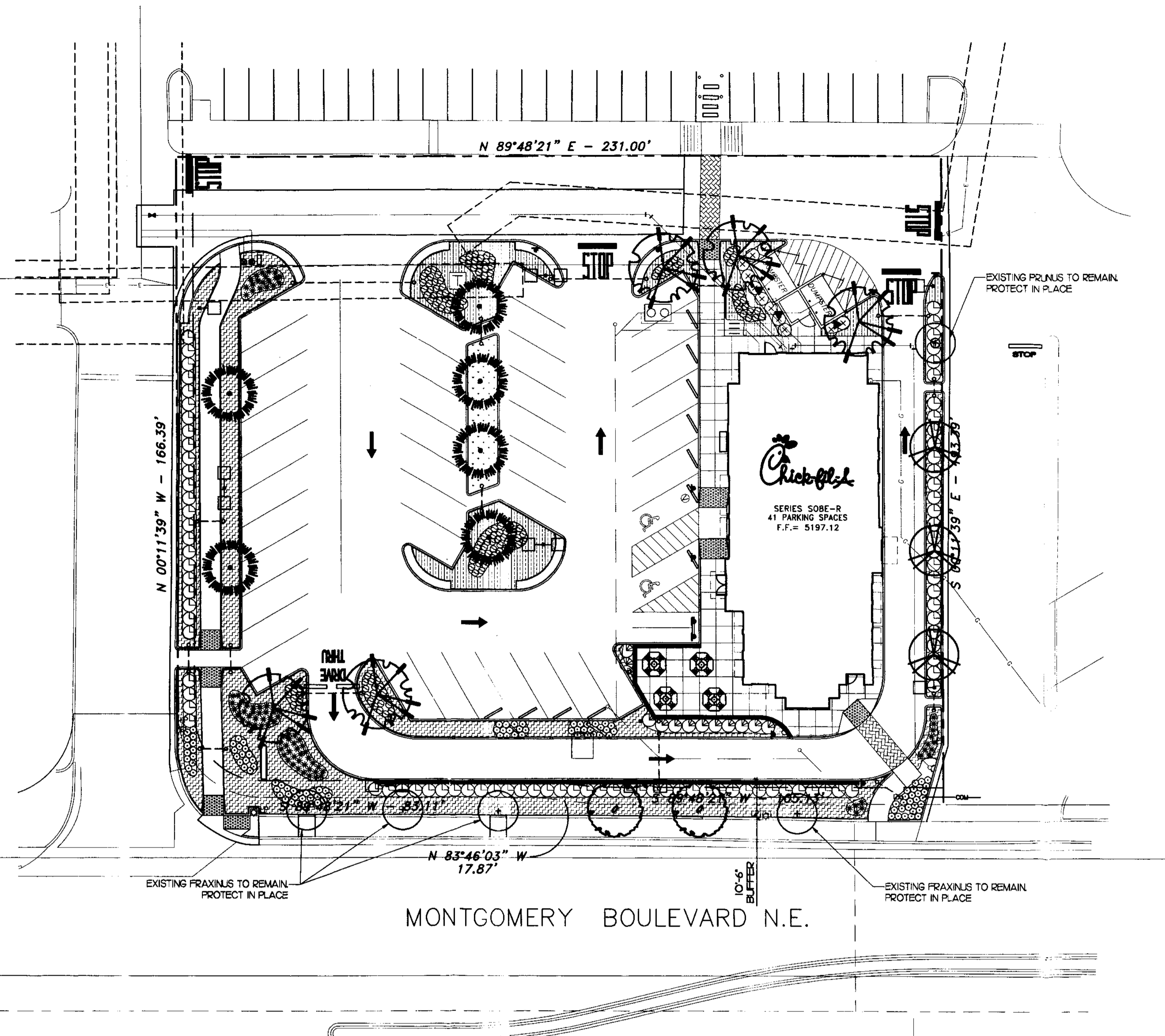
STORE
SERIES
S08E-R

SHEET TITLE
PLUMBING PLAN

Preliminary
 80% Submittal
 For Construction

Job No. : 013-007
Store : 2793
Date : 11/18/10
Drawn By : JAC
Checked By: BMB

Sheet
PS-1



PLANTING LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.	REMARKS	WATER USAGE	HEIGHT	WIDTH
EXISTING PLANTING							
⊕	EXISTING PRUNUS	EXT'G	1	EXISTING TO REMAIN	-	-	-
+	EXISTING FRAXINUS	EXT'G	4	EXISTING TO REMAIN	-	-	-
TREES							
	FRAXINUS PENNSYLVANICA GREEN ASH	2" CALIPER	2	STANDARD DOUBLE STAKE	MED	60'	60'
	PROSOPIS GLANDULOSA HONEY MESQUITE	2" CALIPER	6	STANDARD DOUBLE STAKE	LOW	20'	25'
	PISTACIA CHINENSIS CHINESE PISTACHE	2" CALIPER	5	STANDARD DOUBLE STAKE LIFT • SITE TRIANGLES	MED	60'	60'
	PRUNUS CERASIFERA PURPLELEAF PLUM	2" CALIPER	3	STANDARD DOUBLE STAKE	MED	20'	20'
SHRUBS							
⊗	ELAEGNUS PUGENS SILVERBERRY	15 GALLON	11	4'-0" O.C.	MED	10'	10'
⊙	GENISTA HISPANICA SPANISH BROOM	5 GALLON	12	4'-0" O.C.	MED	48"	48"
*	HELICOTRICHON SEMPERVIRENS BLUE AVENA GRASS	5 GALLON	94	2'-0" O.C.	MED	24"	24"
⊖	HEMEROCALLIS 'STELLA D'ORO' EVERGREEN DAYLILY	5 GALLON	111	2'-0" O.C.	MED	24"	36"
⊕	LEUCOPHYLLUM LANGMANIAE RIO BRAVO RAINSAGE	5 GALLON	92	4'-0" O.C.	MED	48"	48"
⊖	SALVIA LAVANDULIFOLIA LAVENDER SAGE	5 GALLON	147	2'-0" O.C.	MED	24"	24"
GROUNDCOVERS							
	CYNODON DACTYLON BERMUDA GRASS	SOD	400 S.F.		MED	-	-
	FESTUCA OVINA 'GLAUCA' BLUE FESCUE	FLATS	3,488 S.F. 8" O.C.		MED	12"	12"
	OENOTHERA CAESPITOSA WHITE EVENING PRIMROSE	FLATS	1,205 S.F. 12" O.C.		LOW	12"	12"
VINES							
▼	LONICERA C. 'PURPURERA' PURPLE LEAF HONEYSUCKLE	15 GALLON	4	REMOVE FROM STAKES. ATTACH TO WALL WITH TUMAX VINE TIES	MED	-	-

PLANTING NOTES

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION(S) FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL TREES SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH IN THE LATEST EDITION OF 'NEW MEXICO ASSOCIATION OF NURSERY INDUSTRIES' (NMANI) FOR RECOMMENDED TREE SPECIFICATIONS.
- ALL SHRUBS AND GROUND COVER SHALL EQUAL OR SURPASS 'NEW MEXICO ASSOCIATION OF NURSERY INDUSTRIES' (NMANI) FOR STANDARDS, QUALITY, AND SIZE.
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- SEE PLANTING DETAILS FOR PLANTING AND STAKING AND GUTTING REQUIREMENTS.
- FERTILIZER FOR ALL GROUND COVER AREAS SHALL BE AS SPECIFIED WITHIN THE SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, ROLLING, MOVING, RESEEDING, EDGING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
- ALL SHRUB AREAS TO BE TOP DRESSED WITH 2" LAYER OF DECOMPOSED GRANITE 1/2" SCREENED 'EXPRESS BROWN'.
- ALL TREES PLANTED WITHIN FIVE (5) FEET OF ANY PAVING, WALLS, BUILDINGS, CURBS, ETC. SHALL BE INSTALLED WITH AN APPROVED 'DEEP ROOT' BARRIER (EXCLUDING PALMS).
- FINISH GRADE TO BE 1" BELOW TOP OF CURB OR SIDEWALK FOR TURF AND GROUND COVER AREAS.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF UTILITIES. REPAIR TO INCLUDE ALL DAMAGED IRRIGATION AND PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- ALL PLANTER AREAS TO BE ROTOTILLED AND AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS. NO DEVIATIONS.
- ALL PLANTED AREAS TO BE IRRIGATED UTILIZING LOW VOLUME SPRAY HEADS, BUBBLERS AND/OR DRIP EMITTERS CONNECTED TO AN AUTOMATIC REMOTE CONTROL VALVE AND TIED INTO A CENTRAL AUTOMATIC IRRIGATION CONTROLLER.
- IRRIGATION CONTROLLER TO BE INSTALLED WITH RAIN SENSOR DEVICE (RAINBIRD OR EQUAL) TO CONSERVE WATER.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT SHALL ADHERE TO CITY OF ALBUQUERQUE LANDSCAPE STANDARDS.
- ALL FINISH GRADING SHALL BE DIRECTED AWAY FROM THE BUILDING AND WALKS AND TOWARDS THE PVIOUS PLANTER AREAS TO THE MAXIMUM EXTENT PRACTICABLE. REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE.
- ALL UTILITIES TO BE SCREENED WITH PLANTING AND ALL BACKFLOW PREVENTERS TO BE SCREENED WITH PLANTING AND INSTALLED WITH A STAINLESS STEEL SECURITY ENCLOSURE.
- DEVELOPED AREAS OF THIS PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- MAXIMUM WATER ALLOWANCE & ESTIMATE WATER USE SHALL BE CALCULATED AND SUBMITTED ON ALL LANDSCAPE CONSTRUCTION DOCUMENTS SUBMITTED TO THE CITY OF ALBUQUERQUE.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO THE PUBLIC FACILITIES DEVELOPMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT. TREE & SHRUBS SHALL BE PLACED ON SEPARATE LINES & VALVES.

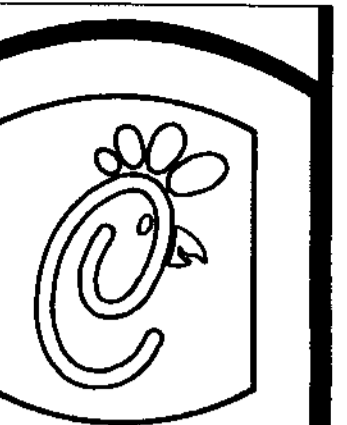
LANDSCAPE CALCULATIONS		
LOT AREA:	1.0171 ACRES (44,306 S.F.)	
TOTAL LANDSCAPE:	8,830 S.F. (20.0%)	
SHRUB AREA:	8,430 S.F.	
TURF AREA:	400 S.F.	
TOTAL LANDSCAPE AREA:	8,830 S.F.	
REQUIREMENT	REQUIRED	PROPOSED
PARKING LOT SHADING 1 TREE PER 10 STALLS (MIN 2" CALIPER) (PLANNING) 41/10 = 4.1	5	8
1 TREE PER 8 STALLS (ZONING) 41/8 = 5.125	6	8
BUFFER 10' MIN DEPTH	10'	10'-6"
MINIMUM PLANT SIZES TREES - 2" CALIPER SHRUBS 1 GALLON GROUNDCOVER - 75% COVERAGE WITHIN 1 SEASON		

Hourian Associates
Landscape Architecture
24661 DEL PRADO AVE. SUITE 9
DANA POINT, CA 92624
TEL: 949-464-5625
FAX: 949-464-5602

GRAPHIC SCALE
1 inch = 20 ft

PRELIMINARY PLANTING PLAN
1" = 20'-0"

B BURGER ENGINEERING
Civil Consultants
17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

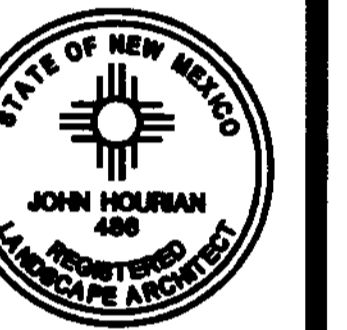
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Mark Date By

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Mark Date By

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PART OF TRACT D-1
MONTGOMERY PLAZA
5031 MONTGOMERY BOULEVARD, NE
CITY OF ALBUQUERQUE, NEW MEXICO

STORE

SERIES

S08E-R

SHEET TITLE

PRELIMINARY

PLANTING PLAN

80% Submittal

For Construction

Job No. : 013-007

Store : 2793

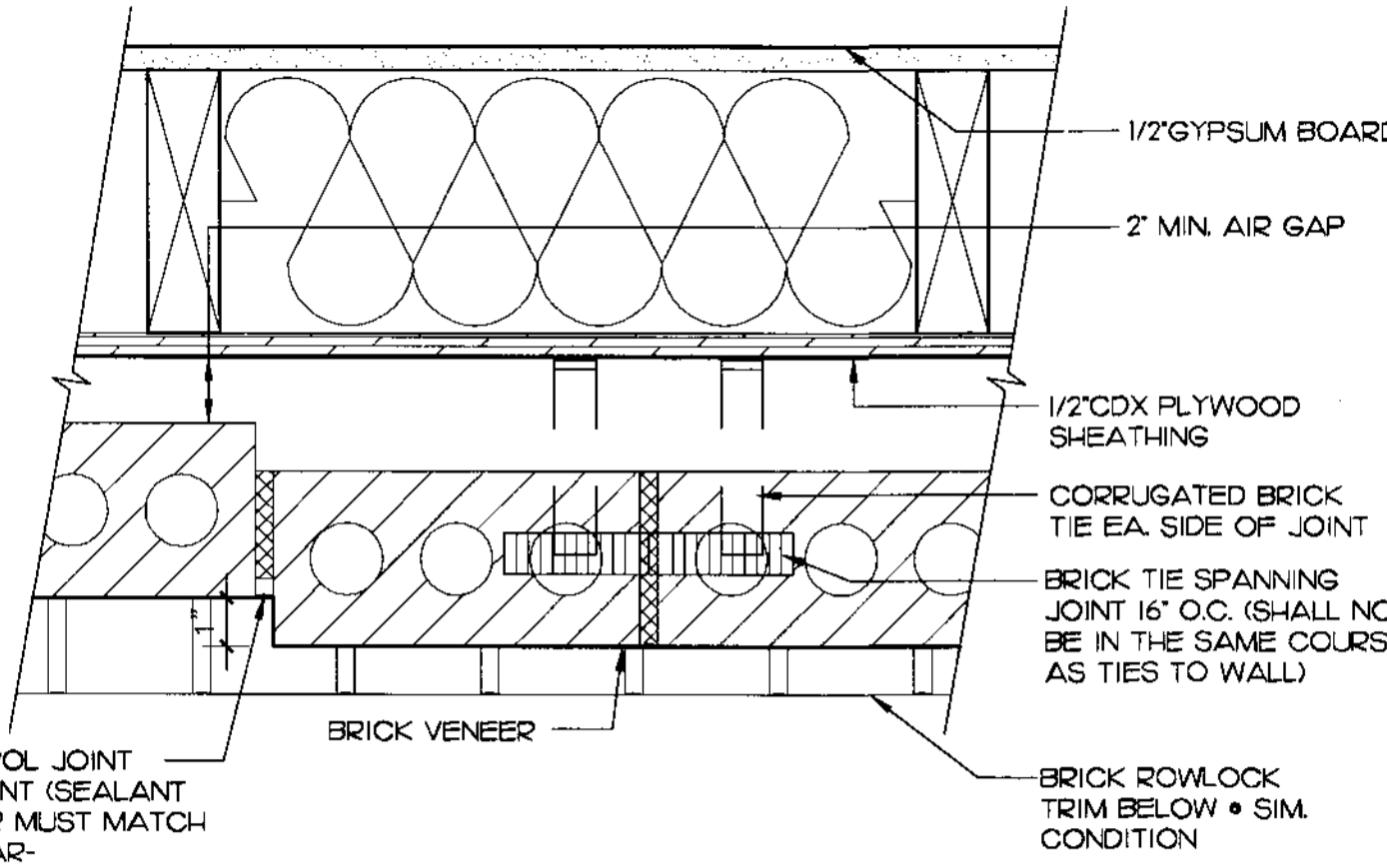
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Drawn By : KLM

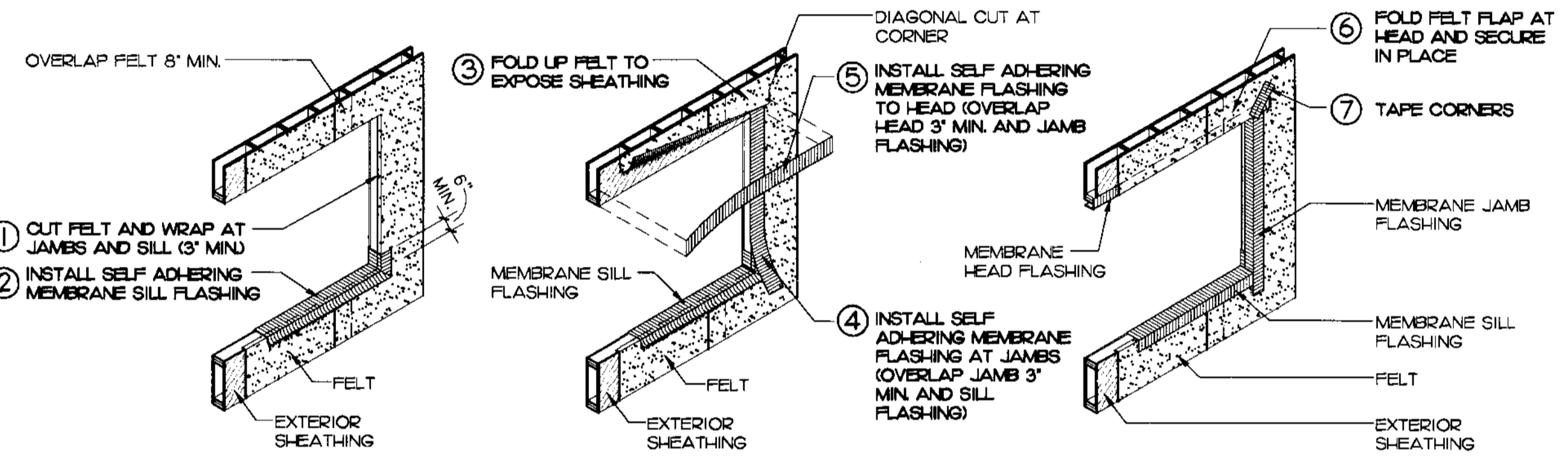
Checked By : JGH

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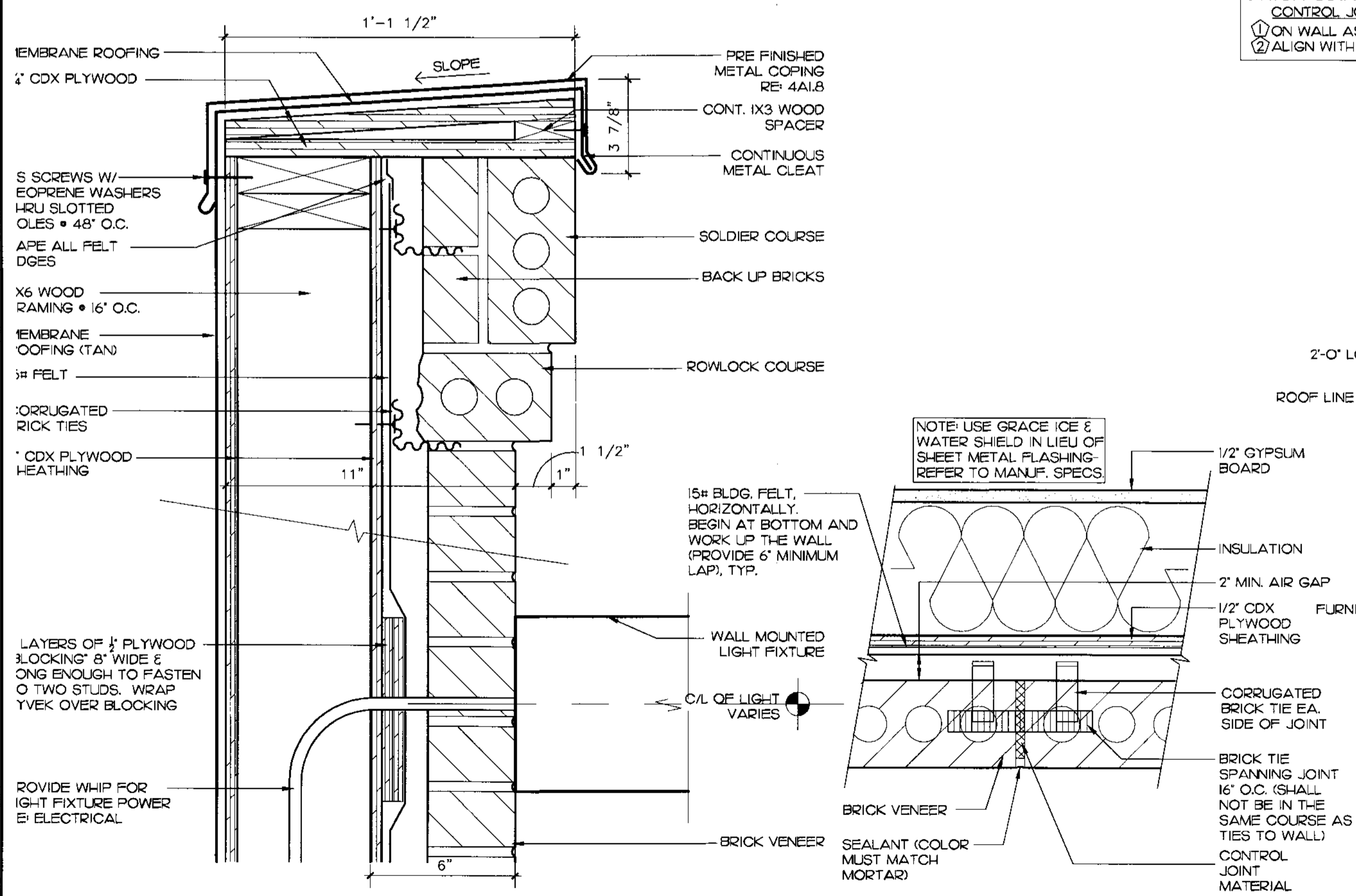
L-1



15 BRICK PILASTER DETAIL
3" = 1'-0"



5 STOREFRONT FLASHING
NOT TO SCALE



3 PARAPET DETAIL
3" = 1'-0"

5. GENERAL NOTES:

- REFER TO CIVIL DRAWINGS FOR FINISH GRADES AND LOCATION OF WALKS.
- PROVIDE BLOCKING FOR ALL EXTERIOR WALL MOUNTED LIGHT FIXTURES, AWNINGS & SIGNS AS REQUIRED.
- PAINT ALL WOOD AND METALS EXPOSED TO THE EXTERIOR.

6. DRIVE - THRU WINDOW:

QUIKSERV FULLY AUTOMATIC BI-PARTING MODEL BP-724IE - FINISH TO MATCH STOREFRONT CONTACT: JACKIE SLIGH • (800) 388-8307

7. STOREFRONT NOTES:

PRODUCT: YKK - YES 45 (DARK BRONZE - MATTED) TO OBTAIN A LIST OF QUALIFIED GLAZING CONTRACTORS CONTACT: CFA CONSTRUCTION MANAGER
SUPPLIER: PLEASE CONTACT YOUR LOCAL YKK AP BRANCH OR: YKK- WES THORPE 7660 THE BLUFFS, STE. 100 AUSTELL, GA 30168 1-678-836-6000 1-678-396-6726 (DIRECT) EMAIL: WEST-THORPE@YKK-AP.COM *PROVIDE END DAMS IN SILLS*

8. BRICK COLORS:

- BRICK #1: CRIMSON BY ACME BRICK, MODULAR SIZE
- BRICK #2: RIDGEMAR BY ACME BRICK, MODULAR SIZE

SUPPLIER: ACME BRICK TONYA COLEMAN TCOLEMAN@ACMEBRICK.COM 1-817-390-1591

MORTAR - HOLCIM DESIGNER TAN

9. BRICK SPECIFICATIONS:

BRICK TIES: CORRUGATED BRICK TIES SPACED 16" O.C. HORIZONTALLY AND 24" O.C. VERTICALLY TO OBTAIN A LIST OF QUALIFIED GLAZING CONTRACTORS CONTACT: CFA CONSTRUCTION MANAGER
ON NEW CONSTRUCTION, MINIMIZE CLEANING BY:
1. KEEPING BRICK COVERED WITH PLASTIC.
2. KEEPING MORTAR TROWELING AND DROPPINGS OFF BRICK.
3. SPREADING STRAW AROUND THE FOUNDATION TO KEEP DIRT OFF OF THE WALL.
4. CLEANING BRICK AS YOU GO, ESPECIALLY THE HEAVY DEPOSITS OF DIRT AND MORTAR.
5. MASON TO CLEAN MORTAR AFTER EACH WORK SESSION.

10. SELF ADHERING MEMBRANE FLASHING:

- PROCEDURES
- REMOVE LARGE PARTICLES FROM THE WALL WITH A HAND TOOL.
 - THOROUGHLY PRE-WET THE AREA WITH PLENTY OF WATER.
 - MAKE SURE THE AREA BELOW THE SECTION TO BE CLEANED IS ALSO THOROUGHLY WET.
 - THE WALL MUST REMAIN WET AT ALL TIMES THROUGHOUT THE CLEANING PROCESS.
 - IF A TEST PANEL CANNOT BE USED, A SMALL AREA SHOULD BE TESTED PRIOR TO CLEANING.
 - APPLY THE CLEANER ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
 - RINSE THOROUGHLY WITH WATER.

- RECOMMENDED CLEANERS:
- CLOROX, TILEX, OR VANISH TO REMOVE MILDEW.
 - 800 STAIN REMOVER FOR VANADIUM STAIN • VANA TROL FOR GENERAL CLEANING.
 - ENVIROKLEAN MPC FOR MUD AND OIL STAINS •
- * BE SURE TO FOLLOW MANUFACTURER'S RECOMMENDED PROCEDURES ON THE LABEL

11. AWNING:

FLAT SEAMLESS PREFINISHED ALUMINUM AWNING COLOR - CARDINAL RED WITH APPLIED VINYL STRIPES BY SIGN MANUFACTURER. STRIPES TO BE 3M VINYL COLORS - "TAN" (7725-39) & "BURGUNDY" (7725-58).
SECURE AWNING BRACKET TO 2X6 BLOCKING WITH 3/8" LAG BOLTS (2 TOP AND 2 BOTTOM OF EACH BRACKET) AND NEOPRENE WASHER. LIGHT FIXTURE IS INSTALLED ON 3" WIDE BRACKET AFFIXED TO AWNING FRAME. MOUNT PERFORATED SCREEN BELOW LIGHT FIXTURE WITH 1/2" BOLTS TO WELDED NUTS ON FRAME.

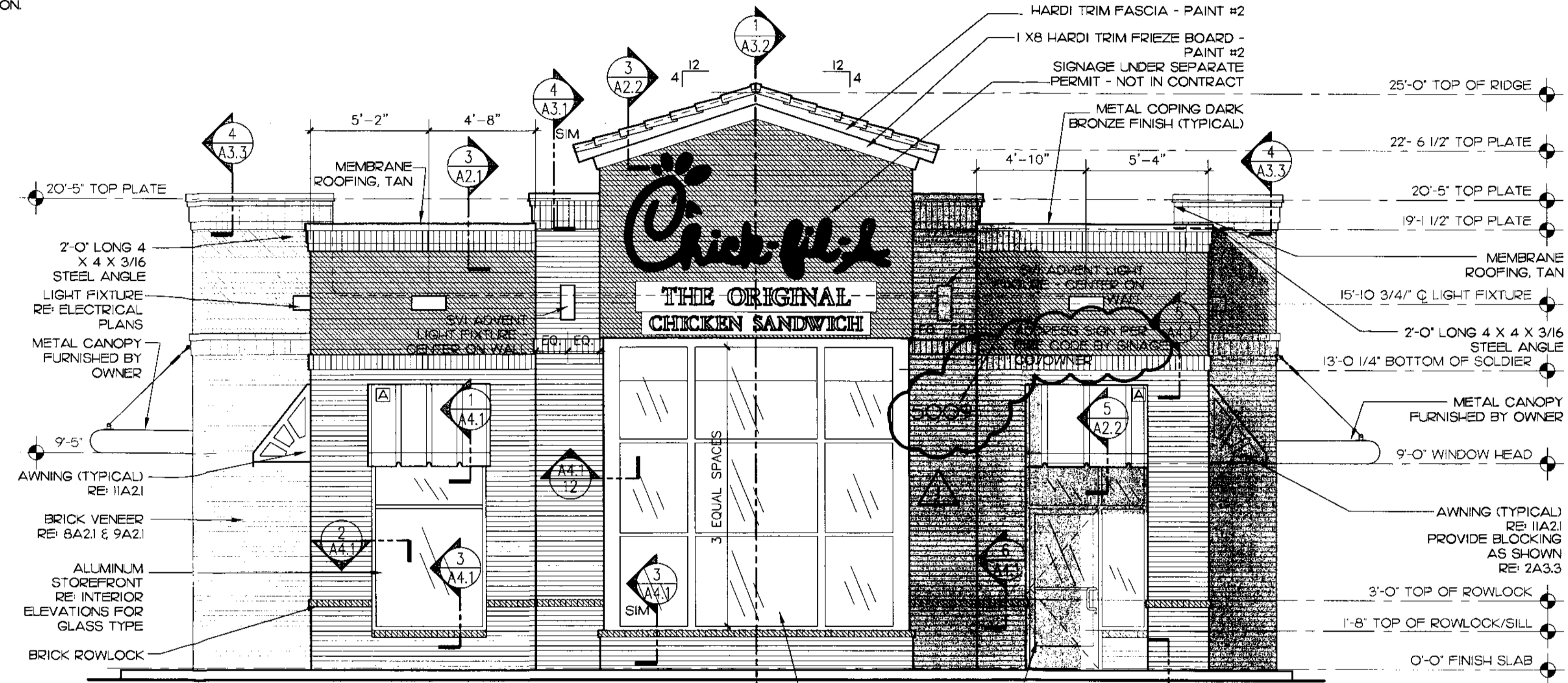
AWNING SCHEDULE:
A 5'-4" LONG
B 11'-0" LONG

12. HARDI SOFFITS & PANELS:

NON-COMBUSTIBLE FIBER-CEMENT PANELS (SMOOTH HARDI PLANK/NOT WOOD GRAIN) AS MANUFACTURED BY JAMES HARDI BUILDING PRODUCTS INC. PANELS SHALL BE SECURED WITH STAINLESS STEEL FASTENERS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
13. SEALANTS
DOW CORNING 795 URETHANE BUILDING SEALANT. COLOR - ADOBE TAN (SEALANT COLOR MUST MATCH MORTAR) USE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

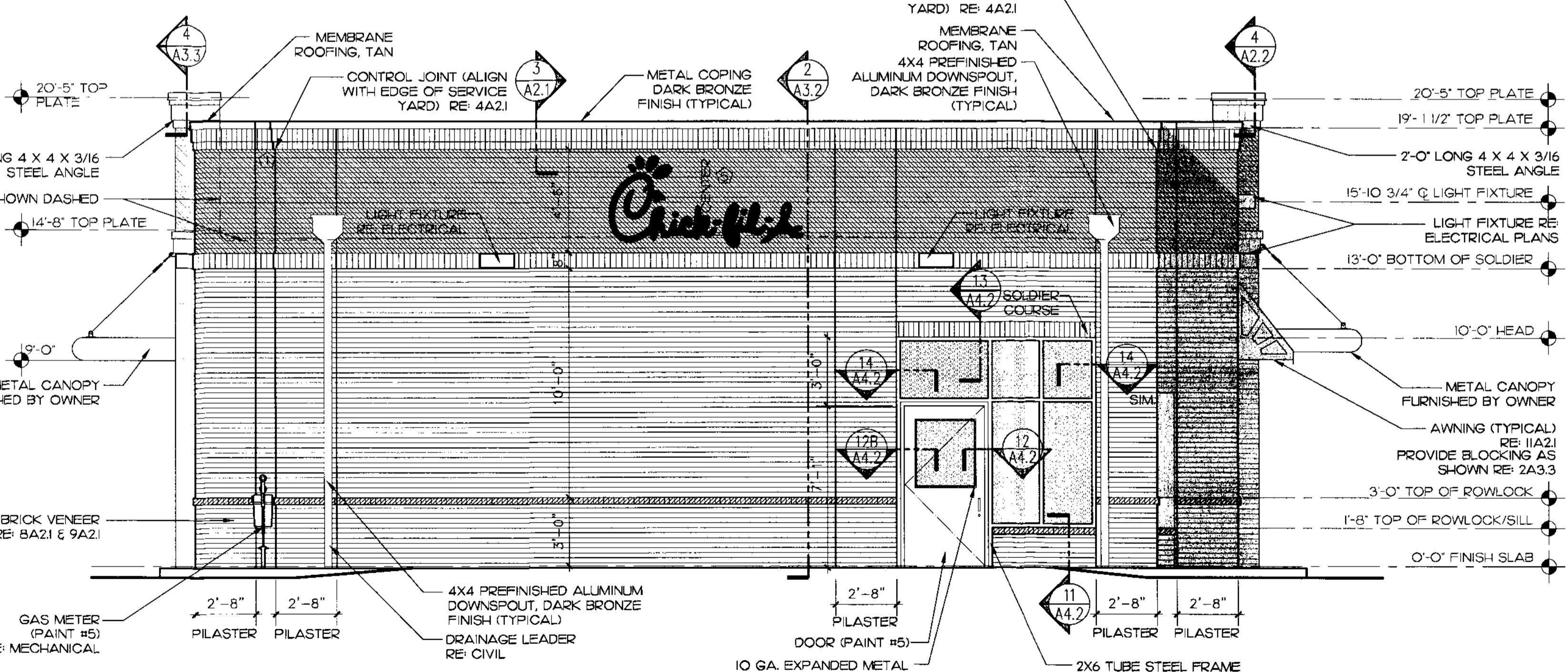
14. ATTIC ACCESS PANEL

22"x36" WEATHER RESISTANT FLUSH ACCESS PANEL, XP SERIES, MODEL #XPA (18 GA) AS MANUFACTURED BY J. INDUSTRIES.
PROVIDE ONE DOOR HANDLE (CENTERED) ON ATTIC ACCESS PANEL. DOOR LATCHES/CLOSURES ARE EXCESSIVE. SUPPLY SPRING CHAIN TO ACCESS PANEL DOOR TO PREVENT OPENING PAST 110 DEGREES. TELE: 1-800-554-6077

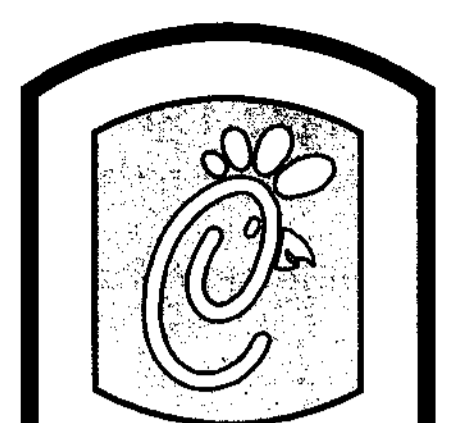


1 FRONT ELEVATION
1/4" = 1'-0"

BRICK JOINT LEGEND - RE: 4A21
CONTROL JOINTS
1 ON WALL AS DIMENSIONED
2 ALIGN WITH JAMB



2 REAR ELEVATION
1/4" = 1'-0"



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

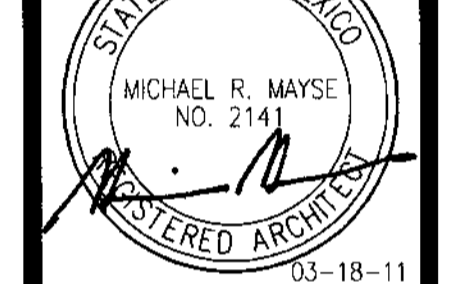
Revisions:
Mark Date By

03-10-11 BUILDING PERMIT REVIEW COMMENTS

Mark Date By

Mark Date By

Seal



MAYSE & ASSOCIATES, INC.
Architects • Planners • Construction Management
19800 Camino Dr. Suite 201
Palmer, NM 87554
Phone: (505) 346-0338 Fax: (505) 346-0576

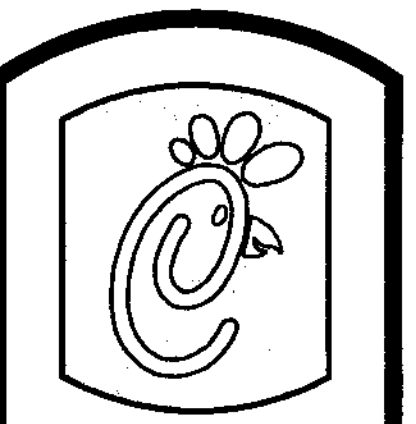
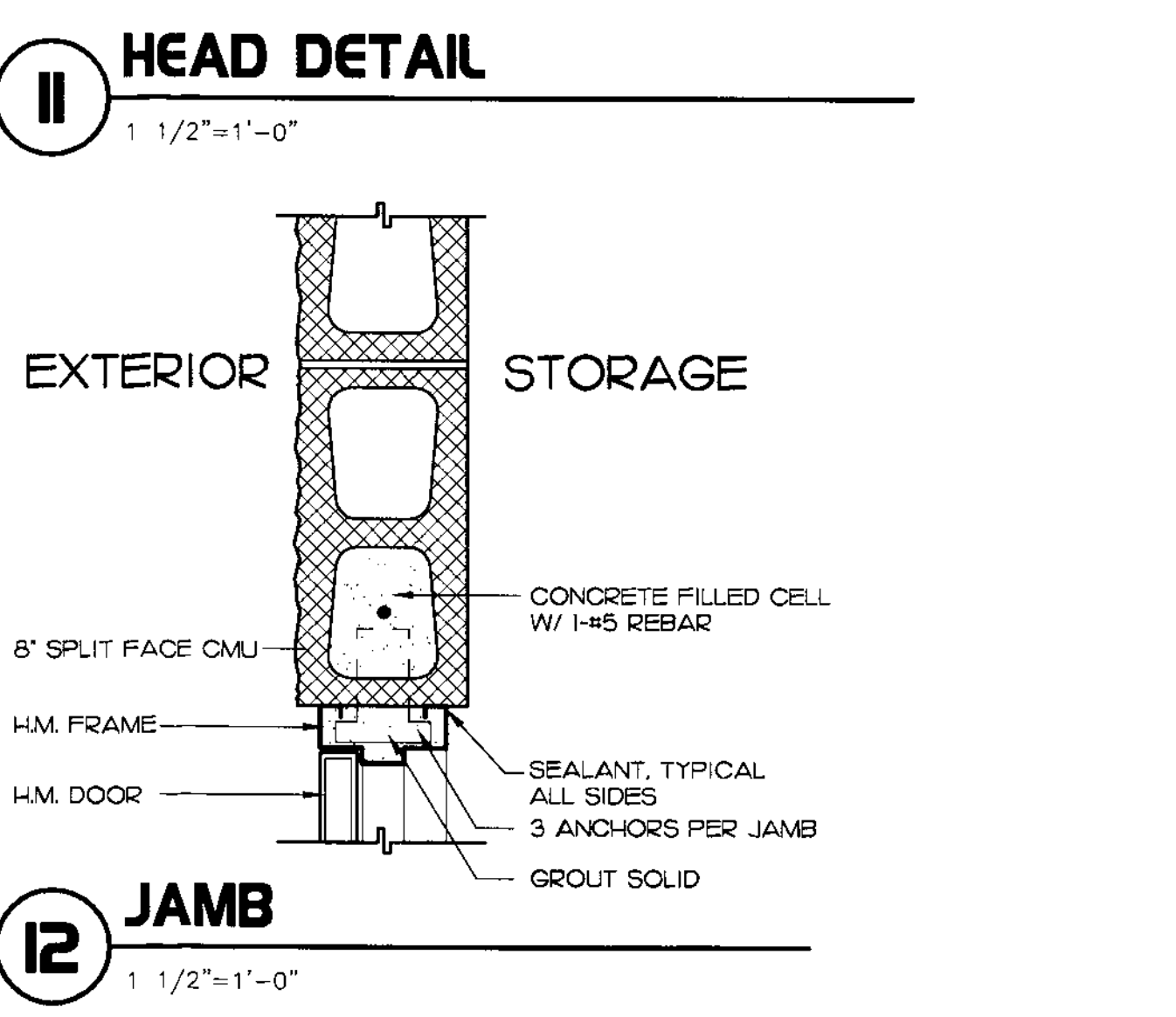
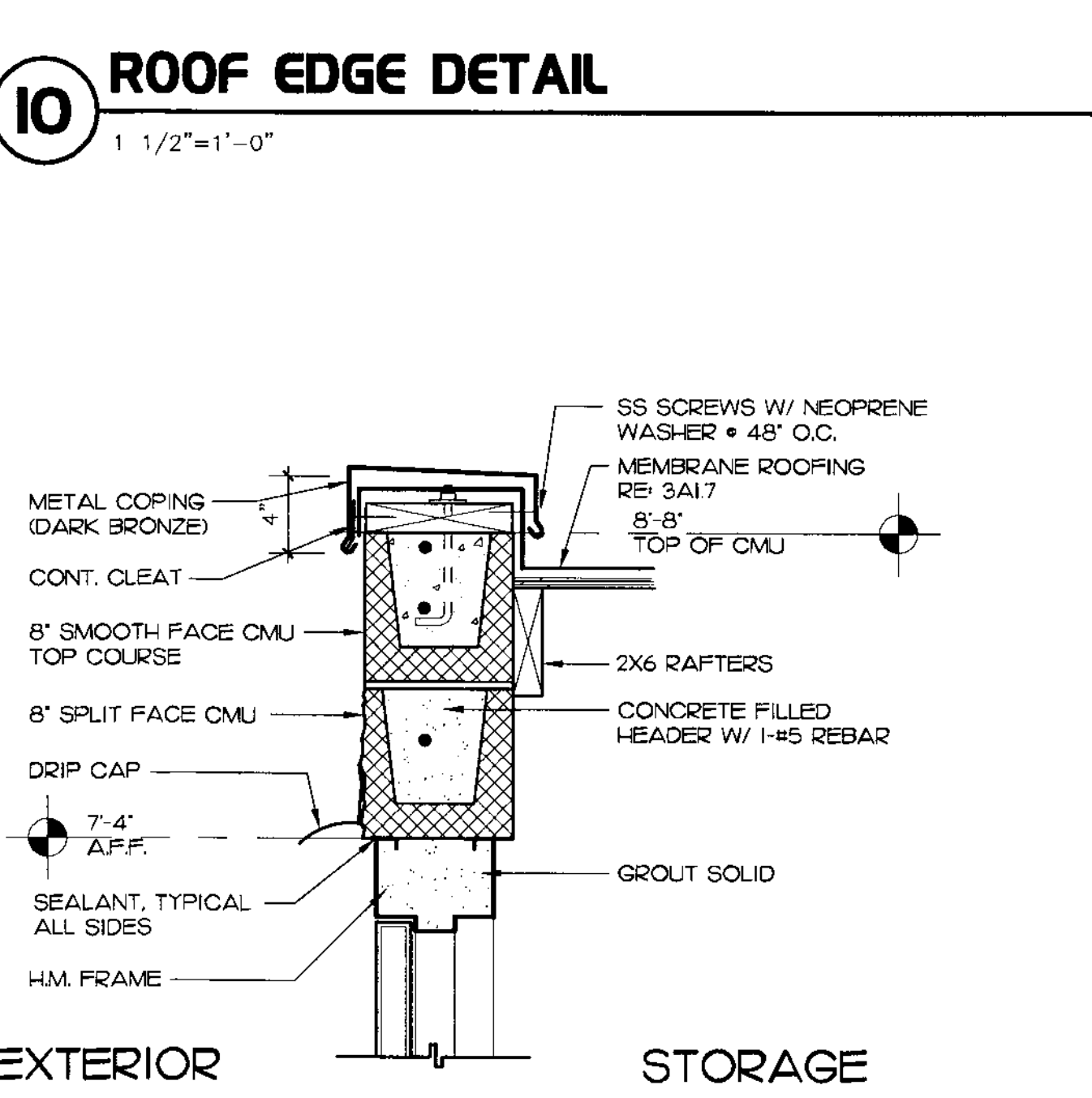
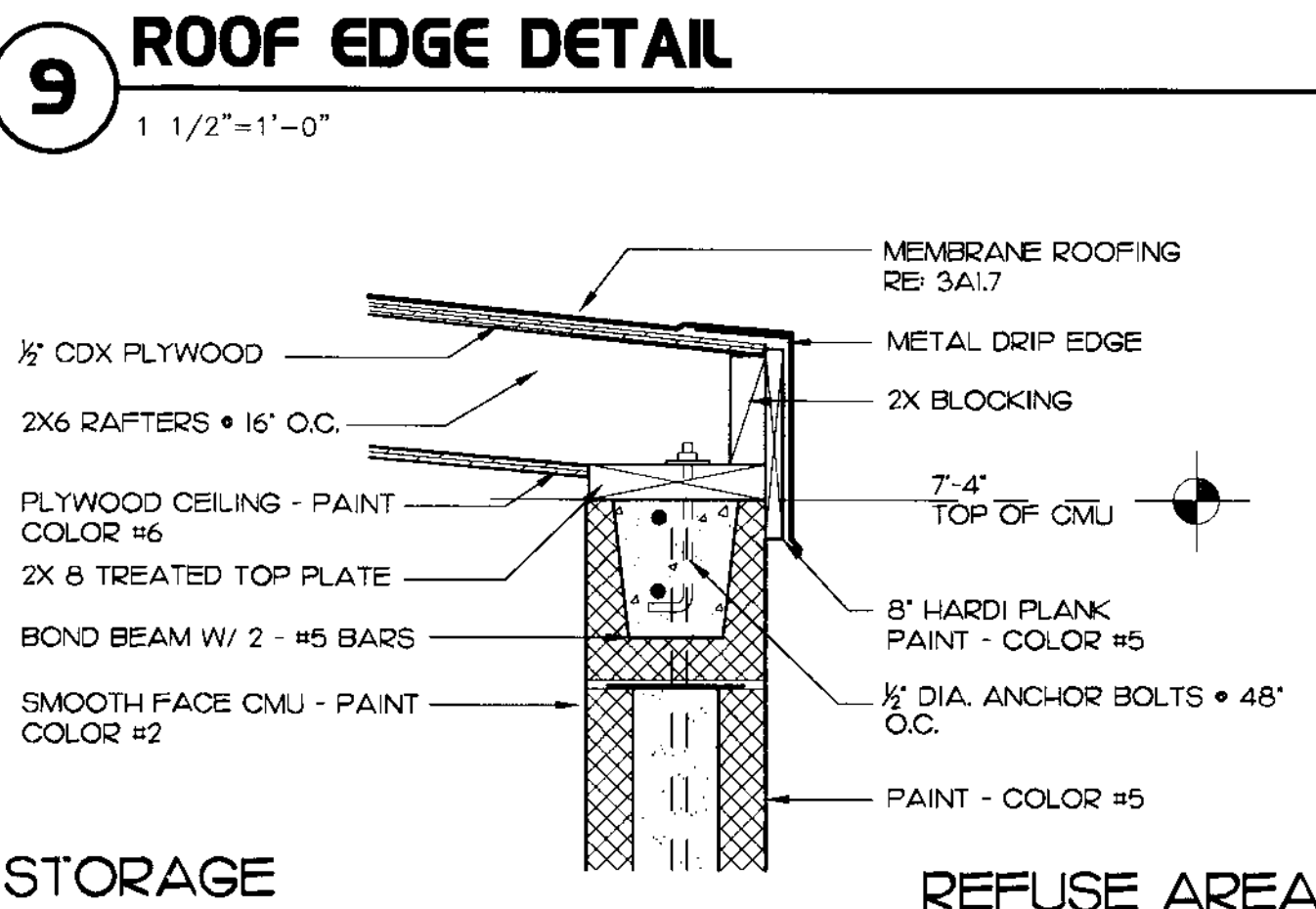
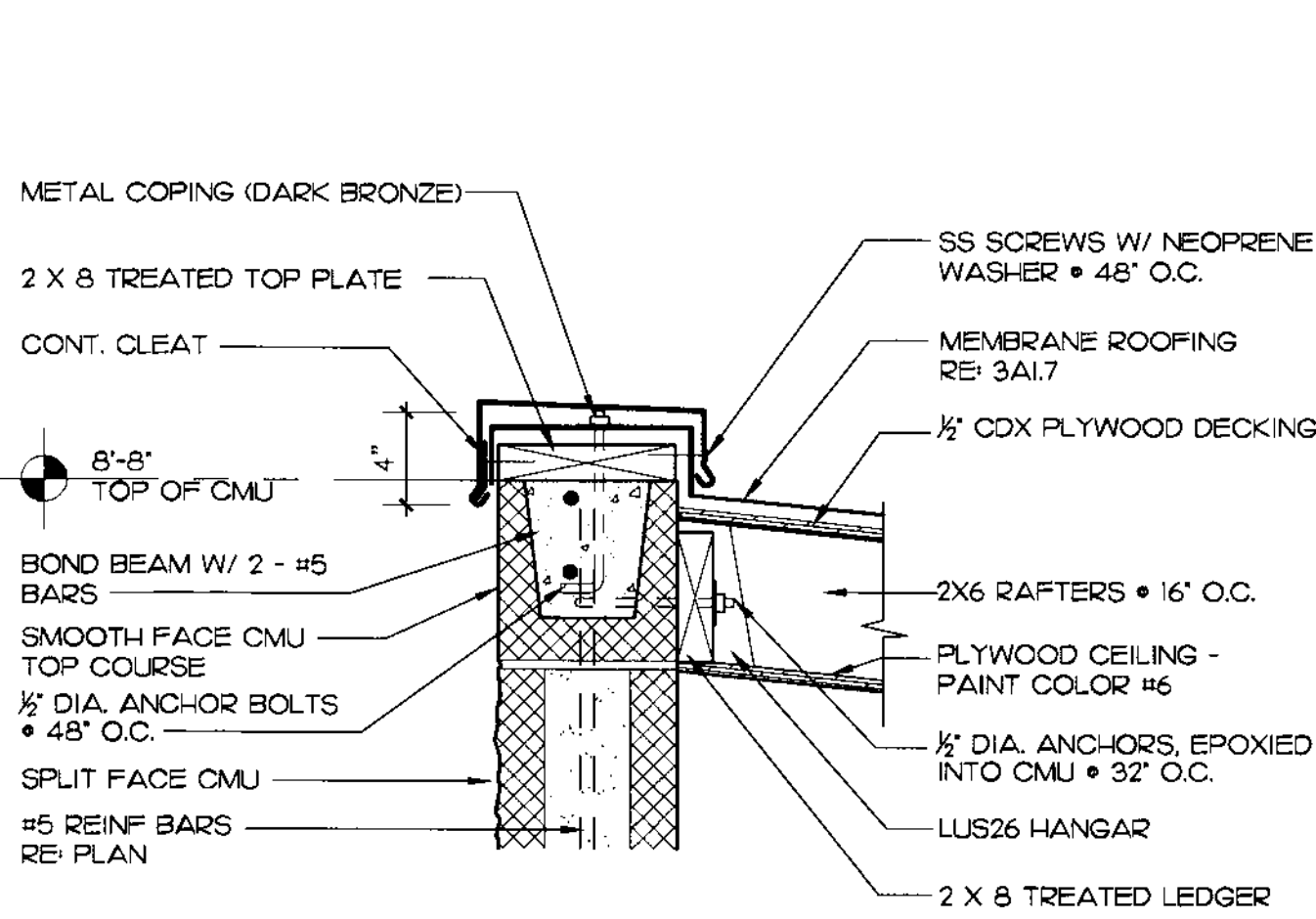
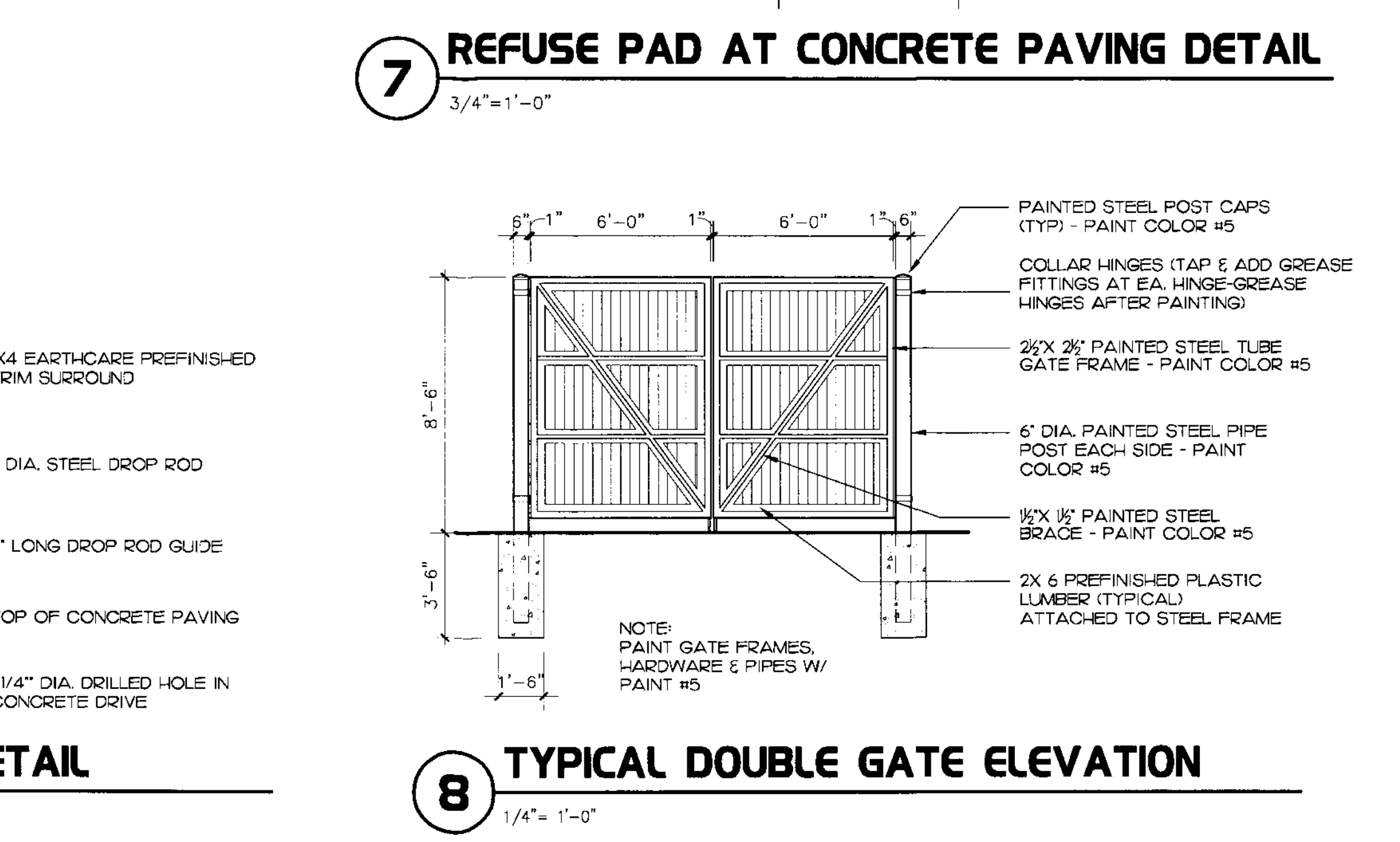
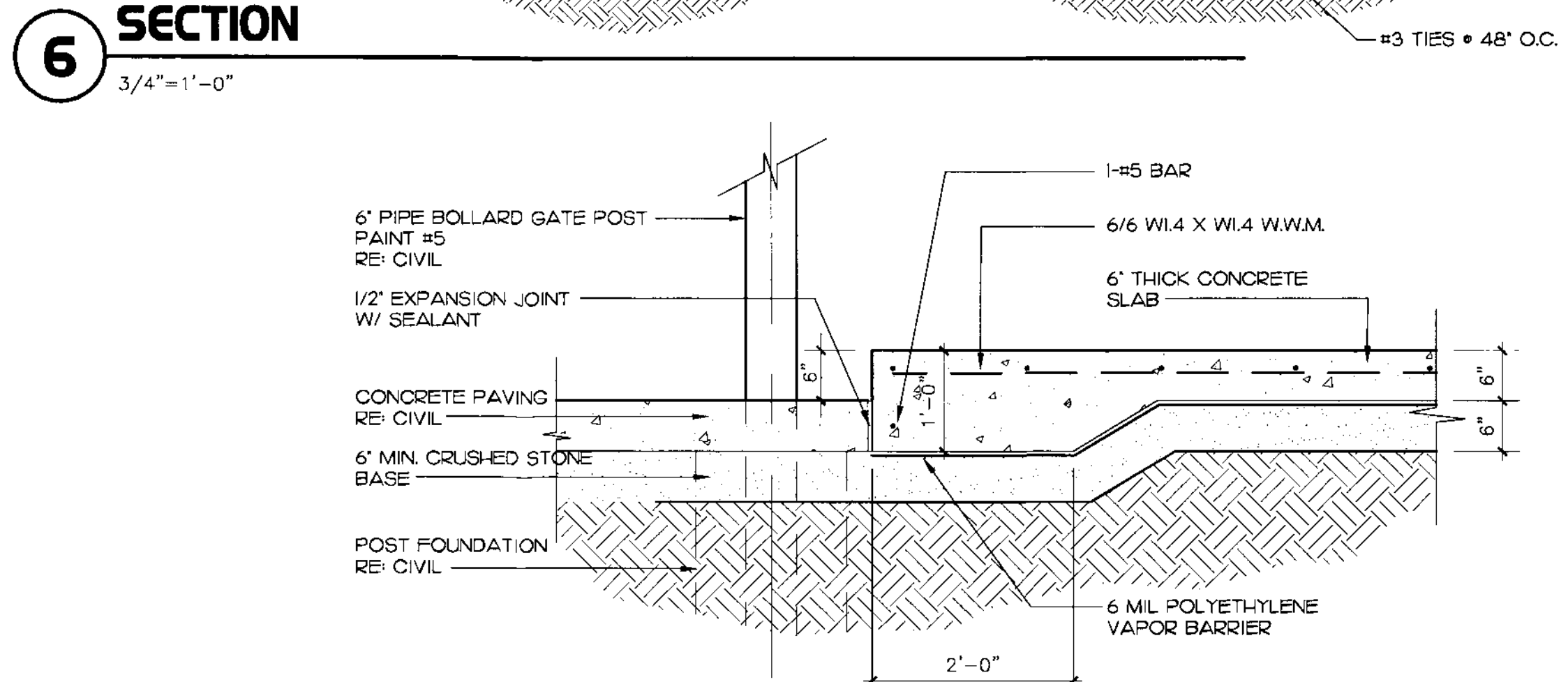
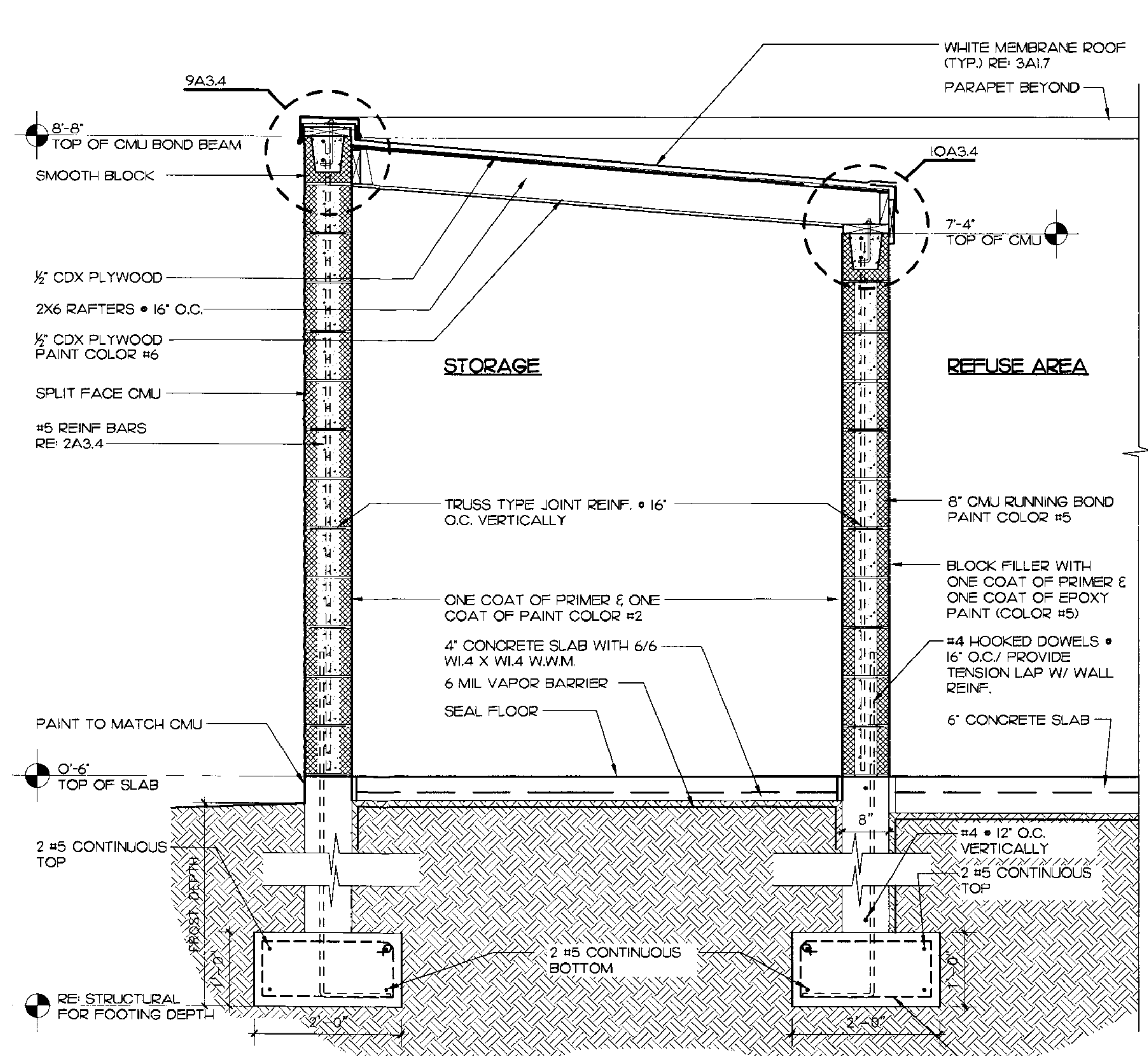
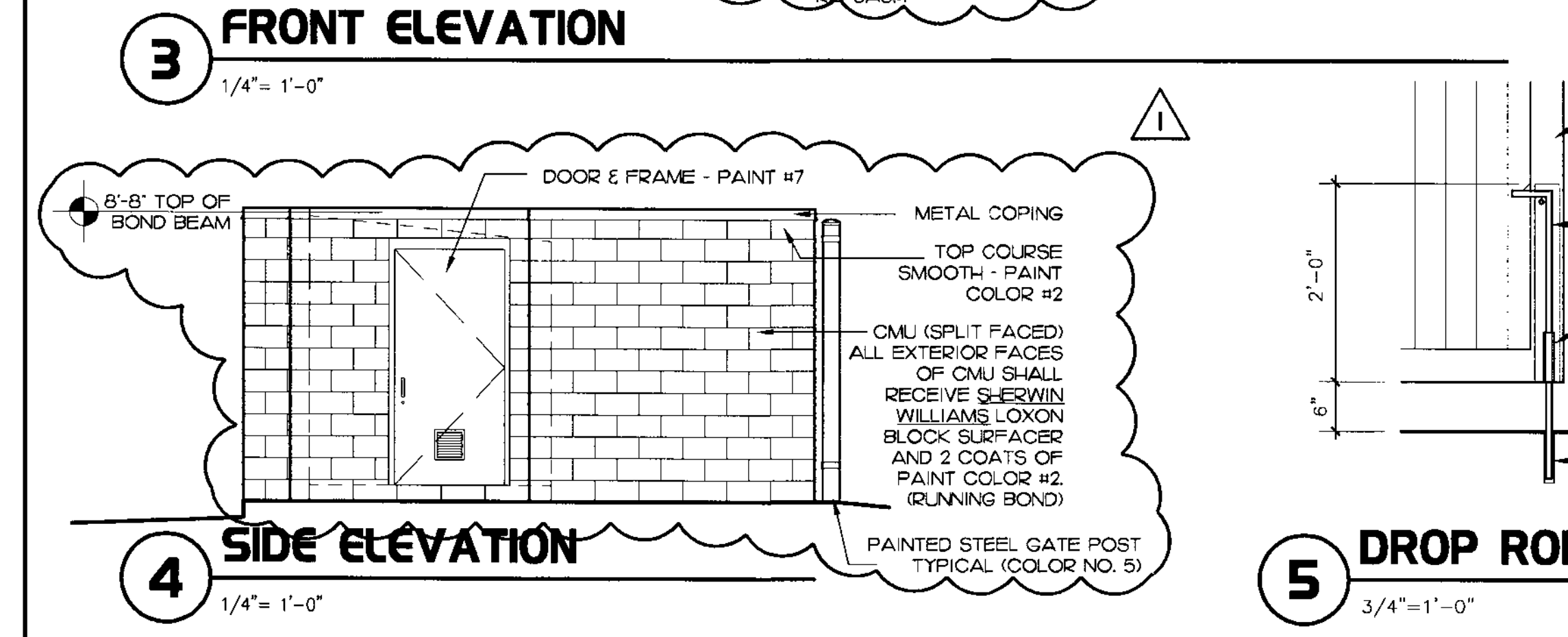
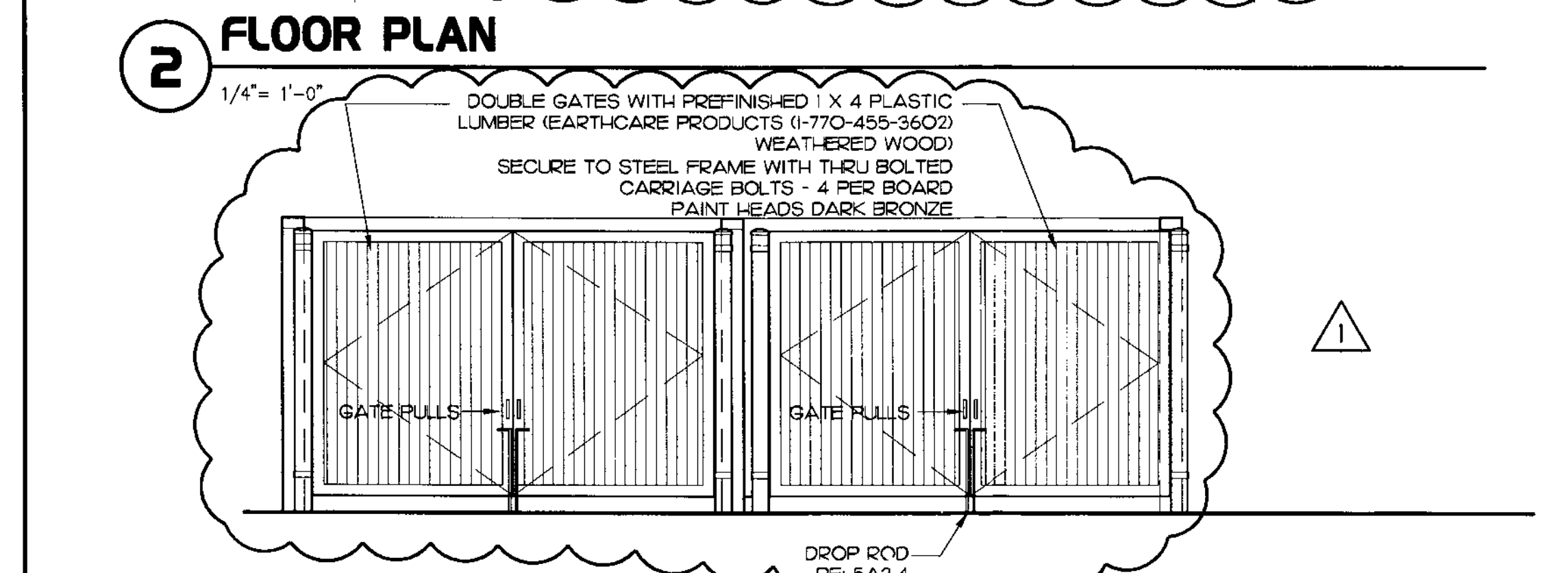
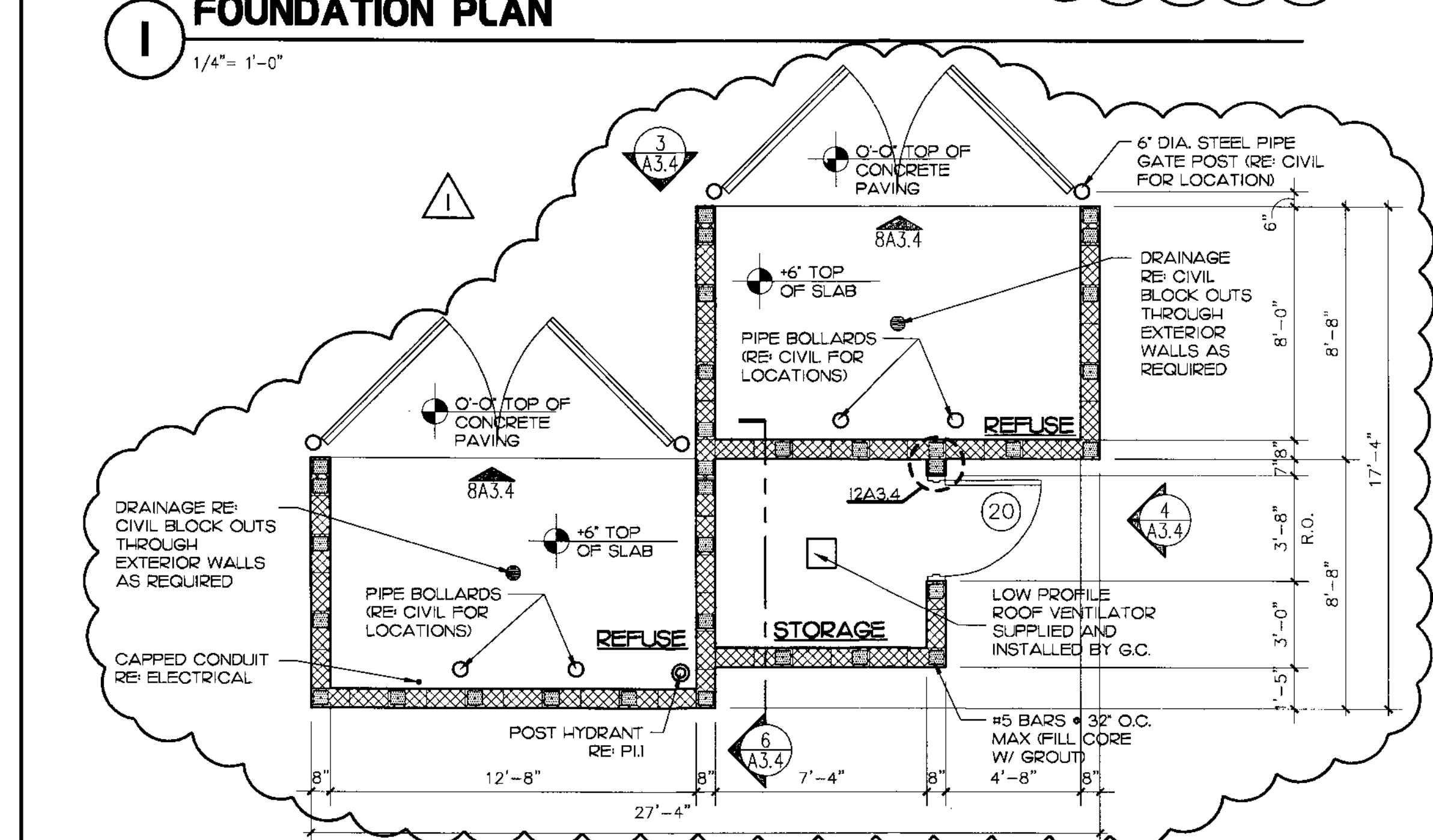
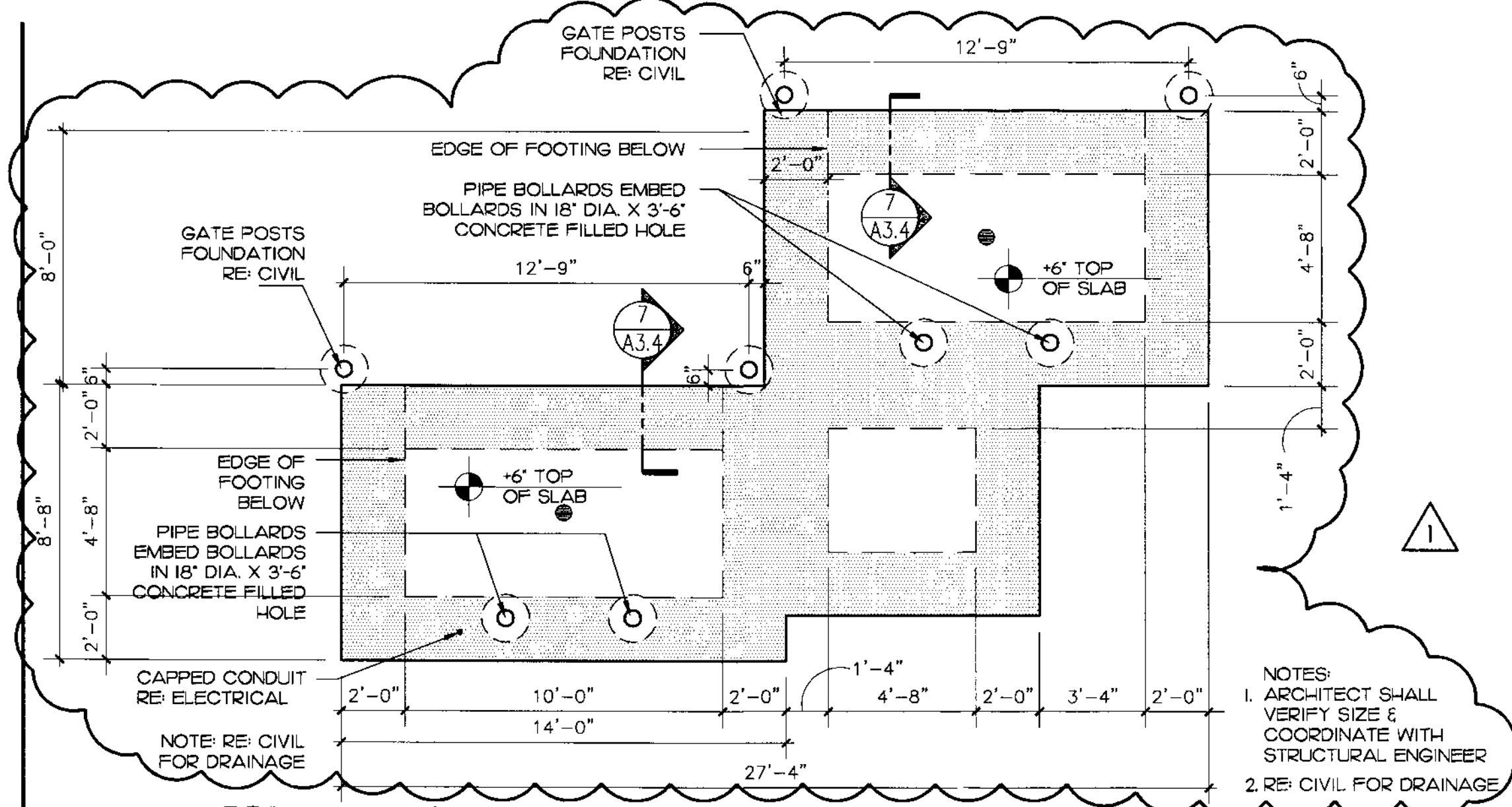
STORE
Montgomery & San Mateo FSU
508 E REVERSE V5-CL
5009 Montgomery Blvd NE
Albuquerque, NM

SHEET TITLE
EXTERIOR ELEVATIONS

VERSION: 5
ISSUE DATE: 2010

Job No. : 10044
Store : 2793
Date : 03-23-11
Drawn By : GG, EA
Checked By : ---

Sheet
A-2.I



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By

03-10-11 BUILDING PERMIT REVIEW COMMENTS

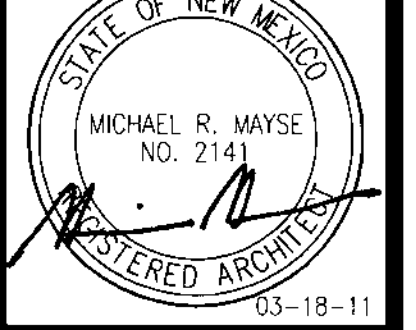
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Mark Date By

Seal



03-18-11

MAYSE & ASSOCIATES, INC.
Architectural • Planning • Construction Management
1400 QUINN DR. SUITE 201
DALLAS, TEXAS 75244
PHONE: (972) 346-0238
FAX: (972) 346-0210

STORE
Montgomery & San Mateo FSU
S08 E REVERSE V5-CL
5009 Montgomery Blvd
NE
Albuquerque, NM

SHEET TITLE
REFUSE
ENCLOSURE

VERSION: 5
ISSUE DATE: 2010


Job No. : 10044
Store : 2793
Date **03-23-11**
Drawn By : GS, EA
Checked By : ---

Sheet

A-3.4

SPECIFICATIONS

CABINET
 ALUMINUM CABINET HAS STEEL FRAME WITH .080 ALUMINUM CLADDING, RETAINERS AND FILLER.
CHICK-FIL-A ICON
 ACRYLIC FACES DECORATED WITH TRANSLUCENT VINYL FILM ON SURFACE OF ACRYLIC. FACES ARE BACKLIT BY HIGH OUTPUT FLUORESCENT LAMPS SPACED EVENLY ON 12" CENTERS.
DECORATIVE SKIRT
 SKIRT HAS STEEL FRAME WITH .080 ALUMINUM CLADDING.
READER BOARD
 ALUMINUM CONSTRUCTION CABINET WITH ACRYLIC FACES BACKLIT BY HIGH OUTPUT FLUORESCENT LAMPS SPACED EVENLY ON 12" CENTERS. TRACK ACCOMMODATES WAGNER ZIP LETTERS.

This Product is Listed by UNDERWRITERS LABORATORIES, INC. and Bears the Mark: 

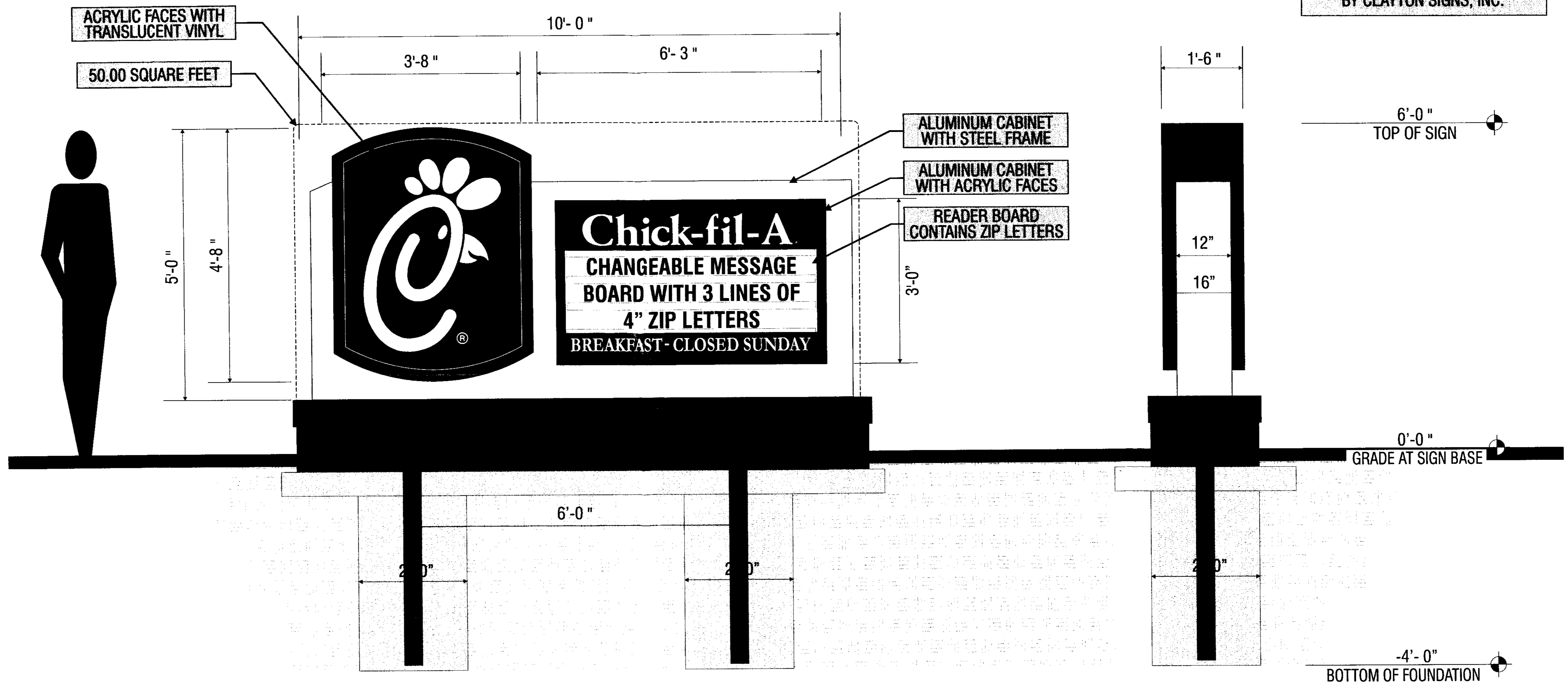
ALUMINUM SURFACES
 GRIPGARD #503 RED GLOSS
 FLEX FACES
 230-53 CARDINAL RED
 TRANSLUCENT VINYL FILM

ALUMINUM SURFACES
 RST584 AKZO NOBEL GLOSS
 ACRYLIC FACES
 7328 WHITE ACRYLIC

MASONRY TO MATCH BUILDING

NOTE: ICON SIDE OF SIGN SHOULD ALWAYS BE POSITIONED CLOSEST TO THE ROAD

MASONRY WORK AND CONCRETE PAD FOR MASONRY WORK IS FURNISHED BY THE GENERAL CONTRACTOR SIGN FOUNDATION IS FURNISHED BY CLAYTON SIGNS, INC.



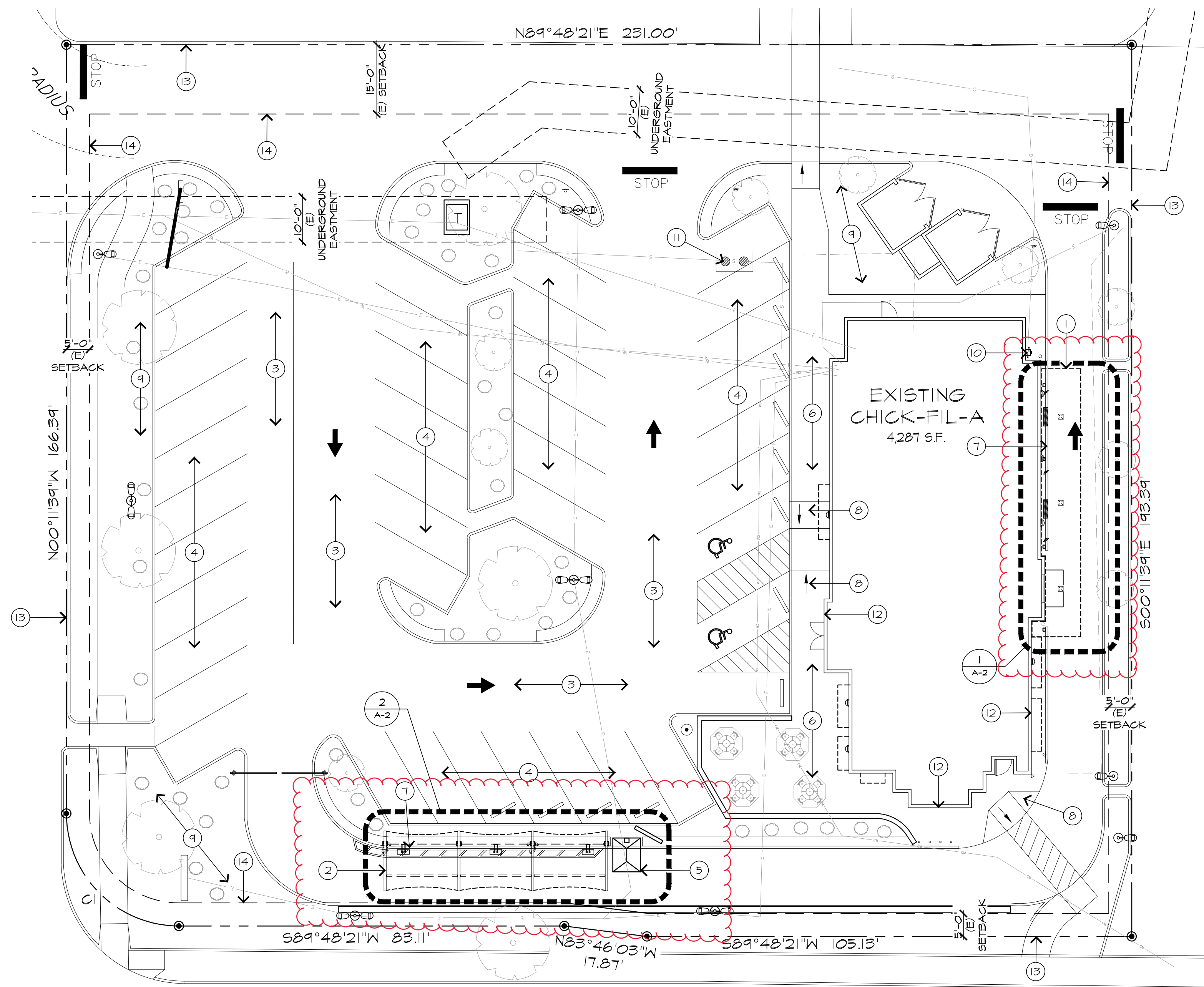
ELEVATION
 SCALE - 1" = 1'-0"

END VIEW
 SCALE - 1" = 1'-0"



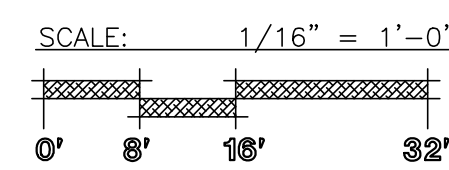
5198 North Lake Drive
 Lake City, GA 30260
 404-361-3800 fax 404-361-7038
 website - www.claytonsigns.com

SIGN TYPE 2	DOUBLE-FACED INTERNALLY-ILLUMINATED MONUMENT SIGN AGGREGATE SQUARE FOOTAGE - 50.00 SQUARE FEET	ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED	DRAWN BY BEN HOLLIDAY	STORE NUMBER 2793	STORE ADDRESS CHICK-FIL-A MONTGOMERY BLVD., NE ALBUQUERQUE, NM 87109	THIS DRAWING IS AN ORIGINAL, UNPUBLISHED DESIGN CREATED BY CLAYTON SIGNS, INC. IT IS NOT TO BE REPRODUCED, CHANGED, OR EXHIBITED TO ANYONE OUTSIDE OF YOUR COMPANY IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION FROM THE OWNER OF CLAYTON SIGNS, INC. ANY SUCH ACTIONS MAY BE SUBJECT TO LEGAL ACTION IN A COURT OF LAW. © 2011 ALL RIGHTS RESERVED	LOCATION A
	DRAWING FILE - CFA - ALBUQUERQUE, NM (MONTGOMERY) SIGNAGE.CDR		ACCOUNT REP. BEN HOLLIDAY				

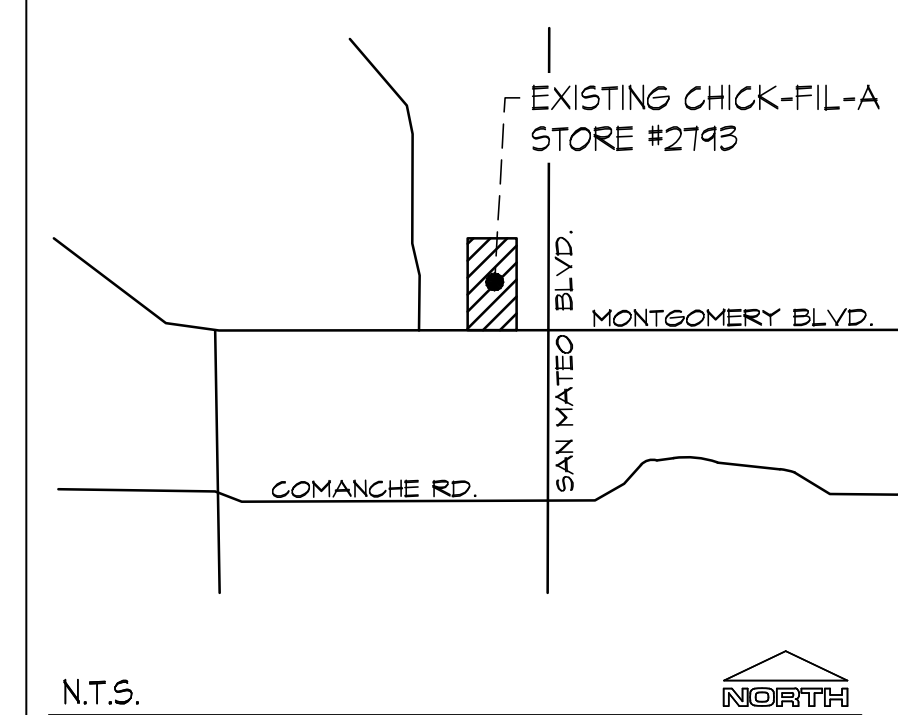


MONTGOMERY BOULEVARD N.E.

1 ENLARGED SITE PLAN - PROPOSED
SCALE: 1/16" = 1'-0"



VICINITY MAP



SHEET INDEX

- ARCHITECTURAL
 - A-1 PROJECT DATA & OVERALL SITE PLAN
 - A-2 ENLARGED CANOPY PLAN
- STRUCTURAL
 - FACE TO FACE CANOPY
 - S-1 CANOPY STRUCTURAL DRAWINGS
 - S-2 CANOPY FOOTER DETAILS
- MEAL DELIVERY CANOPY
 - OMD-1 FOOTING LOCATIONS
 - OMD-2 CANOPY FOOTINGS
 - OMD-3 FRAMING PLAN
 - OMD-4 SECTIONS
 - OMD-5 SECTIONS
 - OMD-6 SECTIONS
 - OMD-7 CANOPY ELEVATION PLAN
 - OMD-8 CANOPY LIGHT LAYOUT
- PLUMBING
 - P1.1 GAS PLUMBING PLAN
 - P1.2 GAS PLUMBING PLAN
 - P2.1 PLUMBING DETAILS
- ELECTRICAL
 - E1.1 POWER AND LIGHT PLAN
 - E1.2 ELECTRICAL DETAILS
 - E1.3 ELECTRICAL ONE-LINE PANEL SCHEDULE

GOVERNING CODES:

- BUILDING: 2015 EDITION I.B.C.
- MECHANICAL: 2015 EDITION U.M.C.
- PLUMBING: 2015 EDITION U.P.C.
- ENERGY: 2004 EDITION I.E.C.C.
- ELECTRICAL: 2011 EDITION N.E.C.
- FUEL / GAS: GOVERNED UNDER 2015 EDITION U.P.C.
- FIRE: 2015 EDITION I.F.C.
- ACCESSIBLE: 2010 EDITION A.D.A.

PROJECT DATA

1. PROJECT NAME: CHICK-FIL-A #2793
2. PROJECT ADDRESS: 5009 MONTGOMERY BLVD. NE ALBUQUERQUE, NM 87109
3. PROJECT WORKSCOPE: INSTALLATION OF STEEL FRAMED FACE TO FACE AND MEAL DELIVERY CANOPY (EMPLOYEE SHADE STRUCTURES) WITH MINOR ELECT. / PLUMB. WORK.
4. PARCEL NO: 101-706-148-301-640-115
5. ZONING: SU-1 C-2
6. PROPERTY AREA: 44,906 S.F. (1.071 ACRES)
7. FIRE SPRINKLERS: YES A.F.E.S. (EXISTING BUILDING)
8. TYPE OF CONSTRUCTION:
 - a. EXISTING BUILDING: VB (EXIST. UN-CHANGED)
 - b. NEW MEAL DELIVERY CANOPY: 11B
 - c. NEW FACE TO FACE CANOPY: 11B
9. OCCUPANCY:
 - a. EXISTING BUILDING: A-2 (EXIST. UNCHANGED)
 - b. NEW MEAL DELIVERY CANOPY: A-2
 - c. NEW FACE TO FACE CANOPY: U (ACCESSORY USE)
10. BUILDING AREA:

a. EXISTING BUILDING:	4,287 S.F.	OCCUPANCY	A-2 (EXISTING)
b. NEW MEAL DELIVERY CANOPY:	481 S.F.		A-2
c. NEW FACE TO FACE CANOPY:	576 S.F.		U
- d. TOTAL AREA: 5,350 S.F.
11. ALLOWABLE AREA: PER IBC TABLE 506.2
 - a. FIRE SPRINKLERED BUILDING: 24,000 S.F. (EXIST. 1-STORY BLDG)
 - * b. ACTUAL BUILDING AREA: 5,350 S.F.
 - * NOTE: INCLUDED NEW CANOPIES IN TOTAL AREA IN CALCULATIONS
12. AREA OF CONSTRUCTION: 1,063 S.F.
13. CANOPY HEIGHT:
 - a. MEAL DELIVERY CANOPY: 9'-6" BOTT. OF CANOPY
 - b. FACE TO FACE CANOPY: 9'-6" BOTT. OF CANOPY
14. BUILDING SETBACKS:
 - a. NORTH PROP. LINE: 15'-0"
 - b. WEST PROP. LINE: 5'-0"
 - c. SOUTH PROP. LINE: 5'-0" (MONTGOMERY BLVD.)
 - d. EAST PROP. LINE: 5'-0"
15. PARKING REQUIREMENTS: EXISTING TO REMAIN NO CHANGE TO PARKING SPACES OR EXISTING DRIVE THRU LANES.

LEGAL DESCRIPTION

PORTION OF TRACT D-1, OF MONTGOMERY PLAZA, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT MAP OF TRACT D, OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 29, 1988, IN MAP BOOK C36, FOLIO 35.

PROJECT DIRECTORY

- | | | | |
|---|---|--|--|
| OWNER:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GA 30344
TROY TRUFF, DIRECTOR OF CONST.
ttruff@chickfila.com
(404) 305-4613 | ARCHITECT:
esencia LLC
1743 E. McNAIR DRIVE
SUITE 200
TEMPE, AZ, 85283
JEFFREY WINTER, R.A.
winter@esencia.org
(480) 755-0459 EXT 120 | MECH. /PLUMB
Interplan LLC
604 COURTLAND STREET
SUITE 100
ORLANDO, FL, 32804
BARB MARTIN
bmartin@interplanllc.com
(407) 645-5008 | MUNICIPALITY:
CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PLAZA DEL SOL
600 2ND NW
ALBUQUERQUE, NM 87103 |
| PROJECT MANAGER:
BUREAU VERITAS LLC
12200 N PERIMETER DRIVE
SUITE 275
SCOTTSDALE, ARIZONA 85255
MICHAEL ANDERSON, CPM
(480) 771-1800 | STRUCTURAL:
LANE SUPPLY, INC.
120 FAIRVIEW ST.
ARLINGTON, TEXAS 76010
LARRY TOLBERT
ltolbert@lanesupplyinc.com
(817) 275-1660 | STRUCTURAL:
SUPERIOR
SHAW-MCGUIRE
1050 COLUMBIA DRIVE
CARROLLTON, GA 30111
SMCUIRE@SHAWBRANDS.COM | |

SITE PLAN KEYED NOTES

1. DASHED LINE INDICATING OUTLINE OF PROPOSED OVERHEAD MEAL DELIVERY CANOPY.
2. DASHED LINE INDICATING OUTLINE OF PROPOSED OVERHEAD FACE TO FACE CANOPY.
3. EXISTING VEHICLE DRIVE AISLE TO REMAIN.
4. EXISTING PARKING FIELD TO REMAIN, NO CHANGE.
5. EXISTING ORDER POINT MENU BOARD TO REMAIN, NO CHANGE.
6. EXISTING CONCRETE WALKWAY TO REMAIN.
7. EXISTING CONCRETE CURB TO REMAIN, VERIFY EXISTING CONDITION OF CURB, REPLACE ANY DAMAGE OR BROKEN CURB TO LIKE NEW CONDITION.
8. EXISTING CONCRETE ACCESSIBLE CURB, RAMP / MARKED PATHWAY TO REMAIN.
9. EXISTING LANDSCAPING AREA TO REMAIN.
10. LOCATION OF ELECTRICAL AND/OR GAS CONNECTION, CONFIRM UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
11. EXISTING GREASE INTERCEPTOR TO REMAIN, VERIFY EXACT LOCATION PRIOR TO START OF CONSTRUCTION.
12. OUTSIDE FACE OF EXIST. BUILDING EXTERIOR WALL.
13. EXIST. PROPERTY LINE.
14. EXIST. BUILDING SET BACK LINE.

GENERAL NOTES

- A. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE G.C. SHALL BE RESPONSIBLE TO VERIFY AND LOCATE EXACT LOCATION/DEPTH OF UNDERGROUND UTILITY LINES, COMMUNICATION LINES, ETC. SERVING THIS SITE. IDENTIFY UTILITIES AS TO SCOPE OF WORK AND LOCATION OF DIGGING.
- B. WHERE REQUIRED, G.C. SHALL NOTIFY ADJACENT TENANTS / PROPERTY OWNERS OF ANY SERVICE INTERRUPTIONS AT LEAST 48 HOURS PRIOR TO SERVICE INTERRUPTIONS.
- C. ANY DAMAGES TO UNDERGROUND UTILITY LINES SHALL BE REPORTED TO THE UTILITY COMPANY INVOLVED. G.C. SHALL REPAIR DAMAGES PER UTILITY CO. REQUIREMENTS AT CONTRACTORS EXPENSE.
- D. UPON INSTALLATION OF FOOTINGS, IT SHALL BE THE G.C RESPONSIBILITY TO OBTAIN THE SERVICES OF A LAND SURVEYOR TO PROVIDE TOP OF ASPHALT/CONC. DIVE TOPO POINTS TO THE CANOPY FABRICATOR PRIOR TO CANOPY FABRICATION. SAID LAND SURVEYOR SHALL PROVIDE A DRAWING DEPICTING TOPO POINTS, NO EXCEPTIONS TAKEN.

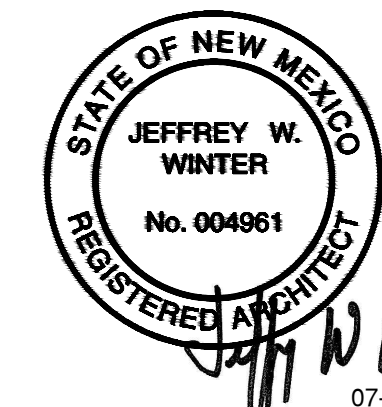


Chick-fil-A
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
(404) 765-8000

THESE PLANS AND SPECIFICATIONS, AS WELL AS CHICK-FIL-A, INC. NAME AND LOGO, TRADEMARKS AND DESIGNS ARE THE EXCLUSIVE PROPERTY OF CHICK-FIL-A CORPORATION. ANY REPRODUCTION, MODIFICATION, DISCLOSURE AND/OR USE OF THESE MATERIALS (OR ANY PORTION OF THEM) WITHOUT CHICK-FIL-A'S PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.

esencia

1743 E. McNair Drive, Suite 200
Tempe, Arizona 85283
Telephone 480-755-0959



Revision Schedule

Rev	Date	By	Description
1	07-10-20	JM	City comments review

Project Name: CANOPY PROGRAM

CHICK-FIL-A
STORE #2793

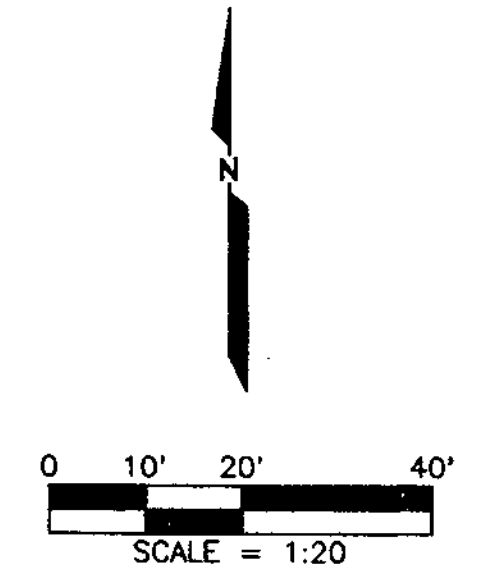
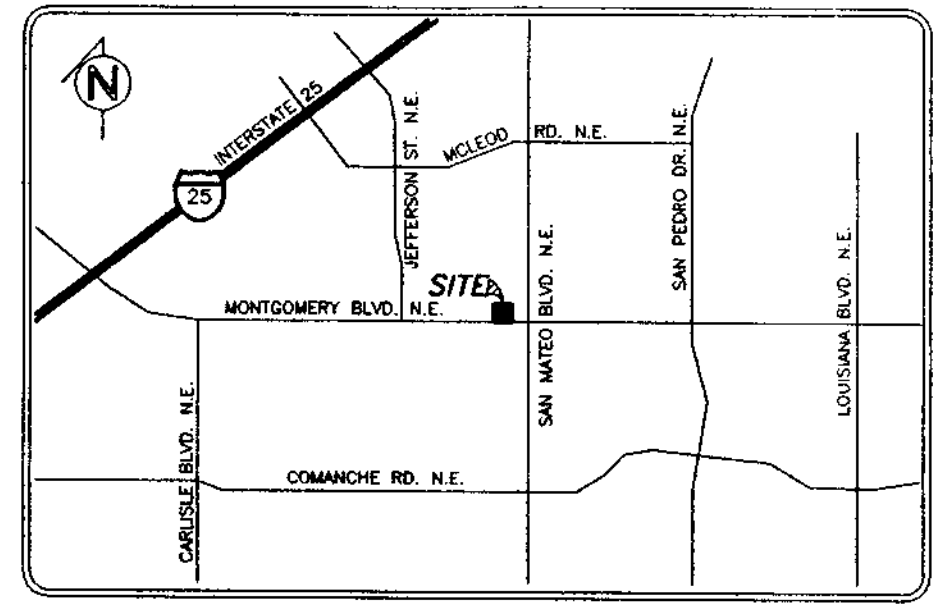
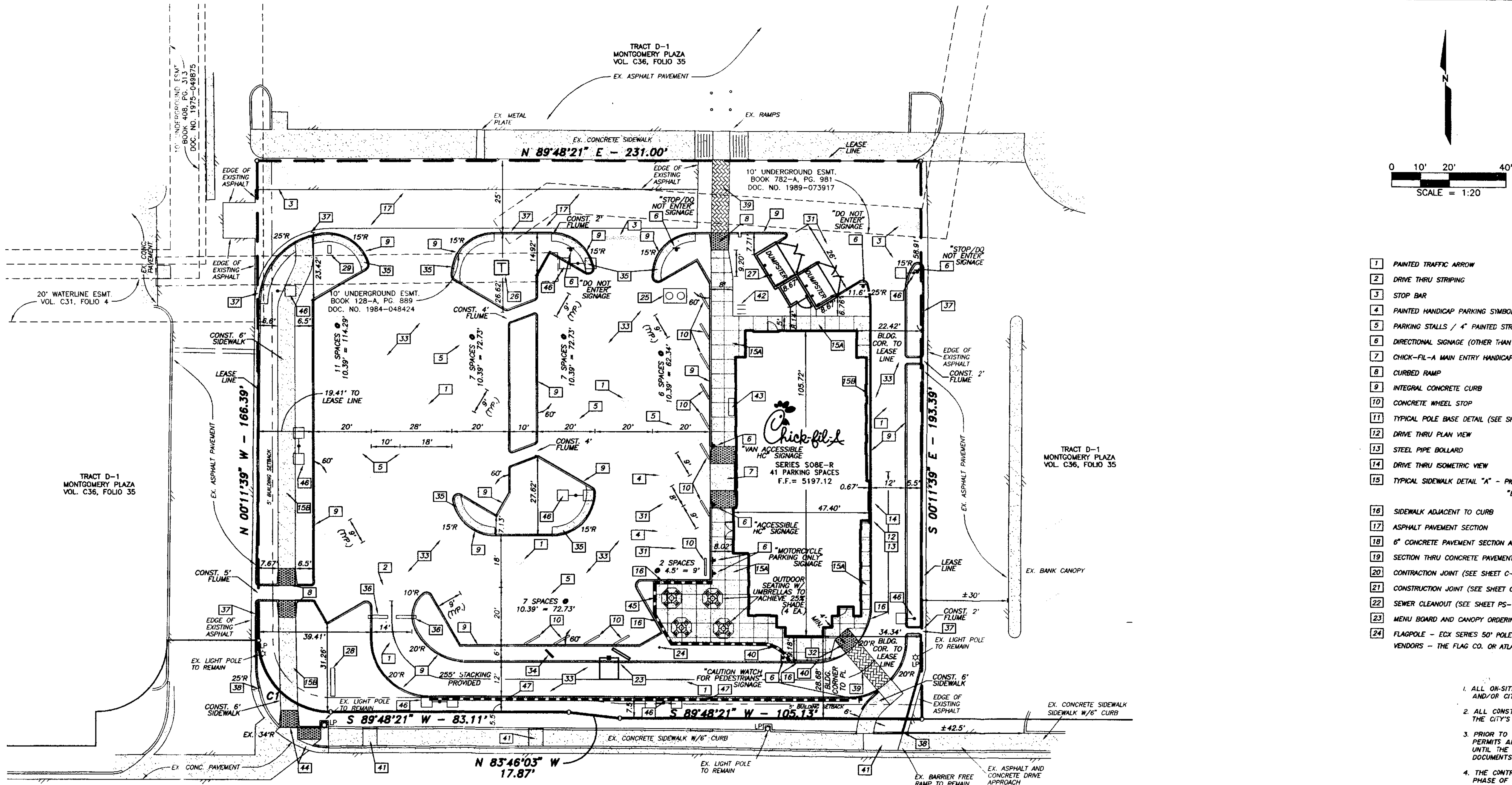
5009 MONTGOMERY BLVD. NE
ALBUQUERQUE, NM 87109

Issue Date: 05-29-2020
Drawn By: GA
Job Number: 19060

Sheet Title: **Project Data**
Overall Site Plan

Scale: As indicated

Sheet Number: **A-1**



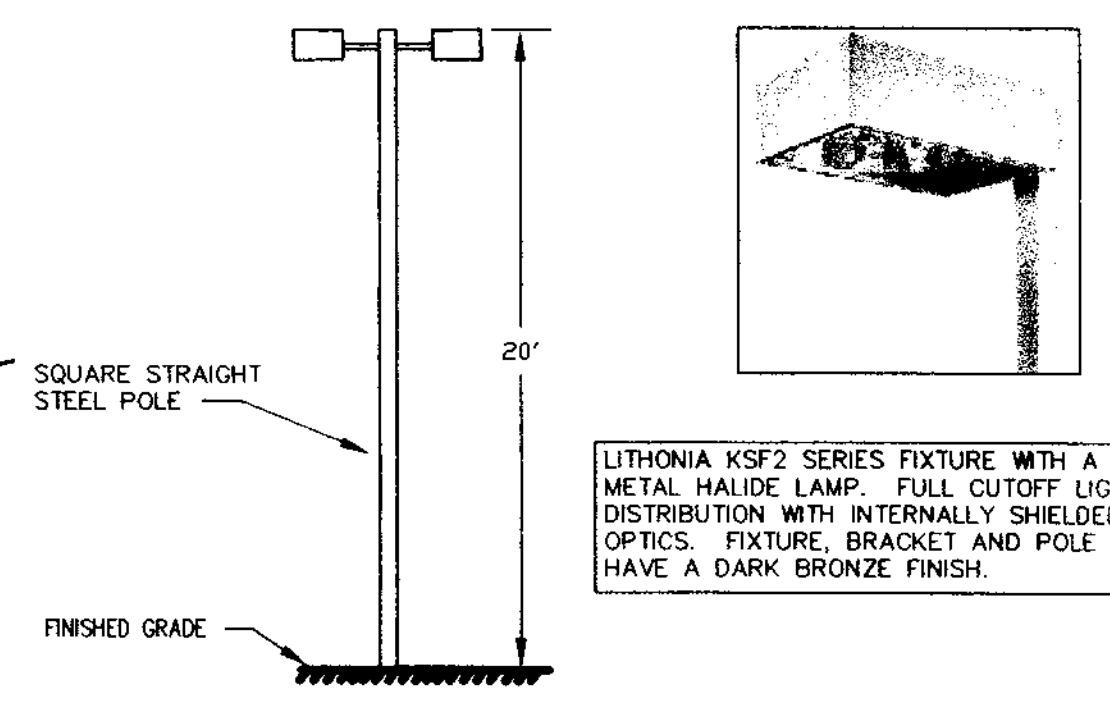
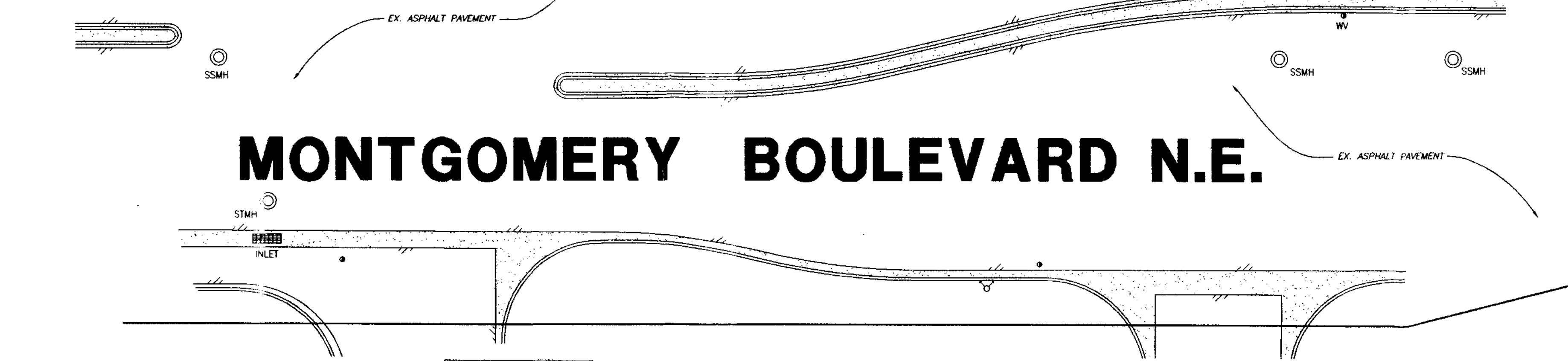
LAYOUT NOTES

- 1 PAINTED TRAFFIC ARROW
- 2 DRIVE THRU STRIPING
- 3 STOP BAR
- 4 PAINTED HANDICAP PARKING SYMBOL
- 5 PARKING STALLS / 4" PAINTED STRIPE
- 6 DIRECTIONAL SIGNAGE (OTHER THAN CHICK-FIL-A SIGNS)
- 7 CHICK-FIL-A MAIN ENTRY HANDICAP RAMP
- 8 CURBED RAMP
- 9 INTEGRAL CONCRETE CURB
- 10 CONCRETE WHEEL STOP
- 11 TYPICAL POLE BASE DETAIL (SEE SHEET ES1)
- 12 DRIVE THRU PLAN VIEW
- 13 STEEL PIPE BOLLARD
- 14 DRIVE THRU ISOMETRIC VIEW
- 15 TYPICAL SIDEWALK DETAIL "A" - PICTURE FRAME PATTERN "B" - BROOM FINISH
- 16 SIDEWALK ADJACENT TO CURB
- 17 ASPHALT PAVEMENT SECTION
- 18 6" CONCRETE PAVEMENT SECTION AT DRIVE-THRU (NOT USED)
- 19 SECTION THRU CONCRETE PAVEMENT AT DUMPSTER (NOT USED)
- 20 CONTRACTION JOINT (SEE SHEET C-7)
- 21 CONSTRUCTION JOINT (SEE SHEET C-7)
- 22 SEWER CLEANOUT (SEE SHEET PS-1)
- 23 MENU BOARD AND CANOPY ORDERING STATION
- 24 FLAGPOLE - EXX SERIES 50" POLE POG BY APPROVED VENDORS - THE FLAG CO. OR ATLAS FLAG
- 25 GREASE TRAP
- 26 TRANSFORMER
- 27 DUMPSTER/STORAGE AREA W/SCREENING TO MATCH BUILDING MATERIAL
- 28 CHICK-FIL-A PRIME SIGN (NOT USED)
- 29 CHICK-FIL-A ENTER SIGN
- 30 CHICK-FIL-A EXIT SIGN (NOT USED)
- 31 STRIPING
- 32 RECESSED FLARED HANDICAP RAMP
- 33 CONCRETE PAVEMENT
- 34 PRE-SELL MENU BOARD
- 35 CONCRETE RADIUS PROTECTION
- 36 CLEARANCE BAR (REF. SIGN PLAN)
- 37 MONOLITHIC CURB & GUTTER
- 38 MATCH EX. CURB & GUTTER
- 39 COLORED & PATTERNED CONCRETE PEDESTRIAN CROSSWALK
- 40 ALUMINUM HAND RAIL
- 41 NEW 6" SIDEWALK PER CITY DETAIL 24.30 W/6" CURB PER CITY OF ALBUQUERQUE STANDARDS
- 42 BIKE RACK INVERTED "U" STYLE, RED COLOR (3 EA.)
- 43 BENCH TO MATCH PATIO FURNITURE
- 44 BARRIER FREE RAMP W/ADA APPROVED TRUNCATED DOMES PER CITY OF ALBUQUERQUE STD. DWG. 2426
- 45 MASONRY SCREEN WALL WITH 1" LATTICE (REF. ARCH. PLANS DETAIL 6/A3.1)
- 46 LIGHT POLE
- 47 MASONRY SCREEN WALL WITHOUT LATTICE (REF. ARCH. PLANS DETAIL 6/A3.1)

NOTES

1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
2. ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
4. THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
6. IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
8. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
9. ALL RADII ARE 2" UNLESS OTHERWISE NOTED.
10. ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.

MONTGOMERY BOULEVARD N.E.

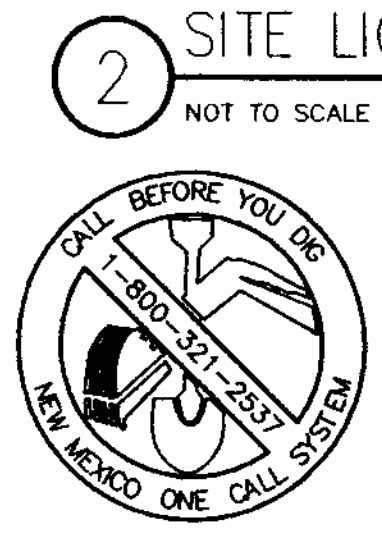


SITE DATA	
ZONING:	SU-1 C-2
LOT AREA:	1,0171 ACRES (44,306 S.F.)
BUILDING AREA:	4,287 S.F.
F.A.R.:	0.10:1
TOTAL SEATING:	120 SEATS
PARKING REQUIRED:	1 SPACE FOR EVERY 4 SEATS 120/4 = 30 SPACES
PARKING PROVIDED:	41 SPACES (2 H.C.) 120/4 = 30 SPACES
BUILDING HEIGHT:	25' (1 STORY)
EXISTING LANDSCAPE:	2,763 S.F. (6.24%)
INTERIOR LANDSCAPE PROVIDED:	8,825 S.F. (19.92%)

APPLICANT:
CHICK-FIL-A, INC.
 5200 BUFFINGTON ROAD
 ATLANTA, GEORGIA, 30349
 PHONE: (404) 765-8000
 CONTACT: STEVE LEWIS

ENGINEER:
BURGER ENGINEERING, LLC
 17103 PRESTON ROAD, SUITE 180N
 DALLAS, TEXAS 75248
 PHONE: (972) 630-3360
 CONTACT: BRYAN M. BURGER, P.E.

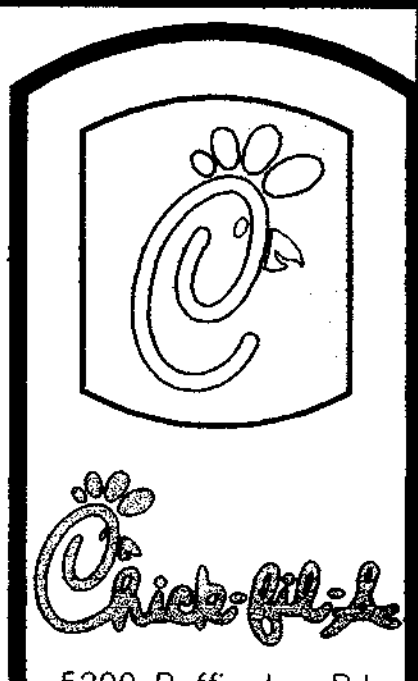
ADMINISTRATIVE AMENDMENT
 FILE # 11-10006 PROJECT # 1000736
 4300 drive thru restaurant
 APPROVED BY: *Manore* DATE: 4/7/11



Albuquerque Control Survey Monument "9-F18"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83) as published
 North = 1,504,358.281 feet
 East = 1,539,870.627 feet
 Elevation = 5212.228 feet (NAVD 1988)
 Delta Alpha = -00'11"36.74"
 Ground to Grid Factor = 0.999666141

BURGER ENGINEERING
 Civil Consultants

17103 Preston Road, Suite 180N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380

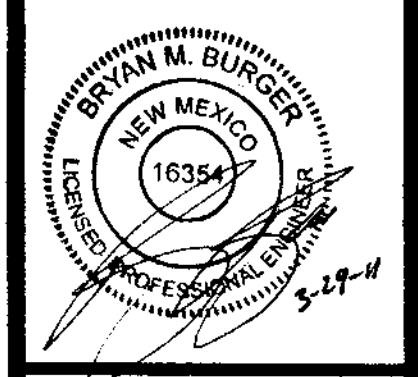


5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:
 Mark Date By

Mark Date By

Mark Date By



PART OF TRACT D-1
 MONTGOMERY PLAZA
 5031 MONTGOMERY BOULEVARD, NE
 CITY OF ALBUQUERQUE, NEW MEXICO

STORE
 SERIES
 SO8E-R

SHEET TITLE
SITE PLAN

88 Preliminary
 80% Submittal
 For Construction

Job No. : 013-007
 Store : 2793
 Date : 11/18/10
 Drawn By : JAC
 Checked By: BMB

Sheet

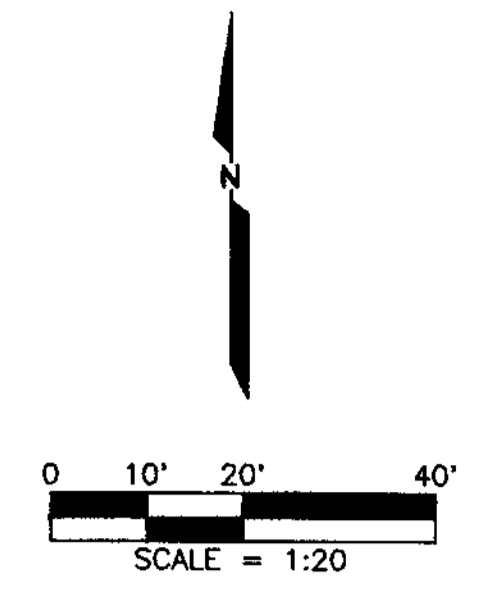
C-3

DRAINAGE NOTE: THE STORMWATER RUNOFF FROM THE EXISTING MONTGOMERY PLAZA SHOPPING CENTER CURRENTLY DRAINING THROUGH THE CHICK-FL-A SITE WILL CONTINUE TO DRAIN THROUGH THE CHICK-FL-A SITE TO MONTGOMERY BOULEVARD FOLLOWING CONSTRUCTION. THERE WILL BE NO IMPACT TO THE DRAINAGE PATTERNS FOR THE MONTGOMERY PLAZA SHOPPING CENTER.

DRAINAGE NARRATIVE: THE EXISTING RESTAURANT CURRENTLY LOCATED ON THE SITE WILL BE COMPLETELY DEMOLISHED AND REMOVED PRIOR TO THE CONSTRUCTION BEGINNING FOR THE NEW CHICK-FL-A. ALL EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED FOR THE MONTGOMERY PLAZA SHOPPING CENTER. THE SITE CURRENTLY DRAINS SOUTH TO MONTGOMERY BOULEVARD VIA THE TWO EXISTING ACCESS DRIVES. THE CHICK-FL-A SITE WILL CONTINUE TO SHEET DRAIN TO MONTGOMERY BOULEVARD VIA THE TWO EXISTING ACCESS DRIVES AS WELL AS MAINTAINING THE CURRENT DRAINAGE PATTERNS FOR THE EXISTING MONTGOMERY PLAZA SHOPPING CENTER.

LEGEND

- 87 — EXIST. CONTOUR
- 87 — PROP. CONTOUR
- x1366.50 EXIST. SPOT ELEV.
- 86.35 PROP. PAVEMENT SPOT ELEV.
- 86.25 TO 85.75 G PROP. TOP OF CURB & GUTTER ELEVATION
- ACCESSIBLE SPACE
- VAN ACCESSIBLE PARKING SPACE
- DRAINAGE AREA NUMBER
- ACRES
- — DRAINAGE DIVIDE
- CONTRACTOR TO LEAVE LANDSCAPE AREAS DEPRESSED TO CAPTURE RAINWATER. (TYP.)

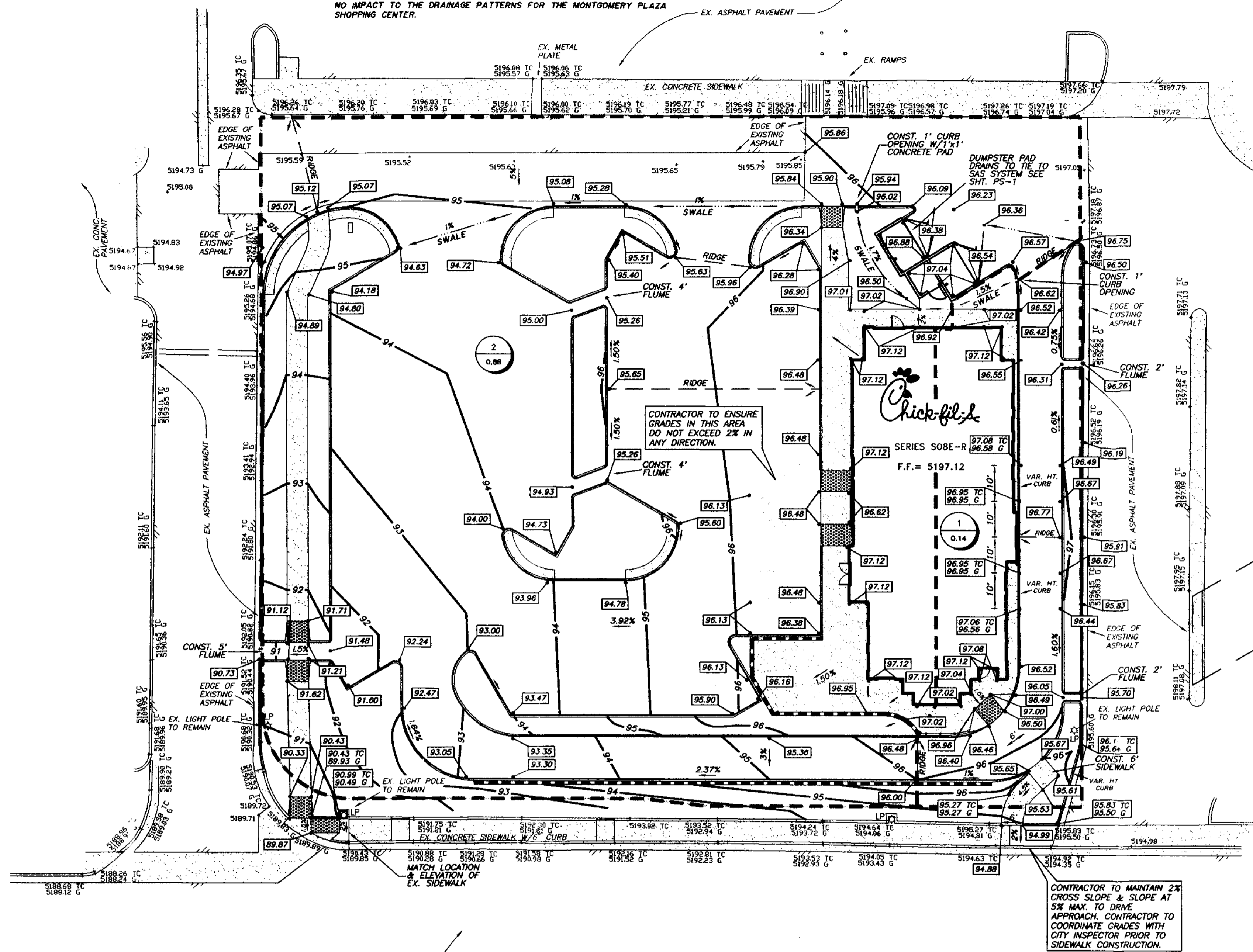


GRADING NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY STANDARDS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
3. BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGN SHALL CONFORM TO STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADING AND CONSTRUCTION STANDARDS AND CITY SPECIFICATIONS.
4. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENT TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
5. ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
6. REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.
7. SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL COMPACTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
9. THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
10. GRATE INLETS TO BE PRECAST, SINGLE GRATE INLET MANUFACTURED BY BROOKS PRODUCTS INC. (B-87-467-2783) WITH TRAFFIC BEARING GRATE, OR APPROVED EQUAL.
11. CONTRACTOR TO ENSURE GRADES IN ACCESSIBLE ROUTE DO NOT EXCEED 5% IN THE RUN DIRECTION W/ A 2% CROSS SLOPE.
12. UNLESS OTHERWISE NOTED, ALL PARKING LOT GRADES ARE TO GUTTER OR INVERT. ADD 0.5' TO GUTTER GRADE FOR TOP OF CURB GRADE.

CONSTRUCTION SEQUENCE

1. OBTAIN GRADING PERMIT.
2. INSTALL ALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING.
3. CLEAR SITE.
4. INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES THAT COULD NOT BE INSTALLED PRIOR TO SITE CLEARING.
5. GRADE SITE.
6. INSTALL ALL UNDERGROUND UTILITIES. INSTALL EROSION CONTROL AROUND CATCH BASINS AND INLETS.
7. INSTALL PAVEMENT.
8. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED OFFSITE & ONSITE AREAS HAVE BEEN HYDROMULCHED OR SOUDED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND A MOWABLE STAND OF GRASS IS ACHIEVED.

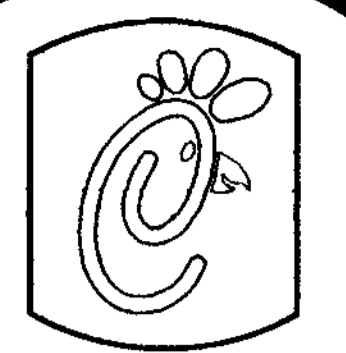


MONTGOMERY BOULEVARD N.E.

HYDRAULIC DATA

$Q = C \times I \times A$

D.A. No.	AREA (acres)	Tc (min.)	C (runoff)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	REMARKS
1	0.14	10	0.86	4.70	0.56	SHEET FLOW TO EAST ACCESS DRIVE TO MONTGOMERY BLVD.
2	0.88	10	0.86	4.70	3.56	SHEET FLOW TO WEST ACCESS DRIVE TO MONTGOMERY BLVD.

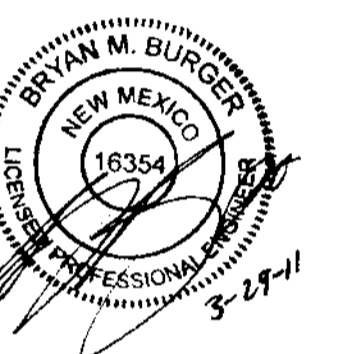


Chick-Fl-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		



**PART OF TRACT D-1
MONTGOMERY PLAZA
5031 MONTGOMERY BOULEVARD, NE
CITY OF ALBUQUERQUE, NEW MEXICO**

STORE
SERIES
SOBE-R

SHEET TITLE
**GRADING &
DRAINAGE
PLAN**

Preliminary
 80% Submittal
 For Construction

Job No. : 013-007
Store : 2793
Date : 11/18/10
Drawn By : JAC
Checked By : BMB

Sheet

C-4



Albuquerque Control Survey Monument "9-F18"
New Mexico State Plane Coordinates
(Central Zone - NAD 83) as published
North = 1,504,358.281 feet
East = 1,539,870.657 feet
Elevation = 5212.228 feet (NAVD 1988)
Delta Alpha = -00°11'36.74"
Ground to Grid Factor = 0.999666141

B BURGER
ENGINEERING
Civil Consultants

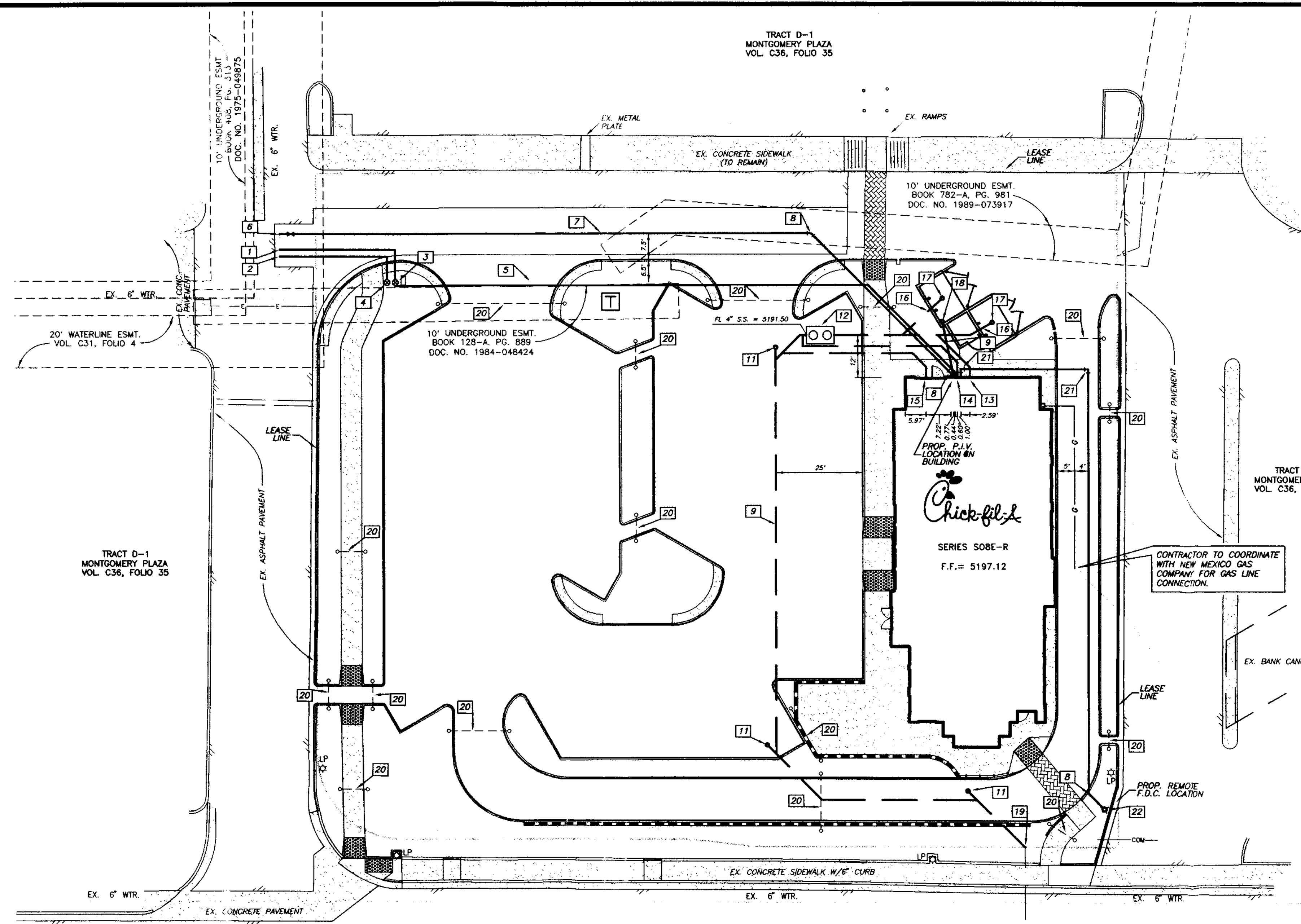
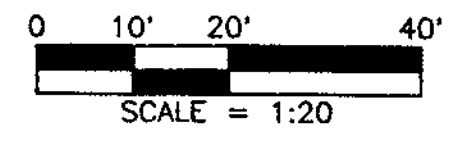
17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380

TRACT D-1
MONTGOMERY PLAZA
VOL. C36, FOLIO 35

UTILITY CONTACTS

UTILITY	UTILITY COMPANY	CONTACT	PHONE
ELECTRIC	POWER NEW MEXICO	MICHAEL MOYER	(505) 241-3697
WATER & WASTEWATER	ALBUQUERQUE BERNILLO COUNTY WATER UTILITY AUTHORITY	JEREMY HOOVER	(505) 924-3988
TELEPHONE	QWEST COMMUNICATIONS	RICHARD REDMAN	(505) 245-6098
GAS	NEW MEXICO GAS COMPANY	JOE HERRERA	(505) 891-6995

- LEGEND**
- FH FIRE HYDRANT
 - X SET CHISELED "X" FOUND
 - F.I.R. IRON ROD FOUND (SIZE AS NOTED)
 - S.I.R. IRON ROD SET (SIZE AS NOTED)
 - U.P. OVERHEAD UTILITY POLE W/ GUY
 - U.E.P. UNDERGROUND ELECTRIC OR TELEPHONE LIGHT POLE
 - S.S.M.H. SANITARY SEWER MANHOLE
 - S.C.O. SAN. SWR. CLEAN OUT
 - G.V. GAS VALVE
 - W.V. WATER VALVE
 - T TREE
 - M.H. MANHOLE (TYPE AS NOTED)
 - S.C.B. SIGNAL BOX
 - T.F. TRANS. ELECTRIC TRANSFORMER BOX
 - S.T. TOWER ELECTRIC TRANSMISSION STEEL TOWER
 - C.U.C.M. CABLE UNDERGROUND CABLE MARKER
 - S.C. SIGN

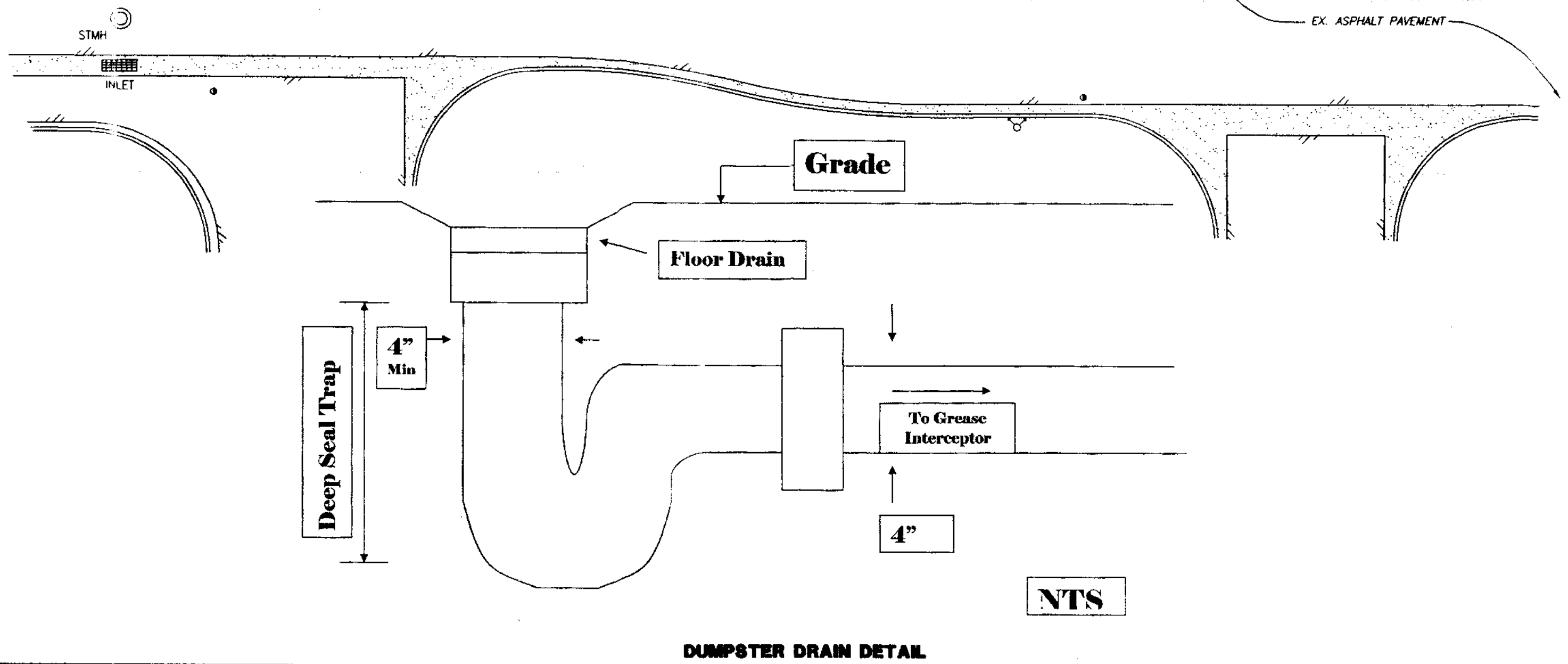


- LAYOUT NOTES**
- 1 INSTALL 6"x12" SERVICE CONNECTION TO EX. 6" WATER.
 - 2 INSTALL 6"x1" SERVICE CONNECTION TO EX. 6" WATER.
 - 3 INSTALL 1/2" DOMESTIC WATER SERVICE METER W/METER BOX.
 - 4 INSTALL 1" IRRIGATION WATER SERVICE METER W/ METER BOX.
 - 5 INSTALL 2" COPPER DOMESTIC WATER SERVICE. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR.
 - 6 INSTALL 6"x4" TAPPING SLEEVE & VALVE.
 - 7 4" FIRE LINE
 - 8 4"x45" BEND
 - 9 3/4" CW TO DUMPSTER POST HYDRANT
 - 10 4" SCHEDULE 40 PVC WASTEWATER SERVICE LINE 1/2" MIN.
 - 11 CLEANOUT
 - 12 PRECAST 1,000 GAL. CAPACITY GREASE TRAP. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP RIM OF MANHOLE TO BE FLUSH WITH FINISHED GRADE.
 - 13 4" KITCHEN WASTE LINE
 - 14 3" VENT LINE
 - 15 4" RESTROOM WASTE LINE
 - 16 4" DUMPSTER WASTE LINE
 - 17 DUMPSTER PAD DRAIN REFER TO P-32.
 - 18 DUMPSTER POST HYDRANT REFER TO P-31.
 - 19 CONNECT TO EX. 4" S.S. LATERAL. CONTRACTOR TO VERIFY FLOW LINE.
 - 20 4" IRRIGATION SLEEVE W/90° ELBOWS TURNED UP TO ABOVE GRADE.
 - 21 4"x90° BEND
 - 22 REMOTE FIRE DEPARTMENT CONNECTION

- WATER LINE GENERAL NOTES**
1. ALL WORK AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
 2. ALL 6" OR 8" WATER MAINS SHALL BE PVC ANNA CROO, DR 18, CLASS 150 WATER PIPE. FOR PVC SERVICE TAPS 1" AND LARGER, TAPPING SADDLES SHALL BE USED.
 3. DEPTHS OF WATER LINES TO MEET CITY DESIGN CRITERIA.
 4. FIRE HYDRANTS TO BE CITY APPROVED.
 5. VALVES TO BE CITY APPROVED.
 6. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN TWO (2) YEARS FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE CITY. THE MAINTENANCE BOND WILL NEED TO BE ON THE CITY'S STANDARD FORM.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "RECORD DRAWING" PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER SERVICES AND VALVES.
 8. FIRE HYDRANTS SHALL BE PAINTED AS PER CITY STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
 9. STREAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LINE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
 10. ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER CITY STANDARDS AND SPECIFICATIONS.
 11. ALL WATER LINES SHALL BE STERILIZED PER CITY STANDARDS AND SPECIFICATIONS.
 12. ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 6" CURBS OR BOLLARDS.
 13. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING.
 14. UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER CITY SPECIFICATIONS.
 15. ANCHOR FITTINGS SHALL BE USED TO ATTACH FIRE HYDRANTS.
 16. ALL WATER SERVICES OUTSIDE OF EASEMENTS SHALL BE INSTALLED BY A PLUMBER.
 17. CONTRACTOR TO INCLUDE ALL CITY WATER AND SEWER FEES IN BID. PAY CITY IMPACT FEES FOR WATER & S.S.

- WASTE WATER GENERAL NOTES**
1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
 2. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
 3. CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING ANY DEVIATIONS FROM THESE PLANS.
 4. CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT.
 5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT; ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
 6. SANITARY SEWER PIPE SHALL CONFORM TO CITY SPECIFICATIONS AND SHALL BE MANUFACTURED FROM ONE OF THE FOLLOWING MATERIALS:
 - a. Polyvinyl Chloride (PVC) Diameter 4" - 15"
 - ASTM D 3034 SDR 35
 7. SANITARY SEWER PIPE MUST BE KEPT CLEAR OF BROKEN CONCRETE, DIRT OR ANY OTHER DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
 8. ALL SANITARY SEWER MAINS ARE TO HAVE 1-21" JOINT CENTERED ON EITHER SIDE OF WATER MAINS WHERE CROSSINGS OCCUR.
 9. CONTRACTOR SHALL TIE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36" OF FLAGGING EXPOSED AFTER CURB AND PAVING IS COMPLETED. CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
 10. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN 2 YEARS FROM THE DATE OF FINAL ACCEPTANCE OF THE SYSTEM BY THE CITY.
 11. ALL SANITARY SEWER LATERALS SHALL BE SIZED AND LOCATED AS SHOWN.
 12. CONTRACTOR TO INCLUDE ALL RECD. BONDS, TAP FEES & CAMERA FEES IN PROPOSAL.

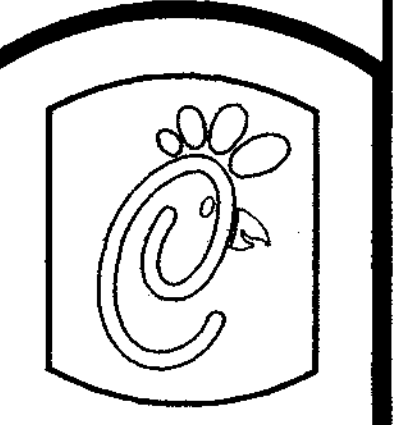
MONTGOMERY BOULEVARD N.E.



Albuquerque Control Survey Monument "9-F18"
New Mexico State Plane Coordinates
(Central Zone - NAD 83) as published
North = 1,504,358.281 feet
East = 1,539,870.687 feet
Elevation = 5212.228 feet (NAVD 1988)
Delta Alpha = -00°11'36.74"
Ground to Grid Factor = 0.999666141

IMPORTANT:
CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A COORDINATION PLAN OF CONSTRUCTION WITH EXISTING TENANTS SO NOT TO DISTURB ACCESSIBILITY TO EXISTING BUSINESSES TO REMAIN.

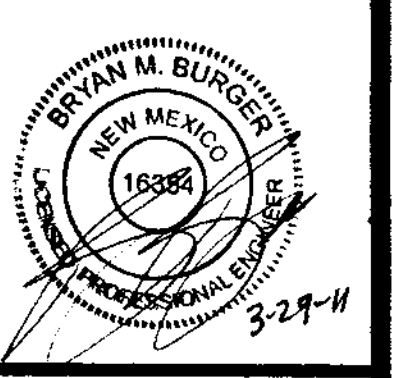
B BURGER ENGINEERING
Civil Consultants
17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
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**PART OF TRACT D-1
MONTGOMERY PLAZA
5031 MONTGOMERY BOULEVARD, NE
CITY OF ALBUQUERQUE, NEW MEXICO**

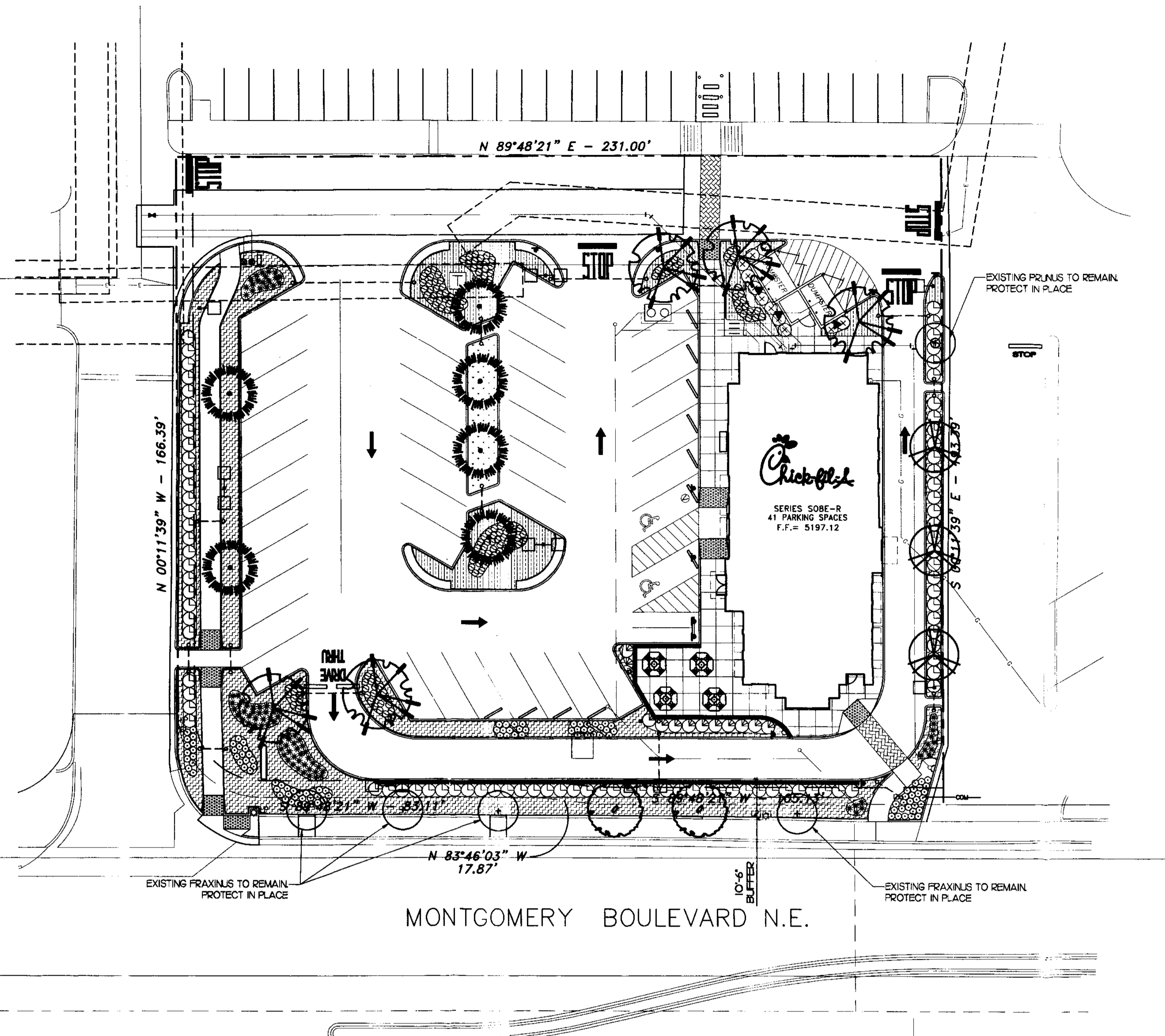
STORE
**SERIES
S08E-R**

SHEET TITLE
**PLUMBING
PLAN**

Preliminary
 80% Submittal
 For Construction

Job No. : 013-007
Store : 2793
Date : 11/18/10
Drawn By : JAC
Checked By: BMB

Sheet
PS-1



PLANTING LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.	REMARKS	WATER USAGE	HEIGHT	WIDTH
EXISTING PLANTING							
⊕	EXISTING PRUNUS	EXT'G	1	EXISTING TO REMAIN	-	-	-
+	EXISTING FRAXINUS	EXT'G	4	EXISTING TO REMAIN	-	-	-
TREES							
	FRAXINUS PENNSYLVANICA GREEN ASH	2" CALIPER	2	STANDARD DOUBLE STAKE	MED	60'	60'
	PROSOPIS GLANDULOSA HONEY MESQUITE	2" CALIPER	6	STANDARD DOUBLE STAKE	LOW	20'	25'
	PISTACIA CHINENSIS CHINESE PISTACHE	2" CALIPER	5	STANDARD DOUBLE STAKE LIFT • SITE TRIANGLES	MED	60'	60'
	PRUNUS CERASIFERA PURPLELEAF PLUM	2" CALIPER	3	STANDARD DOUBLE STAKE	MED	20'	20'
SHRUBS							
⊗	ELAEGNUS PUGENS SILVERBERRY	15 GALLON	11	4'-0" O.C.	MED	10'	10'
⊙	GENISTA HISPANICA SPANISH BROOM	5 GALLON	12	4'-0" O.C.	MED	48"	48"
*	HELICOTRICHON SEMPERVIRENS BLUE AVENA GRASS	5 GALLON	94	2'-0" O.C.	MED	24"	24"
⊖	HEMEROCALLIS 'STELLA D'ORO' EVERGREEN DAYLILY	5 GALLON	111	2'-0" O.C.	MED	24"	36"
⊕	LEUCOPHYLLUM LANGMANIAE RIO BRAVO RAINSAGE	5 GALLON	92	4'-0" O.C.	MED	48"	48"
⊖	SALVIA LAVANDULIFOLIA LAVENDER SAGE	5 GALLON	147	2'-0" O.C.	MED	24"	24"
GROUNDCOVERS							
	CYNODON DACTYLON BERMUDA GRASS	SOD	400 S.F.		MED	-	-
	FESTUCA OVINA 'GLAUCA' BLUE FESCUE	FLATS	3,488 S.F. 8" O.C.		MED	12"	12"
	OENOTHERA CAESPITOSA WHITE EVENING PRIMROSE	FLATS	1,205 S.F. 12" O.C.		LOW	12"	12"
VINES							
▼	LONICERA C. 'PURPURERA' PURPLE LEAF HONEYSUCKLE	15 GALLON	4	REMOVE FROM STAKES. ATTACH TO WALL WITH TUMAX VINE TIES	MED	-	-

PLANTING NOTES

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION(S) FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL TREES SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH IN THE LATEST EDITION OF 'NEW MEXICO ASSOCIATION OF NURSERY INDUSTRIES' (NMANI) FOR RECOMMENDED TREE SPECIFICATIONS.
- ALL SHRUBS AND GROUND COVER SHALL EQUAL OR SURPASS 'NEW MEXICO ASSOCIATION OF NURSERY INDUSTRIES' (NMANI) FOR STANDARDS, QUALITY, AND SIZE.
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- SEE PLANTING DETAILS FOR PLANTING AND STAKING AND GUTTING REQUIREMENTS.
- FERTILIZER FOR ALL GROUND COVER AREAS SHALL BE AS SPECIFIED WITHIN THE SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, ROLLING, MOVING, RESEEDING, EDGING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
- ALL SHRUB AREAS TO BE TOP DRESSED WITH 2" LAYER OF DECOMPOSED GRANITE 1/2" SCREENED 'EXPRESS BROWN'.
- ALL TREES PLANTED WITHIN FIVE (5) FEET OF ANY PAVING, WALLS, BUILDINGS, CURBS, ETC. SHALL BE INSTALLED WITH AN APPROVED 'DEEP ROOT' BARRIER (EXCLUDING PALMS).
- FINISH GRADE TO BE 1" BELOW TOP OF CURB OR SIDEWALK FOR TURF AND GROUND COVER AREAS.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF UTILITIES. REPAIR TO INCLUDE ALL DAMAGED IRRIGATION AND PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- ALL PLANTER AREAS TO BE ROTOTILLED AND AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS. NO DEVIATIONS.
- ALL PLANTED AREAS TO BE IRRIGATED UTILIZING LOW VOLUME SPRAY HEADS, BUBBLERS AND/OR DRIP EMITTERS CONNECTED TO AN AUTOMATIC REMOTE CONTROL VALVE AND TIED INTO A CENTRAL AUTOMATIC IRRIGATION CONTROLLER.
- IRRIGATION CONTROLLER TO BE INSTALLED WITH RAIN SENSOR DEVICE (RAINBIRD OR EQUAL) TO CONSERVE WATER.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT SHALL ADHERE TO CITY OF ALBUQUERQUE LANDSCAPE STANDARDS.
- ALL FINISH GRADING SHALL BE DIRECTED AWAY FROM THE BUILDING AND WALKS AND TOWARDS THE PVIOUS PLANTER AREAS TO THE MAXIMUM EXTENT PRACTICABLE. REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE.
- ALL UTILITIES TO BE SCREENED WITH PLANTING AND ALL BACKFLOW PREVENTERS TO BE SCREENED WITH PLANTING AND INSTALLED WITH A STAINLESS STEEL SECURITY ENCLOSURE.
- DEVELOPED AREAS OF THIS PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- MAXIMUM WATER ALLOWANCE & ESTIMATE WATER USE SHALL BE CALCULATED AND SUBMITTED ON ALL LANDSCAPE CONSTRUCTION DOCUMENTS SUBMITTED TO THE CITY OF ALBUQUERQUE.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO THE PUBLIC FACILITIES DEVELOPMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT. TREE & SHRUBS SHALL BE PLACED ON SEPARATE LINES & VALVES.

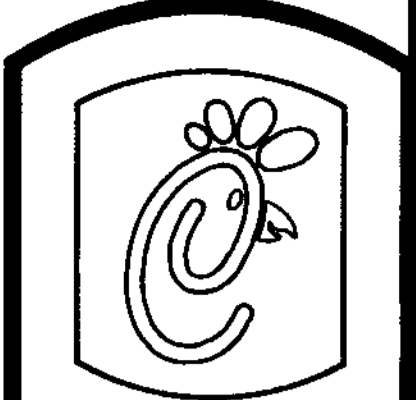
LANDSCAPE CALCULATIONS		
LOT AREA:	1.0171 ACRES (44,306 S.F.)	
TOTAL LANDSCAPE:	8,830 S.F. (20.0%)	
SHRUB AREA:	8,430 S.F.	
TURF AREA:	400 S.F.	
TOTAL LANDSCAPE AREA:	8,830 S.F.	
REQUIREMENT	REQUIRED	PROPOSED
PARKING LOT SHADING 1 TREE PER 10 STALLS (MIN 2" CALIPER) (PLANNING) 41/10 = 4.1	5	8
1 TREE PER 8 STALLS (ZONING) 41/8 = 5.125	6	8
BUFFER 10' MIN DEPTH	10'	10'-6"
MINIMUM PLANT SIZES TREES - 2" CALIPER SHRUBS 1 GALLON GROUNDCOVER - 75% COVERAGE WITHIN 1 SEASON		

Hourian Associates
Landscape Architecture
24661 DEL PRADO AVE. SUITE 9
DANA POINT, CA 92624
TEL: 949-464-5625
FAX: 949-464-5602

GRAPHIC SCALE
1 inch = 20 ft

PRELIMINARY PLANTING PLAN
1" = 20'-0"

BURGER ENGINEERING
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17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
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PART OF TRACT D-1
MONTGOMERY PLAZA
5031 MONTGOMERY BOULEVARD, NE
CITY OF ALBUQUERQUE, NEW MEXICO

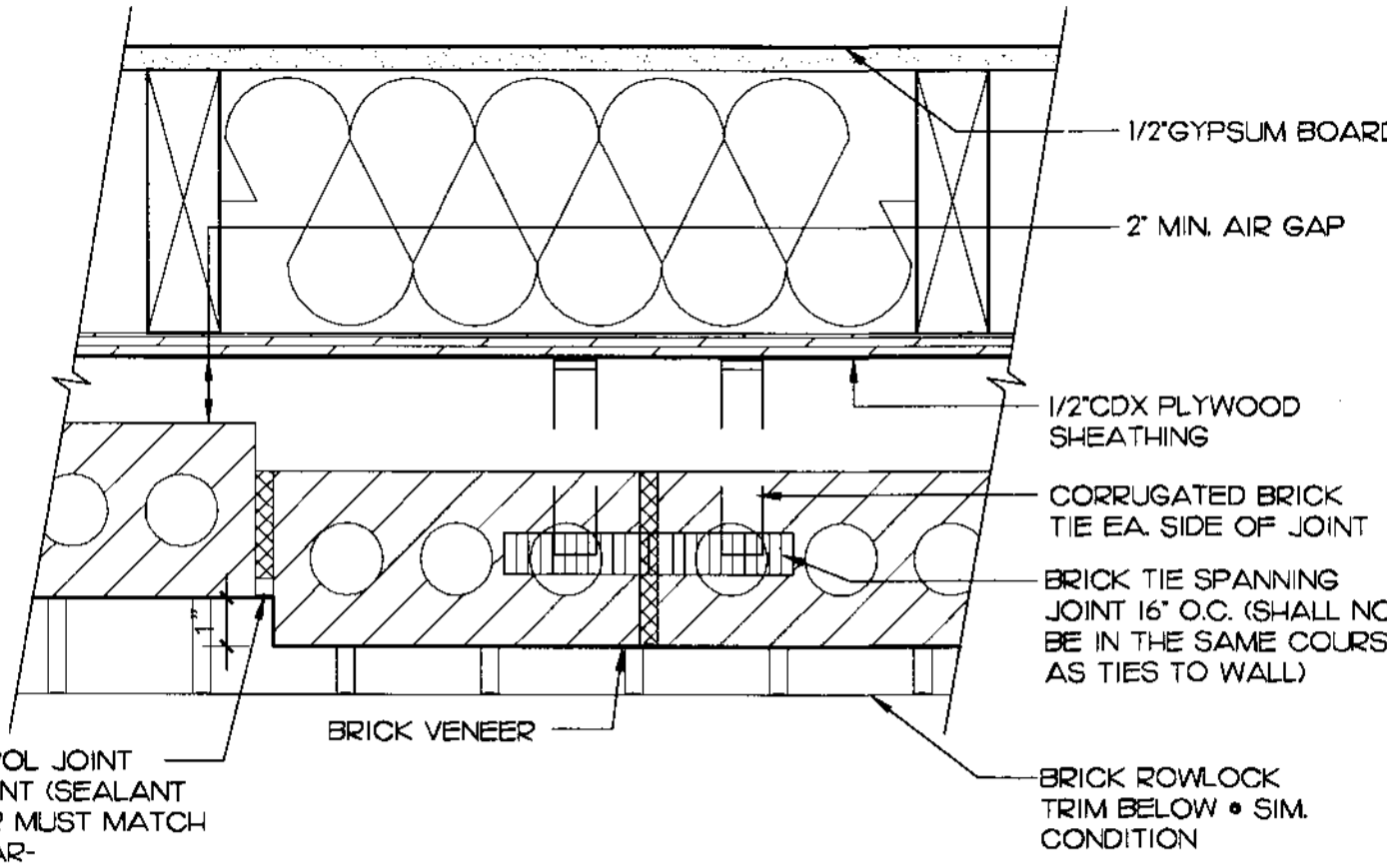
STORE
SERIES
S08E-R

SHEET TITLE
PRELIMINARY
PLANTING PLAN

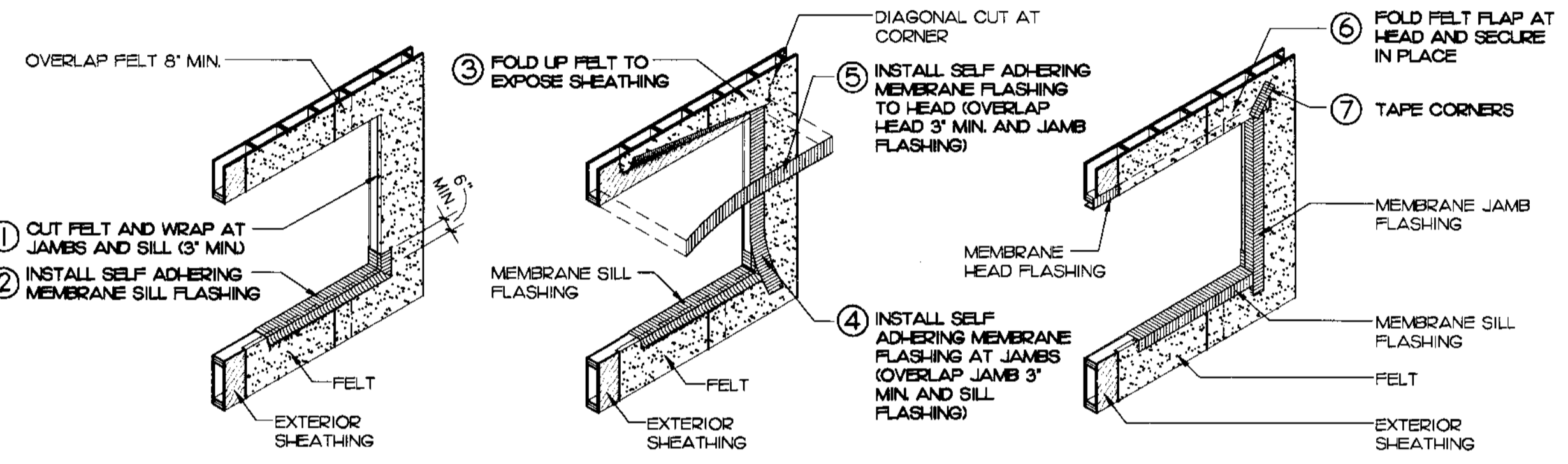
80% Submittal
For Construction

Job No. : 013-007
Store : 2793
Date : 3/31/11
Drawn By : KLM
Checked By : JGH

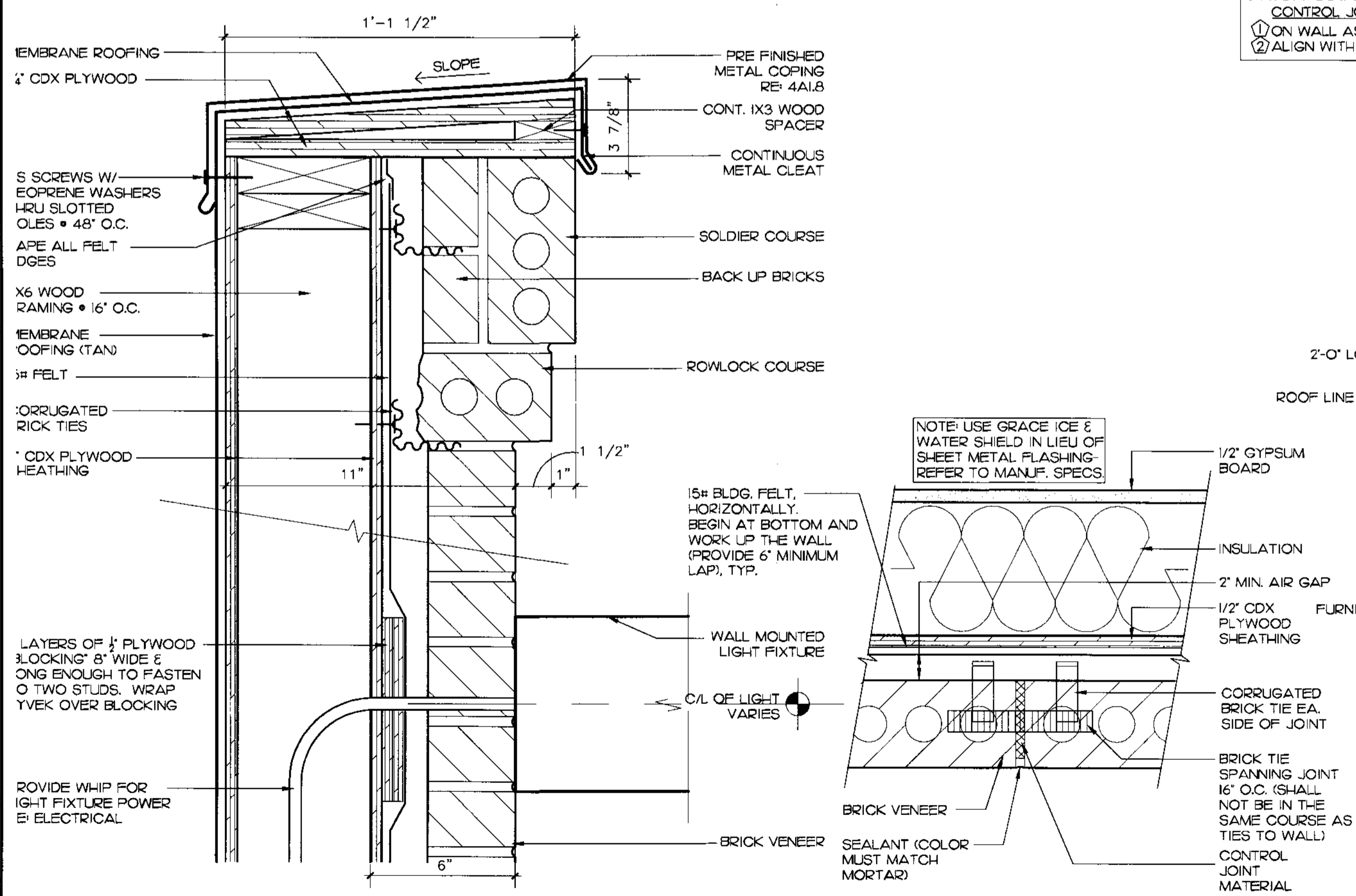
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L-1



15 BRICK PILASTER DETAIL
3" = 1'-0"



5 STOREFRONT FLASHING
NOT TO SCALE



3 PARAPET DETAIL
3" = 1'-0"

5. GENERAL NOTES:

- REFER TO CIVIL DRAWINGS FOR FINISH GRADES AND LOCATION OF WALKS.
- PROVIDE BLOCKING FOR ALL EXTERIOR WALL MOUNTED LIGHT FIXTURES, AWNINGS & SIGNS AS REQUIRED.
- PAINT ALL WOOD AND METALS EXPOSED TO THE EXTERIOR.

6. DRIVE - THRU WINDOW:

QUIKSERV FULLY AUTOMATIC BI-PARTING MODEL BP-724IE - FINISH TO MATCH STOREFRONT CONTACT: JACKIE SLIGH • (800) 388-8307

7. STOREFRONT NOTES:

PRODUCT: YKK - YES 45 (DARK BRONZE - MATTED) TO OBTAIN A LIST OF QUALIFIED GLAZING CONTRACTORS CONTACT: CFA CONSTRUCTION MANAGER
SUPPLIER: PLEASE CONTACT YOUR LOCAL YKK AP BRANCH OR: YKK- WES THORPE 7660 THE BLUFFS, STE. 100 AUSTELL, GA 30168 1-678-836-6000 1-678-396-6726 (DIRECT) EMAIL: WEST-THORPE@YKK-AP.COM *PROVIDE END DAMS IN SILLS*

8. BRICK COLORS:

- BRICK #1: CRIMSON BY ACME BRICK, MODULAR SIZE
- BRICK #2: RIDGEMAR BY ACME BRICK, MODULAR SIZE

SUPPLIER: ACME BRICK TONYA COLEMAN TCOLEMAN@ACMEBRICK.COM 1-817-390-1591

MORTAR - HOLCIM DESIGNER TAN

9. BRICK SPECIFICATIONS:

BRICK TIES: CORRUGATED BRICK TIES SPACED 16" O.C. HORIZONTALLY AND 24" O.C. VERTICALLY TO OBTAIN A LIST OF QUALIFIED GLAZING CONTRACTORS CONTACT: CFA CONSTRUCTION MANAGER
ON NEW CONSTRUCTION MINIMIZE CLEANING BY:
1. KEEPING BRICK COVERED WITH PLASTIC.
2. KEEPING MORTAR TROWELING AND DROPPINGS OFF BRICK.
3. SPREADING STRAW AROUND THE FOUNDATION TO KEEP DIRT OFF OF THE WALL.
4. CLEANING BRICK AS YOU GO, ESPECIALLY THE HEAVY DEPOSITS OF DIRT AND MORTAR.
5. MASON TO CLEAN MORTAR AFTER EACH WORK SESSION.

10. SELF ADHERING MEMBRANE FLASHING:

- PROCEDURES
- REMOVE LARGE PARTICLES FROM THE WALL WITH A HAND TOOL.
 - THOROUGHLY PRE-WET THE AREA WITH PLENTY OF WATER.
 - MAKE SURE THE AREA BELOW THE SECTION TO BE CLEANED IS ALSO THOROUGHLY WET.
 - THE WALL MUST REMAIN WET AT ALL TIMES THROUGHOUT THE CLEANING PROCESS.
 - IF A TEST PANEL CANNOT BE USED, A SMALL AREA SHOULD BE TESTED PRIOR TO CLEANING.
 - APPLY THE CLEANER ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
 - RINSE THOROUGHLY WITH WATER.

- RECOMMENDED CLEANERS:
- CLOROX, TILEX, OR VANISH TO REMOVE MILDEW.
 - 800 STAIN REMOVER FOR VANADIUM STAIN • VANA TROL FOR GENERAL CLEANING.
 - ENVIROKLEAN MPC FOR MUD AND OIL STAINS •
- * BE SURE TO FOLLOW MANUFACTURER'S RECOMMENDED PROCEDURES ON THE LABEL

11. AWNING:

FLAT SEAMLESS PREFINISHED ALUMINUM AWNING COLOR - CARDINAL RED WITH APPLIED VINYL STRIPES BY SIGN MANUFACTURER. STRIPES TO BE 3M VINYL COLORS - 'TAN' (7725-39) & 'BURGUNDY' (7725-58).
SECURE AWNING BRACKET TO 2X6 BLOCKING WITH 3/8" LAG BOLTS (2 TOP AND 2 BOTTOM OF EACH BRACKET) AND NEOPRENE WASHER. LIGHT FIXTURE IS INSTALLED ON 3" WIDE BRACKET AFFIXED TO AWNING FRAME. MOUNT PERFORATED SCREEN BELOW LIGHT FIXTURE WITH 1/2" BOLTS TO WELDED NUTS ON FRAME.

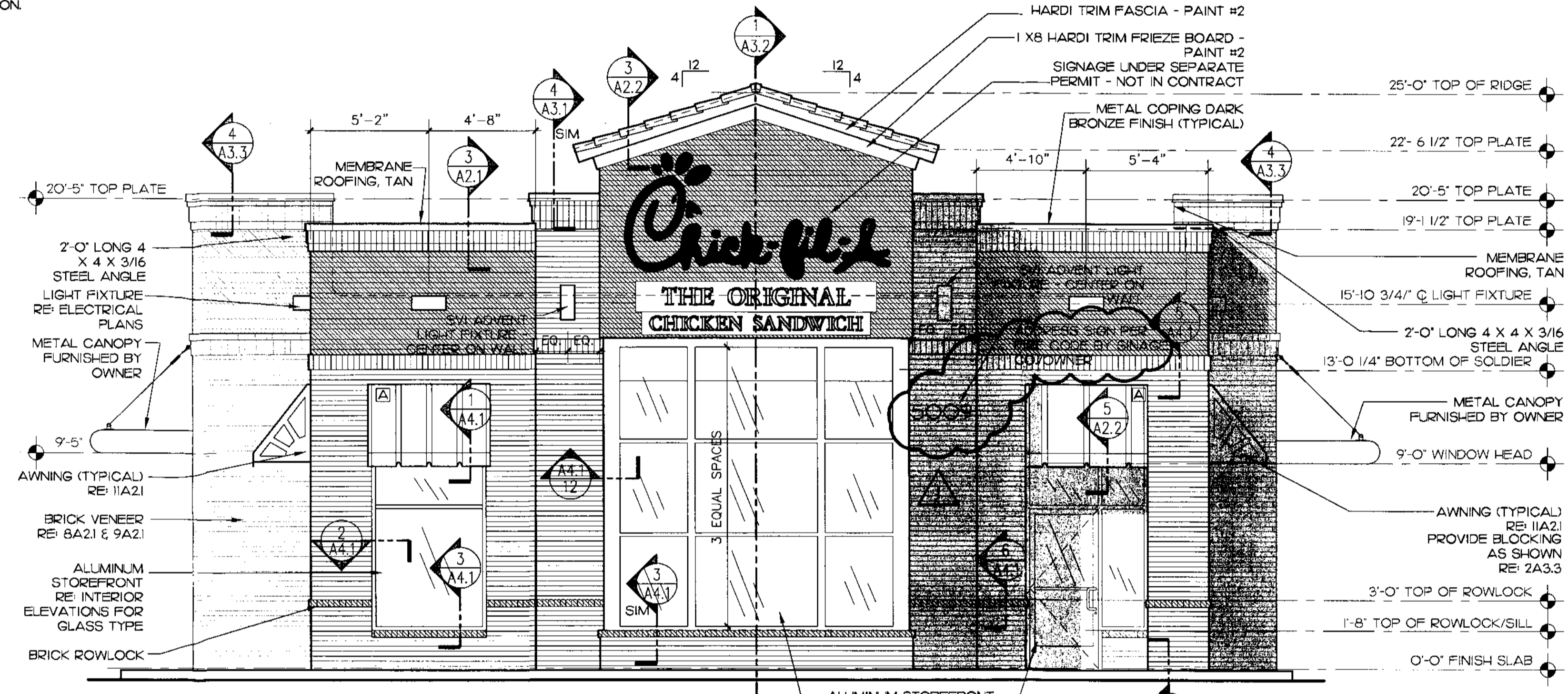
AWNING SCHEDULE:
A 5'-4" LONG
B 11'-0" LONG

12. HARDI SOFFITS & PANELS:

NON-COMBUSTIBLE FIBER-CEMENT PANELS (SMOOTH HARDI PLANK/NOT WOOD GRAIN) AS MANUFACTURED BY JAMES HARDI BUILDING PRODUCTS INC. PANELS SHALL BE SECURED WITH STAINLESS STEEL FASTENERS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
13. SEALANTS
DOW CORNING 795 URETHANE BUILDING SEALANT. COLOR - ADOBE TAN (SEALANT COLOR MUST MATCH MORTAR)
USE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

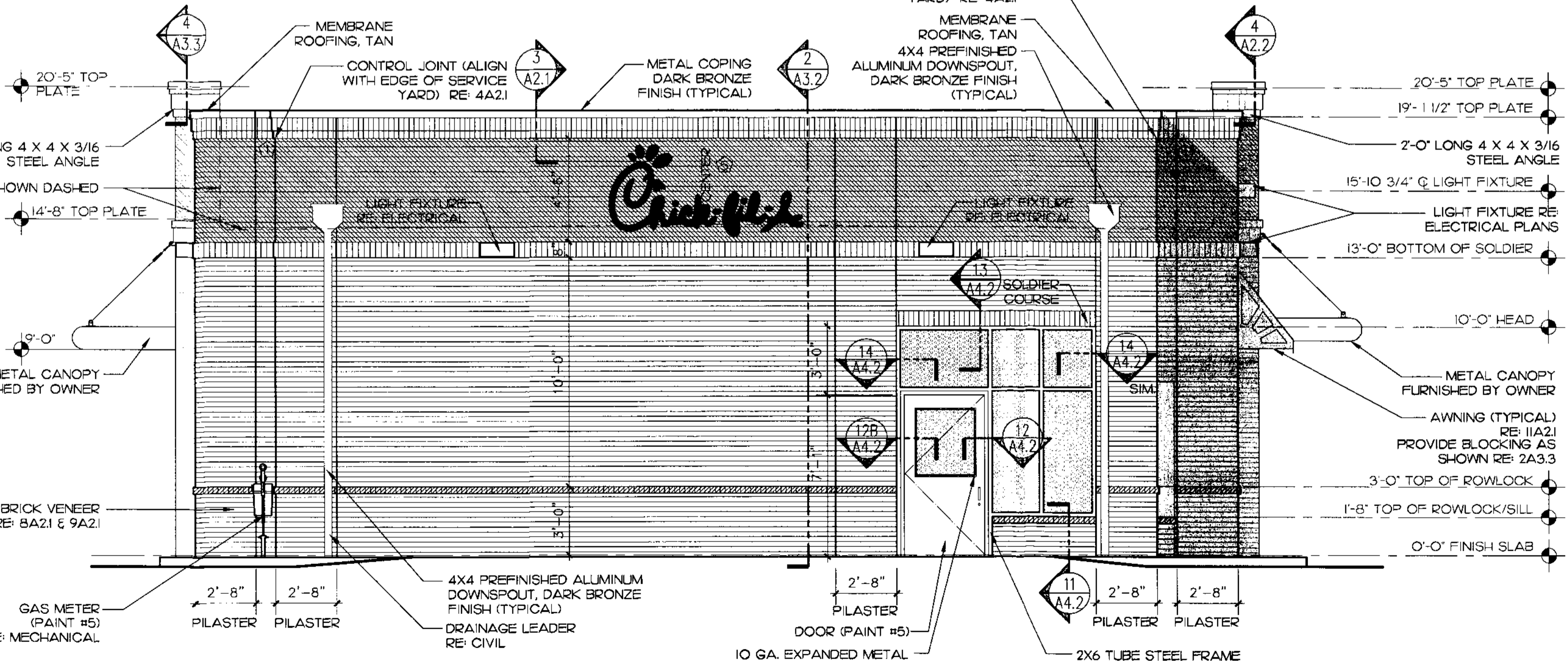
14. ATTIC ACCESS PANEL

22"x36" WEATHER RESISTANT FLUSH ACCESS PANEL, XP SERIES, MODEL #XPA (18 GA) AS MANUFACTURED BY J. INDUSTRIES.
PROVIDE ONE DOOR HANDLE (CENTERED) ON ATTIC ACCESS PANEL. DOOR LATCHES/CLOSURES ARE EXCESSIVE. SUPPLY SPRING CHAIN TO ACCESS PANEL DOOR TO PREVENT OPENING PAST 110 DEGREES.
TELE: 1-800-554-6077

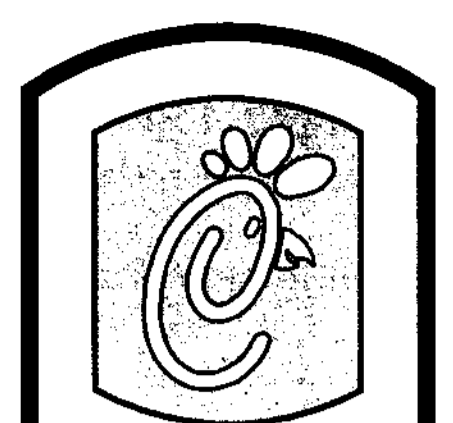


1 FRONT ELEVATION
1/4" = 1'-0"

BRICK JOINT LEGEND - RE: 4A21
CONTROL JOINTS
1 ON WALL AS DIMENSIONED
2 ALIGN WITH JAMB



2 REAR ELEVATION
1/4" = 1'-0"



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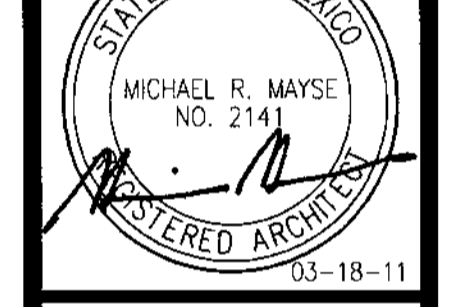
Revisions:
Mark Date By

03-10-11 BUILDING PERMIT REVIEW COMMENTS

Mark Date By

Mark Date By

Seal



MAYSE & ASSOCIATES, INC.
Architects • Planners • Construction Management
19800 Camino Dr. Suite 201
Palmer, NM 87554
Phone: (505) 346-0338 Fax: (505) 346-0576

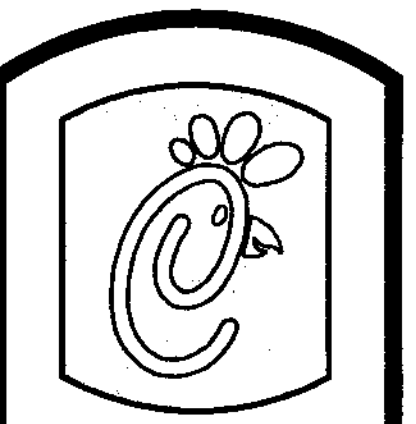
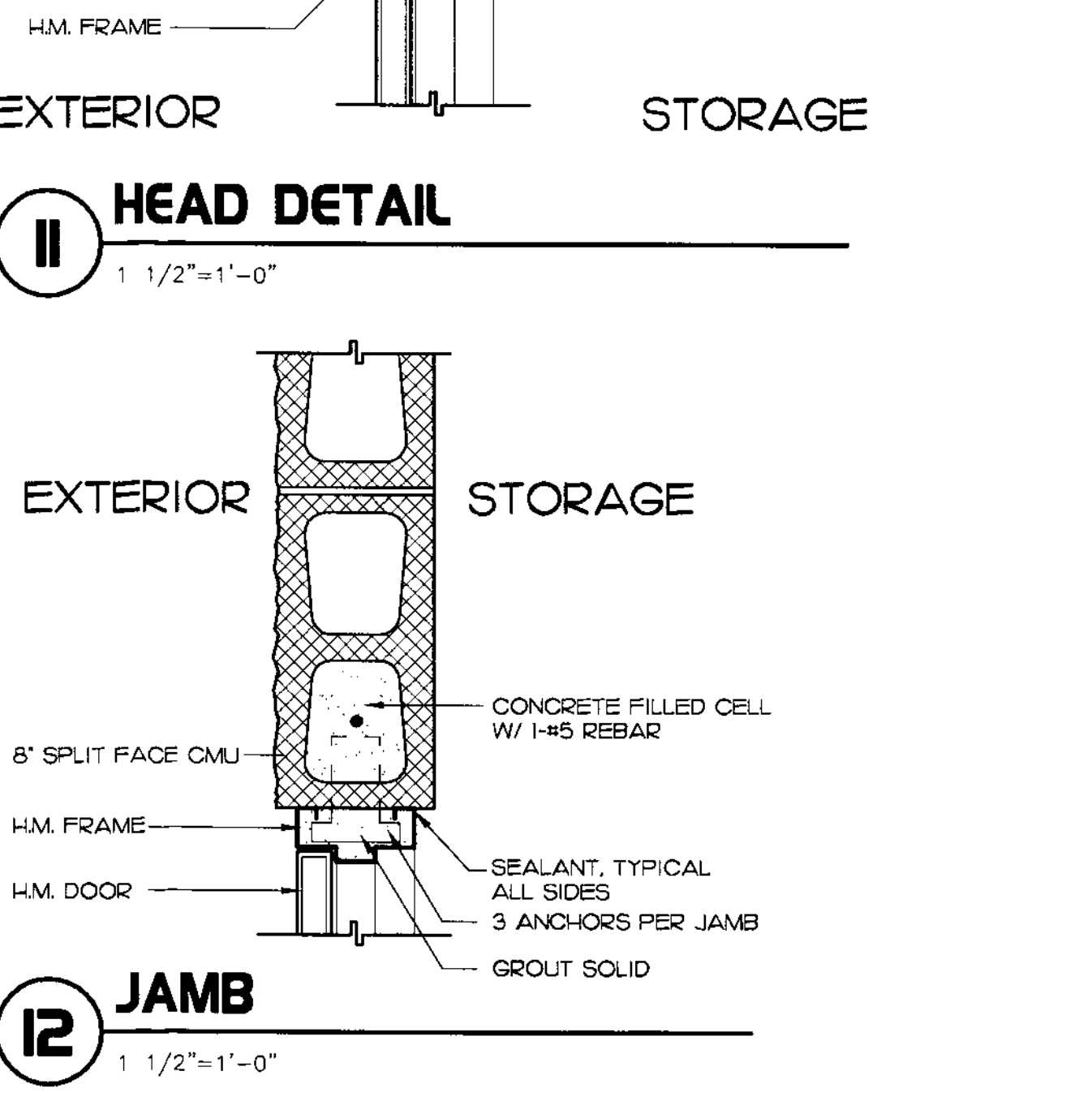
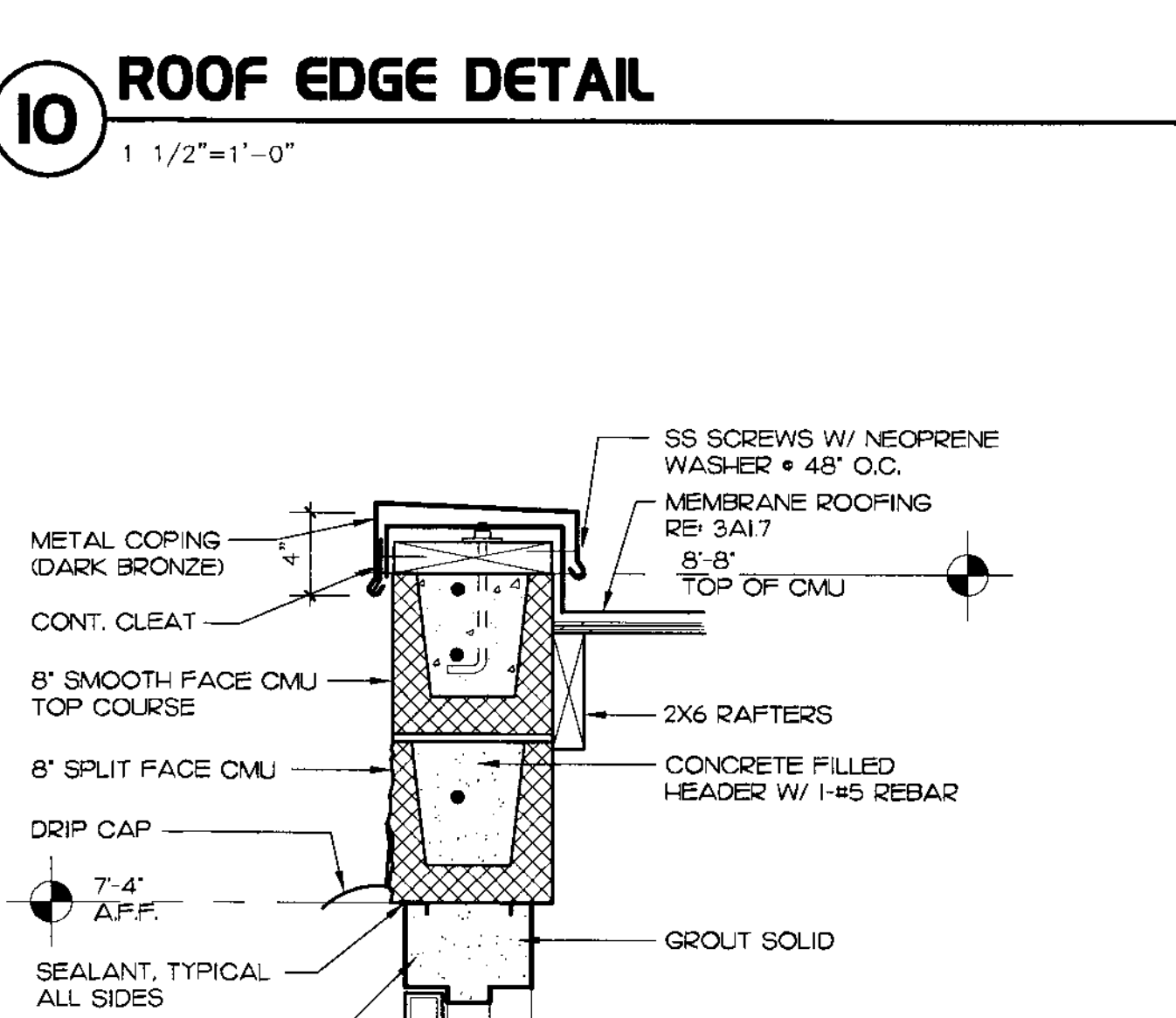
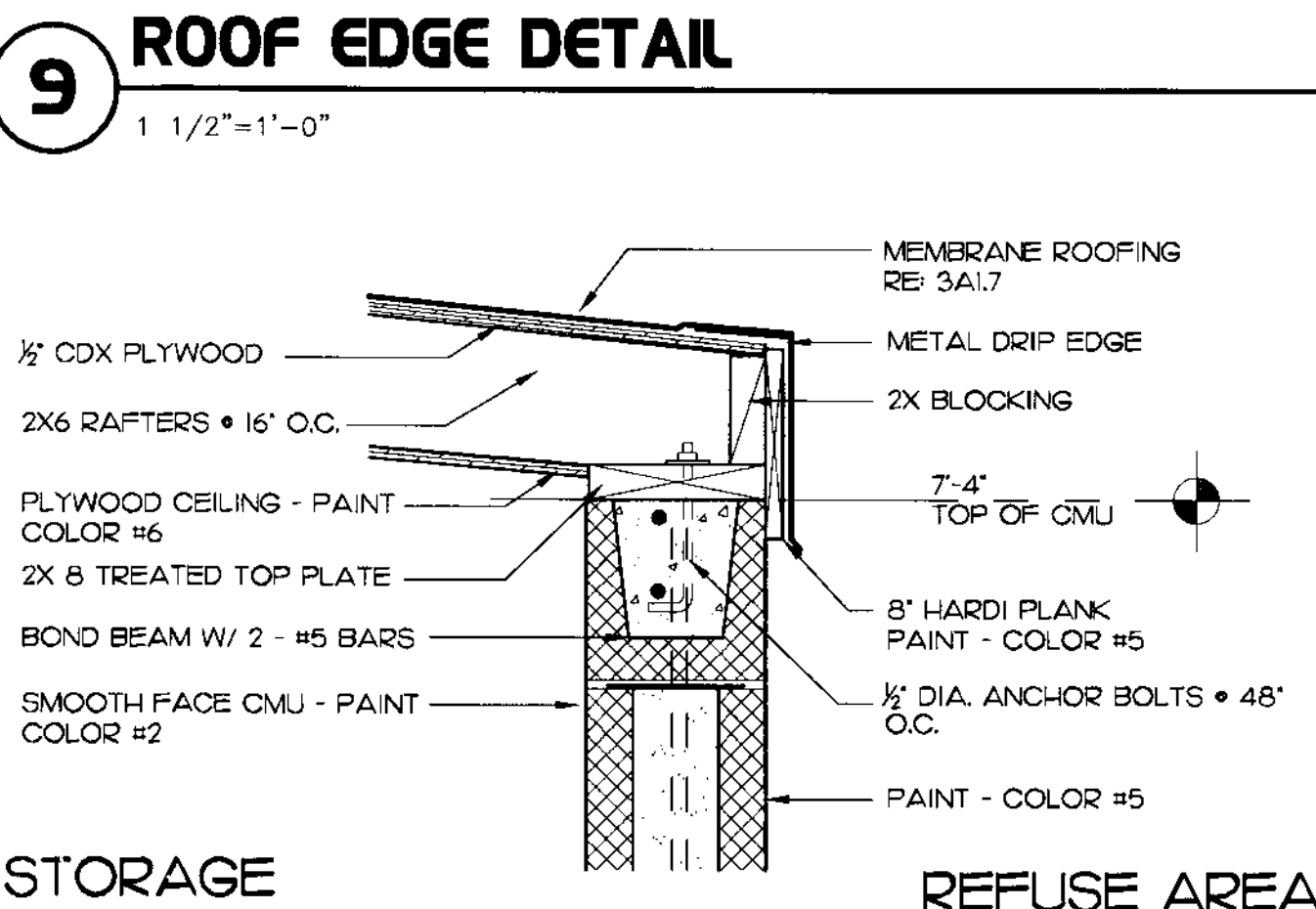
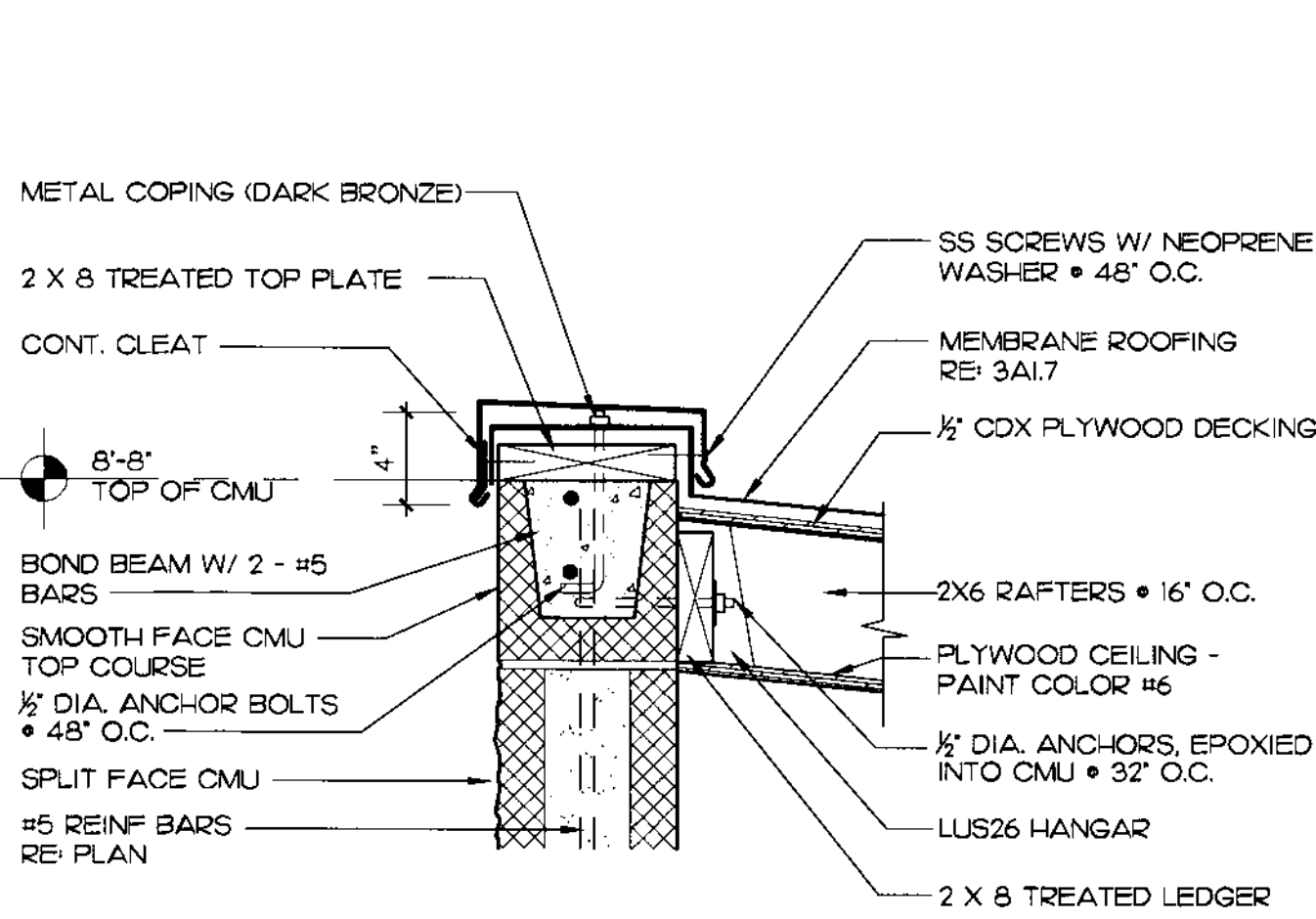
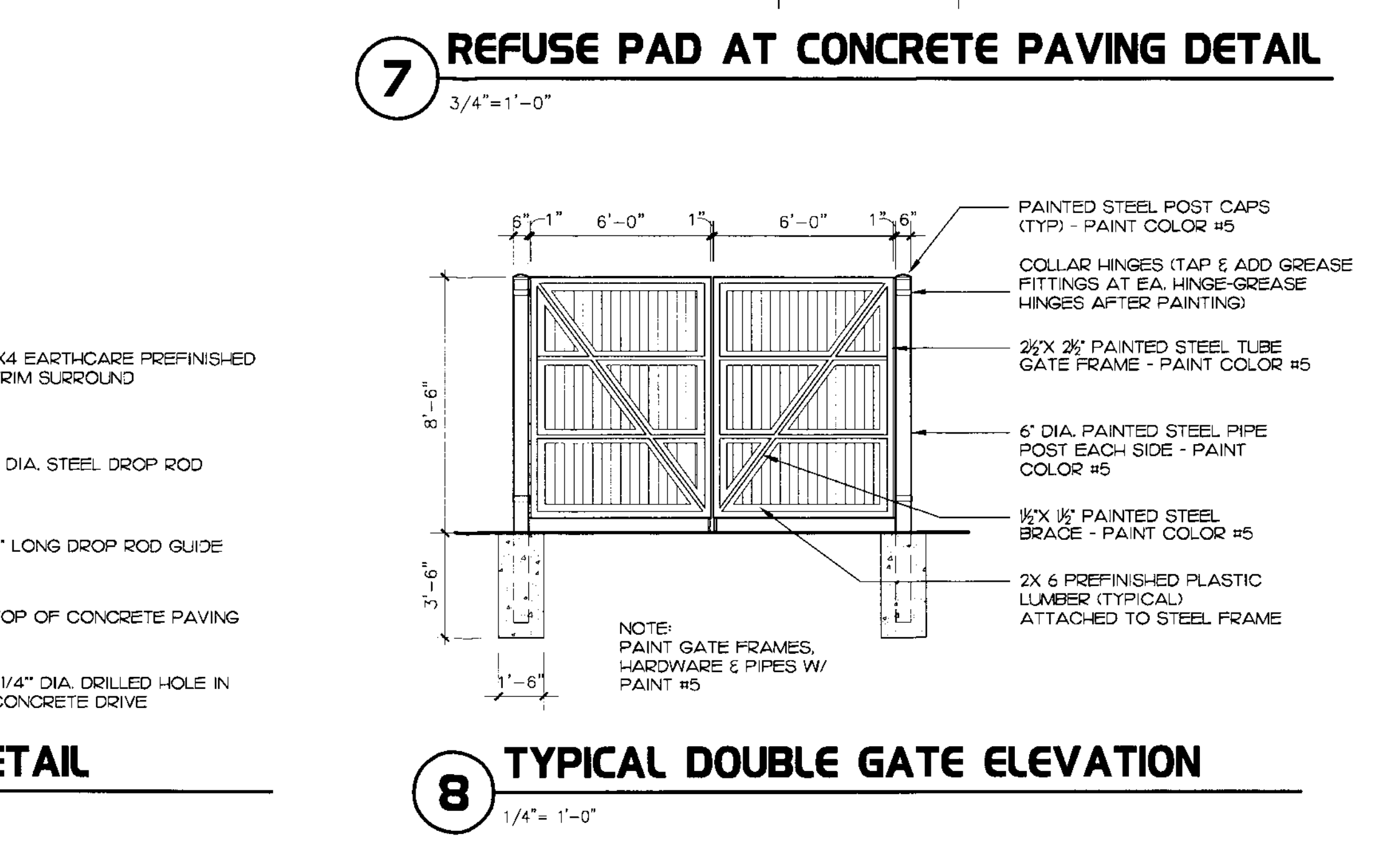
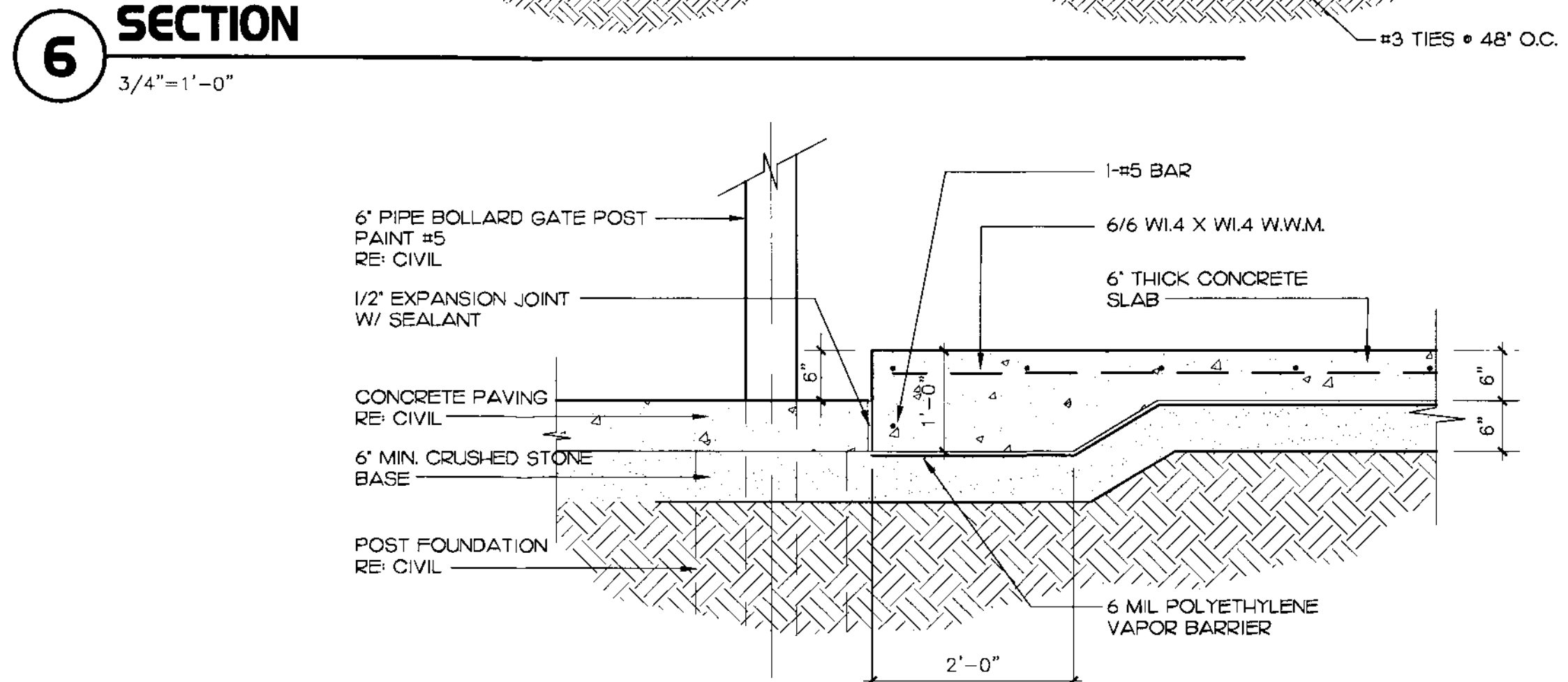
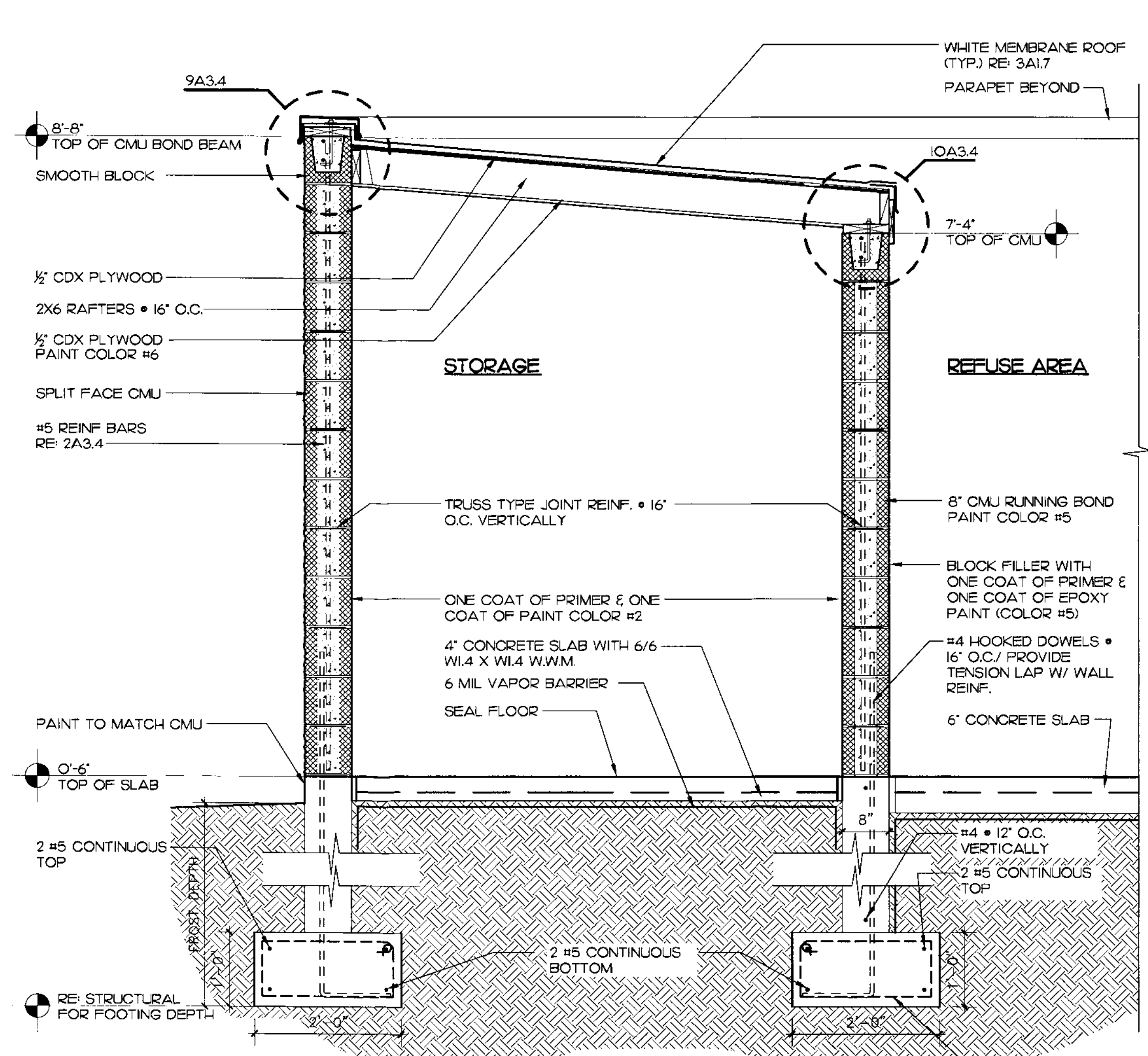
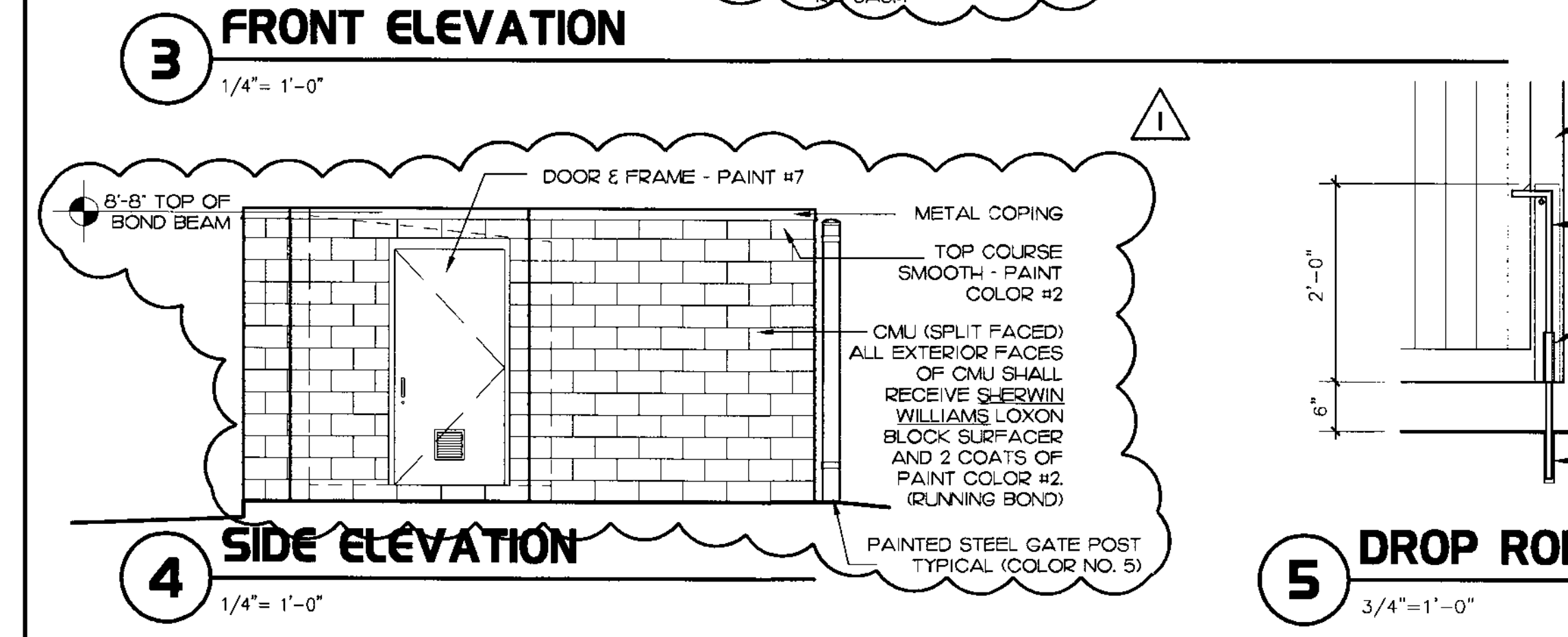
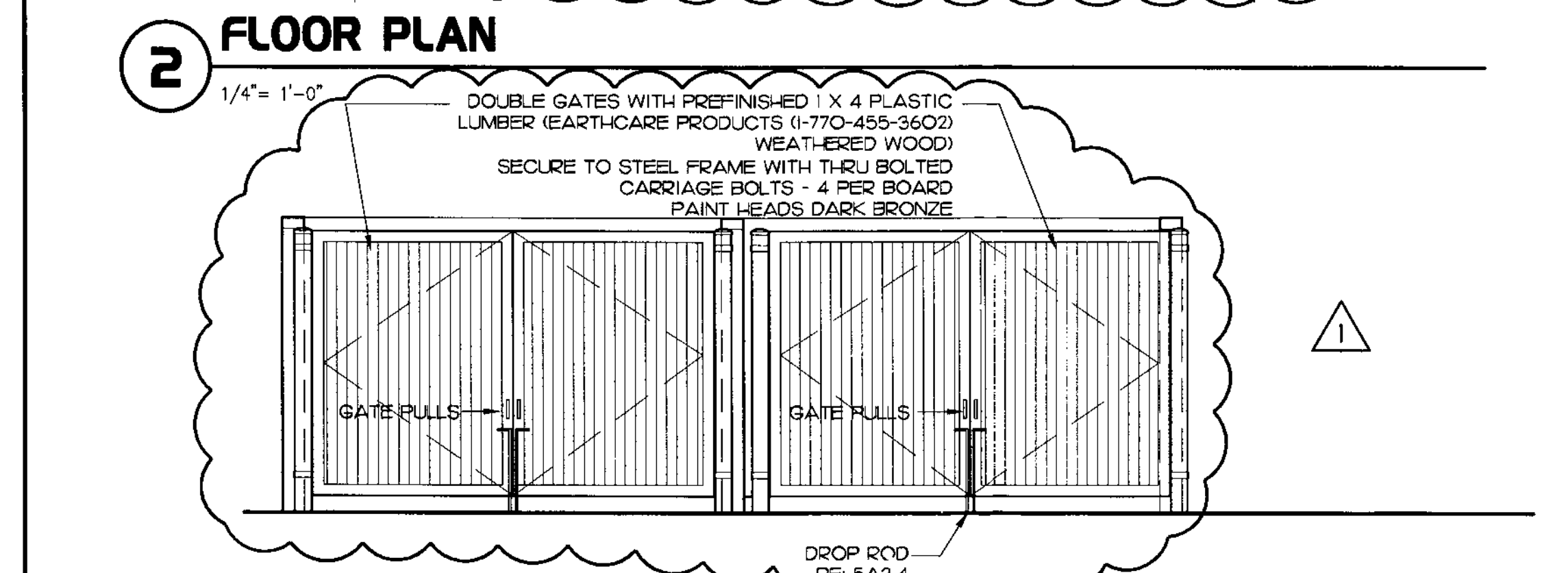
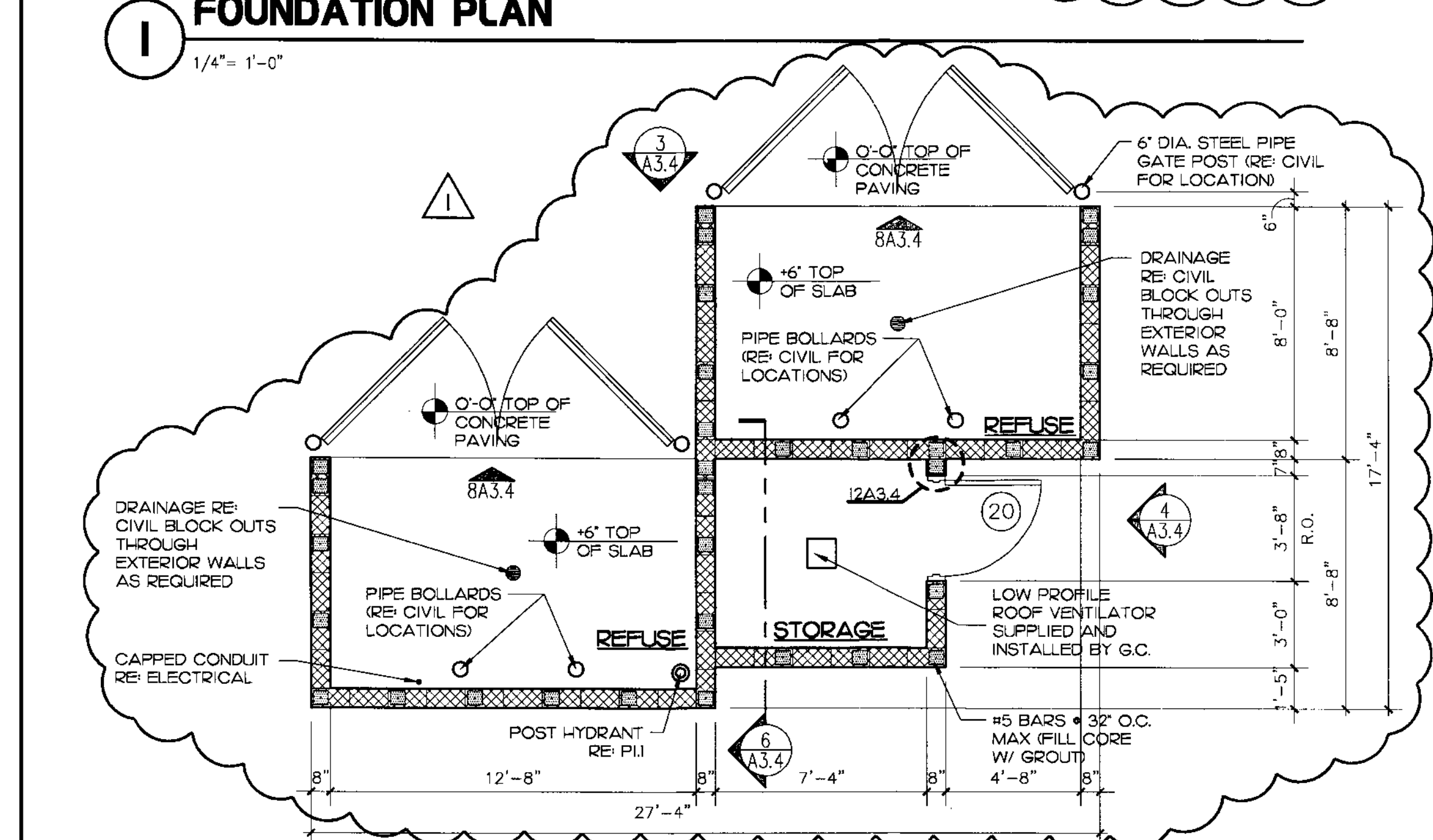
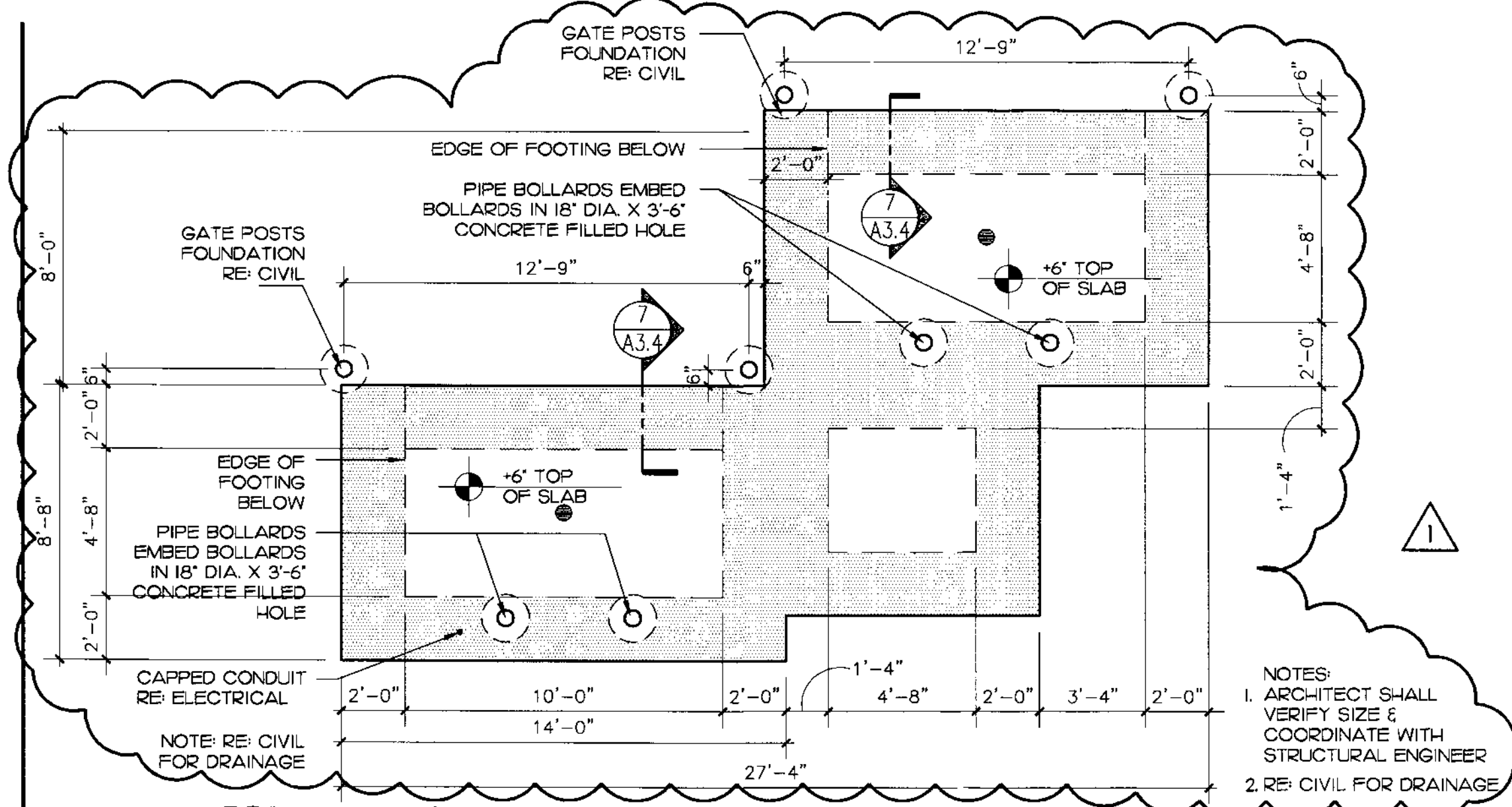
STORE
Montgomery & San Mateo FSU
508 E REVERSE V5-CL
5009 Montgomery Blvd NE
Albuquerque, NM

SHEET TITLE
EXTERIOR ELEVATIONS

VERSION: 5
ISSUE DATE: 2010

Job No. : 10044
Store : 2793
Date : 03-23-11
Drawn By : GG, EA
Checked By : ---

Sheet
A-2.I



Chick-fil-CO

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By

03-10-11 BUILDING PERMIT REVIEW COMMENTS

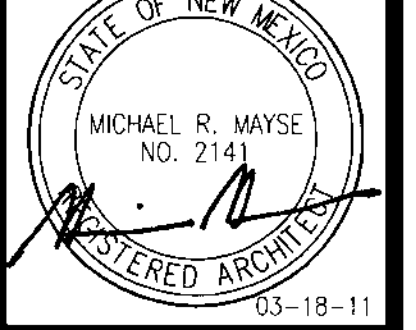
Mark Date By

Mark Date By

Mark Date By

Mark Date By

Seal



03-18-11

MAYSE & ASSOCIATES, INC.
Architectural • Planning • Construction Management
1400 QUINN DR. SUITE 201
DALLAS, TEXAS 75244
PHONE: (972) 346-0238
FAX: (972) 346-0210

STORE

Montgomery & San Mateo FSU
S08 E REVERSE V5-CL

5009 Montgomery Blvd
NE
Albuquerque, NM

SHEET TITLE
REFUSE
ENCLOSURE

VERSION: 5
ISSUE DATE: 2010

Job No. : 10044
Store : 2793
Date **03-23-11**
Drawn By : GS, EA
Checked By : ---
Sheet

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Checked By : ---
Sheet

Job No. : 10044
Store : 2793
Date **03-23-11**
Drawn By : GS, EA
Checked By : ---
Sheet

A-3.4

SPECIFICATIONS

CABINET
 ALUMINUM CABINET HAS STEEL FRAME WITH .080 ALUMINUM CLADDING, RETAINERS AND FILLER.
CHICK-FIL-A ICON
 ACRYLIC FACES DECORATED WITH TRANSLUCENT VINYL FILM ON SURFACE OF ACRYLIC. FACES ARE BACKLIT BY HIGH OUTPUT FLUORESCENT LAMPS SPACED EVENLY ON 12" CENTERS.
DECORATIVE SKIRT
 SKIRT HAS STEEL FRAME WITH .080 ALUMINUM CLADDING.
READER BOARD
 ALUMINUM CONSTRUCTION CABINET WITH ACRYLIC FACES BACKLIT BY HIGH OUTPUT FLUORESCENT LAMPS SPACED EVENLY ON 12" CENTERS. TRACK ACCOMMODATES WAGNER ZIP LETTERS.

This Product is Listed by UNDERWRITERS LABORATORIES, INC. and Bears the Mark: 

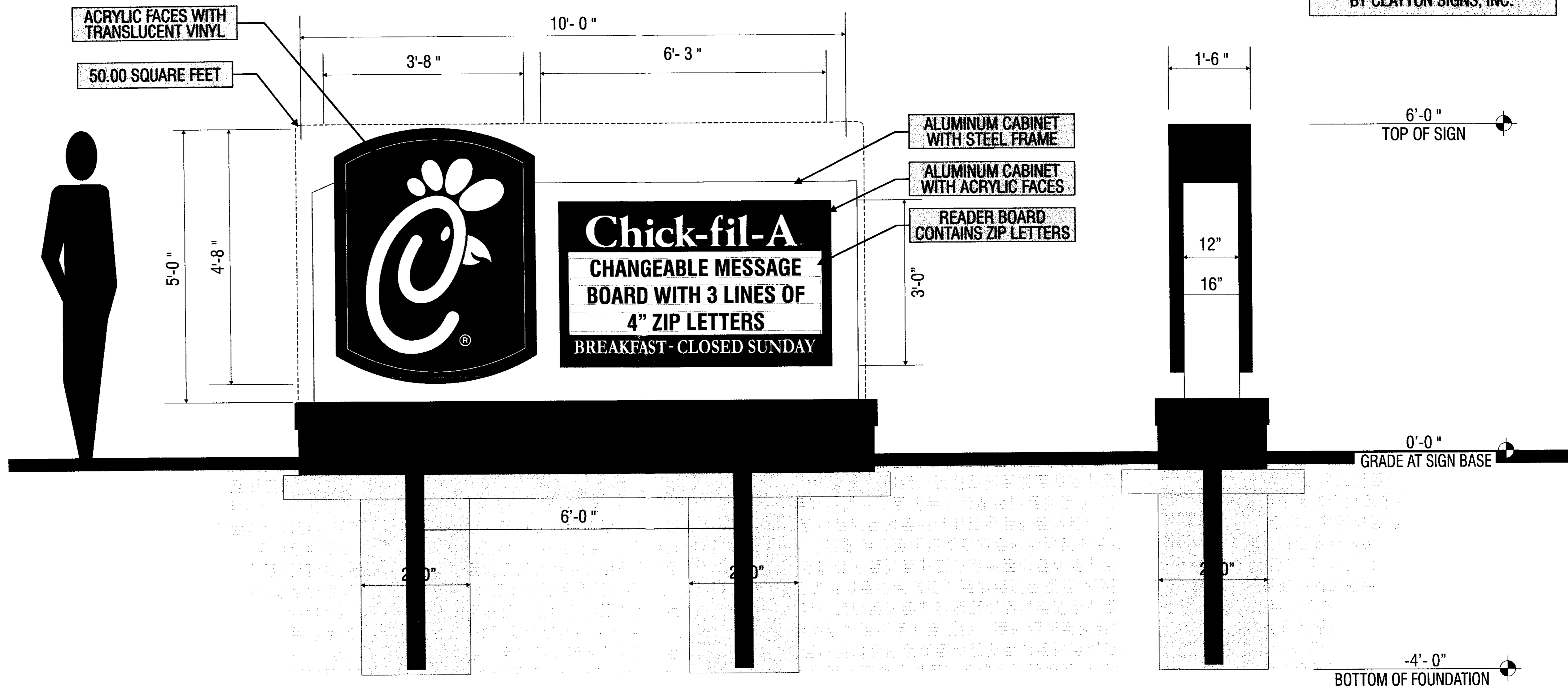
ALUMINUM SURFACES
 GRIPGARD #503 RED GLOSS
 FLEX FACES
 230-53 CARDINAL RED
 TRANSLUCENT VINYL FILM

ALUMINUM SURFACES
 RST584 AKZO NOBEL GLOSS
 ACRYLIC FACES
 7328 WHITE ACRYLIC

MASONRY TO MATCH BUILDING

NOTE: ICON SIDE OF SIGN SHOULD ALWAYS BE POSITIONED CLOSEST TO THE ROAD

MASONRY WORK AND CONCRETE PAD FOR MASONRY WORK IS FURNISHED BY THE GENERAL CONTRACTOR SIGN FOUNDATION IS FURNISHED BY CLAYTON SIGNS, INC.

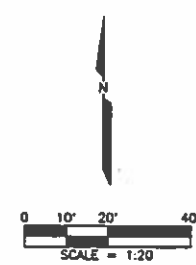
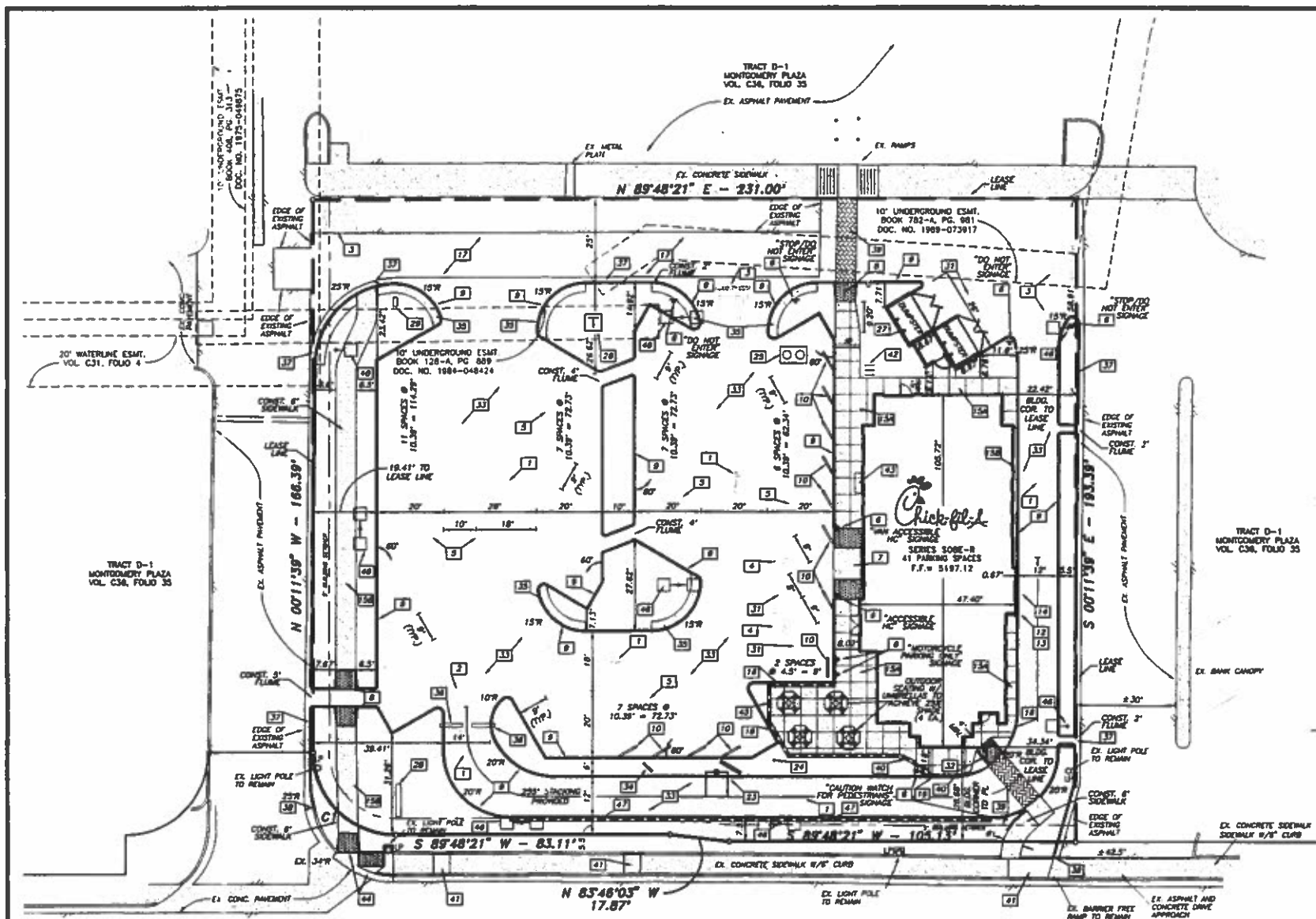


ELEVATION
 SCALE - 1" = 1'-0"

END VIEW
 SCALE - 1" = 1'-0"

 5198 North Lake Drive
 Lake City, GA 30260
 404-361-3800 fax 404-361-7038
 website - www.claytonsigns.com

SIGN TYPE 2	DOUBLE-FACED INTERNALLY-ILLUMINATED MONUMENT SIGN AGGREGATE SQUARE FOOTAGE - 50.00 SQUARE FEET	ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED	DRAWN BY BEN HOLLIDAY	STORE NUMBER 2793	STORE ADDRESS CHICK-FIL-A MONTGOMERY BLVD., NE ALBUQUERQUE, NM 87109	THIS DRAWING IS AN ORIGINAL, UNPUBLISHED DESIGN CREATED BY CLAYTON SIGNS, INC. IT IS NOT TO BE REPRODUCED, CHANGED, OR EXHIBITED TO ANYONE OUTSIDE OF YOUR COMPANY IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION FROM THE OWNER OF CLAYTON SIGNS, INC. ANY SUCH ACTIONS MAY BE SUBJECT TO LEGAL ACTION IN A COURT OF LAW. © 2011 ALL RIGHTS RESERVED	LOCATION A
	DRAWING FILE - CFA - ALBUQUERQUE, NM (MONTGOMERY) SIGNAGE.CDR		ACCOUNT REP. BEN HOLLIDAY				



VICINITY MAP NOT-TO-SCALE

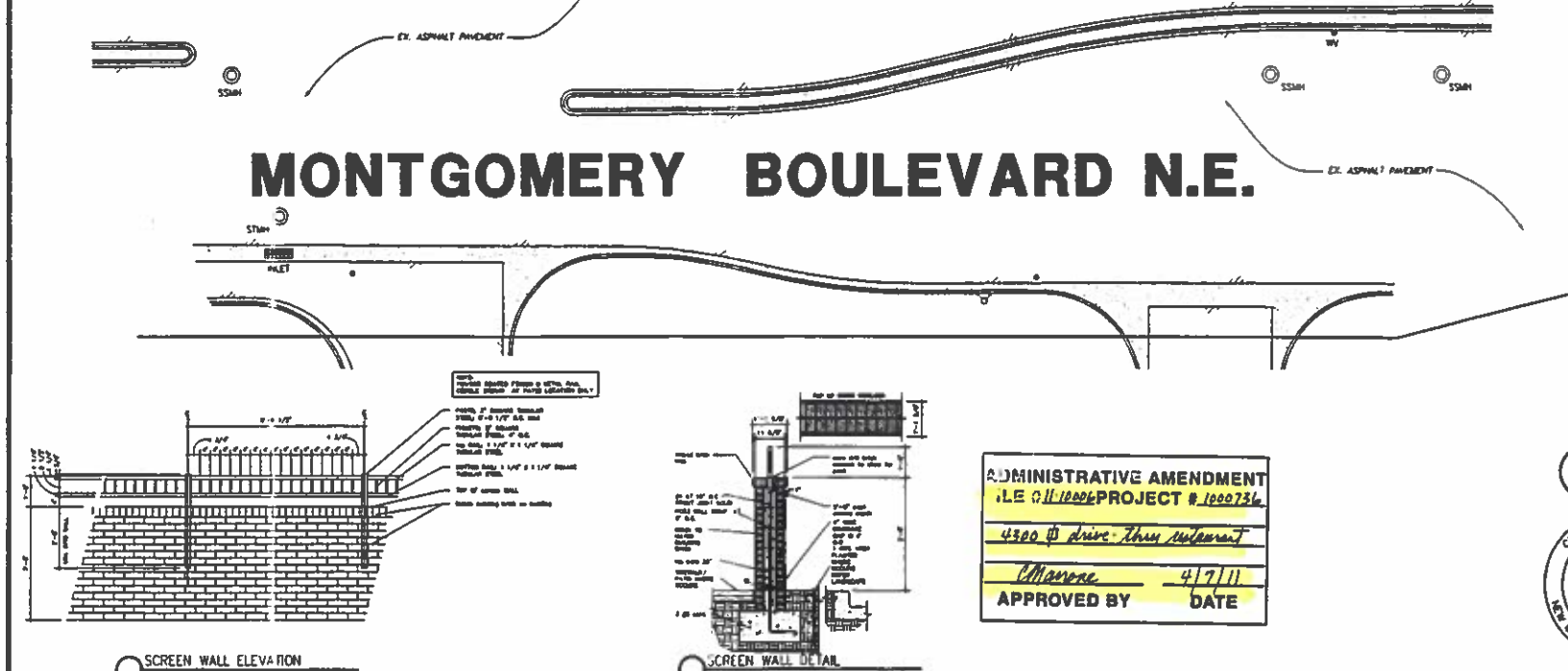
LAYOUT NOTES

- 1 PAINTED TRAFFIC ARROW
- 2 DRIVE THRU STRIPING
- 3 STOP BAR
- 4 PAINTED HANDICAP PARKING SYMBOL
- 5 PARKING STALLS / 4' PAINTED STRIPE
- 6 DIRECTIONAL SIGNAGE (OTHER THAN CHECK-FIL-A SIGN)
- 7 CHECK-FIL-A MAIN ENTRY HANDICAP RAMP
- 8 CURBED RAMP
- 9 INTERNAL CONCRETE CURB
- 10 CONCRETE WHEEL STOP
- 11 TYPICAL POLE BASE DETAIL (SEE SHEET E3)
- 12 DRIVE THRU PLAN VIEW
- 13 STEEL PIPE BOLLARD
- 14 DRIVE THRU ISOMETRIC VIEW
- 15 TYPICAL SIDEWALK DETAIL "A" - PICTURE FRAME PATTERN "B" - BROOM FINISH
- 16 SIDEWALK ADJACENT TO CURB
- 17 ASPHALT PAVEMENT SECTION
- 18 4" CONCRETE PAVEMENT SECTION AT DRIVE-THRU (NOT USED)
- 19 SECTION THRU CONCRETE PAVEMENT AT DUMPSTER (NOT USED)
- 20 CONSTRUCTION JOINT (SEE SHEET C-7)
- 21 SEWER CLEANOUT (SEE SHEET PS-1)
- 22 MENU BOARD AND CANOPY ORDERING STATION
- 23 FLAGPOLE - SEE SERIES 80' POLE FOR BY APPROVED VENDORS - THE FLAG CO. OR ATLAS FLAG
- 24 GREASE TRAP
- 25 TRANSFORMER
- 26 DUMPSTER/STORAGE AREA W/SCREENING TO MATCH BUILDING MATERIAL
- 27 CHECK-FIL-A PRIME SIGN (NOT USED)
- 28 CHECK-FIL-A EXIT SIGN
- 29 CHECK-FIL-A EXIT SIGN (NOT USED)
- 30 STRIPING
- 31 RECESSED FLARED HANDICAP RAMP
- 32 CONCRETE PAVEMENT
- 33 PRE-SELL MENU BOARD
- 34 CONCRETE PADLOCK PROTECTION
- 35 CLEARANCE BAR (REF. SIGN PLAN)
- 36 MONOLITHIC CURB & GUTTER
- 37 MATCH EX. CURB & GUTTER
- 38 COLORED & PATTERNED CONCRETE PEDESTRIAN CROSSWALK
- 39 ALUMINUM HAND RAIL
- 40 NEW 8" SIDEWALK PER CITY DETAIL 3430 1/2" CURB PER CITY OF ALBUQUERQUE STANDARDS
- 41 BIKE RACK INVERTED "U" STYLE, RED COLOR (3 CA.)
- 42 BENCH TO MATCH PHOTO FURNITURE
- 43 BARRIER FREE RAMP W/ADA APPROVED TRUNCATED DOMES PER CITY OF ALBUQUERQUE STEEL DIV. 2478
- 44 MASONRY SCREEN WALL WITH 1" LATTICE (REF. ARCH. PLANS DETAIL 6/AS.1)
- 45 LIGHT POLE
- 46 MASONRY SCREEN WALL WITHOUT LATTICE (REF. ARCH. PLANS DETAIL 6/AS.1)

NOTES

1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHECK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
2. ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
3. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
4. THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
6. IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
8. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
9. ALL RAMP ARE 2' UNLESS OTHERWISE NOTED.
10. ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.

MONTGOMERY BOULEVARD N.E.



ADMINISTRATIVE AMENDMENT
 I.E. 01110006 PROJECT # 1000736
 4300 @ drive-thru restaurant
 Approved by *Marina* 4/7/11
 APPROVED BY DATE

2 SITE LIGHTING POLE DETAIL NOT TO SCALE



Albuquerque Control Survey Monument "9-F18"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83) as published
 North = 1,504,358.281 feet
 East = 1,539,870.687 feet
 Elevation = 5212.228 feet (NAVD 1988)
 Delta Alpha = -00°11'36.74"
 Ground to Grid Factor = 0.99988614

SITE DATA	
ZONING:	SA-1 C-2
LOT AREA:	1.0171 ACRES (44,308 S.F.)
BUILDING AREA:	4,287 S.F.
F.A.R.:	0.101
TOTAL SEATING:	130 SEATS
PARKING REQUIRED:	1 SPACE FOR EVERY 4 SEATS 130/4 = 33 SPACES
PARKING PROVIDED:	41 SPACES (2 N.C.)
BUILDING HEIGHT:	25' (1 STORY)
EXISTING LANDSCAPE:	2,783 S.F. (6,248)
INTERIOR LANDSCAPE PROVIDED:	6,825 S.F. (18,620)

APPLICANT:
 CHICK-FIL-A, INC.
 5200 BUFFINGTON ROAD
 ATLANTA, GEORGIA, 30349
 PHONE: (404) 765-8000
 CONTACT: STEVE LEWIS

ENGINEER:
 BURGER ENGINEERING, LLC
 17103 PRESTON ROAD, SUITE 180N
 DALLAS, TEXAS 75248
 PHONE: (972) 630-3360
 CONTACT: BRYAN M. BURGER, P.E.

B BURGER ENGINEERING
 Civil Consultants

17103 Preston Road, Suite 180N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3180



Revisions:

Mark	Date	By
△		
△		
△		



PART OF TRACT D-1
 MONTGOMERY PLAZA
 6031 MONTGOMERY BOULEVARD, NE
 CITY OF ALBUQUERQUE, NEW MEXICO

STORE SERIES SO8E-R

SHEET TITLE
SITE PLAN

Preliminary
 80% Submittal
 For Construction

Job No. : 013-007
 Store : 2703
 Date : 11/18/10
 Drawn By : JAC
 Checked By: BMB

Sheet
C-3

6031 Montgomery Blvd. NE