

Approved for access by the Solid Waste Department.

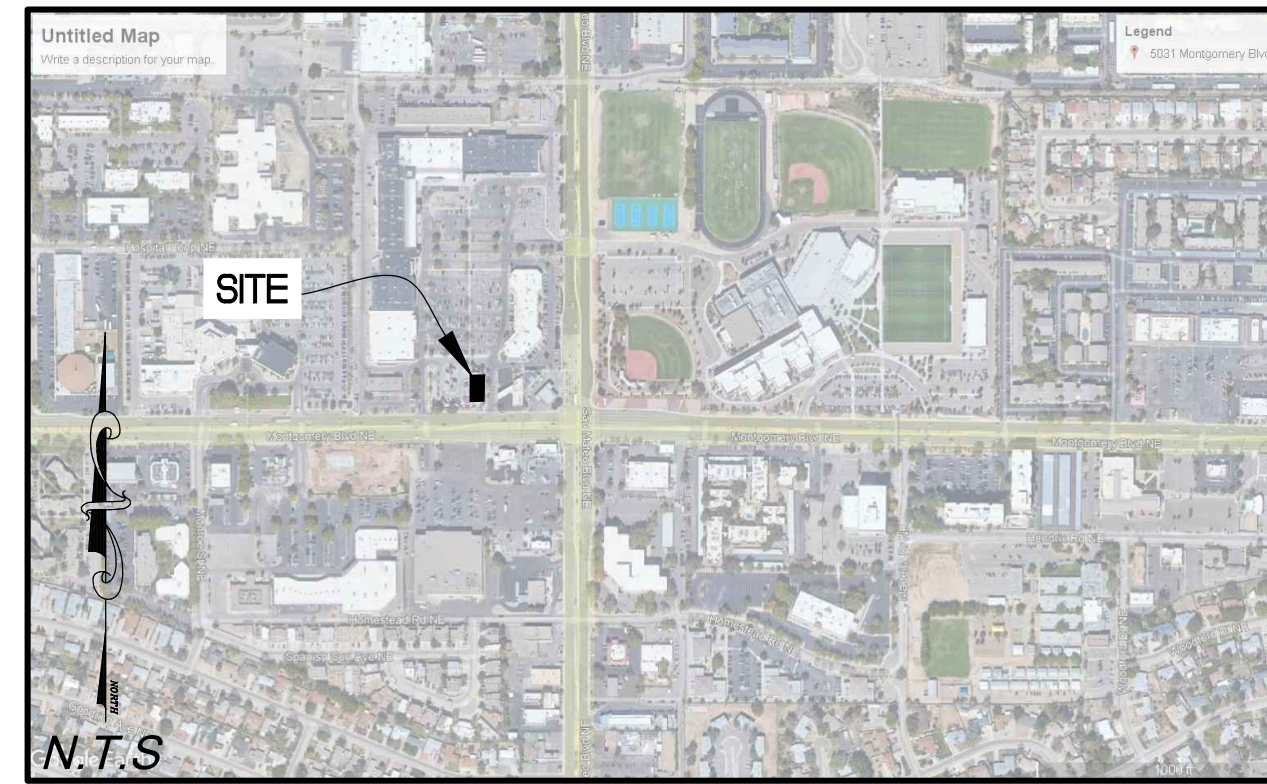
All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: Herman Gallegos

Date: 06-06-24

****Existing refuse enclosure to remain****

VICINITY MAP



LEGEND	
PROP. ASPHALT DRIVE	PROPERTY LINE
PROP. CONC. PAVEMENT	EX. CONCRETE
PROP. CURB	EX. CONCRETE CURB
PROP. PARKING STRIPE	EX. SIGN
PROP. SITE SIGNAGE	EX. LIGHT POLE
PROP. DIRECTIONAL ARROW	EX. TREE
PROP. PARKING COUNT	EX. ACCESSIBLE MARKING
PROP. ORDER POINT	EX. BOLLARD
	EX. DIRECTIONAL ARROW

TRACT D-1-A
MONTGOMERY PLAZA
BK 2011C PG 135
ZONE: MX-M
LAND USE: RETAIL

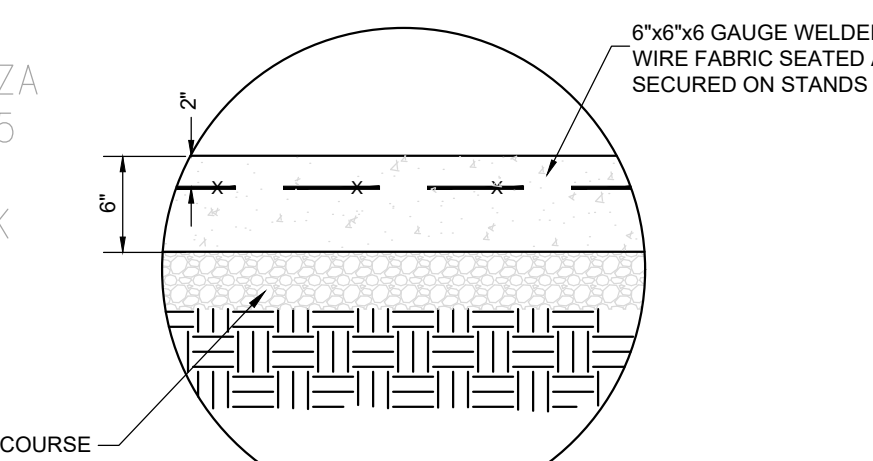
PARKING CALCULATIONS			
USE	QTY	RATIO	REQUIRED
BUILDING AREA	4,425	5.6 SPACE PER 1,000 SF	25
CFA STANDARD PARKING PROVIDED			32
CFA ACCESSIBLE PARKING REQUIRED			2
CFA ACCESSIBLE PARKING PROVIDED			2
MOTORCYCLE PARKING REQUIRED			2
MOTORCYCLE PARKING PROVIDED			2
BICYCLE PARKING REQUIRED			3
BICYCLE PARKING PROVIDED			3
PROPOSED TOTAL PARKING			34
EXISTING TOTAL PARKING			41
DRIVE-THROUGH STACKING REQUIRED			12
DRIVE-THROUGH STACKING PROVIDED			16

SITE SUMMARY	
JURISDICTION	CITY OF ALBUQUERQUE
ZONING	MX-M (MIXED USE MEDIUM INTENSITY ZONE DISTRICT)
USE	FAST FOOD RESTAURANT WITH DRIVE THRU
PARCEL ID	AB0213744(CITY), 101706148301640115(COUNTY)
LOT	
SIZE	44,304.52 SF (1.02 AC)
BUILDING	
SIZE	4,425 SF
PARKING	
SIZE	9' X 19' (60'), 9' X 22' (PARALLEL)

BUILDING SETBACKS		
SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	5'	28.79'
REAR (NORTH)	15'	58.94'
SIDE (WEST)	0'	166.33'
SIDE (EAST)	0'	19.04'

EXISTING SITE CALCULATIONS			
EXISTING AREA	SF	ACRES	%
TOTAL PARCEL AREA	44,304	1.02	100.00%
EXIST. OPEN SPACE AREA	7,135	0.16	16.10%
EXIST. PERVIOUS AREA	7,135	0.16	16.10%
EXIST. IMPERVIOUS AREA	37,169	0.85	83.90%
EXIST. BUILDING AREA	4,425	0.10	9.99%
EXIST. PAVEMENT AREA	32,744	0.75	73.91%
EXIST. VEHICULAR USE AREA	26,516	0.61	59.85%

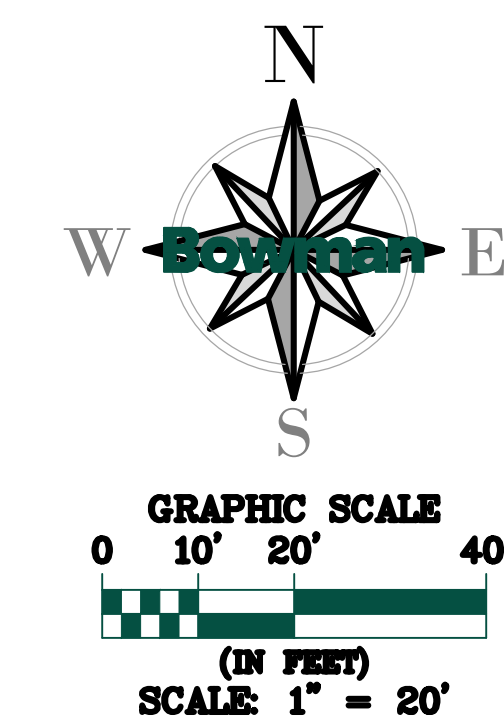
PROPOSED SITE CALCULATIONS			
PROPOSED AREA	SF	ACRES	%
TOTAL PARCEL AREA	44,304	1.02	100.00%
PROP. PERVIOUS AREA	6,994	0.16	15.79%
PROP. IMPERVIOUS AREA	37,310	0.86	84.21%
PROP. BUILDING AREA	4,425	0.10	9.99%
PROP. PAVEMENT AREA	32,885	0.75	74.23%
PROP. VEHICULAR USE AREA	27,284	0.63	61.58%



CONCRETE PAVEMENT SECTION
SEE DETAIL ON SHEET C-4.0
NOT TO SCALE

SITE NOTES

- 1 CONST. DIRECTIONAL ARROW (TYP.)
- 2 CONST. PAVEMENT MARKINGS GRAPHICS
- 2A ONE WAY GRAPHICS
- 2B DRIVE-THRU GRAPHICS
- 3 CONST. PARALLEL PARKING STALL (4' YELLOW STRIPING)
- 4 CONST. CURB
- 5 DIRECTIONAL SIGNAGE
- 5A STOP SIGN (NOT USED)
- 5B BOLLARD MOUNTED HANDICAP SIGN (NOT USED)
- 5C CURBSIDE DELIVERY DESIGNATED SPACE (REMOVABLE SIGN) (NOT USED)
- 5D NO LEFT TURN SIGN (NOT USED)
- 5E ONE WAY SIGN (NOT USED)
- 5F RIGHT TURN ONLY SIGN (NOT USED)
- 5G PEDESTRIANS CROSSING (NOT USED)
- 5H DRIVE-THRU SIGN
- 5I DO NOT ENTER SIGN
- 6 CONST. PAVEMENT EDGE
- 7 CONST. 24" STOP LINE GRAPHIC
- 8 CONST. CONCRETE PAVING DRIVE-THRU LANE
- 9 CONST. 4" WIDE YELLOW STRIPING
- 10 CONNECT TO EXISTING CURB
- 11 CONNECT TO EXISTING EDGE OF PAVEMENT
- 12 CONST. DOUBLE LANE F2F ORDER CANOPY
- 13 EXISTING SINGLE ORDER MEAL DELIVERY CANOPY TO REMAIN
- 14 CONST. SOLID 4" YELLOW STRIPING ON ENDS W/ 4" WIDE STRIPES @ 3' O.C. YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE
- 15 NEW ORDER POINT
- 16 RELOCATED FLAG POLE AND BASE
- 17 CONST. CLEARANCE BAR
- 18 EXISTING BUILDING MOUNTED ACCESSIBLE PARKING SIGN TO REMAIN - INSTALL PENALTY SIGN IF NECESSARY
- 19 "NO PARKING" PAVEMENT MARKING
- 20 "MC" MOTORCYCLE PAVEMENT MARKING
- 21 BICYCLE RACKS
- 22 "DO NOT ENTER" PAVEMENT MARKING



NOTE: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CITY OF ALBUQUERQUE PAVING SIDEWALK DETAIL.

TRACT D-1-A
MONTGOMERY PLAZA
BK 2011C PG 135
ZONE: MX-M
LAND USE: RETAIL

TRACT D-1-A
MONTGOMERY PLAZA
BK 2011C PG 135
ZONE: MX-M
LAND USE: BANK

TRACT D-1-B
4,425 SQ FT
0.10 AC
BUILDING
AVG. FF: 5196.95

MONTGOMERY BOULEVARD
PRINCIPAL ARTERIAL; 100' ROW
DAILY TRAFFIC VOLUME: 22,538; V/C = 0.67

May 23, 2024
 C-2.0 - SITE PLAN
 File Path: \\010014 - Chick-fil-A\010014-01-217 (ENG) - CFA 02793 Montgomery San Mateo Albuquerque\Engineering\Plans\Sheet\010014-01-217 - C-2.0 SITE PLAN.dwg
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SEAL



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ALBUQUERQUE, NEW MEXICO 87106

FSU#02793

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 010014-01-217
ISSUED FOR PERMIT
DATE May 23, 2024
DRAWN BY BCG

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SHEET

SITE PLAN

SHEET NUMBER

C-2.0