



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Avatar Recoveries LLC	Phone:
Address: 1720 Louisiana Blvd NE Ste 100	Email:
City: Albuquerque State: NM	Zip: 87110
Professional/Agent (if any): Scott Anderson	Phone: 505 401 7575
Address: 4419 4th St NW #B	Email: scott@scarchitects.com
City: Albuquerque State: NM	Zip: 87107
Proprietary Interest in Site:	List all owners: Avatar Recoveries LLC

BRIEF DESCRIPTION OF REQUEST

Admin Amendment, site Plan for Building Permit

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 2-A	Block:	Unit:
Subdivision/Addition: Mira Mesa	MRGCD Map No.:	UPC Code: 101005846045610503
Zone Atlas Page(s): J10	Existing Zoning: MX-M	Proposed Zoning: MX-M
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 6500 Hanover	Between: 64th	and: 68th
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

SI 2020-00731 PR 2020-004250

Signature:	Date: 10/14/2021
Printed Name: Scott Anderson	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-01836	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project # PR-2020-004250

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired


ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement


ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 10/14/2021
Printed Name: Scott Anderson	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Project Number:	Case Numbers	
	-	
	-	
	-	
Staff Signature:		
Date:		



SCOTT C. ANDERSON
& associates architects

7604 rio penasco nw
albuquerque, nm 87120
andersonscott@comcast.net
505.401.7575

October 14, 2021

James Aranda, Division Manager
Urban Design and Development
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: 2020-21689, Admin Amendment 6500 Handover Rd NW

Dear Mr Aranda:

I am writing to request and Administrative Amendment for 6500 Hanover Rd NW, project number 1005482, application numbers 4-DRB-01069 and 07-DRB-70059.

This request is being made because the subject property was being built as a speculative venture but during the course of construction the facility has been leased to a film production company. The new tenant is requiring some modifications be made to the site to accommodate their needs. The site plan is materially similar to the existing previously approved site plan. The requested amendment still meets the original requirements of the approved plan. Please reference the attached drawings.

The changes from the previous Administrative Amendment include:

Removal of the loading dock and overhead doors on the north side of the building

Addition of restrooms where the dock was once located.

Elimination of all but two of the personnel doors, landscaping, and the curb on the west side of the building.

Addition of overhead doors to the west façade

Elimination of the curb and overhead doors on the south side of the building.

Thank you for your consideration. Please feel free to contact me with any questions or concerns.

Respectfully,

Scott C. Anderson AIA
Principal
Scott Anderson & Associates Architects

ADMINISTRATIVE AMENDMENT

FILE # ^{SI-2020}₋₀₀₇₃₁ **PROJECT #** ^{PR-2020}₋₀₀₄₂₅₀

Consolidation of Units A-1 through A-10
and adjustment of parking and landscape to
accommodate updated layout of new building.

14 Sept 2020

APPROVED BY **DATE**



HANOVER
 BUSINESS CENTER

DATE:	JUN. 15, 2007
REVISIONS	
RF	04.16.07
RE	06.1.07
RS	06.18.07

PROJECT NO:
 CAID DWG FILE:
 DRAWN BY: KM
 CHECKED BY:
 COPYRIGHT:
 DESIGN PLUS, LLC
 SHEET TITLE

L100

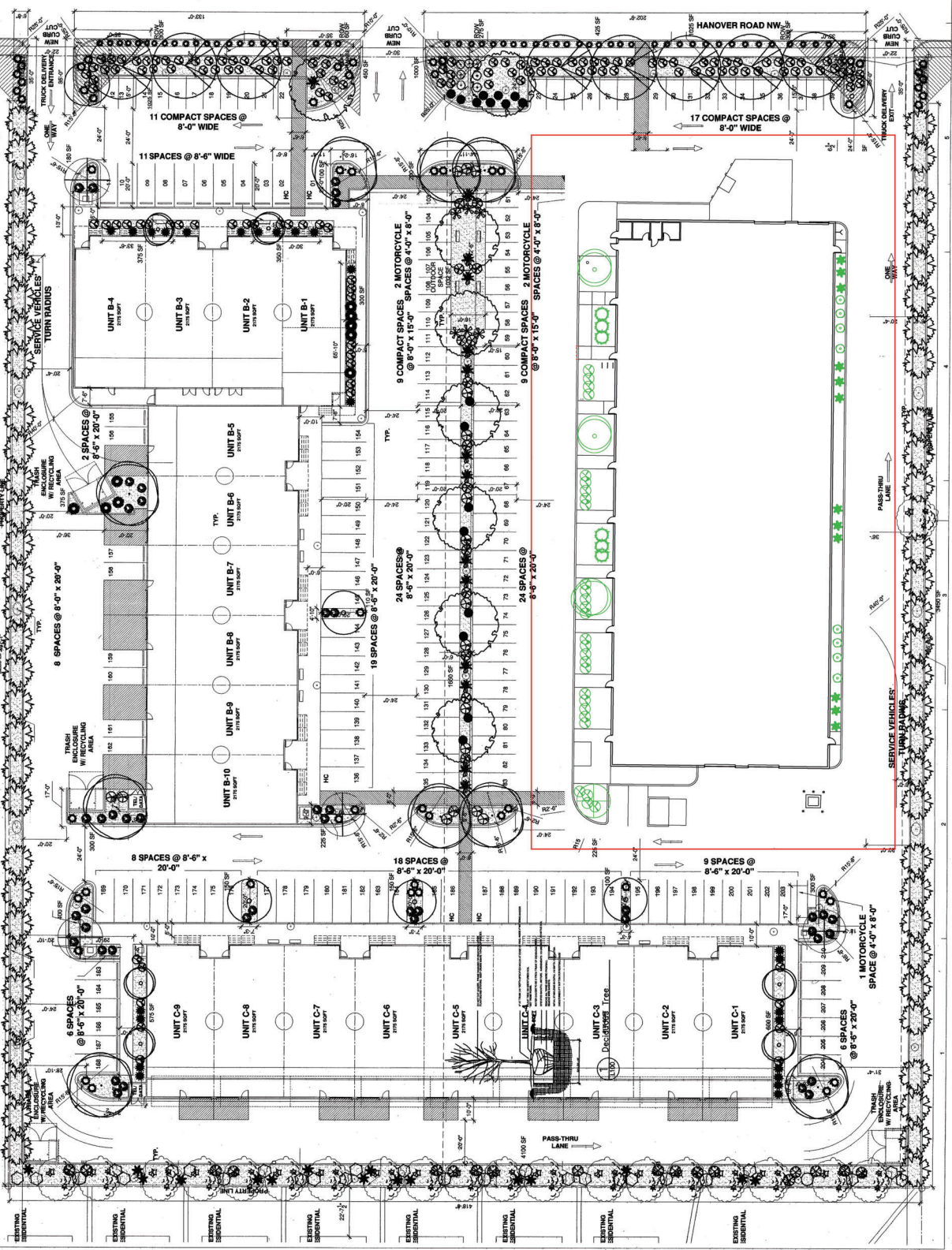
PLANT LEGEND

Symbol	Plant Name	Size
○	Stemmed Madia	15-24"
○	Stemmed Madia	24-36"
○	Stemmed Madia	36-48"
○	Stemmed Madia	48-60"
○	Stemmed Madia	60-72"
○	Stemmed Madia	72-84"
○	Stemmed Madia	84-96"
○	Stemmed Madia	96-108"
○	Stemmed Madia	108-120"
○	Stemmed Madia	120-132"
○	Stemmed Madia	132-144"
○	Stemmed Madia	144-156"
○	Stemmed Madia	156-168"
○	Stemmed Madia	168-180"
○	Stemmed Madia	180-192"
○	Stemmed Madia	192-204"
○	Stemmed Madia	204-216"
○	Stemmed Madia	216-228"
○	Stemmed Madia	228-240"
○	Stemmed Madia	240-252"
○	Stemmed Madia	252-264"
○	Stemmed Madia	264-276"
○	Stemmed Madia	276-288"
○	Stemmed Madia	288-300"
○	Stemmed Madia	300-312"
○	Stemmed Madia	312-324"
○	Stemmed Madia	324-336"
○	Stemmed Madia	336-348"
○	Stemmed Madia	348-360"
○	Stemmed Madia	360-372"
○	Stemmed Madia	372-384"
○	Stemmed Madia	384-396"
○	Stemmed Madia	396-408"
○	Stemmed Madia	408-420"
○	Stemmed Madia	420-432"
○	Stemmed Madia	432-444"
○	Stemmed Madia	444-456"
○	Stemmed Madia	456-468"
○	Stemmed Madia	468-480"
○	Stemmed Madia	480-492"
○	Stemmed Madia	492-504"
○	Stemmed Madia	504-516"
○	Stemmed Madia	516-528"
○	Stemmed Madia	528-540"
○	Stemmed Madia	540-552"
○	Stemmed Madia	552-564"
○	Stemmed Madia	564-576"
○	Stemmed Madia	576-588"
○	Stemmed Madia	588-600"
○	Stemmed Madia	600-612"
○	Stemmed Madia	612-624"
○	Stemmed Madia	624-636"
○	Stemmed Madia	636-648"
○	Stemmed Madia	648-660"
○	Stemmed Madia	660-672"
○	Stemmed Madia	672-684"
○	Stemmed Madia	684-696"
○	Stemmed Madia	696-708"
○	Stemmed Madia	708-720"
○	Stemmed Madia	720-732"
○	Stemmed Madia	732-744"
○	Stemmed Madia	744-756"
○	Stemmed Madia	756-768"
○	Stemmed Madia	768-780"
○	Stemmed Madia	780-792"
○	Stemmed Madia	792-804"
○	Stemmed Madia	804-816"
○	Stemmed Madia	816-828"
○	Stemmed Madia	828-840"
○	Stemmed Madia	840-852"
○	Stemmed Madia	852-864"
○	Stemmed Madia	864-876"
○	Stemmed Madia	876-888"
○	Stemmed Madia	888-900"
○	Stemmed Madia	900-912"
○	Stemmed Madia	912-924"
○	Stemmed Madia	924-936"
○	Stemmed Madia	936-948"
○	Stemmed Madia	948-960"
○	Stemmed Madia	960-972"
○	Stemmed Madia	972-984"
○	Stemmed Madia	984-996"
○	Stemmed Madia	996-1008"

PLANTING RESTRICTIONS APPROACH

NOTE

PLANTING IS TO BE INSTALLED BY THE CONTRACTOR UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND CARE OF THE PLANTINGS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTINGS AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING PLANTINGS AND UTILITIES THAT ARE IN THE WAY OF THE PLANTINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTINGS AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING PLANTINGS AND UTILITIES THAT ARE IN THE WAY OF THE PLANTINGS.



1 LANDSCAPE PLAN



SITE LOCATION

The proposed site is an approximate 0.95-acre site located on Hanover Road NW. The site is bound on the south by Telstar Loop NW, on the west side by Telstar Loop NW, and the east side by an 64th Street.

EXISTING CONDITIONS

The existing site is estimated at 0.95 acres and is currently partially developed with a pad ready site and surrounding asphalt-paved parking lots. The site does not lie within a 100-year FEMA floodplain and is not impacted by offsite flows.

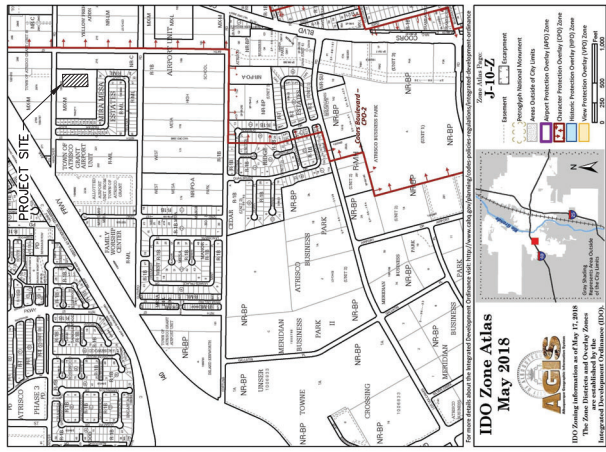
PROPOSED CONDITIONS

The proposed project would consist of a new commercial building to be placed within the pad ready envelope on the site. The finish floor of the new building will be set so that the existing overhead doors on the south side of the building can be accommodated with a 1% minimum grade. The site will also have new concrete sidewalks around the building for connectivity to the parking lot areas. Other areas around the building will be having with new asphalt paving as indicated on the G & D plan.

The site will experience additional runoff as outlined in the hydrology table on this sheet. The client has chosen to pay a fee in lieu of first flush ponding since there are no areas available on the existing site for a first flush pond.

CONCLUSIONS

When developed as indicated on the grading and drainage plan, the increased runoff from the site is estimated at 1,27 cfs, and 4,443 c.f. of during the 100-year event. The first flush pond volume required for the project estimated at 1,049 c.f. The owner has chosen to pay a fee in lieu of first flush ponding.



(B1) VICINITY MAP
SCALE: NOT TO SCALE



(A1) FLOOD ZONE MAP
FLOOD ZONE MAP: 3500100327.J

GENERAL NOTES:

1. EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS OBTAINED FROM A REPUTABLE SURVEYING FIRM. ALL ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
2. ACES STA. 6+05 TO 6+15 LOCATED 2.2 MILES NORTH OF DOWNTOWN ALBUQUERQUE AT THE INTERSECTION OF CABELLARA ROAD AND (1-25) FROM THE INTERSECTION OF CABELLARA ROAD AND (1-25) TRAVEL WEST ON CABELLARA ROAD 0.8 MILES TO THE EAST AND TRAVEL SOUTH ON TELSTAR LOOP NW FOR APPROXIMATELY THE RIGHT THE STATION MARK IS A CITY OF ALBUQUERQUE SURVEY CONTROL "J" BRASS DISC STAMPED "6+05 1972 SET TO BE MAINTAINED BY THE SURVEYOR OF THE SURFACE OF THE GROUND ELEV. 4975.25" (NAD 1983).
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
4. CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE PRIOR TO ANY GRADING OR CONSTRUCTION.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT UTILITY LOCATING SERVICES, 800-9990 FOR LOCATION OF EXISTING UTILITIES.
6. ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE PROTECTED BY GRASS SEEDING AND SOIL STABILIZATION AS PER ASTM D1527 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
7. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
8. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
9. THE SUBJECT PROPERTY IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP, ALBUQUERQUE NEW MEXICO AND UNINCORPORATED AREAS PER MAP NO 35001C 0332G.
10. ALL WORK PERFORMED SHALL COMPLY WITH THE CURRENT LOCAL, STATE AND FEDERAL REGULATIONS AND DRAINAGE PLANS. ALL WORK PERFORMED SHALL COMPLY WITH THE CURRENT ALBUQUERQUE LOCAL, STATE AND FEDERAL REGULATIONS AND POLICES FOR LAND DEVELOPMENT REQUIREMENTS AND POLICES FOR LAND DEVELOPMENT.
11. THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
12. REASONABLE MEASURES TO PREVENT AQUIFER CONTAMINATION AND POLLUTION FROM EXISTING SITE OR FROM ADJACENT AREAS SHALL BE TAKEN IN A MANNER WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
13. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT AND CONTROL POLLUTION AND CONTAMINATION FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER MEANS. POLLUTANTS, DEBRIS, WASTE, ETC SHALL BE REMOVED FROM THE SITE IN A MANNER ACCEPTABLE BY THE CITY.
14. THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE EXISTING "L" SHAPED SLOPE LIMITS ON THE GRADING AND DRAINAGE PLAN.
15. SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
16. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH ARE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
17. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH DO NOT MEET ADA ACCESSIBILITY REQUIREMENTS. CURBSIDE SIDEWALKS SHALL HAVE A MAXIMUM SLOPE OF 3%. SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0% AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15%.
18. ALL SIDEWALKS AND CONCRETE FLOWWAYS SHALL HAVE A MINIMUM SLOPE OF 0.5% IN THE DIRECTION OF FLOW. THE PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLOWWAYS WHICH DO NOT MEET THIS REQUIREMENT.
19. THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND DETAILS TO THE PROJECT ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
20. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (UPDATE 8, AMENDMENT 1).
21. ALL EXISTING MANHOLE, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.

FIRST FLUSH CALCULATIONS

$$\text{FIRST FLUSH} = (0.34'' \cdot 34,0265 \text{ SF}) / 12 = 1049 \text{ CF}$$

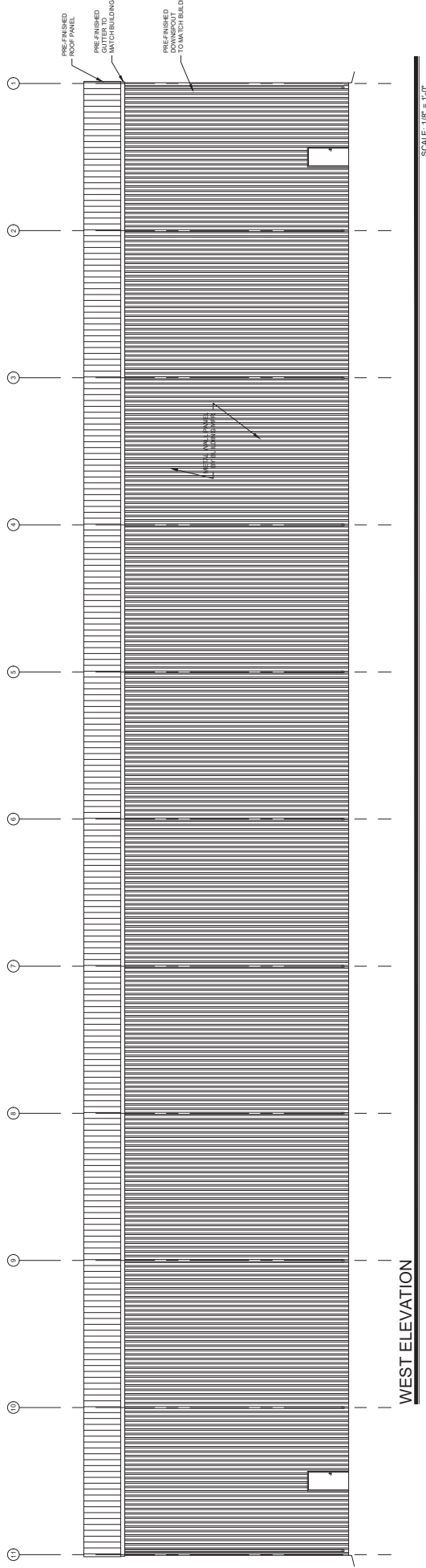
HYDROLOGY												
Precipitation Zone 1 - 100-year Storm P(360) = 2.20 in P(1440) = 2.66 in												
Basin Area (Ac)	A	B	C	D	Ew (In)	V(100-24) (af)	V(100-6) (af)	Q(100) (cfs)				
Existing Conditions												
A	0.95	0.00	0.00	0.95	0.00	0.99	0.078	0.078	2.73			
Total	0.95	0.00	0.00	0.95	0.00	0.99	0.078	0.078	2.73			
Proposed Conditions												
A	0.95	0.00	0.00	0.10	0.85	1.87	0.148	0.180	4.00			
Total	0.95	0.00	0.00	0.10	0.85	1.87	0.148	0.180	4.00			

CIVIL DRAWING INDEX

SHEET No.	SHEET TITLE
C-100	HYDROLOGY PLAN AND DRAWING INDEX
C-101	GRADING AND DRAINAGE PLAN
C-501	MISCELLANEOUS DETAILS

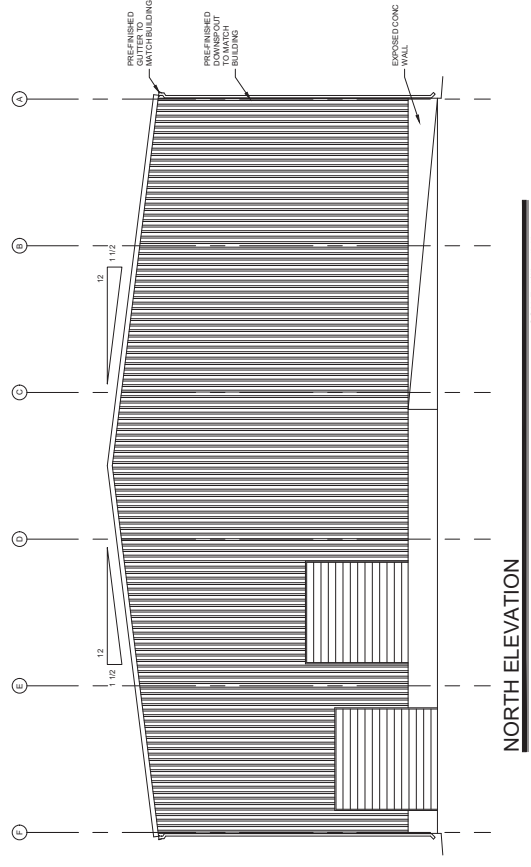
No	Revision	Item	Date
		PROJECT NO. SCALE NOTED DRAWING NO.	
		DATE 7/09/20	
WAREHOUSE BUILDING 6500 HANOVER RD NW ALBUQUERQUE, NM 87121			
HYDROLOGY PLAN			
SHEET TITLE		DESIGNER: MEC	
DRAWN BY: MEC		CHECKED BY: VAM	
DATE: 7/09/20		6"	
		C-100	
		OF	





WEST ELEVATION

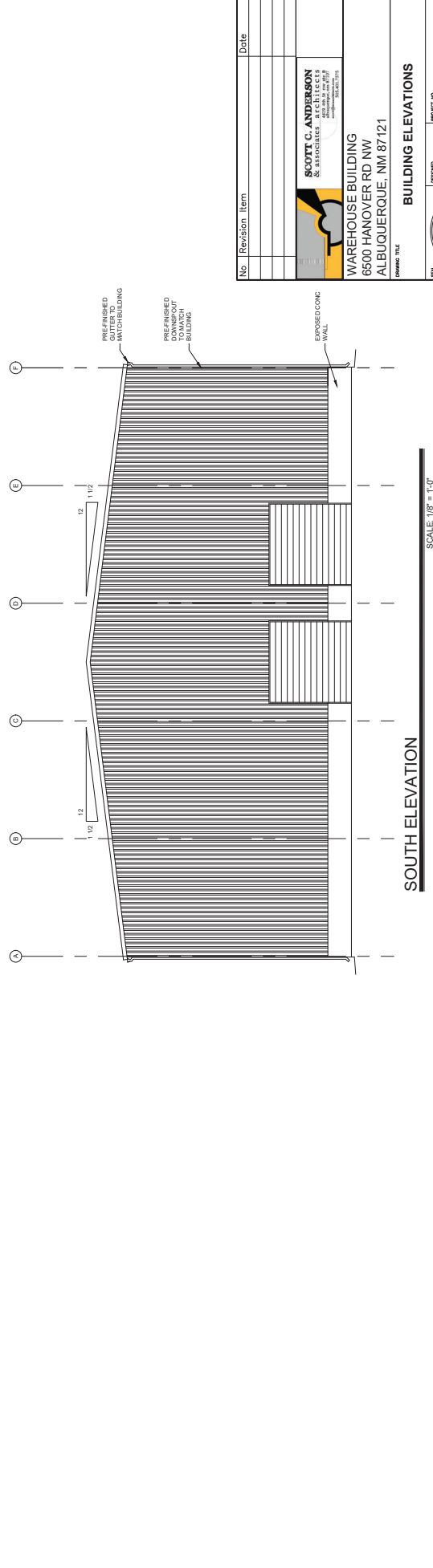
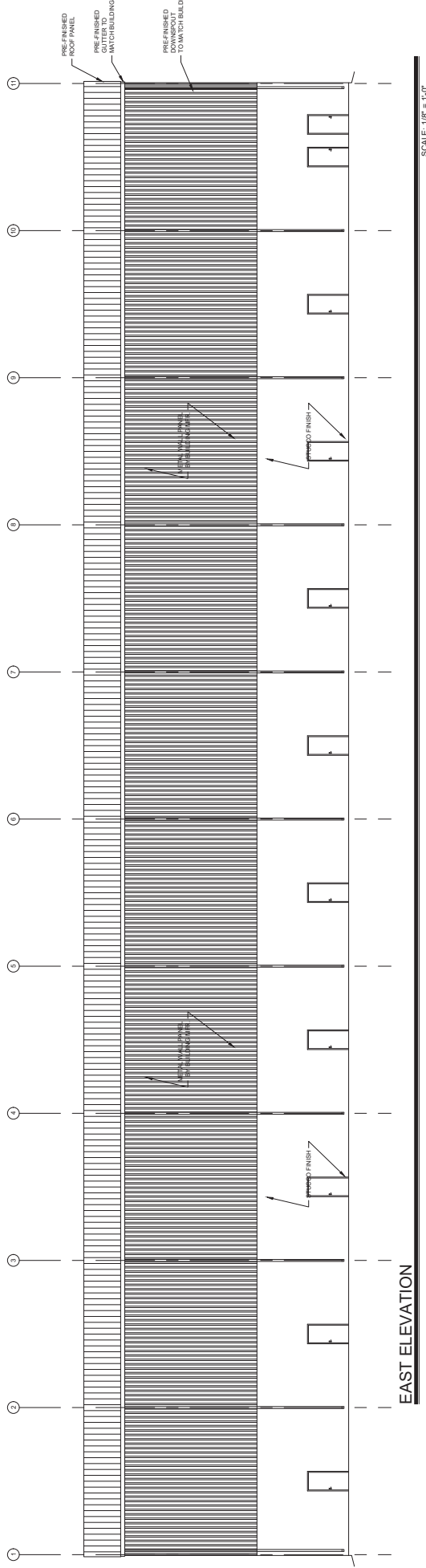
SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

No	Revision Item	Date
<p>SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS, PLLC ALBUQUERQUE, NM 87102 PHONE: 505.263.1234</p>		
<p>WAREHOUSE BUILDING 6500 HANOVER RD NW ALBUQUERQUE, NM 87121</p>		
<p>BUILDING ELEVATIONS</p>		
DESIGNED	PROJECT NO.	
DRAWN	SCALE	
CHECKED	DRAWING NO.	
REVIEWED	DATE	6/11/2020
<p>A-201</p>		



No.	Revision	Item	Date

SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS
 6500 HANOVER RD NW
 ALBUQUERQUE, NM 87121
 PHONE: 505.263.1111
 FAX: 505.263.1112

WAREHOUSE BUILDING
 6500 HANOVER RD NW
 ALBUQUERQUE, NM 87121

PROJECT NO. _____
 SCALE _____
 DRAWING NO. _____
 CHECKED _____
 REVIEWED _____
 DATE 6/1/2020

A-202

DATE 6/1/2020

REGISTERED ARCHITECT
 STATE OF NEW MEXICO
 NO. 4242
 EXPIRES 12/31/2023

1005482



PROJECT NO:
CAD DWG FILE:
DRAWN BY: KALJA
CHECKED BY: RE.MU
COPYRIGHT:
DESIGN PLUS, LLC
SHEET TITLE: A-100

DATE: JUN 20, 2007
PREVISIONS
R1: 04.16.07
R2: 05.30.07

- GENERAL NOTES**
- A. PARKING CALCULATIONS CAN BE PROVIDED UPON REQUEST.
 - B. ALL COMPACT PARKING SPACES WILL BE MARKED AND SIGNED.
 - C. EXISTING 6" HIGH CHAIN LINK FENCE TO BE DEMOLISHED AND REPLACED WITH 4' HIGH ALUMINUM VENTED PARTY WALL WITH FENCE AND 4" HIGH CONCRETE SIDEWALK.
 - D. EXISTING 4" CONCRETE SIDEWALK, PLANTER AND CURB.
 - E. LANDSCAPE AREA.
 - F. NEW SITE LIGHTING. AREA DEMONSTRATED ON REFLECTORIAL. 16" HIGH HIGH PILE.
 - G. RECONSTRUCTING BEGA CANAL TO BE 16" HIGH PILE.
 - H. NEW EXISTING 2" STEEL PIPE, ARCHITECTURAL COLORBY ARCHITECT.
 - I. MONUMENT SIGN - 12" WIDE X 4' HIGH.
 - J. ALTERNATE SPLIT UNIT CONSTRUCTION.
 - K. FIRE HYDRANT LOCATION.
 - L. ENTRANCE EXITS FOR SERVICE IN CONSTRUCTION.
 - M. STOP SIGN.
 - N. SITE MOUNTED WASTE RECEPTACLE.
 - O. 5' TYP. LONG BENCH.
 - P. MENSICAL EQUIPMENT TUBE SCREENED BY PARAMET.
 - Q. NEW ACCESSIBLE CONCRETE RAMP. 1:12 MAXIMUM SLOPE. REFER TO CIVIL.

- KEY NOTES**
- 1. SITE WALL - 6" HIGH CMU WALL.
 - 2. UTILITY BLOCK UNIT.
 - 3. DEMOLISH EXISTING 6" CMU WALL AND CONCRETE SIDEWALK AND REPLACE WITH 4' HIGH ALUMINUM VENTED PARTY WALL WITH FENCE AND 4" HIGH CONCRETE SIDEWALK.
 - 4. EXISTING 4" CONCRETE SIDEWALK, PLANTER AND CURB.
 - 5. LANDSCAPE AREA.
 - 6. NEW SITE LIGHTING. AREA DEMONSTRATED ON REFLECTORIAL. 16" HIGH HIGH PILE.
 - 7. RECONSTRUCTING BEGA CANAL TO BE 16" HIGH PILE.
 - 8. NEW EXISTING 2" STEEL PIPE, ARCHITECTURAL COLORBY ARCHITECT.
 - 9. MONUMENT SIGN - 12" WIDE X 4' HIGH.
 - 10. ALTERNATE SPLIT UNIT CONSTRUCTION.
 - 11. FIRE HYDRANT LOCATION.
 - 12. ENTRANCE EXITS FOR SERVICE IN CONSTRUCTION.
 - 13. STOP SIGN.
 - 14. SITE MOUNTED WASTE RECEPTACLE.
 - 15. 5' TYP. LONG BENCH.
 - 16. MENSICAL EQUIPMENT TUBE SCREENED BY PARAMET.
 - 17. NEW ACCESSIBLE CONCRETE RAMP. 1:12 MAXIMUM SLOPE. REFER TO CIVIL.

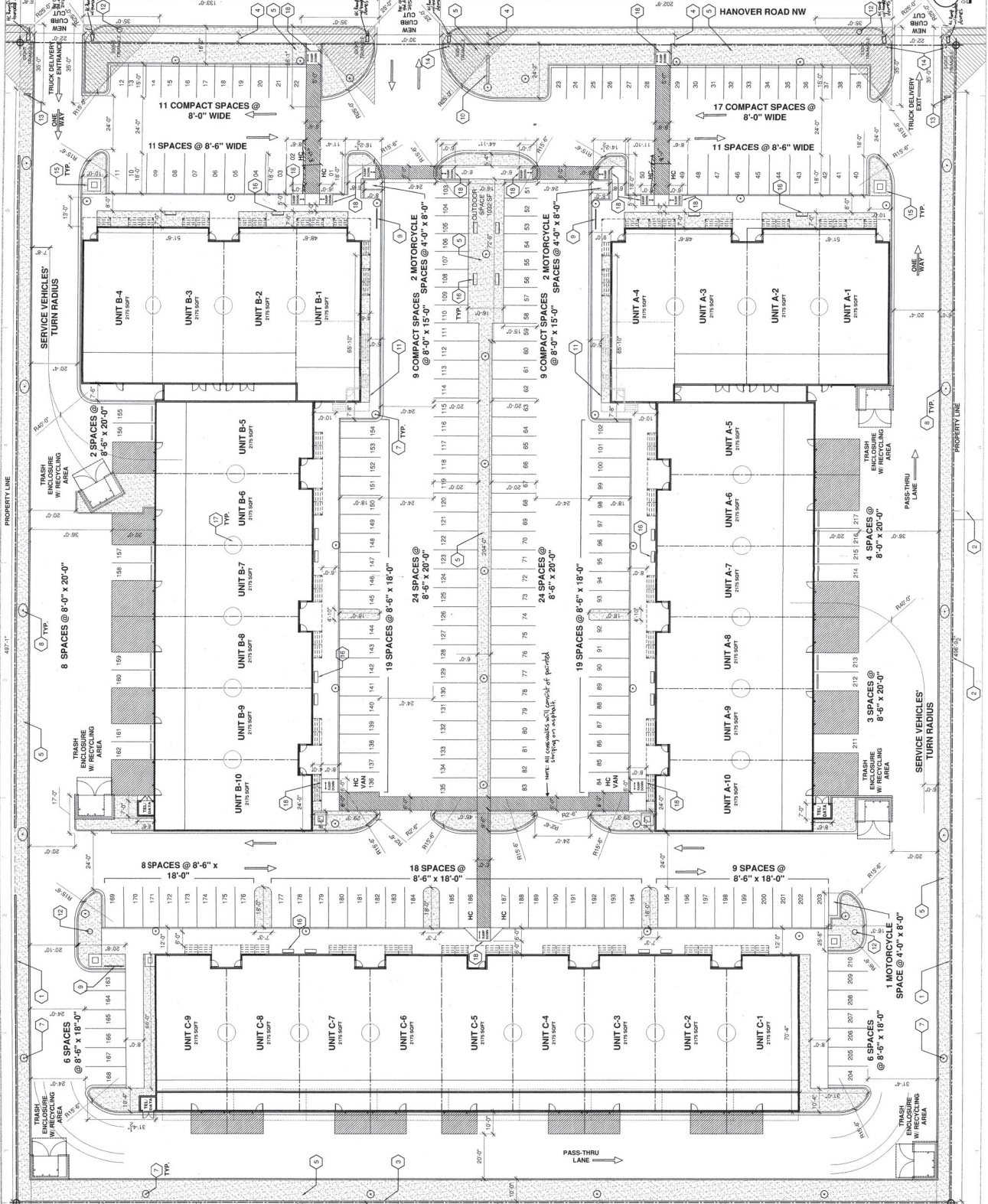
- COLOR OF BUILDING ELEMENTS**
- A. STEEL BEAM POST TRELLIS AND OVERHANG, PAINTED ASH GREY.
 - B. STAINLESS STEEL FINISH TO STOREFRONT WINDOW AND FRONT HOLLOW METAL DOOR FRAME ASH.
 - C. SERRATED METAL GRAY AMBER TARD.
 - D. FRESH BROWN.
 - E. COPING ASH GREY.
 - F. MATCH ADJACENT STRUCTURE.

PROJECTIONS

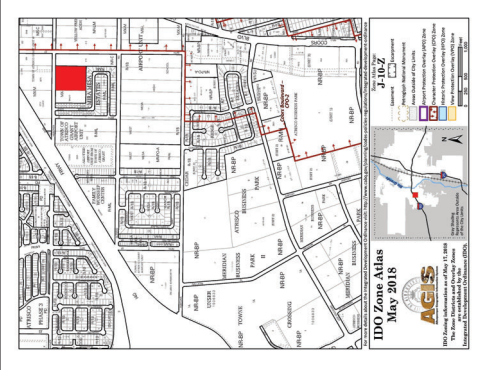
DATE: JUN 20, 2007
PREVISIONS
R1: 04.16.07
R2: 05.30.07

PROJECT SITE

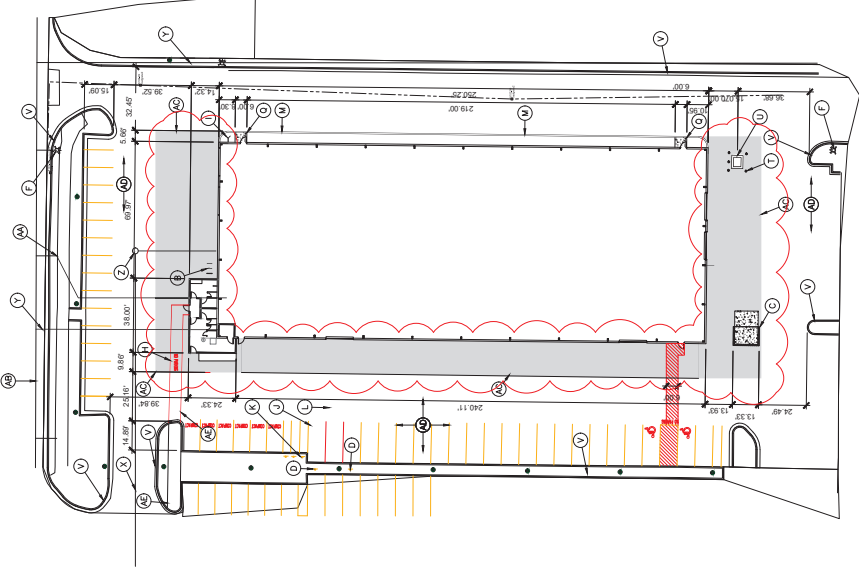
SITE PLAN
FOR BUILDING PERMIT



SHEET 08



- KEYNOTES**
- A. DOCK LEVELER
 - B. 6 SPACE BIKE RACK REF DETAIL THIS SHEET
 - C. REFUSE ENCLOSURE
 - D. H-C PARKING SIGN REF DETAIL ON THIS SHEET
 - E. H-C RAMP REF DETAIL ON THIS SHEET
 - F. EXISTING FIRE HYDRANT
 - G. IRRIGATION BOX
 - H. NEW ACCESSIBLE PATH, CONNECT TO EXISTING
 - I. FIRE DOT CONNECTION
 - J. H-C PARKING SYMBOL
 - K. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
 - L. # ACCESSIBLE ROUTE
 - M. H-C SOCIAL RAMP
 - N. EXISTING EDGE OF ASPHALT
 - O. EXISTING PROPERTY LINE
 - P. NEW 6" CONC. SIDEWALK
 - R. EXISTING DRIVE ENTRANCE
 - S. EXISTING TRANSFORMER
 - T. BOLLARD
 - U. LOADING DOCK 4' x 7'
 - V. EXISTING CURB
 - W. POST INDICATOR VALVE
 - X. EXISTING 4" PVC GAS
 - Y. EXISTING 4" PVC WATER LINE
 - Z. EXISTING SAWN WALKWAY
 - AA. EXISTING 2" WATER METER
 - AB. EXISTING 1" WATER LINE
 - AC. NEW ASPHALT PAVING
 - AD. EXISTING ASPHALT PAVING
 - AE. EXISTING ACCESSIBLE PATH



EXISTING BUILDING

TRAFFIC CIRCULATION LAYOUT

SCALE: 1" = 30'-0"

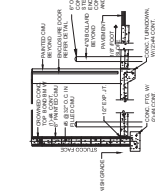
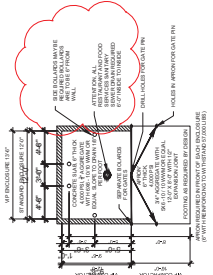
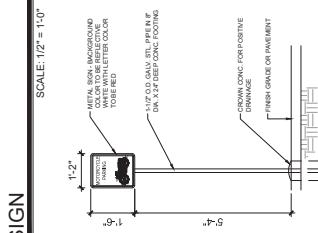
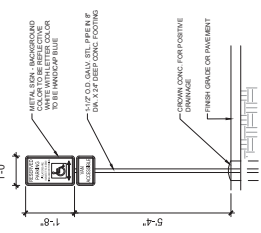
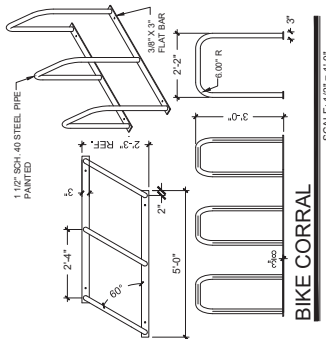


PARKING:
SPECIAL MANUFACTURING (TV CONTENT PRODUCTION)
48 SPACES PROVIDED
48 SPACES PROVIDED
AC PARKING REQUIRED - 2 PROVIDED - 3
BIKE RACK FOR 6 BIKES PROVIDED

No.	Revision	Item	Date

WAREHOUSE BUILDING 6500 HANOVER RD NW ALBUQUERQUE, NM 87121	
SITE PLAN	
DESIGNED	PROJECT NO.
DRAWN	SCALE
CHECKED	DRAWING NO.
APPROVED	DATE
	10/14/2021

A-100	

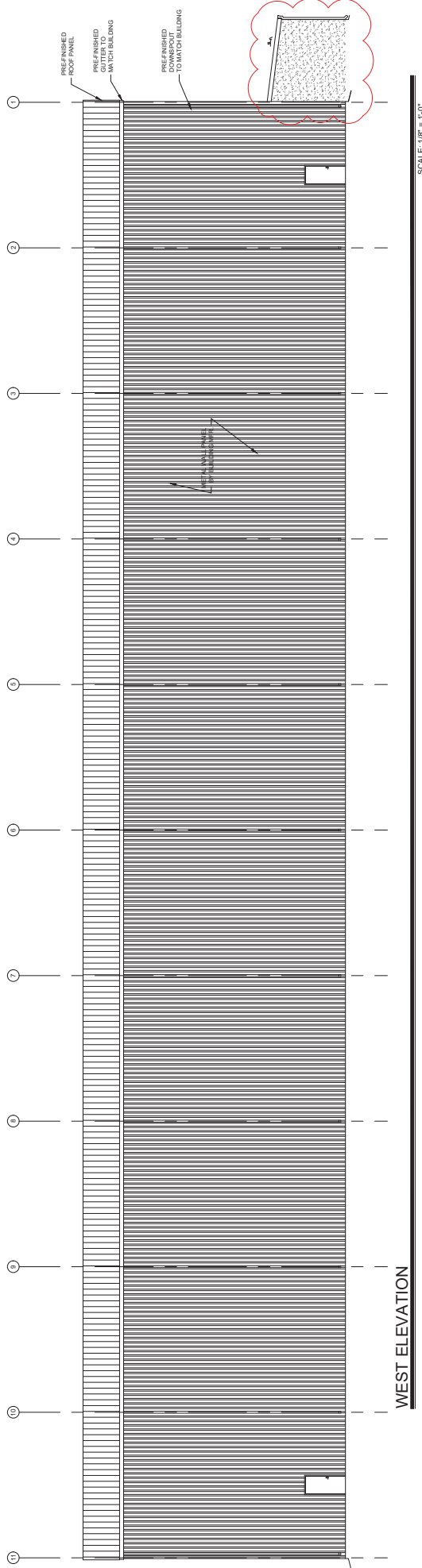


TRASH ENCLOSURE

SCALE: 1/8" = 1'-0"

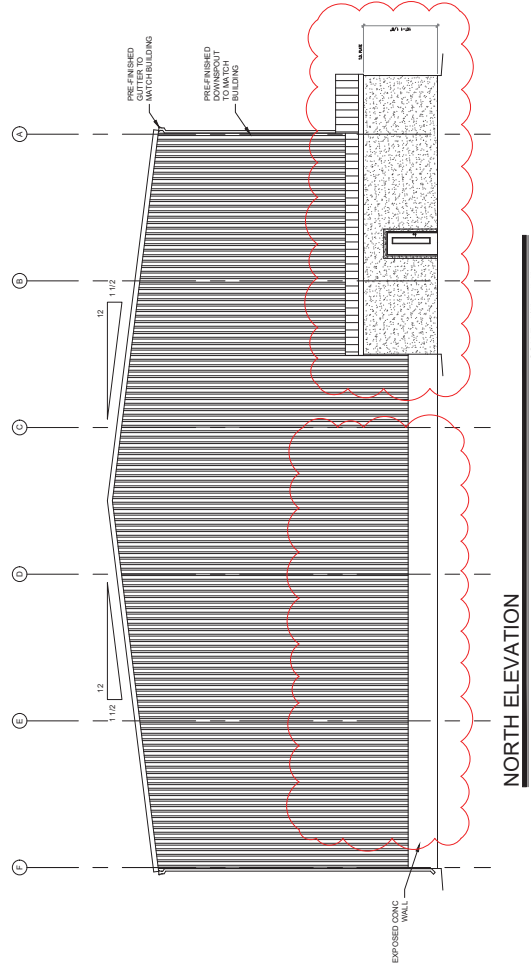
MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"



WEST ELEVATION

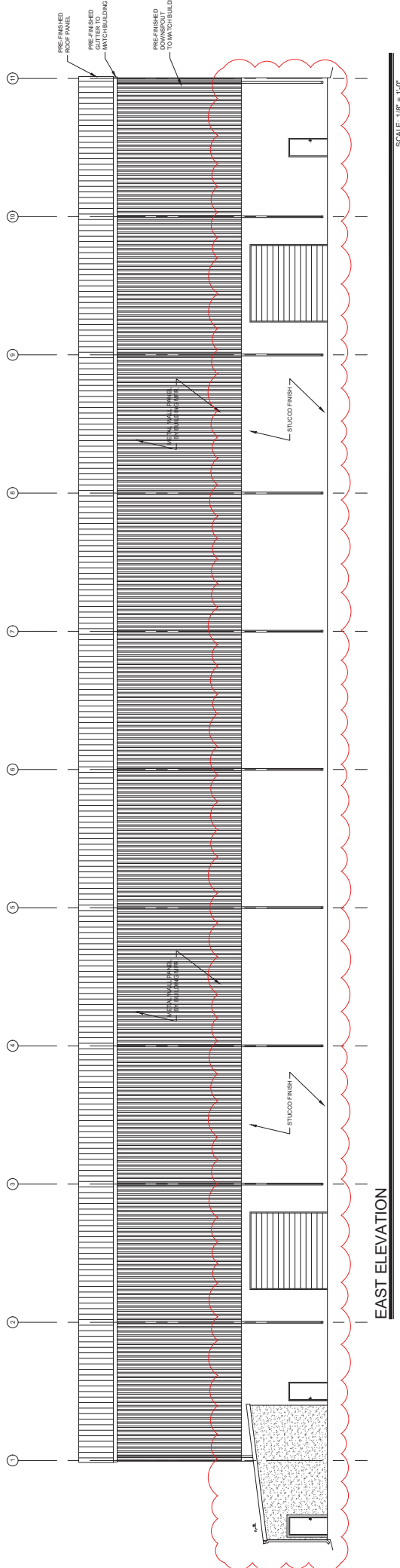
SCALE: 1/8" = 1'-0"



NORTH ELEVATION

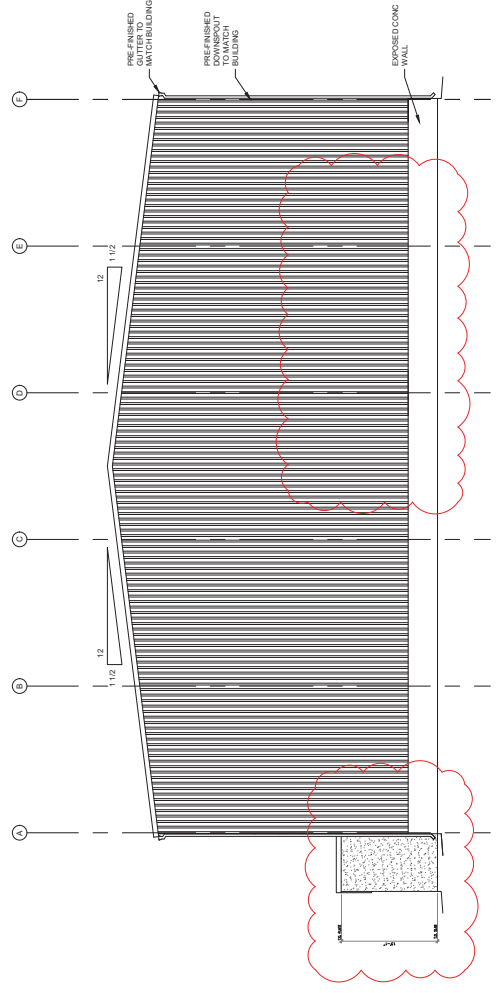
SCALE: 1/8" = 1'-0"

No.	Revision Item	Date
WAREHOUSE BUILDING 6500 HANOVER RD NW ALBUQUERQUE, NM 87121		
BUILDING ELEVATIONS		
DESIGNED	PROJECT NO.	
DRAWN	SCALE	
CHECKED	DRAWING NO.	A-201
REVIEWED	DATE	6/11/2020



EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

No.	Revision	Item	Date

	SCOTT C. ANDERSON & ASSOCIATES, ARCHITECTS, INC. <small>1000 N. 10TH ST. SUITE 200 ALBUQUERQUE, NM 87102 (505) 263-1111</small>
	WAREHOUSE BUILDING 6500 HANOVER RD NW ALBUQUERQUE, NM 87121 DRAWING TITLE

PROJECT NO. SCALE DRAWING NO.	<h1 style="text-align: center;">A-202</h1>
CHECKED REVIEWED DATE 6/11/2020	

SEAL 	BUILDING ELEVATIONS
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