



Development Facilitation Team (DFT) – Review Comments

Reviewer: David G. Gutierrez, P.E. | Phone: 505-289-3381 | dggutierrez@abcwua.org

Project No: PR-2020-004218 Date: 7/10/2024 Agenda Item: #2 Zone Atlas Page: F-17

Legal Description: TR D-1-B Plat of TRS D-1-A & D-1-B Montgomery Plaza (Being a Replat of TR D-1 Montgomery Plaza) CONT 1.0171 AC

Request: Remodel of existing Chick-Fil-A consisting of drive-thru widening, parking modification, and striping.

Location: 5009 Montgomery Blvd NE between Montgomery Blvd NE and San Mateo Blvd NE

Application For: SI-2024-00923 – SITE PLAN DFT

1. No objections

Comment: (Provide written response explaining how comments were addressed)

DEVELOPMENT FACILITATIVE TEAM (DFT)

Code Enforcement Comments

Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.

Jeff Palmer-Code Enforcement Supervisor
Planning Department
ippalmer@caba.aov

DATE: 07/10/2024

AGENDA ITEM NO: 2

PROJECT NUMBER:

PR-2020-004218

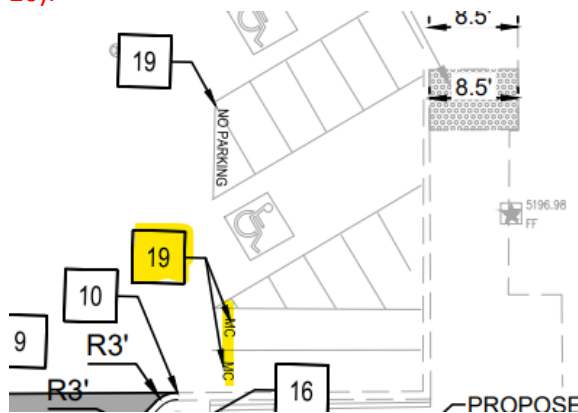
PS-2024-00923 -SITE PLAN DFT
IDO – 2022

ADDRESS/LOCATION: TR D-1-B PLAT OF TRS D-1-A & D-1-B MONTGOMERY PLAZA (BEING A REPL OF TR D-1 MONTGOMERY PLAZA) CONT 1.0171 AC, zoned MX-M, located at 5009 MONTGOMERY BLVD NE between MONTGOMERY BLVD NE and SAN MATEO BLVD NE containing approximately 1.02 acre(s). (F-17)

REQUEST: Remodel of existing Chick-fil-A consisting of drive-thru widening, parking modification, and striping.

COMMENTS:

1. Parking spaces for Motorcycles are mislabeled on Sheet C-2.0 as # 19 on site plan map (should be 20).



2. Clarify if there will be Outdoor Seating provided, or if it is being entirely removed. If outdoor dining remains and has just been relocated, you will need to modify your parking calculations to reflect square footage of Outdoor Dining Area and parking spaces required at 1/1000 GFA for that area.
3. Code Enforcement has no further comments, and no objections.

DEVELOPMENT FACILITATIVE TEAM (DFT)
Code Enforcement Comments

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*Jeff Palmer-Code Enforcement Supervisor
Planning Department
jppalmer@caba.aov*

DATE: 07/10/2024

DEVELOPMENT FACILITATIVE TEAM (DFT) - **HYDROLOGY SECTION**

Renée Brissette, PE, Senior Engineer | 505-924-3995 rbrissette@cabq.gov

DRB Project Number: 2020-004218 Hearing Date: 07-10-2024

Project: Chick-fil-A – 5009 Montgomery Blvd NE Agenda Item No: 2

<input type="checkbox"/> Sketch Plat	<input checked="" type="checkbox"/> Site Plan for Bldg. Permit
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ENGINEERING COMMENTS:

- Proposed paving is less than the required 10,000 SF for a Grading & Drainage review.
- Hydrology has no objection to the Site Plan for Building Permit.

APPROVED
 DENIED

DELEGATED TO: TRANS HYD WUA PRKS PLNG
Delegated For: _____
SIGNED: I.L. SPSP SPBP FINAL PLAT
DEFERRED TO _____



DEVELOPMENT FACILITATION TEAM

Parks and Recreation Department

PR-2020-004218

SI-2024-00923 – SITE PLAN DFT

TR D-1-B PLAT OF TRS D-1-A & D-1-B MONTGOMERY PLAZA (BEING A REPL OF TR D-1 MONTGOMERY PLAZA) CONT 1.0171 AC, zoned MX-M, located at 5009 MONTGOMERY BLVD NE between MONTGOMERY BLVD NE and SAN MATEO BLVD NE containing approximately 1.02 acre(s). (F-17)

REQUEST: Remodel of existing Chick-fil-A consisting of drive-thru widening, parking modification, and striping.

IDO -2022

Comments:

07-10-2024

No additional comments. Defer to Planning for landscaping approval. Approved.

DEVELOPMENT FACILITATION TEAM

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2020-004218
5009 Montgomery

AGENDA ITEM NO: 2

SUBJECT: Site Plan

ENGINEERING COMMENTS:

1. Transportation has an approved TCL dated 5/23/2024. No objections.

. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.
Transportation Development
505-924-3991 or earmijo@cabq.gov

DATE: July 10, 2024

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



DEVELOPMENT FACILITATION TEAM

Planning - Case Comments

HEARING DATE: 7/10/24 -- **AGENDA ITEM:** #2

Project Number: PR-2020-004218

Application Number: SI-2024-00923

Project Name: Remodel of existing Chick-fil-A consisting of drive-thru widening, parking modification, and stripping - 5009 Montgomery Blvd Ne Between Montgomery Blvd Ne and San Mateo Blvd Ne

Request:

Site Plan DFT

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

BACKGROUND

- This is a request to add an additional drive-through lane with updated striping and signage, replace the existing order canopy, and add an additional canopy to increase the capacity of the Drive-through. The additional space lane will add 4 stacking spaces, giving the site a total of 16 stacking spaces. The changes made to the site to accommodate this additional drive-through lane will not affect existing off-street loading spaces, motorcycle spaces, ADA spaces, or ADA pathways.
- The subject property is zoned MX-M (Mixed Use Medium Intensity Zone District), and is not located within any Overlay Zones.
- Subject property is located within Major Transit corridor, as well as San Mateo/Montgomery Activity Center.
- Subject property is located within Area of Change and all surrounding properties are also located within the Area of Change.
- Subject site is currently occupied by a restaurant with a drive-through (Chick-fil-A). It appears that Montgomery Plaza Site Plan governs the subject site.

**(See additional comments on next pages)*

COMMENTS

Comments that need *attention* are provided in *orange color*.

- Hydrology, Transportation, and Water Authority engineers/staff signed Form SP, ensuring that any associated applications that were required to be submitted and approved by them (such as a TCL and a Grading and Drainage Plan) prior to the acceptance and processing of this Site Plan application were submitted and approved.
- Emailed public notice requirements of IDO Section 6, Table 6-1-1 were completed prior to submitting the application file.

- The Site Plan is being reviewed according to the standards of the IDO and the DPM. The following links are to the IDO and DPM:

<https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1>

<https://www.cabq.gov/planning/boards-commissions/development-process-manual-executive-committee> .

- It appears that Montgomery Plaza Site Plan govern the subject site. *Please confirm.*
- *Provide confirmation in a comment response letter that/if there are no utilities and/or easements that encroach on the proposed location of the drive-through expansion.*
- *Provide confirmation in a comment response letter that/if there are no renovations taking place to the interior or exterior of the existing restaurant building.*

- *Please clarify regarding the outdoor seating area and whether or not it is being moved to another area of the plan.*

CURRENT SIDEWALK IS ~ 7' NEEDS DISCUSSION WITH CITY. CURRENT LS BUFFER OK

- *Clarify compliance on the Site Plan and in a comment response letter with Section 7 of the DPM Table 7.2.29 regarding Sidewalk/landscape buffer zone width requirements along Montgomery Boulevards.*

Montgomery Boulevard is a regional principal arterial, within a center a 10-foot-wide sidewalk requirement and a 6-8-foot-wide landscape buffer zone is required.

**Verification of standards per Transportation.*

- An Infrastructure List (IL) was not a part of this submittal. *DFT staff must confirm if any public infrastructure will be required for this project.*

If an IL is needed, then upon IL approval, *a recorded Infrastructure Improvements Agreement to guarantee the infrastructure will need to be executed and recorded with the County Clerk prior to final sign off of the Site Plan.*

- All Plan sheets included in the Plan set must be signed and sealed by a design professional licensed in the State of New Mexico, and the Landscape Plan sheets must be signed and sealed by a Landscape Architect licensed in the State of New Mexico.
- A signature block for DFT signatures must be added to the Site Plan, which can be obtained at the following link:

https://documents.cabq.gov/planning/development-facilitation-team/Site_Plan_Administrative_DFT_Signature_Block.pdf

- The Project and application numbers must be added to the Site Plan.

4-2 ALLOWABLE USES

- A restaurant is a permissive use and a drive-through is a permissive accessory use in the MX-M zone district.

4-3(F)(5) DRIVE-THROUGH OR DRIVE-UP FACILITY USE-SPECIFIC STANDARDS

- **4-3(F)(5)(a) Each stacking lane is limited to a maximum order board area of 50 square feet. The face of the order boards shall be oriented away from public streets to the maximum extent practicable. If not practicable, at least 2 evergreen trees shall be planted in the landscape buffer area required by Subsection 14-16-5-5(l)(2)(a) in locations that would best screen the order board from the public right-of-way. Confirmation must be provided on the Site Plan and in a comment response letter how this Standard is being met for the new drive-through lane vis-à-vis Montgomery Boulevard.**

NEEDS REVIEW - WILL ADVISE ASAP

- **4-3(F)(5)(b) This use shall comply with the provisions of Section 14-16-5-5 (Parking and Loading). Parking calculations per IDO 5-5 Parking and Loading must be added to the site plan.**

5-5(l)(2) DRIVE-THROUGH OR DRIVE-UP FACILITY DESIGN

- Confirm compliance with the following IDO section:

5-5(l)(2) Drive-through or Drive-up Facility Design

5-5(l)(2)(a) Drive-through lanes adjacent to public rights-of-way shall be screened by a landscape buffer area at least 6 feet wide containing a vegetative screen or wall constructed of a material similar in texture, appearance, and color to the street-facing façade of the primary building (but excluding exposed concrete masonry unit (CMU) block) at least 3 but not more than 4 feet tall. The landscape buffer area shall be provided on the public street side.

NEW MENU BOARDS
PROPOSED - NEEDS
DISCUSSION/CLARIFICA
TION ON SOUNDS
GENERATED

5-5(l)(2)(b) Audible electronic devices such as loudspeakers, automobile service order devices, and similar instruments shall not be audible beyond the property line of the site.

5-5(l)(2)(c) Drive-through service windows shall be angled at least 45 degrees from parallel with any abutting lot line of a Residential zone district so that it does not directly face the residential lot.

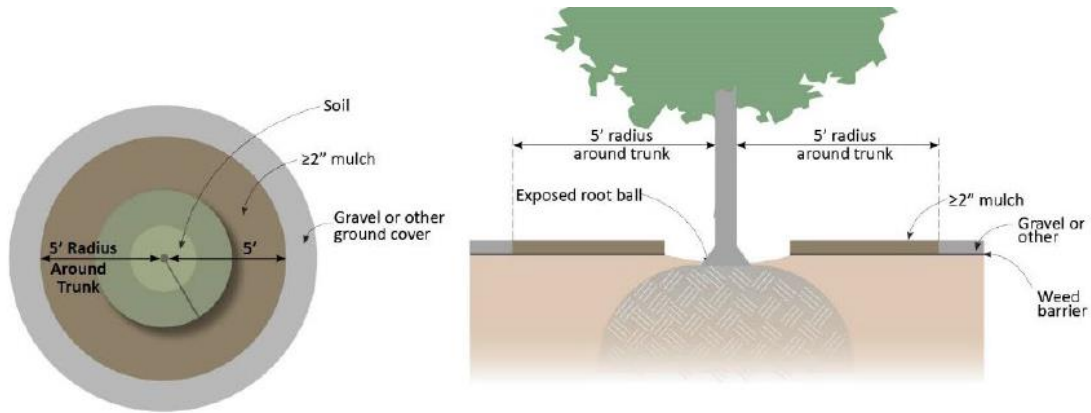
5-6 LANDSCAPING, BUFFERING, AND SCREENING

- Per City Forester's comment, replace the plum tree with a different tree species such as Pink Pom Poms Redbud, Russian hawthorn, Paul's Scarlet Hawthorn, and Golden rain tree.

WILL COORDINATE WITH LA TO CONFIRM OK

- Per the landscape plan approved with the site plan, it appears that some vegetation is missing from the site, including 4 street trees along Montgomery Boulevard. All missing or dead plant species must be replaced. Per City Forestry avoid using Ash trees. Following trees are better options and are recommended by the City Forester:
 - Allee Elm (*Ulmus parvifolia* 'Emer II)
 - Accolade Elm (*Ulmus davidiana* var. *japonica* 'Morton')
 - Hackberry (*Celtis occidentalis*)

- Per 5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.)



A tree planting detail must be added to the Landscape Plan to reflect this requirement.

5-6(F)(2) Parking Lot Interior

WILL CALCULATE/ COORDINATE WITH LA TO CONFIRM OK

- Per 5-6(F)(2)(a) General, at least 10 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 15 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped. Calculations must be shown on the Landscape Plan.

5-6(F)(2)(c) Tree Requirements

- One (1) tree is required per 10 parking spaces. 7 trees are required and 7 trees are being proposed.
- No parking space may be more than 100 feet in any direction from a tree trunk. Compliant.
- At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet. Calculations must be shown on the Landscape Plan.

5-6(F)(2)(d) Location and Dimension of Landscaped Areas

- The minimum size of tree planters within off-street parking areas shall be 60 square feet per tree. This requirement may be reduced to 36 square feet if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement. Calculations must be shown on the Landscape Plan.

WILL CALCULATE/ COORDINATE WITH LA TO CONFIRM OK



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Hannah Aulick/Jay Rodenbeck/Jolene Wolfley
Planning Department

DATE: 7/8/24
