

# **REFERENCE**

**PROJECT# - 2020-004250**

**CASE# - SI-2021-01836**

**FOR ALL DOCUMENTATION**

**(FINAL SIGN OFF IS STAMPED INCORRECTLY – SI-2020-00731)**



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

**APPLICATION INFORMATION**

Applicant: <b>Avatar Recoveries LLC</b>	Phone:
Address: <b>1720 Louisiana Blvd NE Ste 100</b>	Email:
City: <b>Albuquerque</b> State: <b>NM</b>	Zip: <b>87110</b>
Professional/Agent (if any): <b>Scott Anderson</b>	Phone: <b>505 401 7575</b>
Address: <b>4419 4th St NW #B</b>	Email: <b>scott@scarchitects.com</b>
City: <b>Albuquerque</b> State: <b>NM</b>	Zip: <b>87107</b>
Proprietary Interest in Site:	List all owners: <b>Avatar Recoveries LLC</b>

**BRIEF DESCRIPTION OF REQUEST**

**Admin Amendment, site Plan for Building Permit**

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: <b>2-A</b>	Block:	Unit:
Subdivision/Addition: <b>Mira Mesa</b>	MRGCD Map No.:	UPC Code: <b>101005846045610503</b>
Zone Atlas Page(s): <b>J10</b>	Existing Zoning: <b>MX-M</b>	Proposed Zoning: <b>MX-M</b>
# of Existing Lots: <b>1</b>	# of Proposed Lots: <b>1</b>	Total Area of Site (acres):

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: **6500 Hanover** Between: **64th** and: **68th**

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

**SI 2020-00731 PR 2020-004250**

Signature: *[Signature]* Date: **10/14/2021**

Printed Name: **Scott Anderson**  Applicant or  Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-01836	AA				

Meeting/Hearing Date: \_\_\_\_\_ Fee Total: \_\_\_\_\_

Staff Signature: \_\_\_\_\_ Date: \_\_\_\_\_ Project # **PR-2020-004250**

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**ACCELERATED EXPIRATION SITE PLAN**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired


**ALTERNATIVE SIGNAGE PLAN**


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
  - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

**ALTERNATIVE LANDSCAPE PLAN**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

**I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.**

Signature: 	Date: 10/14/2021
Printed Name: Scott Anderson	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number: PR-2020-004250	Case Numbers SI-2021-01836
Staff Signature:	
Date:	



**SCOTT C. ANDERSON**  
& associates architects

7604 rio penasco nw  
albuquerque, nm 87120  
andersonscott@comcast.net  
505.401.7575

October 14, 2021

James Aranda, Division Manager  
Urban Design and Development  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

RE: 2020-21689, Admin Amendment 6500 Handover Rd NW

Dear Mr Aranda:

I am writing to request and Administrative Amendment for 6500 Hanover Rd NW, project number 1005482, application numbers 4-DRB-01069 and 07-DRB-70059.

This request is being made because the subject property was being built as a speculative venture but during the course of construction the facility has been leased to a film production company. The new tenant is requiring some modifications be made to the site to accommodate their needs. The site plan is materially similar to the existing previously approved site plan. The requested amendment still meets the original requirements of the approved plan. Please reference the attached drawings.

The changes from the previous Administrative Amendment include:

Removal of the loading dock and overhead doors on the north side of the building

Addition of restrooms where the dock was once located.

Elimination of all but two of the personnel doors, landscaping, and the curb on the west side of the building.

Addition of overhead doors to the west façade

Elimination of the curb and overhead doors on the south side of the building.

Thank you for your consideration. Please feel free to contact me with any questions or concerns.

Respectfully,

Scott C. Anderson AIA  
Principal  
Scott Anderson & Associates Architects

**ADMINISTRATIVE AMENDMENT**

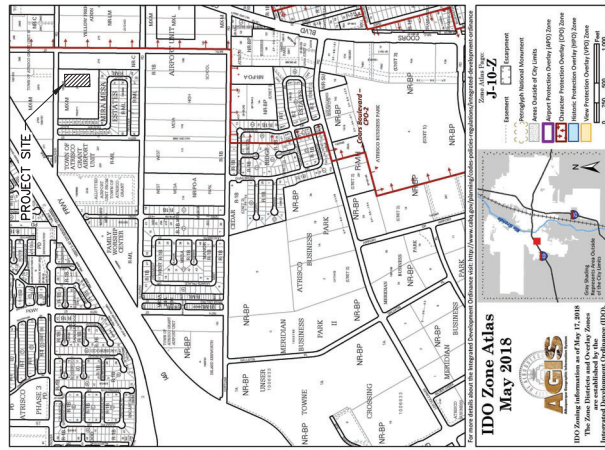
**FILE #** <sup>SI-2020</sup><sub>-00731</sub> **PROJECT #** <sup>PR-2020</sup><sub>-004250</sub>

Consolidation of Units A-1 through A-10  
and adjustment of parking and landscape to  
accommodate updated layout of new building.

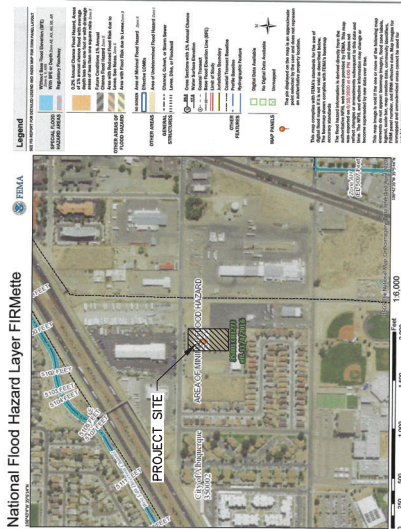
14 Sept 2020

**APPROVED BY** **DATE**





B1 VICINITY MAP  
SCALE: NOT TO SCALE



A1 FLOOD ZONE MAP  
FLOOD ZONE MAP: 350010327J

**SITE LOCATION**

The proposed site is an approximate 0.95-acre site located on Hanover Road NW. The site is bound on the south by Telstar Loop NW, on the west side by Telstar Loop NW, and the east side by an 64<sup>th</sup> Street.

**EXISTING CONDITIONS**

The existing site is estimated at 0.95 acres and is currently partially developed with a pad ready site and surrounding asphalt-paved parking lots. The site does not lie within a 100-year FEMA floodplain and is not impacted by offsite flows.

**PROPOSED CONDITIONS**

The proposed project would consist of a new commercial building to be placed within the pad ready envelope on the site. The finish floor of the new building will be set so that the existing overhead doors on the south side of the building can be accommodated with a 1% minimum grade. The site will also have new concrete sidewalks around the building for connectivity to the parking lot areas. Other areas around the building will be having with new asphalt paving as indicated on the G & D plan.

The site will experience additional runoff as outlined in the hydrology table on this sheet. The client has chosen to pay a fee in lieu of first flush ponding since there are no areas available on the existing site for a first flush pond.

**CONCLUSIONS**

When developed as indicated on the grading and drainage plan, the increased runoff from the site is estimated at 1.27 cfs, and 4.443 cdf during the 100-year event. The first flush pond volume required for the project estimated at 1.049 cdf. The owner has chosen to pay a fee in lieu of first flush ponding.

**GENERAL NOTES:**

- EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY THE CLIENT. THE ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE ALBUQUERQUE CITY CODE, CHAPTER 10, AND THE ALBUQUERQUE CITY ENGINEERING DEPARTMENT'S "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITIES." THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PROTECT EXISTING UTILITIES, STRUCTURES, AND LANDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
- THE CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
- ALL EXCAVATIONS SHALL BE PROTECTED BY SHIELDING AND SAFETY LIGHTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE REPAIRED TO NEW FINISH GRADE.

**FIRST FLUSH CALCULATIONS**

FIRST FLUSH = (0.34" \* 34,0265 SF)/12 = 1049 CF

HYDROLOGY									
Precipitation Zone 1 - 100-year Storm P(360) = 2.20 in P(1440) = 2.66 in									
Basin Area (Ac)	A	B	C	D	Ew (In)	V(100-24) (af)	V(100-6) (af)	Q(100) (cfs)	
Existing Conditions	0.95	0.00	0.00	0.95	0.00	0.99	0.078	0.078	2.73
Proposed Conditions	0.95	0.00	0.00	0.10	0.85	1.87	0.148	0.180	4.00
<b>Total</b>	<b>0.95</b>	<b>0.00</b>	<b>0.00</b>	<b>1.05</b>	<b>0.85</b>	<b>1.87</b>	<b>0.148</b>	<b>0.180</b>	<b>4.00</b>

**CIVIL DRAWING INDEX**

SHEET No.	SHEET TITLE
C-100	HYDROLOGY PLAN AND DRAWING INDEX
C-101	GRADING AND DRAINAGE PLAN
C-501	MISCELLANEOUS DETAILS

PROJECT NO. \_\_\_\_\_  
 SCALE NOTED \_\_\_\_\_  
 DRAWING NO. \_\_\_\_\_  
 SHEET NO. \_\_\_\_\_  
 DATE 7/09/20 \_\_\_\_\_

**SCOTT C. ANDERSON & ASSOCIATES, ARCHITECTS**  
 1000 UNIVERSITY AVENUE, SUITE 100  
 ALBUQUERQUE, NM 87102

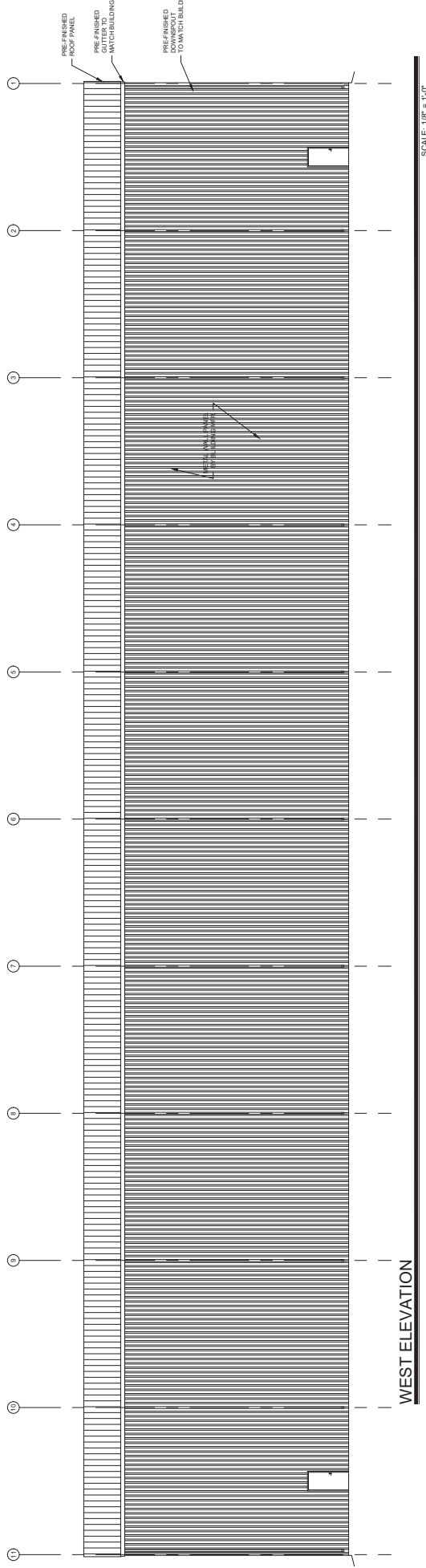
**WAREHOUSE BUILDING**  
 6500 HANOVER RD NW  
 ALBUQUERQUE, NM 87121

**HYDROLOGY PLAN**

DESIGNED BY: MEC  
 CHECKED BY: VAM  
 DRAWN BY: MEC  
 DATE: 7/09/20

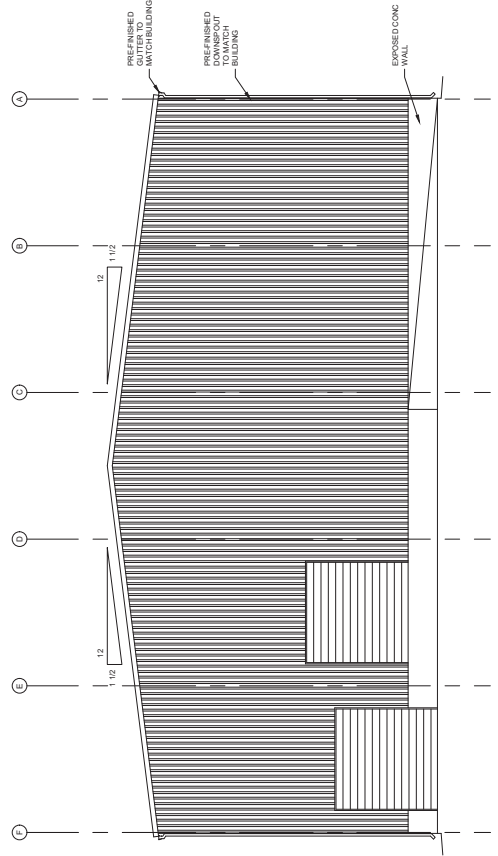
**C-100**





**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

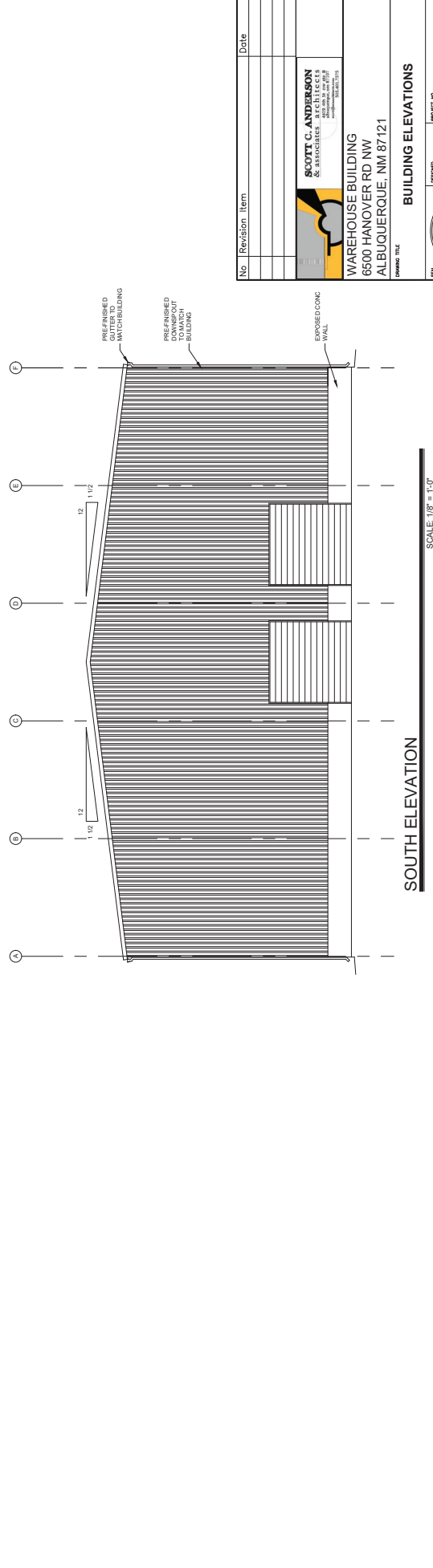
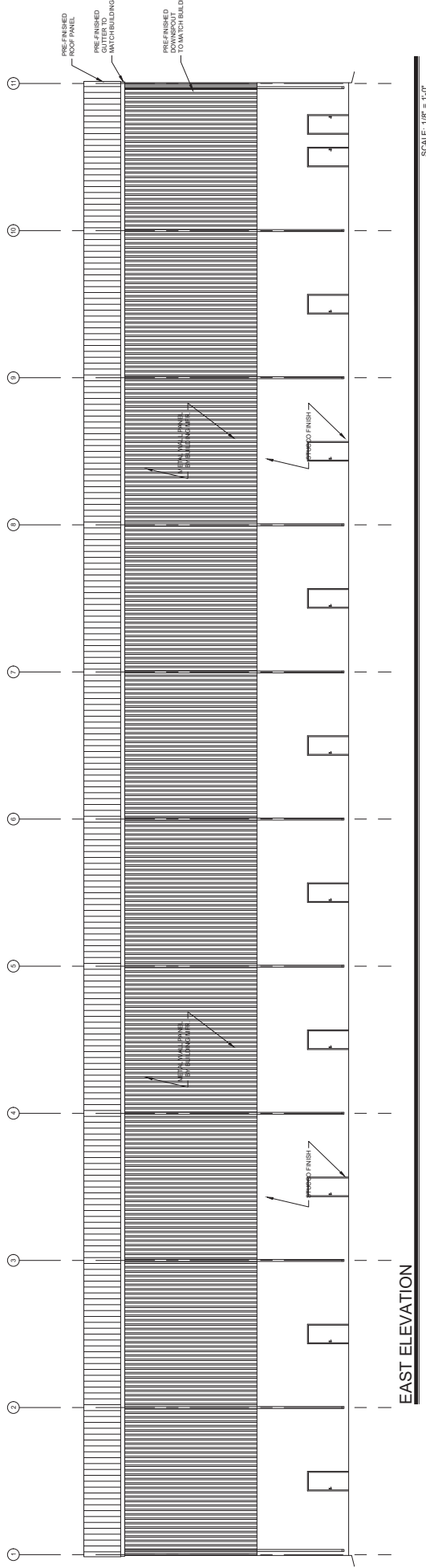


**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

No	Revision Item	Date
<b>SCOTT C. ANDERSON &amp; ASSOCIATES ARCHITECTS</b> 2500 UNIVERSITY BLVD. SW, SUITE 200 ALBUQUERQUE, NM 87105		
<b>WAREHOUSE BUILDING</b> 6500 HANOVER RD NW ALBUQUERQUE, NM 87121		
<b>BUILDING ELEVATIONS</b>		
DESIGNED BY	PROJECT NO.	DATE
DRAWN BY	SCALE	6/1/2020
CHECKED BY	DRAWING NO.	
REVIEWED BY		
<b>A-201</b>		





No.	Revision	Item	Date

**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**  
 6500 HANOVER RD NW  
 ALBUQUERQUE, NM 87121  
 PHONE: 505.263.1111  
 FAX: 505.263.1112

**WAREHOUSE BUILDING**  
 6500 HANOVER RD NW  
 ALBUQUERQUE, NM 87121

PROJECT NO. \_\_\_\_\_  
 SCALE \_\_\_\_\_  
 DRAWING NO. \_\_\_\_\_  
 CHECKED \_\_\_\_\_  
 REVIEWED \_\_\_\_\_  
 DATE 6/1/2020

**A-202**

DATE 6/1/2020

REGISTERED ARCHITECT

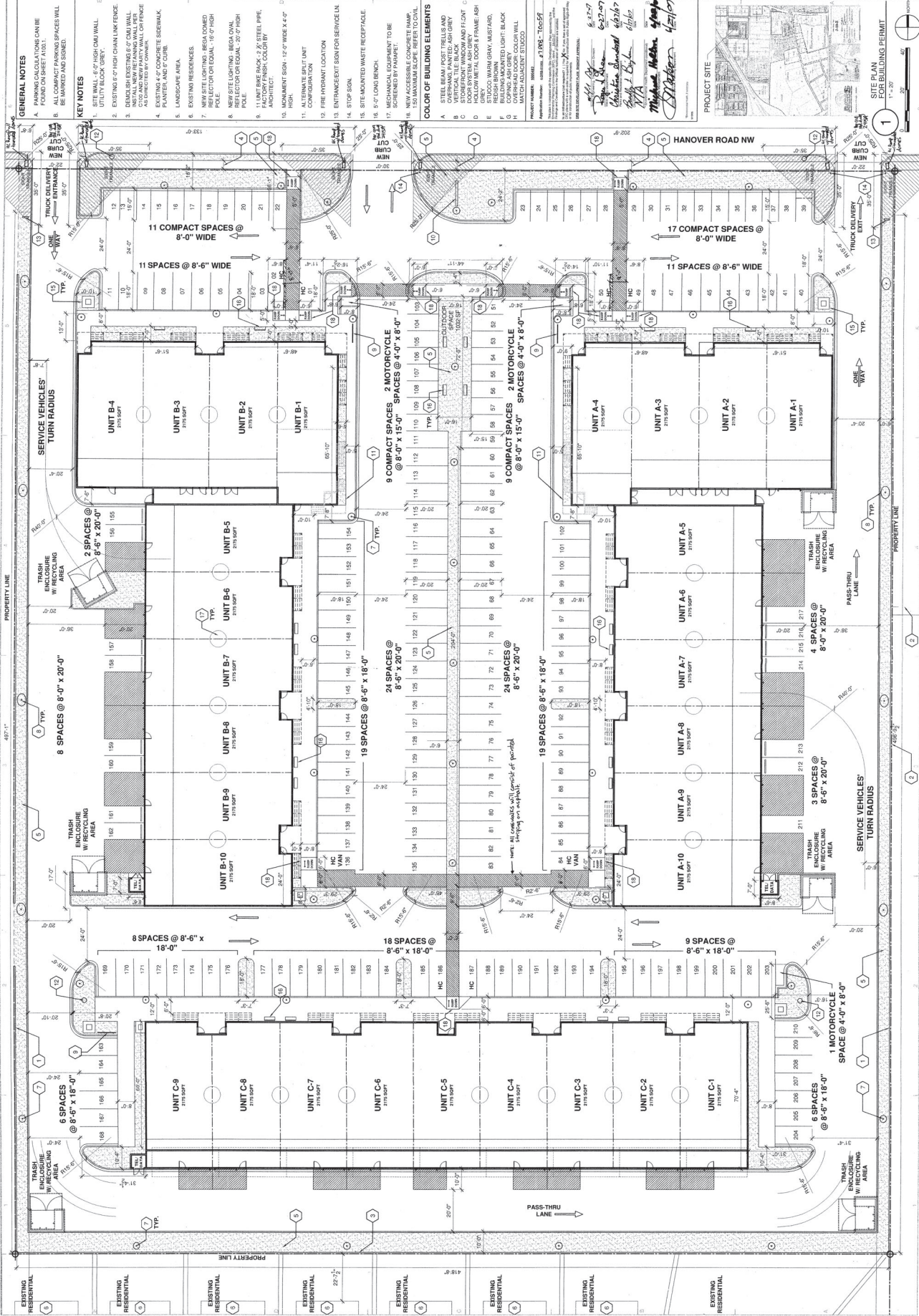


HANOVER  
BUSINESS PARK

DATE:	JUN 20, 2007
PREVIEWS:	
BY:	04.16.07
RE:	05.30.07
PROJECT NO.:	
CAD DWG FILE:	
DRAWN BY:	KAL JA
CHECKED BY:	RE MU
COPYRIGHT:	DESIGN PLUS, LLC
SHEET TITLE:	

A-100  
SHEET 08

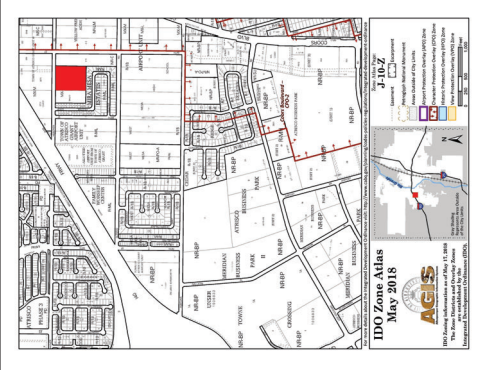
1005482



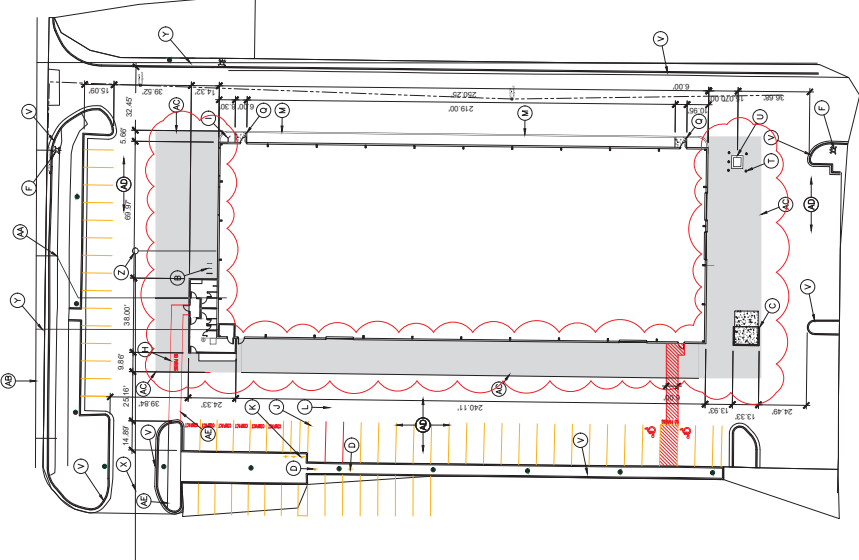
- GENERAL NOTES**
1. PARKING CALCULATIONS CAN BE REVIEWED.
  2. ALL COMPACT PARKING SPACES WILL BE MARKED AND SIGNED.
  3. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
  4. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
  5. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
  6. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
  7. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
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  13. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
  14. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
  15. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
- KEY NOTES**
1. SITE WALL - 6" HIGH CMU WALL.
  2. UTILITY TRENCH - 18" DEEP.
  3. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
  4. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
  5. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
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  12. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
  13. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
  14. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.
  15. EXISTING 6" HIGH CHAIN LINK FENCE TO BE MAINTAINED.

- COLOR OF BUILDING ELEMENTS**
- STEEL BEAM POST TRELLIS AND OVERHANG - PAINTED ASH GREY
  - STAIRCASE - PAINTED ASH GREY
  - STAIRCASE WINDOW AND FRONT WINDOW - PAINTED ASH GREY
  - HOLLOW METAL DOOR FRAME ASH GREY
  - STUCCO - WARM GRAY, MISTARD, REDDISH BROWN
  - WOOD - WARM GRAY, MISTARD, REDDISH BROWN
  - CONCRETE - ASH GREY
  - COATING - ASH GREY
  - MATCH ADJACENT BUILDING





- KEYNOTES**
- A. DOCK LEVELER
  - B. 6 SPACE BIKE RACK REF DETAIL THIS SHEET
  - C. REFUSE ENCLOSURE
  - D. H-C PARKING SIGN REF DETAIL ON THIS SHEET
  - E. H-C RAMP REF DETAIL ON THIS SHEET
  - F. EXISTING FIRE HYDRANT
  - G. IRRIGATION BOX
  - H. NEW ACCESSIBLE PATH, CONNECT TO EXISTING
  - I. FIRE DOT CONNECTION
  - J. H-C PARKING SYMBOL
  - K. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
  - L. # ACCESSIBLE ROUTE
  - M. H-C SOCIAL RAMP
  - N. EXISTING EDGE OF ASPHALT
  - O. EXISTING PROPERTY LINE
  - P. NEW 6" CONC. SIDEWALK
  - R. EXISTING DRIVE ENTRANCE
  - S. EXISTING TRANSFORMER
  - T. SOILLAND
  - U. LOADING DOCK 4' x 7'
  - V. EXISTING CURB
  - W. POST INDICATOR VALVE
  - X. EXISTING 4" PVC GAS
  - Y. EXISTING 4" PVC WATER LINE
  - Z. EXISTING SAWN WALKWAY
  - AA. EXISTING 2" WATER METER
  - AB. EXISTING 17" WATER LINE
  - AC. NEW ASPHALT PAVING
  - AD. EXISTING ASPHALT PAVING
  - AE. EXISTING ACCESSIBLE PATH



EXISTING BUILDING

TRAFFIC CIRCULATION LAYOUT

SCALE: 1" = 30'-0"

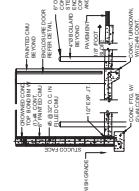
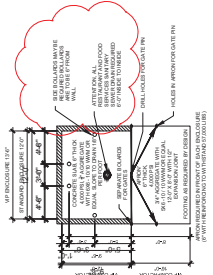
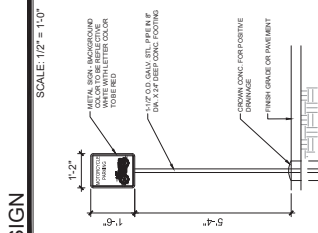
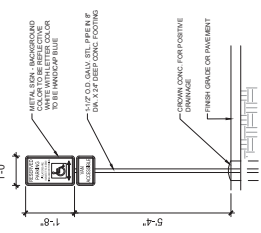
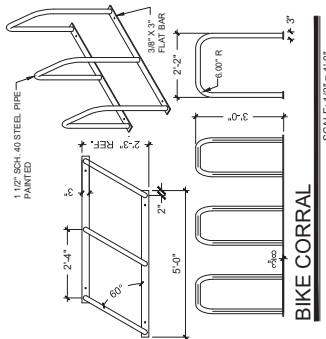


PARKING:  
SPECIAL MANUFACTURING (TV CONTENT PRODUCTION)  
48 SPACES PROVIDED  
48 SPACES PROVIDED  
AC PARKING REQUIRED - 2 PROVIDED - 3  
BIKE RACK FOR 6 BIKES PROVIDED

No.	Revision	Item	Date

<b>WAREHOUSE BUILDING</b> 6500 HANOVER RD NW ALBUQUERQUE, NM 87121	
<b>SITE PLAN</b>	
DESIGNED	PROJECT NO.
DRAWN	SCALE
CHECKED	DRAWING NO.
APPROVED	DATE
<h1>A-100</h1>	

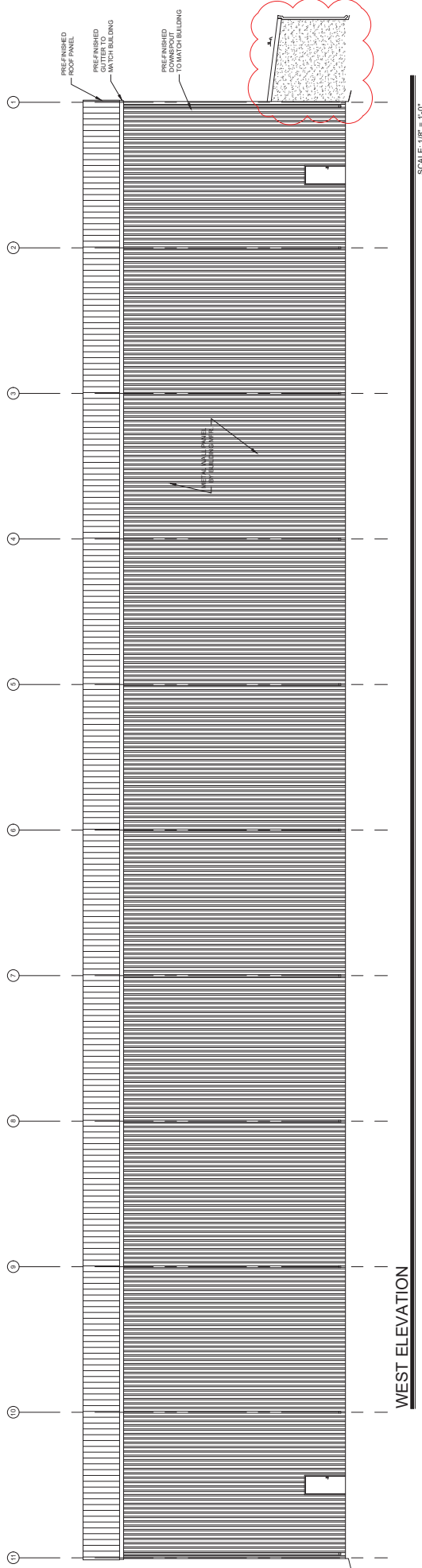


TRASH ENCLOSURE

SCALE: 1/8" = 1'-0"

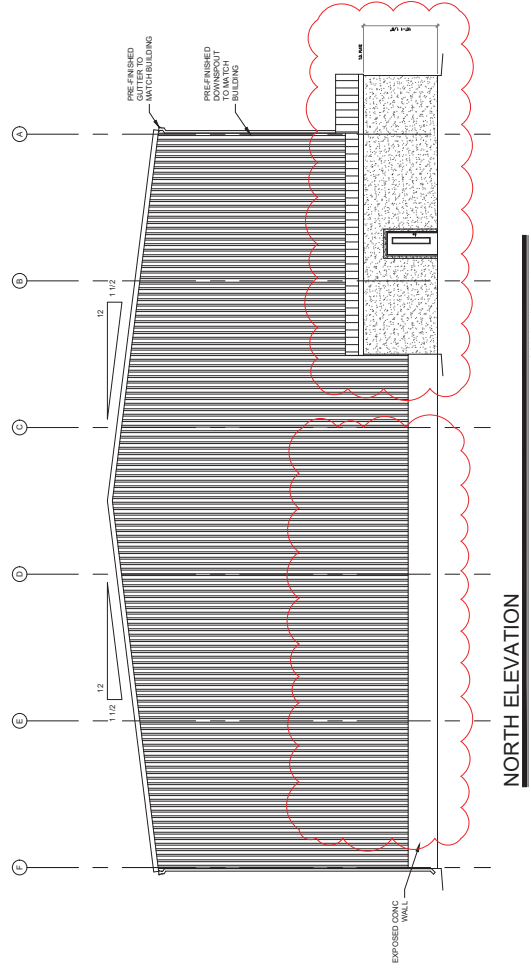
MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"




WEST ELEVATION


SCALE: 1/8" = 1'-0"



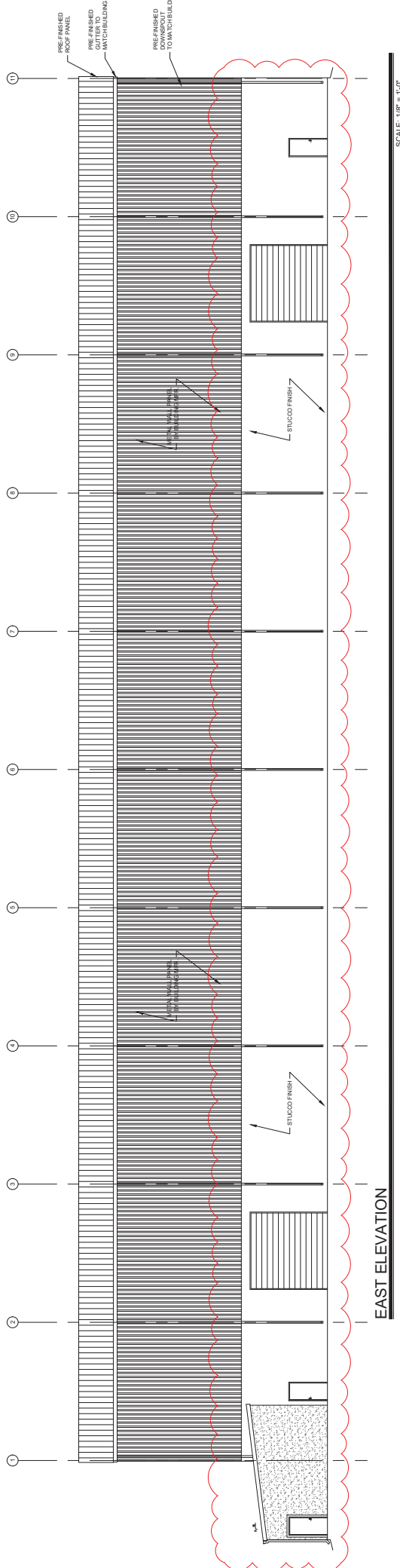
NORTH ELEVATION

SCALE: 1/8" = 1'-0"

No.	Revision Item	Date
 <b>SCOTT C. ANDERSON &amp; ASSOCIATES ARCHITECTS</b> <small>10000 1<sup>st</sup> Avenue NE, Suite 200      Albuquerque, NM 87112      (505) 263-1234</small>		
<b>WAREHOUSE BUILDING</b> 6500 HANOVER RD NW ALBUQUERQUE, NM 87121		
DRAWING TITLE: <b>BUILDING ELEVATIONS</b>		
DESIGNED	PROJECT NO.	
DRAWN	SCALE	
CHECKED	DRAWING NO.	<b>A-201</b>
REVISED		
DATE		

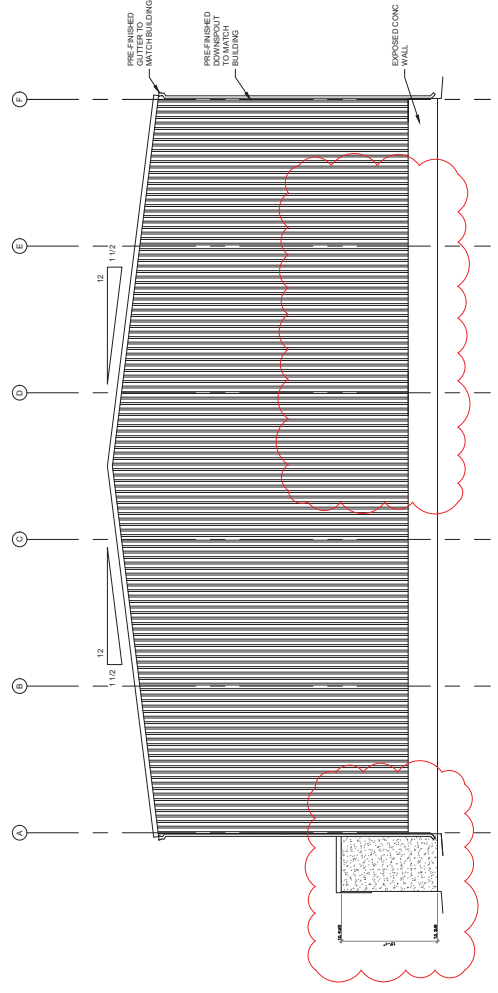


STATE OF NEW MEXICO  
 SCOTT C. ANDERSON  
 License No. 4242  
 expires 12/31/2023  
 REGISTERED PROFESSIONAL ENGINEER



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

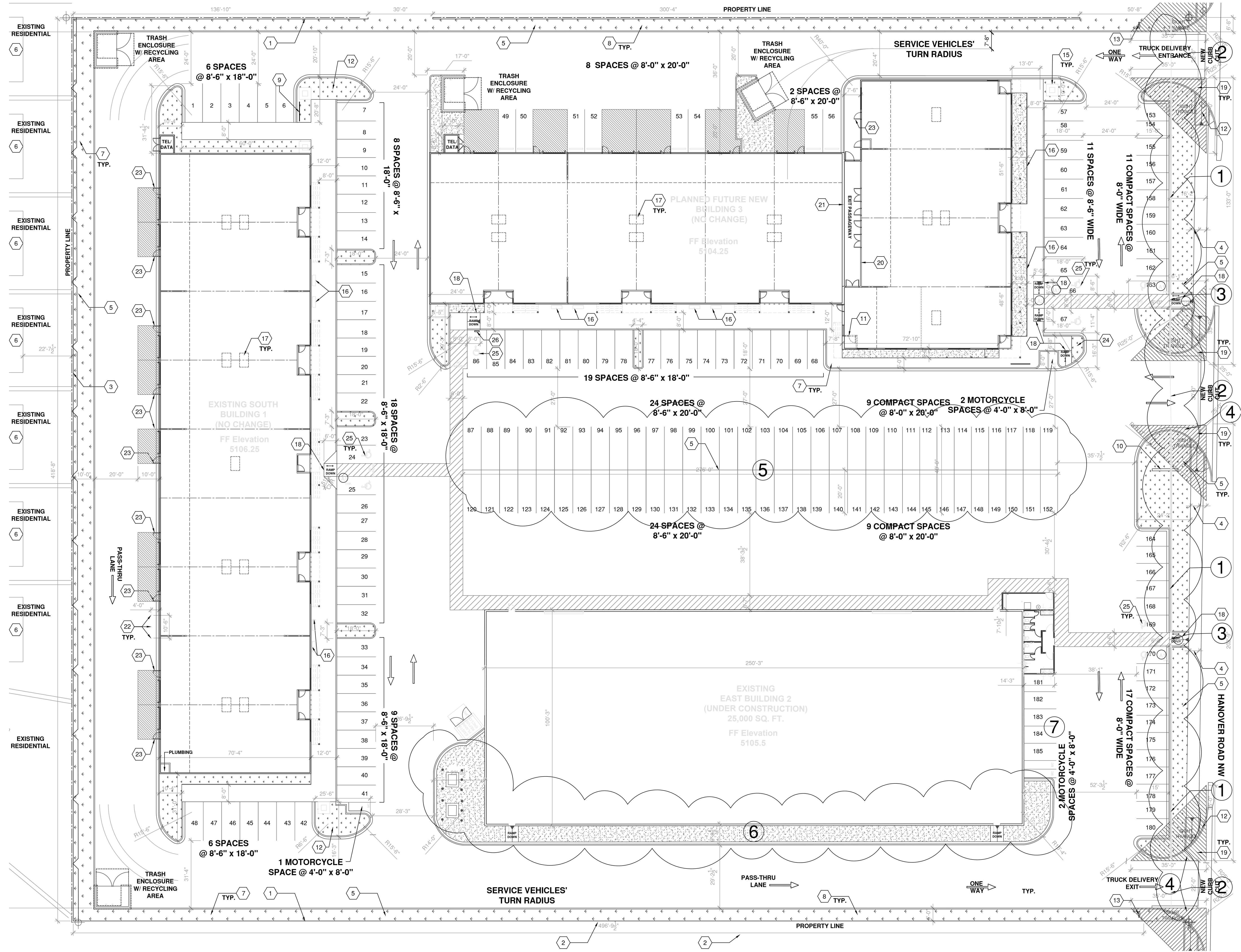
No.	Revision	Item	Date

	<b>SCOTT C. ANDERSON &amp; ASSOCIATES</b> ARCHITECTS 2500 GARDEN ROAD, N.W. ALBUQUERQUE, NM 87105	
	<b>WAREHOUSE BUILDING</b> 6500 HANOVER RD NW ALBUQUERQUE, NM 87121	
DRAWING TITLE <b>BUILDING ELEVATIONS</b>	PROJECT NO. _____	SCALE _____
DRAWING NO. <b>A-202</b>	CHECKED _____	DATE 6/1/2020
DESIGNER _____	REVIEWER _____	DATE 6/1/2020

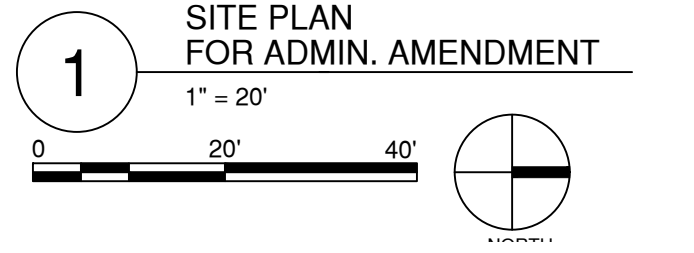
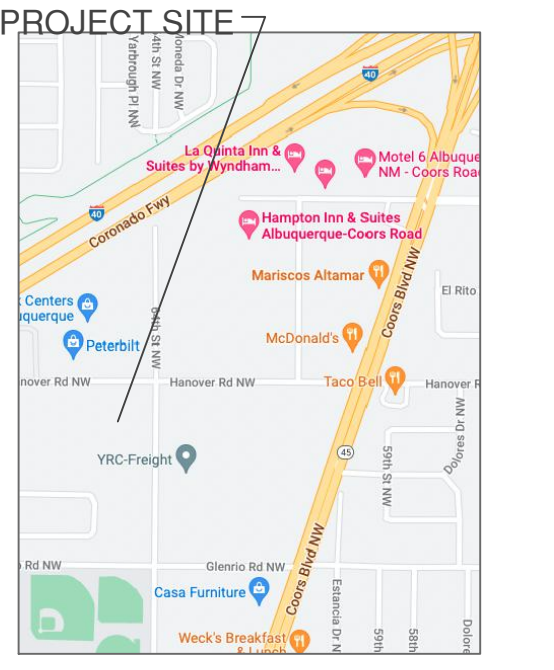
	PROJECT NO. _____
DATE 6/1/2020	SCALE _____



- GENERAL NOTES**
- ALL NEW CURB CUTS SHALL BE PER C.O.A. STANDARD DRAWING 2415A.
  - ALL COMPACT PARKING SPACES SHALL BE MARKED AND SIGNED.
  - ALL CROSSWALKS WILL CONSIST OF PAINTED STRIPING ON ASPHALT.
  - ALL NEW RAMPS SHALL BE PER C.O.A. STANDARD DRAWING 2440/2441
  - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.

- CHANGES FROM ORIGINAL SP**
- NEW 6'-0" HIGH PRIVACY WALL WITH COLORED BLOCK.
  - NEW VEHICLE ACCESS GATE.
  - NEW PEDESTRIAN GATE.
  - NEW STOP SIGN PER COA STANDARD XX
  - REMOVAL OF EXISTING MEDIAN.
  - NEW LANDSCAPED AREA.
  - NEW PARKING SPACES.

- KEY NOTES**
- 6'-0" HIGH CMU SITE WALL PER SPECIFICATIONS AND DETAIL 3 / A-501.
  - EXISTING 6'-0" HIGH CHAIN LINK FENCE.
  - EXISTING 6'-0" CMU WALL TO REMAIN. INSTALL NEW PARALLEL RETAINING WALL PER CIVIL.
  - EXISTING 4'-0" CONCRETE SIDEWALK, 3'-0" PLANTER, AND 6" CURB.
  - PATTERN INDICATES FUTURE LANDSCAPE AREA.
  - LOCATION OF EXISTING RESIDENCES.
  - NEW 16'-0" SITE LIGHTING PER ELECTRICAL.
  - NEW 20'-0" SITE LIGHTING PER ELECTRICAL.
  - PROVIDE 11 UNIT BIKE RACK PER DETAIL 4 / A-501 AND SPECIFICATIONS.
  - PROVIDE 12'-0" W X 4'-0" H MONUMENT SIGN PER DETAIL 5 / A-501.
  - ALTERNATE #1: THESE DASHED LINES INDICATE PROPOSED SPLIT-UNIT CONFIGURATION.
  - LOCATION OF NEW FIRE HYDRANT. REFER TO CIVIL AND PLUMBING PLANS.
  - PROVIDE NEW ENTRANCE / EXIT SIGN FOR ONE-WAY SERVICE LANE PER CIVIL.
  - PROVIDE NEW STOP SIGN PER CIVIL.
  - INSTALL NEW TR-1 SITE-MOUNTED WASTE RECEPTACLE BY FAIRWEATHER SITE FURNISHINGS. REFER TO SPECIFICATIONS - 6 TOTAL.
  - 5'-0" LONG 1" T' EMBEDDED BENCH BY FAIRWEATHER SITE FURNISHINGS. REFER TO SPECIFICATIONS.
  - APPROXIMATE LOCATION OF MECHANICAL EQUIPMENT TO BE SCREENED BY PARAPET.
  - NEW ACCESSIBLE CONCRETE RAMP, 1:50 MAXIMUM SLOPE. REFER TO CIVIL.
  - HANDICAPPED RAMP WITH TRUNCATED DOMES. REFER TO CIVIL.
  - PROVIDE 2-HOUR FIRE BARRIER WALL PER 'WALL TYPES LEGEND', A-001.
  - PROVIDE FIRE SEPARATION WALL PER STRUCTURAL AND 4 / A-302.
  - INSTALL NEW 6" O.D. CONCRETE-FILLED, STAINLESS STEEL PIPE BOLLARD WITH PAINTED FINISH 4'-0" ABOVE SLAB. PROVIDE SIX 1/2" DIAMETER, 3" LONG HEADED ANCHOR STUDS. EMBED IN CONCRETE FOOTING. PAINT COLOR TO MATCH COPING. REFER TO SPECIFICATIONS.
  - STEEL DOOR HAIRPIN. REFER TO DETAIL 6 / A-501.
  - LOCATION FOR HIGH SECURITY CLUSTER MAILBOX UNITS. REFER TO SPECIFICATIONS.
  - PROVIDE PAINTED MARKING FOR ACCESSIBLE PARKING ON PAVEMENT, TYPICAL.
  - PROVIDE H.C. VAN ACCESSIBLE PARKING SIGN IN THIS LOCATION PER CIVIL.



**ACCG ENGINEERING CONSTRUCTION**  
 ACG Engineering and Construction Management, LLC  
 1625 Gold Ave SE  
 Albuquerque, New Mexico 87106  
 (505) 379-3671  
 accgengineering@gmail.com

**HANOVER STUDIOS**  
**6500 HANOVER RD NW**  
**ALBUQUERQUE, NM 87121**

STAMP

3-31-2022

PROJECT NO.  
**HANOVER-2021-01**

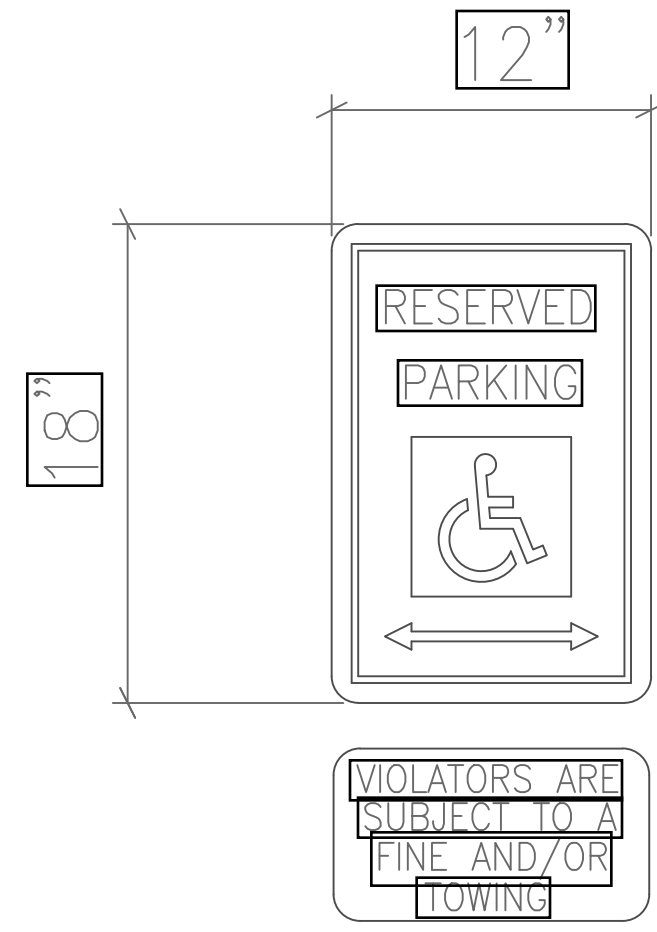
DRAWN BY  
**ANT**

DATE  
02-28-22

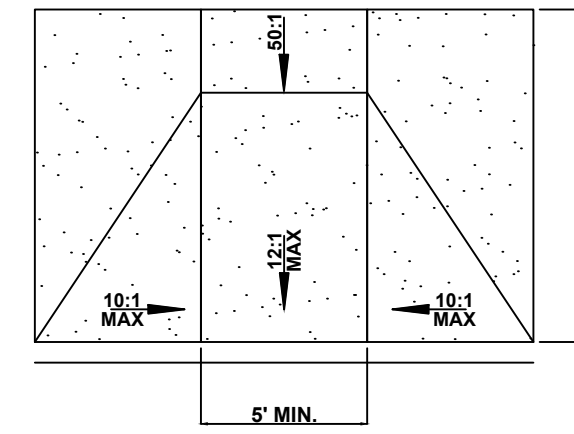
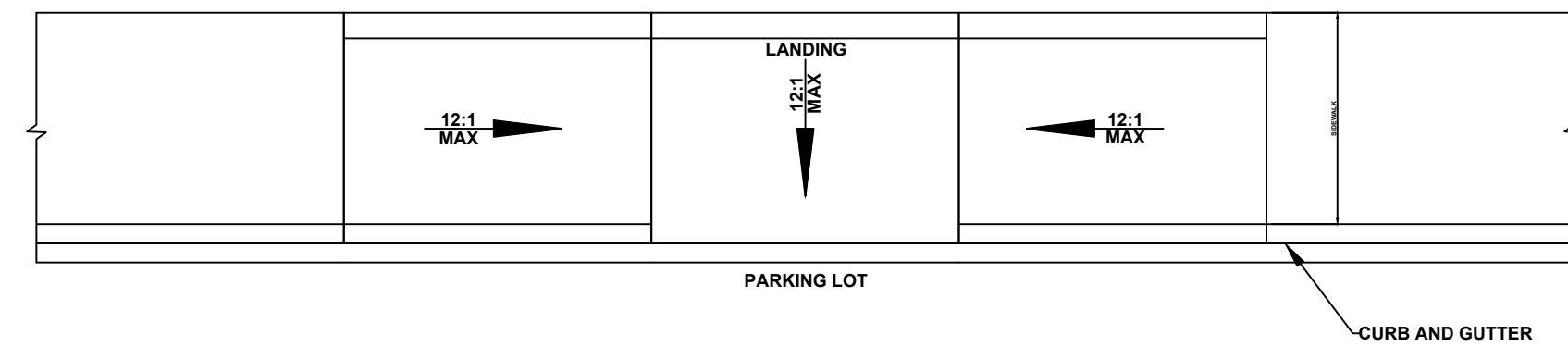
NO.	REVISION / SUBMISSION	DATE
1	ANT	03-31-22

SHEET TITLE  
 SITE PLAN FOR ADMINISTRATIVE AMENDMENT

SHEET NO.  
**A-101**



**A1** ADA PARKING SIGN DETAIL  
NTS



**A2** RAMP DETAIL  
NTS

**GENERAL NOTES**

- A. ALL NEW CURB CUTS SHALL BE PER C.O.A. STANDARD DRAWING 2415A.
- B. ALL COMPACT PARKING SPACES SHALL BE MARKED AND SIGNED.
- C. ALL CROSSWALKS WILL CONSIST OF PAINTED STRIPING ON ASPHALT.

**CHANGES FROM ORIGINAL SP**

- 1. NEW 6'-0" HIGH PRIVACY WALL WITH COLORED BLOCK.
- 2. NEW VEHICLE ACCESS GATE.
- 3. NEW PEDESTRIAN GATE.
- 4. NEW STOP SIGN PER COA STANDARD XX
- 5. REMOVAL OF EXISTING MEDIAN.
- 6. NEW LANDSCAPED AREA.
- 7. NEW PARKING SPACES.

**KEY NOTES**

- 1. 6'-0" HIGH CMU SITE WALL PER SPECIFICATIONS AND DETAIL 3 / A-501.
- 2. EXISTING 6'-0" HIGH CHAIN LINK FENCE.
- 3. EXISTING 6'-0" CMU WALL TO REMAIN. INSTALL NEW PARALLEL RETAINING WALL PER CIVIL.
- 4. EXISTING 4'-0" CONCRETE SIDEWALK, 3'-0" PLANTER, AND 6" CURB.
- 5. PATTERN INDICATES FUTURE LANDSCAPE AREA.
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- 7. NEW 16'-0"H SITE LIGHTING PER ELECTRICAL.
- 8. NEW 20'-0"H SITE LIGHTING PER ELECTRICAL.
- 9. PROVIDE 11 UNIT BIKE RACK PER DETAIL 4 / A-501 AND SPECIFICATIONS.
- 10. PROVIDE 12'-0"W X 4'-0"H MONUMENT SIGN PER DETAIL 5 / A-501.
- 11. **ALTERNATE #1:** THESE DASHED LINES INDICATE PROPOSED SPLIT-UNIT CONFIGURATION.
- 12. LOCATION OF NEW FIRE HYDRANT. REFER TO CIVIL AND PLUMBING PLANS.
- 13. PROVIDE NEW ENTRANCE / EXIT SIGN FOR ONE-WAY SERVICE LANE PER CIVIL.
- 14. PROVIDE NEW STOP SIGN PER CIVIL.
- 15. INSTALL NEW 'TR-1' SITE-MOUNTED WASTE RECEPTACLE BY FAIRWEATHER SITE FURNISHINGS. REFER TO SPECIFICATIONS - 6 TOTAL.
- 16. 5'-0" LONG 'UT-2' EMBEDDED BENCH BY FAIRWEATHER SITE FURNISHINGS. REFER TO SPECIFICATIONS.
- 17. APPROXIMATE LOCATION OF MECHANICAL EQUIPMENT TO BE SCREENED BY PARAPET.
- 18. NEW ACCESSIBLE CONCRETE RAMP, 1:50 MAXIMUM SLOPE. REFER TO CIVIL.
- 19. HANDICAPPED RAMP WITH TRUNCATED DOMES. REFER TO CIVIL.
- 20. PROVIDE 2-HOUR FIRE BARRIER WALL PER 'WALL TYPES LEGEND', A-001.
- 21. PROVIDE FIRE SEPARATION WALL PER STRUCTURAL AND 4 / A-302.
- 22. INSTALL NEW 6" O.D. CONCRETE-FILLED, STAINLESS STEEL PIPE BOLLARD WITH PAINTED FINISH 4'-0" ABOVE SLAB. PROVIDE SIX 1/2" DIAMETER, 3" LONG HEADED ANCHOR STUDS. EMBED IN CONCRETE FOOTING. PAINT COLOR TO MATCH COPING. REFER TO SPECIFICATIONS.
- 23. STEEL DOOR HAIRPIN. REFER TO DETAIL 6 / A-501.
- 24. LOCATION FOR HIGH SECURITY CLUSTER MAILBOX UNITS. REFER TO SPECIFICATIONS.
- 25. PROVIDE PAINTED MARKING FOR ACCESSIBLE PARKING ON PAVEMENT. TYPICAL.
- 26. PROVIDE H.C. VAN ACCESSIBLE PARKING SIGN IN THIS LOCATION PER CIVIL.



**HANOVER STUDIOS**  
**6500 HANOVER RD NW**  
**ALBUQUERQUE, NM 87121**

STAMP



PROJECT NO.  
**HANOVER-2021-01**

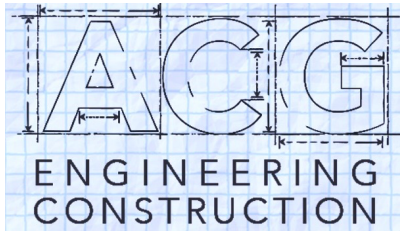
DRAWN BY  
**ANT**

DATE  
02-28-22

NO.	REVISION / SUBMISSION	DATE

SHEET TITLE  
SITE PLAN  
DETAILS

SHEET NO.  
**A-102**



ACG ENGINEERING AND CONSTRUCTION MGT.  
1625 GOLD AVENUE SE  
ALBUQUERQUE, NEW MEXICO 87106  
505-379-3671  
acgeengineering@gmail.com

3-1-2022

To: CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Re: **REVISION TO SITE AMENDMENT REQUEST**  
**PR-2020-004250/SI-2021-01836**

Dear CABQ Planning Department:

Please find the attached request for a minor administrative amendment for the above-mentioned project number. The nature of the change is to relocate the landscaping in the center median and the construction of a privacy wall.

The original site plan was accepted in June of 2007 (Project #1005482). Since its approval, only one of the three buildings were constructed. For the last 21 years, the majority of the lot has remained unused. In September of 2020, administrative amendment SI-2020-00731 was approved to consolidate the offices in the western building to convert the space into a mixed-use warehouse/ office building.

Since the administrative amendment was approved in 2020, the State of New Mexico has seen an increased need for studio space. Thus, the project was pivoted to turn the space into a new studio lot to support the growth of the film industry in our state. As part of the new proposed use, changes were made to the building under SI-2021-01879.

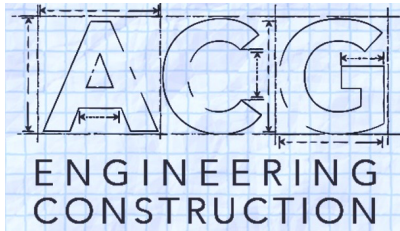
From the approved 2007 site plan, these changes cumulated in a:

- Gross building floor area increase of 4%
- Landscaping reduction of 23%
- Parking reduction of 17%

The new proposed amendment modifies the site to accommodate the unique needs of the film industry. The industry requires a more flexible parking lot to allow for large trailers and trucks. Potential tenants have stated a need for privacy from the public. Therefore, this proposed administrative amendments seeks to do the following:

- Construct a new privacy wall, 6'-0" high along the northern boundary while retaining vehicle and pedestrian access,
- Construct two new pedestrian gates and three new vehicle gates in the new northern wall,
- Remove the parking median in the middle of the lot, and
- Replace some of the parking and landscaping that were removed as part of the previous administrative amendments.





ACG ENGINEERING AND CONSTRUCTION MGT.  
1625 GOLD AVENUE SE  
ALBUQUERQUE, NEW MEXICO 87106  
505-379-3671  
acgeengineering@gmail.com

If approved, this administrative amendment seeks to restore part of the parking and landscaping while making the site more conducive to use as a film studio.

- The cumulative change in landscaping would be a reduction of 21% (an increase of 2% from currently approved conditions)
- The cumulative change in parking would be a reduction of 14% (an increase of 3% from the currently approved conditions)

This request is appropriate under the IDO 14-16-6-4(Y)(2).

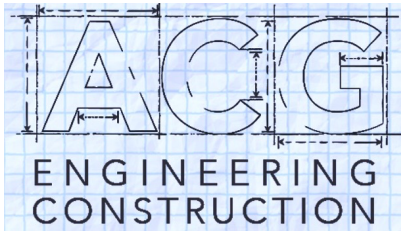
- These changes are necessary for user requirements that were not known at the time of the original approval nor could have reasonably been known. Additionally, this request is not due to the actions of the owner of the property but rather the proposed users, given the increased need for studio space.
- None of the proposed changes in this administrative amendment change the buildings in any way.
- Although the proposed changes alter the landscaping, the changes result in a net increase in landscaped area from its currently approved state.
- The privacy wall will be constructed of colored block to match the existing privacy walls to the west and south of the site. Although this obstructs the view from the street, it does not diminish the aesthetics of the lot as the studio sign will be visible from the street while still allowing privacy for the user.
- None of the remaining 9 items in this section are applicable to the changes.

This request is appropriate under the IDO 14-16-6-4(Z)(1)

- The requested change meets the original requirements.
- The requested changes are within the thresholds for minor amendments and constitute an improvement in landscaping and parking from prior accepted administrative amendments.
- Requested changes do not require major public infrastructure or significant changes to access or circulation patterns on the site.
- No deviations, variances, or waivers are requested.

**ACG ENGINEERING AND CONSTRUCTION MANAGEMENT**

  
Augustine C. Grace, M.S., P.E., C.C.E, LGC



ACG ENGINEERING AND CONSTRUCTION MGT.  
1625 GOLD AVENUE SE  
ALBUQUERQUE, NEW MEXICO 87106  
505-379-3671  
Alex.acgengineering@gmail.com

4-19-2022

To: CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Re: **SECOND REVISION TO SITE AMENDMENT REQUEST**  
**PR-2020-004250/SI-2021-01836**

Dear CABQ Planning Department:

This letter revises the previous request for an administrative amendment at 6500 Hanover Rd. The nature of the change is to focus on the relocation of the landscaping in the center median.

The original site plan was accepted in June of 2007 (Project #1005482). Since its approval, only one of the three buildings were constructed. For the last 21 years, the majority of the lot has remained unused. In September of 2020, administrative amendment SI-2020-00731 was approved to consolidate the offices in the western building to convert the space into a mixed-use warehouse/ office building.

Since the administrative amendment was approved in 2020, the State of New Mexico has seen an increased need for studio space. Thus, the project was pivoted to turn the space into a new studio lot to support the growth of the film industry in our state. As part of the new proposed use, changes were made to the building under SI-2021-01879.

From the approved 2007 site plan, these changes cumulated in a:

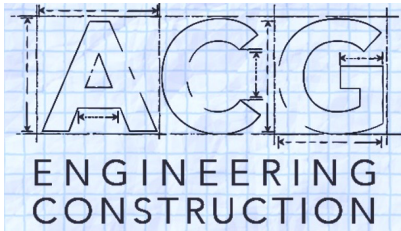
- Gross building floor area increase of 4%
- Landscaping reduction of 23%
- Parking reduction of 17%

The new proposed amendment modifies the site to accommodate the unique needs of the film industry. The industry requires a more flexible parking lot to allow for large trailers and trucks. Potential tenants have stated a need for privacy from the public. Therefore, this proposed administrative amendments seeks to do the following:

- Remove the parking median in the middle of the lot, and
- *Add* some of the parking and landscaping that were removed as part of the previous administrative amendments.

If approved, this administrative amendment seeks to restore part of the parking and landscaping while making the site more conducive to use as a film studio.

- The cumulative change in landscaping would be an increase of 2% from currently approved conditions
- The cumulative change in parking would be an increase of 3% from the currently approved conditions



ACG ENGINEERING AND CONSTRUCTION MGT.  
1625 GOLD AVENUE SE  
ALBUQUERQUE, NEW MEXICO 87106  
505-379-3671  
Alex.acgengineering@gmail.com

This request is appropriate under the IDO 14-16-6-4(Y)(2).

- These changes are necessary for user requirements that were not known at the time of the original approval nor could have reasonably been known. Additionally, this request is not due to the actions of the owner of the property but rather the proposed users, given the increased need for studio space.
- None of the proposed changes in this administrative amendment change the buildings in any way.
- Although the proposed changes alter the landscaping, the changes result in a net increase in landscaped area from its currently approved state.
- None of the remaining 9 items in this section are applicable to the changes.

This request is appropriate under the IDO 14-16-6-4(Z)(1)

- The requested change meets the original requirements.
- The requested changes are within the thresholds for minor amendments and constitute an improvement in landscaping and parking from prior accepted administrative amendments.
- Requested changes do not require major public infrastructure or significant changes to access or circulation patterns on the site.
- No deviations, variances, or waivers are requested.

Additionally, per the recommendation of Jeanne Wolfenbarger, Netflix, DRB#2021-005629 used parking requirements based on Light Manufacturing (1 Space/1,000 SF GFA) and Office Space (3.5 space/1,000 SF GFA).

The south building will house offices and have a GFA of 20,256 SF. This would require 70 parking spaces. The west building will be a studio (Light Manufacturing) and have a GFA of 23,000 SF. This would require 23 spaces.

The east building, also a studio, will have a GFA of 25,000 requiring 25 spaces.

The total requirement is 118 spaces. Our amendment provides 185 spaces, well in excess of the requirement.

**ACG ENGINEERING AND CONSTRUCTION MANAGEMENT**

A handwritten signature in black ink that reads 'Alex Nunez-Thompson'.

**ALEX NUNEZ-THOMPSON, EIT**  
**VP OF DESIGN AND PROJECT MANAGEMENT**

April 15, 2022

TO: ACG Engineering and Construction Management  
FROM: Leroy Duarte, Staff Planner  
City of Albuquerque Planning Department  
TEL: (505) 924-3452  
RE: AA PR-20220-004250 6500 Hanover

---

I am the Staff Planner reviewing your application for project #2020-004250, an Administrative Amendment at 6500 Hanover Rd. NW for a new privacy wall, adding two new pedestrian access entries, removal of the parking median in the middle of the lot, replace parking and landscaping from previous AA's.

I have done my review, and discovered a variance will be needed.

Per IDO 5-7(D) Table 5-7-1: Maximum Wall Height- Standard wall height in the front yard or street side yard for Mixed-use zones is 3'-0".

By definition:

**Front Yard-** The part of a lot from the front lot line to any front façade of the primary building, extended to both side lot lines. If there is no primary building on the lot, the part of a lot within the minimum setback in the zone district on the side of the lot where the property will be addressed. See also Lot Definitions.

**Street Side Yard-** The part of a lot from a street side lot line the side façade of the primary building. See also Lot Definitions.

Per IDO 14-16-6-4(Z)(1) the proposed wall height of 6'-0" breaks the minor amendment threshold by requiring a variance.

Please indicate which direction you would like to take:

Option 1: Adhere to the 3' maximum height standard, and the AA review will continue.

Option 2: Apply for a variance for the 6'-0" Privacy fence and then re-apply for an AA.

Below I have provided Lorena-Quintana's information, she will be able to assist you with the variance process.

Lorena Patten-Quintana

[lpatten-quintana@cabq.gov](mailto:lpatten-quintana@cabq.gov)

505-9243940.

**From:** [Alex Nuñez-Thompson](#)  
**To:** [Rodенbeck, Jay B.](#)  
**Cc:** [Webb, Robert L.](#)  
**Subject:** Re: Update to Administrative Amendment Proposal PR-2020-004250/SI-2021-01836  
**Date:** Monday, March 28, 2022 11:16:11 AM  
**Attachments:** [image001.jpg](#)  
[image002.jpg](#)  
[PR-2020-004250 6500 Hanover Rd. NW.docx](#)

---

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Thank you, Jay. I did not realize Maggie had left. At the point where we left this AA dormant, we only had comments from Marwa in Transportation. We had not received any other comments. Since the original request, we have dramatically narrowed the scope of the request.

On Mon, Mar 28, 2022 at 11:08 AM Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)> wrote:

Thanks Alex, I will coordinate with reviewing staff regarding your supplemental submittal for PR-2020-004250 / SI-2021-01836 addressing DRB comments.

Maggie Gould ([mgould@cabq.gov](mailto:mgould@cabq.gov)) previously coordinated AA's but has left our office. If she sent you any comments, I would greatly appreciate it if you could forward them to me as well as any other staff comments on the AA as I did not previously handle your AA application. Providing me previous staff comments will help me clear up what was insufficient with your previous submission and will enable me to coordinate more effectively with other reviewing staff.

Thanks,



**Jay Rodenbeck**

Senior Planner

o 505.924.3994

e [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

**From:** Alex Nuñez-Thompson <[alex.acengineering@gmail.com](mailto:alex.acengineering@gmail.com)>  
**Sent:** Monday, March 28, 2022 10:46 AM  
**To:** Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)>  
**Cc:** Webb, Robert L. <[rwebb@cabq.gov](mailto:rwebb@cabq.gov)>  
**Subject:** Re: Update to Administrative Amendment Proposal PR-2020-004250/SI-2021-01836

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Jay and Robert:

Please see the revised AA for PR-2020-004250/SI-2021-01836 at the following link: <https://we.tl/t-MO6nEWgBFS>.

Thank you,

Alex

On Fri, Mar 25, 2022 at 1:35 PM Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)> wrote:

Alex,

Please send me the revised submittal for PR-2020-004250 / SI-2021-01836 again, the link to the WeTransfer document you sent on March 1 has expired. I will inquire with reviewing staff regarding the status of your AA for PR-2020-004250/SI-2021-01836 once you send me the revised submittal.

Thanks,



## Jay Rodenbeck

Senior Planner

o 505.924.3994

e [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

**From:** Alex Nuñez-Thompson <[alex.acgengineering@gmail.com](mailto:alex.acgengineering@gmail.com)>

**Sent:** Wednesday, March 23, 2022 8:38 AM

**To:** Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)>

**Subject:** Re: Update to Administrative Amendment Proposal PR-2020-004250/SI-2021-01836

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Wait sorry, one more correction, my wires got crossed. The approval you sent me is for SI-2021-01879, the addition of the bathrooms.

This inquiry is about SI-2021-01836, which is in regards to the construction of a privacy wall along the north border and removal of the median in the middle of the parking lot. The latest documents proposed a revision to the original request which limited the scope of the AA request including its impact on landscaping and parking.

On Wed, Mar 23, 2022 at 8:32 AM Alex Nuñez-Thompson <[alex.acgengineering@gmail.com](mailto:alex.acgengineering@gmail.com)> wrote:

Apologies Jay, this is in reference to SI-2021-01879, which has not been approved.

On Tue, Mar 22, 2022 at 5:22 PM Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)> wrote:

Good evening Alex,

According to our records, your Administrative Amendment for PR-2020-004250/SI-2021-01836 was approved on November 29, 2021.

Attached is the email from James Aranda approving your AA as well as the stamped AA.

Was your March 1 submittal another Administrative Amendment for the site? If not, then your AA is good to go.



## Jay Rodenbeck

Senior Planner

o 505.924.3994

e [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

**From:** Alex Nuñez-Thompson [<mailto:alex.acgengineering@gmail.com>]

**Sent:** Monday, March 21, 2022 1:37 PM

**To:** Planning Development Review Services <[PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov)>

**Cc:** [joseph@allianceconinc.com](mailto:joseph@allianceconinc.com)

**Subject:** Re: Update to Administrative Amendment Proposal PR-2020-004250/SI-2021-01836



**[EXTERNAL]**

Forward to  
[phishing@cabq.gov](mailto:phishing@cabq.gov)  
and delete if an  
email causes any  
concern.

Good afternoon:

The following documents were submitted on March 1st regarding PR-2020-004250/SI-2021-01836. I wanted to follow up to see if these were accepted and if you needed more information.

The documents can be downloaded here: <https://we.tl/t-orN0tpU8pY>

Thank you,

Alex Nunez-Thompson

On Tue, Mar 1, 2022 at 4:27 PM Alex Nuñez-Thompson <[alex.acgengineering@gmail.com](mailto:alex.acgengineering@gmail.com)> wrote:

Good afternoon,

Please find the updated site plan for the above administrative amendment at the WeTransfer link below. Please let me know if you have any questions or if there is any more information I can provide.

<https://we.tl/t-iwztPKY6gv>

Thank you,

Alex

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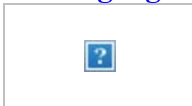
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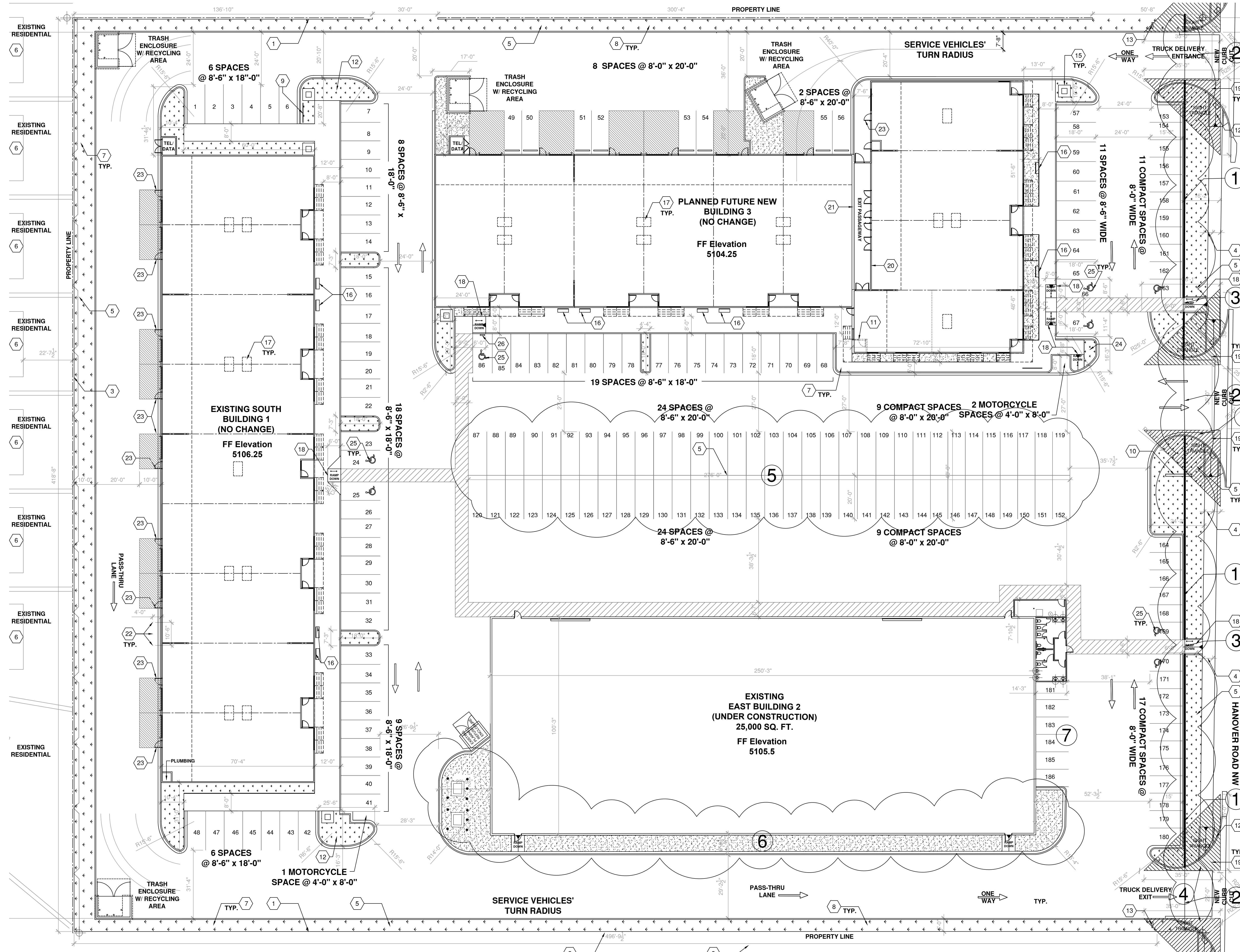
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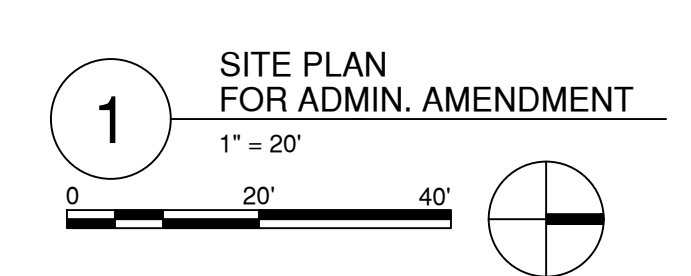
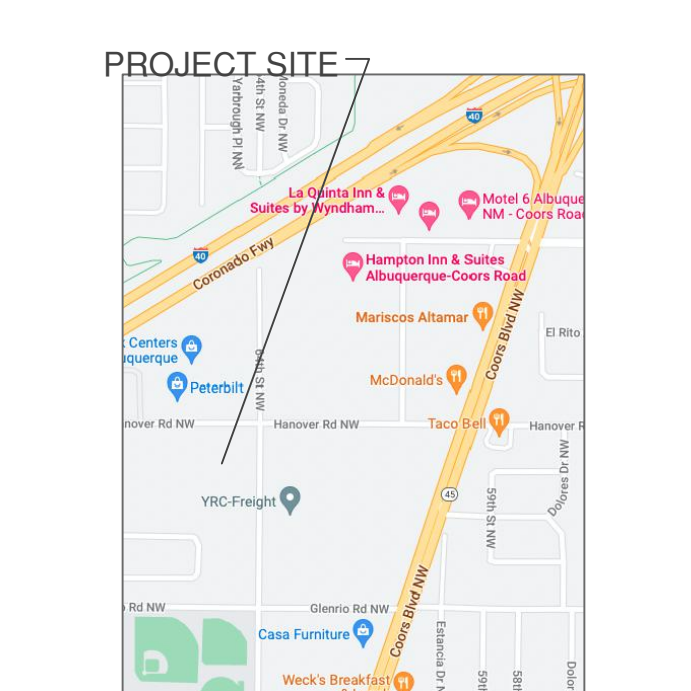




- GENERAL NOTES**
- ALL NEW CURB CUTS SHALL BE PER C.O.A. STANDARD DRAWING 2415A.
  - ALL COMPACT PARKING SPACES SHALL BE MARKED AND SIGNED.
  - ALL CROSSWALKS WILL CONSIST OF PAINTED STRIPING ON ASPHALT.

- CHANGES FROM ORIGINAL SP**
- NEW 6'-0" HIGH PRIVACY WALL WITH COLORED BLOCK.
  - NEW VEHICLE ACCESS GATE.
  - NEW PEDESTRIAN GATE.
  - NEW STOP SIGN PER COA STANDARD XX
  - REMOVAL OF EXISTING MEDIAN.
  - NEW LANDSCAPED AREA.
  - NEW PARKING SPACES.

- KEY NOTES**
- 6'-0" HIGH CMU SITE WALL PER SPECIFICATIONS AND DETAIL 3 / A-501.
  - EXISTING 6'-0" HIGH CHAIN LINK FENCE.
  - EXISTING 6'-0" CMU WALL TO REMAIN. INSTALL NEW PARALLEL RETAINING WALL PER CIVIL.
  - EXISTING 4'-0" CONCRETE SIDEWALK, 3'-0" PLANTER, AND 6" CURB.
  - PATTERN INDICATES FUTURE LANDSCAPE AREA.
  - LOCATION OF EXISTING RESIDENCES.
  - NEW 16'-0" SITE LIGHTING PER ELECTRICAL.
  - NEW 20'-0" SITE LIGHTING PER ELECTRICAL.
  - PROVIDE 11 UNIT BIKE RACK PER DETAIL 4 / A-501 AND SPECIFICATIONS.
  - PROVIDE 12'-0" W X 4'-0" H MONUMENT SIGN PER DETAIL 5 / A-501.
  - ALTERNATE #1: THESE DASHED LINES INDICATE PROPOSED SPLIT-UNIT CONFIGURATION.
  - LOCATION OF NEW FIRE HYDRANT. REFER TO CIVIL AND PLUMBING PLANS.
  - PROVIDE NEW ENTRANCE / EXIT SIGN FOR ONE-WAY SERVICE LANE PER CIVIL.
  - PROVIDE NEW STOP SIGN PER CIVIL.
  - INSTALL NEW TR-1' SITE-MOUNTED WASTE RECEPTACLE BY FAIRWEATHER SITE FURNISHINGS. REFER TO SPECIFICATIONS - 6 TOTAL.
  - 5'-0" LONG 1'1/2" EMBEDDED BENCH BY FAIRWEATHER SITE FURNISHINGS. REFER TO SPECIFICATIONS.
  - APPROXIMATE LOCATION OF MECHANICAL EQUIPMENT TO BE SCREENED BY PARAPET.
  - NEW ACCESSIBLE CONCRETE RAMP, 1:50 MAXIMUM SLOPE. REFER TO CIVIL.
  - HANDICAPPED RAMP WITH TRUNCATED DOMES. REFER TO CIVIL.
  - PROVIDE 2-HOUR FIRE BARRIER WALL PER 'WALL TYPES LEGEND', A-001.
  - PROVIDE FIRE SEPARATION WALL PER STRUCTURAL AND 4 / A-302.
  - INSTALL NEW 6" O.D. CONCRETE-FILLED, STAINLESS STEEL PIPE BOLLARD WITH PAINTED FINISH 4" ABOVE SLAB. PROVIDE SIX 1/2" DIAMETER, 3' LONG HEADED ANCHOR STUDS. EMBED IN CONCRETE FOOTING. PAINT COLOR TO MATCH COPING. REFER TO SPECIFICATIONS.
  - STEEL DOOR HAIRPIN. REFER TO DETAIL 6 / A-501.
  - LOCATION FOR HIGH SECURITY CLUSTER MAILBOX UNITS. REFER TO SPECIFICATIONS.
  - PROVIDE PAINTED MARKING FOR ACCESSIBLE PARKING ON PAVEMENT. TYPICAL.
  - PROVIDE H.C. VAN ACCESSIBLE PARKING SIGN IN THIS LOCATION PER CIVIL.



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 ALBUQUERQUE, NM 87121

STAMP

3-1-2022

PROJECT NO.  
**HANOVER-2021-01**

DRAWN BY	DATE
<b>ANT</b>	02-28-22
NO.	REVISION / SUBMISSION
	DATE

SHEET TITLE  
 SITE PLAN FOR ADMINISTRATIVE AMENDMENT

SHEET NO.  
**A-101**