



July 24, 2024
Project #010014-01-217

Angela Gomez
City of Albuquerque
1 Civic Plaza NW
Albuquerque, NM 87102

RE: PR-2020-004218 CHICK-FIL-A 5009 MONTGOMERY BLVD NE – RESPONSE TO CYCLE 1 REVIEW

Dear Plan Reviewers,

Bowman Consulting is in receipt of your comment letters, regarding the above-mentioned Plans Review for PR-2020-004218 CHICK-FIL-A 5009 MONTGOMERY BLVD NE. Please see the following response for further clarification as requested:

ABCWUA *David G. Gutierrez, PE* dggutierrez@abcwua.org

1. No objections.

Response: Comment acknowledged.

Code Enforcement *Jeff Palmer* jppalmer@cabq.gov

2. Parking spaces for Motorcycles are mislabeled on sheet C-2.0 as #19 on site plan map (should be 20).

Response: Labeling updated. Please see sheet C-2.0 – Site Plan.

3. Clarify if there will be Outdoor Seating provided, or if it is being entirely removed. If outdoor dining remains and has just been relocated, you will need to modify your parking calculations to reflect square footage of Outdoor Dining Area and parking spaces required at 1/1000 GFA for that area.

Response: Outdoor Dining Area shown, and parking calculation added to table. IDO section 5-5(C)(2) states the required ratio for outdoor seating is 3 spaces per 1000 GFA. Please see sheet C-2.0 – Site Plan.

4. Code Enforcement has no further comments, and no objections.

Response: Comment acknowledged.

Transportation Development *Ernest Armijo, PE* earmijo@cabq.gov (505) 924-3991

5. Transportation has an approved TCL dated 5/23/2024. No objection.

Response: Comment acknowledged.

Parks and Recreation Department *Whitney Phelan* wphelan@cabq.gov

6. No additional comments. Defer to Planning for landscaping approval. Approved.

Response: Comment acknowledged.

Hydrology *Renee Brissette, PE* rbrissette@cabq.gov (505) 924-3995

7. Proposed paving is less than the required 10,000 SF for a Grading & Drainage review. Hydrology has no objection to the Site Plan for Building Permit.

Response: Comment acknowledged.

Planning Jay Rodenbeck jrodenbeck@cabq.gov (505) 553-0682

Hannah Aulick haulick@cabq.gov (505) 924-3630

Jolene Wolfley

8. It appears that Montgomery Plaza Site Plan govern the subject site. Please confirm.

Response: Comment acknowledged. Bowman is not aware of additional jurisdiction over this property. Please advise.

9. Provide confirmation in a comment response letter that/if there are no utilities and/or easements that encroach on the proposed location of the drive-through expansion.

Response: There are no easements that encroach on the proposed location of the drive-through expansion. There are existing gas lines, sanitary sewer lines, and underground electricity lines which will be protected. Please see sheet C-1.1 – Demolition Plan. Minor changes are proposed to underground electricity to connect to proposed canopy. Please see sheet C-2.0 – Site Plan.

10. Provide confirmation in a comment response letter that/if there are no renovations taking place to the interior or exterior of the existing restaurant building.

Response: There are no proposed renovations to the interior or exterior of the building.

11. Please clarify regarding the outdoor seating area and whether or not it is being moved to another area of the plan.

Response: Outdoor Dining Area to remain. Please see sheet C-2.0 – Site Plan.

12. Clarify compliance on the Site Plan and in a comment response letter with Section 7 of the DPM Table 7.2.29 regarding Sidewalk/landscape buffer zone width requirements along Montgomery Boulevards.

Montgomery Boulevard is a regional principal arterial, within a center a 10-foot-wide sidewalk requirement and a 6-8-foot-wide landscape buffer zone is required.

*Verification of standards per Transportation.

Response: Existing sidewalk along Montgomery does not meet requirements; however, as stated by Jolene Wolfley during the initial DHO meeting, this project will not be required to make changes to the existing sidewalk. Dimensions have been added to the existing sidewalk on sheet C-2.0 – Site Plan.

13. An Infrastructure List (IL) was not a part of this submittal. DFT staff must confirm if any public infrastructure will be required for this project. If an IL is needed, then upon IL approval, a recorded Infrastructure Improvements Agreement to guarantee the infrastructure will need to be executed and recorded with the County Clerk prior to final sign off of the Site Plan.

Response: No public infrastructure is required for this project.

14. A signature block for DFT signatures must be added to the Site Plan, which can be obtained at the following link: https://documents.cabq.gov/planning/development-facilitation-team/Site_Plan_Administrative_DFT_Signature_Block.pdf

Response: Signature block added to site plan. See sheet C-2.0 – Site Plan.

15. All Plan sheets included in the Plan set must be signed and sealed by a design professional licensed in the State of New Mexico, and the Landscape Plan sheets must be signed and sealed by a Landscape Architect licensed in the State of New Mexico.

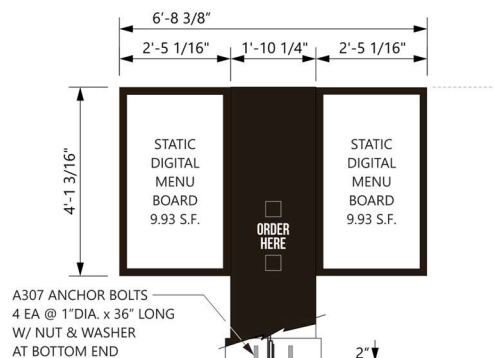
Response: All sheets signed and sealed by appropriate licensed professionals.

16. A restaurant is a permissive use and a drive-through is a permissive accessory use in the MX-M zone district.

Response: Comment acknowledged.

17. 4-3(F)(5)(a) Each stacking lane is limited to a maximum order board area of 50 square feet. The face of the order boards shall be oriented away from public streets to the maximum extent practicable. If not practicable, at least 2 evergreen trees shall be planted in the landscape buffer area required by Subsection 14-16-5-5(l)(2)(a) in locations that would best screen the order board from the public right-of-way. Confirmation must be provided on the Site Plan and in a comment response letter how this Standard is being met for the new drive-through lane vis-à-vis Montgomery Boulevard.

Response: Menu boards are less than 20 square feet each. See detail below. Menu boards screened from public right of way with existing brick screening wall.



18. 4-3(F)(5)(b) This use shall comply with the provisions of Section 14-16-5-5 (Parking and Loading). Parking calculations per IDO 5-5 Parking and Loading must be added to the site plan.

Response: The proposed plan complies with IDO section 5-5. Parking calculation shown on table on sheet C-2.0 – Site Plan.

19. Confirm compliance with the following IDO section:

5-5(l)(2)(a) Drive-through lanes adjacent to public right-of-way shall be screened by a landscape buffer area at least 6 feet wide containing a vegetative screen or wall constructed of a material similar in texture, appearance, and color to the street-facing façade of the primary building (but excluding exposed concrete masonry unit (CMU) block) at least 3 but

not more than 4 feet tall. The landscape buffer area shall be provided on the public street side.

5-5(l)(2)(b) Audible electronic devices such as loudspeakers, automobile service order devices, and similar instruments shall not be audible beyond the property line of the site.

5-5(l)(2)(c) Drive-through service windows shall be angled at least 45 degrees from parallel with any abutting lot line of a residential zone district so that it does not directly face the residential lot.

Response: Existing landscape buffer between drive through and Montgomery Boulevard is between 10 and 11 feet wide. Further, the landscape buffer contains a brick wall which matches the existing building façade. Landscape buffer has been dimensioned on sheet C-2.0 – Site Plan. There are no proposed changes to the building which would affect drive-through service window orientation.

20. Per City Forester's comment, replace the plum tree with a different tree species such as Pink Pom Poms Redbud, Russian hawthorn, Paul's Scarlet Hawthorn, and Golden rain tree.

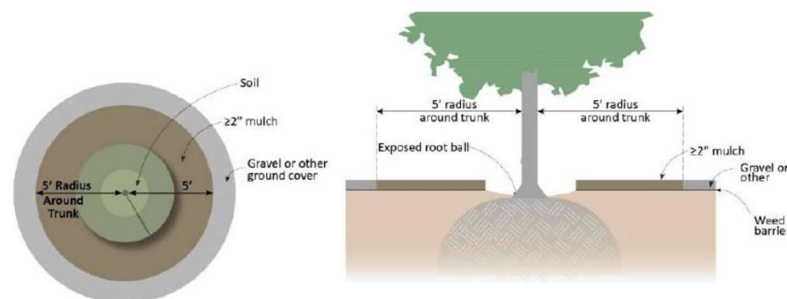
Response: Species has been replaced as requested. Please see revised Landscape Plan.

21. Per the landscape plan approved with the site plan, it appears that some vegetation is missing from the site, including 4 street trees along Montgomery Boulevard. All missing or dead plant species must be replaced. Per City Forestry avoid using Ash trees. Following trees are better options and are recommended by the City Forester:

- Allee Elm (*Ulmus parvifolia* 'Emer II')
- Accolade Elm (*Ulmus davidiana* var. *japonica* 'Morton')
- Hackberry (*Celtis occidentalis*)

Response: Additional planting are specified as requested. Please see revised Landscape Plan.

22. Per 5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.) A tree planting detail must be added to the Landscape Plan to reflect this requirement.



Response: Detail has been added as requested. Please see revised Landscape Plans.

23. Per 5-6(F)(2)(a) General, at least 10 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 15 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped. Calculations must be shown on the Landscape Plan.

Response: Calculations are now shown as requested. Please see revised Landscape Plan.

24. 5-6(F)(2)(c) Tree Requirements

1. One (1) tree is required per 10 parking spaces. 7 trees are required and 7 trees are being proposed.

2. No parking space may be more than 100 feet in any direction from a tree trunk. Compliant.

3. At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.

Calculations must be shown on the Landscape Plan.

Response: Calculations are now shown as requested. Please see revised Landscape Plan.

25. The minimum size of tree planters within off-street parking areas shall be 60 square feet per tree. This requirement may be reduced to 36 square feet if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement. Calculations must be shown on the Landscape Plan.

Response: Calculations are now shown as requested. Please see revised Landscape Plan.

If you should have any questions or require additional information, please do not hesitate to contact me at our Atlanta office at (678) 606-5277. Thank you.

Sincerely,



Andrew Wilson

awilson@bowman.com

678-606-5277

Bowman