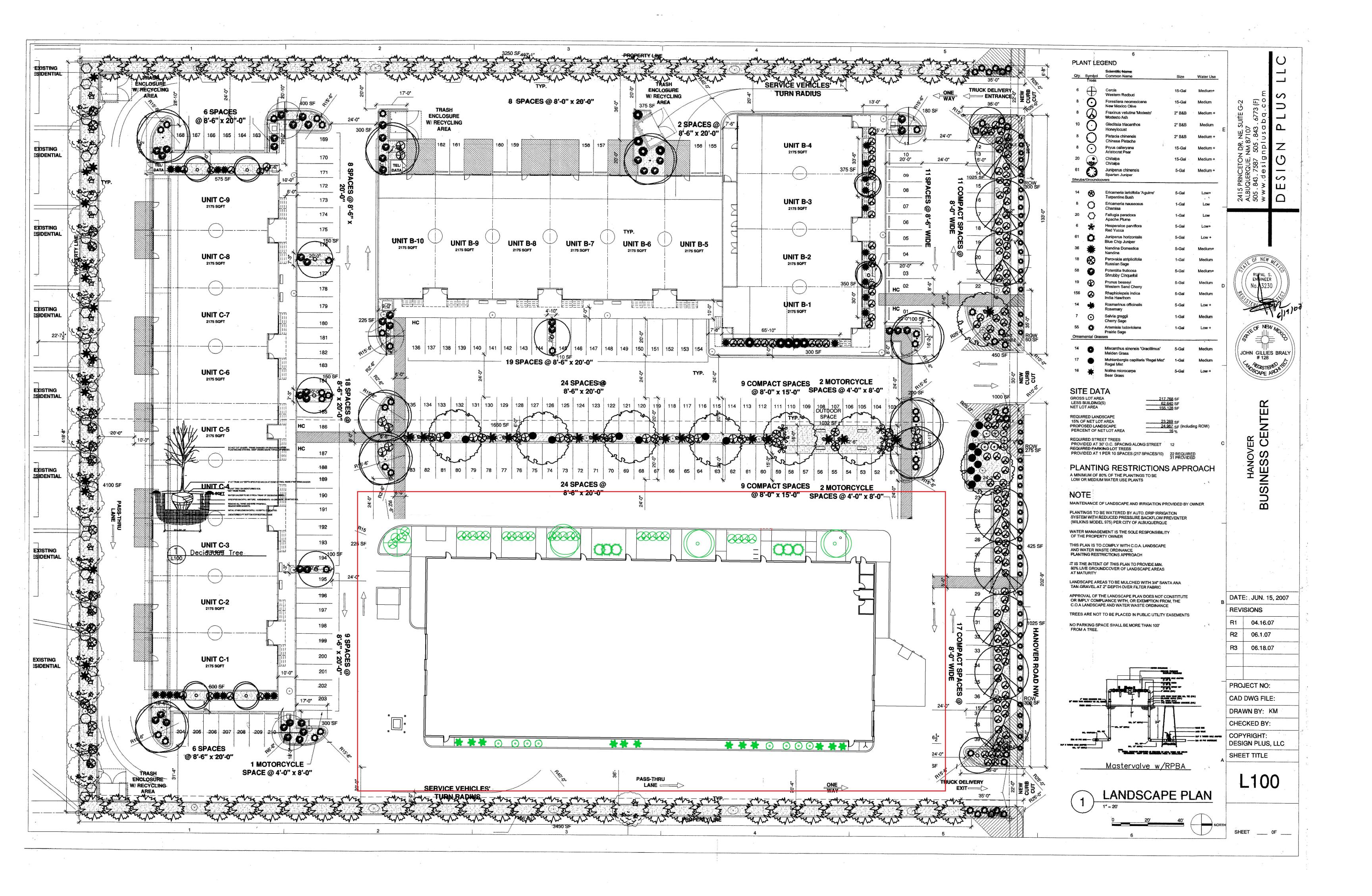
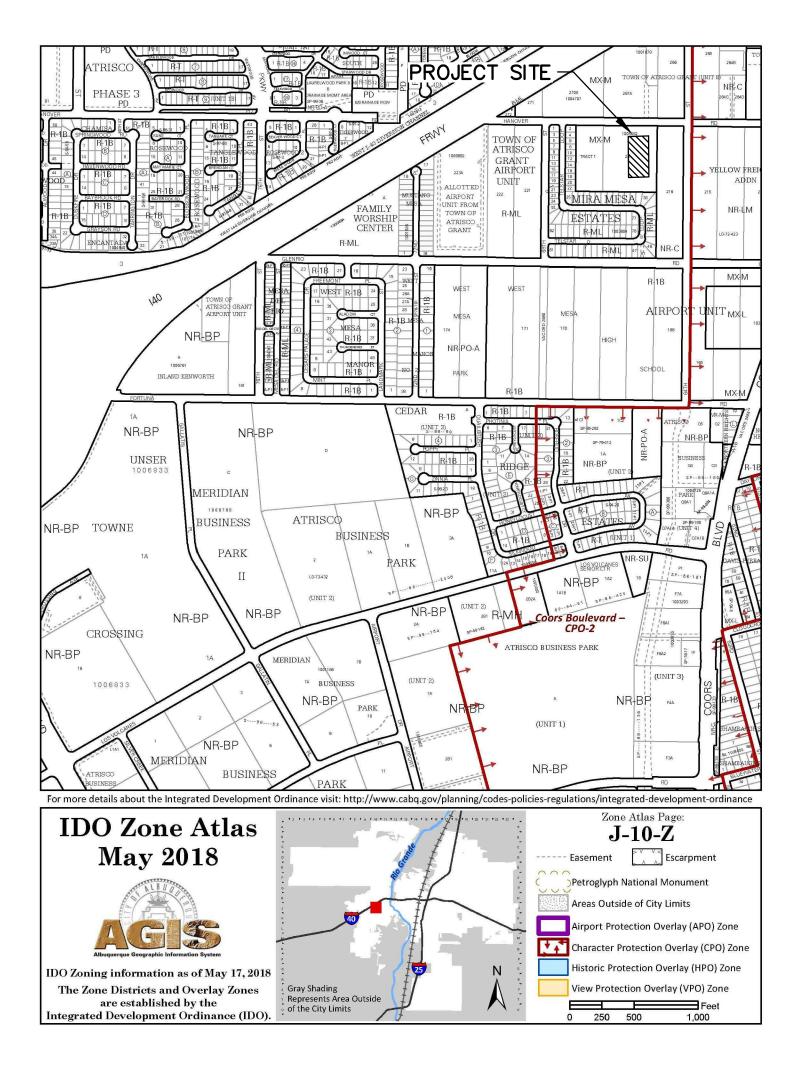
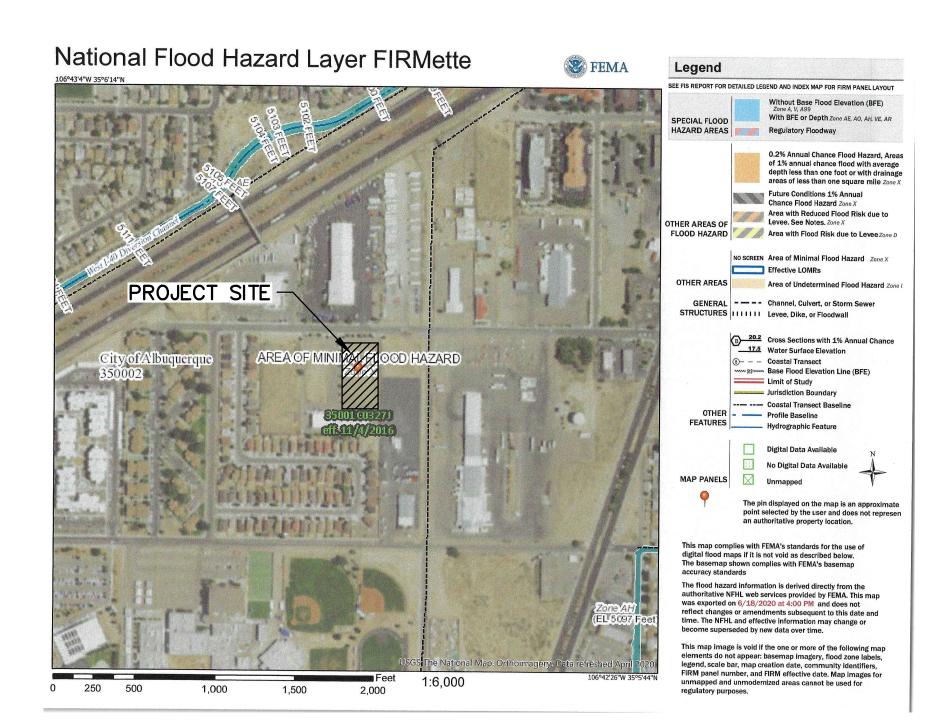
ADMINISTRATIVE AMENDMENT						
FILE #	PROJECT #					
	·					
APPROVED	3Y	DATE				









FLOOD ZONE MAP: 35001C0327J

SITE LOCATION

The proposed site is an approximate 0.95-acre site located on Hanover Road NW. The site is bound on the south by Telstar Loop NW., on the west side by Telstar Loop NW., and the east side by an 64th Street.

EXISTING CONDITIONS

The existing site is estimated at 0.95 acres and is currently partially developed with a pad ready site and surrounding asphalt-paved parking lots. The site does not lie within a 100-year FEMA floodplain and is not impacted by offsite flows.

PROPOSED CONDITIONS

The proposed project would consist of a new commercial building to be placed within the pad ready envelope on the site. The finish floor of the new building will be set so that the existing overhead doors on the south side of the building can be accommodated with a 1% minimum grade. The site will also have new concrete sidewalks around the building for connectivity to the parking lot areas. Other areas around the building will be having with new asphalt paving as indicated on the G &D plan.

The site will experience additional runoff as outlined in the hydrology table on this sheet. The client has chosen to pay a fee in lieu of first flush ponding since there are no areas available on the existing site for a first flush pond.

CONCLUSIONS

When developed as indicated on the grading and drainage plan, the increased runoff from the site is estimated at 1.27 cfs, and 4,443 cf during the 100-year event. The first flush pond volume required for the project estimated at 1049 cf. The owner has chosen to pay a fee in lieu of first flush ponding.

HYDROLOGY

Precipitation Zone 1 - 100-year Stor		Storm	P(360) =	2.20	in	P(1440) =	2.66	in	
	Basin Land Treatment Factors								
Basin	Area	Α	В	С	D	Ew	V(100-6)	V(100-24)	Q(100)
	(Ac)	(Acres)				(in)	(af)	(af)	(cfs)
Existing Conditions									
Α	0.95	0.00	0.00	0.95	0.00	0.99	0.078	0.078	2.73
Total	0.95								2.73
Proposed	d Conditions								
Α	0.95	0.00	0.00	0.10	0.85	1.87	0.148	0.180	4.00
Total	0.95								4.00
		l				1			

CIVIL DRAWING INDEX

CET TITLE
ROLOGY PLAN AND DRAWING INDEX
DING AND DRAINAGE PLAN
CELLANEOUS DETAILS
)

GENERAL NOTES:

- 1. EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY SANDIA LAND SURVEYING LLC. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- 2. ACS STA 6-G15
 THE STATION IS LOCATED 2.2 MILES NORTH OF DOWNTOWN
 ALBUQUERQUE AT THE INTERSECTION OF CANDELARIA ROAD
 AND THE BNSF RAILROAD TRACKS. TO REACH THE STATION
 FROM THE INTERSECTION OF CANDELARIA ROAD AND I-25 NE
 TRAVEL WEST ON CANDELARIA ROAD 0.8 MILES TO THE EAST
 SIDE OF THE BNSF RAILROAD TRACKS AND THE STATION ON
 THE RIGHT.THE STATION MARK IS A CITY OF ALBUQUERQUE
 SURVEY CONTROL 3" BRASS DISC STAMPED "6-G15 1979" SET
 IN A TRAFFIC SIGNAL BOX 0.6 FEET BELOW THE SURFACE OF
 THE GROUND ELEV. 4975.35 (NAVD 1988)
- 3. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- 4. CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- 5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- 6. ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- 7. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- 8. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 9. THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (500 YEAR) DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLANE ACCORDING TO THE FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO AND UNINCORPORATED AREAS PER MAP NO 35001C 0332G.

- 10. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- 11. THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- 12. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- 13. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- 14. THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- 15. SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- 16. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- 17. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- 18. ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- 19. THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- 20. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (UPDATE 8, AMENDMENT 1)
- 21. ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.

FIRST FLUSH CALCULATIONS

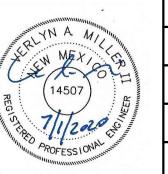
FIRST FLUSH =(0.34" * 34,0265 SF)/12 = 1049 CF



WAREHOUSE BUILDING 6500 HANOVER RD NW ALBUQUERQUE, NM 87121

DRAWING TITLE

HDROLOGY PLAN



DESIGNED MEC PROJECT NO

DRAWN MEC SCALE NOTED

CHECKED VAM

REVIEWED

MILLER ENGINEERING CONSULTANTS

Engineers • Planners

