

# Development Facilitation Team (DFT) Applications

**Bowman**



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	<b>APPEAL</b>
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

<b>BRIEF DESCRIPTION OF REQUEST</b>

<b>APPLICATION INFORMATION</b>		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street:	Between:	and:

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

**Printable page****PARID: 101706148301640115****CENTURY LOMBARDY LLC,****5009 MONTGOMERY BLVD****Class**

Class	Non Residential
Tax District	A1A

**Current Owner**

Owner	CENTURY LOMBARDY LLC
Owner Mailing Address	
Unit	
City	PLANO
State	TX
Zip Code	75086 3975
Other Mailing Address	PO BOX 863975

**Ownership for Tax Year Selected**

Tax Year	2023
Owner Name	CENTURY LOMBARDY LLC
Owner Mailing Address	
Unit	
City	PLANO
State	TX
Zip Code	75086 3975
Other Mailing Address	PO BOX 863975

**Description**

Location Address	5009 MONTGOMERY BLVD NE
City	ALBUQUERQUE
State	NM
Zip Code	87109
Property Description	TR D-1-B PLAT OF TRS D-1-A & D-1-B MONTGOMERY PLAZA (BEING A REPL OF TR D-1 MONTGOMERY PLAZA) CONT 1.0171 AC
Public Improvement District	
Tax Increment Development Districts	

**Document #**

Document #:	2021105063 083121 SW - ENTRY BY LR 092721 CODED BY LV 090821
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**Real Property Attributes**

Primary Building SQ FT	4014
Year Built	2012
Lot Size (Acres)	1.0171
Land Use Code	FRANCHISE FOOD
Style	

**Manufactured Home Attributes**

Make :	
License :	
VIN :	
Year :	
Size :	

**Values**

Tax Year	<b>2023</b>
----------	-------------

Land	\$348,820.00
Agricultural Land	\$0.00
Structures	\$588,821.00
Full Value Total	\$937,641.00
Taxable (1/3 Full Value)	\$312,516.00

**Exemptions**

Head of Family	\$0.00
Veteran	\$0.00
Other	\$0.00

**Net Taxable Value**

Net Taxable Value	\$312,516.00
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Form P2

**Bowman**

**FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022****\_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.* Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

**SITE PLAN DOCUMENTATION**

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- \_\_\_ 4) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- \_\_\_ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- \_\_\_ 7) Infrastructure List, if required for building of public infrastructure
- \_\_\_ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):  
[https://documents.cabq.gov/planning/development-review-board/Sensitive\\_lands\\_analysis\\_form.pdf](https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf)
- \_\_\_ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic\\_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

**SUPPORTIVE DOCUMENTATION**

- \_\_\_ 10) Completed Site Plan Checklist
- \_\_\_ 11) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- \_\_\_ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- \_\_\_ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

\_\_\_ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

\_\_\_ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

**PUBLIC NOTICE DOCUMENTATION**

\_\_\_ 17) Sign Posting Agreement

\_\_\_ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

\_\_\_ Office of Neighborhood Coordination neighborhood meeting inquiry response

\_\_\_ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

\_\_\_ Completed neighborhood meeting request form(s)

\_\_\_ If a meeting was requested or held, copy of sign-in sheet and meeting notes

\_\_\_ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

\_\_\_ Office of Neighborhood Coordination notice inquiry response

\_\_\_ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

\_\_\_ Proof of emailed notice to affected Neighborhood Association representatives

**\_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Site Plan and related drawings
- \_\_\_ 5) Infrastructure List, if require
- \_\_\_ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ 7) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 8) Solid Waste Department signature on Site Plan
- \_\_\_ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ 10) Approved Grading and Drainage Plan
- \_\_\_ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)



Form SP

**Bowman**

**FORM SP: PRE-APPROVALS/SIGNATURES**

(Revised 10/26/23)

**Legal Description & Location:** \_\_\_\_\_  
 CHICK-FIL-A 5009 MONTGOMERY BLVD NE ALBUQUERQUE, NM 87109

**Request Description:** \_\_\_\_\_

**Hydrology:**

- Sensitive Lands Analysis (5-2(C))      \_\_\_\_\_ Approved        X   NA
- Grading and Drainage Plan                X   Approved      \_\_\_\_\_ NA
- AMAFCA    \_\_\_\_\_ Approved        X   NA
- Bernalillo County                              \_\_\_\_\_ Approved        X   NA
- NMDOT    \_\_\_\_\_ Approved        X   NA
- MRGCD    \_\_\_\_\_ Approved        X   NA

Reggie Chen    4/17/2024  
 Hydrology Department                              Date

**Transportation:**

- Traffic Circulations Layout (TCL)        \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Traffic Impact Study (TIS)                \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Neighborhood Impact Analysis (NIA)    \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Bernalillo County                              \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- MRCOG    \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- NMDOT    \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- MRGCD    \_\_\_\_\_ Approved      \_\_\_\_\_ NA

\_\_\_\_\_  
 Transportation Department                              Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted?      \_\_\_ Yes    \_\_\_ No    \_\_\_ NA
- Availability Statement/Serviceability Letter Number \_\_\_\_\_
- Note: Commitment for service is required prior to application approval.

\_\_\_\_\_  
 ABCWUA    Date

- Infrastructure Improvements Agreement (IIA\*)      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Solid Waste Department Signature on the Plan      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Fire Marshall Signature on the Plan                      \_\_\_\_\_ Approved      \_\_\_\_\_ NA

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: \_\_\_\_\_

CHICK-FIL-A 5009 MONTGOMERY BLVD NE ALBUQUERQUE, NM 87109

Request Description: \_\_\_\_\_

**Hydrology:**

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- AMAFCA    \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Bernalillo County                              \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- NMDOT    \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- MRGCD    \_\_\_\_\_ Approved      \_\_\_\_\_ NA

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

**Transportation:**

- Traffic Circulations Layout (TCL)        X   Approved      \_\_\_\_\_ NA
- Traffic Impact Study (TIS)              \_\_\_\_\_ Approved        X   NA
- Neighborhood Impact Analysis (NIA)    \_\_\_\_\_ Approved        X   NA
- Bernalillo County                              \_\_\_\_\_ Approved        X   NA
- MRCOG    \_\_\_\_\_ Approved        X   NA
- NMDOT    \_\_\_\_\_ Approved        X   NA
- MRGCD    \_\_\_\_\_ Approved        X   NA

Ernest Armyo  
\_\_\_\_\_  
Transportation Department

5/28/2024  
\_\_\_\_\_  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted?      \_\_\_ Yes    \_\_\_ No    \_\_\_ NA
- Availability Statement/Serviceability Letter Number \_\_\_\_\_
- Note: Commitment for service is required prior to application approval.

\_\_\_\_\_  
ABCWUA

\_\_\_\_\_  
Date

- Infrastructure Improvements Agreement (IIA\*)      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Solid Waste Department Signature on the Plan      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Fire Marshall Signature on the Plan                      \_\_\_\_\_ Approved      \_\_\_\_\_ NA

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

Legal Description & Location: CHICK-FIL-A 5009 MONTGOMERY BLVD NE ALBUQUERQUE, NM 87109

Request Description: \_\_\_\_\_

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- Grading and Drainage Plan                             Approved                     NA
- AMAFCA     Approved                     NA
- Bernalillo County                                         Approved                     NA
- NMDOT     Approved                     NA
- MRGCD     Approved                     NA

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

**Transportation:**

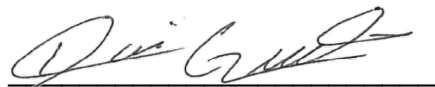
- Traffic Circulations Layout (TCL)                     Approved                     NA
- Traffic Impact Study (TIS)                             Approved                     NA
- Neighborhood Impact Analysis (NIA)                 Approved                     NA
- Bernalillo County                                         Approved                     NA
- MRCOG     Approved                     NA
- NMDOT     Approved                     NA
- MRGCD     Approved                     NA

\_\_\_\_\_  
Transportation Department

\_\_\_\_\_  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted?                 Yes     No     NA
- Availability Statement/Serviceability Letter Number \_\_\_\_\_
- Note: Commitment for service is required prior to application approval.

  
\_\_\_\_\_  
ABCWUA

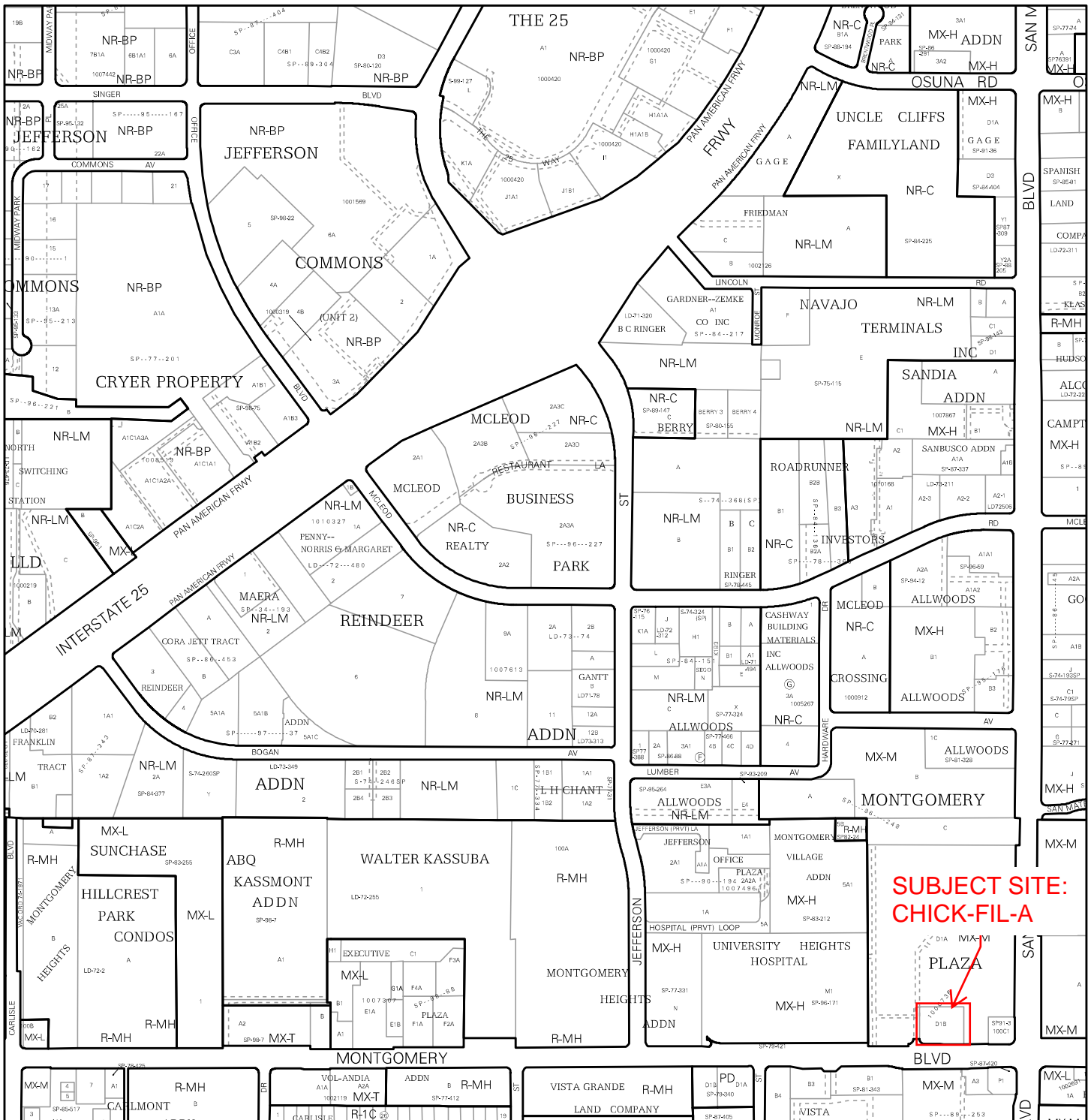
4/18/2024  
Date

- Infrastructure Improvements Agreement (IIA\*)                     Approved                     NA
- Solid Waste Department Signature on the Plan                     Approved                     NA
- Fire Marshall Signature on the Plan                     Approved                     NA

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

# Zone Atlas Map

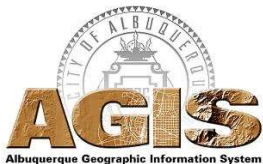
**Bowman**



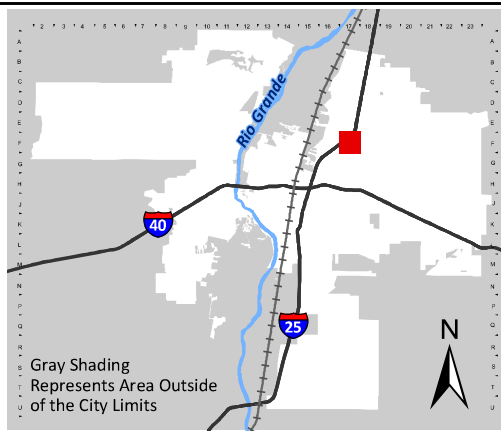
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas

## May 2018



IDO Zoning information as of May 17, 2018  
 The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**F-17-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

# Site Plans and related drawings

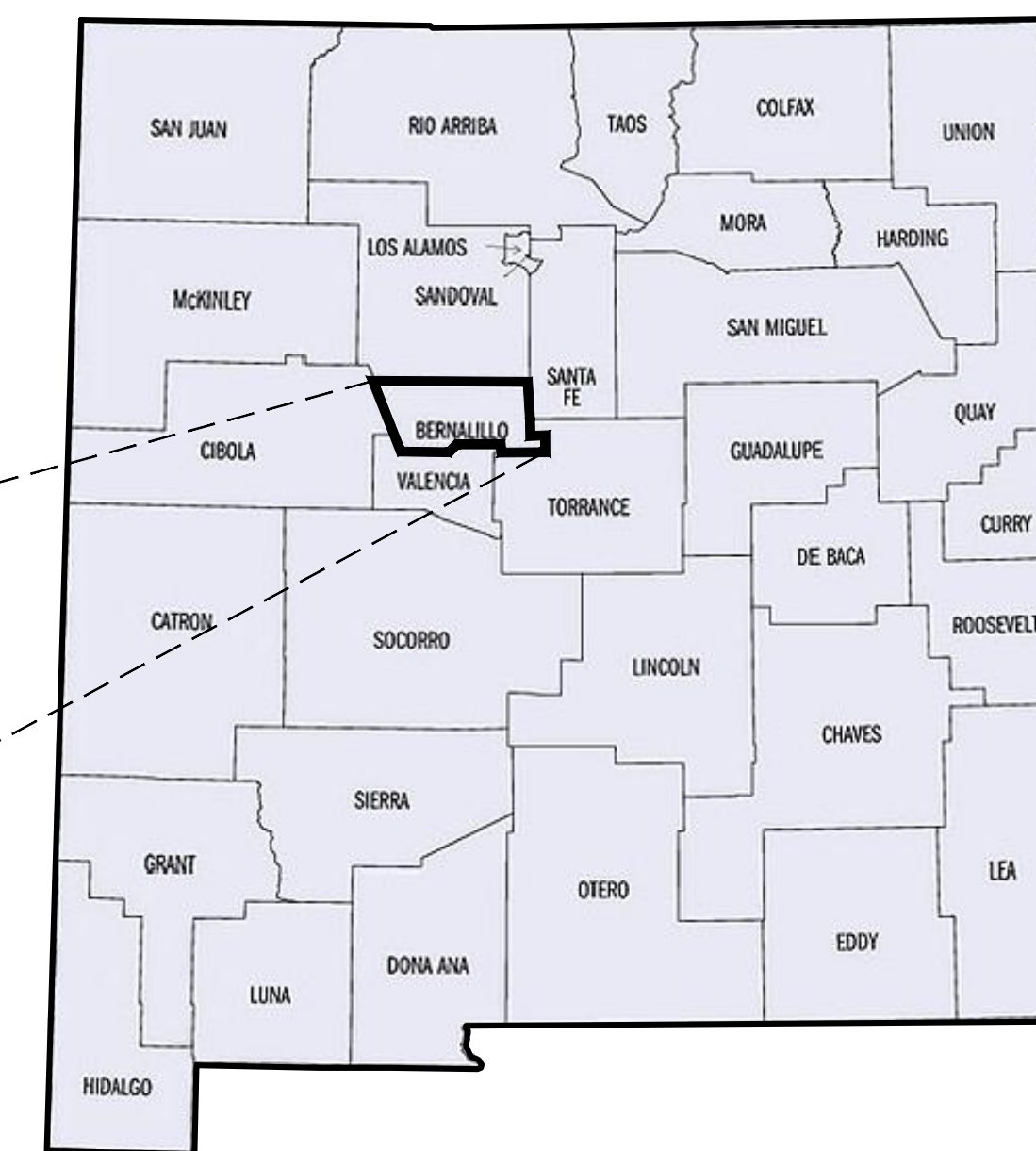
**Bowman**

# PROPOSED IMPROVEMENTS FOR MONTGOMERY & SAN MATEO FSU CHICK-FIL-A STORE NUMBER # 02793

5009 MONTGOMERY BOULEVARD NE  
ALBUQUERQUE, NM 87106

LATITUDE 35° 07' 53" N, LONGITUDE 106° 35' 15" W  
PARCEL ID# ABQ213744 (CITY), 101706148301640115 (COUNTY)

## VICINITY MAP



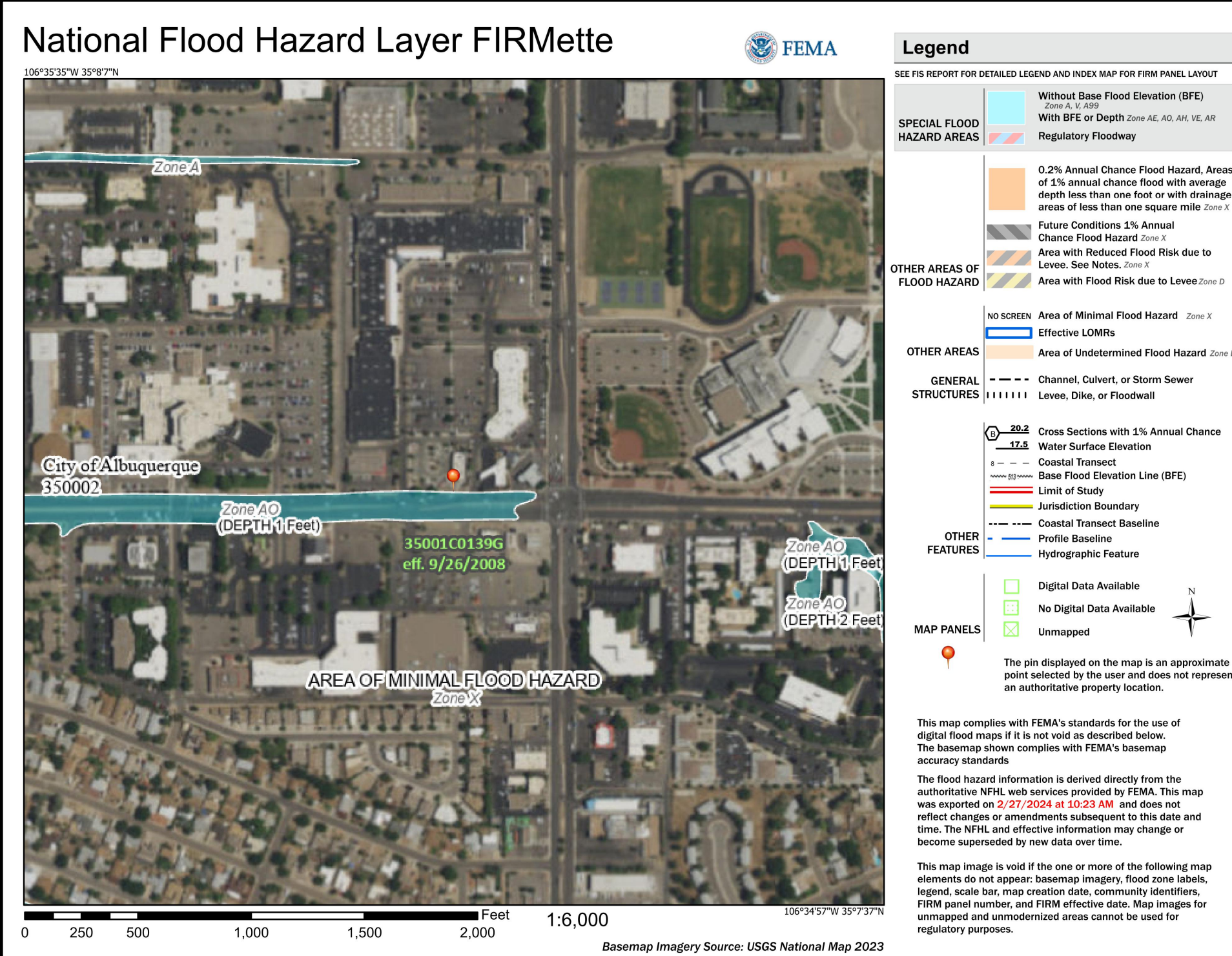
HORIZONTAL DATUM: NAD 1983  
VERTICAL DATUM: NAVD 1988

## GENERAL NOTES

1. CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS AND THE APPROPRIATE STANDARDS AND SPECIFICATIONS ALONG WITH A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
2. CONTRACTOR SHALL MEET OR EXCEED ALL SITE WORK SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS FOR ALL MATERIALS AND CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS IS ENCOUNTERED.
5. NO REVISION SHALL BE MADE TO THESE PLANS WITH OUT THE APPROVAL OF THE ENGINEER OF RECORD.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
7. ANY REFERENCE TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
8. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
9. ZONING AND SETBACKS SHOULD BE CONFIRMED AND VERIFIED BY PLANNING AND ZONING PRIOR TO DESIGN OR CONSTRUCTION ACTIVITIES

## FLOOD NOTE

PER FEMA FLOOD MAP (35001C0139G EFF. 9/26/2008), THE SITE IS IN ZONE X, AREA OF MINIMAL FLOOD HAZARD. PER ALTA SURVEY DATED 09/07/2023, THERE ARE NO EXISTING ON-SITE STORM DRAIN FEATURES. THE SITE DRAINS TO THE SOUTHWEST OF THE PROPERTY BEFORE ENTERING THE STORM DRAIN SYSTEM ALONG MONTGOMERY BOULEVARD NE THAT DRAINS TO NORTH DIVERSION CHANNEL PHASE III.



## CONTACTS

**LANDLORD**  
CENTURY LOMBARDY, LLC.  
PO BOX 863975, PLANO, TX, 75086

**ENGINEER**  
BOWMAN CONSULTING GROUP  
11475 GREAT OAKS WAY, SUITE 350  
ALPHARETTA, GA 30022  
KAI BURK  
678-606-5276  
KBURK@BOWMAN.COM

**SURVEYOR**  
CONSTRUCTION SURVEY  
TECHNOLOGIES, INC  
PO BOX 16560  
LAS CRUCES, NM 88004  
DAVID P. ACOSTA PS NO.21082  
(575) 644-0250

**WATER & SEWER**  
ALBUQUERQUE BERNALILLO COUNTY WATER  
UTILITY AUTHORITY  
PH: (505) 842-9287

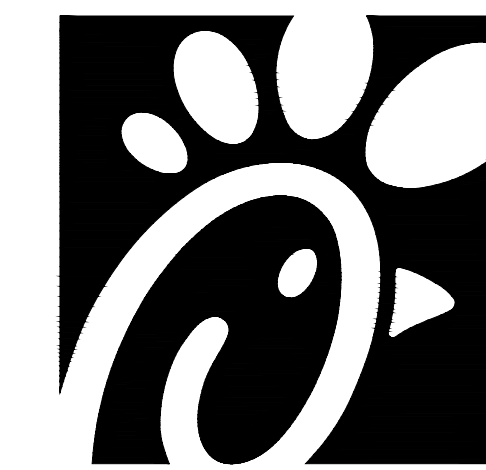
**GAS**  
NEW MEXICO GAS COMPANY  
PH: (505) 697-3335

**ELECTRIC**  
PUBLIC SERVICE COMPANY OF NEW MEXICO  
PH: (888) 342-5766

**PLANNING AND ZONING**  
CITY OF ALBUQUERQUE  
ALAN VARELA, DIRECTOR  
PH: (505) 924-3860  
EMAIL: PLANNINGDEPARTMENT@CABQ.GOV

## Sheet List Table

Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-1.0	EXISTING CONDITION PLAN
C-1.1	DEMOLITION PLAN
C-1.2	EROSION CONTROL PLAN
C-2.0	SITE PLAN
C-2.1	FIRE 1 PLAN
C-3.0	GRADING PLAN
C-4.0	CFA STANDARD DETAILS
C-5.0	STANDARD DETAILS



Chick-fil-A  
5200 Buffington Rd  
Atlanta, GA 30349-2998

**Bowman**

Certificate of Authorization License No. LS6701241  
11475 Great Oaks Way Suite 350  
Alpharetta, GA 30022  
Phone: (678) 374-6687  
© Bowman Consulting Group Ltd

SEAL



KAI BURK PE #28466

**CHICK-FIL-A**  
MONTGOMERY & SAN MATEO  
5009 MONTGOMERY BLVD.  
ALBUQUERQUE, NEW MEXICO 87106

**REVISION SCHEDULE**  
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 010014-01-217

ISSUED FOR PERMIT

DATE June 24, 2024

DRAWN BY BCG

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COVER SHEET

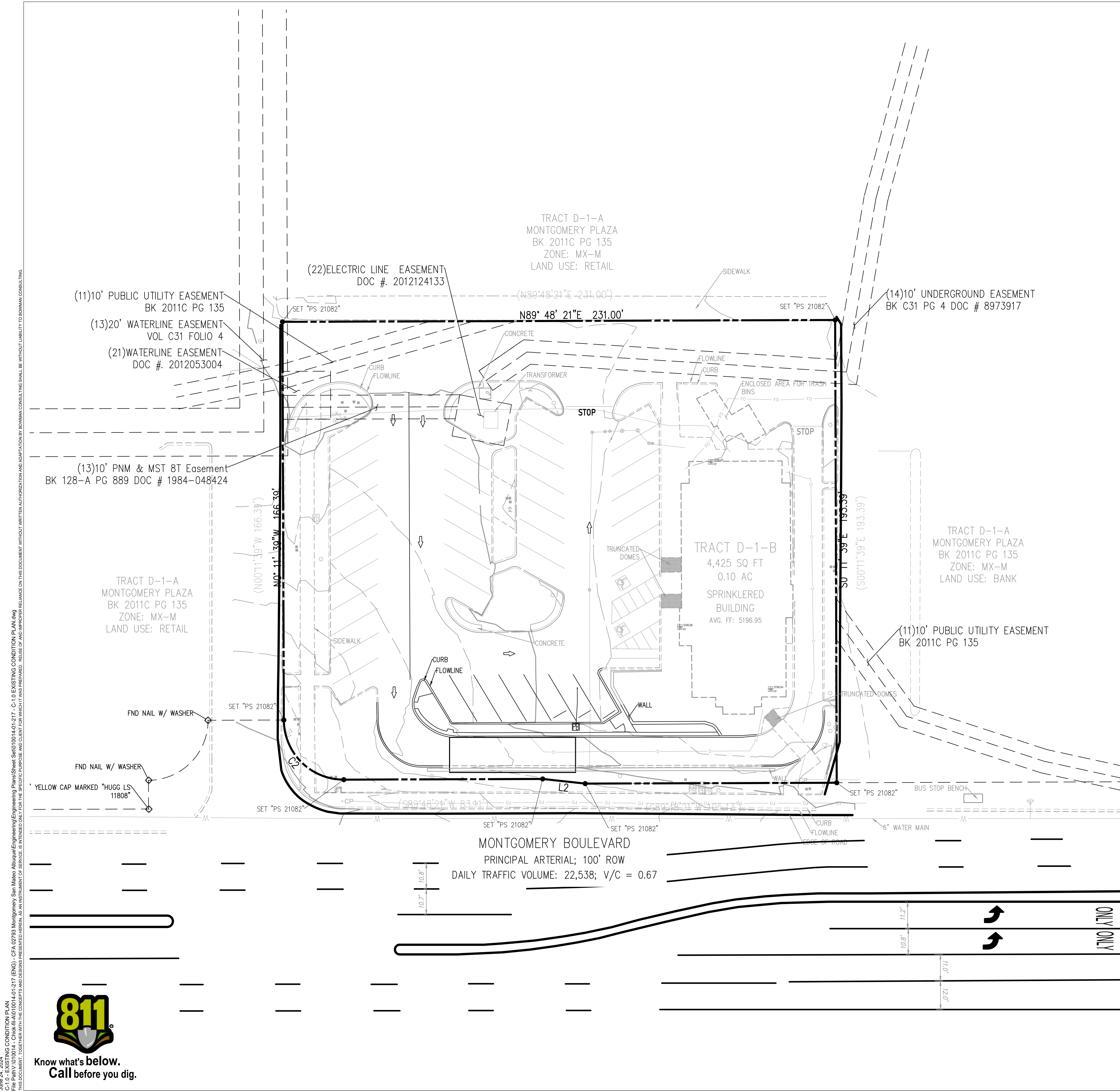
SHEET NUMBER

C-0.0



Know what's below.  
Call before you dig.





**FLOOD NOTE**

PER FEMA FLOOD MAP (35001C0139G EFF. 9/26/2008), THE SITE IS IN ZONE X, AREA OF MINIMAL FLOOD HAZARD. PER ALTA SURVEY DATED 09/07/2023, THERE ARE NO EXISTING ON-SITE STORM DRAIN FEATURES. THE SITE DRAINS TO THE SOUTHWEST OF THE PROPERTY BEFORE ENTERING THE STORM DRAIN SYSTEM ALONG MONTGOMERY BOULEVARD NE THAT DRAINS TO NORTH DIVERSION CHANNEL PHASE III.

LEGEND	
	ELECTRICAL, UNDERGROUND LINE
	UTILITY, WATER LINE
	UTILITY, COMMUNICATIONS
	UTILITY, UNKNOWN LINE
	GAS LINE
	SANITARY LINE
	STORM DRAIN LINE
	OVERHEAD LINE
	UTILITY, FIBER OPTIC LINE
	UTILITY, ELECTRIC LINE, LEVEL B
	UTILITY, ELECTRIC LINE, LEVEL D
	UTILITY, FIBER OPTIC LINE, LEVEL B
	UTILITY, FIBER OPTIC LINE, LEVEL D
	UTILITY, GAS LINE, LEVEL B
	UTILITY, GAS LINE, LEVEL D
	UTILITY, SANITARY LINE, LEVEL B
	UTILITY, SANITARY LINE, LEVEL D
	UTILITY, WATER LINE, LEVEL B
	UTILITY, WATER LINE, LEVEL D
	RIGHT OF WAY
	PROPERTY LINE
	FENCE LINE



Chick-fil-A

5200 Buffington Rd  
Atlanta, GA 30349-2998

**Bowman**  
Certificate of Authorization License No. LS0001241  
11475 Great Oaks Way Suite 350  
Alpharetta, GA 30022  
Phone: (678) 374-6687  
© Bowman Consulting Group Ltd



KAI BURK PE #28466

**CHICK-FIL-A**  
MONTGOMERY & SAN MATEO  
5009 MONTGOMERY BLVD.  
ALBUQUERQUE, NEW MEXICO 87106

FSU#02793

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

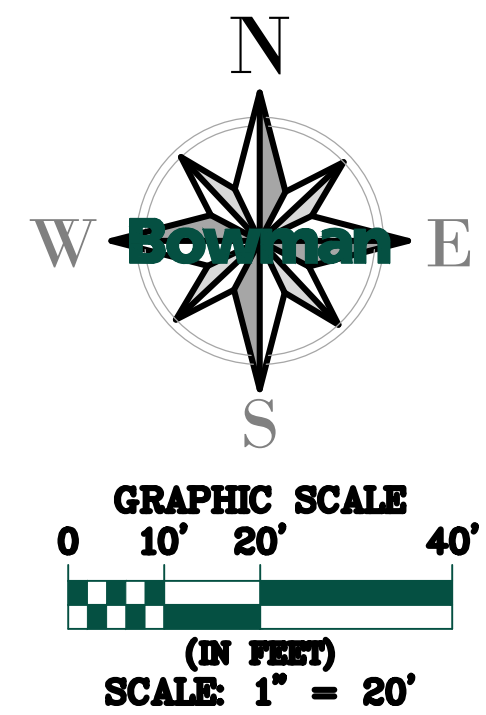
CONSULTANT PROJECT # 010014-01-217	
ISSUED FOR	PERMIT
DATE	June 24, 2024
DRAWN BY	BCG

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SHEET EXISTING CONDITION PLAN

SHEET NUMBER

C-1.0



June 24, 2024 C-1.0 - EXISTING CONDITION PLAN File Path: \\010014 - Chick-fil-A\010014-01-217 (ENG) - CFA 02793 Montgomery San Mateo Albuquerque\Engineering\Plans\Sheet Set\010014-01-217 - C-1.0 EXISTING CONDITION PLAN.dwg This document, together with the contract and relevant specifications, constitutes the entire agreement between the parties. No oral or written representation, inducement or promise, whether made by any person, shall be relied upon in the absence of express written or verbal consent from authorized project representatives.

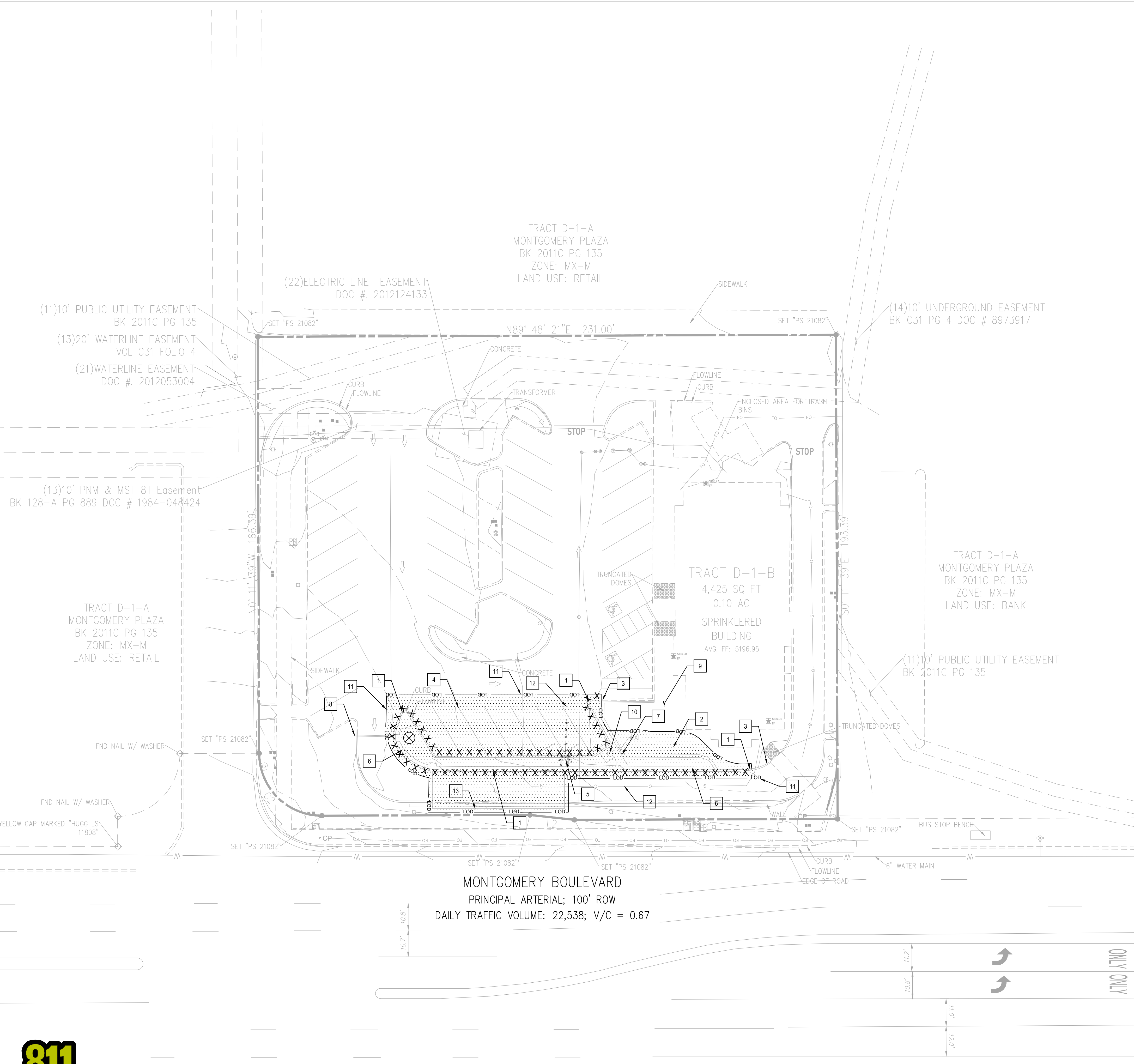


Know what's below.  
Call before you dig.

June 24, 2024  
 C-1.1 - DEMOLITION PLAN  
 File Path: \\010014 - Chick-fil-A\010014-01-217 (ENG) - CFA 02793 Montgomery San Mateo Albuquerque\Engineering\Plans\Sheet Set\010014-01-217 - C-1.1 DEMOLITION PLAN.dwg  
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Know what's below.  
Call before you dig.



**GENERAL DEMOLITION NOTES**

1. THE LOCATION OF THE UTILITIES SHOWN HAVE BEEN DETERMINED BY INFORMATION GATHERED AND SHALL NOT BE USED AS EXACT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY EXACT LOCATIONS PRIOR TO DEMOLITION.
2. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES FOR REMOVAL AND RELOCATIONS OF THE RESPECTIVE UTILITY. THE CONTRACTOR SHALL VERIFY ANY WORK THAT MAY BE DONE BY THE UTILITY COMPANIES.
3. CONTRACTOR SHALL PROTECT THE PUBLIC WITH BEST MANAGEMENT PRACTICES.
4. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL STRUCTURES, PAVEMENT, AND VEGETATION THAT IS NOT TO BE DISTURBED AND IS RESPONSIBLE FOR ANY DAMAGES TO THEM.
5. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM THE WORK, ACCORDING TO GOVERNING AUTHORITIES AND SHALL OBTAIN THE PROPER PERMITS REQUIRED FOR DISPOSAL AND DEMOLITION.
6. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO DEMOLITION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SERVICES TO ANY NECESSARY UTILITIES DURING CONSTRUCTION.
8. FOR ALL ITEMS NOTED TO BE REMOVED, REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALSO REMOVE ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, PIPES, TANKS, ETC.
9. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK MEETING THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE.
10. THE CONTRACTOR SHALL REFER TO THE ASBESTOS REPORT TO DETERMINE IF ASBESTOS ABATEMENT IS REQUIRED. IF REQUIRED, ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE PROPERLY PERMITTED AND REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
11. LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE PLANS. ANY DAMAGE TO ANY SURROUNDING AREAS SHALL BE REPAIRED / REPLACED AT THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROTECT ADJACENT STRUCTURES, PAVEMENT, UTILITIES, LANDSCAPE, ETC. FROM DAMAGE DURING CONSTRUCTION.
12. CONTRACTOR SHALL ENSURE THAT SERVICES TO ALL UTILITIES TO BE REMOVED HAS BEEN DISCONTINUED AND SHUT OFF. ALL UTILITY LINES SHALL BE CAPPED PER UTILITY COMPANY STANDARDS.
13. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANS TO DETERMINE IF EXISTING PERIMETER TREES/LANDSCAPING ARE TO REMAIN OR BE REMOVED.

**DEMOLITION NOTES**

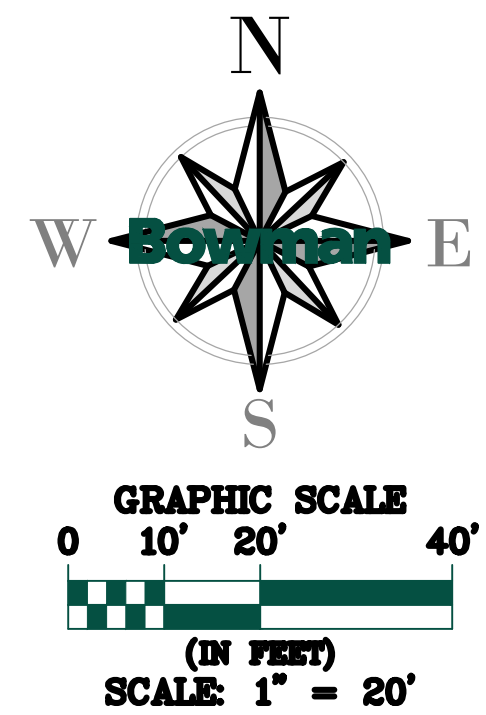
- 1 CONCRETE CURB AND GUTTER TO BE REMOVED
- 2 OPEN SPACE TO BE CLEARED AND GRUBBED
- 3 CURB TO REMAIN
- 4 PARKING STRIPING TO BE REMOVED
- 5 UTILITY, ELECTRIC PULL-BOX TO BE RELOCATED
- 6 SIDEWALK TO BE REMOVED
- 7 WALL TO BE REMOVED
- 8 CLEARANCE BAR TO BE REMOVED
- 9 OUTDOOR SEATS AREA TO BE REMOVED/RECONFIGURED
- 10 EXISTING FLAG BASE AND POLE TO BE RELOCATED
- 11 LIMITS OF DISTURBANCE
- 12 UTILITIES TO BE PROTECTED
- 13 EXISTING CANOPY AND MENU BOARDS TO BE REMOVED

- TREE REMOVAL
- CURB AND GUTTER REMOVAL
- UTILITY REMOVAL
- REMOVAL OF ALL PAVEMENT AND LANDSCAPING

**DEMOLITION NOTES**

1. ALL CONSTRUCTION DEBRIS MUST BE DISPOSED OF PROPERLY OFF SITE.

LEGEND	
	ELECTRICAL, UNDERGROUND LINE
	UTILITY, WATER LINE
	UTILITY, COMMUNICATIONS
	UTILITY, UNKNOWN LINE
	GAS LINE
	SANITARY LINE
	STORM DRAIN LINE
	OVERHEAD LINE
	UTILITY, FIBER OPTIC LINE
	UTILITY, ELECTRIC LINE, LEVEL B
	UTILITY, ELECTRIC LINE, LEVEL D
	UTILITY, FIBER OPTIC LINE, LEVEL B
	UTILITY, FIBER OPTIC LINE, LEVEL D
	UTILITY, GAS LINE, LEVEL B
	UTILITY, GAS LINE, LEVEL D
	UTILITY, SANITARY LINE, LEVEL B
	UTILITY, SANITARY LINE, LEVEL D
	UTILITY, WATER LINE, LEVEL B
	UTILITY, WATER LINE, LEVEL D
	RIGHT OF WAY
	PROPERTY LINE
	FENCE LINE



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**CHICK-FIL-A**  
**MONTGOMERY & SAN MATEO**  
5009 MONTGOMERY BLVD.  
ALBUQUERQUE, NEW MEXICO 87106  
**FSU#02793**

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #010014-01-217		
ISSUED FOR	PERMIT	
DATE	June 24, 2024	
DRAWN BY	BCG	

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SHEET  
DEMOLITION PLAN

SHEET NUMBER

C-1.1

**EROSION CONTROL NOTES**

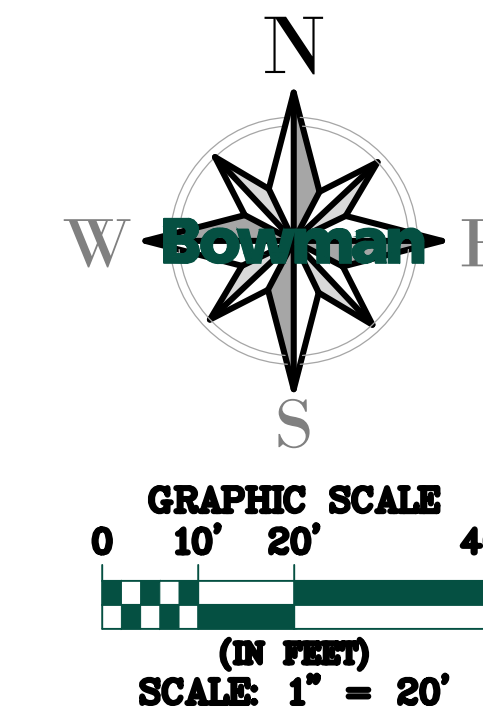
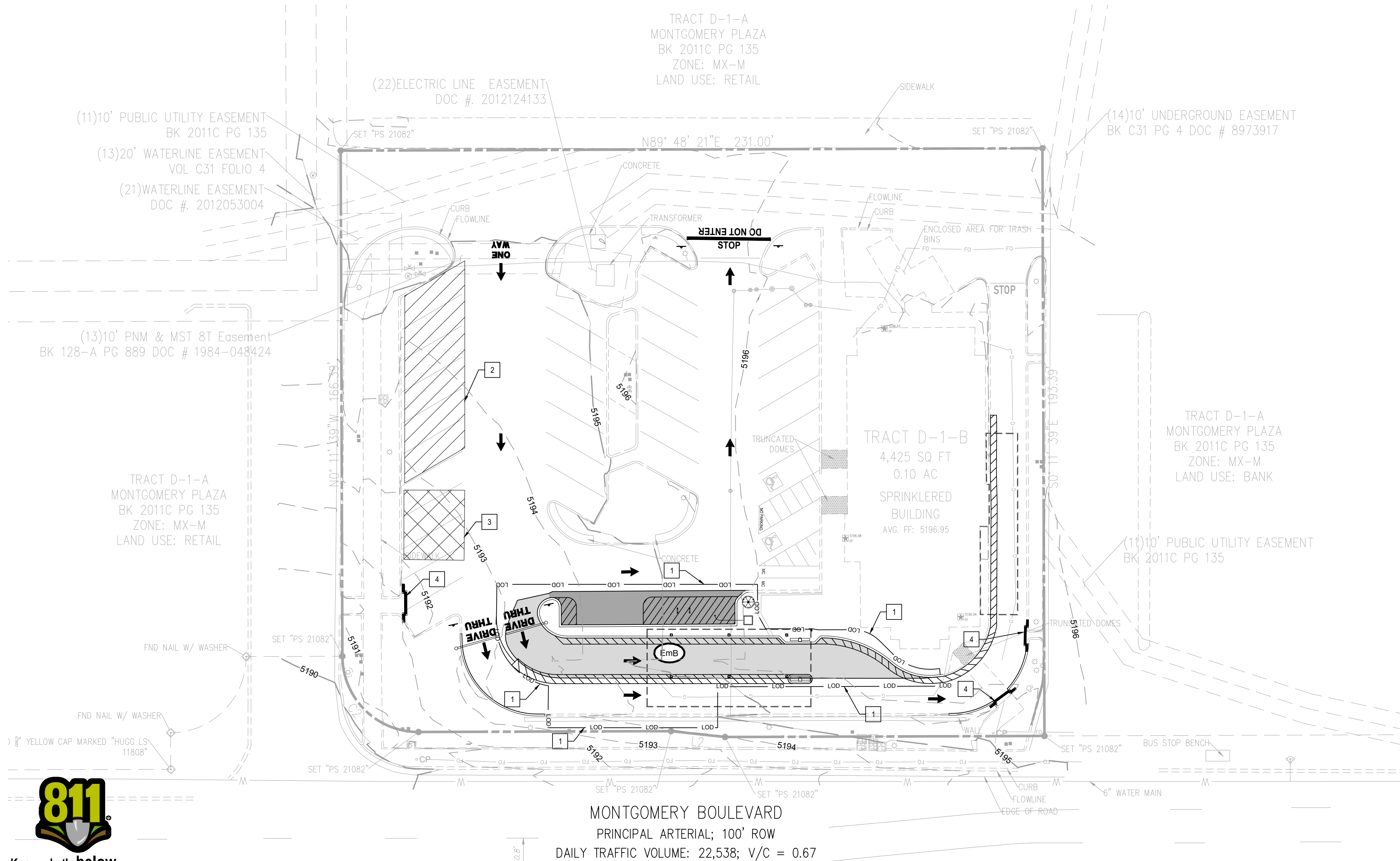
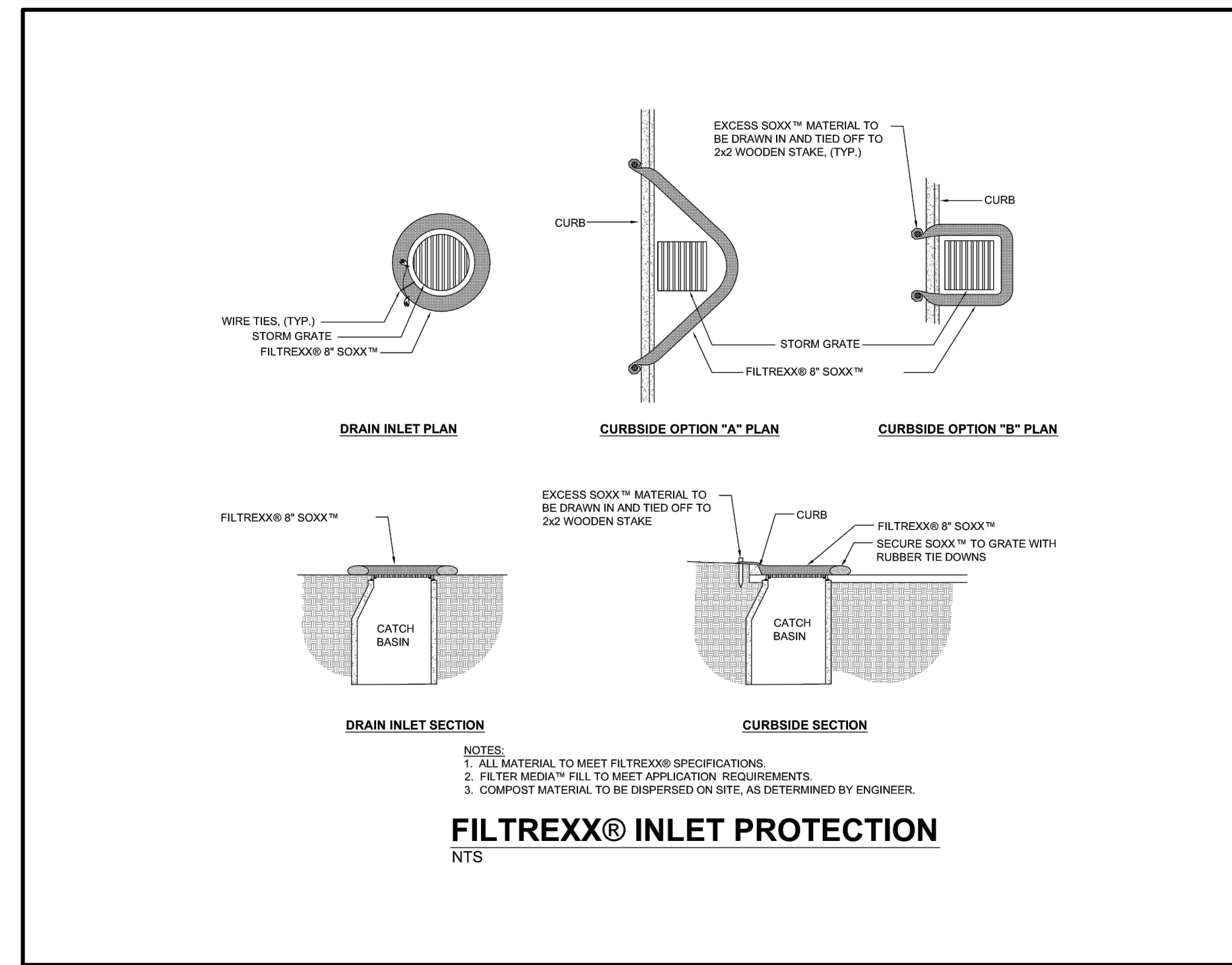
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMIT(S) FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SODDED/LANDSCAPED PER PLANS. THESE AREA SHALL BE SODDED/LANDSCAPED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO CONSTRUCTION ACTIVITIES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
- CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

**EROSION CONTROL NOTES**

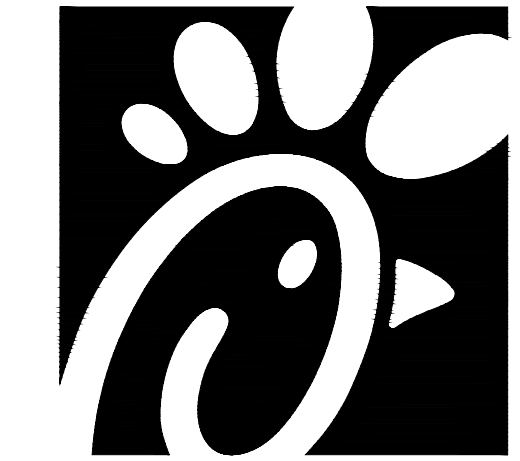
- LIMIT OF DISTURBANCE
- TEMPORARY PARKING AREA
- TEMPORARY STORAGE AREA
- PROTECT EXISTING FLUME WITH "FILTREXX SILT-SOXX" OR APPROVED SIMILAR

Hydrologic Soil Group			
Map unit symbol	Map unit name	Rating	Acres in AOI
EmB	Embudo gravelly fine sandy loam, 0 to 5 percent slopes	A	1.1

**DISTURBED AREA:  
± 0.08 ACRES**



June 24, 2024  
 C-1.2 - EROSION CONTROL PLAN  
 File Path: \\010014 - Chick-fil-A\010014-01-217 (ENG) - CFA 02793 Montgomery San Mateo Albuquerque\Engineering\Plans\Sheet Set\010014-01-217 - C-1.2 EROSION CONTROL PLAN.dwg  
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Chick-fil-A

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5009 MONTGOMERY BLVD.  
ALBUQUERQUE, NEW MEXICO 87106  
FSU#02793

REVISION SCHEDULE	NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	010014-01-217
ISSUED FOR	PERMIT
DATE	June 24, 2024
DRAWN BY	BCG

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SHEET  
**EROSION CONTROL PLAN**

SHEET NUMBER

**C-1.2**

May 23, 2024  
 C-2.0 - SITE PLAN  
 File Path: \\010014 - Chick-fil-A\010014-01-217 - CFA 02793 Montgomery San Mateo Albuquerque\Engineering\Plans\Sheet Set\010014-01-217 - C-2.0 SITE PLAN.dwg  
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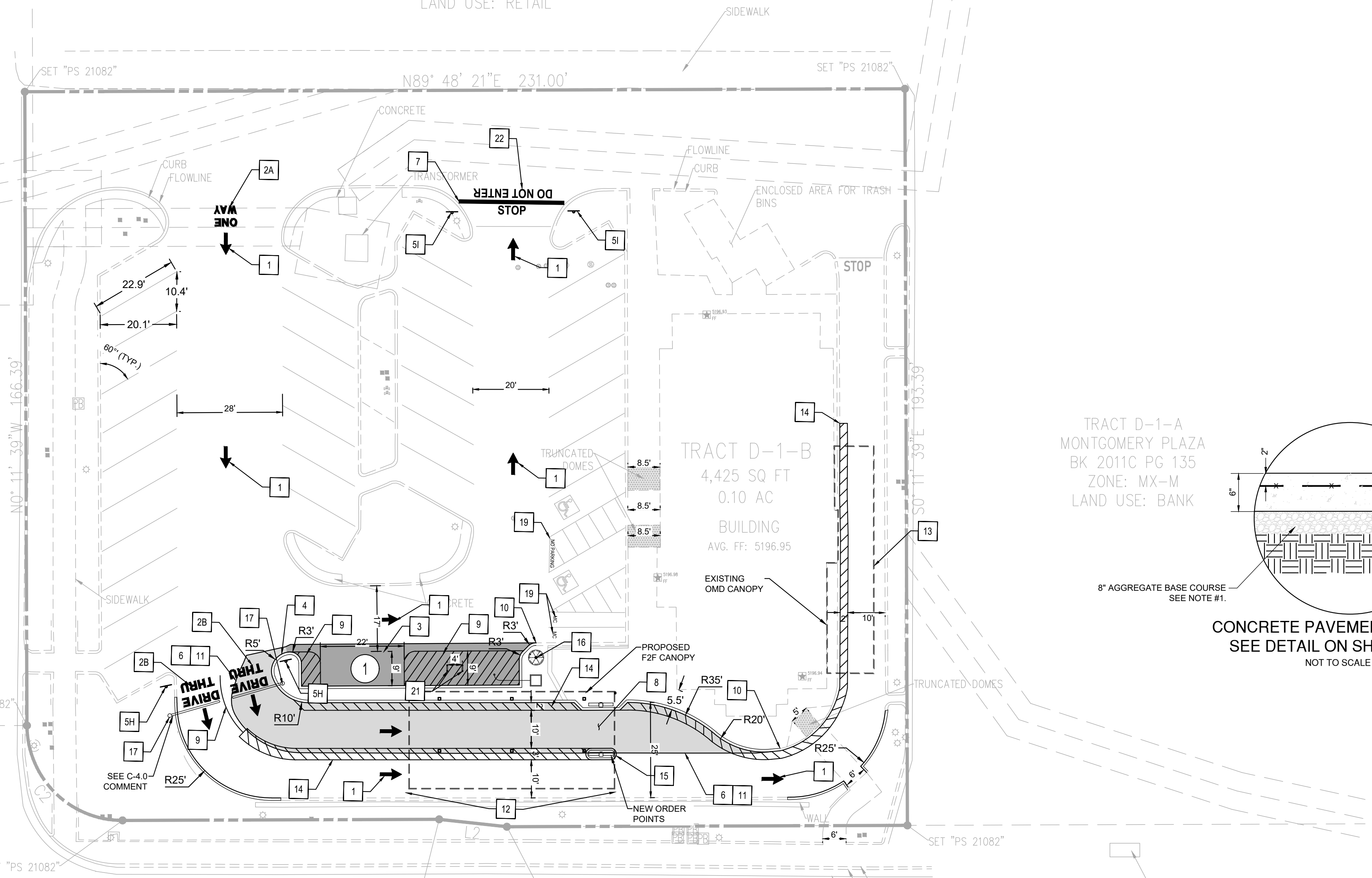
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### VICINITY MAP



LEGEND	
PROP. ASPHALT DRIVE	PROPERTY LINE
PROP. CONC. PAVEMENT	EX. CONCRETE
PROP. CURB	EX. CONCRETE CURB
PROP. PARKING STRIPE	EX. SIGN
PROP. SITE SIGNAGE	EX. LIGHT POLE
PROP. DIRECTIONAL ARROW	EX. TREE
PROP. PARKING COUNT	EX. ACCESSIBLE MARKING
PROP. ORDER POINT	EX. BOLLARD
	EX. DIRECTIONAL ARROW

TRACT D-1-A  
MONTGOMERY PLAZA  
BK 2011C PG 135  
ZONE: MX-M  
LAND USE: RETAIL



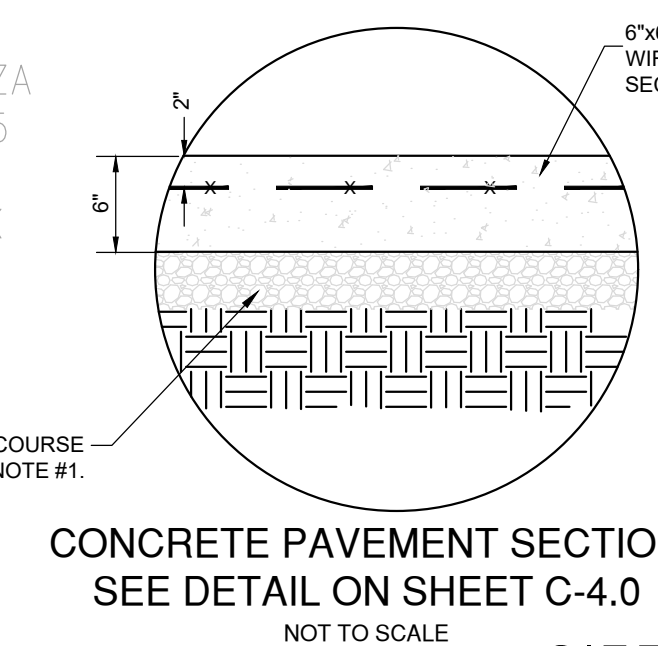
PARKING CALCULATIONS			
USE	QTY	RATIO	REQUIRED
BUILDING AREA	4,425	5.6 SPACE PER 1,000 SF	25
CFA STANDARD PARKING PROVIDED			32
CFA ACCESSIBLE PARKING REQUIRED			2
CFA ACCESSIBLE PARKING PROVIDED			2
MOTORCYCLE PARKING REQUIRED			2
MOTORCYCLE PARKING PROVIDED			2
BICYCLE PARKING REQUIRED			3
BICYCLE PARKING PROVIDED			3
PROPOSED TOTAL PARKING			34
EXISTING TOTAL PARKING			41
DRIVE-THROUGH STACKING REQUIRED			12
DRIVE-THROUGH STACKING PROVIDED			16

SITE SUMMARY	
JURISDICTION	CITY OF ALBUQUERQUE
ZONING	MX-M (MIXED USE MEDIUM INTENSITY ZONE DISTRICT)
USE	FAST FOOD RESTAURANT WITH DRIVE THRU
PARCEL ID	AB0213744(CITY), 101706148301640115(COUNTY)
LOT	
SIZE	44,304.52 SF (1.02 AC)
BUILDING	
SIZE	4,425 SF
PARKING	
SIZE	9' X 11' (60'), 9' X 22' (PARALLEL)

EXISTING SITE CALCULATIONS			
EXISTING AREA	SF	ACRES	%
TOTAL PARCEL AREA	44,304	1.02	100.00%
EXIST. OPEN SPACE AREA	7,135	0.16	16.10%
EXIST. PAVEMENT AREA	7,135	0.16	16.10%
EXIST. IMPERVIOUS AREA	37,169	0.85	83.90%
EXIST. BUILDING AREA	4,425	0.10	9.99%
EXIST. PAVEMENT AREA	32,744	0.75	73.91%
EXIST. VEHICULAR USE AREA	26,516	0.61	59.85%

PROPOSED SITE CALCULATIONS			
PROPOSED AREA	SF	ACRES	%
TOTAL PARCEL AREA	44,304	1.02	100.00%
PROP. PAVEMENT AREA	6,994	0.16	15.79%
PROP. IMPERVIOUS AREA	37,310	0.86	84.21%
PROP. BUILDING AREA	4,425	0.10	9.99%
PROP. PAVEMENT AREA	32,885	0.75	74.23%
PROP. VEHICULAR USE AREA	27,284	0.63	61.58%

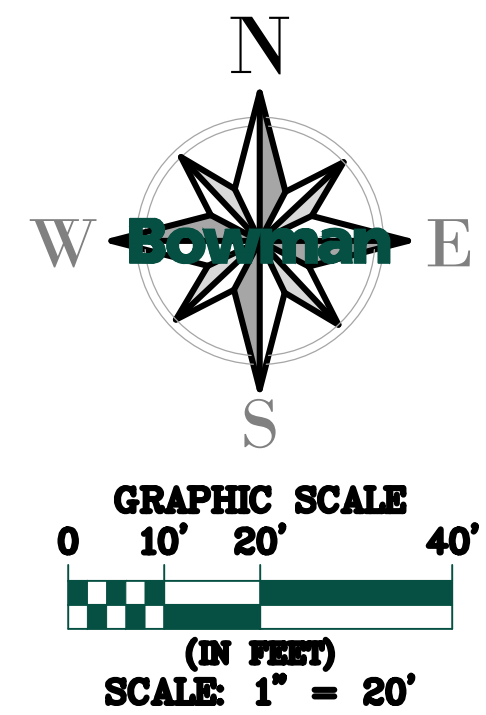
TRACT D-1-A  
MONTGOMERY PLAZA  
BK 2011C PG 135  
ZONE: MX-M  
LAND USE: BANK



CONCRETE PAVEMENT SECTION  
SEE DETAIL ON SHEET C-4.0  
NOT TO SCALE

#### SITE NOTES

- 1 CONST. DIRECTIONAL ARROW (TYP.)
- 2 CONST. PAVEMENT MARKINGS GRAPHICS
- 2A ONE WAY GRAPHICS
- 2B DRIVE-THRU GRAPHICS
- 3 CONST. PARALLEL PARKING STALL (4' YELLOW STRIPING)
- 4 CONST. CURB
- 5 DIRECTIONAL SIGNAGE
- 5A STOP SIGN (NOT USED)
- 5B BOLLARD MOUNTED HANDICAP SIGN (NOT USED)
- 5C CURBSIDE DELIVERY DESIGNATED SPACE (REMOVABLE SIGN) (NOT USED)
- 5D NO LEFT TURN SIGN (NOT USED)
- 5E ONE WAY SIGN (NOT USED)
- 5F RIGHT TURN ONLY SIGN (NOT USED)
- 5G PEDESTRIANS CROSSING (NOT USED)
- 5H DRIVE-THRU SIGN
- 5I DO NOT ENTER SIGN
- 6 CONST. PAVEMENT EDGE
- 7 CONST. 24" STOP LINE GRAPHIC
- 8 CONST. CONCRETE PAVING DRIVE-THRU LANE
- 9 CONST. 4" WIDE YELLOW STRIPING
- 10 CONNECT TO EXISTING CURB
- 11 CONNECT TO EXISTING EDGE OF PAVEMENT
- 12 CONST. DOUBLE LANE F2F ORDER CANOPY
- 13 EXISTING SINGLE ORDER MEAL DELIVERY CANOPY TO REMAIN
- 14 CONST. SOLID 4" YELLOW STRIPING ON ENDS W/ 4" WIDE STRIPES @ 3' O.C. YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE
- 15 NEW ORDER POINT
- 16 RELOCATED FLAG POLE AND BASE
- 17 CONST. CLEARANCE BAR
- 18 EXISTING BUILDING MOUNTED ACCESSIBLE PARKING SIGN TO REMAIN - INSTALL PENALTY SIGN IF NECESSARY
- 19 "NO PARKING" PAVEMENT MARKING
- 20 "MC" MOTORCYCLE PAVEMENT MARKING
- 21 BICYCLE RACKS
- 22 "DO NOT ENTER" PAVEMENT MARKING



NOTE: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CITY OF ALBUQUERQUE PAVING SIDEWALK DETAIL.

TRAFFIC CIRCULATION LAYOUT APPROVED  
Ernest Arroyo 5/23/2024  
Signed Date



Chick-fil-A

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5200 Buffington Rd  
Atlanta, GA 30349-2998

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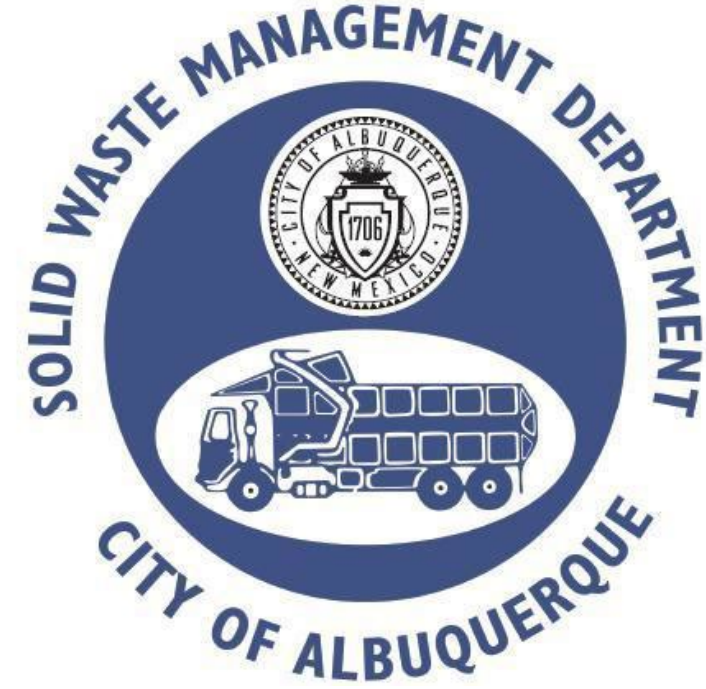
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5031 MONTGOMERY BLVD.  
ALBUQUERQUE, NEW MEXICO 87106  
FSU#02793

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	010014-01-217
ISSUED FOR	PERMIT
DATE	May 23, 2024
DRAWN BY	BCG

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SHEET NUMBER  
SITE PLAN  
C-2.0



Approved for access by the Solid Waste Department.

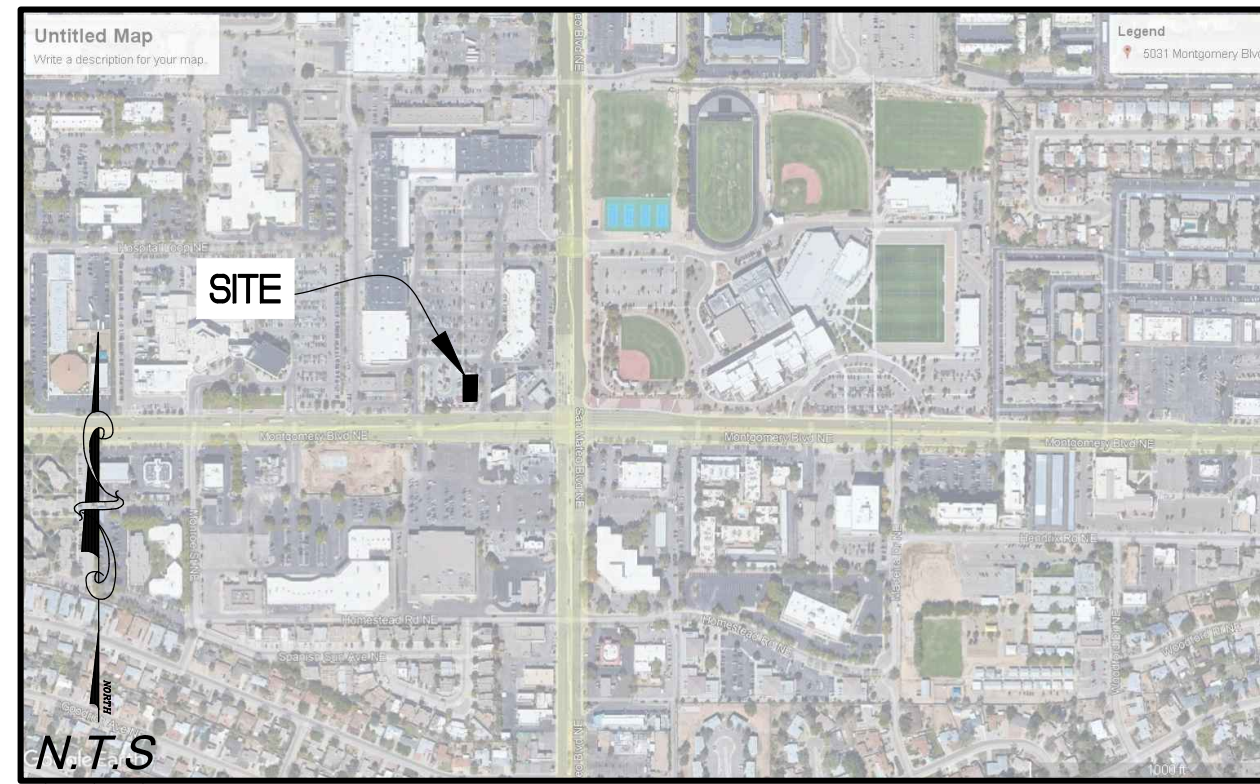
All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: Herman Gallegos

Date: 06-06-24

**\*\*Existing refuse enclosure to remain\*\***

VICINITY MAP



LEGEND	
PROP. ASPHALT DRIVE	PROPERTY LINE
PROP. CONC. PAVEMENT	EX. CONCRETE
PROP. CURB	EX. CONCRETE CURB
PROP. PARKING STRIPE	EX. SIGN
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PROP. ORDER POINT	EX. BOLLARD
	EX. DIRECTIONAL ARROW

PARKING CALCULATIONS			
USE	QTY	RATIO	REQUIRED
BUILDING AREA	4,425	5.6 SPACE PER 1,000 SF	25
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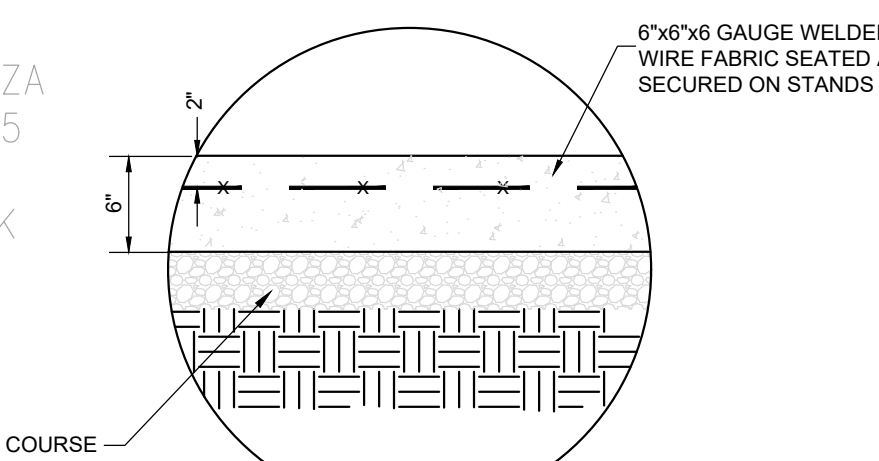
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LOT	
SIZE	44,304.52 SF (1.02 AC)
BUILDING	
SIZE	4,425 SF
PARKING	
SIZE	9' X 19' (60'); 9' X 22' (PARALLEL)

BUILDING SETBACKS		
SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	5'	28.79'
REAR (NORTH)	15'	58.94'
SIDE (WEST)	0'	166.33'
SIDE (EAST)	0'	19.04'

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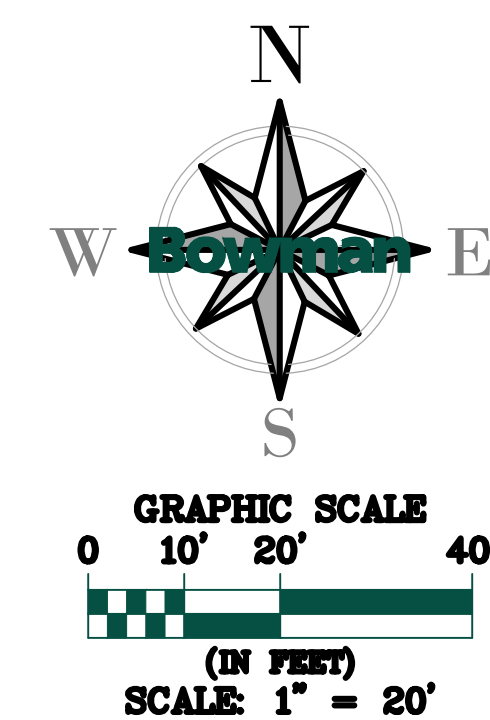
CONCRETE PAVEMENT SECTION  
SEE DETAIL ON SHEET C-4.0  
NOT TO SCALE



SITE NOTES

- 1 CONST. DIRECTIONAL ARROW (TYP.)
- 2 CONST. PAVEMENT MARKINGS GRAPHICS
- 2A ONE WAY GRAPHICS
- 2B DRIVE-THRU GRAPHICS
- 3 CONST. PARALLEL PARKING STALL (4' YELLOW STRIPING)
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- 12 CONST. DOUBLE LANE F2F ORDER CANOPY
- 13 EXISTING SINGLE ORDER MEAL DELIVERY CANOPY TO REMAIN
- 14 CONST. SOLID 4" YELLOW STRIPING ON ENDS W/ 4" WIDE STRIPES @ 3' O.C. YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE
- 15 NEW ORDER POINT
- 16 RELOCATED FLAG POLE AND BASE
- 17 CONST. CLEARANCE BAR
- 18 EXISTING BUILDING MOUNTED ACCESSIBLE PARKING SIGN TO REMAIN - INSTALL PENALTY SIGN IF NECESSARY
- 19 "NO PARKING" PAVEMENT MARKING
- 20 "MC" MOTORCYCLE PAVEMENT MARKING
- 21 BICYCLE RACKS
- 22 "DO NOT ENTER" PAVEMENT MARKING

NOTE: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CITY OF ALBUQUERQUE PAVING SIDEWALK DETAIL.



TRACT D-1-A  
MONTGOMERY PLAZA  
BK 2011C PG 135  
ZONE: MX-M  
LAND USE: RETAIL

TRACT D-1-A  
MONTGOMERY PLAZA  
BK 2011C PG 135  
ZONE: MX-M  
LAND USE: BANK

TRACT D-1-B  
4,425 SQ FT  
0.10 AC  
BUILDING  
AVG. FF: 5196.95

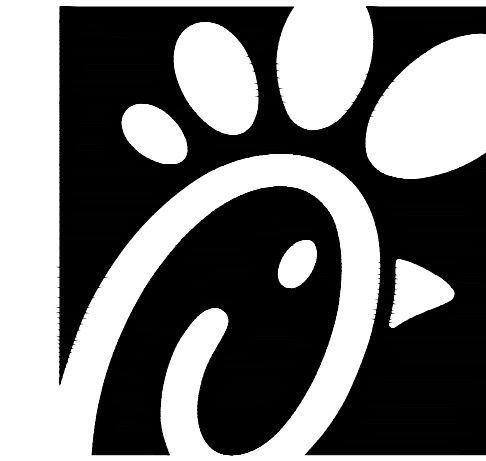
TRACT D-1-A  
MONTGOMERY PLAZA  
BK 2011C PG 135  
ZONE: MX-M  
LAND USE: RETAIL

MONTGOMERY BOULEVARD  
PRINCIPAL ARTERIAL; 100' ROW  
DAILY TRAFFIC VOLUME: 22,538; V/C = 0.67

May 23, 2024  
 C-2.0 - SITE PLAN  
 File Path: \\010014 - Chick-fil-A\010014-01-217 - CFA 02793 Montgomery San Mateo Albuquerque\Engineering\Plans\Sheet\010014-01-217 - C-2.0 SITE PLAN.dwg  
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FSU#02793

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SITE PLAN

SHEET NUMBER

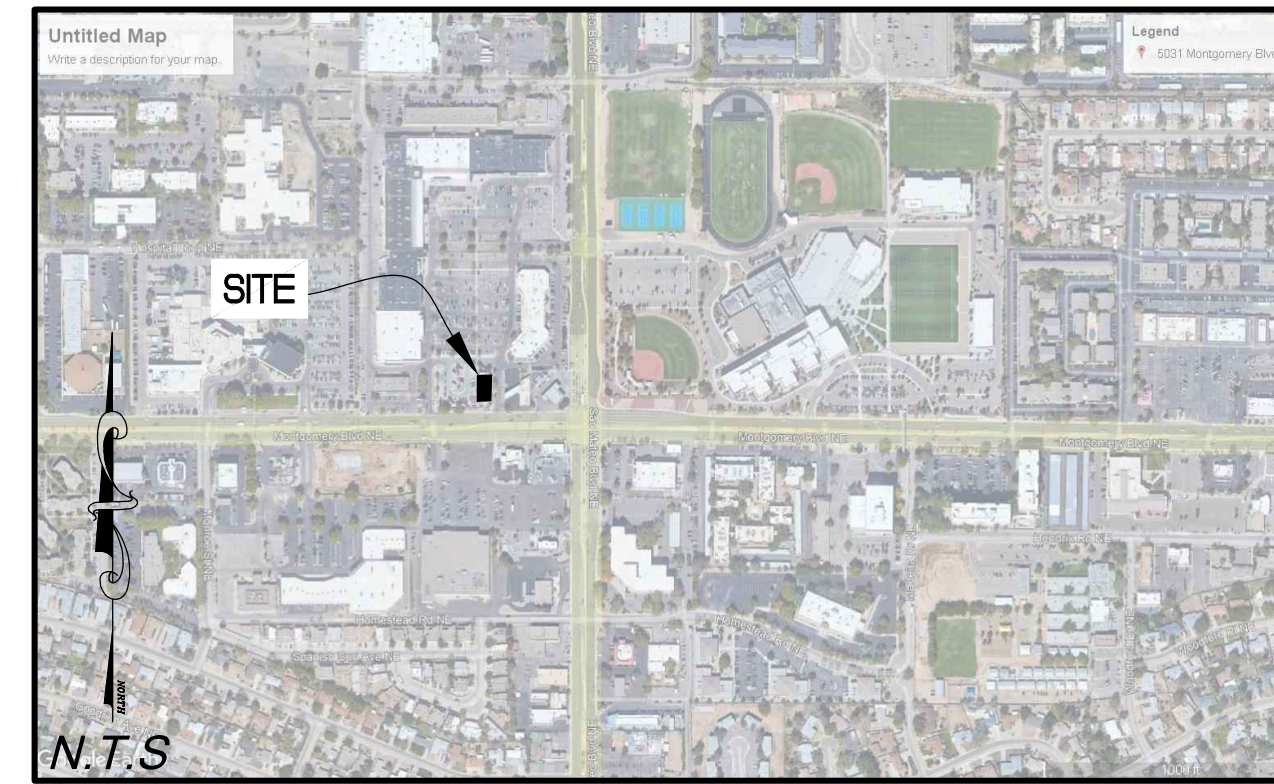
C-2.0

June 11, 2024  
 C-2.1 - FIRE 1 PLAN  
 File Path: \\010014 - Chick-fil-A\010014-01-217 (ENG) - CFA 02793 Montgomery San Mateo AlbuquerqueEngineering\Plans\Sheet Set\010014-01-217 - C-2.1 - FIRE 1 PLAN.dwg  
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VICINITY MAP



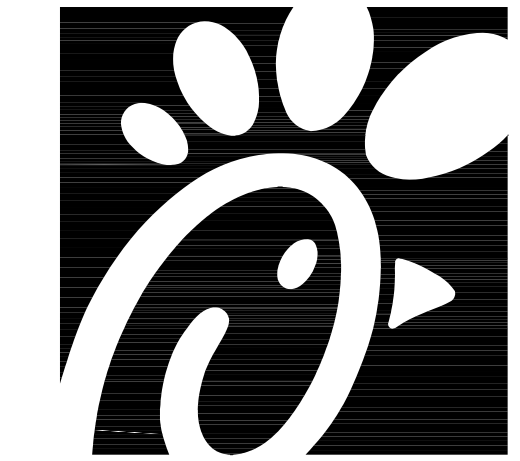
LEGEND	
PROP. ASPHALT DRIVE	PROPERTY LINE
PROP. CONC. PAVEMENT	EX. CONCRETE
PROP. CURB	EX. CONCRETE CURB
PROP. PARKING STRIPE	EX. SIGN
PROP. SITE SIGNAGE	EX. LIGHT POLE
PROP. DIRECTIONAL ARROW	EX. TREE
PROP. PARKING COUNT	EX. ACCESSIBLE MARKING
PROP. ORDER POINT	EX. BOLLARD
	EX. DIRECTIONAL ARROW

SITE SUMMARY	
JURISDICTION	CITY OF ALBUQUERQUE
ZONING	MX-M (MIXED USE MEDIUM INTENSITY ZONE DISTRICT)
USE	FAST FOOD RESTAURANT WITH DRIVE THRU
PARCEL ID	ABQ213744(CITY), 101706148301640115(COUNTY)
LOT	
SIZE	44,304.52 SF (1.02 AC)
BUILDING	
SIZE	4,425 SF
PARKING	
SIZE	9' X 19' (60'); 9' X 22' (PARALLEL)

NOTE: FIRE 1 PLAN BASED ON ORIGINAL FIRE PROTECTION PLANS DATED 03/05/2012 BY TYCO/FIRE & SECURITY/SIMPLEXGRINNELL.



**ALBUQUERQUE FIRE MARSHAL'S DIVISION OFFICE PLANS CHECKING DIVISION**  
**PERMIT**  
 PERMIT NUMBER: FP 24-020190  
 APPROVED DATE: 06/12/24  
**APPROVED**  
 THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
**FIRE FLOW:** Fire flow NA



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**FSU#02793**

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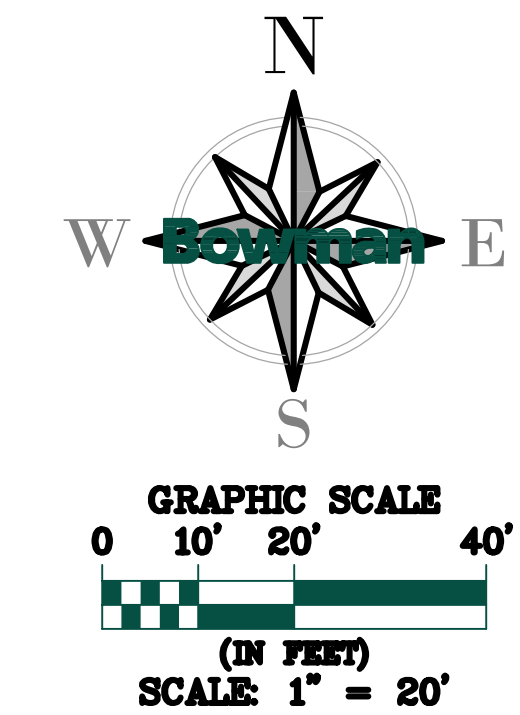
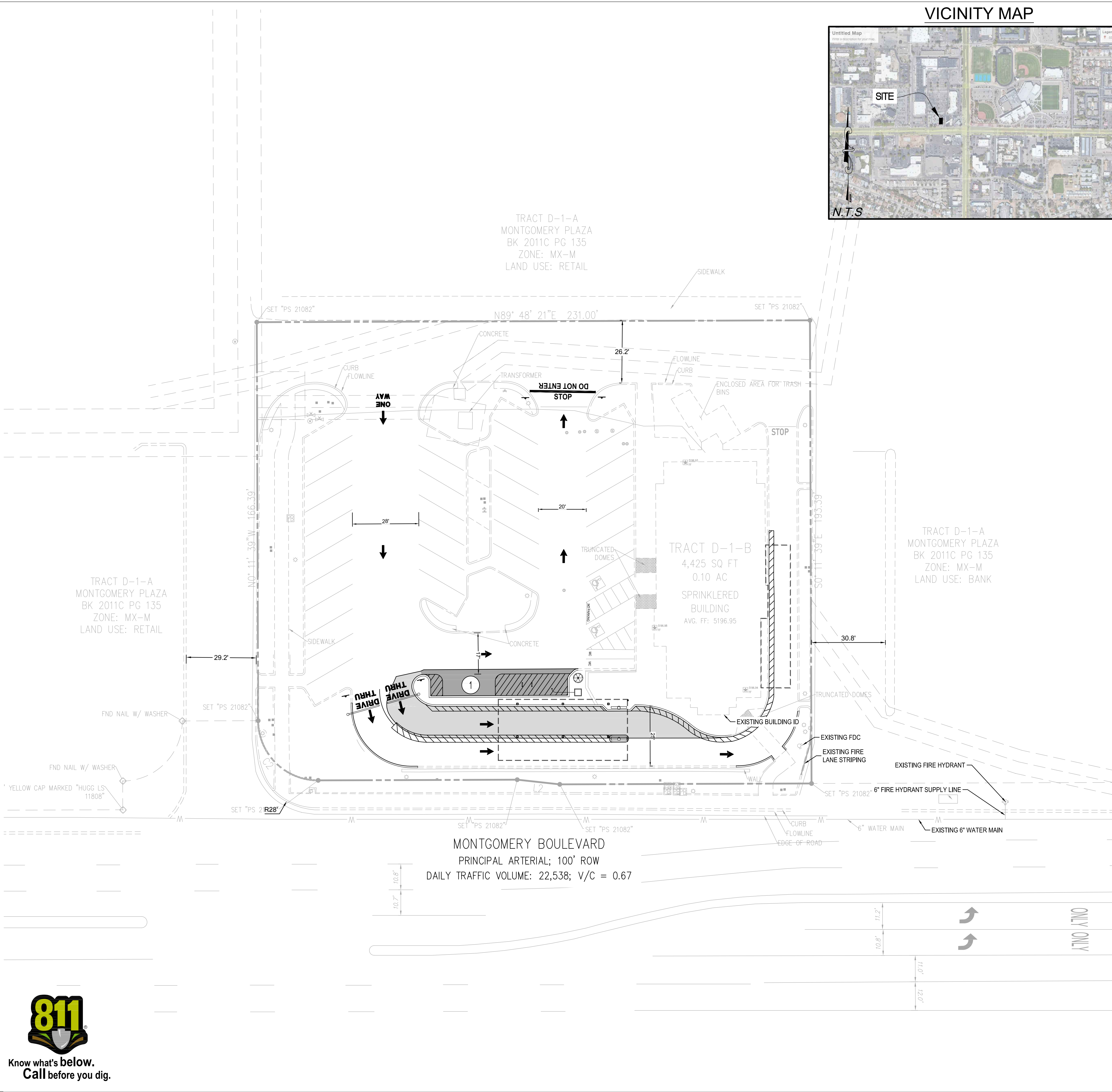
CONSULTANT PROJECT #	010014-01-217
ISSUED FOR	PERMIT
DATE	June 11, 2024
DRAWN BY	BCG

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SHEET FIRE 1 PLAN

SHEET NUMBER

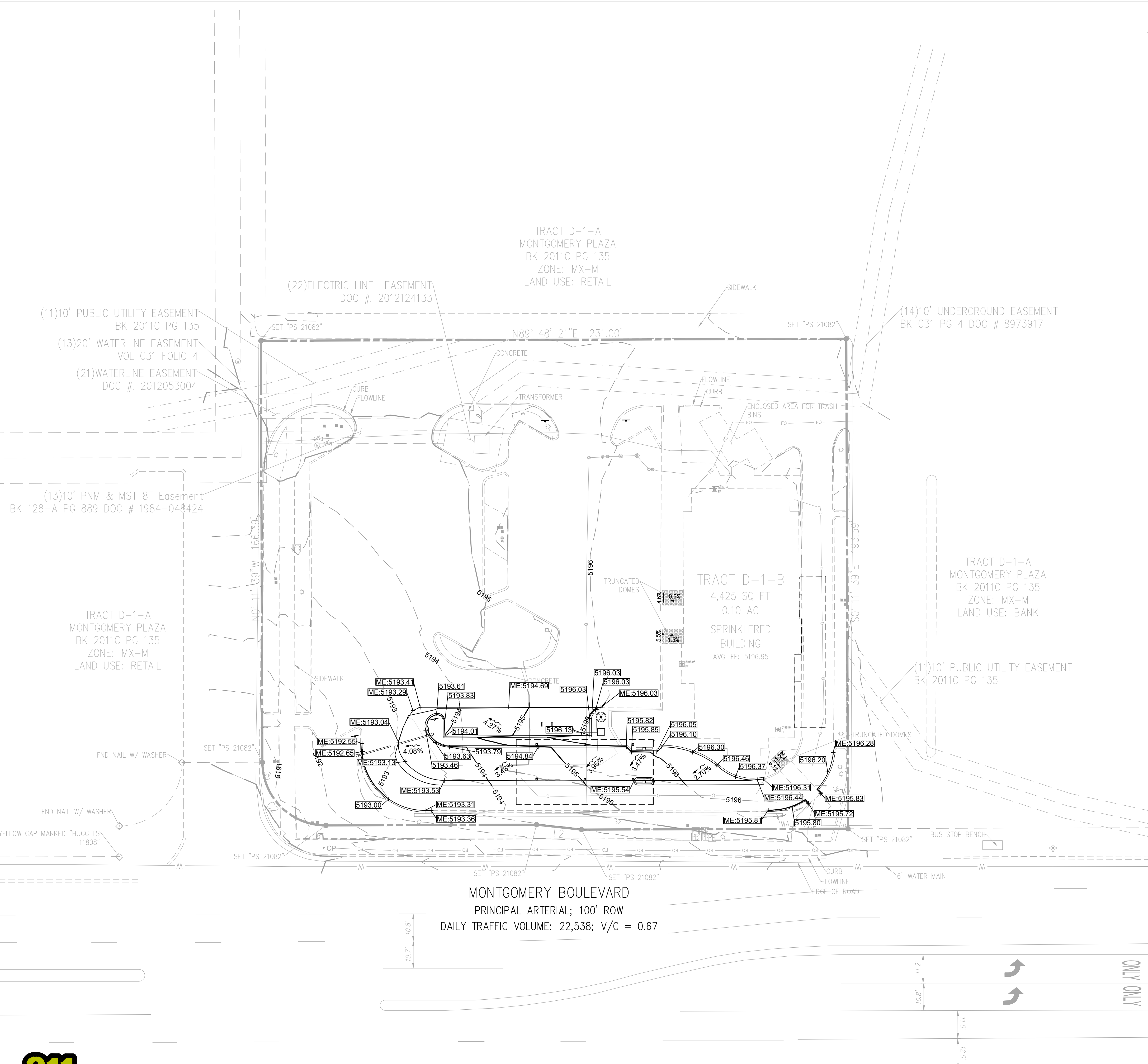
C-2.1



June 24, 2024  
 C-3.0 - GRADING PLAN  
 File Path: \\010014-01-217 (ENG) - CFA 02793 Montgomery San Mateo AlbuquerqueEngineering\Engineering Plans\Sheet Set\010014-01-217 - C-3.0 GRADING PLAN.dwg  
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**GENERAL GRADING NOTES**

1. ALL ELEVATIONS ARE BASED ON NAVD88. HORIZONTAL DATUM: NAD83.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS. THE OWNER DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS. SLOPES IN GRASS AREAS SHALL BE GRADED AT A 1.0% MIN.

**FLOOD NOTE**

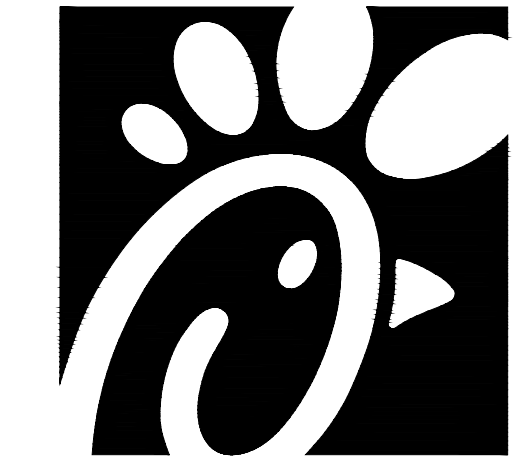
PER FEMA FLOOD MAP (35001C0139G EFF. 9/26/2008), THE SITE IS IN ZONE X, AREA OF MINIMAL FLOOD HAZARD. PER ALTA SURVEY DATED 09/07/2023, THERE ARE NO EXISTING ON-SITE STORM DRAIN FEATURES. THE SITE DRAINS TO THE SOUTHWEST OF THE PROPERTY BEFORE ENTERING THE STORM DRAIN SYSTEM ALONG MONTGOMERY BOULEVARD NE THAT DRAINS TO NORTH DIVERSION CHANNEL PHASE III.

GRADING & DRAINAGE LEGEND	
	PROPOSED GRADE MAJOR CONTOUR LINE
	PROPOSED GRADE MINOR CONTOUR LINE
	EXISTING GRADE MAJOR CONTOUR LINE
	EXISTING GRADE MINOR CONTOUR LINE
	LIMITS OF DISTURBANCE
	= MATCH EXISTING GRADE

ALL CURB SPOT ELEVATIONS REPRESENT FACE OF CURB UNLESS OTHERWISE NOTED

**GRADING DESCRIPTION**

THE EXISTING SITE IS GRADED TO DRAIN PER CITY OF ALBUQUERQUE AND STATE STANDARDS WITH ALL NECESSARY CURBING, DRIVES, AND LANDSCAPING. THE PROPOSED IMPROVEMENTS TO THE SITE WILL NOT EFFECT MOST OF THE SITE GRADING. THE IMPROVEMENTS WILL REMOVE AN EXISTING LANDSCAPE AREA AND ADD CURB AND GUTTER FOR THE ADDITIONAL DRIVE-THROUGH LANE. THERE ARE NO TOPOGRAPHIC FEATURE OF NOTE WITHIN 100' OF THE SITE.



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NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #010014-01-217	
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DATE	June 24, 2024
DRAWN BY	BCG

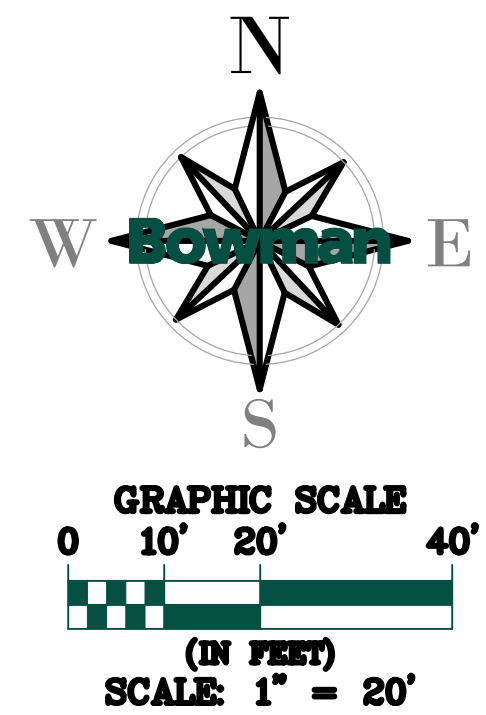
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SHEET

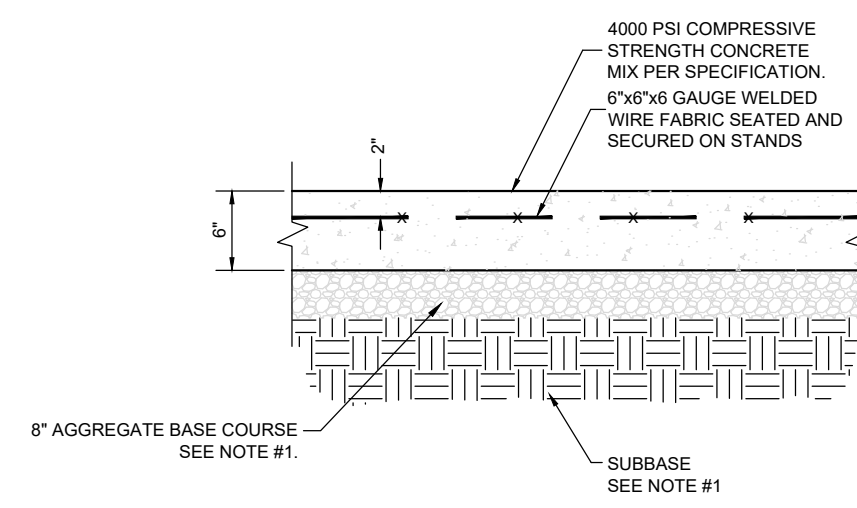
GRADING PLAN

SHEET NUMBER

C-3.0

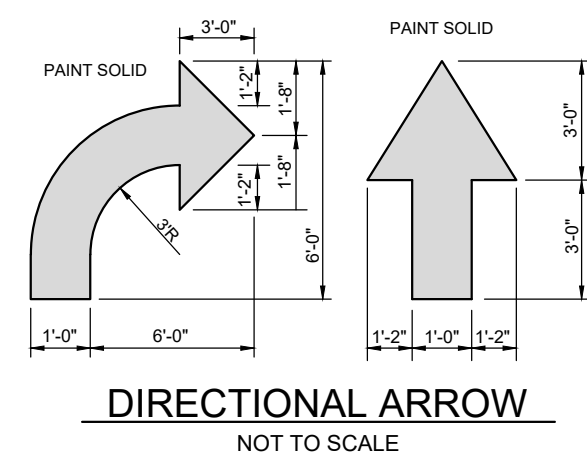


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 This document, together with the contract and related documents, represents the entire agreement between the parties. It is to be used for reference only. No reliance should be placed on this document without the written authorization and signature of the project engineer. The project engineer shall be without liability to Bowman Consulting.



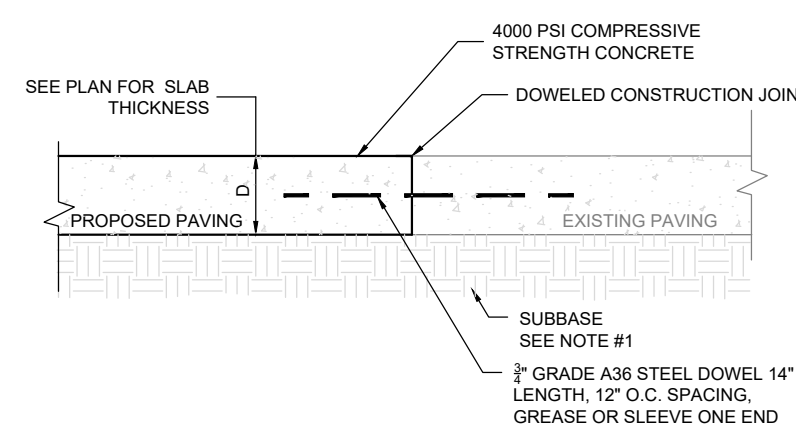
NOTE:  
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

**26** CONCRETE PAVEMENT DRIVE-THRU LANE  
C2.0 NOT TO SCALE



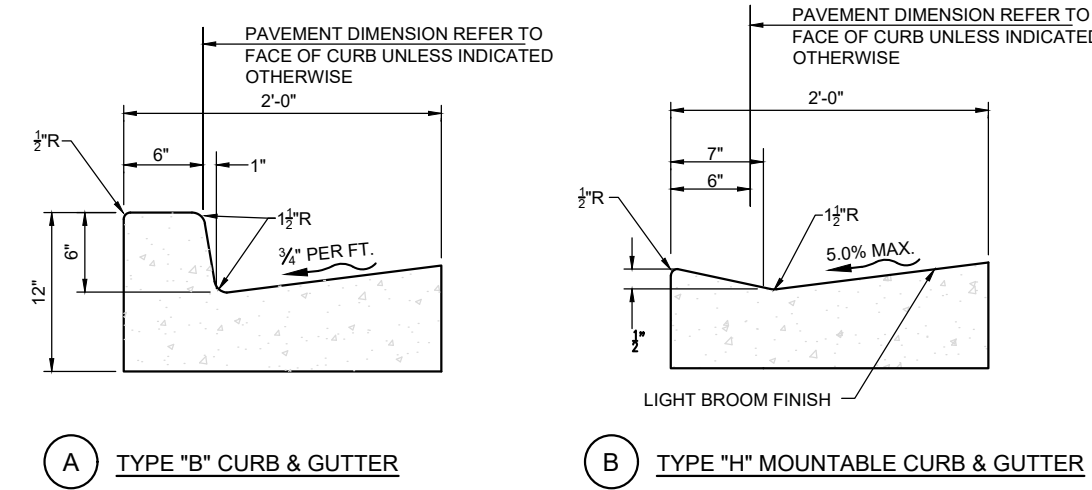
NOTES:  
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.  
2. PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.  
3. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

**1** PAVEMENT MARKINGS - 1  
C2.0 NOT TO SCALE



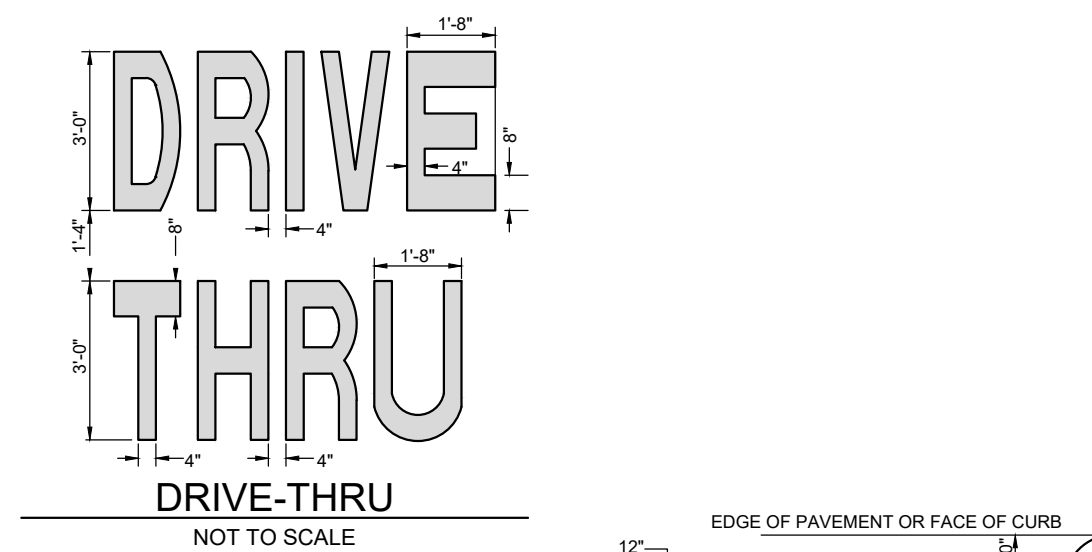
NOTE:  
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

**22** TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT  
C2.0 NOT TO SCALE



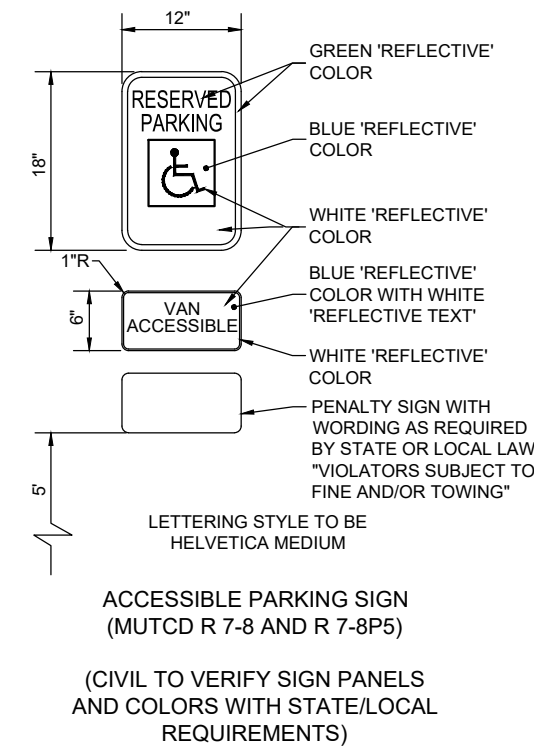
NOTES:  
1. CONC. FOR CURBING SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS.  
2. CONTRACTION JOINTS @ 1'-0" O.C. TOOLED 1/2" (4 X 1/2" - 4) WIDE, 1" OR MAX. DIA DEPTH WHICHEVER IS GREATER. EXPANSION JOINTS @ 40'-0" MAX. UNLESS NOTED OTHERWISE ON PLANS.  
3. IF NEEDED, DOWEL INTO ADJACENT CONC. SLAB PER THE EXPANSION JOINT DETAIL.  
4. GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRANSVERSE & LONGITUDINAL.

**11** CONCRETE CURB & GUTTER  
C2.0 NOT TO SCALE



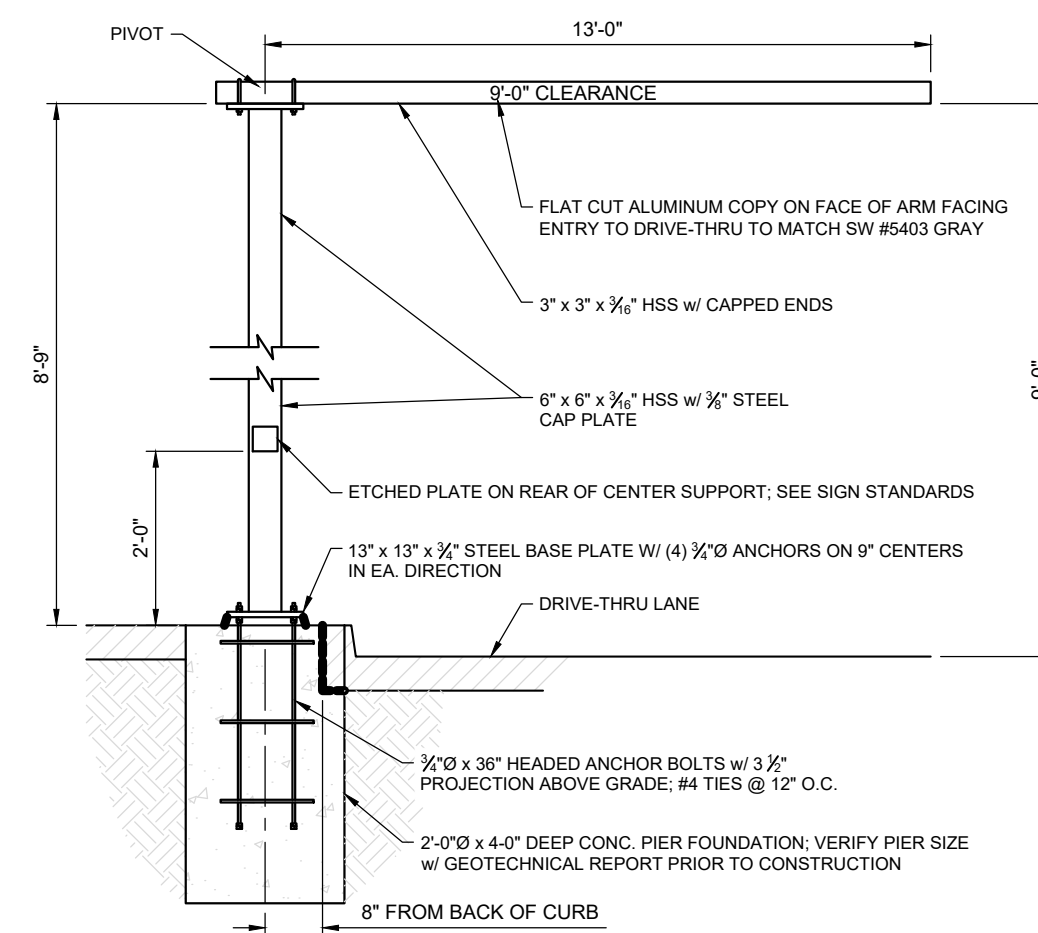
NOTES:  
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.  
2. PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.  
3. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.  
4. IF STOP SIGNS ARE PROPOSED, "STOP" LETTERING ON STOP BAR DETAIL IS NOT REQUIRED.

**2** PAVEMENT MARKINGS - 2  
C2.0 NOT TO SCALE



**6** ACCESIBLE PARKING SIGN  
C4.0 NOT TO SCALE

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
 Ernest Arroyo 5/23/2024  
 Signed Date



NOTES:  
1. ENTIRE CLEARANCE BAR & HARDWARE TO BE POWDER COATED OPC P-820 MATTE BLACK FINISH  
2. CLEARANCE BAR ARM TO ROTATE WHEN STRUCK & RETURN TO ORIGINAL POSITION  
3. COORDINATE W/ THE ARCHITECT & STRUCTURAL ENGINEER

**5** DRIVE-THRU CLEARANCE BAR  
C2.0 NOT TO SCALE



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CONSULTANT PROJECT #	010014-01-217
ISSUED FOR	PERMIT
DATE	May 23, 2024
DRAWN BY	BCG

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SHEET  
CFA STANDARD DETAILS

SHEET NUMBER

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/ TRANSPORTATION DESIGN /

**Section 7-4(J)(7) Entrance and Gate Requirements for Private Ways and Streets**

- All gated communities must include a turnaround for visitors at the gate so that the vehicle does not stand in or back into the City right-of-way.
- Where a single gate is provided, the minimum width shall be 20 feet. For divided streets, the minimum width shall be 12 feet.
- Additional entrance and gate requirements may be required by the Fire Marshal.

**Part 7-4(K) Off-street Parking and Site Design**

This section provides guidance on site design and off-street parking layout. The overall site design shall accommodate all modes of transportation including automobiles, pedestrians, bicyclists, and motorcyclists. To facilitate efficient parking operations, the designer shall also consider the interface of the site with adjacent development areas.

**Section 7-4(K)(1) General Provisions**

- All sites and off-street parking areas shall be designed to comply with ADA/PROWAG standards.
- The number of off-street, vehicle, bicycle and motorcycle parking spaces shall be provided as established in the *IDO Section 14-16-5-5 Parking and Loading*.
- Site design shall comply with design requirements and landscape buffers established by the *IDO Part 14-16-5 Dimensional Standards*.
- Parking and site layout shall be designed such that vehicles do not back into the City right-of-way, except single-family dwellings may back into local streets.

**Section 7-4(K)(2) Bicycle Parking**

Off-street bicycle parking location, layout and rack options vary widely. The following guidelines shall be considered when placing and designing bicycle parking areas and choosing rack options. Alternative rack design, placement, or installation methods not meeting the guidelines below may be considered and are reviewed on a case-by-case basis by the City Engineer.

- All bicycle racks shall be designed according to the following guidelines:
  - The rack shall be a minimum of 30 inches tall and 18 inches wide.
  - The bicycle frame shall be supported horizontally at two or more places. *Comb/toaster racks are not allowed.*
  - The rack shall be designed to support the bicycle in an upright position. See the *IDO Section 14-16-5-5(E)* for additional information.
  - The rack allows varying bicycle frame sizes and styles to be attached.
  - The user is not required to lift the bicycle onto the bicycle rack.
  - Each bicycle parking space is accessible without moving another bicycle.
- Bicycle parking spaces shall be located in a well-lit area, visible from and, where feasible, located within 50 feet of the primary pedestrian entrance it serves. Bicycle rack placement shall meet the following placement requirements. (See *FIGURE 7.4.115* for direction on bicycle stall layout.)

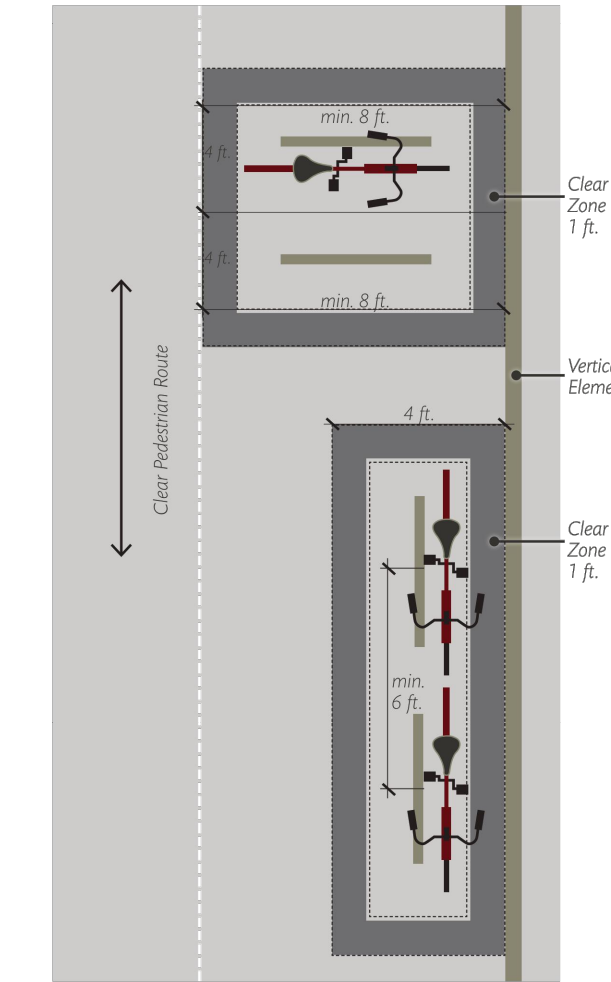


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/ TRANSPORTATION DESIGN /

- Bicycle parking shall be separated from vehicle parking areas and driveways by a barrier, such as a curb, rail, or bollard, or be located to minimize the possibility of vehicles striking parked bicycles.
  - Bicycle racks shall be placed in a designated area and shall not infringe upon the width of the required clear pedestrian access route. (See *Part 7-4(E) Pedestrian Facilities*.)
  - Bicycle racks shall not be placed directly in front of entrances or in locations that impede pedestrian flow.
- Bicycle racks shall be sturdy and anchored to a concrete pad.
  - A 1-foot clear zone around the bicycle parking stall shall be provided.
  - Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

FIGURE 7.4.115 Bicycle Parking Stall Layout Options

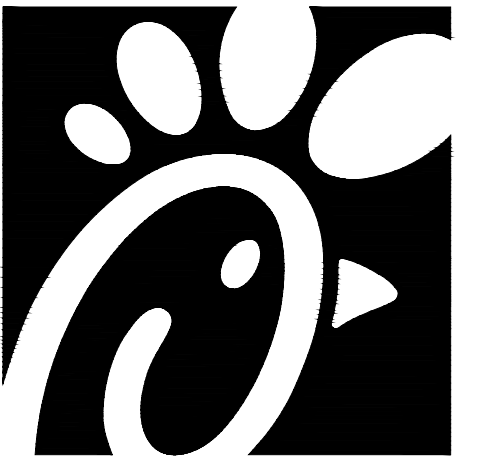
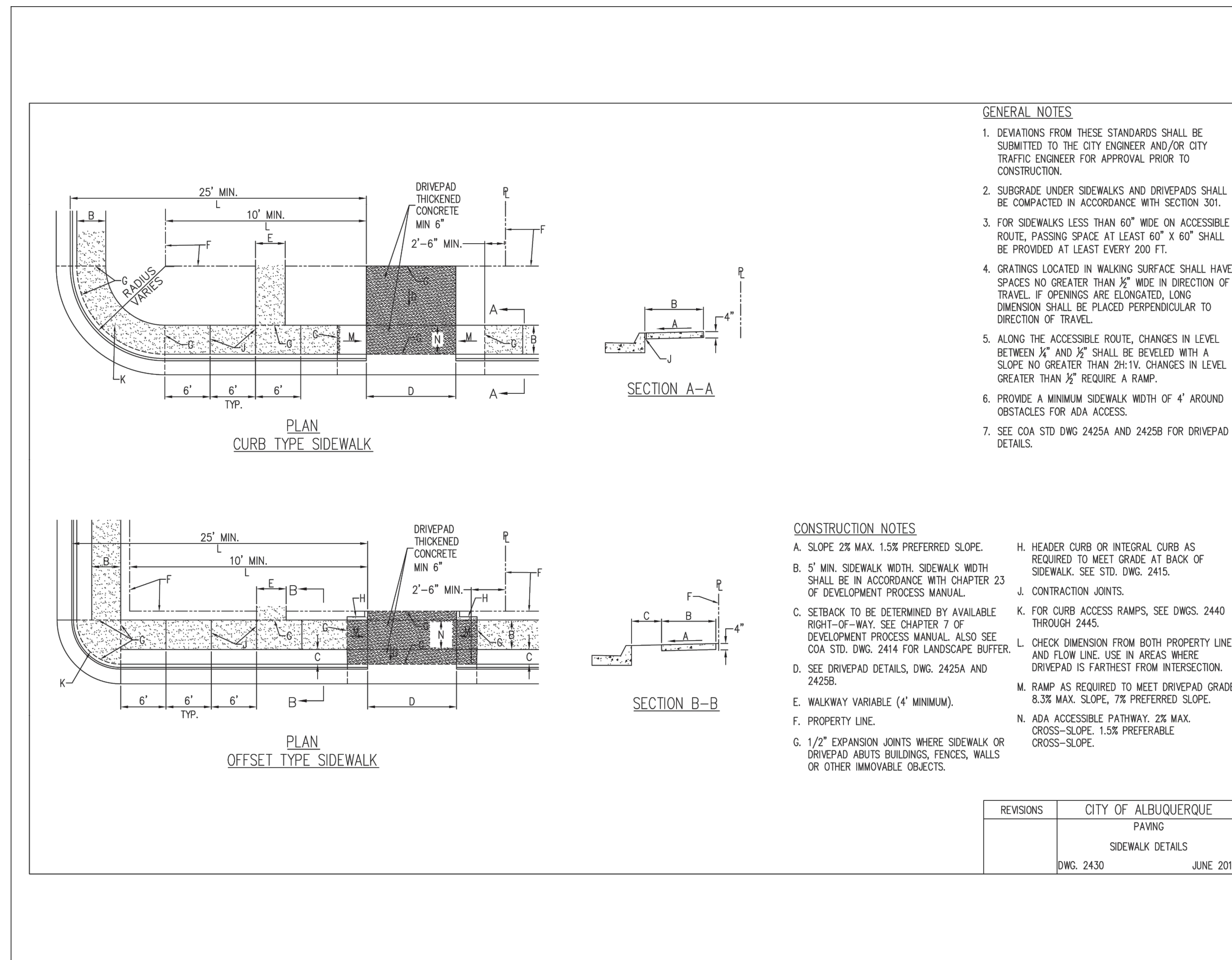


**Section 7-4(K)(3) Motorcycle Parking**

- Motorcycle parking shall be a minimum of 4 feet wide and 8 feet long. (See *TABLE 7.4.77* and *FIGURE 7.4.116*.)
- Motorcycle parking spaces shall be located in a well-lit area that is visible from the primary building entrance on the site.



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NO.	DATE	DESCRIPTION

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DATE June 24, 2024  
DRAWN BY BCG

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STANDARD DETAILS

SHEET NUMBER  
**C-5.0**

## GENERAL NOTES

### A. PERMITS AND SURVEYS

(NOTE: ALL REFERENCES TO "CONTRACTOR" ARE SPECIFIC TO "LANDSCAPE CONTRACTOR" UNLESS NOTIFIED AS "GENERAL OR OTHER TYPE OF CONTRACTOR")

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. GRAPHIC QTY'S, PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS. LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
- EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.

- GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS:
  - 1" BELOW CURB FOR ALL SEEDED AREAS.
  - 2.5" BELOW CURB FOR ALL SODDED AREAS.
  - 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS.

- CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30"

- AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 3 PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS. PER 1000 SQUARE FEET FOR SEEDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.

- FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/4" AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.

- MULCHS: ALL PLANTING BEDS THAT CALL FOR WOOD/ORGANIC MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. TREES IN TURF AND NATIVE GRASS AREAS TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEPTH. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN
- SHRUBS AND GROUNDCOVERS IN NATIVE GRASS AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP. TREES IN COBBLE/ROCK MULCH TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.

- REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANYTIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.

- CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.

- ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACES AT 2' MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG.

COORDINATION WITH PNM IS NECESSARY FOR THIS PROJECT REGARDING PROPOSED TREE SPECIES, THE HEIGHT AT MATURITY AND TREE PLACEMENT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES TO AVOID INTERFERENCE WITH THE EXISTING ELECTRIC OVERHEAD AND UNDERGROUND DISTRIBUTION LINES ALONG THE EAST SIDE OF EUBANK BOULEVARD NE AT THE PROJECT SITE BOUNDARY. PNM'S LANDSCAPING PREFERENCE IS FOR TREES AND SHRUBS TO BE PLANTED OUTSIDE THE PNM EASEMENT; HOWEVER, IF WITHIN THE EASEMENT, TREES AND SHRUBS SHOULD BE PLANTED TO MINIMIZE EFFECTS ON ELECTRIC FACILITY MAINTENANCE AND REPAIR. NEW TREES PLANTED NEAR PNM FACILITIES SHOULD BE NO TALLER THAN 25 FEET IN HEIGHT AT MATURITY TO AVOID CONFLICTS WITH EXISTING ELECTRIC INFRASTRUCTURE.

- STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.

- CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS

- ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

- NEW PLANT MATERIAL MUST COMPLY WITH CURRENT NEW MEXICO NURSERY ACT STANDARDS.

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.

- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED. REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE.

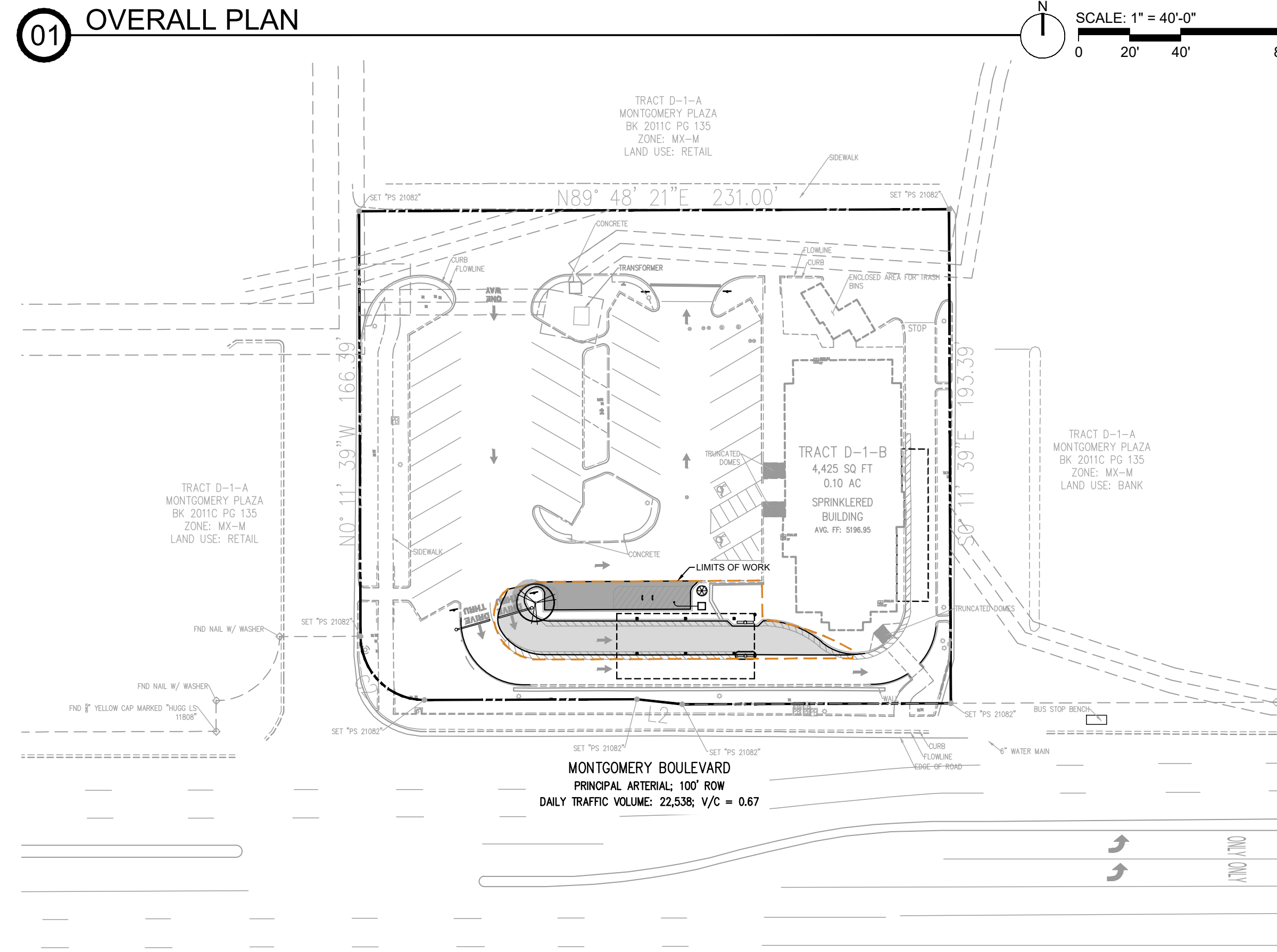
- MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISION EDITION- 1998. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

# LANDSCAPE PROPOSED FOR MONTGOMERY & SAN MATEO FSU CHICK-FIL-A STORE NUMBER # 02793

5009 MONTGOMERY BOULEVARD NE  
ALBUQUERQUE, NM 87106

LATITUDE 35° 07' 53" N, LONGITUDE 106° 35' 15" W  
PARCEL ID# ABQ213744 (CITY), 101706148301640115 (COUNTY)

## 01 OVERALL PLAN



### CITY OF ALBUQUERQUE RESPONSIBILITY FOR MAINTENANCE STATEMENT

- LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED PLAN; INSTALLATION SHALL BE COMPLETED WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING LANDOWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF THE LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF SUCH LANDOWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS, WHICH HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING ON THE PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF, NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE ABUTTING LANDOWNER TO REPLACE THE PLANT MATERIALS.
- LANDSCAPING SHALL HAVE ADEQUATE MAINTENANCE. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 DAYS AFTER NOTIFICATION.

### UTILITIES NOTES:

- DESIGN GROUND-MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL
- SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO
- ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE
- REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO THE PNM
- ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFIC

### IRRIGATION NOTES:

- IRRIGATION: (PROPOSED TO BE A POTABLE SYSTEM)
- AN IRRIGATION SYSTEM PLAN WILL BE CREATED.
- SEED MAY BE TEMPORARILY IRRIGATED WITH POP-UP AND ROTOR SPRAY HEADS.
- TREES, SHRUBS & PERENNIALS IN PLANTING BEDS SHALL BE IRRIGATED WITH A POINT-SOURCE DRIP SYSTEM.
- A SMART CONTROLLER & RAIN SENSOR SHALL BE INSTALLED.
- WATER CONSERVATION MEASURES AND COMPONENTS ARE TO BE INSTALLED WITH THE IRRIGATION SYSTEM.

## VICINITY MAP



LEGEND	
PROP. ASPHALT DRIVE	PROPERTY LINE
PROP. CONC. PAVEMENT	EX. CONCRETE
PROP. CURB	EX. CONCRETE CURB
PROP. PARKING STRIPE	EX. SIGN
PROP. SITE SIGNAGE	EX. LIGHT POLE
PROP. DIRECTIONAL ARROW	EX. TREE
PROP. PARKING COUNT	EX. ACCESSIBLE MARKING
PROP. ORDER POINT	EX. BOLLARD
	EX. DIRECTIONAL ARROW

## CONTACTS

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UTILITY AUTHORITY  
PH: (505) 842-9287

GAS  
NEW MEXICO GAS COMPANY  
PH: (505) 697-3335

ELECTRIC  
PUBLIC SERVICE COMPANY OF NEW MEXICO  
PH: (888) 342-5766

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### Sheet Index

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Irrigation Plan	
03	L2.0
Landscape Details	
04	L3.0
05	L3.1
06	L3.2



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ALBUQUERQUE, NEW MEXICO 87106

FSU#02793

### REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 010014-01-217

ISSUED FOR	PERMIT
DATE	JUNE 2024
DRAWN BY	GM

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SHEET  
LANDSCAPE COVER

SHEET NUMBER

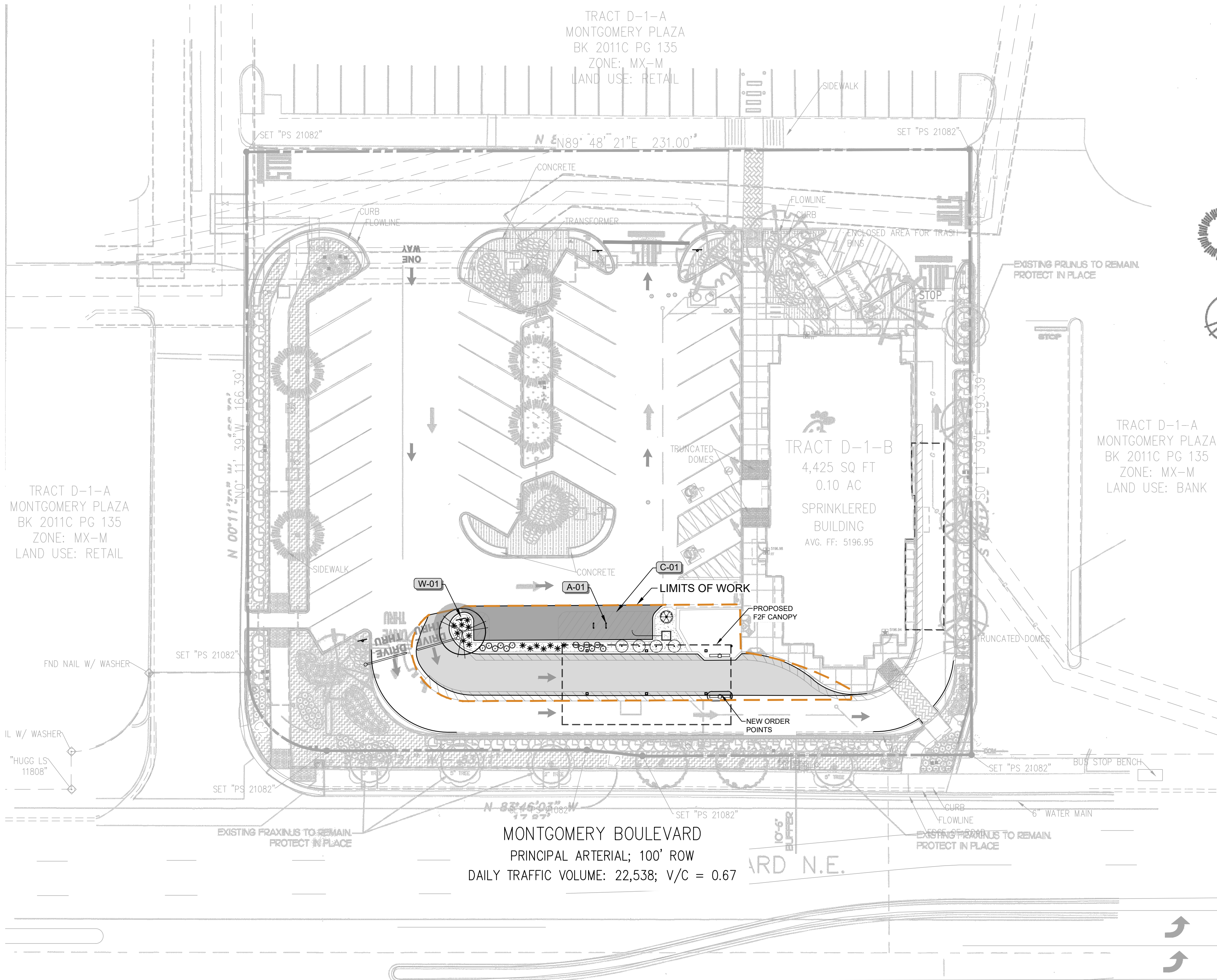
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01 PLANTING PLAN UPDATES

SCALE: 1" = 20'-0"  
0 10' 20' 40'



PLANTING LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.	REMARKS	WATER USAGE	HEIGHT	WIDTH
<b>EXISTING PLANTING</b>							
⊕	EXISTING PRUNUS	EXT'G	1	EXISTING TO REMAIN	-	-	-
+	EXISTING FRAXINUS	EXT'G	4	EXISTING TO REMAIN	-	-	-
<b>TREES</b>							
⊙	FRAXINUS PENNSYLVANICA GREEN ASH	2' CALIPER	2	STANDARD DOUBLE STAKE	MED	60'	60'
⊙	PROSOPIS GLANDULOSA HONEY MESQUITE	2' CALIPER	6	STANDARD DOUBLE STAKE	LOW	20'	25'
⊙	PISTACIA CHINENSIS CHINESE PISTACHE	2' CALIPER	5	STANDARD DOUBLE STAKE LIFT • SITE TRIANGLES	MED	60'	60'
⊙	PRUNUS CERASIFERA PURPLELEAF PLUM	2' CALIPER	3	STANDARD DOUBLE STAKE	MED	20'	20'
<b>SHRUBS</b>							
⊗	ELAEGNUS PUGENS SILVERBERRY	15 GALLON	11	4'-0" O.C.	MED	10'	10'
⊙	GENISTA HISPANICA SPANISH BROOM	5 GALLON	12	4'-0" O.C.	MED	48"	48"
*	HELICTOTRICHON SEMPERVIRENS BLUE AVENA GRASS	5 GALLON	94	2'-0" O.C.	MED	24"	24"
⊙	HEMEROCALLIS 'STELLA D'ORO' EVERGREEN DAYLILY	5 GALLON	111	2'-0" O.C.	MED	24"	36"
⊙	LEUCOPHYLLUM LANGMANIAE RIO BRAVO RAINSAUGE	5 GALLON	92	4'-0" O.C.	MED	48"	48"
⊙	SALVIA LAVANDULIFOLIA LAVENDER SAGE	5 GALLON	147	2'-0" O.C.	MED	24"	24"
<b>GROUNDCOVERS</b>							
⊙	CYNODON DACTYLON BERMUDA GRASS	SOD	400 S.F.		MED	-	-
⊙	FESTUCA OVINA 'GLAUCA' BLUE FESCUE	FLATS	3,488 S.F. 8" O.C.		MED	12"	12"
⊙	OENOTHERA CAESPITOSA WHITE EVENING PRIMROSE	FLATS	1,205 S.F. 12" O.C.		LOW	12"	12"
<b>VINES</b>							
▽	LONICERA C. 'PURPURERA' PURPLE LEAF HONEYSUCKLE	15 GALLON	4	REMOVE FROM STAKES. ATTACH TO WALL WITH TUMAX VINE TIES	MED	-	-

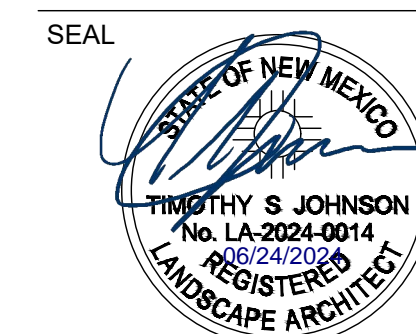


Chick-fil-A

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PLANTING PLAN

SHEET NUMBER

L1.0

02 PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QTY
<b>TREES</b>			
⊙	PRUNUS CERASIFERA PURPLE-LEAF PLUM	15 GAL.	1
<b>SHRUBS</b>			
⊙	GENISTA HISPANICA SPANISH BROOM	5 GAL.	4
*	HELICTOTRICHON SEMPERVIRENS BLUE OAT GRASS	5 GAL.	15
⊙	SALVIA LAVANDULIFOLIA SPANISH SAGE	1 GAL.	12

FINISHING COVER TREATMENTS

⊙	DG/ROCK TO MATCH EXISTING.
---	----------------------------

03 KEY NOTES

- ARCHITECTURE**  
SYMBOL DESCRIPTION  
**A-01** BICYCLE RACKS (SEE ARCH.)
- CIVIL**  
SYMBOL DESCRIPTION  
**C-01** 4" WIDE YELLOW STRIPING (SEE CIVIL)
- WALLS, BARRIERS, & SIGNAGE**  
SYMBOL DESCRIPTION  
**W-01** DRIVE-THRU SIGN (SEE CIVIL)

THE FOLLOWING TABLE IS FROM PREVIOUSLY APPROVED LANDSCAPE PLANS (BY OTHERS). ONE TREE PLANNED TO BE REMOVED AND ONE NEW TREE PROPOSED. GROUNDCOVER PLANE COVERAGE REQUIREMENTS TO BE MAINTAINED PER APPROVED LANDSCAPE PLAN.

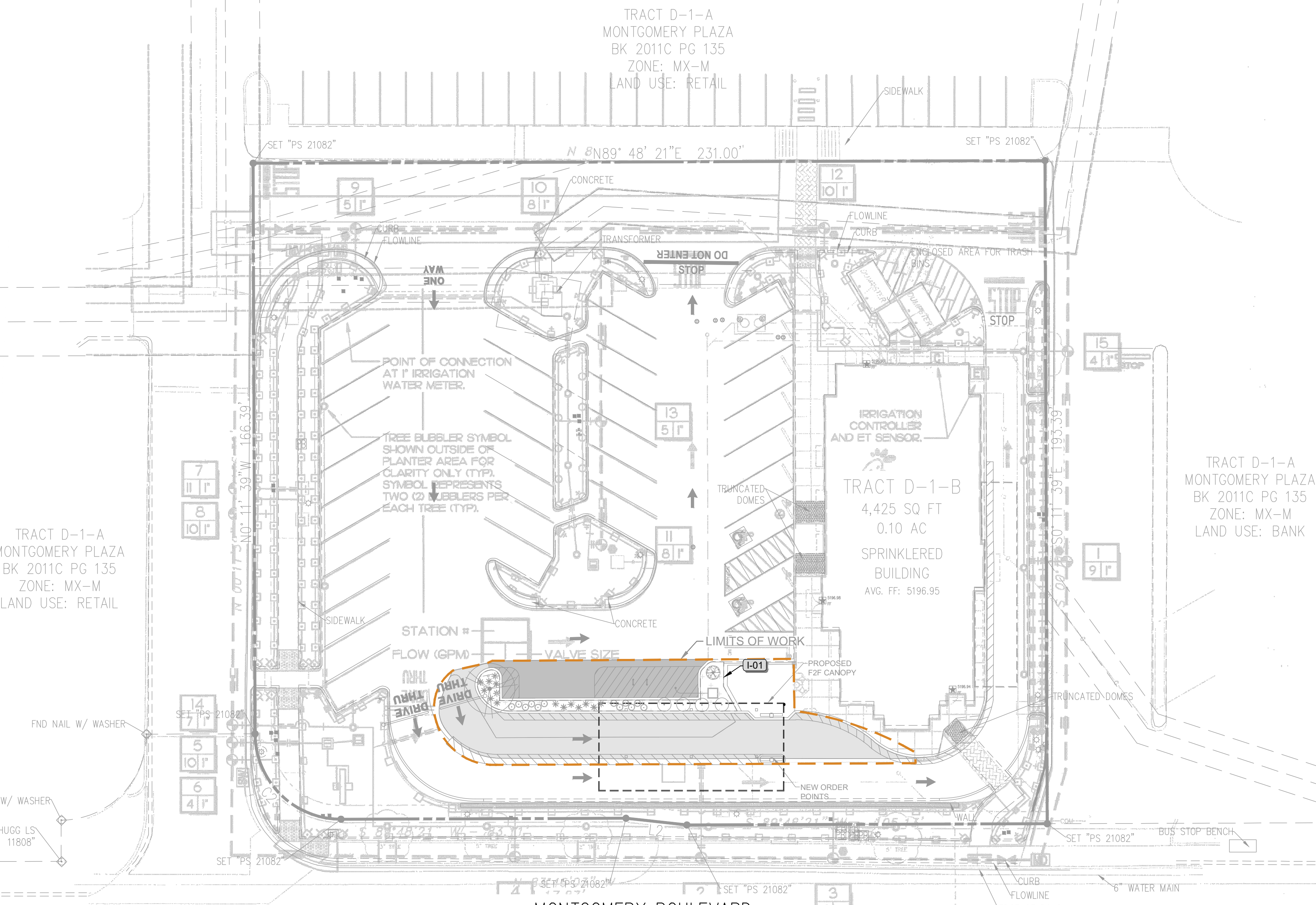
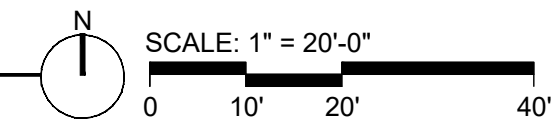
LANDSCAPE CALCULATIONS		
LOT AREA:	1.0171 ACRES (44,306 S.F.)	
TOTAL LANDSCAPE:	8,830 S.F. (20.0%)	
SHRUB AREA:	8,430 S.F.	
TURF AREA:	400 S.F.	
TOTAL LANDSCAPE AREA:	8,830 S.F.	
REQUIREMENT	REQUIRED	PROPOSED
<b>PARKING LOT SHADING</b> 1 TREE PER 10 STALLS (MIN 2' CALIPER) (PLANNING) 41/10 = 4.1	5	8
1 TREE PER 8 STALLS (ZONING) 41/8 = 5.125	6	8
<b>BUFFER</b> 10' MIN DEPTH	10'	10'-6"
<b>MINIMUM PLANT SIZES</b> TREES - 2" CALIPER SHRUBS 1 GALLON GROUNDCOVER - 75% COVERAGE WITHIN 1 SEASON		



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June 21, 2024  
 02 - L1.0  
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01 IRRIGATION PLAN UPDATES



SPRINKLER LEGEND														
SYMBOL	MANUFACTURER-MODEL#	NOZZLE	RAD	PSI	FLOW - GPM								DETAIL	
					60	70	80	90	100	110	120	130		140
TURF POP-UP SPRAY HEADS WITH 'PRECISION' SPRAY NOZZLE AND LOW-PRESSURE DESIGN														
	TORO 570Z-4LP-O-T-10	60/Q/T/150/H/210/T/T/Q/F	10'	20	.17	.23	.34	.43	.51	.58	.69	.79	1.03	A, L-2
SHRUB POP-UP SPRAY HEADS WITH 'PRECISION' SPRAY NOZZLE AND LOW-PRESSURE DESIGN														
	TORO 570Z-6LP-O-T-5	60/Q/T/150/H/210/T/T/Q/F	5'	20	0.43	0.64	0.91	1.13	1.35	1.57	1.79	2.01	2.26	B, L-2
	TORO 570Z-6LP-O-T-8	60/Q/T/150/H/210/T/T/Q/F	8'	20	1.11	1.77	2.27	2.73	3.36	4.44	4.99	5.66	6.66	
	TORO 570Z-6LP-O-T-10	60/Q/T/150/H/210/T/T/Q/F	10'	20	1.77	2.34	3.43	5.18	5.88	6.99	7.99	10.03	11.03	
	TORO 570Z-6LP-O-T-12	60/Q/T/150/H/210/T/T/Q/F	12'	20	2.53	3.74	4.99	6.24	7.44	8.99	11.5	14.8	18.8	
	TORO 570Z-6LP-O-T-15	60/Q/T/150/H/210/T/T/Q/F	15'	20	3.99	5.66	7.77	9.66	11.6	12.0	15.4	17.8	23.1	
	TORO 570Z-6LP-O-T-4X18		4X18	20	.043									
TREE BUBBLERS														
	RAIN BIRD RWS-MB-1401 SERIES	1401 BUBBLER	N/A	20	0.5 (2 X 0.25 PER TREE)								C, L-2	

EQUIPMENT LEGEND			
SYMBOL	MANUFACTURER / MODEL NUMBER	SIZE	DETAIL
	WATER METER - SEE POINT OF CONNECTION NOTE ON PLANS	1"	N/A
	HUNTER PCC-1500 AUTOMATIC CONTROLLER - WALL MOUNT IN ENCLOSURE	15 STATION	D, L-2
	HUNTER WSS WIRELESS SOLAR-SYNC ET SENSOR - MOUNT PER MANUFACTURER	N/A	E, L-2
	FEBCO 825YA SERIES REDUCED PRESSURE BACKFLOW PREVENTER	1"	F, L-2
	HUNTER PGV-10IG SERIES REMOTE CONTROL MASTER VALVE - NORMALLY OPEN	1"	G, L-2
	MAINLINE DRAIN VALVE - INSTALL PER LOCAL STANDARDS	1"	H, L-2
	SPARE WIRE STUB OUT LOCATION - LOCATE WIRES IN STANDARD VALVE BOX	2 X 14 GA	A, L-3
	NIBCO T-585-70 BRONZE BALL VALVE - FULL PORT	LINE SIZE	B, L-3
	HUNTER H044-LRC QUICK COUPLING VALVE WITH LOCKING VINYL COVER	1"	C, L-3
	HUNTER PGV-10IG SERIES REMOTE CONTROL ELECTRIC VALVE W/FLOW CONTROL	1"	D, L-3
	SCH 40 PVC IRRIGATION PRESSURE MAINLINE - 18" MINIMUM COVER	1 1/2"	E, L-3
	CLASS 200 PVC NON-PRESSURE LATERAL LINE - 12" MINIMUM COVER	PLAN SIZE	E, L-3
	SCH 40 PVC PIPE SLEEVING - EXTEND 6' BEYOND EDGE OF HARDCAPE	PLAN SIZE	F, L-3
	SCH 40 PVC WIRE SLEEVING - EXTEND 6' BEYOND EDGE OF HARDCAPE	PLAN SIZE	F, L-3
	NOT SHOWN	UF DIRECT BURIAL CONTROL WIRE WITH WATERPROOF CONNECTIONS	14 GA UF

PIPE SIZING	
	3/4" PIPE
	1" PIPE
	1 1/4" PIPE
	1 1/2" PIPE
	2" PIPE
	2 1/2" PIPE
	3" PIPE
	4" PIPE
	6" PIPE
	8" PIPE

SCH 40 PVC SLEEVING CHART		
1 1/4" SLEEVE	1-8 WIRES	1/2" PIPE
1 1/2" SLEEVE	9-16 WIRES	3/4" PIPE
2" SLEEVE	17-26 WIRES	1" PIPE
2 1/2" SLEEVE	27-38 WIRES	1 1/4" PIPE
3" SLEEVE	39-54 WIRES	1 1/2" PIPE
4" SLEEVE	55-100 WIRES	2" PIPE
6" SLEEVE	100+ WIRES	3" PIPE
8" SLEEVE	N/A	4" PIPE
12" SLEEVE	N/A	6" PIPE

NEW MEXICO ONE CALL SYSTEM, INC.

CALL BEFORE YOU DIG

CALL TOLL FREE 1-800-321-ALERT

TWO WORKING DAYS BEFORE YOU DIG

**POINT OF CONNECTION**  
MAKE IRRIGATION POINT OF CONNECTION INTO 1" IRRIGATION WATER METER. VERIFY EXACT LOCATION IN THE FIELD AND ADJUST AS NECESSARY. INSTALL BACKFLOW PREVENTER IMMEDIATELY DOWNSTREAM OF METER PER ALL LOCAL CODES. FINAL BACKFLOW PREVENTER LOCATION TO BE APPROVED IN THE FIELD BY THE OWNER OR AUTHORIZED REPRESENTATIVE. INSTALL MASTER VALVE DOWNSTREAM OF BACKFLOW DEVICE AND WIRE TO CONTROLLER PER MANUFACTURER'S DIRECTIONS. MAXIMUM DEMAND IS 11 GPM. STATIC PRESSURE AT METER IS ABOUT 52 PSI (INFORMATION FROM JEREMY HOOVER AT ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY ON 4/14/11 BY EMAIL). CONTRACTOR SHALL VERIFY STATIC PRESSURE AT METER PRIOR TO START OF WORK AND NOTIFY THE LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY IF A DISCREPANCY IS FOUND. DO NOT PROCEED WITH IRRIGATION SYSTEM INSTALLATION UNTIL ANY WATER PRESSURE RELATED ISSUES HAVE BEEN RESOLVED.

**CONTROLLER**  
INSTALL IRRIGATION CONTROLLER ADJACENT TO BUILDING AS SHOWN ON THE PLANS. INSTALL IN STRONG BOX LD-18SW STAINLESS STEEL ENCLOSURE. FINAL CONTROLLER LOCATION TO BE APPROVED IN THE FIELD BY THE OWNER OR AUTHORIZED REPRESENTATIVE. THE IRRIGATION CONTRACTOR SHALL COORDINATE 120V AC POWER TO THE FINAL CONTROLLER LOCATION WITH GENERAL CONTRACTOR AND / OR ELECTRICAL CONTRACTOR AS NECESSARY, AND PAY ALL ASSOCIATED COSTS. THE IRRIGATION CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS PER LOCAL CODES, MOUNT, GROUND, AND WIRE ALL THE CONTROL EQUIPMENT PER THE MANUFACTURER'S DIRECTIONS, THESE PLANS, AND PER ALL LOCAL CODES.

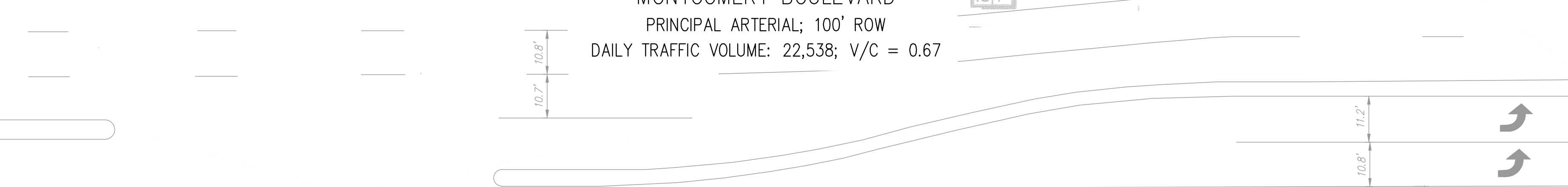
**SLEEVING**  
MAINLINE AND VALVES SHOWN OUTSIDE OF PLANTED AREAS FOR CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT IN ADJACENT PLANTED AREAS EXCEPT WHERE SLEEVING IS SHOWN ON THE PLANS. ALL PIPES AND WIRES THAT MUST RUN UNDER HARDCAPE TO BE SLEEVED IN SCH 40 PVC SLEEVES ACCORDING TO THE SLEEVING CHART.

**LOW PRESSURE SYSTEM**  
THIS IRRIGATION SYSTEM HAS BEEN DESIGN TO OPERATE AT LOW PRESSURES. UNDER NO CIRCUMSTANCE SHALL THE IRRIGATION EQUIPMENT OR THE PIPE SIZING BE CHANGED WITHOUT PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT. THE IRRIGATION EQUIPMENT SPECIFIED AND THE PIPE SIZES SPECIFIED ARE INTENDED FOR MINIMAL PRESSURE LOSSES.

**FREEZING**  
IRRIGATION CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO ACCOUNT FOR POTENTIAL FREEZING CONDITIONS. A MAINLINE DRAIN VALVE HAS BEEN PROVIDED TO AID IN MAINLINE FLUSHING. WRAP THE BACKFLOW PREVENTER WITH THERMOCEL OR EQUAL INSULATION PER THE LOCAL STANDARDS. APPLY ANY ADDITIONAL REGIONAL SPECIFIC EQUIPMENT AND / OR TECHNIQUES TO THE IRRIGATION SYSTEM TO AID IN SYSTEM PROTECTION.

**SYSTEM INFORMATION**  
WATER TYPE - POTABLE  
METER SIZE - 1"  
BACKFLOW PREVENTER SIZE - 1"  
PRESSURE REGULATOR - N/A  
MASTER VALVE - 1"  
MAXIMUM DEMAND - 11 GPM  
NUMBER OF VALVES - 15  
CONTROLLER SIZE - 15 STATION  
STATIC PRESSURE AT METER - 52 PSI

MONTGOMERY BOULEVARD  
PRINCIPAL ARTERIAL; 100' ROW  
DAILY TRAFFIC VOLUME: 22,538; V/C = 0.67



02 IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5 GPH=BLUE, 1.0 GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. EMITTER NOTES: 1 GAL SHRUB TO RECEIVE 2 OF 1.0 GPH EMITTERS. 1 GAL GRASS/PERENNIAL TO RECEIVE 1 OF 0.5 GPH EMITTERS. 5 GAL SHRUB TO RECEIVE 2 OF 1.0 GPH EMITTERS. ALL TREES TO RECEIVE 6 OF 2.0 GPH EMITTERS. 4" POT PLANT TO RECEIVE 1 OF 0.5 GPH EMITTER.

03 KEY NOTES

SYMBOL	IRRIGATION DESCRIPTION
	CONTRACTOR TO TIE INTO EXISTING IRRIGATION SYSTEM AT THIS LOCATION, PER APPROVED IRRIGATION PLANS (REV #5) EXTANT LATERAL IS "IRRIGATION LATERAL LINE: POLYETHYLENE AND PVC CLASS 160 209.1 L.F. POLYETHYLENE SIDR-7 UP TO 1-1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.

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NO.	DATE	DESCRIPTION

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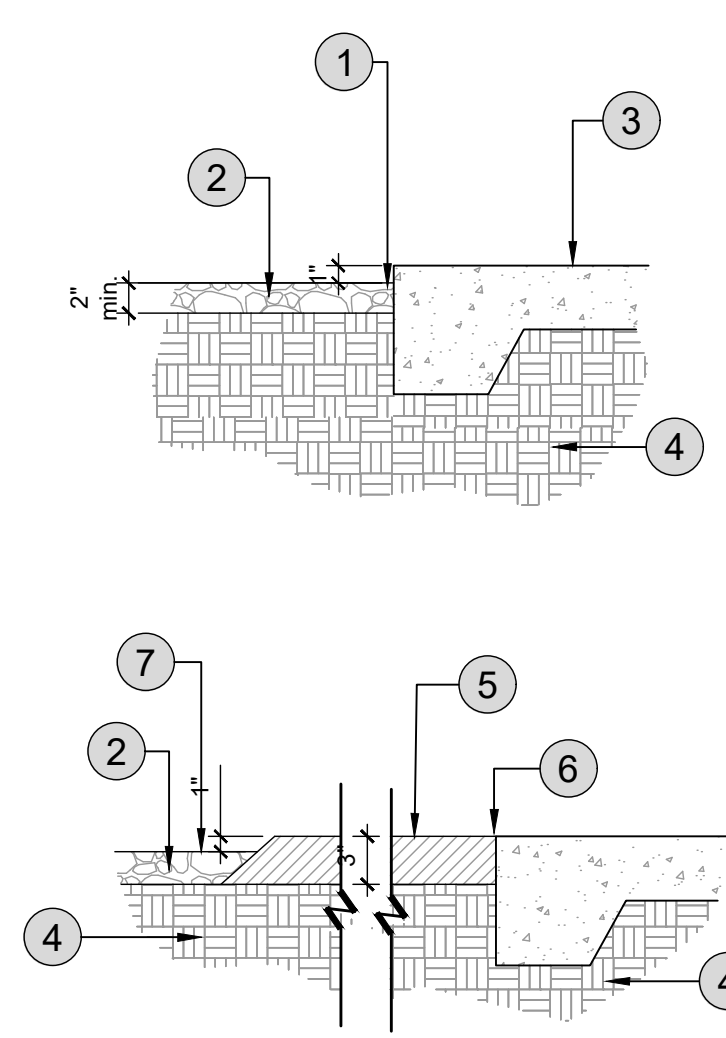
IRRIGATION PLAN

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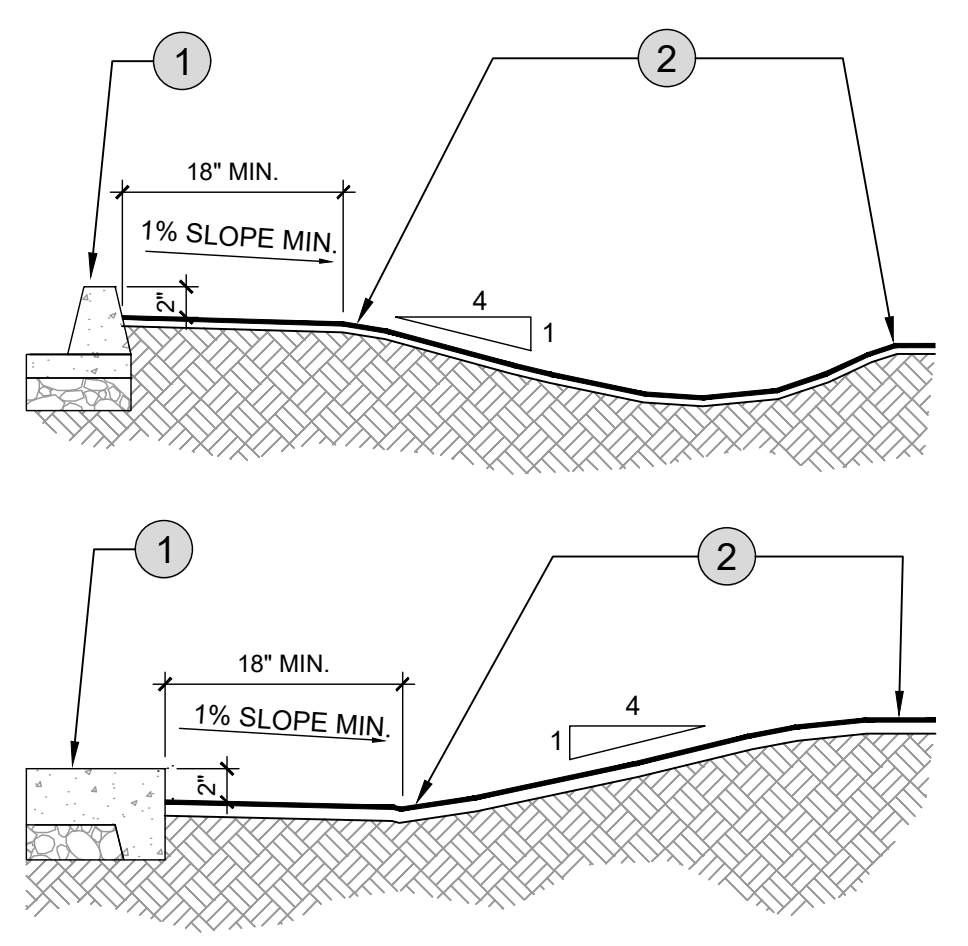
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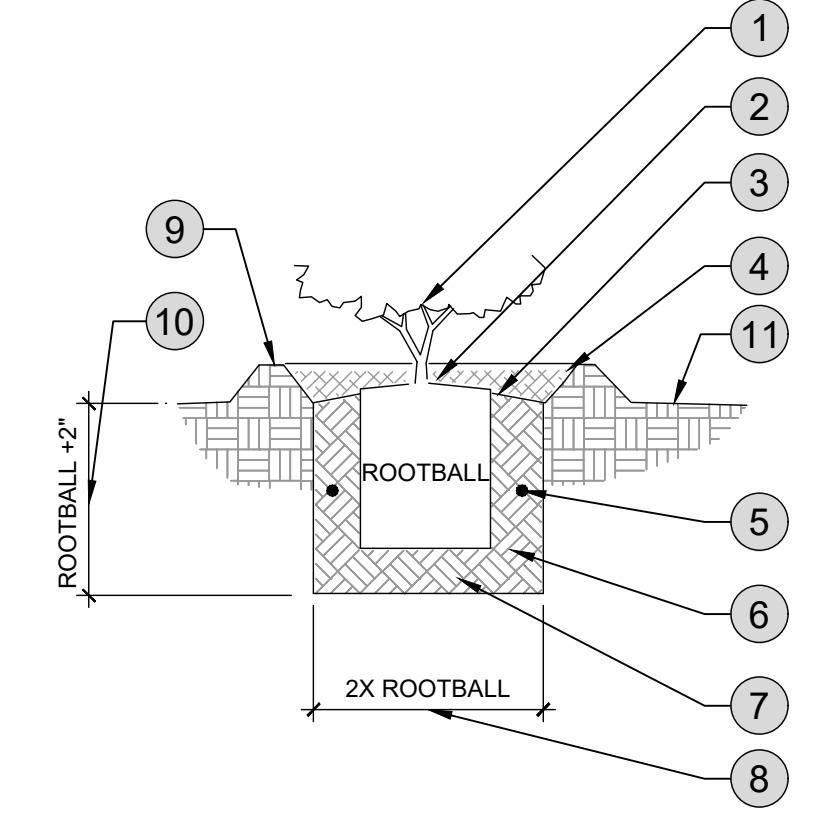
- 1 FINAL GRADE - GRADING CONTRACTOR TO COMPLETE WORK WITHIN +/- 0.10 FEET AND ALLOW FOR 2" OF DECORATIVE ROCK
- 2 DECORATIVE ROCK MULCH
- 3 HARDSCAPE (WALK, CONCRETE, PAVERS, ETC) REFER TO GRADING PLANS
- 4 COMPACTED SUBGRADE
- 5 3" THICK STABILIZED DECOMPOSED GRANITE, 45 DEG. TURNDOWN AFTER WIDTH OF PLAZA, TRAIL, ETC.
- 6 FLUSH AT EDGE OF ADJACENT HARDSCAPE
- 7 FINISH GRADE AT LANDSCAPE

- NOTES:
1. CONTRACTOR TO PROVIDE 10' SECTION MOCK UP OF 10' STABILIZED DECOMPOSED GRANITE (DG) PATH FOR APPROVAL PRIOR TO CONTINUATION OF WORK.
  2. STABILIZED DG TO BE PREMIXED OFF SITE.
  3. TOTAL DEPTH OF DG PATH TO BE 3" AND INSTALLED IN TWO LIFTS WITH TACKIFIER AND PER MANUFACTURE'S RECOMMENDATIONS.



- 1 TOP OF HARDSCAPE (WALK, CURB, ETC.)
- 2 REVERSE CURVE FINISHED GRADE TO CREATE SMOOTH TRANSITION

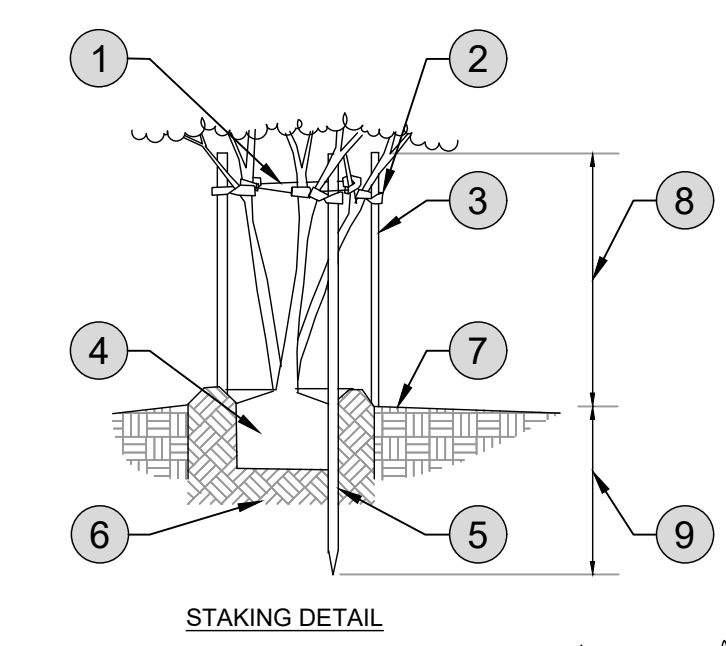
- NOTES:
1. ALL EARTHWORK TO BE PLACED AND WORKED SO THAT ALL WATER DRAINS AWAY FROM SIDEWALKS AND STRUCTURES.
  2. GRADE ALL MATERIAL TO FINISHED GRADE.
  3. REVERSE GRADE EARTH WORK TO CREATE SMOOTH TRANSITIONS BETWEEN SLOPES.



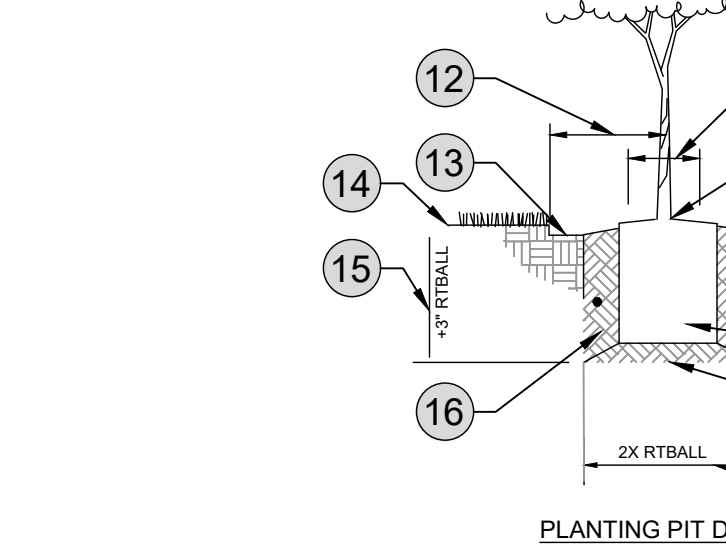
- 1 SHRUB / ACCENT
- 2 1" HIGHER THAN SURROUNDING FINISHED GRADE.
- 3 SLOPE FINISHED GRADE AT BACKFILL AWAY FROM ROOTBALL.
- 4 MULCH TO 2" DEPTH AT WATER WELL.
- 5 PLANT TABLETS AS NOTED OR SPECIFIED.
- 6 BACKFILL MIX. SEE NOTES AND SPECS.
- 7 NATIVE SOIL MIX FIRMLY COMPACTED
- 8 12" AT 1 GAL.  
22" AT 5 GAL.  
32" AT 15 GAL.
- 9 WATER WELL: 4" HIGH AT SHRUB, NO WATER WELL AT LAWN AREA.
- 10 8" AT 1 GAL.  
14" AT 5 GAL.  
20" AT 15 GAL.
- 11 FINISHED GRADE

- NOTES:
1. SCARIFY BOTTOM & SIDES OF PLANTING PIT.
  2. SET CROWN OF ROOTBALL 1-2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
  3. DO NOT COVER CROWN WITH SOIL.
  4. SETTLE BACKFILL BY WATERING AND REMOVING AIR POCKETS/COMPACTING.
  5. SHRUBS AND ACCENTS SHALL BE MAINTAINED IN THEIR NATURAL FORM. OVER PRUNING AND/OR "BALLING" IS PROHIBITED.

**1 GRADE AT HARDSCAPE-CURB / WALK**  
1" = 1'-0" P-CH2-02



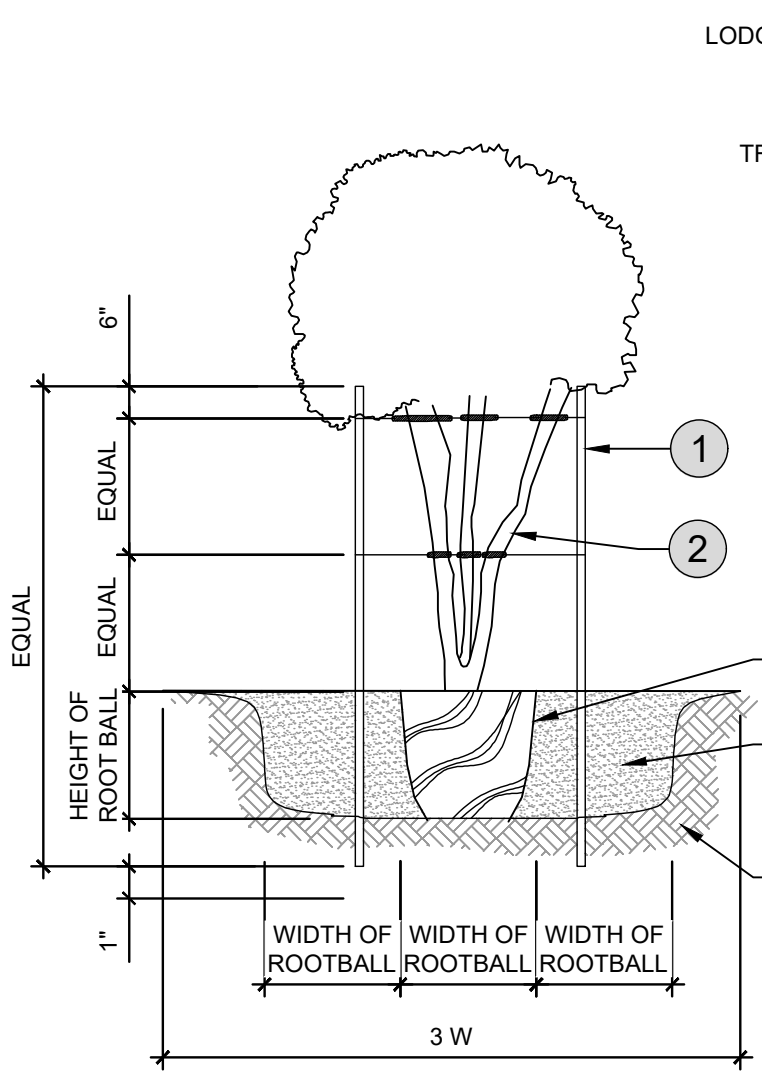
- 1 AERIAL GUY CABLES TO CONNECT TRUNKS: 9 GA CABLE W/ CLEAR PLASTIC COATING THRU 5/8" DIA. RUBBER HOSE TIE.
- 2 "CINCH-TIE", "GRO-STRAIT", OR EQ. FLEXIBLE RUBBER TREE TIES IN FIGURE EIGHT FASHION. ATTACH TO STAKE W/ 2 GALV. ROOFING NAILS
- 3 2" LODGEPOLE PINE TREATED TREE STAKES. SET STAKES APPROXIMATELY 120 DEGREES APART.



- 4 ROOTBALL
- 5 AVOID PLACING STAKES THRU ROOTBALL.
- 6 SEE PLANT PIT DETAIL
- 7 FINISH GRADE
- 8 6 FT TO 8 FT AT BOX TREE 5 FT TO 7 FT AT 15 GALLON
- 9 48" AT BOX TREE 36" AT 15 GALLON
- 10 SET ROOTBALL CROWN 1 1/2" HIGHER THAN THE SURROUNDING FINISHED GRADE. SLOPE BACKFILL AWAY FROM ROOTBALL FOR POSITIVE DRAINAGE
- 11 KEEP MULCH 6" - 8" FROM BASE OF TREE.
- 12 KEEP TURF CLEAR FOR A 18" RADIUS CIRCLE AROUND THE TREE. MULCH W/ A 3" THICK LAYER OF SHREDDED BARK.
- 13 RECESS TURF AREA 1" TO ALLOW FOR MULCH
- 14 FINISHED GRADE AT LAWN
- 15 20" AT 15 GAL 22" AT 24" BOX 26" AT 30" BOX 30" AT 36" BOX
- 16 BACKFILL MIX, SEE NOTES AND SPECIFICATIONS.
- 17 3" HIGH WATER WELL
- 18 FINISH GRADE AT SHRUBS
- 19 SEE TREE WELL DETAIL
- 20 NATIVE SOIL MIX FIRMLY COMPACTED.
- 21 32" AT 15 GALLON 48" AT 24" BOX 60" AT 30" BOX 72" AT 36" BOX

- NOTES:
1. SCARIFY BOTTOM & SIDES OF PIT, AND BORE HOLES ON ALL PITS (SEE PLANTING PIT DETAIL).
  2. SET CROWN OF ROOTBALL 1-2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
  3. DO NOT COVER CROWN WITH SOIL.
  4. SETTLE BACKFILL BY WATERING AND REMOVING AIR POCKETS/COMPACTING.
  5. STAKE TREE TO ALLOW FOR SOME FLEXIBILITY AND MOVEMENT IN WIND.
  6. TREES SHALL BE MAINTAINED IN THEIR NATURAL FORM. OVER PRUNING AND/OR "BALLING" IS PROHIBITED.

**2 GRADE TRANSITION: SWALE / BERM & HARDSCAPE**  
1" = 1'-0" P-CH2-05



- LODGEPOLE (3) PER TREE  
TREE STRAP

- STAKING PROCEDURE
1. INSTALL LODGEPOLES.
  2. ATTACH TREE STRAPS TO ALL TRUNKS.
  3. SECURE NO. 10 GAUGE PLIABLE ZINC COATED IRON WIRE AND THREAD THROUGH GROMMETS.
  4. SECURE NO. 10 GAUGE WIRE FROM GROMMETS ON TREE STRAP TO LODGEPOLES.

- 1 3 - LODGEPOLE STAKES 3" DIAMETER, POSITION STAKES TO AVOID RUBBING BRANCHES AND PIERCING ROOT BALL (AS PER SPECIFICATIONS); STAKE MUST EXTEND A MINIMUM OF 12" INTO UNDISTURBED SUBGRADE; LODGEPOLE SHALL BE CUT TO AVOID DAMAGE TO TREE LIMBS
- 2 18" POLYPROPYLENE TREE STRAP, BEIGE; ADDITIONAL AS REQUIRED DUE TO WEATHER CONDITIONS
- 3 ROOT BALL
- 4 SOIL BACKFILL MIX ( AS
- 5 UNDISTURBED SUBGRADE

**4 15 GAL, 40 GAL, 24" BOX AND 36" BOX TREE PLANTING**  
1/16" = 1'-0" P-CH2-04

**5 MULTI-TRUNK TREE PLANTING**  
1/4" = 1'-0" P-CH2-26



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01 LANDSCAPE NOTES

A. PERMITS AND SURVEYS

- THE CONTRACTOR SHALL ESTABLISH ALL LOT LINES AND RESTRICTIONS. ALL OTHER LINES, GRADES AND LEVELS SHALL BE ESTABLISHED BY THE CONTRACTOR. AND HE SHALL VERIFY ALL DIMENSIONS, LINES AND GRADES INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL FURNISH ALL SURVEYS, PERMITS AND LICENSES REQUIRED FOR EXECUTION OF THE WORK SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL GIVE ALL NOTICES, CALL FOR INSPECTIONS, AND COMPLY WITH ALL LAWS AND ORDINANCES BEARING ON THE WORK.
- B. CONTRACTOR'S RESPONSIBILITIES THE CONTRACTOR SHALL GIVE EFFICIENT SUPERVISION TO THE WORK, USING HIS BEST SKILL AND ATTENTION. WHEN ABSENT FROM THE JOB, HE SHALL APPOINT A SUPERVISOR CAPABLE OF DISCUSSING MINOR MATTERS WITH THE CONTRACTOR ON THE SITE. HE SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, SPECIFICATIONS AND OTHER INSTRUCTIONS FOR THE WORK. ANY WORK INDICATED IN A MANNER WHICH WOULD MAKE IT DIFFICULT TO PRODUCE FIRST CLASS WORK, OR ANY DISCREPANCIES OR CONFLICTS WHICH APPEAR BETWEEN DRAWINGS AND SPECIFICATIONS AND LOCAL ORDINANCES OR RESTRICTIONS SHALL BE REFERRED TO THE CONTRACTOR FOR INTERPRETATION OR CORRECTION BEFORE PROCEEDING WITH WORK. ANY ALLEGED EXTRA SHALL BE PRESUMED TO BE PART OF THE CONTRACT WITHOUT ADDITIONAL CHARGE UNLESS CERTIFIED BY CONTRACTOR.
  - C. HIDDEN OBSTACLES PRIOR TO CUTTING INTO THE SOIL, THE CONTRACTOR SHALL LOCATE ALL CABLES, CONDUITS, WATER, GAS, ELECTRIC, SEWERS, SEPTIC TANKS AND SUCH OTHER UTILITIES AS ARE COMMONLY ENCOUNTERED UNDERGROUND, AND HE SHALL TAKE PROPER PRECAUTION AS NOT TO DAMAGE OR DISTURB SUCH IMPROVEMENTS. IF A CONFLICT EXISTS BETWEEN SUCH OBSTACLES AND THE PROPOSED WORK, HE SHALL PROMPTLY NOTIFY THE LANDSCAPE ARCHITECT WHO WILL ARRANGE FOR RELOCATION. CONTRACTOR WILL PROCEED IN THE SAME MANNER IF ROCK LAYERS, OR ANY OTHER CONDITION ENCOUNTERED UNDERGROUND MAKES CHANGES ADVISABLE.
  - D. FINAL INSPECTION UPON COMPLETION OF WORK IN ITS ENTIRETY, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE WHO WILL ARRANGE FOR FINAL INSPECTION AT WHICH TIME THE CONTRACTOR SHALL BE PRESENT. ANY ASSUMED OR EXISTING VARIANCE OR OMISSION SHALL BE NOTED AT THIS TIME, AND THE CONTRACTOR SHALL STIPULATE WHEN AND HOW HE WILL RECTIFY SAID VARIANCE. WHEN THESE CHANGES, IF ANY, HAVE BEEN CARRIED OUT AND THE AREAS OF WORK CLEANED, THE JOB SHALL BE CONSIDERED COMPLETED AND THE GENERAL CONTRACT EXECUTED.
  - E. RESPONSIBILITY FOR WORKMANSHIP NEITHER COMPLETION OF THE JOB NOR FINAL PAYMENT SHALL RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR GUARANTEE STATED IN THE CONTRACT, OR OF RESPONSIBILITY FOR FAULTY MATERIALS OR POOR WORKMANSHIP. THE CONTRACTOR SHALL PROMPTLY REMEDY ANY DEFECTS WHICH OCCUR DURING THE GUARANTEE PERIOD. NOTICE OF OBSERVED DEFECTS WILL BE FORWARDED TO THE CONTRACTOR BY THE OWNER'S REPRESENTATIVE IN DUPLICATE. CONTRACTOR WILL RETURN ONE (1) COPY TO THE OWNER'S REPRESENTATIVE, NOTING THEREON WHAT ACTION WAS TAKEN. ALL QUESTIONS ARISING UNDER THIS ARTICLE SHALL BE DECIDED BY THE OWNER'S REPRESENTATIVE.
  - F. TERMINATION OF CONTRACT THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO TERMINATE THE CONTRACT IF IN HIS REASONABLE OPINION THE CONTRACTOR IS NOT PERFORMING THE CONTRACT AS REQUIRED. OWNER'S REPRESENTATIVE WILL REMUNERATE CONTRACTOR FOR WORK TO DATE OF TERMINATION.
  - G. INSURANCE CONTRACTOR AS WELL AS HIS SUB-CONTRACTORS, SHALL NOT COMMENCE WORK PRIOR TO OBTAINING THE NECESSARY INSURANCE POLICIES OUTLINED IN THE CONSTRUCTION AGREEMENT. THESE POLICIES SHALL BE MAINTAINED DURING THE LIFE OF THE CONTRACT AND SHOULD BE PRODUCED TO THE OWNER'S REPRESENTATIVE UPON REQUEST.
  - H. COMPLIANCE WITH BUILDING CODES ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH ALL LAWS, ORDINANCES, AND REGULATIONS APPLICABLE.
  - I. INTERPRETATION OF DRAWINGS AND DOCUMENTS
    1. SHOULD A CONTRACTOR FIND DISCREPANCIES IN, OR OMISSION FROM THE DRAWINGS OR SPECIFICATIONS, OR SHOULD HE BE IN DOUBT AS TO THEIR MEANING, HE SHALL AT ONCE NOTIFY THE LANDSCAPE ARCHITECT, AND IMMEDIATELY CONFIRM SAME IN WRITING.
    2. SHOULD THE CONTRACTOR DISCOVER ANY POINTS OF CONFLICT BETWEEN THE WORK AND ANY RULES, LAWS, OR ORDINANCES OF THE MUNICIPALITY IN WHICH THE WORK IS TO BE PERFORMED, HE SHALL NOTIFY THE LANDSCAPE ARCHITECT AT ONCE AND IMMEDIATELY CONFIRM SAME IN WRITING.
    3. SHOULD THE OWNER'S REPRESENTATIVE FIND IT NECESSARY TO ISSUE A CLARIFICATION OR CHANGE, A WRITTEN ADDENDUM WILL BE DELIVERED TO ALL BIDDERS
    4. ADDENDUM ANY AND ALL ADDENDA ISSUED BY THE OWNER'S REPRESENTATIVE DURING THE TIME OF BIDDING SHALL FORM A PART OF THE DRAWINGS, SPECIFICATIONS, AND CONTRACT DOCUMENTS, AND SHALL BE INCLUDED BY THE CONTRACTOR IN HIS PROPOSAL.

1.02 GENERAL CONDITIONS

- A. GENERAL
  1. THE TERMS AND DEFINITIONS STATED IN THESE GENERAL CONDITIONS SHALL APPLY TO ALL SECTIONS OF THE SPECIFICATIONS AS SET FORTH FULLY THEREIN.
  2. THE INDICATIONS ON THE DRAWINGS OR THE REQUIREMENTS OF THE SPECIFICATIONS AND LISTINGS SHALL BE AS BINDING AS THOUGHT SHOWN AND/OR REQUIRED BY BOTH.
  3. ALL PART OF THE WORK SPECIFIED HEREIN AND/OR INDICATED ON THE PLANS, MAY BE COMPLETED BY SEPARATE CONTRACTORS AND IT SHALL BE THE RESPONSIBILITY EACH CONTRACTOR TO DETERMINE THE EFFECT OF THEIR WORK UPON THE WORK OF OTHERS. THE LANDSCAPE CONTRACTOR, HOWEVER, IS TO COORDINATE THE VARIOUS TRADES, UNDER HIS JURISDICTION.
  4. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE BUILDING REQUIREMENTS AND ORDINANCES EVEN THOUGH SUCH REQUIREMENTS ARE NOT SPECIFICALLY MENTIONED HEREIN. ANY WORK IN CONFLICT WITH SUCH REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BY THE CONTRACTOR AND THE CONTRACTOR SHALL NOT PROCEED WITH SUCH WORK WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- B. DEFINITIONS
  1. CONTRACTOR SHALL MEAN THE CONTRACTOR OR HIS SUB-CONTRACTOR, OR HIS SUPPLIER PERFORMING WORK FOR THE CONTRACTOR.
  2. WORK SHALL MEAN ALL LABOR, MATERIAL, EQUIPMENT, SERVICES, PERMITS, AND LICENSES, NECESSARY TO FURNISH AND/OR INSTALL IN PLACE ALL MATERIALS, EQUIPMENT AND/OR APPLIANCES SPECIFIED IN ANY ONE SECTION AND/OR SHOWN ON THE PLANS AND/OR SPECIFICATIONS.
  3. FURNISH SHALL MEAN TO PURCHASE AND DELIVER ALL MATERIALS, EQUIPMENT, OR APPLIANCES SPECIFIED IN ANY ONE SECTION AND/OR SHOWN ON THE PLANS AND/OR SPECIFICATIONS.
  4. INSTALL SHALL MEAN ALL LABOR, MATERIAL, EQUIPMENT, SERVICES NECESSARY TO SET IN PLACE, CONNECT, HOOK-UP AND/OR MAKE READY FOR OPERATION ALL MATERIALS, EQUIPMENT AND/OR APPLIANCES FURNISHED BY THE CONTRACTOR AND/OR BY OTHERS.
  5. CONTRACT SHALL CONSIST OF THE WRITTEN AGREEMENT BETWEEN THE OWNER OR OWNER'S REPRESENTATIVE AND THE CONTRACTOR, PLANS, GENERAL CONDITIONS, AND ENTIRE SPECIFICATION SECTION FOR THE WORK BEING PERFORMED AND WHAT IS INDICATED IN ONE PART SHALL BE AS BINDING AS IF INDICATED IN ALL PARTS.
  6. CONSTRUCTION SITE SHALL MEAN THE SITE AS INDICATED BY PLANS AND SPECIFICATIONS.
  7. GUARANTEE UNLESS OTHERWISE SPECIFIED HEREIN, THE CONTRACTOR, UPON COMPLETION OF THE ENTIRE WORK DESCRIBED IN THE CONTRACT, SHALL PROVIDE THE OWNER'S REPRESENTATIVE WITH A WRITTEN GUARANTEE STATING THAT ALL WORK PERFORMED AS A PART TO THE CONTRACT IS FULLY GUARANTEED FOR A PERIOD OF ONE 365 DAYS FROM THE DATE OF ACCEPTANCE, AND THAT DURING SAID 365 DAY PERIOD, ALL DEFECTIVE WORKMANSHIP AND/OR MATERIALS SHALL BE REPAIRED AND/OR REPLACED IN PLACE, INCLUDING ANY WORK OR OTHER WHICH HAS BEEN DAMAGED BY SUCH DEFECTIVE WORKMANSHIP AND/OR MATERIALS AND BY THE REPAIR AND/OR REPLACEMENT OF SAME, AT NO ADDITIONAL COST TO THE OWNER.
  8. ADD QN'S (EXTRAS) A PURCHASE ORDER IS TO BE ISSUED TO THE CONTRACTOR PRIOR TO THE EXECUTION OF WORK OTHER THAN SPECIFIED IN THE CONTRACT. THE CONTRACT CANNOT BE AMENDED OR ADDED TO EXCEPT BY AN AMENDMENT OR PURCHASE ORDER SIGNED BY THE OWNER'S REPRESENTATIVE. ANY WORK PERFORMED WITHOUT SUCH AN EXECUTED WRITING SHALL BE PRESUMED TO HAVE BEEN INCLUDED IN THE CONTRACT WITHOUT ADDITIONAL CHARGE.

GENERAL WORK PROCEDURES

2.01 SOILS

- A. STOCKPILED NATIVE SOIL
  1. STOCKPILED NATIVE SOIL MAY BE AVAILABLE FROM OWNER'S STOCKPILE FOR USE IN PLANTING AREAS. SOILS FOR TURF BEDS ARE CLASSIFIED AS BY "3/8" INCH MINUS"; SOILS FOR GENERAL MOUNDING ARE CLASSIFIED AS "2 INCH MINUS"
  2. COMPOSITION 3/8 INCH MINUS: FERTILE, FRIABLE, WELL-DRAINED SOIL OF UNIFORM QUALITY; FREE OF MATERIAL LARGER THAN 3/8" DIAMETER, STICKS, PLASTER, CONCRETE, OILS, CHEMICALS, AND OTHER DELETERIOUS MATERIALS.
  3. COMPOSITION 2 INCH MINUS: FERTILE, FRIABLE, WELL-DRAINED SOIL OF UNIFORM QUALITY; FREE OF MATERIAL LARGER THAN 2" DIAMETER, STICKS, PLASTER, CONCRETE, OILS, CHEMICALS, AND OTHER DELETERIOUS MATERIALS.
  4. ANALYSIS: IF SOIL HAS NOT BEEN TESTED, OBTAIN AN AGRICULTURAL SUITABILITY AND CHEMICAL ANALYSIS OF THE PROPOSED SOIL FROM HORTICULTURE CONSULTANTS, INC. OR OTHER CONSULTANT APPROVED BY OWNER. COST OF TESTING WILL BE PAID FOR BY THE CONTRACTOR. ANALYSIS TO INCLUDE:
    - a. ELEMENT ANALYSIS: NITRATE NITROGEN, PHOSPHORUS, POTASSIUM, CALCIUM, MAGNESIUM, SULFUR, SODIUM, ZINC, IRON, COPPER, MANGANESE, BORON, FREE LIME.
    - b. OTHER: PH FACTOR, % BASE SATURATION, ELECTRICAL CONDUCTIVITY, MECHANICAL ANALYSIS, % OF ORGANIC CONTENT, CATION EXCHANGE CAPACITY (C.E.C).
    - c. RECOMMENDATIONS: TYPE AND QUANTITY OF ADDITIVES REQUIRED TO ESTABLISH SATISFACTORY PH FACTOR AND SUPPLY OF NUTRIENTS TO BRING TOPSOIL TO SATISFACTORY LEVEL FOR PLANTING.
  5. IF REQUIRED, THE OWNER'S STOCKPILED SOIL WILL BE AMENDED; THIS WORK IS NOT IN THE CONTRACT AND THE CONTRACTOR WILL BE COMPENSATED FOR IT ON A TIME AND MATERIALS BASIS. RATES FOR LABOR AND EQUIPMENT WILL BE CHARGED ACCORDING TO THE CONSTRUCTION AGREEMENT.
- B. IMPORTED SOIL
  1. COMPOSITION: TO MATCH OR EXCEED IN QUALITY THE 3/8" MINUS NATIVE SOIL, AS DETERMINED BY ANALYSIS DESCRIBED. SUBMIT TEST RESULTS TO OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO ORDERING MATERIAL.
  2. SAMPLE: DELIVER ONE HALF CUBIC FOOT SAMPLE OF PROPOSED IMPORT SOIL TO LANDSCAPE ARCHITECT FOR APPROVAL. OWNER RESERVES THE RIGHT TO REJECT SOIL DELIVERED TO THE SITE THAT DOES NOT MEET THE APPROVED TEST RESULTS AND/OR THE SPECIFICATIONS.
  3. SOIL CONDITIONING
    1. DELIVER PRODUCTS IN MANUFACTURER'S STANDARD PACKAGING. WHEN BULK MATERIALS ARE MADE, PROVIDE OWNER'S REPRESENTATIVE WITH BILL OF LADENING FOR EACH DELIVERY. TRANSPORT ORGANIC AMENDMENTS DIRECTLY FROM THE SOURCE TO THE STAGING AREA AND STOCKPILE AS DIRECTED BY THE OWNER.
    2. STORE PRODUCTS TO PROTECT THEM FROM DAMAGE AND CONTAMINATION AND COMPLY WITH MANUFACTURER'S STORAGE INSTRUCTIONS.
    3. COORDINATE WORK WITH OTHER SITE WORK.
    4. INSPECT JOB FOR CONDITIONS WHICH WOULD PREVENT EXECUTION OF THIS WORK AS SPECIFIED. DO NOT PROCEED UNTIL SUCH CONDITIONS ARE CORRECTED.
    5. TRUCKS AND VEHICLES SHALL NOT BE PERMITTED TO PASS OVER CURBS, PAVING, ETC., UNLESS ADEQUATELY PROTECTED AGAINST DAMAGE.
    6. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO TAKE AND ANALYZE SAMPLE OF MATERIALS FOR CONFORMITY TO SPECIFICATIONS AT ANY TIME. FURNISH SAMPLES UPON REQUEST BY LANDSCAPE ARCHITECT.
    7. IMMEDIATELY REMOVE REJECTED MATERIALS FROM THE SITE, AT CONTRACTOR'S EXPENSE. COST OF TESTING OF MATERIALS NOT MEETING SPECIFICATIONS SHALL BE PAID BY CONTRACTOR.
    8. INCORPORATE THE FOLLOWING IN AREAS TO BE PLANTED. THOROUGHLY CULTIVATE SOIL IN TWO DIRECTIONS TO A DEPTH OF 12" FOR SHRUB AREAS, AND 4"-6" FOR LAWN AND GROUND COVER AREAS, BOTH BY MEANS OF ROTOTILLER OR EQUAL.

- PROGRAM RECOMMENDATIONS / LANDSCAPE AREAS:  
 GENERAL SOIL PREPARATION. APPLY PER 1000 SQUARE FEET: 4 CUBIC YARDS CLASS 1 COMPOST, (BIOCOMP OR EQUAL), APPLY PH AMENDMENTS AS RECOMMENDED BY SOIL TEST REPORT. NOTE: RAISED PLANTERS SHALL BE BACK FILLED WITH ON SITE SOIL THEN AMENDED AS ABOVE. SEE LANDSCAPE ARCHITECT TO DETERMINE DEFINITION OF RAISED PLANTER.
9. BACK FILL: BACK FILL MIX - SEE PLANTING DETAILS. 1 PART BY VOLUME COMPOST TO 2 PARTS NATIVE SOIL. 1 LB. APPLY PH AMENDMENTS AS RECOMMENDED BY SOIL TEST REPORT. THE ABOVE MATERIALS SHOULD BY THOROUGHLY BLENDED PRIOR TO USE FOR BACKFILL PURPOSES. ALSO, IRON SULFATE SHOULD NOT CONTACT CEMENT SURFACES SINCE SEVERE STAINING COULD OCCUR.
  10. NATIVE PLANT FERTILIZATION: NATIVE PLANTS DO NOT NEED TO BE FERTILIZED. NATIVE PLANTS SHALL RECEIVE AMENDED SOIL BACKFILL AT A RATE OF 2 PARTS NATIVE SOIL AND 1 PART CLASS I COMPOST (BIOCOMP OR EQUAL). MYCORRHIZAE TREATMENTS MAY BE PERFORMED WITHIN PLANTING PIT WITH APPROVAL OF LANDSCAPE ARCHITECT AND OWNER. MYCORRHIZAL TREATMENTS MUST CONSIST OF SEVERAL ECTO AND ENDO FUNGI, AND BE PROVIDED WITH A FOOD SOURCE AND OTHER NATURAL MINERALS.

- 2.02 CHEMICAL COMPONENTS:  
 THE FOLLOWING ADDITIVES MAY BE USED DEPENDING ON THE OUTCOME OF THE SOILS REPORT:
- A. GROUND LIMESTONE: AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES, GROUND TO SUCH FINENESS THAT 50% WILL PASS #100 SIEVE AND 90% WILL PASS #20 SIEVE.
  - B. DOLOMITE LIME: AGRICULTURAL GRADE MINERAL SOIL CONDITIONER CONTAINING 35% MINIMUM MAGNESIUM CARBONATE AND 49% MINIMUM CALCIUM CARBONATE. 100% PASSING #65 SIEVE. "KAISER DOLOMITE 65AG" AS MANUFACTURED BY KAISER, INC. MINERAL PRODUCTS DEPT, OR EQUAL.
  - C. GYPSUM: AGRICULTURAL GRADE PRODUCT CONTAINING 80% MINIMUM CALCIUM SULFATE.
  - D. IRON SULFATE (FERRIC OR FERROUS): SUPPLIED BY A COMMERCIAL FERTILIZER, CONTAINING 20% TO 30% IRON AND 35% TO 40% SULFUR.
  - E. SULFATE OR POTASH: AGRICULTURAL GRADE CONTAINING 50% TO 53% OF WATER-SOLUBLE POTASH.
  - F. SINGLE SUPERPHOSPHATE: COMMERCIAL PRODUCT CONTAINING 20% TO 25% AVAILABLE PHOSPHORIC ACID.
  - G. AMMONIUM SULFATE: COMMERCIAL PRODUCT CONTAINING APPROXIMATELY 21% AMMONIA NITROGEN.
  - H. AMMONIUM FORMALDEHYDE: GRANULAR COMMERCIAL PRODUCT CONTAINING 34% AMMONIA NITROGEN.
  - I. UREA FORMALDEHYDE: GRANULAR COMMERCIAL PRODUCT CONTAINING 38% NITROGEN.
  - J. I.B.D.U. (ISO BUTYLDIENE DIUREA): COMMERCIAL PRODUCT CONTAINING 31% NITROGEN.
  - K. SOIL SULFUR: AGRICULTURAL GRADE SULFUR CONTAINING A MINIMUM OF 96% SULFUR.
  - L. IRON SEQUESTRENE: GEIGY IRON SEQUESTRENE 138 FE, OR APPROVED EQUAL.

- 2.03 TOP SOIL APPLICATION
- A. GENERAL: SPREAD TOPSOIL OVER ACCEPTED SUBGRADES IN DESIGNATED AREAS PRIOR TO INCORPORATING AMENDMENTS.
  - B. RESTRICTIONS: DO NOT COMMENCE SPREADING TOPSOIL PRIOR TO ACCEPTANCE OF SOIL CULTIVATION. DO NOT PLACE SOIL UNDER MUDDY CONDITIONS.
  - C. SOIL DEPTH: TOPSOIL DEPTH INDICATED IN THE CONSTRUCTION DOCUMENTS IS AFTER NATURAL SETTLEMENT AND LIGHT ROLLING. CONFORM TO FINISHED GRADES ON THE CIVIL DRAWINGS. PLANTING SPECIFICATIONS GENERAL FOR TREES, SHRUBS AND GROUND COVER.

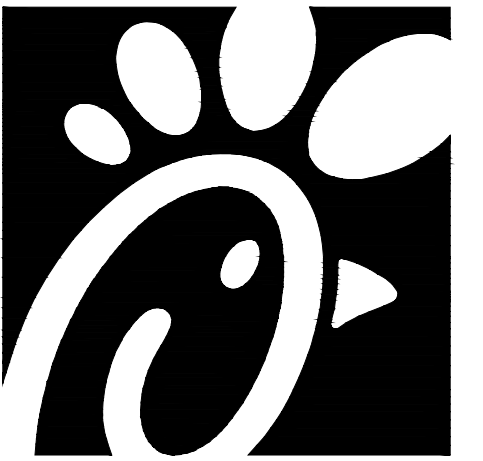
- 3.01 QUALITY ASSURANCE
- A. COMPLY WITH FEDERAL, STATE AND LOCAL LAWS REQUIRING INSPECTION FOR PLANT DISEASE AND INFESTATIONS. INSPECTION CERTIFICATES REQUIRED BY STATE LAW SHALL ACCOMPANY EACH SHIPMENT OF PLANTS AND DELIVER CERTIFICATES TO THE OWNER. INSPECTIONS ARE TO BE PERFORMED IN THE STATE OF ORIGIN.
  - B. TRANSPORT PLANT MATERIALS IN ENCLOSED OR TARPED VEHICLES TO MINIMIZE DAMAGE FROM WIND.
  - C. ALL PLANTS SHALL BE TRUE TO NAME AND ONE OF EACH LOT SHALL BE TAGGED WITH THE NAME AND SIZE OF THE PLANTS IN ACCORDANCE WITH THE STANDARDS OF PRACTICE RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  - D. SHIPMENTS OF PLANTS WILL BE CAREFULLY INSPECTED BY THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT AT THE SITE AT THE TIME OF OFF-LOADING TRUCKS TO VERIFY COMPLIANCE WITH THE ABOVE SHIPPING REQUIREMENTS.
  - E. SUBSTITUTIONS OF PLANT MATERIALS WILL NOT BY PERMITTED UNLESS AUTHORIZED IN WRITING BY LANDSCAPE ARCHITECT. IF PROOF IS SUBMITTED THAT PLANT SPECIFIED IS NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF THE NEAREST EQUIVALENT SIZE OR VARIETY WITH CORRESPONDING ADJUSTMENT OF CONTRACT PRICE.
  - F. SPECIAL CARE SHALL BE TAKEN TO INSURE THAT PLANTS IN CONTAINERS ARE ADEQUATELY WATERED, PREPARATION, PLANTING AND IRRIGATION WILL BE FURNISHED BY OWNER.
  - G. PLANTS IN CONTAINERS SPECIFIED FOR SHADE LOCATIONS ARE TO BE PROTECTED FROM SUN PRIOR TO PLANTING.
  - H. PERSONNEL: EMPLOY ONLY QUALIFIED PERSONNEL FAMILIAR WITH REQUIRED WORK.

- 3.02 INSPECTIONS AND SUBMITTALS
- A. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT PLANT MATERIALS AT THE NURSERY OR GROWING GROUND PRIOR TO LOADING AND TRANSPORTING. IF OWNER'S REPRESENTATIVE SELECTS TO INSPECT AT THE NURSERY, TAG ALL TREES AND REPRESENTATIVE SAMPLES OF SHRUBS AND GROUND COVER PRIOR TO THE INSPECTION AND ARRANGE WITH THE OWNER'S REPRESENTATIVE TEN (10) DAYS IN ADVANCE FOR THE INSPECTION. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK.
  - B. IF TREES ARE NOT HAND SELECTED BY LANDSCAPE ARCHITECT THEN THREE REPRESENTATIVE SAMPLES OF EACH SIZE OF TREE AND SHRUB SPECIES ARE TO BE DELIVERED TO THE PROJECT SITE FOR THE OWNER'S REPRESENTATIVE TO REVIEW AND APPROVE, PRIOR TO ORDERING ANY PLANTS. ACCEPTED SAMPLES ARE TO BE MAINTAINED IN GOOD CONDITION BY THE CONTRACTOR AT THE CONTRACTOR'S STORAGE YARD DURING THE CONSTRUCTION PERIOD, AND INSTALLED AS THE LAST PLANTS ON THE PROJECT. REJECTED PLANTS ARE TO BE IMMEDIATELY REPLACED WITH ACCEPTABLE SAMPLES. ALL PLANTS DELIVERED TO THE PROJECT WILL MEET THE STANDARDS OF THESE REPRESENTATIVE SAMPLES.
  - C. FILE CERTIFICATES OF INSPECTION OF PLANT MATERIALS BY COUNTY, STATE AND FEDERAL AUTHORITIES WITH OWNER'S REPRESENTATIVE. ALL PLANTS ARE TO HAVE A CERTIFICATE OF ORIGIN.
  - D. SUBMIT WITHIN 30 DAYS AFTER NOTICE TO PROCEED A COMPLETE LIST OF MATERIALS TO BE FURNISHED AND CONFIRMED SOURCES FOR SAME. OWNER RESERVES THE RIGHT TO APPROVE OR REJECT SUPPLIERS AND CONTRACTORS. GRAVEL AND ORGANIC MULCH: SUBMIT WITHIN 30 DAYS AFTER NOTICE TO PROCEED A ONE CUBIC FOOT SAMPLE OF SPECIFIED GRAVEL MULCH TO THE OWNER'S REPRESENTATIVE.

June 21, 2024  
 05 - L3.1  
 File Path: \010014 - chick-fil-a\010014-01-217 (eng) - c\02793 montgomery san mateo albuquerque\engineering\landscaping\CAD\working\_dwg\Final\010014-01-217 - C-2.0 - L3.dwg  
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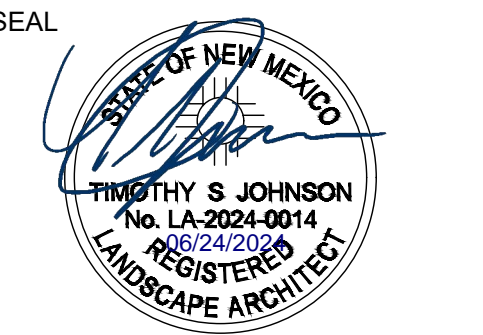


Know what's below.  
 Call before you dig.



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**CHICK-FIL-A**  
**MONTGOMERY & SAN MATEO**  
 5009 MONTGOMERY BLVD.  
 ALBUQUERQUE, NEW MEXICO 87106

FSU#02793

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 010014-01-217	
ISSUED FOR	PERMIT
DATE	JUNE, 2024
DRAWN BY	GM

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SHEET  
 LANDSCAPE DETAILS

SHEET NUMBER

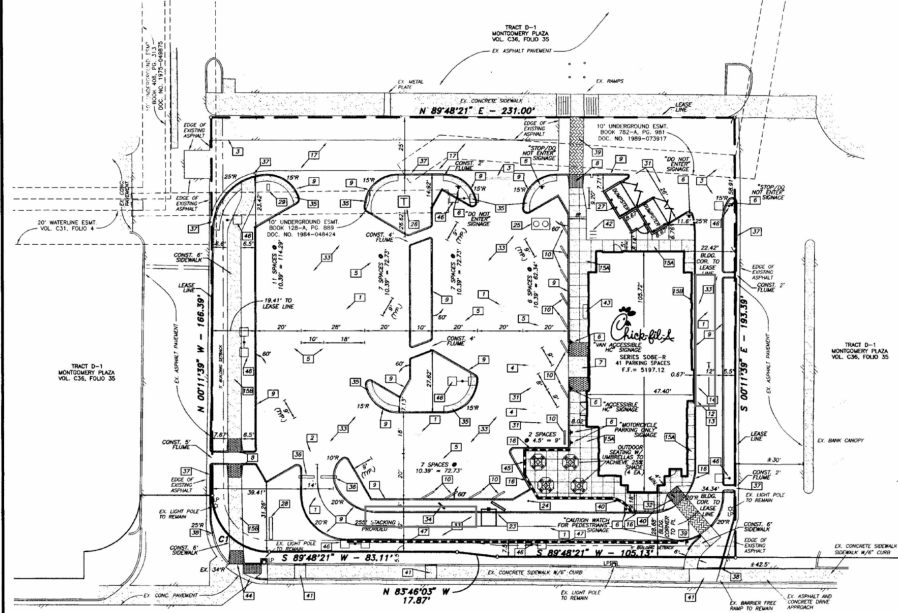
L3.1



Original Approved Site  
Plan

**Bowman**

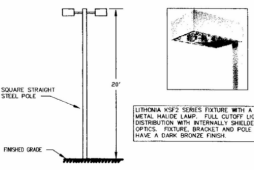
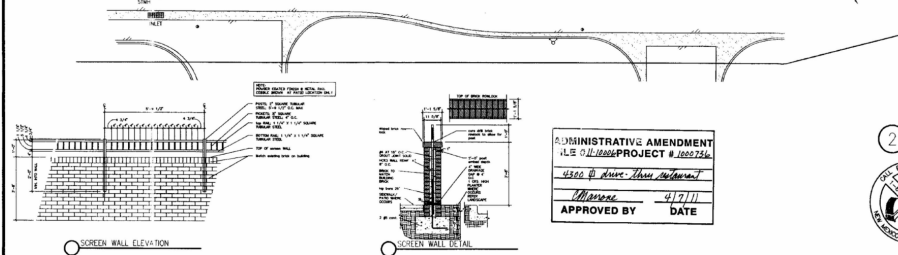




**LAYOUT NOTES**

- 1 PAINTED TRAFFIC ARROW
- 2 DRIVE THRU DRIVEWAY
- 3 DRIVE WAY
- 4 PAINTED HANDICAP PARKING SYMBOL
- 5 PARKING STALLS / 4' PAINTED STRIVE
- 6 DIRECTIONAL SIGNAGE (OTHER THAN CHECK-FLA-A SYMBOL)
- 7 CHECK-FLA-A NEW ENTRY HANDICAP RAMP
- 8 CURBED RAMP
- 9 INTERNAL CONCRETE CURB
- 10 CONCRETE WHEEL STOP
- 11 CHECK-FLA-A NEW ENTRY HANDICAP RAMP
- 12 DRIVE THRU DRIVEWAY
- 13 STEEL PIPE BOLLARD
- 14 DRIVE THRU DRIVEWAY
- 15 TYPICAL SIDEWALK DETAIL "X" - PAVEMENT FINISH INTERIOR "X" - BRUSH FINISH
- 16 SIDEWALK ADJACENT TO CURB
- 17 ASPHALT PAVEMENT SECTION
- 18 4" CONCRETE PAVEMENT SECTION AT DRIVE THRU DRIVEWAY
- 19 SECTION THRU CONCRETE PAVEMENT AT DRIVEWAY AND DRIVE
- 20 CONSTRUCTION JOINT (SEE SHEET C-1)
- 21 BRUSH FINISH DRIVEWAY
- 22 BRUSH FINISH DRIVEWAY
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- 100 BRUSH FINISH DRIVEWAY

**MONTGOMERY BOULEVARD N.E.**



**SITE DATA**

OWNER:	801-1-0-0
LOT AREA:	1,817.1 ACRES (44.96 AC)
BRUSH AREA:	1,817.1 ACRES (44.96 AC)
C.A.R.:	0.10
STREET SEATING:	1 SPACE FOR EVERY 4 SEATS
PARKING PROVIDED:	100 SPACES
BRUSH HEIGHT:	41 SPACES (2' H.C.)
INTERNAL LANDSCAPE:	20' (2' SPACES)
EXTERNAL LANDSCAPE:	2,700 S.F. (16.44)
INTERNAL LANDSCAPE PROVIDED:	1,817.1 ACRES (44.96 AC)

**APPLICANT:**  
**CHICK-FIL-A, INC.**  
 5200 BUFFINGTON ROAD  
 ATLANTA, GEORGIA 30349  
 PHONE: (404) 765-8000  
 CONTACT: STEVE LEWIS

**ENGINEER:**  
**BURGER ENGINEERING, LLC**  
 17103 PRESTON ROAD, SUITE 180N  
 DALLAS, TEXAS 75248  
 PHONE: (972) 850-3360  
 CONTACT: BRYAN M. BURGER, P.E.

**ADMINISTRATIVE AMENDMENT**  
 ILS 01110000 PROJECT # 1000756  
 4302 @ 10000 10000  
 APPROVED BY: [Signature] DATE: 4/17/11



Albuquerque Control Survey Monument "F" 318  
 New Mexico State Plane Coordinates  
 (Central Zone - 10N 82) via publisher  
 North = 1,504,358.281 feet  
 East = 1,535,870.657 feet  
 Elevation = 5212.228 feet (NAVD 1988)  
 Data Approx. = 0.011 56 74  
 Ground to Grid Factor = 0.999988741

**BURGER ENGINEERING**  
 Civil Consultants

17103 Preston Road, Suite 180N  
 Dallas, Texas 75248  
 Phone: (972) 850-3360  
 Fax: (972) 850-3380

**Chick-fil-A**  
 5200 Buffington Rd.  
 Atlanta, Georgia, 30349-2995

Revisions:  
 Mark Date By  
 1 4/13/11 JM  
 Addition of curbs  
 Mark Date By  
 2 4/13/11 JM  
 Mark Date By

**STATE OF TEXAS**  
 PROFESSIONAL ENGINEER  
 BRYAN M. BURGER  
 License No. 1000756

**PART OF TRACT P-1**  
**MONTGOMERY BLVD**  
 6031 MONTGOMERY BOULEVARD, NE  
 CITY OF ALBUQUERQUE, NEW MEXICO

**STORE**  
**SERIES**  
**808E-R**

**SHEET TITLE**  
**SITE PLAN**

801 Montgomery Blvd NE  
 Job No. : 013-007  
 Store : 2793  
 Date : 11/18/10  
 Drawn By : JAC  
 Checked By : JMB  
 Sheet

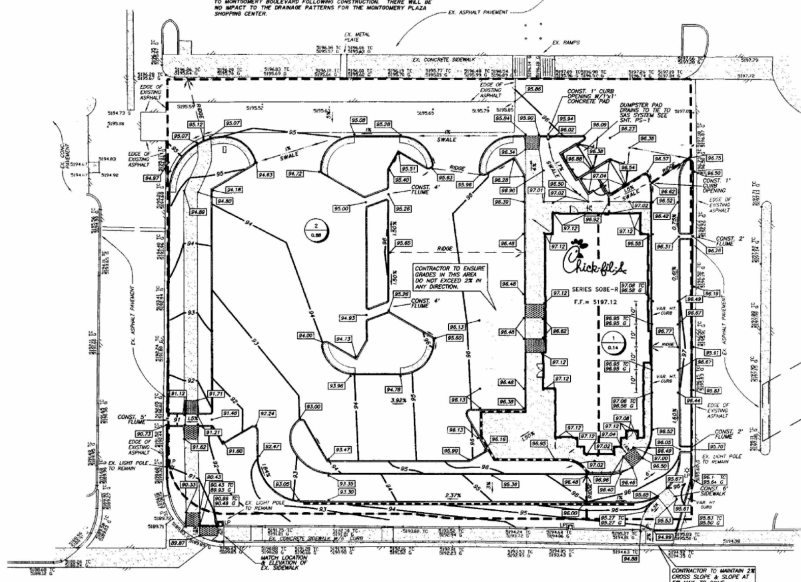
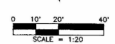
**C-3**

DRAINAGE NOTE: THE STORMWATER RUNOFF FROM THE EXISTING MONTGOMERY PLAZA SHOPPING CENTER CURRENTLY DRAINS THROUGH THE CHICK-FIL-A SITE AND CONTAINS TO DRAIN THROUGH THE CHICK-FIL-A SITE TO MONTGOMERY BOULEVARD FOLLOWING CONSTRUCTION THERE WILL BE THE SPREADING PATTERNS FOR THE MONTGOMERY PLAZA SHOPPING CENTER.

DRAINAGE NARRATIVE: THE EXISTING RESTAURANT CURRENTLY LOCATED ON THE SITE WILL BE DEMOLISHED AND RECONSTRUCTED INTO THE CONSTRUCTION DRAWINGS FOR THE NEW CHICK-FIL-A. ALL EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED FOR THE MONTGOMERY PLAZA SHOPPING CENTER. THE SITE CURRENTLY DRAINS SOUTH TO MONTGOMERY BOULEVARD. THE "B" SYSTEM DRAINS SOUTH TO MONTGOMERY BOULEVARD. THE "C" SYSTEM DRAINS SOUTH TO MONTGOMERY BOULEVARD. ALL EXISTING ACCESS DRIVES AS WELL AS MAINTAINING THE CURRENT DRAINAGE PATTERNS FOR THE EXISTING MONTGOMERY PLAZA SHOPPING CENTER.

**LEGEND**

- EXIST. CONTOUR
- PROP. CONTOUR
- EXIST. SPOT ELEV.
- PROP. SPOT ELEV.
- PROP. FINISHED SPOT ELEV.
- PROP. TOP OF CURB
- EXIST. GUTTER ELEVATION
- ACCESSIBLE DRIVE
- VAN ACCESSIBLE
- DRIVEWAY
- DRAINAGE AREA NUMBER
- ACRES
- DRAINAGE DITCH
- CONTRACTOR TO LEAVE
- LANDSCAPE MEASUREMENTS TO CAPTURE MONITOR (TOP)



**GRADING NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY STANDARDS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OF IMPROVEMENTS SHALL BE PERMITTED UNTIL THE CONTRACTOR HAS RECEIVED AND FORWARDED A RECORDED AND FILED AND THE DOCUMENTS APPROVED BY ALL OF THE APPLICABLE AGENCIES.
3. BARRICADES, TRAFFIC CONTROL, AND PROTECT SIGN SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION AND FEDERAL TRANSPORTATION BARRICADE AND CONSTRUCTION STANDARDS AND CITY SPECIFICATIONS.
4. THE CONTRACTOR SHALL VERIFY THE STABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND TOLERANCES BEFORE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY IMMEDIATELY OF ANY DISCREPANCIES WHICH ARE NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCIES SHALL BE CORRECTED IMMEDIATELY. INSTALLED SHALL FLUSH OUT AT ANY SUTURE WITH EXISTING PAVING.
5. ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DIMENSIONS SHOWN ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
6. REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.
7. SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORTS.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
9. THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RISE ELEVATIONS PRIOR TO CONSTRUCTION.
10. GRATE ALLEYS TO BE PRECAST, SINGLE SHEET METAL MANUFACTURED BY BIRDA, PRECAST OR 18" x 24" x 2" WITH TRAFFIC BEARING GRATE OF APPROVED EQUAL.
11. CONTRACTOR TO REMOVE GRADE IN ACCESSIBLE ROUTE OR NOT EXCEED 2% IN THE ROAD SECTION BY 4" OR LESS SLOPE.
12. UNLESS OTHERWISE NOTED, ALL PAVING LOT GRADES ARE TO BUTTER OR BEVEL TO MEET SIDE TO BUTTER GRADE FOR TOP OF CURB GRADE.

**CONSTRUCTION SEQUENCE**

1. OBTAIN GRADING PERMIT.
2. INSTALL STAKEOUT CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED BEFORE CONSTRUCTION.
3. CLEAR SITE.
4. INSTALL STAKEOUT CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING.
5. GRADE SITE.
6. INSTALL ALL UNPROTECTED UTILITIES. INSTALL EROSION CONTROL MEASURES.
7. INSTALL PAVEMENT.
8. VERIFY AND ADJUST ALL EXISTING CONTROL MEASURES. INSTALL ALL DIMENSION STAKES. VERIFY ALL DIMENSIONS AND GRADES. VERIFY ALL DIMENSIONS AND GRADES. VERIFY ALL DIMENSIONS AND GRADES. VERIFY ALL DIMENSIONS AND GRADES.

**MONTGOMERY BOULEVARD N.E.**



**HYDRAULIC DATA**

DA. NO.	AREA (SQ.FT.)	C (FEET)	1.49 (FEET)	Q (CU.FT./SEC)	REMARKS	
1	0.14	10	0.86	4.20	0.56	SHEET FLOW TO EAST ACCESS DRIVE TO MONTGOMERY BLVD.
2	0.08	10	0.86	4.20	2.56	SHEET FLOW TO WEST ACCESS DRIVE TO MONTGOMERY BLVD.



Albuquerque Control Survey Monument 79-118  
New Mexico State Plane Coordinates  
(Control Zone - NAD 83) as published  
North = 1,504,328.281 Feet  
East = 1,535,910.522 Feet  
Elevation = 5,112.228 Feet (NAVD 1988)  
Datum Alpha = 2011-36.74"  
Ground to Grid Factor = 0.999988141

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5200 Buffington Rd.  
Atlanta, Georgia  
30349-2998

Revisions:

Mark Date By

Mark Date By

Mark Date By



PART OF TRACT D-1  
MONTGOMERY PLAZA  
5031 MONTGOMERY BOULEVARD, N.E.  
CITY OF ALBUQUERQUE, NEW MEXICO

STORE  
SERIES  
SOBE-R

SHEET TITLE  
**GRADING & DRAINAGE PLAN**

PrePreliminary  
80% Submittal  
For Construction

Job No. : 03-107  
Store : 383  
Date : 11/28/10  
Drawn By : JAC  
Checked By: BMB

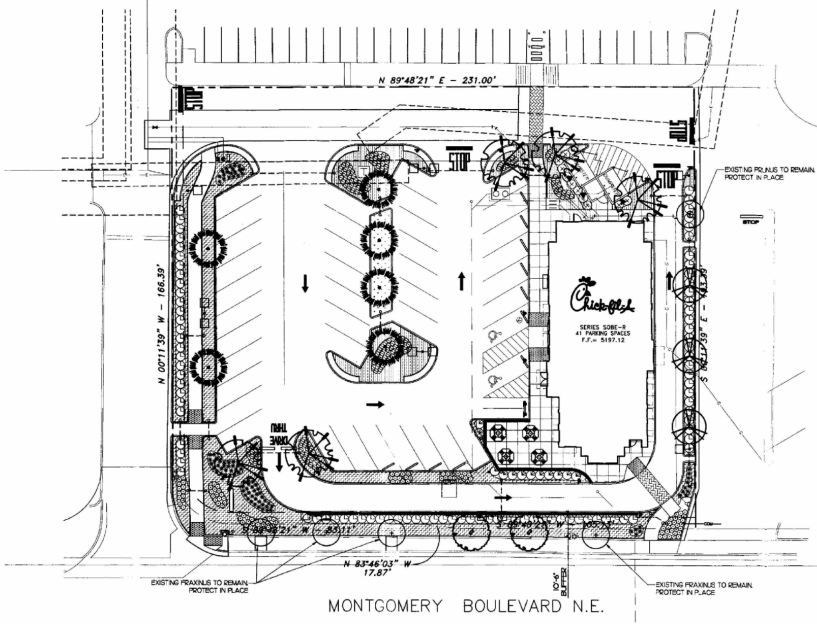
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**C-4**



**PLANTING LEGEND**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.	REMARKS	WATER USAGE	HEIGHT	WIDTH
<b>EXISTING PLANTING</b>							
⊙	EXISTING PRAXINUS	EXTG	1	EXISTING TO REMAIN	-	-	-
⊙	EXISTING PRAXINUS	EXTG	4	EXISTING TO REMAIN	-	-	-
<b>TREES</b>							
⊙	PRAXINUS PENNSYLVANICA GREEN ASH	2" CALIPER	2	STANDARD DOUBLE STAKE	MED	60'	60'
⊙	PROSOPIS GLANDULOSA HONEY MESQUITE	2" CALIPER	6	STANDARD DOUBLE STAKE	LOW	20'	25'
⊙	PISTACIA CHINENSIS CHINESE PISTACHE	2" CALIPER	5	STANDARD DOUBLE STAKE LIFT + SITE TRANSFER	MED	60'	60'
⊙	PRUNUS CERASIFERA PURPLELEAF PLUM	2" CALIPER	3	STANDARD DOUBLE STAKE	MED	20'	20'
<b>SHRUBS</b>							
⊙	ELAEAGNUS YUENGS SILVERBERY	15 GALLON	11	4'-0" O.C.	MED	10'	10'
⊙	GENISTA HISPANICA SPANISH BROOM	5 GALLON	12	4'-0" O.C.	MED	48"	48"
⊙	HELIOTROPION SPERMATOPHYTES SILVE AVENUE GRASS	5 GALLON	94	2'-0" O.C.	MED	24"	24"
⊙	HEMOCALLIS STELLA D'ORO EVERGREEN DAILY	5 GALLON	111	2'-0" O.C.	MED	24"	36"
⊙	LEUCOPHYLLUM LANGMANIAE RIO BRAVO RAINSAUCE	5 GALLON	92	4'-0" O.C.	MED	48"	48"
⊙	SALVIA AMANULLIFOLIA LAVENDER SAGE	5 GALLON	147	2'-0" O.C.	MED	24"	24"
<b>GROUND COVERS</b>							
□	COTYLEDON DACTYLOM BERMUDA GRASS	500	400 SF.		MED	-	-
□	PESTUCA OVINA 'GALUCA' BLUE PESCUE	FLATS	3,488 SF. 8" O.C.		MED	12"	12"
□	ONOTHERA CAESPITOSA WHITE EVENING PRIMROSE	FLATS	1,206 SF. 12" O.C.		LOW	12"	12"
<b>VINES</b>							
▼	LONICERA C. PURPUREA PURPLE LEAF HONEYSUCKLE	15 GALLON	4	REMOVE FROM STAKES, ATTACH TO WALL WITH TUMAX VINE TIES	MED	-	-



MONTGOMERY BOULEVARD N.E.

**PLANTING NOTES**

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATIONS FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL TREES SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH IN THE LATEST EDITION OF NEW MEXICO ASSOCIATION OF NURSERIES (NMANI) FOR RECOMMENDED TREE SPECIFICATIONS.
- ALL SHRUBS AND GROUND COVERS SHALL EQUAL OR SURPASS NEW MEXICO ASSOCIATION OF NURSERIES (NMANI) FOR STANDARDS, QUALITY, AND SIZE.
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- SEE PLANTING DETAILS FOR PLANTING AND STAKING AND STAKING REQUIREMENTS.
- FERTILIZERS FOR ALL GROUND COVER AREAS SHALL BE AS SPECIFIED WITHIN THE SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, ROLLING, SAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTING FREE OF INSECTS AND DISEASES, WEEDING, ROLLING, MOWING, RISEEDING, EDGING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND LIVESHIP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
- ALL SHRUB AREAS TO BE 10" DEESED WITH 1" LAYER OF DECOMPOSED GRANITE 1/2" SCREENED "EXPRESS BROWN".
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF UTILITIES, REPAIR TO INCLUDE ALL DAMAGED IRRIGATION AND PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- FINISH GRADE TO BE 1" BELOW TOP OF CURB OR SIDEWALK FOR TURF AND GROUND COVER AREAS.
- ALL PLANTER AREAS TO BE ROTOTILLED AND AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS, NO DEVIATIONS.
- ALL PLANTING AREAS TO BE IRRIGATED UTILIZING LOW VOLUME SPRAY HEADS, BUBBLERS AND/OR ORIFITTERS CONNECTED TO AN AUTOMATIC REMOTE CONTROL VALVE AND TIED INTO A CENTRAL AUTOMATIC IRRIGATION CONTROLLER.
- IRRIGATION CONTROLLER TO BE INSTALLED WITH RAIN SENSOR DEVICE (RANSEN) OR EQUAL TO CONSERVE WATER.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT SHALL ADHERE TO CITY OF ALBUQUERQUE LANDSCAPE STANDARDS.
- ALL FINISH GRADING SHALL BE DIRECTED AWAY FROM THE BUILDING AND WALKS AND TOWARDS THE PREVIOUS PLANTER AREAS TO THE MAXIMUM EXTENT PRACTICABLE. REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE.
- ALL UTILITIES TO BE SCREENED WITH PLANTING AND ALL BACKFLOW PREVENTERS TO BE SCREENED WITH PLANTING AND INSTALLED WITH A STAINLESS STEEL SECURITY ENCLOSURE.
- DEVELOPED AREAS OF THIS PROJECT SHALL BE PERMANENTLY MARKED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- MAXIMUM WATER ALLOWANCES & ESTIMATE WATER USE SHALL BE CALCULATED AND SUBMITTED ON ALL LANDSCAPE CONSTRUCTION DOCUMENTS SUBMITTED TO THE CITY OF ALBUQUERQUE.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO THE PUBLIC FACILITIES DEVELOPMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT. TREE & SHRUBS SHALL BE PLANTED ON SEPARATE LINES & VINES.

**LANDSCAPE CALCULATIONS**

LOT AREA:	1.071 ACRES (46,306 S.F.)
TOTAL LANDSCAPE:	8,830 S.F. (20.0%)
SHRUB AREA:	8,400 S.F.
TREE AREA:	430 S.F.
TOTAL LANDSCAPE AREA:	8,830 S.F.

REQUIREMENT	REQUIRED	PROPOSED
PARKING LOT SHADING 1 TREE PER 10 STALLS (MIN. 2" CALIPER) (PLANNING) 4/10 = 41	5	8
1 TREE PER 8 STALLS (ZONING) 41/8 = 5.125	6	8

**BUFFER:**  
10' MIN. DEPTH  
MINIMUM PLANT SIZES  
TREES - 2" CALIPER  
SHRUBS - 1 GALLON  
GROUND COVER - 75% COVERAGE WITHIN 1 SEASON.

**PRELIMINARY PLANTING PLAN**

1" = 30'-0"

**BURGER ENGINEERING**  
Civil Consultants

17100 Preston Road, Suite 1000  
Dallas, Texas 75248  
Office: 972.336.2300 Fax: 972.336.5500

Job No.: 1013-001  
Store: 2793  
Date: 3/31/11  
Drawn By: KLM  
Checked By: JGH  
Sheet:

**Chippell**  
5200 Buffington Rd.  
Atlanta, Georgia, 30348-2988

Revisions:  
Mark Date By  
△  
△  
△

**ALBUQUERQUE**  
CITY OF ALBUQUERQUE, NEW MEXICO

PART OF TRACT D-1  
MONTGOMERY PLAZA  
MONTGOMERY BOULEVARD, NE  
5031 MONTGOMERY BOULEVARD, NE  
CITY OF ALBUQUERQUE, NEW MEXICO

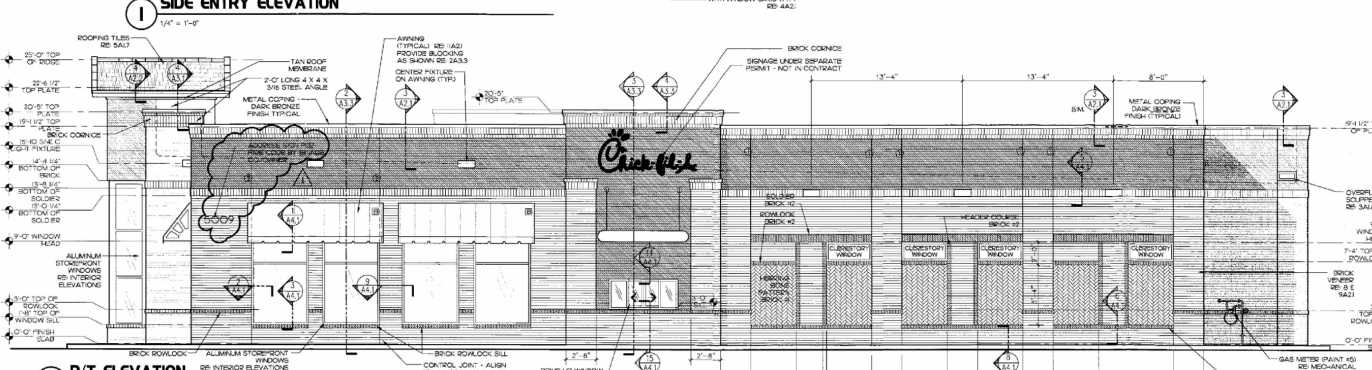
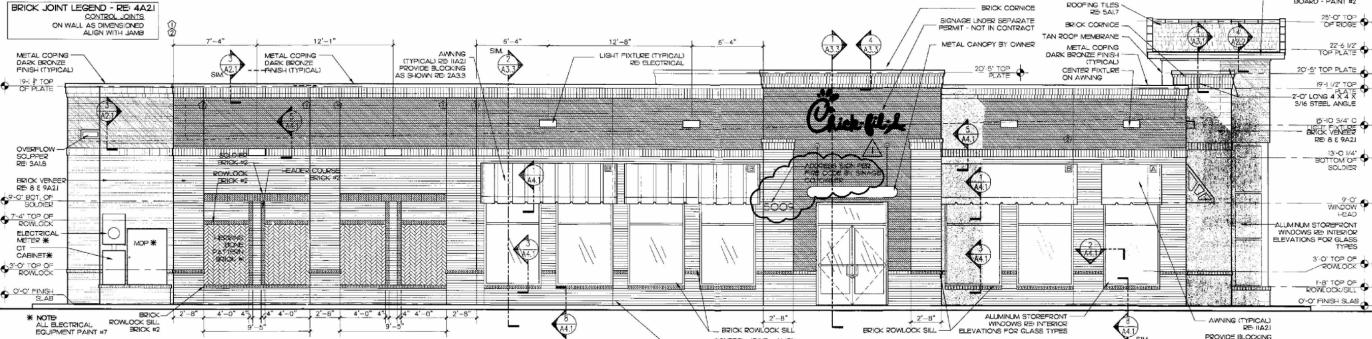
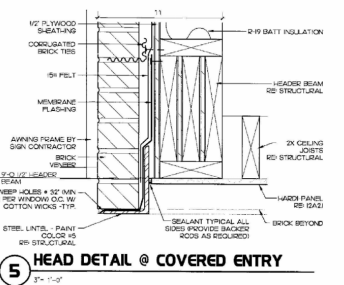
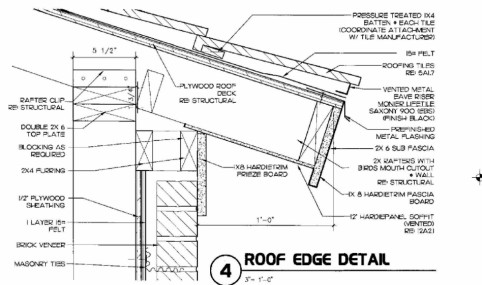
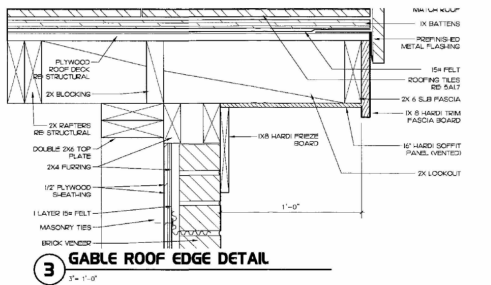
SERIES  
SOBE-R

PRELIMINARY  
PLANTING PLAN

PRELIMINARY  
PROVIDE, SUBMITTED  
FOR CONSTRUCTION

1-1






5200 Buffington Rd.  
Alpharetta, Georgia  
30349-2998

Revisions:  
Mark Date By  
1  
2  
3

Mark Date By  
1  
2  
3

Mark Date By  
1  
2  
3

SEC  
STATE OF GEORGIA  
REGISTERED PROFESSIONAL ARCHITECT  
MAYNARD R. WATTS  
NO. 10000  
EXPIRES 12/31/2010

MAX & ASSOCIATES, INC.  
Architects & Planners  
1000 Peachtree Street, N.E.  
Atlanta, Georgia 30309  
404.525.1100  
www.maxandassociates.com

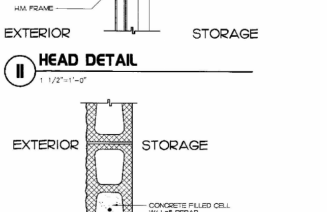
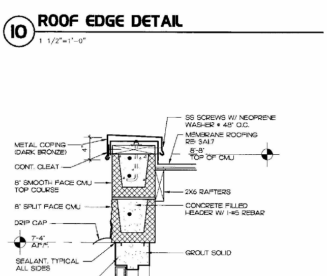
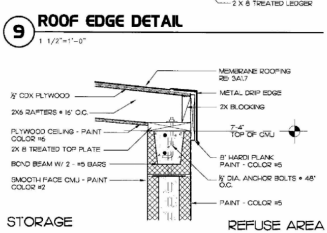
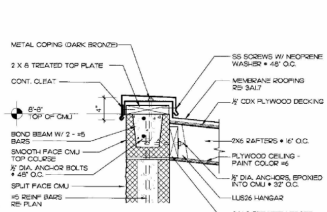
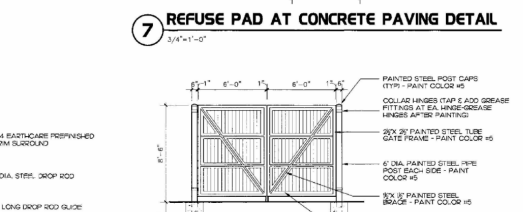
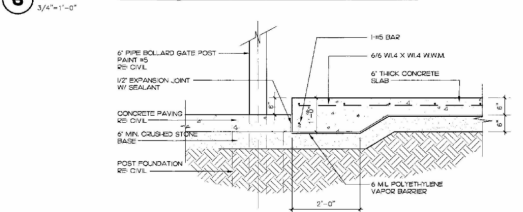
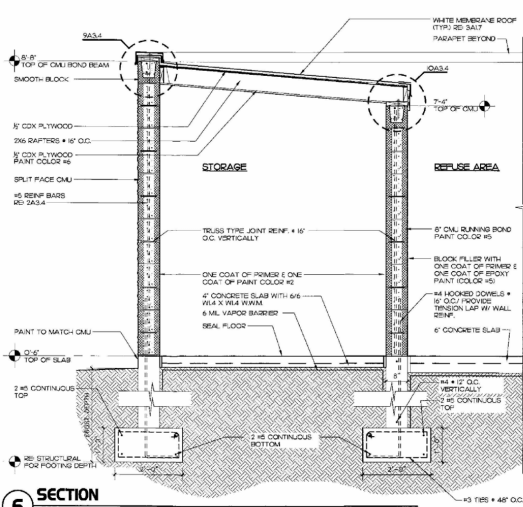
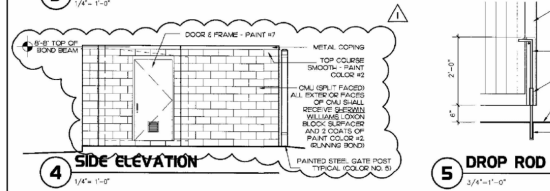
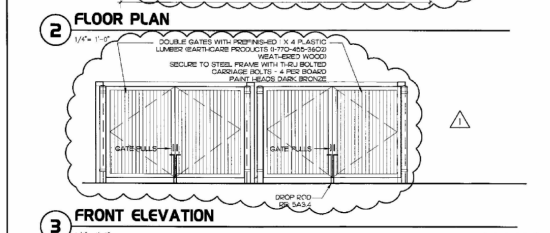
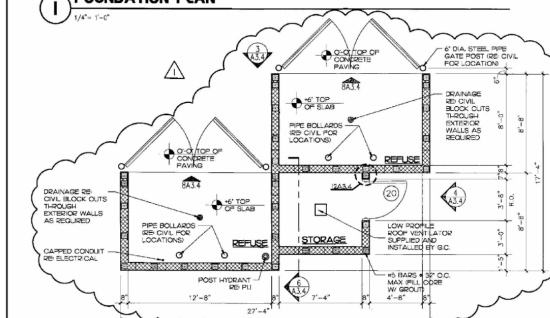
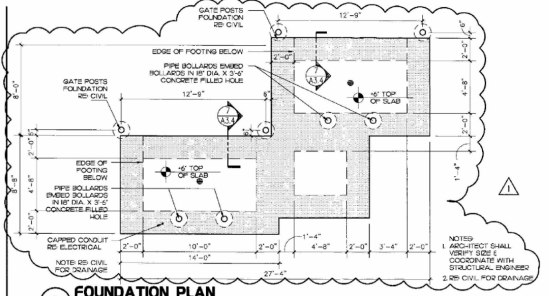
STORE  
Montgomery & Son, Miles 150  
108 E. HEDGE RD-3  
5000 Montgomery Blvd  
NE  
Albuquerque, NM

SHEET #11.6  
EXTERIOR  
ELEVATIONS

VERSION: 5  
ISSUE DATE: 2010

Job No. 10044  
Store 2793  
Date 03-23-11  
Drawn By: SS, LA  
Checked By: ---  
Sheet

A-2.2



**CR**

**CR**

5200 Burlington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:  
Mark Date By  
1. 1/27/10  
2. 1/27/10  
3. 1/27/10


**MAYNE & ASSOCIATES, INC.**  
Professional Engineer  
1000 Montgomery Blvd NE  
Albuquerque, NM 87102

DATE: 03-23-11  
Checked By: G.L.A.

**A-3.4**

**SPECIFICATIONS**

**CABINET**  
 ALUMINUM CABINET HAS STEEL FRAME WITH .080 ALUMINUM CLADDING, RETAINERS AND FILLER.  
**CHICK-FIL-A ICON**  
 ACRYLIC FACES DECORATED WITH TRANSLUCENT VINYL FILM ON SURFACE OF ACRYLIC. FACES ARE BACKLIT BY HIGH OUTPUT FLUORESCENT LAMPS SPACED EVENLY ON 12" CENTERS.  
**DECORATIVE SKIRT**  
 SKIRT HAS STEEL FRAME WITH .080 ALUMINUM CLADDING.  
**READER BOARD**  
 ALUMINUM CONSTRUCTION CABINET WITH ACRYLIC FACES BACKLIT BY HIGH OUTPUT FLUORESCENT LAMPS SPACED EVENLY ON 12" CENTERS.  
 TRACK ACCOMMODATES WAGNER ZIP LETTERS.

This Product is Listed by UNDERWRITERS LABORATORIES, INC. and Bears the Mark: 

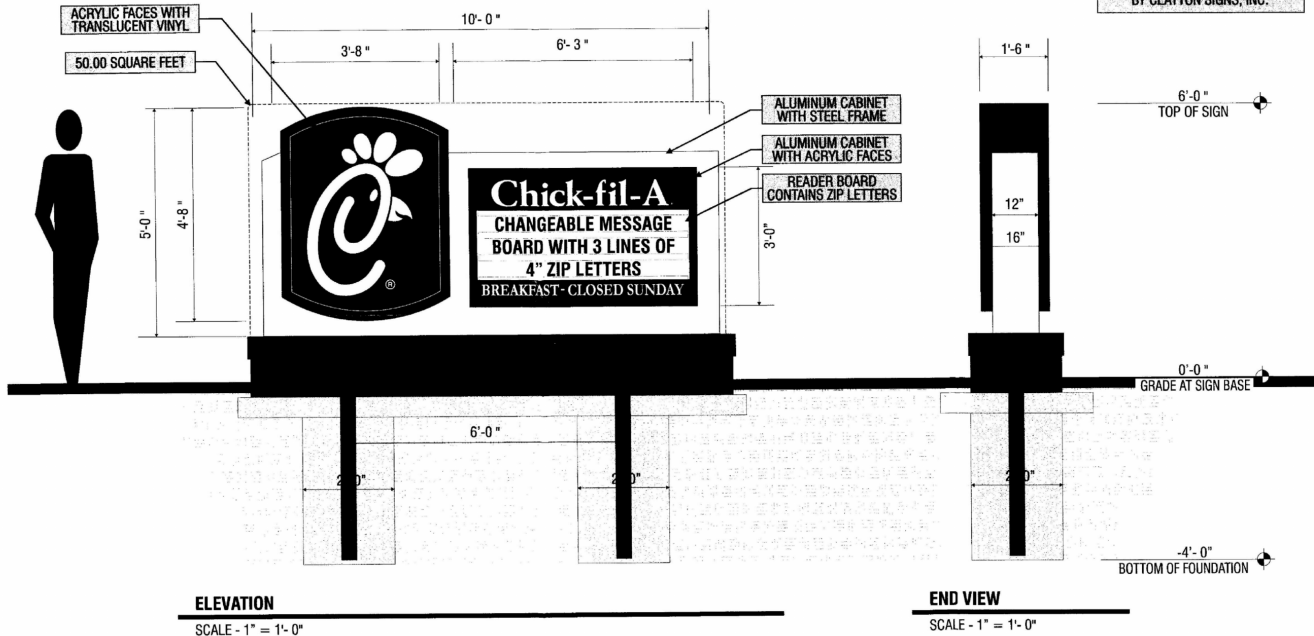
ALUMINUM SURFACES  
 GRIPGARD #503 RED GLOSS FLEX FACES  
 230-53 CARDINAL RED TRANSLUCENT VINYL FILM

ALUMINUM SURFACES  
 RST584 AKZO NOBEL GLOSS ACRYLIC FACES  
 7328 WHITE ACRYLIC

MASONRY TO MATCH BUILDING

NOTE: ICON SIDE OF SIGN SHOULD ALWAYS BE POSITIONED CLOSEST TO THE ROAD

MASONRY WORK AND CONCRETE PAD FOR MASONRY WORK IS FURNISHED BY THE GENERAL CONTRACTOR SIGN FOUNDATION IS FURNISHED BY CLAYTON SIGNS, INC.



**ELEVATION**

SCALE - 1" = 1'- 0"

**END VIEW**

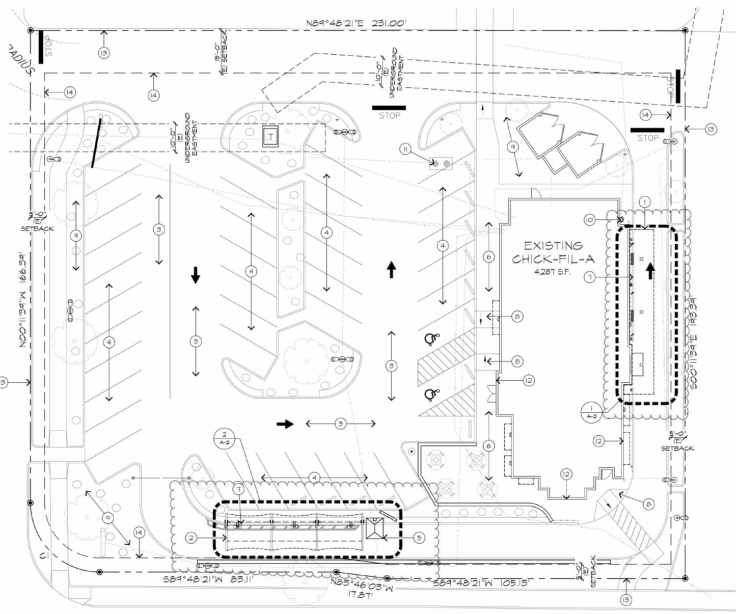
SCALE - 1" = 1'- 0"



5198 North Lake Drive  
 Lake City, GA 30260  
 404-361-3800 fax 404-361-7038  
 website - www.claytonsigns.com

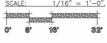
<b>SIGN TYPE</b> <b>2</b>	DOUBLE-FACED INTERNALLY-ILLUMINATED MONUMENT SIGN AGGREGATE SQUARE FOOTAGE - 50.00 SQUARE FEET	ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED	DRAWN BY BEN HOLLIDAY	STORE NUMBER <b>2793</b>	STORE ADDRESS CHICK-FIL-A MONTGOMERY BLVD., NE ALBUQUERQUE, NM 87109	THIS DRAWING IS AN ORIGINAL, UNPUBLISHED DESIGN CREATED BY CLAYTON SIGNS, INC. IT IS NOT TO BE REPRODUCED, CHANGED, OR EXHIBITED TO ANYONE OUTSIDE OF YOUR COMPANY IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION FROM THE OWNER OF CLAYTON SIGNS, INC. ANY SUCH ACTS MAY BE SUBJECT TO LEGAL ACTION IN A COURT OF LAW. © 2011 ALL RIGHTS RESERVED	<b>LOCATION</b> <b>A</b>
	DRAWING FILE - CFA - ALBUQUERQUE, NM (MONTGOMERY) SIGNAGE.CDR		ACCOUNT REP: BEN HOLLIDAY DRAWING DATE: SEPTEMBER 14, 2010				





MONTGOMERY BOULEVARD N.E.

1 ENLARGED SITE PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"



VICINITY MAP		PROJECT DATA	
		<p>1. PROJECT NAME: CHICK-FIL-A #2793</p> <p>2. PROJECT ADDRESS: 5009 MONTGOMERY BLVD. NE ALBUQUERQUE, NM 87109</p> <p>3. PROJECT HORIZSCOPE: INSTALLATION OF STEEL FRAMED FACE TO FACE AND HEAL DELIVERY CANOPY (EMPLOYEE SHADE STRUCTURES WITH HANG ELEC. / PLUMB. WORK)</p> <p>4. PARCEL NO: 10-106-46-001-440-10</p> <p>5. ZONING: SU-1-C-2</p> <p>6. PROPERTY AREA: 44,908 S.F. (LOTTI ACRES)</p> <p>7. FIRE SPRINKLERS: YES A.P.S. (EXISTING BUILDING)</p> <p>8. TYPE OF CONSTRUCTION:</p> <p>A. EXISTING BUILDING: 10 (EXIST. UN-CHANGED)</p> <p>B. NEW HEAL DELIVERY CANOPY: 10 (EXIST. UN-CHANGED)</p> <p>C. NEW FACE TO FACE CANOPY: 10 (EXIST. UN-CHANGED)</p> <p>9. OCCUPANCY:</p> <p>A. EXISTING BUILDING: A-2 (EXIST. UNCHANGED)</p> <p>B. NEW HEAL DELIVERY CANOPY: A-2</p> <p>C. NEW FACE TO FACE CANOPY: 10 (ACCESSORY USE)</p> <p>10. BUILDING AREA: 50 FT. OCCUPANCY: 239 SF. A-2 (EXISTING)</p> <p>A. EXISTING BUILDING: 4287 SF. A-2</p> <p>B. NEW HEAL DELIVERY CANOPY: 178 SF. 2</p> <p>C. TOTAL AREA: 3,250 SF.</p> <p>11. ALLOWABLE AREA PER IBC TABLE 502.2: 2,000 SF. (EXIST. 1,500 SF. BLOSS)</p> <p>A. ACTUAL BUILDING AREA: 3,250 SF.</p> <p>B. ACTUAL BUILDING AREA: 3,250 SF.</p> <p>12. AREA OF CONSTRUCTION: 1,042 SF.</p> <p>13. CANOPY HEIGHT:</p> <p>A. HEAL DELIVERY CANOPY: 8'-0" (BOTTOM OF CANOPY)</p> <p>B. FACE TO FACE CANOPY: 8'-0" (BOTTOM OF CANOPY)</p> <p>14. BUILDING SETBACKS:</p> <p>A. NORTH PROP. LINE: 9'-0"</p> <p>B. WEST PROP. LINE: 9'-0"</p> <p>C. SOUTH PROP. LINE: 9'-0"</p> <p>D. EAST PROP. LINE: 9'-0"</p> <p>15. PARKING REQUIREMENTS: EXISTING TO REMAIN NO CHANGE TO PARKING SPACES OR EXISTING DRIVE THRU LINES</p>	
<p><b>SHEET INDEX</b></p> <p>ARCHITECTURAL: PROJECT DATA &amp; OVERALL SITE PLAN A-2 ENLARGED CANOPY PLAN</p> <p>STRUCTURAL: FACE TO FACE CANOPY S-1 CANOPY STRUCTURAL DRAWINGS S-2 CANOPY FOOTER DETAILS</p> <p>HEAL DELIVERY CANOPY: ONH-1 FOOTING LOCATIONS ONH-2 RANCHING FOOTINGS ONH-3 SECTION PLAN ONH-4 SECTION ONH-5 SECTION ONH-6 SECTION ONH-7 CANOPY ELEVATION PLAN ONH-8 CANOPY LIGHT LAYOUT</p> <p>PLUMBING: P-1 GAS PLUMBING PLAN P-2 GAS PLUMBING PLAN P-3 PLUMBING DETAILS</p> <p>ELECTRICAL: E-1 POWER AND LIGHT PLAN E-2 ELECTRICAL DETAILS E-3 ELECTRICAL ONE-LINE PANEL SCHEDULE</p>		<p><b>LEGAL DESCRIPTION</b></p> <p>PORTION OF TRACT 54-1 OF MONTGOMERY PLAZA, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESCRIBED ON THE RECORDED MAP OF TRACT 54 OF SAID SECTION, FIELD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1928, IN MAP BOOK 236, FOLIO 55.</p>	
<p><b>GOVERNING CODES:</b></p> <p>BUILDING: 2018 EDITION I.B.C.</p> <p>MECHANICAL: 2018 EDITION U.P.C.</p> <p>PLUMBING: 2018 EDITION U.P.C.</p> <p>ENERGY: 2009 EDITION I.B.C.</p> <p>ELECTRICAL: 2017 EDITION N.E.C.</p> <p>FIRE: 2018 EDITION I.F.C.</p> <p>ACCESSIBLE: 2010 EDITION A.C.A.</p>		<p><b>PROJECT DIRECTORY</b></p> <p>OWNER: CHICK-FIL-A, INC. 5200 BUFFINGTON ROAD ATLANTA, GA 30348 TRACY HENNING, DIRECTOR OF CONST. tracy.henning@chick-fil-a.com (404) 526-4842</p> <p>ARCHITECT: ANNEK &amp; TECTA, INC. 1702 S. BROADWAY DRIVE SUITE 200 TORRE ALLE, SEASAT JEFFREY WINTER, R.E.A. jeffrey@annekandtecta.com (480) 755-0284 EXT 100</p> <p>STRUCTURAL: LARK SIMPLY, INC. 120 PARKWAY 21 ANTONIO, TEXAS 78202 LARRY TOLBERT larry@larksimply.com (202) 278-8667</p> <p>MECHANICAL: MEECO, PLUMBING &amp; HEATING, LLC 801 GUNSHAW STREET SUITE 200 ORLANDO, FL 32804 BRAD MARTIN bradm@meeco.com (407) 645-8008</p> <p>STRUCTURAL: SURFCONCRETE, INC. 1090 COLUMBIA DRIVE CARROLLTON, GA 30115 SHAGUNDESI BRANDS, INC. shagundesibrands.com</p> <p>MUNICIPALITY: CITY OF ALBUQUERQUE PLANNING DEPARTMENT PLAZA DEL SOL 800 2ND NW ALBUQUERQUE, NM 87102</p>	
<p><b>SITE PLAN KEYED NOTES</b></p> <p>1. DASHED LINE INDICATING OUTLINE OF PROPOSED OVERHEAD HEAL DELIVERY CANOPY.</p> <p>2. DASHED LINE INDICATING OUTLINE OF PROPOSED OVERHEAD FACE TO FACE CANOPY.</p> <p>3. EXISTING VEHICLE DRIVE ABLE TO REMAIN, NO CHANGE.</p> <p>4. EXISTING PARKING FIELD TO REMAIN, NO CHANGE.</p> <p>5. EXISTING ORDER POINT MENU BOARD TO REMAIN, NO CHANGE.</p> <p>6. EXISTING CONCRETE WALKWAY TO REMAIN.</p> <p>7. EXISTING CONCRETE CURB TO REMAIN, VERIFY EXISTING CONDITION OF CURB, REPLACE ANY DAMAGE OR BROKEN CURB TO LINE NEW CONDITION.</p> <p>8. EXISTING CONCRETE ACCESSIBLE CURB RAMP / MARKED PATHWAY TO REMAIN.</p> <p>9. EXISTING LANDSCAPING AREA TO REMAIN.</p> <p>10. LOCATION OF ELECTRICAL AND GAS CONNECTION CANOPY UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.</p> <p>11. EXISTING GREASE INTERCEPTOR TO REMAIN, VERIFY EXACT LOCATION PRIOR TO START OF CONSTRUCTION.</p> <p>12. OUTSIDE FACE OF EXIST. BUILDING EXTERIOR HALL.</p> <p>13. EXIST. PROPERTY LINE.</p> <p>14. EXIST. BUILDING SET BACK LINE.</p>		<p><b>GENERAL NOTES</b></p> <p>A. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE S.G.C. SHALL BE RESPONSIBLE TO VERIFY AND LOCATE EXACT LOCATION/DEPTH OF UNDERGROUND UTILITY LINES, COMMUNICATION LINES, ETC. SERVING THIS SITE. OBTAIN FIELD IN THE OFFICE OF THE COUNTY CLERK, OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1928, IN MAP BOOK 236, FOLIO 55.</p> <p>B. WHERE REQUIRED, S.G.C. SHALL NOTIFY ADJACENT TENANTS / PROPERTY OWNERS OF ANY SERVICE INTERRUPTIONS AT LEAST 48 HOURS PRIOR TO SERVICE INTERRUPTIONS.</p> <p>C. ANY DAMAGES TO UNDERGROUND UTILITY LINES SHALL BE REPAIRS TO THE UTILITY COMPANY INVOLVED; S.G.C. SHALL REPAIR DAMAGES PER UTILITY CO. REQUIREMENTS AT OWNERS RISK AND EXPENSE.</p> <p>D. UPON INSTALLATION OF FOOTINGS, IT SHALL BE THE S.G.C. RESPONSIBILITY TO OBTAIN THE SERVICES OF A LAND SURVEYOR TO PROVIDE TOP OF ADJACENT GROUND, GIVE TOPO POINTS TO THE CANOPY FABRICATOR PRIOR TO CANOPY FABRICATION. SAID LAND SURVEYOR SHALL PROVIDE A DRAWING SHOWING TOPO POINTS, NO EXCESSIVE TACKS.</p>	

5200 BUFFINGTON ROAD  
ATLANTA, GEORGIA 30348  
(404) 765-8000

esencia  
1743 E. McKim Drive, Suite 200  
Tempe, Arizona 85283  
Telephone: 480-755-0569

STATE OF NEW MEXICO  
JEFFREY W. WINTER  
NO. 004981  
REGISTERED PROFESSIONAL ENGINEER  
07-10-2020

Revision Schedule

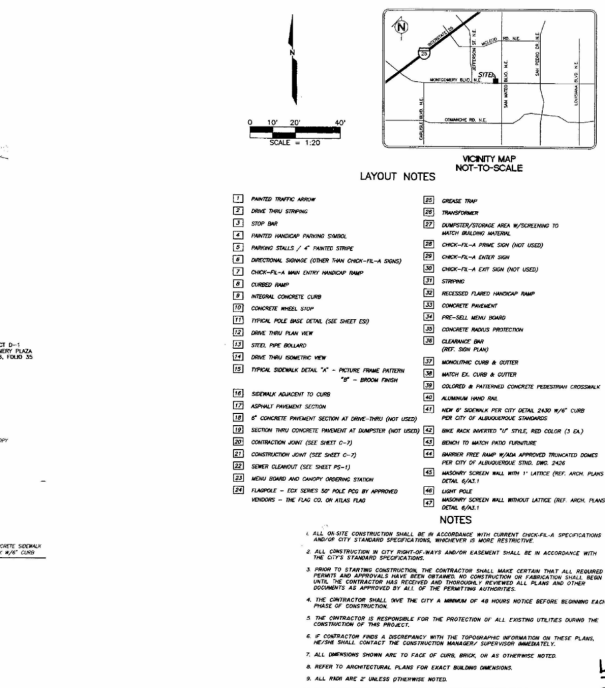
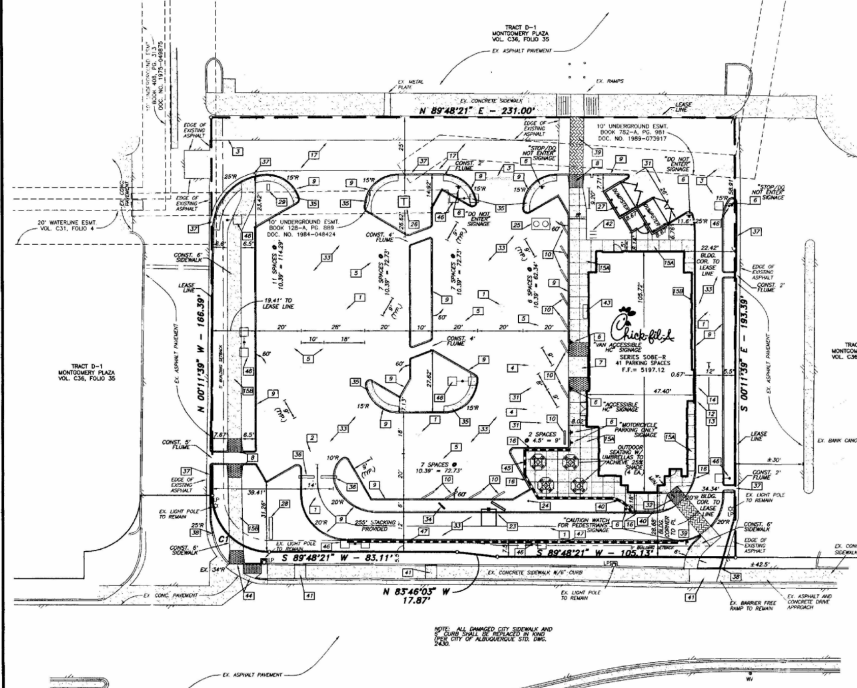
Rev	Date	By	Description
1	07-10-20	JM	City comments review

Project Name: CANOPY PROGRAM  
CHICK-FIL-A  
STORE #2793  
5009 MONTGOMERY BLVD. NE  
ALBUQUERQUE, NM 87109

Issue Date: 05-29-2020  
Drawn By: GA  
JOB Number: 19060

Sheet Title: Project Data  
Overall Site Plan  
Scale: As Indicated

Sheet Number: A-1



**City of Albuquerque**  
 5200 Buffington Rd.  
 Albuquerque, NM 87106  
 505-243-2995

Provisions:  
 Mark Date By  
 Mark Date By  
 Mark Date By

SEAL  
 JOHN M. BURGER  
 CIVIL ENGINEER  
 No. 12345

PART OF TRACT P-1  
 MONTGOMERY BLVD. N.E.  
 6031 MONTGOMERY BOULEVARD, N.E.  
 CITY OF ALBUQUERQUE, NEW MEXICO

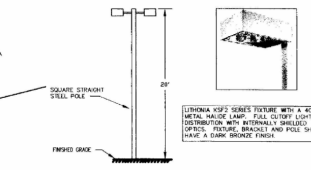
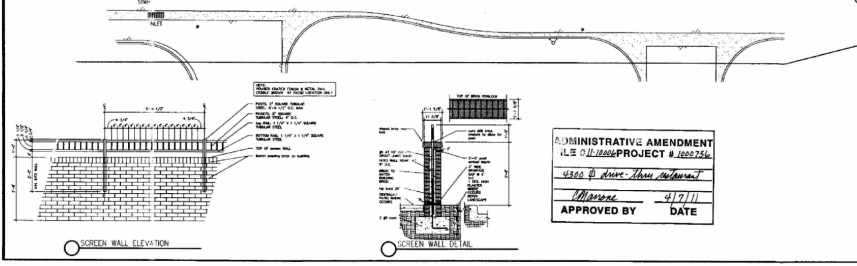
STORE  
 SERIES  
 808E-R

SHEET TITLE  
**SITE PLAN**

Job No. : 013-007  
 Store : 2793  
 Date : 11/18/10  
 Drawn By : JAC  
 Checked By : JMB  
 Sheet

**C-3**

# MONTGOMERY BOULEVARD N.E.



**SITE DATA**

OWNER:	801-1-0-1
LOT AREA:	1,817.1 ACRES (44.06 S.F.)
BUILDING AREA:	4,816 S.F.
C.A.R.:	0.10
TOTAL SEATING:	100 SEATERS
PARKING REQUIRED:	1 SPACE FOR EVERY 4 SEATERS
BUILDING PROVIDED:	100 SEATERS
BUILDING HEIGHT:	20' (0' SEATING)
EXISTING LANDSCAPE:	2,700 S.F. (16.4%)
NEW LANDSCAPE PROVIDED:	1,800 S.F. (10.0%)

**APPLICANT:**  
 CHECK-FLEX, INC.  
 5200 BUFFINGTON ROAD  
 ATLANTA, GEORGIA 30349  
 PHONE: (404) 765-8000  
 CONTACT: STEVE LEWIS

**ENGINEER:**  
 BURGER ENGINEERING, LLC  
 17103 PRESTON ROAD, SUITE 180N  
 DALLAS, TEXAS 75248  
 PHONE: (972) 850-3360  
 CONTACT: BRYAN M. BURGER, P.E.

**ADMINISTRATIVE AMENDMENT**  
 ILS 0-11-1000-PROJECT # 1000754  
 4302 @ done thru reference  
 Approved: [Signature] 11/17/11  
 APPROVED BY: [Signature] DATE

**2 SITE LIGHTING POLE DETAIL**  
 NOT TO SCALE

Albuquerque Control Survey Monument "3-Field"  
 New Mexico State Plane Coordinates  
 (Central Zone - 104D-82) via publisher  
 North = 1,504,358.281 feet  
 East = 1,535,970.687 feet  
 Elevation = 5212.228 feet (NAVD 1988)  
 Date Approv. = 02/11/07  
 Ground to Grid Factor = 0.999988741

**BURGER ENGINEERING**  
 Civil Consultants

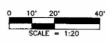
17103 Preston Road, Suite 180N  
 Dallas, Texas 75248  
 Office: (972) 850-3360 Fax: (972) 850-3380

DRAINAGE NOTE: THE STORMWATER RUNOFF FROM THE EXISTING MONTGOMERY PLAZA SHOPPING CENTER CURRENTLY DRAINS THROUGH THE CHICK-FIL-A SITE AND CONTAINS TO DRAIN THROUGH THE CHICK-FIL-A SITE TO MONTGOMERY BOULEVARD FOLLOWING CONSTRUCTION THERE SHALL BE MAINTAINED THE SPREADING PATTERNS FOR THE MONTGOMERY PLAZA SHOPPING CENTER.

DRAINAGE NARRATIVE: THE EXISTING RESTAURANT CURRENTLY LOCATED ON THE SITE WILL BE DEMOLISHED AND RELOCATED TO THE CONSTRUCTION DRAWINGS FOR THE NEW CHICK-FIL-A. ALL EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED FOR THE MONTGOMERY PLAZA SHOPPING CENTER. THE SITE CURRENTLY DRAINS SOUTH TO MONTGOMERY BOULEVARD. THE "B" SYSTEM DRAINS SOUTH TO MONTGOMERY BOULEVARD. THE "A" SYSTEM DRAINS SOUTH TO MONTGOMERY BOULEVARD. ALL CONSTRUCTION SHALL BE MAINTAINED TO MAINTAIN THE EXISTING DRAINAGE PATTERNS FOR THE EXISTING MONTGOMERY PLAZA SHOPPING CENTER.

**LEGEND**

- EXIST. CONTOUR
- PROP. CONTOUR
- EXIST. SPOT ELEV.
- PROP. FINISHED SPOT ELEV.
- PROP. TOP OF CURB & OUTLET ELEVATION
- ACCESSIBLE DRIVE
- VAN ACCESSIBLE DRIVE
- DRAINAGE AREA NUMBER
- NOTES
- DRAINAGE DITCH
- CONTRACTOR TO LEAVE LANDSCAPE MEASUREMENTS TO CAPITAL MONUMENTAL (C.M.P.)



**GRADING NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY STANDARDS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OF FOUNDATION SHALL BE DONE UNTIL THE CONTRACTOR HAS RECEIVED AND REVIEWED ALL PLANS AND THE DOCUMENTS APPROVED BY ALL OF THE APPLICABLE AGENCIES.
3. BARRICADES, TRAFFIC CONTROL AND PROTECT SIGN SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION AND TRUCK TRANSPORTATION BARRICADE AND CONSTRUCTION STANDARDS AND CITY SPECIFICATIONS.
4. THE CONTRACTOR SHALL VERIFY THE STABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND ELEVATIONS BEFORE COMMENCING ANY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY IMMEDIATELY OF ANY DISCREPANCIES. ANY ADJUSTMENT TO PROPOSED GRADE TO ACCOMMODATE ANY DISCREPANCY, IF NECESSARY, SHALL BE APPROVED BY ALL OF THE APPLICABLE AGENCIES. INSTALLED SHALL FLUSH OUT AT ANY CURBLINE WITH EXISTING PAVING.
5. ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DIMENSIONS SHOWN ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
6. REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.
7. SITE PREPARATION AND GRADING, FUNDATION EXCAVATION AND FILL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
9. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND ANY ELEVATIONS PRIOR TO CONSTRUCTION.
10. GRATE ALLEYS TO BE PRECAST, SINGLE SHEET METAL MANUFACTURED BY BIRDA PRODUCTS OR 24" x 24" x 2" WITH TRAFFIC BEARING GRADE OR APPROVED EQUAL.
11. CONTRACTOR TO REMOVE GRADE IN ACCESSIBLE ROUTE OR NOT EXCEED 2% IN THE ROAD SECTION BY A 1% CROSS SLOPE.
12. UNDER OTHERWISE NOTED, ALL PARKING LOT GRADES ARE TO BUTTER OR PROFILE GRADES TO BUTTER GRADE FOR TOP OF CURB GRADE.

**CONSTRUCTION SEQUENCE**

1. OBTAIN GRADING PERMIT.
2. INSTALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO CONSTRUCTION.
3. CLEAR SITE.
4. INSTALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO CONSTRUCTION.
5. GRADE SITE.
6. INSTALL ALL UNPROTECTED UTILITIES. INSTALL EROSION CONTROL MEASURES.
7. INSTALL PAVEMENT.
8. VERIFY AND ADJUST FINISHED CONSTRUCTION MEASUREMENTS. ALL DIMENSIONS, SPOTS, AND SPOT ELEVATIONS SHALL BE APPROVED BY ALL APPLICABLE AGENCIES PRIOR TO CONSTRUCTION.

# MONTGOMERY BOULEVARD N.E.

**HYDRAULIC DATA**

DA. No.	AREA (sqft)	P (ft)	C (Furrow)	Top (ft)	Sp. (ft)	REMARKS
1	0.14	10	0.86	4.70	0.56	SHEET FLOW TO EAST ACCESS DRIVE TO MONTGOMERY BLVD.
2	0.06	10	0.86	4.70	0.56	SHEET FLOW TO WEST ACCESS DRIVE TO MONTGOMERY BLVD.



Albuquerque Control Survey Monument 79-1117  
New Mexico State Plane Coordinates  
(Control Zone - NAD 83) as published  
North = 1,504,328.281 feet  
East = 1,535,915.552 feet  
Elevation = 5,112.228 feet (NAVD 1988)  
Datum Alpha = 2011-36.74"  
Ground to Grid Factor = 0.9999960141

**BURGER ENGINEERING**  
Civil Consultants  
17100 Pavilion Blvd., Suite 180N  
Dallas, Texas 75248  
Office: 972.838.3360 Fax: 972.838.3388



**Chick-fil-A**  
5200 Buffington Rd.  
Atlanta, Georgia  
30349-2998

**Revisions:**

Mark	Date	By
△		
△		
△		



PART OF TRACT D-1  
MONTGOMERY PLAZA  
5031 MONTGOMERY BOULEVARD, NE  
CITY OF ALBUQUERQUE, NEW MEXICO

STORE  
SERIES  
SOBE-R

**GRADING & DRAINAGE PLAN**

PrePreliminary  
80% Submittal  
For Construction  
Job No. : 03-027  
Store : 283  
Date : 11/28/10  
Drawn By : JAC  
Checked By: BMB

Sheet

**C-4**

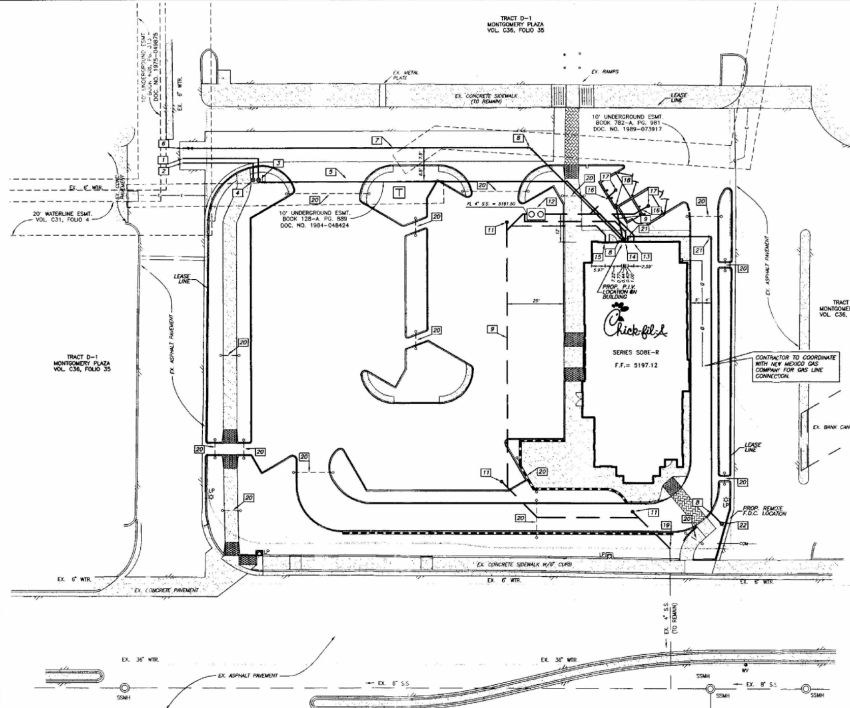
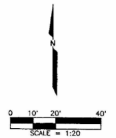
TRACT D-1  
MONTGOMERY PLAZA  
VOL. CSR, PLOD 35

UTILITY CONTACTS

Table with 4 columns: UTILITY, UTILITY COMPANY, CONTACT, PHONE

LEGEND

- 12" FIRE HYDRANT
• 6" W. CHANGLED "C" PIECE
• 1/2" W. CHANGLED "C" PIECE
• 1/2" W. CHANGLED "C" PIECE



LAYOUT NOTES

- 1. INSTALL 3/4" P.V.C. SERVICE CONNECTION TO EX. OF WATER.
2. INSTALL 1/2" P.V.C. SERVICE CONNECTION TO EX. OF WATER.
3. INSTALL 1/2" DOMESTIC WATER SERVICE METER WITHER BOX.

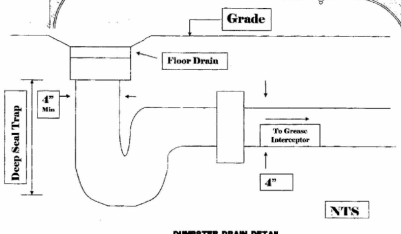
WATER LINE GENERAL NOTES

- 1. ALL WORK AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
2. ALL 4" OR 6" WATER LINES SHALL BE P.V.C. WITH CLASS 150 WATER PIPE FOR P.V.C. SERVICE PIPES.
3. DURING OF WATER LINES TO MEET CITY DESIGN CRITERIA.

WASTE WATER GENERAL NOTES

- 1. ALL WORK UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
2. THE VERTICAL AND HORIZONTAL LOCATIONS OF EXISTING SANITARY UTILITIES HAVE BEEN DETERMINED FROM EXISTING RECORDS AND FIELD SURVEY.
3. CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING ANY SANITARY LINE INTERFERENCE.

MONTGOMERY BOULEVARD N.E.



IMPORTANT: CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A CONSTRUCTION PLAN OF ALL CONNECTIONS WITH CONTINGENT TRENCHES 20' DEEP TO AVOID ACCIDENTAL DAMAGE TO EXISTING UTILITIES TO BE PROTECTED.



Alan L. Berger, Professional Engineer, No. 11204, 558, 281, New Mexico State Board of Engineers, License No. 15,508, 6761, 6817, Elevations 5272.225 feet (NAVD 1988), Date 08/19/2017, Ground to Grid Factor = 0.9998668141

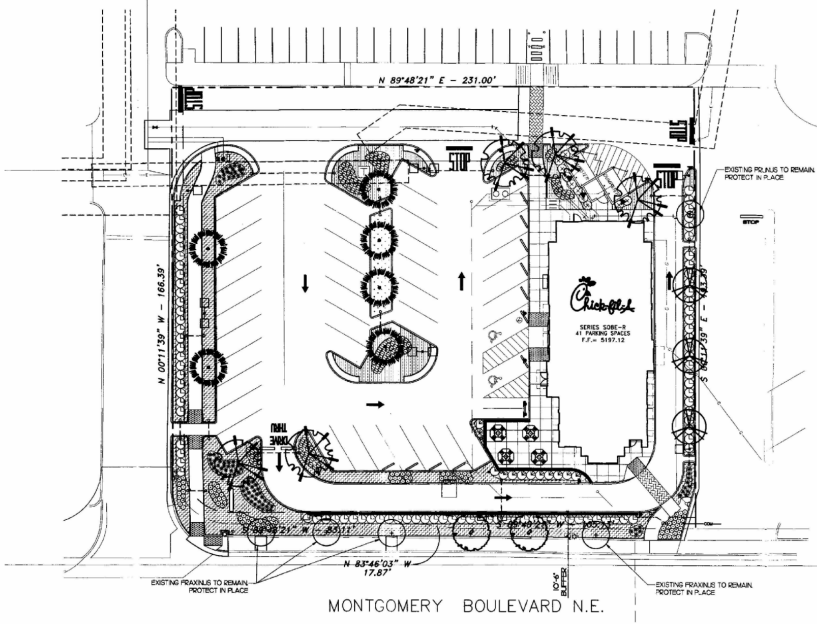
B BURGER ENGINEERING Civil Consultants

17100 Preston Road, Suite 182N Dallas, Texas 75248 Phone: 972.433.3300 Fax: 972.433.3309

Project information and revision table including: Chick-fil-A logo, address (5200 Bufington Rd, Atlanta Georgia 30349-2998), Revisions table, PART OF TRACT D-1 MONTGOMERY PLAZA, CITY OF ALBUQUERQUE, NEW MEXICO, SHEET TITLE PLUMBING PLAN, Job No. 013-007, Store: 2763, Date: 11/18/10, Drawn by: JAC, Checked by: BMB, Sheet PS-1.

**PLANTING LEGEND**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.	REMARKS	WATER USAGE	HEIGHT	WIDTH
<b>EXISTING PLANTING</b>							
⊗	EXISTING PRAXINUS	EXTG	1	EXISTING TO REMAIN	-	-	-
⊕	EXISTING PRAXINUS	EXTG	4	EXISTING TO REMAIN	-	-	-
<b>TREES</b>							
⊗	PRAXINUS PENNSYLVANICA GREEN ASH	2" CALIPER	2	STANDARD DOUBLE STAKE	MED	60'	60'
⊕	PROSOPIS GLANDULOSA HONEY MESQUITE	2" CALIPER	6	STANDARD DOUBLE STAKE	LOW	20'	25'
⊗	PISTACIA CHINENSIS CHINESE PISTACHE	2" CALIPER	5	STANDARD DOUBLE STAKE LIFT + SITE TRANSFER	MED	60'	60'
⊕	PRUNUS CERASIFERA PURPLELEAF PLUM	2" CALIPER	3	STANDARD DOUBLE STAKE	MED	20'	20'
<b>SHRUBS</b>							
⊗	ELAEAGNUS YUENGI SILVERBERY	15 GALLON	11	4'-0" O.C.	MED	10'	10'
⊕	GENISTA HISPANICA SPANISH BROOM	5 GALLON	12	4'-0" O.C.	MED	48"	48"
⊗	HELIOTROPION SPERMATOPHYTES SILVER AVENUE GRASS	5 GALLON	94	2'-0" O.C.	MED	24"	24"
⊕	HEMOCALLIS STELLA D'ORO EVERGREEN DAILY	5 GALLON	111	2'-0" O.C.	MED	24"	36"
⊗	LEUCOPHYLLUM LANGMANIAE RIO BRAVO RAISINAGE	5 GALLON	92	4'-0" O.C.	MED	48"	48"
⊕	SALVIA AMANULLIFOLIA LAVENDER SAGE	5 GALLON	147	2'-0" O.C.	MED	24"	24"
<b>GROUND COVERS</b>							
□	COTYLEDON DACTYLOM BERMUDA GRASS	500	400 S.F.		MED	-	-
▨	PESTUCA OVINA 'GALUCA' BLUE PESCUE	FLATS	3,488 S.F.	8' O.C.	MED	12"	12"
▨	ONOTHERA CAESPITOSA WHITE EVENING PRIMROSE	FLATS	1,206 S.F.	12' O.C.	LOW	12"	12"
<b>VINES</b>							
▼	LONICERA C. PURPUREA PURPLE LEAF HONEYSUCKLE	15 GALLON	4	REMOVE FROM STAKES, ATTACH TO WALL WITH TUMAX VINE TIES	MED	-	-



MONTGOMERY BOULEVARD N.E.

**PLANTING NOTES**

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATIONS FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL TREES SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH IN THE LATEST EDITION OF NEW MEXICO ASSOCIATION OF NURSERY INDUSTRY (NMANI) FOR RECOMMENDED TREE SPECIFICATIONS.
- ALL SHRUBS AND GROUND COVERS SHALL EQUAL OR SURPASS NEW MEXICO ASSOCIATION OF NURSERY INDUSTRY (NMANI) FOR STANDARDS, QUALITY, AND SIZE.
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- SEE PLANTING DETAILS FOR PLANTING AND STAKING AND STAKING REQUIREMENTS.
- FERTILIZERS FOR ALL GROUND COVER AREAS SHALL BE AS SPECIFIED WITHIN THE SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, ROLLING, SAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTING FREE OF INSECTS AND DISEASES, WEEDING, ROLLING, MOWING, RISEEDING, EDGING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND LIVESHIP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
- ALL SHRUB AREAS TO BE 10" DEESED WITH 1" LAYER OF DECOMPOSED GRANITE 1/2" SCREENED "EXPRESS BROWN".
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF UTILITIES, REPAIR TO INCLUDE ALL DAMAGED IRRIGATION AND PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- FINISH GRADE TO BE 1" BELOW TOP OF CURB OR SIDEWALK FOR TURF AND GROUND COVER AREAS.
- ALL PLANTER AREAS TO BE ROTOTILLED AND AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS, NO DEVIATIONS.
- ALL PLANTING AREAS TO BE IRRIGATED UTILIZING LOW VOLUME SPRAY HEADS, BUBBLERS AND/OR DRIP EMITTERS CONNECTED TO AN AUTOMATIC REMOTE CONTROL VALVE AND TIED INTO A CENTRAL AUTOMATIC IRRIGATION CONTROLLER.
- IRRIGATION CONTROLLER TO BE INSTALLED WITH RAIN SENSOR DEVICE (RANSEN) OR EQUAL TO CONSERVE WATER.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT SHALL ADHERE TO CITY OF ALBUQUERQUE LANDSCAPE STANDARDS.
- ALL FINISH GRADING SHALL BE DIRECTED AWAY FROM THE BUILDING AND WALKS AND TOWARDS THE PREVIOUS PLANTER AREAS TO THE MAXIMUM EXTENT PRACTICABLE. REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE.
- ALL UTILITIES TO BE SCREENED WITH PLANTING AND ALL BACKFLOW PREVENTERS TO BE SCREENED WITH PLANTING AND INSTALLED WITH A STAINLESS STEEL SECURITY ENCLOSURE.
- DEVELOPED AREAS OF THIS PROJECT SHALL BE PERMANENTLY MARKED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- MAXIMUM WATER ALLOWANCES & ESTIMATE WATER USE SHALL BE CALCULATED AND SUBMITTED ON ALL LANDSCAPE CONSTRUCTION DOCUMENTS SUBMITTED TO THE CITY OF ALBUQUERQUE.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO THE PUBLIC FACILITIES DEVELOPMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT. TREE & SHRUBS SHALL BE PLANTED ON SEPARATE LINES & VINES.

**LANDSCAPE CALCULATIONS**

LOT AREA:	1.071 ACRES (46,306 S.F.)
TOTAL LANDSCAPE:	8,830 S.F. (20.0%)
SHRUB AREA:	8,400 S.F.
TREE AREA:	430 S.F.
TOTAL LANDSCAPE AREA:	8,830 S.F.

REQUIREMENT	REQUIRED	PROPOSED
PARKING LOT SHADING 1 TREE PER 10 STALLS (MIN 2" CALIPER) PLANNING: 4/10 = 41	5	8
1 TREE PER 8 STALLS (CONING) 4/8 = 51.25	6	8
BUFFER 10' MIN. DEPTH	10'	10'-4"

MINIMUM PLANT SIZES:  
TREES: 2" CALIPER  
SHRUBS: 1 GALLON  
GROUND COVER: 75% COVERAGE WITHIN 1 SEASON.

**PRELIMINARY PLANTING PLAN**

1" = 30'-0"

**BURGER ENGINEERING**  
Civil Consultants

17100 Preston Road, Suite 1000  
Dallas, Texas 75248  
Office: 972.636.2000 Fax: 972.636.5500

Job No.: 1013-000  
Store: 2793  
Date: 3/31/11  
Drawn By: KLM  
Checked By: JGH  
Sheet:

**Chippell**  
5200 Buffington Rd.  
Atlanta, Georgia, 30348-2988

Revisions:  
Mark Date By  
Mark Date By  
Mark Date By

**Chippell**  
5200 Buffington Rd.  
Atlanta, Georgia, 30348-2988

PART OF TRACT D-1  
MONTGOMERY PLAZA  
MONTGOMERY BOULEVARD, NE  
5031 MONTGOMERY BOULEVARD, NE  
CITY OF ALBUQUERQUE, NEW MEXICO

SERIES  
SOBE-R

PRELIMINARY  
PLANTING PLAN

PRELIMINARY  
PROVIDE, SUBMITTED  
FOR CONSTRUCTION

1-1

**5. GENERAL NOTES:**

- REFER TO CIVIL DRAWINGS FOR FINISH BREAKERS AND LOCATION OF WALLS.
- PROVIDE BLOCKING FOR ALL EXTERIOR WALL MOUNTED LIGHT FIXTURES, AWNINGS & SIGNS AS REQUIRED.
- PAINT ALL WOOD AND METALS EXPOSED TO THE EXTERIOR.

**6. DRIVE - THRU WINDOW:**

QUICKSEAL MULTI-AUTOMATIC BRACKETING MODEL BR-740E - FINISH TO MATCH STOREFRONT CONTACT: JACOBS SLUSH & WOOD 369-9307

**7. STOREFRONT NOTES:**

- PRODUCT TAG - YES IS DARK BRONZE - MATTER TO OBTAIN A LIST OF QUALIFIED GLAZING CONTRACTORS.
- CONTACT: JACOBS SLUSH & WOOD 369-9307
- CONTRACTOR CONTACT: CPA CONSTRUCTION MANAGER
- SLIPPER: BRICK - 18" SPACING JOINT IF C/C SHALL NOT BE IN THE SAME COURSE AS TIES TO WALL.
- BRICK: 18" SPACING JOINT IF C/C SHALL NOT BE IN THE SAME COURSE AS TIES TO WALL.
- BRICK: 20" LONG x 4" X 3 3/4" STEEL ANGLE PROVIDE END DAMS IN SILL.

**8. BRICK COLORS:**

- BRICK - GARDNER
- BRICK - 18" MODULAR SIZE
- BRICK - 20" MODULAR SIZE
- BY SOME BRICK MODULAR SIZE

**9. BRICK SPECIFICATIONS:**

- BRICK: 18" MODULAR BRICK TIES BRACED BY C/C HORIZONTALLY AND 24" C/C VERTICALLY.
- BRICK: 20" MODULAR BRICK TIES BRACED BY C/C HORIZONTALLY AND 24" C/C VERTICALLY.
- BRICK: 20" MODULAR BRICK TIES BRACED BY C/C HORIZONTALLY AND 24" C/C VERTICALLY.
- BRICK: 20" MODULAR BRICK TIES BRACED BY C/C HORIZONTALLY AND 24" C/C VERTICALLY.
- BRICK: 20" MODULAR BRICK TIES BRACED BY C/C HORIZONTALLY AND 24" C/C VERTICALLY.
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- BRICK: 20" MODULAR BRICK TIES BRACED BY C/C HORIZONTALLY AND 24" C/C VERTICALLY.
- BRICK: 20" MODULAR BRICK TIES BRACED BY C/C HORIZONTALLY AND 24" C/C VERTICALLY.
- BRICK: 20" MODULAR BRICK TIES BRACED BY C/C HORIZONTALLY AND 24" C/C VERTICALLY.
- BRICK: 20" MODULAR BRICK TIES BRACED BY C/C HORIZONTALLY AND 24" C/C VERTICALLY.

**10. SELF ADHERING MEMBRANE FLASHING:**

- REMOVE LARGE PARTICLES FROM THE WALL WITH A HAND TOOL.
- THOROUGHLY PREPARE THE AREA WITH PLURTY OF WATER.
- REMOVE THE AREA BELOW THE SECTION TO BE FLASHED TO ALSO THOROUGHLY PREPARE THE WALL MUST BE CLEAN AND ALL TIMES.
- IF A TEST PANEL CANNOT BE USED A QUALITY SAMPLE SHOULD BE TESTED PRIOR TO GLAZING.
- APPLY THE FLASHING ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- REMOVE EXCESS FLASHING WITH WATER.
- REMOVE EXCESS FLASHING WITH WATER.
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- REMOVE EXCESS FLASHING WITH WATER.
- REMOVE EXCESS FLASHING WITH WATER.

**11. AWNING:**

- FLASH SEALERS: PREPARED ALUMINUM AWNING COLOR - CASUAL RED WITH APPLIED VINYL EXPOSURE BY SIGN MANUFACTURER. STRIPES TO BE 3/4" WIDE. COLORS - TAN (0725-20) & BLACK (0725-20)
- FLASH SEALERS: PREPARED ALUMINUM AWNING COLOR - CASUAL RED WITH APPLIED VINYL EXPOSURE BY SIGN MANUFACTURER. STRIPES TO BE 3/4" WIDE. COLORS - TAN (0725-20) & BLACK (0725-20)
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**12. HARDI SOFFITS & PANELS:**

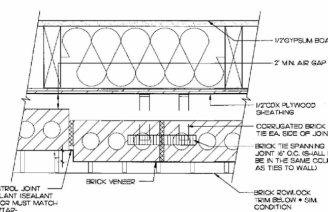
- NON-COMBUSTIBLE FIBER-CEMENT PANELS (SMOOTH HARDI PLANK) WOOD GRAIN AS MANUFACTURED BY JAMES HARDI BUILDING PRODUCTS INC. PANELS SHALL BE SECURED WITH 17# GALVANIZED STEEL FASTENERS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
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**13. SEALANTS:**

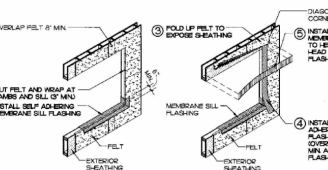
- DOWN CORNER 195 URETHANE BUILDING SEALANT COLOR - CASUAL RED SEALANT COLOR MUST MATCH MORTAR USE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- DOWN CORNER 195 URETHANE BUILDING SEALANT COLOR - CASUAL RED SEALANT COLOR MUST MATCH MORTAR USE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- DOWN CORNER 195 URETHANE BUILDING SEALANT COLOR - CASUAL RED SEALANT COLOR MUST MATCH MORTAR USE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
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- DOWN CORNER 195 URETHANE BUILDING SEALANT COLOR - CASUAL RED SEALANT COLOR MUST MATCH MORTAR USE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

**14. ATTIC ACCESS PANEL:**

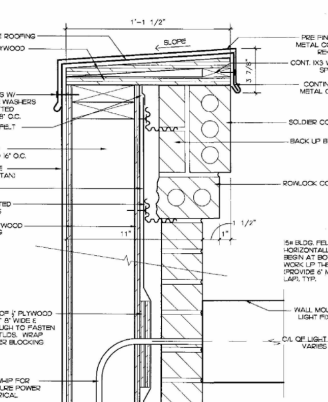
- 2200# WEATHER RESISTANT PLUS ACCESS PANEL 10" SQUARE MODEL WPA (8 GA) AS MANUFACTURED BY J. INDUSTRIES
- 2200# WEATHER RESISTANT PLUS ACCESS PANEL 10" SQUARE MODEL WPA (8 GA) AS MANUFACTURED BY J. INDUSTRIES
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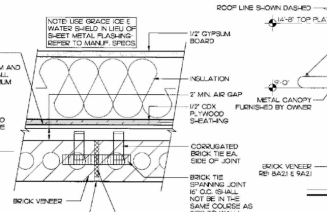
**15. BRICK PILASTER DETAIL**  
3/4" = 1'-0"



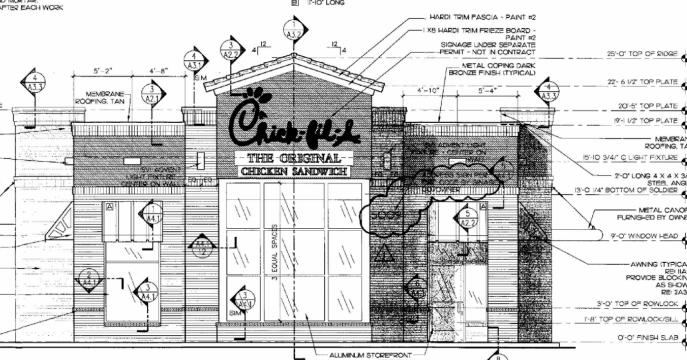
**5. STOREFRONT FLASHING**  
NOT TO SCALE



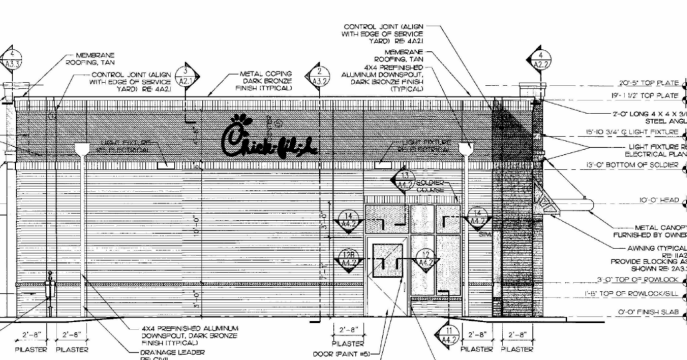
**3. PARAPET DETAIL**  
3/4" = 1'-0"



**4. BRICK CONTROL JOINT DETAIL**  
3/4" = 1'-0"



**1. FRONT ELEVATION**  
1/4" = 1'-0"



**2. REAR ELEVATION**  
1/4" = 1'-0"

**Chick-fil-A**  
5200 Buffington Rd.  
Alpharetta, Georgia  
30349-2998

Revisions:  
Mark Date By  
1. 03-23-11 BUILDING PERM REVIEW COMMENTS  
2. 03-23-11 BUILDING PERM REVIEW COMMENTS  
3. 03-23-11 BUILDING PERM REVIEW COMMENTS

Max & Associates, Inc.  
5200 Montgomery Blvd  
Albuquerque, NM

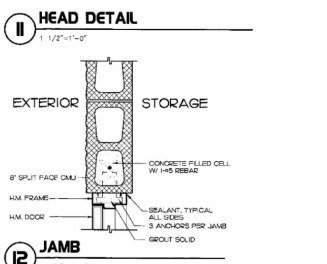
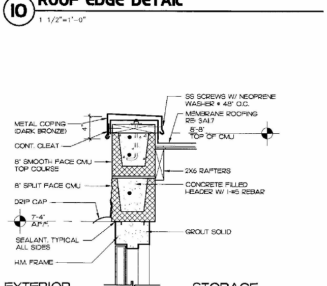
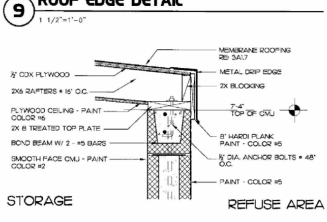
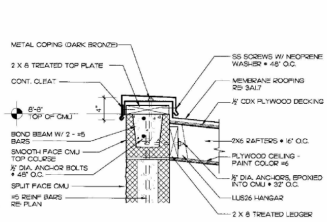
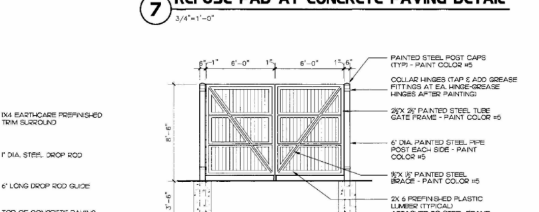
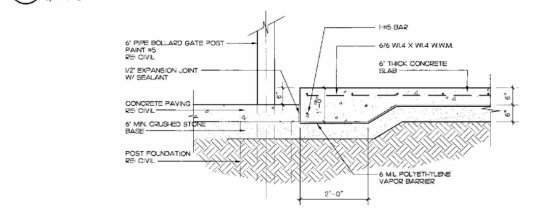
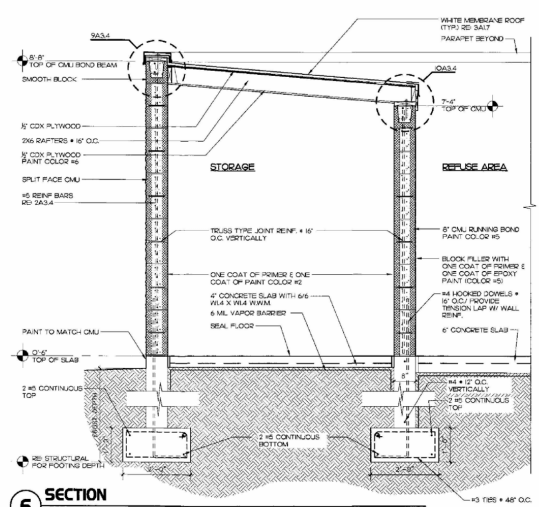
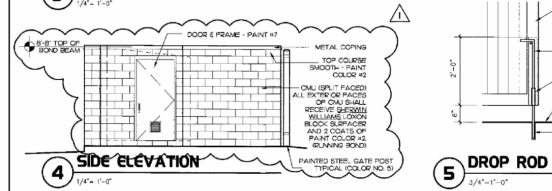
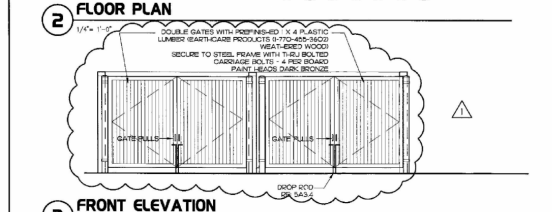
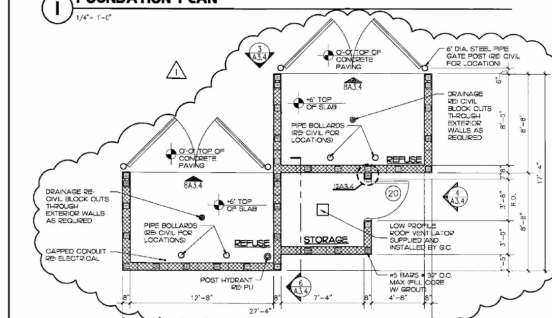
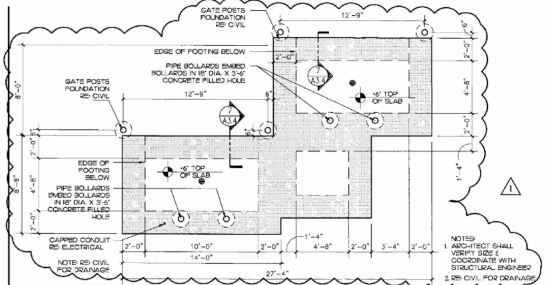
SHEET TITLE  
EXTERIOR ELEVATIONS

VERSION: 5  
ISSUE DATE: 2010

JOB NO.: 10044  
Store #: 7793  
Date: 03-23-11  
Drawn By: BR KA  
Checked By: \_\_\_\_\_

A-2.1





**CR**

**Criffin**

5200 Burlington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark	Date	By

SEAL

MAKES & ASSOCIATES, INC.

10700 Montgomery & San Meador F30  
108 E. BEAVER 45-02  
3009 Montgomery Blvd  
NE  
Albuquerque, NM

SHEET TITLE  
REFUSE ENCLOSURE

WORKNO. 5  
ISSUE DATE: 2010


Job No. : 10944  
Store : 2793  
Date : 03-23-11  
Drawn By : G.L.A.  
Checked By : ---

A-3.4



**SPECIFICATIONS**

**CABINET**  
 ALUMINUM CABINET HAS STEEL FRAME WITH .080 ALUMINUM CLADDING, RETAINERS AND FILLER.  
**CHICK-FIL-A ICON**  
 ACRYLIC FACES DECORATED WITH TRANSLUCENT VINYL FILM ON SURFACE OF ACRYLIC. FACES ARE BACKLIT BY HIGH OUTPUT FLUORESCENT LAMPS SPACED EVENLY ON 12" CENTERS.  
**DECORATIVE SKIRT**  
 SKIRT HAS STEEL FRAME WITH .080 ALUMINUM CLADDING.  
**READER BOARD**  
 ALUMINUM CONSTRUCTION CABINET WITH ACRYLIC FACES BACKLIT BY HIGH OUTPUT FLUORESCENT LAMPS SPACED EVENLY ON 12" CENTERS.  
 TRACK ACCOMMODATES WAGNER ZIP LETTERS.

This Product is Listed by UNDERWRITERS LABORATORIES, INC. and Bears the Mark: 

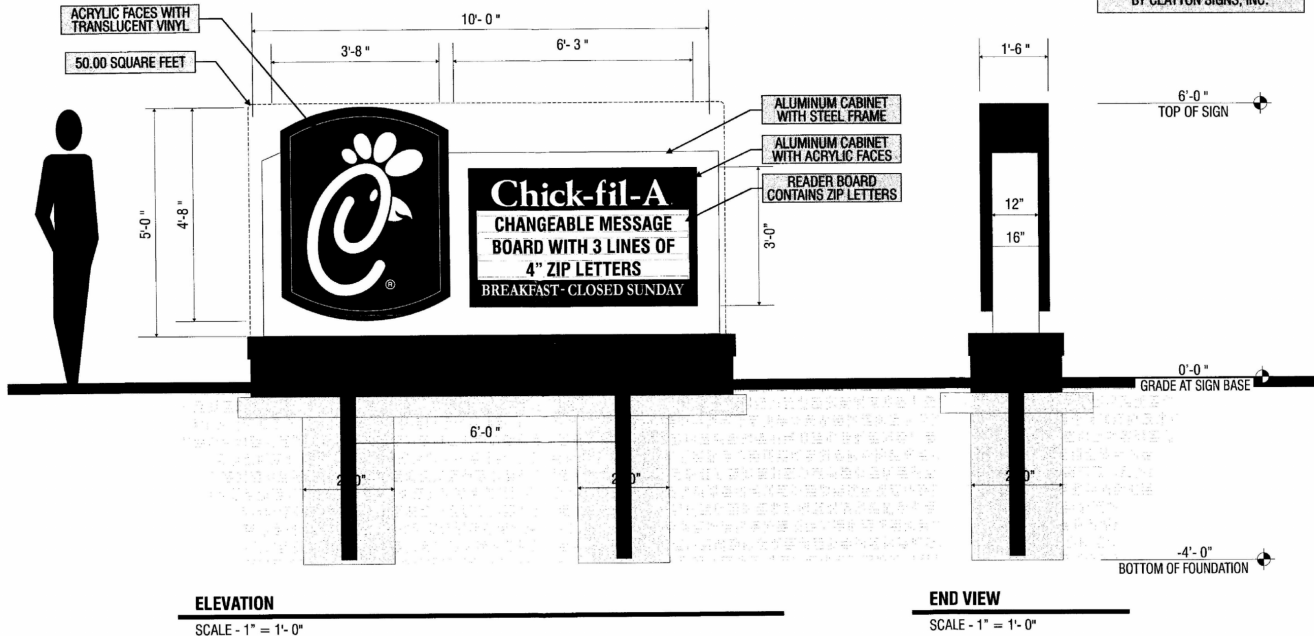
ALUMINUM SURFACES  
 GRIPGARD #503 RED GLOSS FLEX FACES  
 230-53 CARDINAL RED TRANSLUCENT VINYL FILM

ALUMINUM SURFACES  
 RST584 AKZO NOBEL GLOSS ACRYLIC FACES  
 7328 WHITE ACRYLIC

MASONRY TO MATCH BUILDING

NOTE: ICON SIDE OF SIGN SHOULD ALWAYS BE POSITIONED CLOSEST TO THE ROAD

MASONRY WORK AND CONCRETE PAD FOR MASONRY WORK IS FURNISHED BY THE GENERAL CONTRACTOR SIGN FOUNDATION IS FURNISHED BY CLAYTON SIGNS, INC.



**ELEVATION**

SCALE - 1" = 1'- 0"

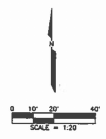
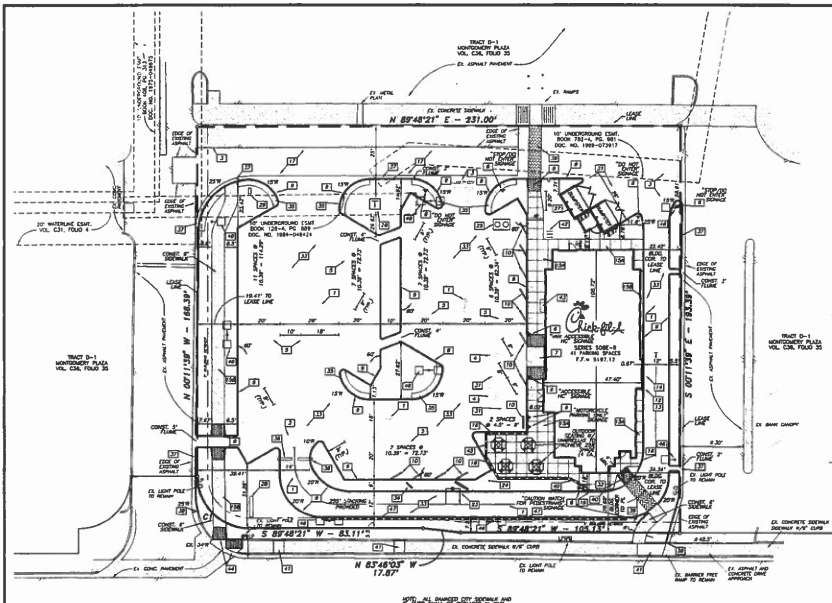
**END VIEW**

SCALE - 1" = 1'- 0"



5198 North Lake Drive  
 Lake City, GA 30260  
 404-361-3800 fax 404-361-7038  
 website - www.claytonsigns.com

<b>SIGN TYPE</b> <b>2</b>	DOUBLE-FACED INTERNALLY-ILLUMINATED MONUMENT SIGN AGGREGATE SQUARE FOOTAGE - 50.00 SQUARE FEET	ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED	DRAWN BY: BEN HOLLIDAY	STORE NUMBER <b>2793</b>	STORE ADDRESS CHICK-FIL-A MONTGOMERY BLVD., NE ALBUQUERQUE, NM 87109	THIS DRAWING IS AN ORIGINAL, UNPUBLISHED DESIGN CREATED BY CLAYTON SIGNS, INC. IT IS NOT TO BE REPRODUCED, CHANGED, OR EXHIBITED TO ANYONE OUTSIDE OF YOUR COMPANY IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION FROM THE OWNER OF CLAYTON SIGNS, INC. ANY SUCH ACTS MAY BE SUBJECT TO LEGAL ACTION IN A COURT OF LAW. © 2011 ALL RIGHTS RESERVED	<b>LOCATION</b> <b>A</b>
	DRAWING FILE - CFA - ALBUQUERQUE, NM (MONTGOMERY) SIGNAGE.CDR		ACCOUNT REP: BEN HOLLIDAY DRAWING DATE: SEPTEMBER 14, 2010				

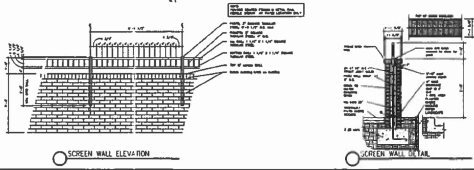


LAYOUT NOTES

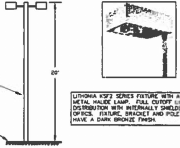
- ① PAINTED TRAFFIC ARROWS
- ② SPINE TRUCK STOPPING
- ③ STOP SIGN
- ④ PAINTED HANDSTOP PARKING SPACES
- ⑤ PARKING SPACES // PAINTED STRIPS
- ⑥ DIRECTIONAL SIGNAGE (OWNER AND CHECK-PLA-30 SIGN)
- ⑦ CHECK-PLA-30 SIGN (NOT USED)
- ⑧ CHECK-PLA-30 SIGN (NOT USED)
- ⑨ CHECK-PLA-30 SIGN (NOT USED)
- ⑩ MEDICAL CONCRETE CURB
- ⑪ CONCRETE WALKWAY
- ⑫ TYPICAL PAVE BASE DETAIL (SEE SHEET 02)
- ⑬ DRIVE TRAY PLAN VIEW
- ⑭ DRIVE TRAY CONCRETE CURB
- ⑮ DRIVE TRAY CONCRETE CURB
- ⑯ DRIVE TRAY CONCRETE CURB
- ⑰ DRIVE TRAY CONCRETE CURB
- ⑱ DRIVE TRAY CONCRETE CURB
- ⑲ DRIVE TRAY CONCRETE CURB
- ⑳ DRIVE TRAY CONCRETE CURB
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- ㊿ DRIVE TRAY CONCRETE CURB

- NOTES
1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CDDA-PLA SPECIFICATIONS AND CITY STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.
  2. ALL CONSTRUCTION IS CITY APPROVED. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS.
  3. PRIOR TO EXISTING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THAT ALL APPROVED PERMITS AND APPROVALS ARE IN PLACE BEFORE ANY CONSTRUCTION OF FOUNDATION SHALL BE PERMITTED. THIS INCLUDES THE CITY OF ATLANTA'S PERMITS, ALL PLANS AND OTHER PERMITS OF CONSTRUCTION.
  4. THE CONTRACTOR SHALL OBTAIN THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE EACH PHASE OF CONSTRUCTION.
  5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE COURSE OF THIS PROJECT.
  6. IF CONTRACTOR FINDS A DISCREPANCY WITH THE INFORMATION PROVIDED ON THESE PLANS, BEFORE BEGINNING WORK, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER.
  7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
  8. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS.
  10. ALL PAVING SHALL BE DONE IN ACCORDANCE WITH CURRENT CDDA-PLA SPECIFICATIONS.

MONTGOMERY BOULEVARD N.E.



ADMINISTRATIVE AMENDMENT  
 FILE # 11-2009-0000 PROJECT # 10000000  
 ISSUED @ June 10, 2009  
 APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_



② SITE LIGHTING POLE DETAIL  
 NOT TO SCALE



Attestation Control Survey Monument "B-118"  
 Near Meigs State Stone Coordinates  
 (Central Zone - NAD 83) as published  
 Georgia Department of Transportation  
 Station: 2212.228 feet (NAVD 1988)  
 Data: 07/11/08  
 Ground to Grid Factor: 0.999988814

**SITE DATA**

JOB NO. 001-000  
 SHEET NO. 000-000  
 DATE: 11/18/08  
 DRAWN BY: SAC  
 CHECKED BY: [Signature]

**APPLICANT:**  
 CHECK-PLA, INC.  
 5200 BUFINGTON ROAD  
 ATLANTA, GEORGIA 30348  
 PHONE: (404) 765-8000  
 CONTACT: STEVE LEWIS

**ENGINEERS:**  
 BURGER ENGINEERING, LLC  
 17103 PRESTON ROAD, SUITE 1804  
 DALLAS, TEXAS 75248  
 PHONE: (972) 630-1800  
 CONTACT: BRYAN M. BURGER, P.E.

Revisions:  
 Mark Date By  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

800 Montgomery Blvd. N.E.  
 PART OF TRACT D-1  
 MONTGOMERY PLAZA  
 MONTGOMERY BOULEVARD, N.E.  
 CITY OF ALBUQUERQUE, NEW MEXICO

SHEET TITLE  
 SITE PLAN

Primary Submittal  
 of Construction

Job No. : 001-000  
 Sheet : 000-000  
 Date By : 11/18/08  
 Checked By: SAC

Sheet

C-3

# Site Plan Checklist

**Bowman**

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***



05/28/2024

**Applicant or Agent Signature / Date**

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

# SITE PLAN CHECKLIST

- ✓ 3. Bar scale
- ✓ 4. North arrow
- ✓ 5. Legend
- ✓ 6. Scaled vicinity map
- ✓ 7. Property lines (clearly identify)
- ✓ 8. Existing and proposed easements (identify each)
- N/A 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- ✓ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ✓ B. Square footage of each structure
- ✓ C. Proposed use of each structure
- ✓ D. Signs (freestanding) and other improvements
- ✓ E. Walls, fences, and screening: indicate height, length, color and materials
- ✓ F. Dimensions of all principal site elements or typical dimensions
- N/A G. Loading facilities
- N/A H. Site lighting (indicate height & fixture type)
- ✓ I. Indicate structures within 20 feet of site
- N/A J. Elevation drawing of refuse container and enclosure, if applicable.
- ✓ K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- ✓ A. Parking layout with spaces numbered per aisle and totaled.
  - ✓ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - ✓ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - N/A 3. On street parking spaces
- ✓ B. Bicycle parking & facilities
  - ✓ 1. Bicycle racks – location and detail
  - N/A 2. Other bicycle facilities, if applicable
- ✓ C. Vehicular Circulation (Refer to DPM and IDO)
  - ✓ 1. Ingress and egress locations, including width and curve radii dimensions
  - ✓ 2. Drive aisle locations, including width and curve radii dimensions
  - ✓ 3. End aisle locations, including width and curve radii dimensions
  - N/A 4. Location & orientation of refuse enclosure, with dimensions
  - N/A 5. Loading, service area, and refuse service locations and dimensions
- ✓ D. Pedestrian Circulation
  - ✓ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- N/A E. Off-Street Loading
  - N/A 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - N/A 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - 6. Location of street lights
  - N/A 7. Show and dimension clear sight triangle at each site access point
  - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
  - N/A 1. Bikeways and bike-related facilities
  - N/A 2. Pedestrian trails and linkages
  - 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- N/A 1. Scale - must be same as scale on sheet #1 - Site plan
- N/A 2. Bar Scale
- N/A 3. North Arrow
- N/A 4. Property Lines
- N/A 5 Existing and proposed easements
- N/A 6. Identify nature of ground cover materials
  - N/A A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - N/A B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - N/A C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- N/A 7. Identify type, location and size of plantings (common and/or botanical names).
  - N/A A. Existing, indicating whether it is to be preserved or removed.
  - N/A B. Proposed, to be established for general landscaping.
  - N/A C. Proposed, to be established for screening/buffering.
- N/A 8. Describe irrigation system – Phase I & II . . .
- N/A 9. Planting Beds, indicating square footage of each bed
- N/A 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- N/A 11. Responsibility for Maintenance (statement)
- N/A 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- N/A 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- N/A 14. Planting or tree well detail
- N/A 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- N/A 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- N/A 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- N/A 7. Location of Retaining walls

#### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- N/A 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- ✓ A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- ✓ B. Distribution lines
- ✓ C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ✓ D. Existing water, sewer, storm drainage facilities (public and/or private).
- ✓ E. Proposed water, sewer, storm drainage facilities (public and/or private)
- ✓ F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- N/A A. Scale
- N/A B. Bar Scale
- N/A C. Detailed Building Elevations for each facade
  - N/A 1. Identify facade orientation
  - N/A 2. Dimensions of facade elements, including overall height and width
  - N/A 3. Location, material and colors of windows, doors and framing
  - N/A 4. Materials and colors of all building elements and structures
  - N/A 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

- N/A 1. Site location(s)
- N/A 2. Sign elevations to scale
- N/A 3. Dimensions, including height and width
- N/A 4. Sign face area - dimensions and square footage clearly indicated
- N/A 5. Lighting
- N/A 6. Materials and colors for sign face and structural elements.
- N/A 7. List the sign restrictions per the IDO



# Letter of Authorization

**Bowman**

April 11, 2024

**LETTER OF AUTHORIZATION**

RE: Chick-Fil-A #02793 – Montgomery and San Mateo FSU  
5031 Montgomery Boulevard NE  
Albuquerque, NM 87109  
Parcel ID: ABQ213744, 101706148301640115

TO WHOM IT MAY CONCERN:

This letter is to designate the following Parties are to act as authorized agent/applicants on behalf of the property owner, Century Lombardi LLC, associated with the proposed redevelopment project (hereinafter the "Property Owner"):

**Century Lombardi LLC**

David Preston  
PO Box 863975  
Plano, TX 75086

**Bowman Consulting Group**

Andrew Wilson, Alexis Xiong  
11475 Great Oaks Way – Suite 350 – Alpharetta, GA 30022

The Property owner grants the above-mentioned Parties authorization to make application submittals and negotiate conditions in matters related to government regulations and permitting activities with the City of Albuquerque, NM, Bernalillo County, and other government entities in relation to the above-mentioned site (associated with parcels ABQ213744, 101706148301640115).

  
\_\_\_\_\_  
Signature

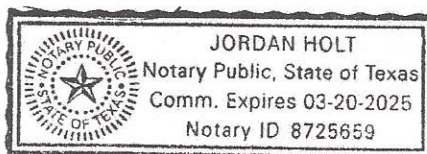
**David Preston**

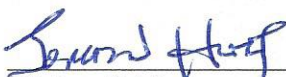
**Property Manager**

Century Lombardi LLC  
PO Box 863975  
Plano, TX 75086  
214-736-4618  
centurytxllc.yahoo.com

STATE OF TEXAS  
COUNTY OF DALLAS

Sworn to and subscribed before me, the undersigned Notary Public, this 11<sup>th</sup> day of APRIL, 2024.



  
\_\_\_\_\_  
Notary Public  
JORDAN HOLT  
\_\_\_\_\_  
Printed Name

March 5<sup>th</sup>, 2024

**LETTER OF AUTHORIZATION**

RE: Chick-Fil-A #02793 – Montgomery and San Mateo FSU  
5031 Montgomery Boulevard NE  
Albuquerque, NM 87109  
Parcel ID: ABQ213744, 101706148301640115

TO WHOM IT MAY CONCERN:

This letter is to designate the following Parties are to act as authorized agent/applicants on behalf of the property owner, [INSERT PROPERTY OWNER], associated with the proposed redevelopment project (hereinafter the "Property Owner"):

**Chick-Fil-A, Inc.**  
Kari Teresa, Blake Berner  
5200 Buffington Road, Atlanta, GA 30349

**Bowman Consulting Group**  
Andrew Wilson, Alexis Xiong  
11475 Great Oaks Way – Suite 350 – Alpharetta, GA 30022

The Property owner grants the above-mentioned Parties authorization to make application submittals and negotiate conditions in matters related to government regulations and permitting activities with the City of Albuquerque, NM, Bernalillo County, and other government entities in relation to the above-mentioned site (associated with parcels ABQ213744, 101706148301640115).

  
\_\_\_\_\_  
Signature

**Kari Teresa**  
**Principal Program Lead**  
Chick-fil-A, Inc.  
5200 Buffington Road  
Atlanta, GA 30349  
**(714) 866-1444**  
**Kari.Teresa@cfacorp.com**

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

Sworn to and subscribed before me, the undersigned Notary Public, this \_\_\_\_ day of \_\_\_\_\_, 2024.

*See Attached*  
\_\_\_\_\_  
Notary Public  
\_\_\_\_\_  
Printed Name

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Orange )

On 03/11/2024 before me, Beth E Witt, Notary Public  
(insert name and title of the officer)

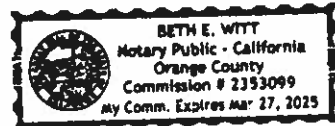
personally appeared Kari Teresa,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Beth E Witt

(Seal)



Justification Letter

**Bowman**



May 28, 2024

City of Albuquerque Planning Department  
Plaza del Sol, 600 2<sup>nd</sup> St NW  
Albuquerque, NM 87103

**RE: Chick-fil-A Albuquerque, NM (Montgomery and San Mateo FSU) – Justification Letter**

To whom it may concern,

The proposed improvements to the Chick-fil-A located at 5009 Montgomery Blvd NE aim to increase capacity and efficiency of the existing drive-through. The site is located on parcel ABQ213744 and is zoned MX-M (Mixed Use Medium Intensity Zone District). Presently, the 1.02-acre site contains a 4,425-sq.ft. Chick-fil-A building, a single lane drive-through with canopy and menu boards, 41 parking spaces, and all associated utilities.

Chick-fil-A is proposing an additional drive-through lane with updated striping and signage. Further, the existing order canopy will be replaced, and an additional canopy will be added. The aim of these improvements is to increase the capacity and efficiency of the drive-through and reduce associated traffic. All proposed improvements will comply with the standards set forth in the City of Albuquerque's Integrated Development Ordinance as well as any other conditions set forth per IDO 14-16-6-5(G)(3).

The additional drive-through lane will increase the amount of stacking spaces from the minimum amount required by IDO 14-16-5-5(I)(1)(b), which requires 12 spaces from the pick-up window. The additional space lane will add 4 stacking spaces, giving the site a total of 16 stacking spaces. The changes made to the site to accommodate this additional drive-through lane will not affect existing off-street loading spaces, motorcycle spaces, ADA spaces, or ADA pathways. Removing parking spaces to add the drive-through lane does not decrease the total number of parking spaces below the required minimum for the site as required by IDO 14-16-5-5(C)(2). The minimum number of parking spaces required is 25 and with the proposed changes, the site will have a total of 32 standard parking spaces. Additionally, 3 bicycle parking spaces will be added via bike racks to meet IDO 14-16-5-5(E). These proposed site changes include additional signage and pavement markings to improve overall traffic flow within the site as encouraged by IDO 14-16-5-3(E)(3)(a).

The proposed site modifications do not change or introduce new usage of the site; nor do they cause any conditions which are prohibited by the standards presented in the IDO. Furthermore, there is no significant change in landscaping area or drainage patterns within the project area.

If you should have any questions or require additional information, please do not hesitate to contact me at our Atlanta office at (678) 606-5277. Thank you.

Sincerely,

Chick-fil-A Montgomery Blvd

010014-01-217

05/28/2024



Andrew Wilson

[awilson@bowman.com](mailto:awilson@bowman.com)

678-606-5277

**Bowman**

# Sign Posting Agreement

**Bowman**



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 06/11/2024 To 07/11/2024

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Andrew Wilson 05/28/2024  
(Applicant or Agent) (Date)

I issued 3 signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

Office of Neighborhood  
Coordination Notice  
Inquiry Response

**Bowman**

## Alex Forrester

---

**From:** Andrew Wilson  
**Sent:** Thursday, June 6, 2024 5:53 PM  
**To:** Alex Forrester  
**Subject:** Fwd: 5009 Montgomery Blvd NE\_Public Notice Inquiry Sheet Submission  
**Attachments:** Zone Atlas Map.pdf

### ANDREW WILSON

Project Manager, Civil | **BOWMAN**  
D: (678) 606-5277 | O: (678) 374-6687  
[awilson@bowman.com](mailto:awilson@bowman.com)

---

**From:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>  
**Sent:** Thursday, June 6, 2024 5:46:16 PM  
**To:** Andrew Wilson <[awilson@bowman.com](mailto:awilson@bowman.com)>  
**Subject:** [EXTERNAL] 5009 Montgomery Blvd NE\_Public Notice Inquiry Sheet Submission

#### PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line
District 7 Coalition of Neighborhood Associations	Michael	Kious	<a href="mailto:mikekious@aol.com">mikekious@aol.com</a>	7901 Palo D
District 7 Coalition of Neighborhood Associations	Janice	Arnold-Jones	<a href="mailto:jeanoldjones70@gmail.com">jeanoldjones70@gmail.com</a>	7713 Sierra
Hodgin NA	Austin	Walsh	<a href="mailto:austenwalsh@gmail.com">austenwalsh@gmail.com</a>	4521 San Ar
Hodgin NA	Pat	Mallory	<a href="mailto:malloryabq@msn.com">malloryabq@msn.com</a>	3916 Dougl NE

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.

- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf).
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

*Suzie*



**Suzie Flores**

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

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**From:** webmaster@cabq.gov <webmaster@cabq.gov>

**Sent:** Thursday, June 6, 2024 2:57 PM

**To:** Office of Neighborhood Coordination <awilson@bowman.com>

**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>

**Subject:** Public Notice Inquiry Sheet Submission

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Site Plan Administrative - DFT (Minor Site Improvements)

Contact Name

Andrew Wilson

Telephone Number

6786065277

Email Address

[awilson@bowman.com](mailto:awilson@bowman.com)

Company Name

Bowman

Company Address

11475 Great Oaks Way, Suite 350

City

Alpharetta

State

GA

ZIP

30022

Legal description of the subject site for this project:

Physical address of subject site:

5009 Montgomery Blvd NE, Albuquerque, NM 87109

Subject site cross streets:

Montgomery Blvd NE and San Mateo Blvd NE

Other subject site identifiers:

Chick-fil-A

This site is located on the following zone atlas page:

F-17-Z

Captcha

x

Public Notice  
Administrative Review/Decision  
Electronic Mail  
Information Sheet

**Bowman**

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice\*: June 11, 2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) \*: District 7 Coalition of Neighborhood Associations

Name of NA Representative\*: Micheal Kious

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: mikekious@aol.com

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 5009 Montgomery Blvd NE, Albuquerque, NM 87106  
Location Description \_\_\_\_\_
2. Property Owner\* Century Lombardy LLC
3. Agent/Applicant\* [if applicable] Andrew Wilson
4. Application(s) Type\* per IDO [Table 6-1-1](#)
  - Historic Certificate of Appropriateness – Minor
  - Sign Permit
  - Alternative Signage Plan
  - Wall/Fence Permit
  - Site Plan – Administrative<sup>2</sup>

Summary of project/request\*:

One-lane addition to existing drive-through with associated signage and striping.

The existing order canopy will be replaced, and an additional canopy will be added.

5. This application will be decided by staff. Please contact [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 to speak with staff.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (\*) are required.]

6. Where more information about the project can be found<sup>3</sup>:  
(678) 606-5277

**Information Required for Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>4</sup> F-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project<sup>\*</sup>: N/A

Deviation(s)       Variance(s)<sup>5</sup>       Waiver(s)<sup>6</sup>

Explanation<sup>\*</sup>:

N/A

4. Pre-submittal Neighborhood Meeting: Not Required
5. **For Site Plan – Administrative Applications only<sup>\*</sup>**, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas. <sup>\*</sup>
  - b. Access and circulation for vehicles and pedestrians. <sup>\*</sup>
  - c. Maximum height of any proposed structures, with building elevations. <sup>\*</sup> N/A
  - d. **For residential development<sup>\*</sup>**: Maximum number of proposed dwelling units. N/A
  - e. **For non-residential development<sup>\*</sup>**:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>7</sup>:

1. Area of Property [typically in acres] 1.02-acres
2. IDO Zone District MX-M (Mixed Use Medium Intensity Zone District)
3. Overlay Zone(s) [if applicable] N/A
4. Center or Corridor Area [if applicable] San Mateo/Montgomery

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

<sup>5</sup> Separate notice is required for Variances.

<sup>6</sup> Separate notice is required for Waivers.

<sup>7</sup> Available here: <https://tinurl.com/idozoningmap>



[Note: Items with an asterisk (\*) are required.]

Current Land Use(s) [vacant, if none] Chick-fil-A

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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

*Cc:* District 7 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]

Janice Arnold-Jones: jearnoldjones70@gmail.com

Hodgin NA

Austin Walsh: austenwalsh@gmail.com

Pat Mallory: malloryabq@msn.com

Official Public Notification  
Form

**Bowman**



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type: Site Plan Application - Administrative
Decision-making Body: City Staff
Pre-Application meeting required: [ ] Yes [x] No
Neighborhood meeting required: [ ] Yes [x] No
Mailed Notice required: [ ] Yes [x] No
Electronic Mail required: [x] Yes [ ] No
Is this a Site Plan Application: [x] Yes [ ] No Note: if yes, see second page
PART II - DETAILS OF REQUEST
Address of property listed in application: 5009 Montgomery Blvd NE, Albuquerque, NM 87106
Name of property owner: Century Lombardy, LLC
Name of applicant: Andrew Wilson
Date, time, and place of public meeting or hearing, if applicable: N/A
Address, phone number, or website for additional information: (678) 606-5277
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE
[x] Zone Atlas page indicating subject property.
[x] Drawings, elevations, or other illustrations of this request.
[ ] Summary of pre-submittal neighborhood meeting, if applicable. N/A
[x] Summary of request, including explanations of deviations, variances, or waivers.
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

[Handwritten signature]

(Applicant signature)

06/11/2024

(Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



<b>PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY</b>	
Provide a site plan that shows, at a minimum, the following:	
<input checked="" type="checkbox"/> a. Location of proposed buildings and landscape areas.	
<input checked="" type="checkbox"/> b. Access and circulation for vehicles and pedestrians.	
<input type="checkbox"/> c. Maximum height of any proposed structures, with building elevations.	N/A
<input type="checkbox"/> d. For residential development: Maximum number of proposed dwelling units.	N/A
<input checked="" type="checkbox"/> e. For non-residential development:	
<input checked="" type="checkbox"/> Total gross floor area of proposed project.	
<input checked="" type="checkbox"/> Gross floor area for each proposed use.	

Notification Email with List  
of Recipients and  
Attachments

**Bowman**

## Alex Forrester

---

**From:** Alex Forrester  
**Sent:** Tuesday, June 11, 2024 6:12 PM  
**To:** 'mikekious@aol.com'; 'jearnoldjones70@gmail.com'; 'austenwalsh@gmail.com'; 'malloryabq@msn.com'  
**Subject:** RE: 5031 Montgomery Blvd NE Public Notice  
**Attachments:** Official Public Notice Form Checklist.pdf; Emailed Notice - Administrative.pdf; Zone Atlas Map.pdf; Justification Letter.pdf; C-2.0 SITE PLAN.pdf

Hello,

I would like to make you all aware of an update to this project. We original address that was listed on all forms and plans was incorrect (although it would still pull up as the Chick-fil-A site online). The correct site address is 5009 Montgomery Blvd NE. This change has been made on all the attached documents.

Further, the justification letter has been updated to include specific references to the city code.

Please reach out if you should have any questions,

### ALEX FORRESTER

Engineer I | **BOWMAN**

O: (678) 374-6687 | D: (678) 273-7818

[hforrester@bowman.com](mailto:hforrester@bowman.com) | [bowman.com](http://bowman.com)

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**From:** Alex Forrester  
**Sent:** Monday, April 8, 2024 5:19 PM  
**To:** mikekious@aol.com; jearnoldjones70@gmail.com; austenwalsh@gmail.com; malloryabq@msn.com  
**Subject:** 5031 Montgomery Blvd NE Public Notice

Hello,

We are currently working on permitting some improvements to the drive-through of the Chick-fil-A located at 5031 Montgomery Blvd NE, Albuquerque, NM 87106. Per the City of Albuquerque IDO, an email notice must be sent to the Neighborhood Associations for an Administrative Site Plan permit. Attached, you will find the Zone Atlas Map with our site outlined, a justification letter summarizing the project, and a set of plans. You will also find the email notice form and checklist which contain further information.

Please let me know once you receive this email and feel free to reach out with any questions.

Thank you,

### ALEX FORRESTER

Engineer I | **BOWMAN**

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**From:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>  
**Sent:** Friday, April 5, 2024 3:16 PM  
**To:** Andrew Wilson <[awilson@bowman.com](mailto:awilson@bowman.com)>  
**Subject:** [EXTERNAL] 5031 Montgomery Blvd NE\_Public Notice Inquiry Sheet Submission

# Proof of Delivery of Notification Email

**Bowman**

## Alex Forrester

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**From:** Microsoft Outlook  
**To:** mikekious@aol.com; jearnoldjones70@gmail.com; austenwalsh@gmail.com; malloryabq@msn.com  
**Sent:** Monday, April 8, 2024 5:19 PM  
**Subject:** Relayed: 5031 Montgomery Blvd NE Public Notice

**Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:**

[mikekious@aol.com](mailto:mikekious@aol.com) (mikekious@aol.com)

[jeanoldjones70@gmail.com](mailto:jeanoldjones70@gmail.com) (jeanoldjones70@gmail.com)

[austenwalsh@gmail.com](mailto:austenwalsh@gmail.com) (austenwalsh@gmail.com)

[malloryabq@msn.com](mailto:malloryabq@msn.com) (malloryabq@msn.com)

Subject: 5031 Montgomery Blvd NE Public Notice



5031  
Montgomery Bl...



## Alex Forrester

---

**From:** Microsoft Outlook  
**To:** mikekious@aol.com; jearnoldjones70@gmail.com; austenwalsh@gmail.com; malloryabq@msn.com  
**Sent:** Tuesday, June 11, 2024 6:12 PM  
**Subject:** Relayed: RE: 5031 Montgomery Blvd NE Public Notice

**Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:**

[mikekious@aol.com](mailto:mikekious@aol.com) (mikekious@aol.com)

[jearnoldjones70@gmail.com](mailto:jearnoldjones70@gmail.com) (jearnoldjones70@gmail.com)

[austenwalsh@gmail.com](mailto:austenwalsh@gmail.com) (austenwalsh@gmail.com)

[malloryabq@msn.com](mailto:malloryabq@msn.com) (malloryabq@msn.com)

Subject: RE: 5031 Montgomery Blvd NE Public Notice



RE: 5031  
Montgomery Bl...

# Notification Email Read Receipts

**Bowman**

## Alex Forrester

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**From:** Austen Walsh <austenwalsh@gmail.com>  
**Sent:** Tuesday, April 9, 2024 7:46 AM  
**To:** Alex Forrester  
**Cc:** Pat MALLORY  
**Subject:** [EXTERNAL] Re: 5031 Montgomery Blvd NE Public Notice

Good morning,

I received this email and no questions from me (president of adjacent Neighborhood Association).

Thank you,  
Austen

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**From:** Alex Forrester <hforrester@bowman.com>  
**Sent:** Monday, April 8, 2024 3:18 PM  
**To:** mikekious@aol.com <mikekious@aol.com>; jearnoldjones70@gmail.com <jearnoldjones70@gmail.com>; austenwalsh@gmail.com <austenwalsh@gmail.com>; malloryabq@msn.com <malloryabq@msn.com>  
**Subject:** 5031 Montgomery Blvd NE Public Notice

Hello,

We are currently working on permitting some improvements to the drive-through of the Chick-fil-A located at 5031 Montgomery Blvd NE, Albuquerque, NM 87106. Per the City of Albuquerque IDO, an email notice must be sent to the Neighborhood Associations for an Administrative Site Plan permit. Attached, you will find the Zone Atlas Map with our site outlined, a justification letter summarizing the project, and a set of plans. You will also find the email notice form and checklist which contain further information.

Please let me know once you receive this email and feel free to reach out with any questions.

Thank you,

**ALEX FORRESTER**

Engineer I | **BOWMAN**

O: (678) 374-6687 | D: (678) 273-7818

[hforrester@bowman.com](mailto:hforrester@bowman.com) | [bowman.com](http://bowman.com)

## Alex Forrester

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**From:** Janice Arnold-Jones <jearnoldjones70@gmail.com>  
**Sent:** Wednesday, June 12, 2024 9:21 AM  
**To:** Alex Forrester  
**Subject:** [EXTERNAL] Re: 5031 Montgomery Blvd NE Public Notice

Received. Thank you.

Sent from my iPhone  
Janice E. Arnold-Jones  
(505) 379-0902

On Jun 12, 2024, at 4:17 AM, Alex Forrester <hforrester@bowman.com> wrote:

Hello,

I would like to make you all aware of an update to this project. We original address that was listed on all forms and plans was incorrect (although it would still pull up as the Chick-fil-A site online). The correct site address is 5009 Montgomery Blvd NE. This change has been made on all the attached documents.

Further, the justification letter has been updated to include specific references to the city code.

Please reach out if you should have any questions,

### **ALEX FORRESTER**

Engineer I | **BOWMAN**

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[hforrester@bowman.com](mailto:hforrester@bowman.com) | [bowman.com](http://bowman.com)

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**From:** Alex Forrester  
**Sent:** Monday, April 8, 2024 5:19 PM  
**To:** mikekious@aol.com; jearnoldjones70@gmail.com; austenwalsh@gmail.com; malloryabq@msn.com  
**Subject:** 5031 Montgomery Blvd NE Public Notice

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Please let me know once you receive this email and feel free to reach out with any questions.

Thank you,

**ALEX FORRESTER**