



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Rex Wilson, Paul Allen Homes		Phone: 505-433-5862
Address: 4619 Inspiration SE		Email: rwr2d2@aol.com
City: Albuquerque	State: NM	Zip: 87108
Professional/Agent (if any): Sites Southwest		Phone: 505-822-8200
Address: 121 Tijeras NE, Suite 3100		Email: ptaylor@sites-sw.com
City: Albuquerque	State: NM	Zip: 87113
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Administrative approval of amended site development plan for Del's Hideaway

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Lots 1-35 & Tracts A,B-1,C,D,E,F,G,H & J	Block:	Unit:
Subdivision/Addition: Del's Hideaway	MRGCD Map No.: 33	UPC Code: 101406046037612323
Zone Atlas Page(s): G-14	Existing Zoning: MX-M	Proposed Zoning: No change
# of Existing Lots: 35	# of Proposed Lots: 35	Total Area of Site (acres): 2.89

LOCATION OF PROPERTY BY STREETS

Site Address/Street: San Clemente	Between: 4th Street	and: Alameda Drain
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Project #1002123; 17AA-10107

Signature: <i>Phyllis Taylor</i>	Date: 8-4-2020
Printed Name: Phyllis Taylor	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-00717	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project # PR-2020-004225

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- ___ Archaeological Compliance Documentation Form with property information section completed
- ___ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archaeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ___ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- ___ Copy of the Official Notice of Decision associated with the prior approval
- ___ Three (3) copies of the proposed Site Plan, with changes circled and noted
- ___ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.


MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- ___ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- ___ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ___ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ___ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ___ Sign Posting Agreement

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: <i>Phyllis Taylor</i>	Date: <i>8-4-2020</i>
Printed Name: <i>Phyllis Taylor, Principal, Sites Southwest</i>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
PR-2020-004225	SI-2020-00717
Staff Signature:	
Date:	

July 27, 2020

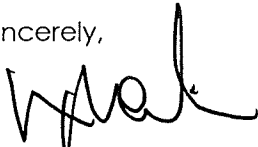
Brennon Williams, Director
Planning Department
City of Albuquerque
600 2nd St., NW
Albuquerque, NM 87102

Dear Director Williams,

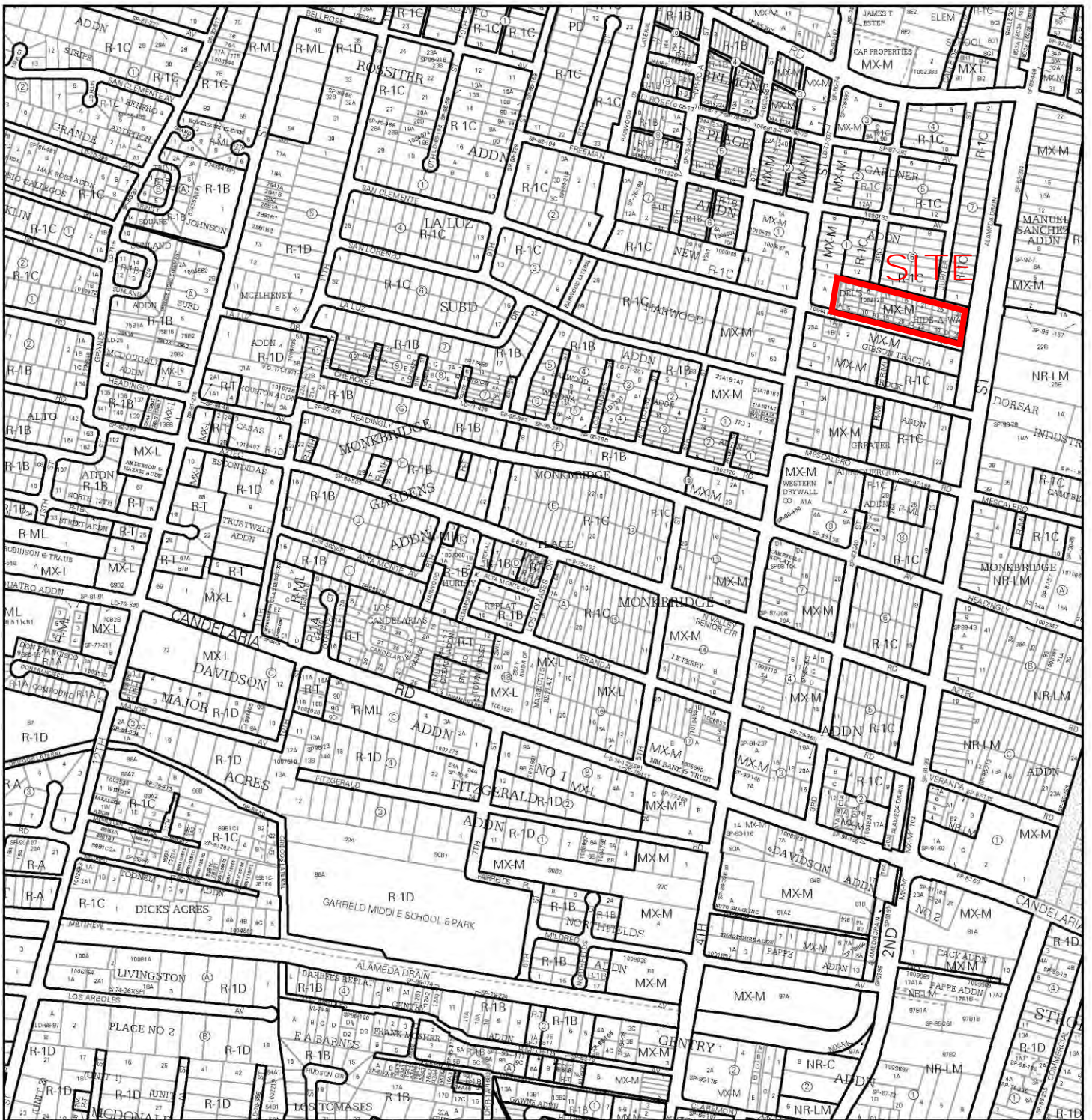
As the owner of Lots 1-35 Y Tracts A, B-1, C, D, E, F, G, H, and J of Del's Hideaway Park subdivision, Zoning Map G-14 and MRGCD Map 33, Albuquerque, NM, I authorize Sites Southwest LLC to represent me in all matters regarding the submittal and processing of our application for an administrative amendment to the approved site development plan for this tract.

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'Rex Wilson', written over a faint, illegible typed name.

Rex Wilson
Paul Allen Homes



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>





October 7, 2020

Brennon Williams, Planning Director
Planning Department
City of Albuquerque
600 2nd St., NW
Albuquerque, NM 87102

Re: Administrative Amendment to Del's Hide-A-Way Site Development Plan, PR-2020-004225

Dear Director Williams,

Paul Allen Homes is requesting administrative approval of a minor amendment to the approved and amended Site Development Plan for **Del's Hide-Away**, a 35-lot subdivision in the near North Valley. The property is located on San Clemente Road between 4th Street and the Alameda Drain.

The original site plan was approved by the City as part of the SU-1 zoning for RT uses in 2004, and the subdivision plat was approved in 2005. Infrastructure for the site was completed in 2010, but the proposed townhouses were never built due to the economic recession. Sidewalks in front of the individual homes will be completed with home construction. The site plan was amended in 2017 by Paul Allen Homes, with a somewhat different floor plan and elevations. Paul Allen Homes is still the property owner of record.

Twilight Homes subsequently initiated purchase the property and would like to proceed with building townhouses of a slightly different design than either those originally approved or the 2017 amendment. The new plan is a more traditional townhouse design, more similar in scale and massing to the original approved plan than the amendment. This **change fits the definition of a "minor change"** to the original approved site development plan, as defined in the IDO Section 14-16-6-4(X)(2).

This project includes the following items:

- Planning Department forms
- Authorization letter from the owner
- Zone Atlas map with site identified
- Revised justification letter
- Revised site plan showing changes from the prior approved plans, including changes requested in staff comments. Due to the requirement to maintain the existing MRGCD irrigation ditch, additional surfacing on hammerheads cannot be added. We worked with the Fire Department and Solid Waste on acceptable alternatives to allow service by their trucks. Notes regarding the Fire and Solid Waste requirements have been added to the revised cover sheet.
- Fire Department and Solid Waste Department signoffs
- Prior approved plans and notices of decision
- Prior approved subdivision plat

1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirement.



Brennon Williams
Page 2
October 7, 2020

The original site plan was approved for a maximum of 35 townhouses and a zone change of SU-1 for RT uses. The proposed plan retains the same zoning and number of residential dwelling units. EPC's requirement that the developer be responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision, including paving, curb and gutter and sidewalks, has already been fulfilled.

The difference between the approved and amended plan is in the townhouse design. The original design specified a pueblo style with shed roofs, attached along one side, with a solid steel fence placed on the common property line. The new design is a contemporary, two-story townhouse with a flat roof and earth tone stucco.

The site plan notes that "there shall be a 10' separation between the residences and the irrigation easement." The plat filed in 2006 notes that Del's Hide-A-Way homeowners will be responsible for maintaining the internal private road easements, must provide ditch access to the MRGCD and ditch users, and will retain the 20-foot-wide ditch easement.

The proposed amendment meets conditions set by the EPC:

The number and type of units are the same as the approved site development plan, the pedestrian and vehicle circulation is the same and there is no access to the Gardner addition to the north (as requested by the neighborhood). The proposed changes are minor changes in townhouse design.

No vehicular access shall be allowed from the subject site to either 3rd Street or Jupiter Street in the adjacent Gardner Addition neighborhood. Vehicular access to the site shall be from San Clemente Avenue only.

Vehicle circulation is similar in its effect on adjacent property and streets. Private internal roadways have already been installed and lead out to San Clemente Ave., so vehicular circulation will be the same as originally approved. There will be no direct access to San Clemente by individual townhouses. The number of lots has not changed, so the traffic impact will be the same as approved by the Planning Commission.

The existing irrigation ditch, which runs along the subject site's northern boundary with the Gardner Addition neighborhood, shall be maintained in its existing condition and location and function (dirt/unlined/uncovered).

The landscape plan for the irrigation ditch approved by the EPC is not changed.

There shall be a minimum 10-foot separation between the residences and the drainage easement. MRGCD ditch easement requests are met.

2. The requested change is within the thresholds for Administrative Amendments established in Table 6-4-5, cumulative of prior deviations or administrative amendments.



The original site plan and plat approved 35 townhouse units on lots 28 feet wide and 82.5' long. This lot size is being retained in the proposed plan. The footprints of the dwelling units on each lot have changed slightly.

The new configuration includes a waste and recycling bin enclosure at the front of the unit, which results in a minimum front setback of 14.4 feet. Note that the approved April 2004 site plan shows a waste bin enclosure that was not included in the setback calculation. As shown on the approved building floor plan, the enclosure was four feet deep, resulting in a setback to the enclosure of 11.5 feet. The bin enclosure on the new plan extends the height of the first floor (13'-10") for architectural appeal, where the bin enclosure on the original approved plan was 7 feet in height. The new configuration maintains the required minimum 20-ft front setback driveways and 15-ft rear yard, as well as the required 10-ft side yard of corner units. It also maintains the 10-foot separation between residences and the irrigation ditch easement.

The proposed changes relative to the thresholds for Administrative Amendments are as follows:

Dimension	Original Plan	2017 Amendment	Proposed Amendment	Deviation Threshold (%)	Deviation from April 2004 Plan (%)
Total building square footage	Square footage per unit: Interior space, including garage 1,793 sf Covered porch 112 sf Deck 83 sf	Square footage per unit, Interior space, including garage, 1,756 sf	Square footage per unit: Interior space, including garage 1,670 sf	10%	-6.9%
Front setback	15'-6" (21'-10" at driveways); setback to trash enclosure- 11'-6"	15'-0", 20' at garage	14,4'; 20' at garage	15%	Front setback: - 7.1% Garage setback: - -4.8%
Side setback	10 ft for corner units	10 ft for corner units	10 ft for corner units	15%	No change
Rear setback	13'-11" to 17'-0" each lot, 15'-4" average	15'-0"	15'-0"	10%	No change
Building height	24'-4"	24'-0" to midpoint of main roof	24'-9"	10%	1.8%
Wall and fence height	8' at north property line	Privacy walls-Height to conform to zoning code	Privacy walls-Height to conform to zoning code	6"	No change
Changes to other numerical standards					
Landscaping Quantities	49 – 15-gallon trees 100 - 5-gallon shrubs	NA	44 – 15-gallon trees 90 – 5-gallon shrubs	10%	10%



Brennon Williams
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 October 7, 2020

Dimension	Original Plan	2017 Amendment	Proposed Amendment	Deviation Threshold (%)	Deviation from April 2004 Plan (%)
	7 - 2-gallon shrubs 128 - 1-gallon shrubs		6 - 2-gallon shrubs 115 - 1-gallon shrubs		
Additional requirements set by EPC					
Setback from MRGCD irrigation ditch	10 ft	10 ft		NA	No change

Total building square footage does not deviate more than 10% from the total square footage approved by the Planning Commission. The building square footages in the development are the 35 townhouses. The new design proposes a square footage of 1,670 square feet per unit, which is approximately seven percent less than the approved square footage of 1,793 square feet. The setbacks and height changes are also within the thresholds allowed for a minor amendment as shown in the table above.

The intent of this development is to provide affordable homeownership in the North Valley, including ongoing maintenance by the homeowners' association. As part of the commitment to affordability, the landscape plan reduces the total number of plants by 10 percent. The individual front yard landscape packages will retain a large tree and shrubs as shown on the original plan. The remaining plants will be placed in the common landscaped areas. The April 2004 plan set lists specific quantities of landscape plants on the cover sheet. The landscape plan approved in April 2004 is representative of plant placement, but does not match with the quantities. For example, the quantities in the approved plan call for 49 - 15-gallon trees, but only 35 are shown on the plan, one on each lot. The plant types and sizes, approximate placement and the gravel and cobblestone accents will follow the scheme shown in the approved landscape plan.

Please don't hesitate to call me at 822-8200, extension 107, or email me at ptaylor@sites-sw.com if you have any further questions about the proposed amendment. Thank you for your attention,

Sincerely,

Phyllis Taylor
 Principal

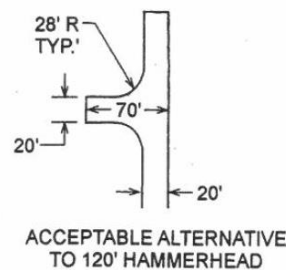
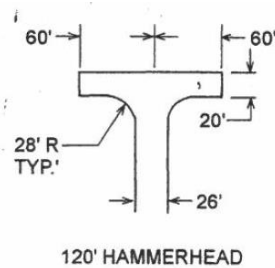
Del's Hidaway

Administrative Amendment Request

Project #PR 2020-004225 SI-

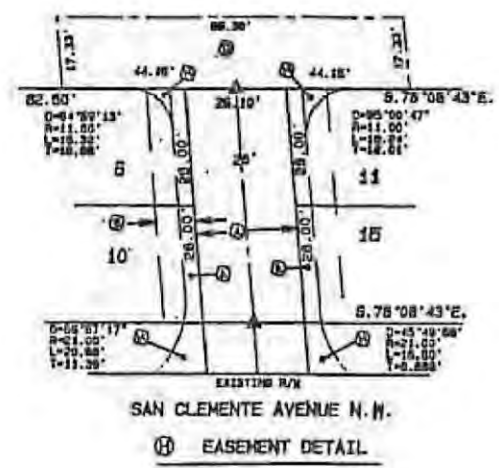
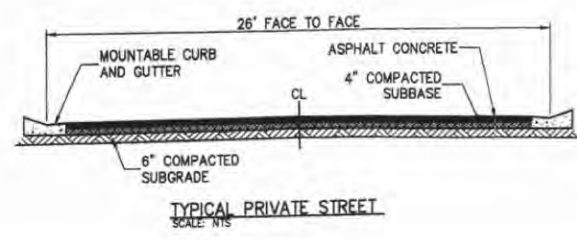
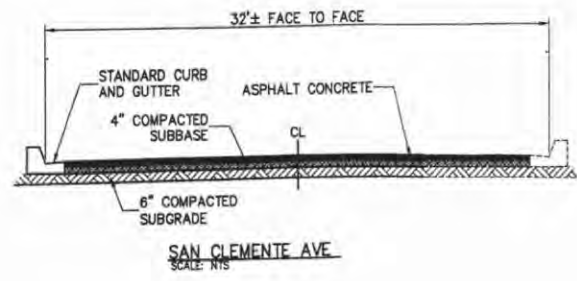
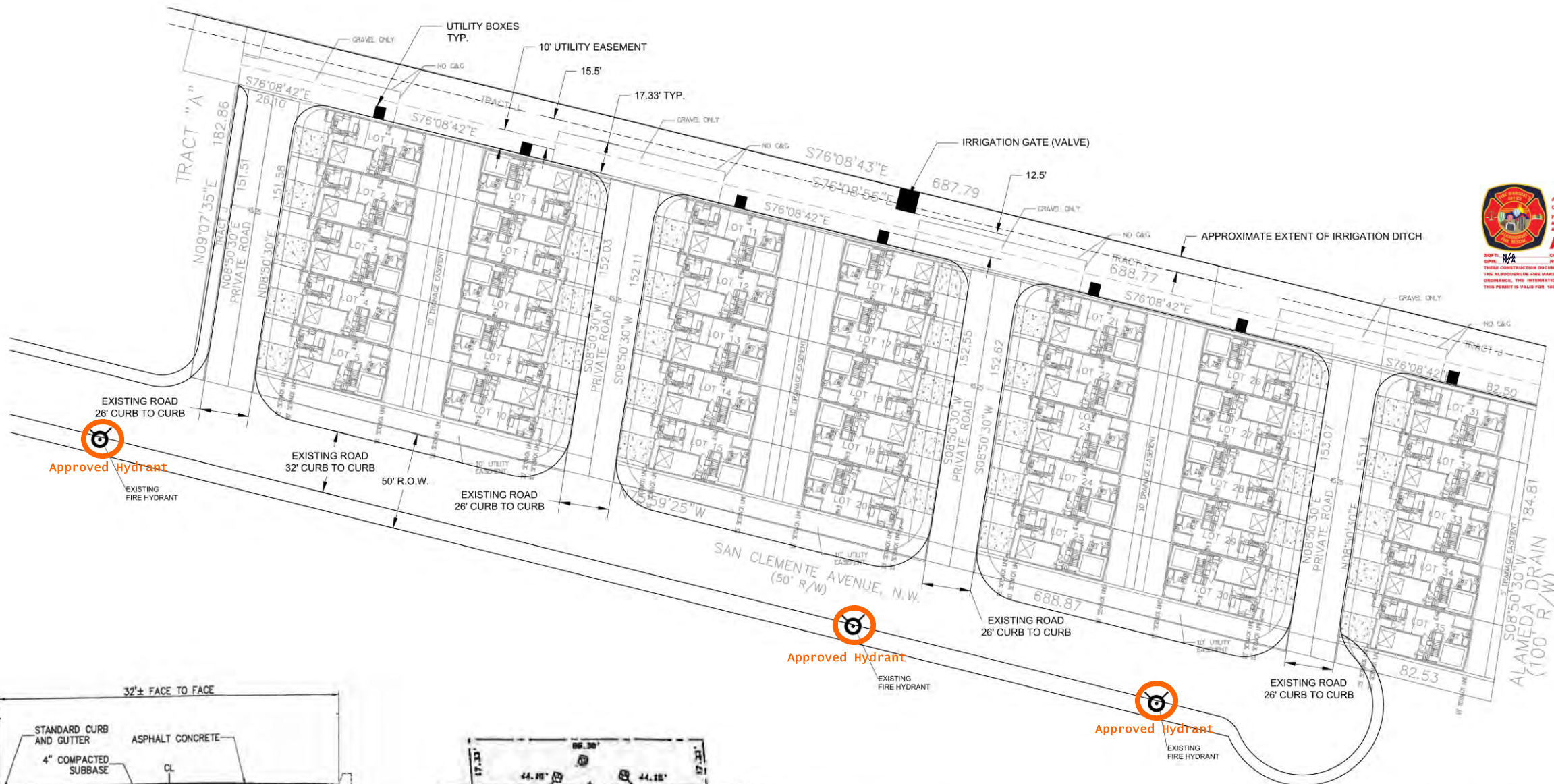
Transportation Development Comments:

- Obtain Solid Waste and Fire Marshall approval for the proposed site plan.
- Since site plan was approved, requirements for turn-arounds have changed for trucks. Additional surfacing for the hammerheads appears to be needed. Refer to drawing below for required dimension for a turn-around.



- Provide plat indicating any private easements with the submittal. Accessways would need to be contained within these easements.
- Show sidewalk and sidewalk width along San Clemente and along any private easements. Per DPM, sidewalk is required along both public right-of-way and private easements serving multiple lots.

Contact: Jeanne Wolfenbarger 924-3991, jwolfenbarger@cabq.gov



SITE PLAN
1" = 30'-0"

CHECKLIST NOTES

- (6) **FIRE HYDRANT SUPPLY LINE:** THE FIRE HYDRANT SUPPLY LINE IS A 6" WATER LINE LOCATED ON THE SOUTH SIDE OF SAN CLEMENTE.
- (20) **DEAD END:** DEAD END STREETS RANGE IN LENGTH FROM 151.51 FEET TO 153.14 FEET. A HAMMERHEAD TURNAROUND WAS APPROVED ON THE ORIGINAL PLAN (APRIL 2004) AND PLAT (JANUARY 2006), PROJECT NUMBER 1002123.
- (21) **ACCESS AND LOADING:** ACCESS ROADS ARE ASPHALT CONCRETE WITH 4" COMPACTED SUBBASE AND 6" COMPACTED SUBGRADE AS APPROVED ON THE ORIGINAL PLAN.
- (23) **GRADE:** ALL ROADS ARE LESS THAN 10 PERCENT IN GRADE.
- (24) **SECURITY GATE:** NO SECURITY GATES THAT EXTEND ACROSS FIRE APPARATUS ACCESS ROADS ARE TO BE INSTALLED ON THE SITE.

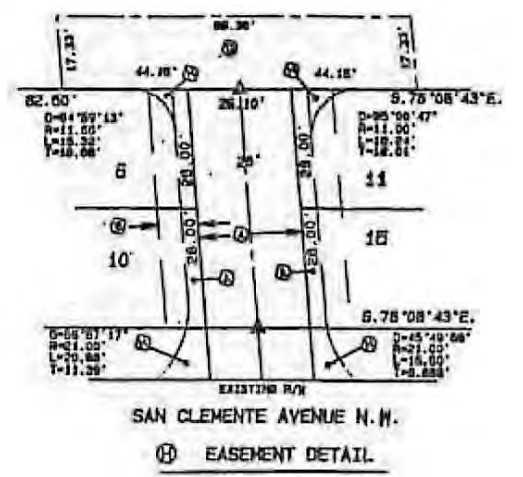
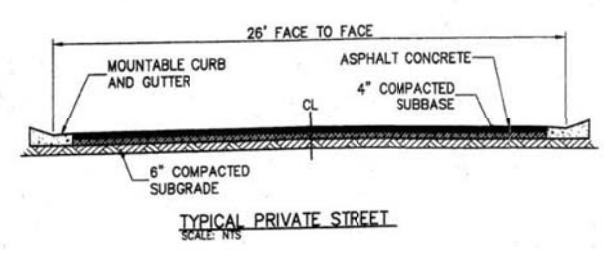
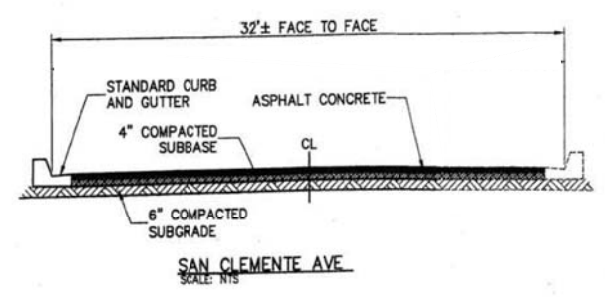
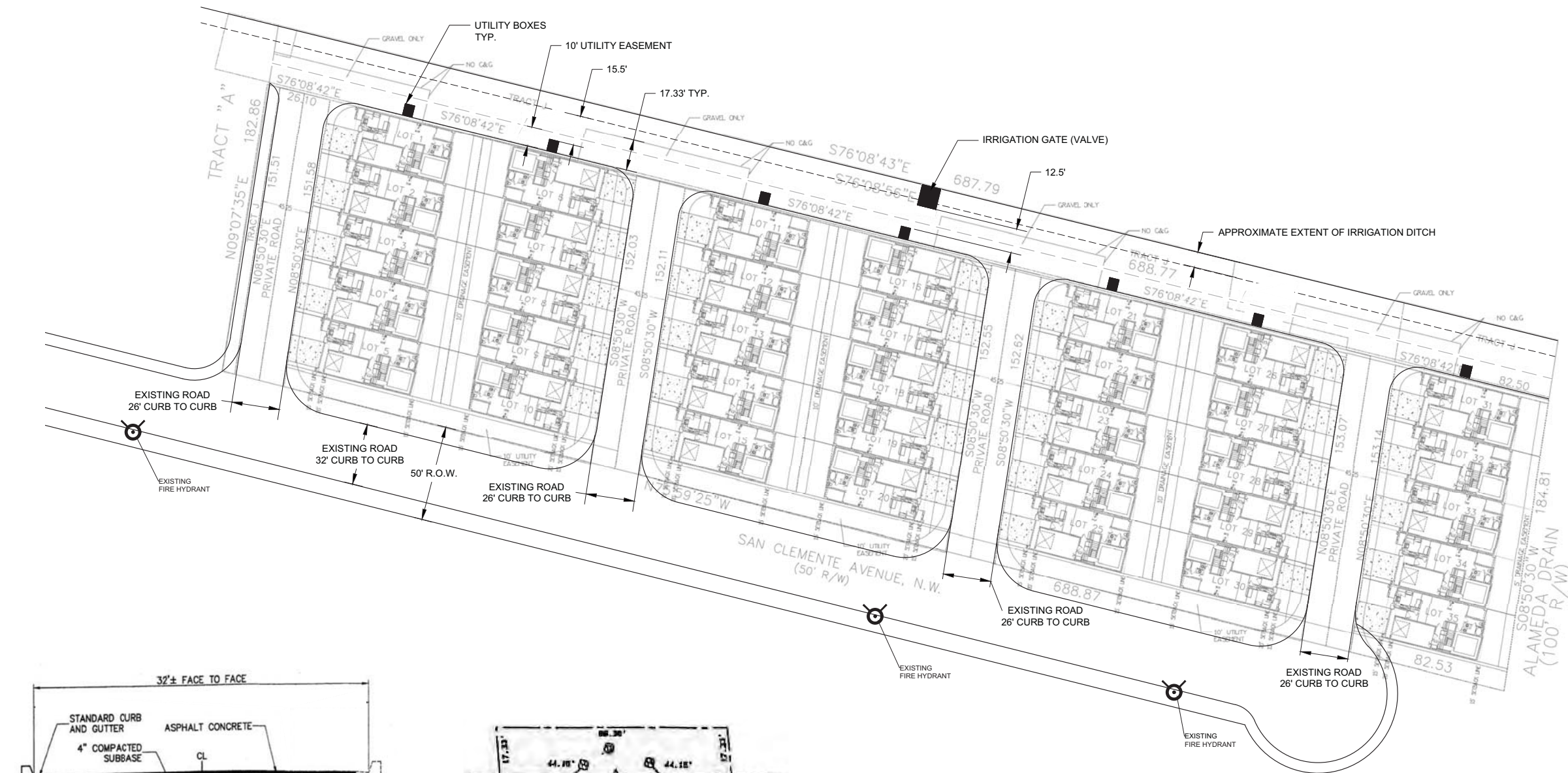
DEL'S HIDEAWAY - TWILIGHT HOMES
SAN CLEMENTE AVE NW
ALBUQUERQUE, NM 87107

DATE: 09/16/2020

PROJECT: 2021_021

SHEET TITLE

SITE PLAN
SHEET 1 OF 1



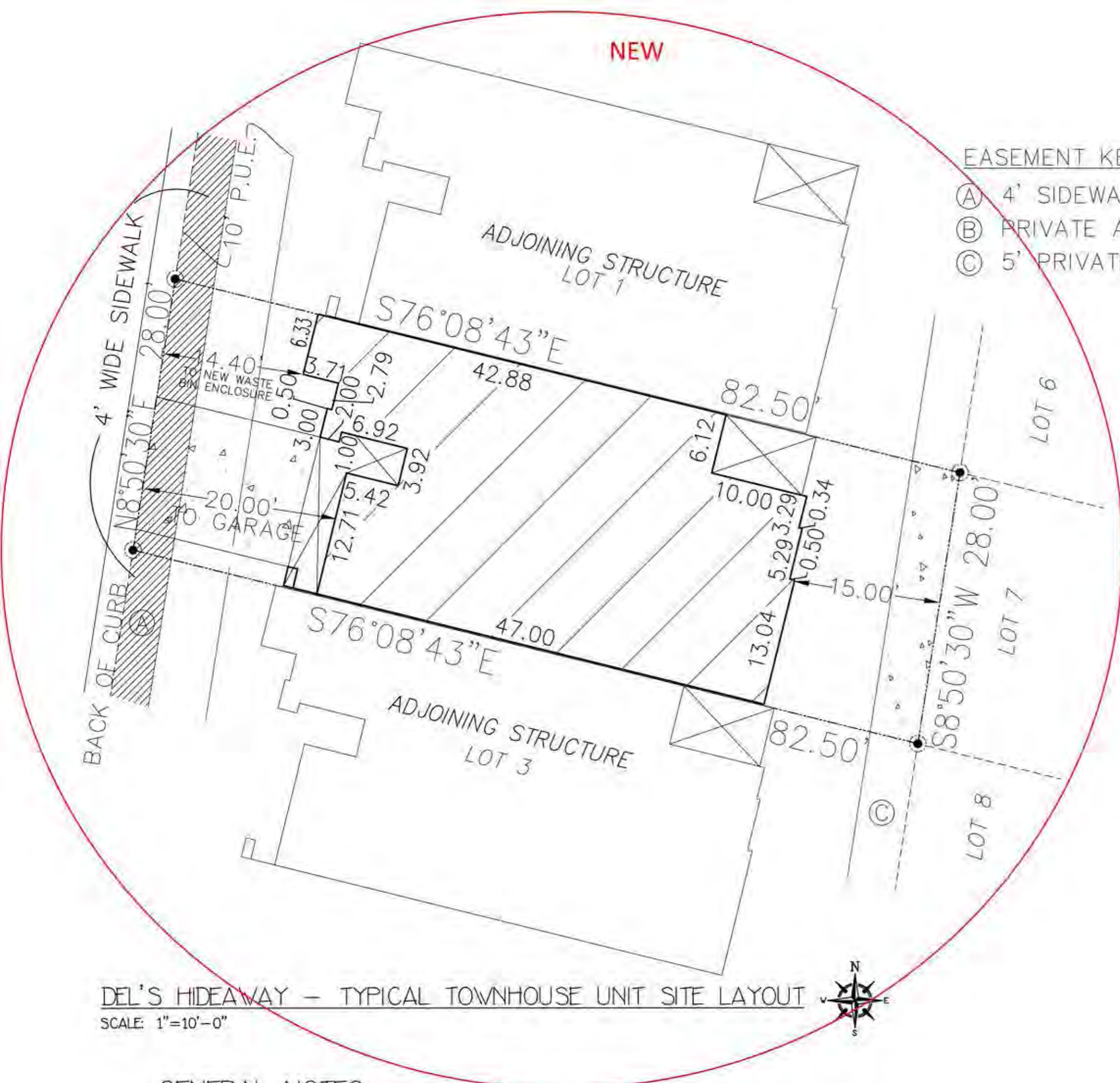
1 SITE PLAN
 1" = 30'-0"

CHECKLIST NOTES

- (6) FIRE HYDRANT SUPPLY LINE: THE FIRE HYDRANT SUPPLY LINE IS A 6" WATER LINE LOCATED ON THE SOUTH SIDE OF SAN CLEMENTE.
- (20) DEAD END: DEAD END STREETS RANGE IN LENGTH FROM 151.51 FEET TO 153.14 FEET. A HAMMERHEAD TURNAROUND WAS APPROVED ON THE ORIGINAL PLAN (APRIL 2004) AND PLAT (JANUARY 2006), PROJECT NUMBER 1002123.
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- (23) GRADE: ALL ROADS ARE LESS THAN 10 PERCENT IN GRADE.
- (24) SECURITY GATE: NO SECURITY GATES THAT EXTEND ACROSS FIRE APPARATUS ACCESS ROADS ARE TO BE INSTALLED ON THE SITE.

SOLID WASTE NOTE

GARBAGE AND RECYCLING BINS WILL BE PLACED ON SAN CLEMENTE. THIS INFORMATION WILL BE INCLUDED IN HOMEOWNER ASSOCIATION DOCUMENTS.



- EASEMENT KEY**
- (A) 4' SIDEWALK ACCESS EASEMENT
 - (B) PRIVATE ACCESS AND SIDEWALK EASEMENT
 - (C) 5' PRIVATE DRAINAGE EASEMENT

PROJECT NUMBER: PR-2020-004225 - OLD EPC/DRB CASE #1002123

APPLICATION NUMBER: SI-2020-00717

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

ADMINISTRATIVE AMENDMENT SITE DEVELOPMENT PLAN FOR LOTS 1 thru 35 AND TRACTS A, B-1, C, D, E, F, G, H, J DEL'S HIDE-A-WAY

APPROVALS

THIS PLAN IS CONSISTENT WITH THE ZONE MAP AMENDMENT APPROVAL BY THE ENVIRONMENT PLANNING COMMISSION (EPC) ON JANUARY 17, 2003 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATIONS OF DECISION HAVE BEEN COMPLIED WITH.



VICINITY MAP
NOT TO SCALE



DEL'S HIDEAWAY - TYPICAL TOWNHOUSE UNIT SITE LAYOUT
SCALE: 1"=10'-0"

GENERAL NOTES:

1. ZONING, SU-1 FOR R-T MAXIMUM 35 DWELLING UNITS PROPOSED DEVELOPMENT.
2. APPROXIMATE ACREAGE - 2.89
NUMBER OF LOTS - 1 D.U.
PROPOSED DENSITY - 12.1 D.U./ACRE
3. MINIMUM UNIT DIMENSIONS - 28'x82.5'
TYPICAL AREA - 2310 SQ. FT.
4. ALL STREETS AND UTILITIES IMPROVEMENTS ARE TO BE PRIVATE.
5. NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO SAN CLEMENTE.
6. OFF-STREET PARKING SHALL BE PROVIDED ON EACH LOT, AS REQUIRED BY THE ZONING CODE.
7. NO IMPROVEMENT WILL BE CONSTRUCTED IN THE IRRIGATION EASEMENT. ONLY GRAVEL AND LANDSCAPING WILL BE PLACED IN THE EASEMENT. NO CHANGES WILL BE MADE TO THE CONFIGURATION OF THE DITCH, ITS BANKS OR ITS CHECKGATE. THERE SHALL BE A 10' SEPARATION BETWEEN THE RESIDENCES AND THE IRRIGATION DITCH EASEMENT.
8. SIDEWALKS SHALL BE BUILT PER APPROVED SITE PLAN DATED APRIL 4, 2004. NEW
9. STREET LIGHTS WILL BE INSTALLED ACCORDING TO THE DESIGN PROCESS MANUAL REQUIREMENTS FOR STREET LIGHT LOCATIONS, WITH ONE STREETLIGHT AT EACH INTERSECTION
10. SOLID WASTE NOTE: GARBAGE AND RECYCLING BINS WILL BE PLACED ON SAN CLEMENTE. THIS INFORMATION WILL BE INCLUDED IN HOMEOWNER ASSOCIATION DOCUMENTS.

FIRE 1 CHECKLIST NOTES:

- FIRE HYDRANT SUPPLY LINE: THE FIRE HYDRANT SUPPLY LINE IS A 6" WATER LINE LOCATED ON THE SOUTH SIDE OF SAN CLEMENTE
- DEAD END: DEAD END STREETS RANGE IN LENGTH FROM 151.51 FEET TO 153.14 FEET. A HAMMERHEAD TURNAROUND WAS APPROVED ON THE ORIGINAL PLAN (APRIL 2004) AND PLAT (JANUARY 2006), PROJECT NUMBER 1002123.
- ACCESS ROADS ARE ASPHALT CONCRETE WITH 4" COMPACTED SUB BASE AND 6" COMPACTED SUB GRADE AS APPROVED ON THE ORIGINAL PLAN
- ALL ROADS ARE LESS THAN 10 PERCENT IN GRADE.
- NO SECURITY GATES THAT EXTEND ACROSS FIRE APPARATUS ACCESS ROADS ARE TO BE INSTALLED ON THE SITE

RESIDENTIAL BUILDING DESIGN STANDARDS

THE FOLLOWING GUIDELINES ARE TO BE UTILIZED FOR TOWNHOUSES DESIGNED AND BUILT WITHIN THIS PROJECT.

- A. ARCHITECTURAL STYLE:
CONTEMPORARY WITH MULTI-COLORED STUCCO ACCENTS
- B. SETBACK REQUIREMENTS:
FRONT YARD: PER SITE PLAN APPROVED ON 4/28/2004
DRIVEWAYS SHALL CONTINUE TO HAVE 20' SETBACK
REAR YARD: 15' MIN. EXCEPT AS FURTHER DEFINED IN THE R-T RESIDENTIAL ZONE FOR HOUSES WITH OFFSET REAR LOT LINES
SIDE YARD: NONE REQUIRED EXCEPT THERE SHALL BE 10' ON THE STREET SIDE OF CORNER UNITS 5,10,15,20,25,30 AND 35
- C. BUILDING HEIGHT RESTRICTIONS:
STRUCTURES SHALL NOT EXCEED 26' IN HEIGHT, AS DEFINED IN THE ZONING CODE AND WITH EXCEPTION PROVIDED IN PARAGRAPH 14-16-3-3

- D. BUILDING COLOR SCHEMES:
THE FOLLOWING COLOR SCHEMES SHALL BE UTILIZED:
"DRIVIT" STUCCO NUMBERS IN THE FOLLOWING CONFIGURATION:
DARKER STUCCO COLOR - LIGHTER STUCCO COLOR
81582, CORAL GABLES - 110, ASH
63149, HATTERAS - 121, SANDALWOOD
135, SAHARA - 100, COLONIAL WHITE
81585, CHARLESTON - 30, SOAPSTONE
81584, SUFFOLK - 90, CANDELIGHT
63152, ASHEVILLE - 117, FAWN
ADDRESS PLATES AND METAL EYEBROW STRUCTURES SHALL BE PAINTED BRONZE
PROPERTY LINE WALLS SHALL BE TAN COLORED, SMOOTH BLOCK CMU STYLE
- E. LANDSCAPING INSTALL SHALL BE:
EACH LOT, FRONT YARD COMMON SOUTHWEST/DESERT PACKAGE
30 - 15 GALLON TREE
60 - 5 GALLON SHRUBS
7 - 2 GALLON SHRUBS
108 - 1 GALLON SHRUBS
2"-4" - ACCENT COBBLESTONE, AS PER LANDSCAPE PLAN
3/4" - GRAY CRUSHED STONE ON PLATIC, AS PER LANDSCAPE PLAN

- F. PEDESTRIAN ACCESS SHALL BE PROVIDED BY SIDEWALKS CONSTRUCTED AS SHOWN ON SITE PLAN

- G. PRIVACY WALLS:
EACH LOT SHALL BE PROVIDED WITH CONCRETE BLOCK PRIVACY WALLS ON THE COMMON PROPERTY LINE. THE HEIGHT OF THE WALLS SHALL CONFORM TO THE ZONING CODE

DESIGN CRITERIA:

- A. ZONING DESIGN CRITERIA
 1. LEGAL DESCRIPTION - LOTS 1 thru 35 and TRACTS A,B-1,C,D,E,F,G,H & J DELS HIDE-A-WAY
 2. ZONING CLASSIFICATION - SU-1 FOR R-T USES
 3. ACTUAL USE - ATTACHED RESIDENTIAL TOWNHOUSE
- B. ARCHITECTURAL DESIGN CRITERIA
 1. OCCUPANCY GROUP R-3
 2. TYPE CONSTRUCTION V-N
 3. FLOOR AREA

NEW	- GARAGE	270.28 SQ. FT.
	- DOWNSTAIRS HEATED	976.12 SQ. FT.
	- UPSTAIRS HEATED	423.91 SQ. FT.
	- TOTAL HEATED	1400.03 SQ. FT.
	- TOTAL AREA	1670.31 SQ. FT.

PARKING ANALYSIS:

- REQUIRED PARKING SPACES: BASED ON R-T ZONING
1 SPACE PER BATH BUT NOT LESS THAN 1.5 SPACES PER DWELLING
- 2 SPACES PER DWELLING
35 DWELLINGS
70 PARKING SPACES REQUIRED
- PROVIDED PARKING SPACES: 2 SPACES PER DWELLING
35 DWELLINGS
70 PARKING SPACES PROVIDED

PROJECT:
DEL'S HIDEAWAY

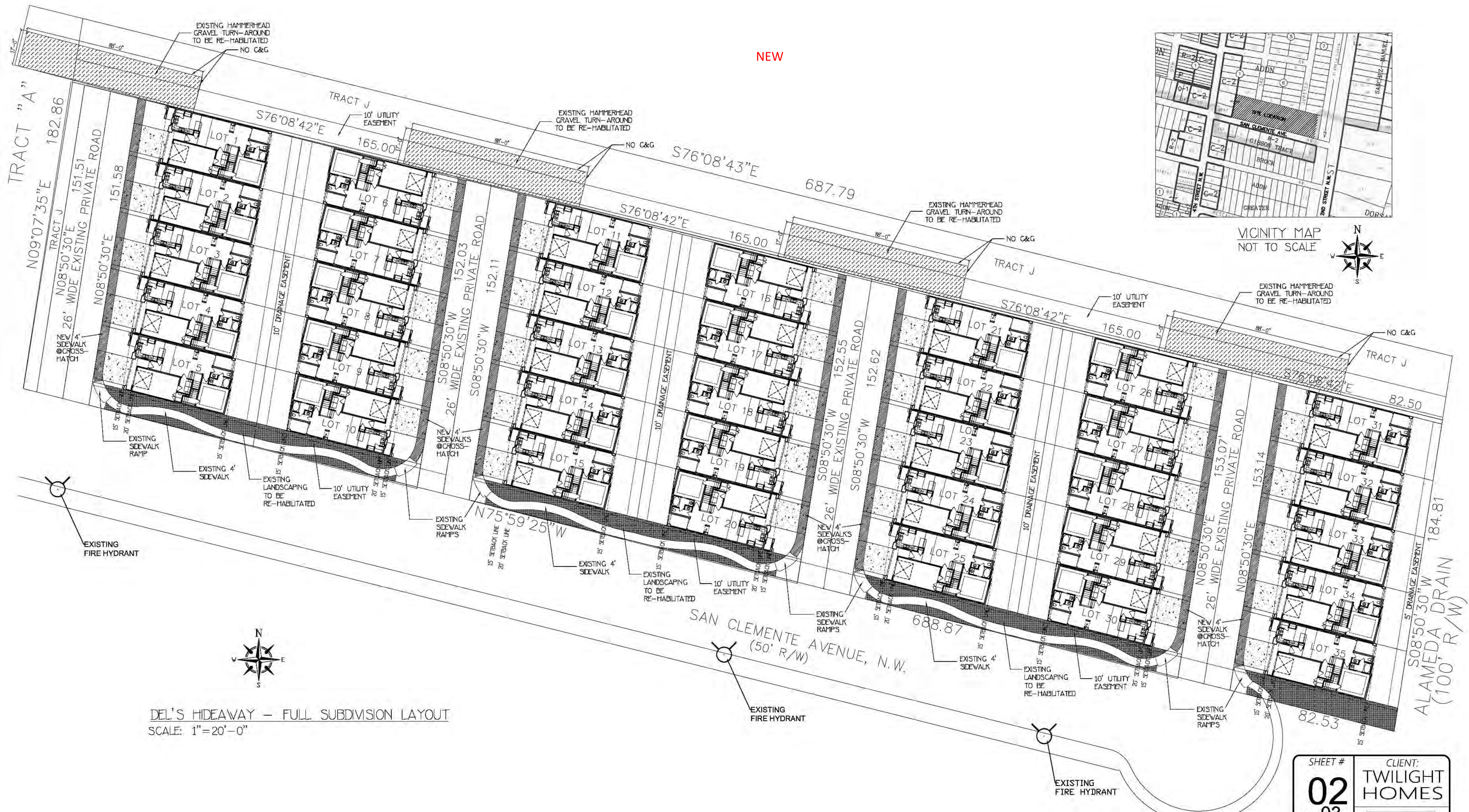
DESCRIPTION:
SITE PLAN SINGLE UNIT

CLIENT:
TWILIGHT HOMES

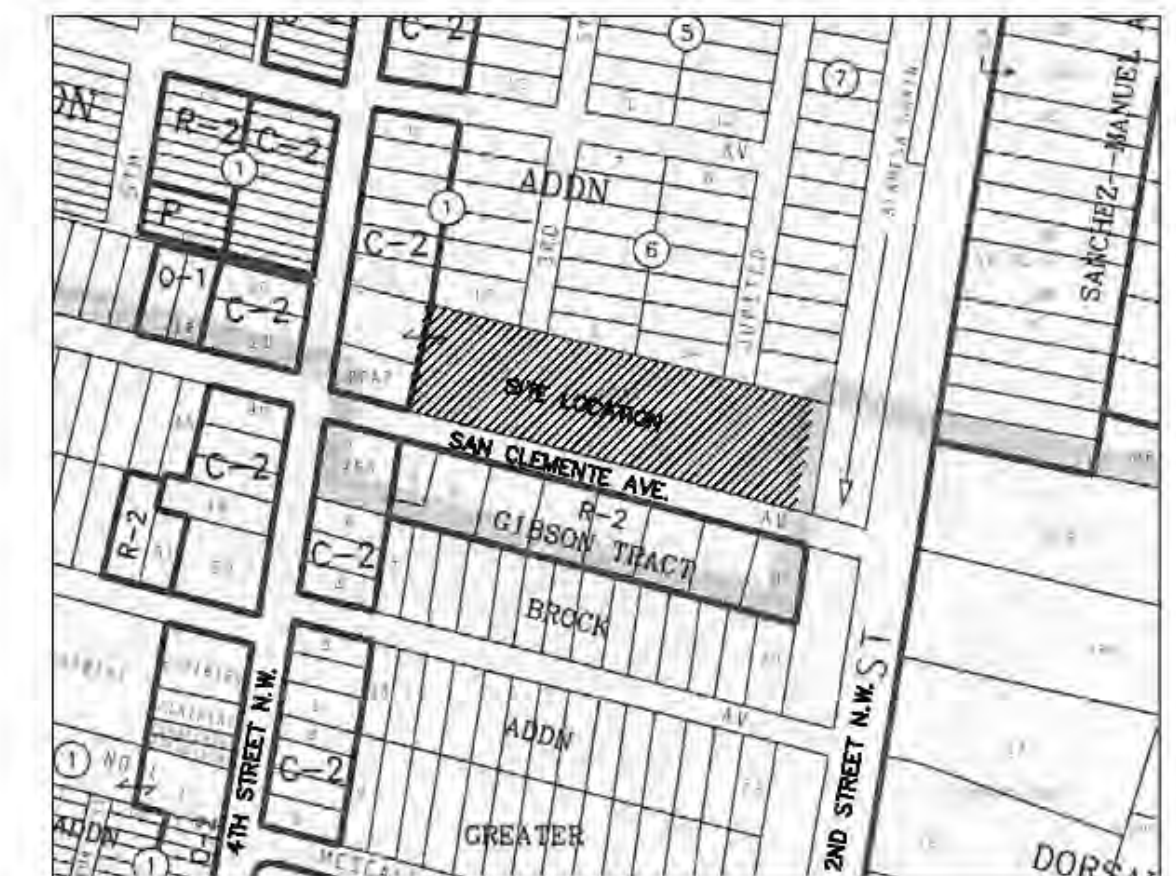
SHEET #
01
OF 03

MEASURED BY	YCD	2
DESIGNED BY	M.G.	0
DRAFTED BY	M.G.	0
CHECKED BY	M.G.	0
REVISED:		8
DATE	10-2-20	0
SCALE	AS NOTED	#





NEW



VICINITY MAP
NOT TO SCALE



DEL'S HIDEAWAY - FULL SUBDIVISION LAYOUT
SCALE: 1"=20'-0"



PROJECT: DEL'S HIDEAWAY	ORIENTATION	MEASURED BY	R E F E R E N C E #	
	DESCRIPTION: SITE PLAN ALL PROPOSED UNITS	DESIGNED BY		YCD
		DRAFTED BY		M.G.
		CHECKED BY		M.G.
		REVISED:		
SCALE	DATE			
AS NOTED	10-21-20			

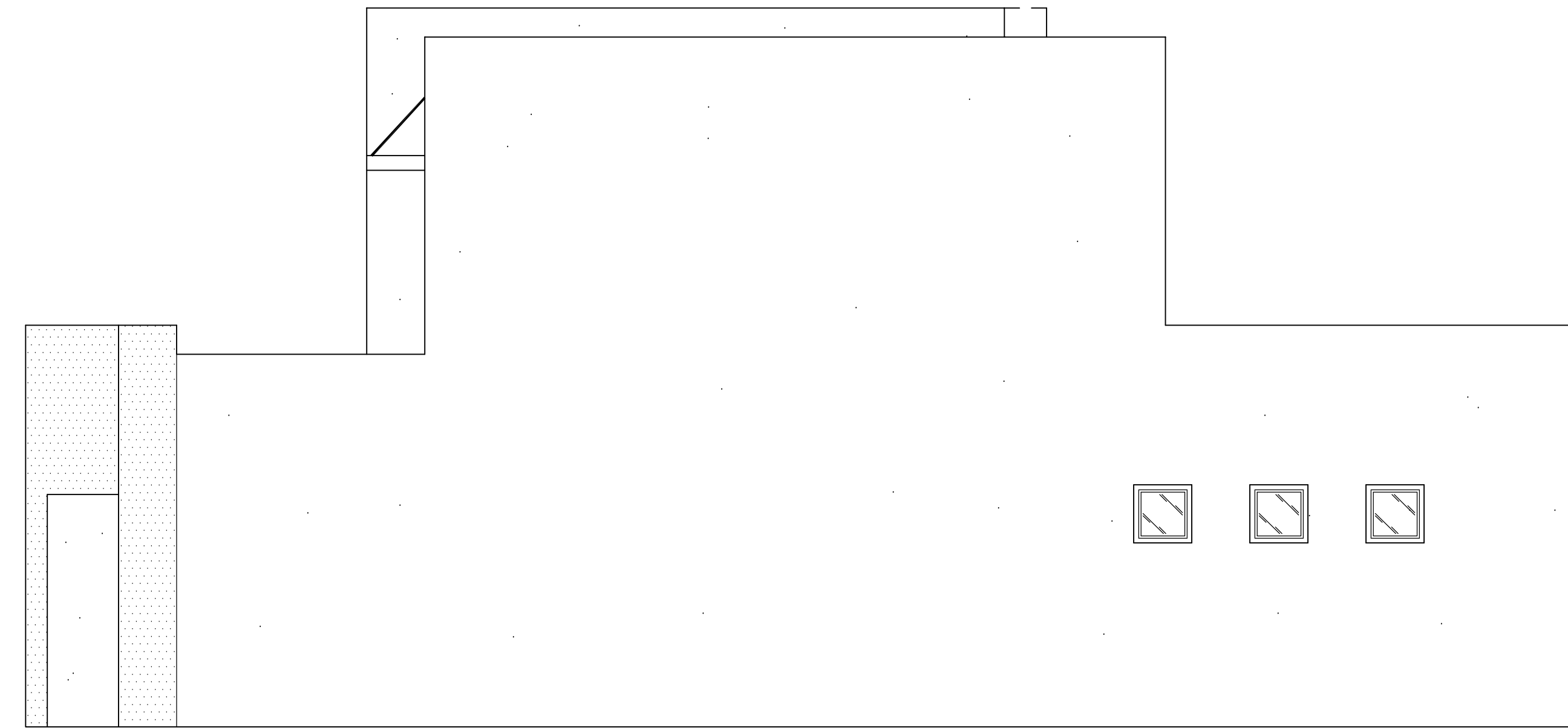
SHEET #
02
OF 03

CLIENT:
TWILIGHT HOMES

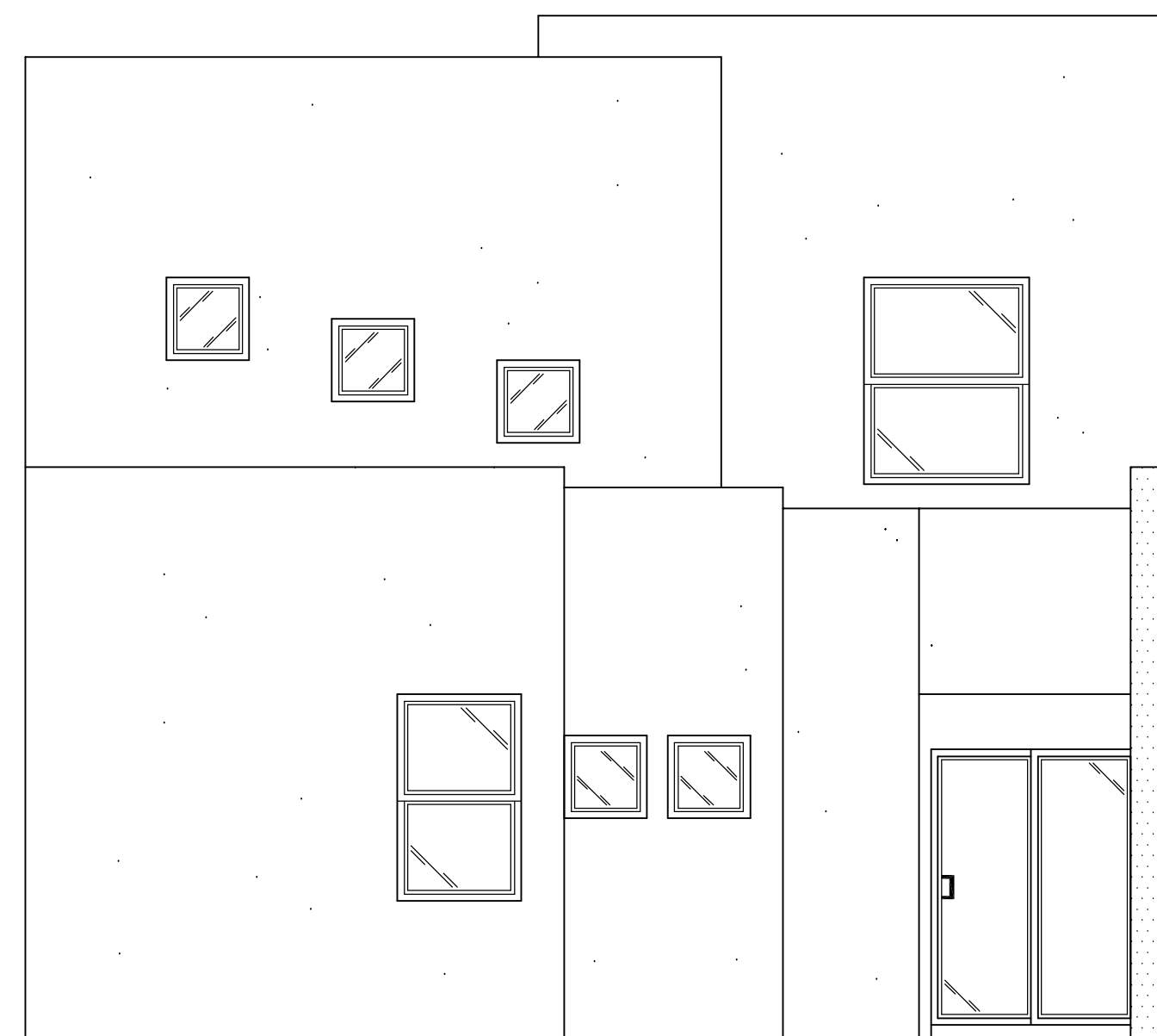
ALL NEW ELEVATIONS



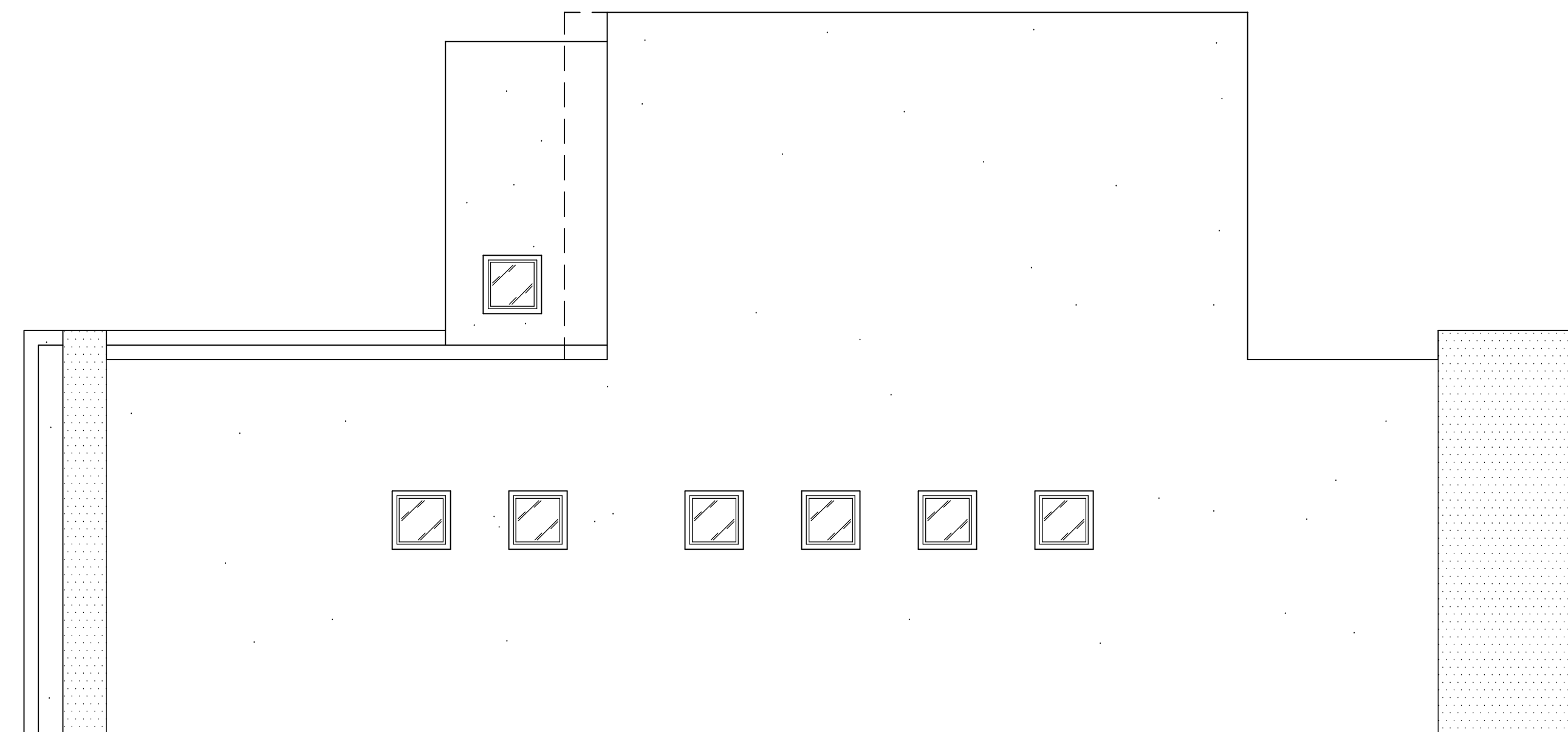
FRONT ELEVATION



RIGHT ELEVATION - STREET SIDE OPTION



REAR ELEVATION - STREET SIDE OPTION



LEFT ELEVATION - STREET SIDE OPTION

PROJECT:
DEL'S
HIDEAWAY

DESCRIPTION:
SINGLE
UNIT
ELEVATIONS

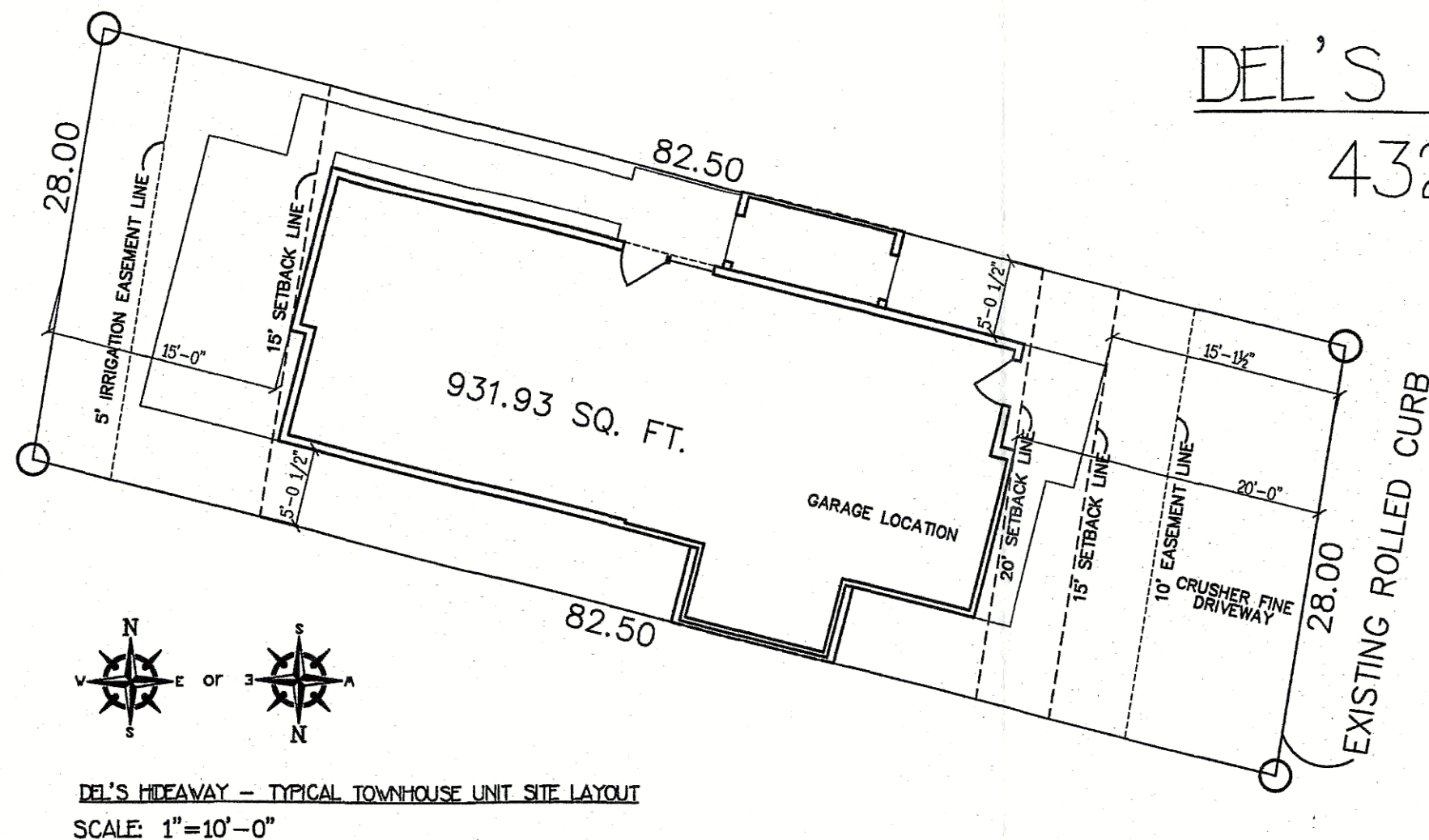
CLIENT:
TWILIGHT
HOMES

SHEET #
03
OF 03

MEASURED BY		R E F E R E N C E #
DESIGNED BY	YCD	
DRAFTED BY	M.G.	
CHECKED BY	M.G.	
REVISED:		
SCALE	DATE	
1/4"=1'-0"	8-4-20	



DEL'S HIDE-A-WAY - AMENDED SITE DEVELOPMENT PLAN 4326 4TH STREET ALBUQUERQUE, NEW MEXICO



- GENERAL NOTES:**
- ZONING, SU-1 FOR R-T MAXIMUM 35 DWELLING UNITS PROPOSED DEVELOPMENT.
 - APPROXIMATE ACREAGE - 2.89
NUMBER OF LOTS - 1 D.U.
PROPOSED DENSITY - 12.1 D.U./ACRE
 - MINIMUM UNIT DIMENSIONS - 28' x 82.5'
TYPICAL AREA - 2310 SQ. FT.
 - ALL STREETS AND UTILITIES IMPROVEMENTS ARE TO BE PRIVATE.
 - NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO SAN CLEMENTE.
 - OFF-STREET PARKING SHALL BE PROVIDED ON EACH LOT, AS REQUIRED BY THE ZONING CODE.
 - NO IMPROVEMENT WILL BE CONSTRUCTED IN THE IRRIGATION EASEMENT. ONLY GRAVEL AND LANDSCAPING WILL BE PLACED IN THE EASEMENT. NO CHANGES WILL BE MADE TO THE CONFIGURATION OF THE DITCH, ITS BANKS OR ITS CHECKGATE. THERE SHALL BE A 10' SEPARATION BETWEEN THE RESIDENCES AND THE IRRIGATION DITCH EASEMENT.

PROJECT NUMBER: 1002123
APPLICATION NUMBER: _____

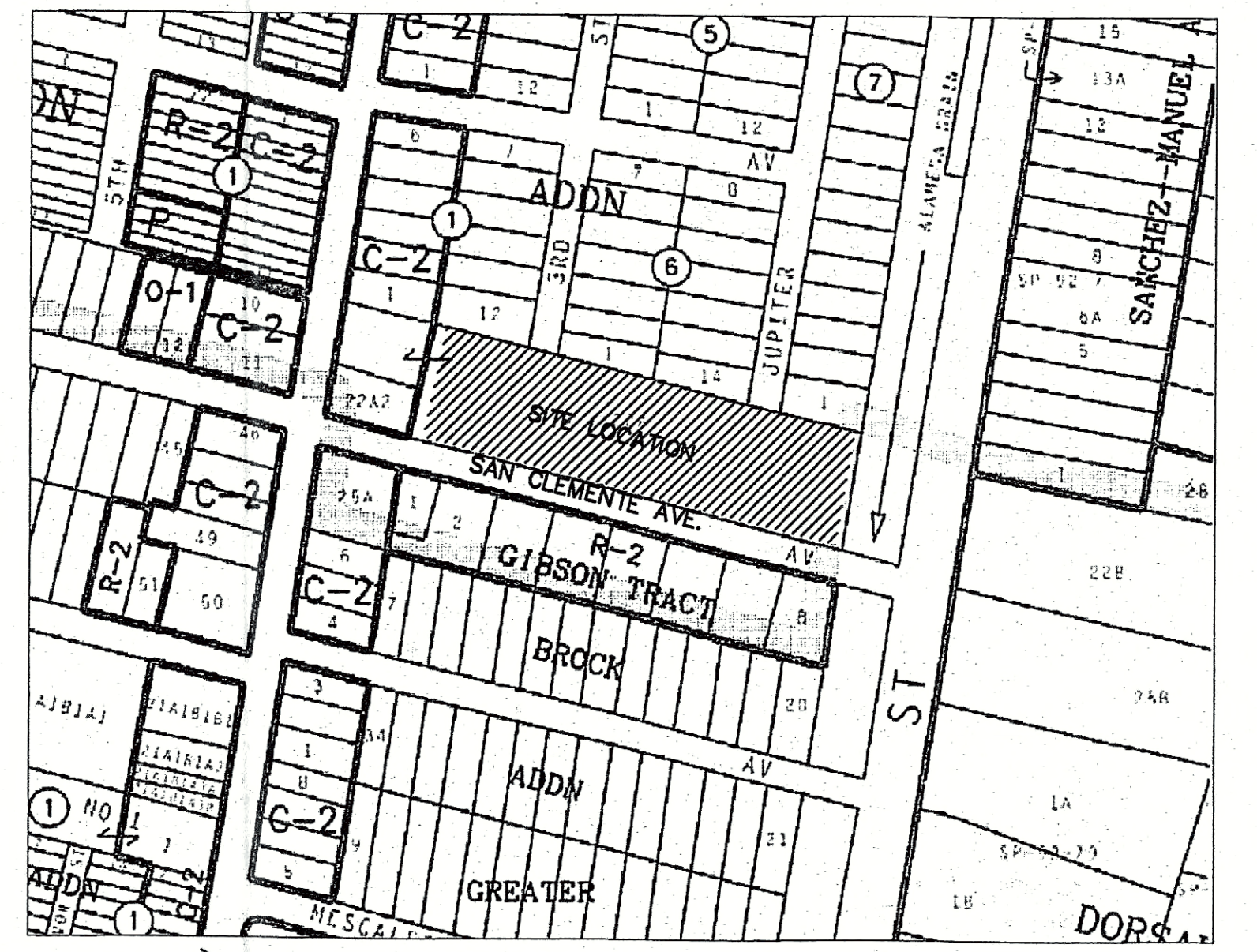
IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

ADMINISTRATIVE AMENDMENT SITE DEVELOPMENT PLAN FOR LOTS 1 thru 35 and Tracts A, B-1, C, D, E, F, G, H & J DEL'S HIDE-A-WAY *New*

APPROVALS
THIS PLAN IS CONSISTENT WITH THE ZONE MAP AMENDMENT APPROVAL BY THE ENVIRONMENT PLANNING COMMISSION (EPC) ON JANUARY 17, 2003 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATIONS OF DECISION HAVE BEEN COMPLIED WITH.

RESIDENTIAL BUILDING DESIGN STANDARDS
THE FOLLOWING GUIDELINES ARE TO BE UTILIZED FOR TOWNHOUSES DESIGNED AND BUILT WITHIN THIS PROJECT.

- A. ARCHITECTURAL STYLE:**
ALL HOMES SHALL BE BUTTERFLY/SHED ROOF TOWNHOUSES *New*
- B. SETBACK REQUIREMENTS:**
FRONT YARD: 15' MIN. EXCEPT AT DRIVEWAYS, WHICH SHALL HAVE 20' MIN. SETBACK
REAR YARD: 15' MIN. EXCEPT AS FURTHER DEFINED IN THE R-T RESIDENTIAL ZONE FOR HOUSES WITH OFFSET REAR LOT LINES
SIDE YARD: NONE REQUIRED EXCEPT THERE SHALL BE 10' ON THE STREET SIDE OF CORNER UNITS 5,6,15,16,25,26 AND 35
- C. BUILDING HEIGHT RESTRICTIONS:**
STRUCTURES SHALL NOT EXCEED 26' IN HEIGHT, AS DEFINED IN THE ZONING CODE AND WITH EXCEPTION PROVIDED IN PARAGRAPH 14-16-3-3
- D. BUILDING COLOR OPTIONS:**
THE FOLLOWING COLOR OPTIONS SHALL BE UTILIZED AND/OR COMBINED:
EXTERIOR STUCCO - ALL EARTH TONE COLORS (EL REY MAX TECH):
TUMBLEVEED, HUSK, SANTA FE TRAIL, HISTORIC BROWN, GOLDEN TRAIL, BUTTERSCOTCH, AMARILLA.
FISH SCALE STUCCO - ALL EARTH TONE COLORS (VARIANCE SPECIALTY FINISHES - TUFF STONE GRANITE):
TIERRA DEL FUEGO, ARCADIA (68520), MOJAVE (68522), SAFARI BRYCE (68521), CHEYENE (68532), TANZANIA, RAINFOREST
PAINT COLORS - ALL EARTH TONE COLORS (SHERWIN WILLIAMS - PAUL ALLEN HOMES BATCH):
HISTORIC BROWN, SANTA FE TRAIL, BUTTERSCOTCH, GOLDEN TRAIL
ARCHITECTURAL GRADE SHINGLES - ALL EARTH TONE COLORS (TAMCO):
PAINTED DESERT, HARVEST GOLD, RUSTIC CEDAR, RUSTIC REDWOOD
SPLIT FACED CONCRETE BLOCKS - EARTH TONE COLOR TAN COLORED CMUs *New*
- E. LANDSCAPING INSTALL SHALL BE:**
EACH LOT, FRONT YARD COMMON STOUHWEST/DESERT PACKAGE
49 - 15 GALLON TREES
100 - 5 GALLON SHRUBS
7 - 2 GALLON SHRUBS
128 - 1 GALLON SHRUBS
2"-4" - ACCENT COBBLESTONE AS PER LANDSCAPE PLAN
3/4" - GRAY CRUSHED STONE ON PLASTIC AS PER LANDSCAPE PLAN
- F. PEDESTRIAN ACCESS SHALL BE PROVIDED BY SIDEWALKS CONSTRUCTED AS SHOWN**
- G. PRIVACY WALLS:**
EACH LOT SHALL BE PROVIDED WITH CONCRETE BLOCK PRIVACY WALLS ON THE COMMON PROPERTY LINE. THE HEIGHT OF THE WALLS SHALL CONFORM TO ZONING CODE. *New*



VICINITY MAP
NO SCALE

ADMINISTRATIVE AMENDMENT
FILE # 1002123 PROJECT # 1002123
Revised bldg. footprints and elevations.
R.B. 2007/2017
APPROVED BY _____ DATE _____

- DESIGN CRITERIA:**
- A. ZONING DESIGN CRITERIA** *New*
- LEGAL DESCRIPTION - LOTS 1 thru 35 and TRACTS A,B-1,C,D,E,F,G,H&J DEL'S HIDE-A-WAY
 - ZONING CLASSIFICATION - SU-1 FOR R-T USES
 - ACTUAL USE - ATTACHED RESIDENTIAL TOWNHOUSE
- B. ARCHITECTURAL DESIGN CRITERIA**
- OCCUPANCY GROUP R-3
 - TYPE CONSTRUCTION V-N *New*
 - FLOOR AREA - GARAGE 348 SQ. FT.
- DOWNSTAIRS HEATED 584 SQ. FT.
- UPSTAIRS HEATED 824 SQ. FT.
- TOTAL HEATED 1408 SQ. FT.
- TOTAL AREA 1756 SQ. FT.

- PARKING ANALYSIS:**
- REQUIRED PARKING SPACES: BASED ON R-T ZONING
1 SPACE PER BATH BUT NOT LESS THAN 1.5 SPACES PER DWELLING
- 2 SPACES PER DWELLING
35 DWELLINGS
70 PARKING SPACES REQUIRED
- PROVIDED PARKING SPACES: 2 SPACES PER DWELLING
35 DWELLINGS
70 PARKING SPACES PROVIDED

PROJECT:
DEL'S HIDE-A-WAY TOWNHOMES

DESCRIPTION:
COVER SHEET

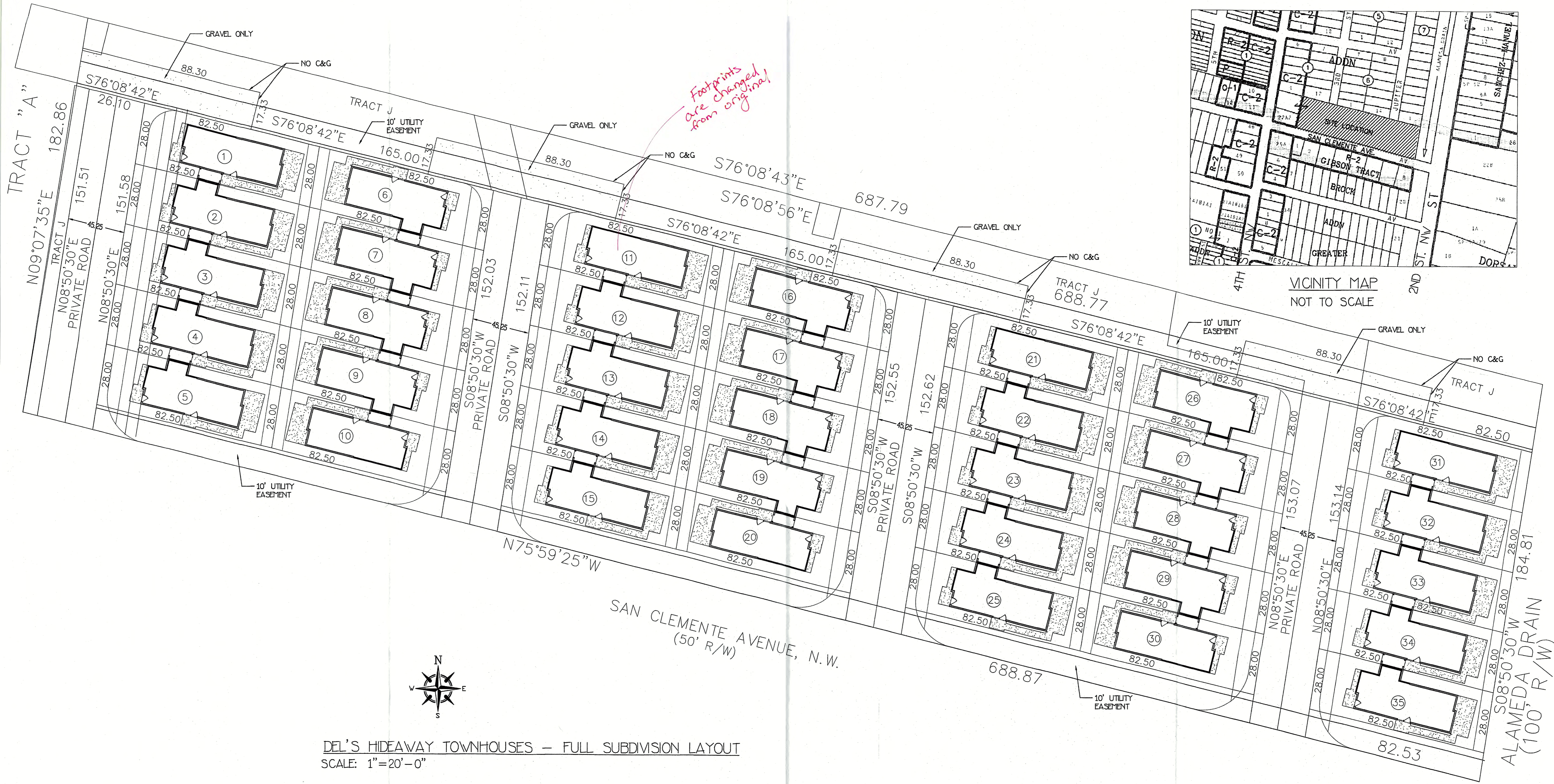
CLIENT:
PAUL ALLEN HOMES

SHEET # **1** OF **3**

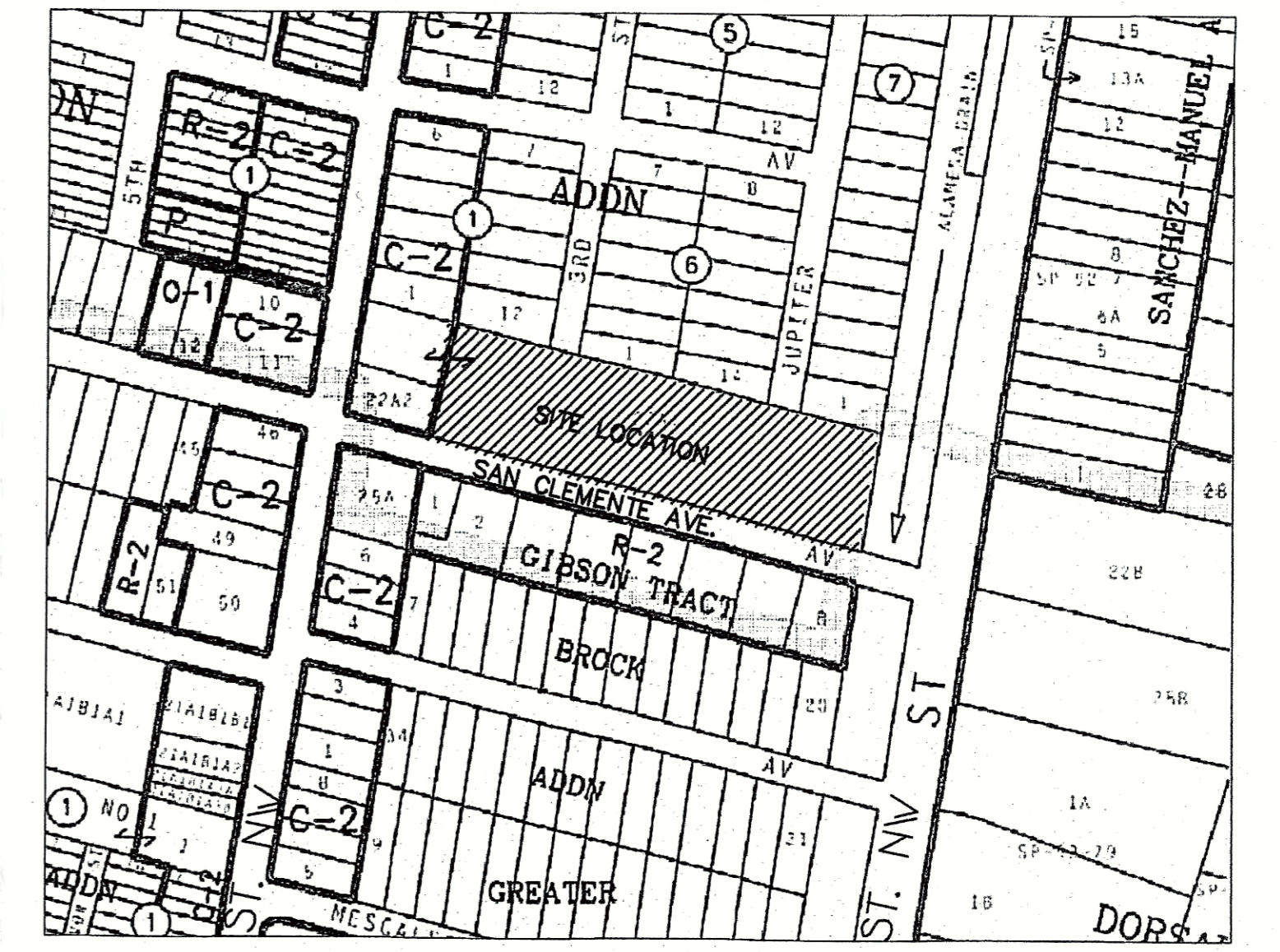
ORIENTATION	MEASURED BY	DESIGNED BY	DRAFTED BY	CHECKED BY	REVISED:	SCALE	DATE
		P.A.H.	J.W.	M.G.		AS NOTED	10-9-17

REFERENCE # 17117

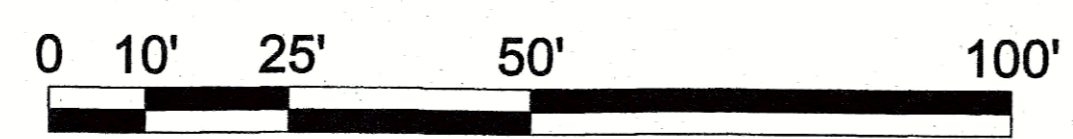
YCD DESIGNS
505-899-1199



Footprints are changed from original!



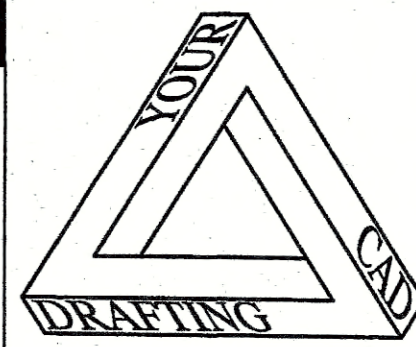
DEL'S HIDEAWAY TOWNHOUSES - FULL SUBDIVISION LAYOUT
SCALE: 1"=20'-0"



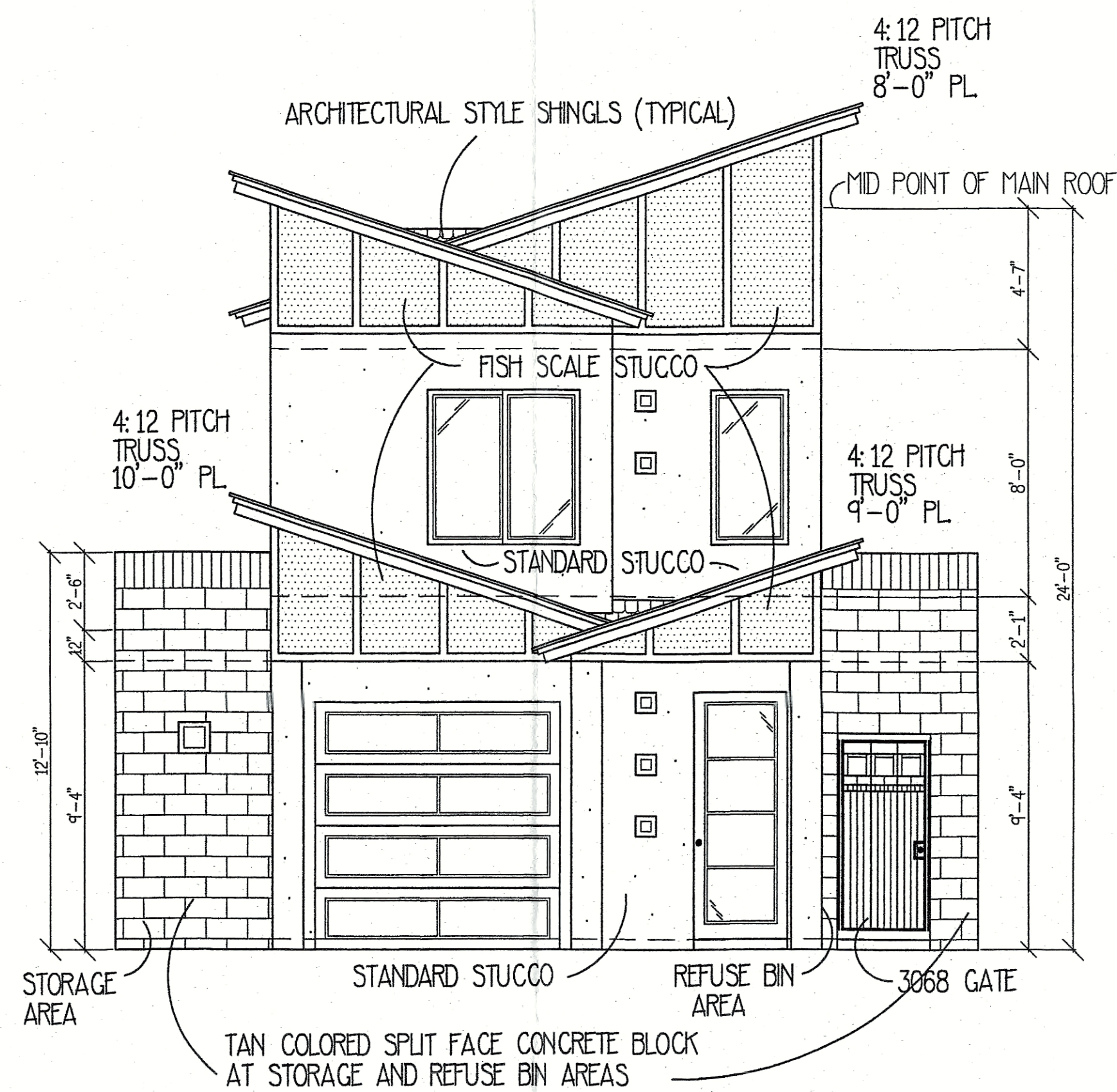
PROJECT: DEL'S HIDEAWAY TOWNHOUSES		ORIENTATION		MEASURED BY		REFERENCE # 1 7 1 1 7
DESCRIPTION: SITE PLAN ALL UNITS		SCALE AS NOTED		DESIGNED BY P.A.H.		
		DATE 10-9-17		DRAFTED BY J.W.		
				CHECKED BY M.G.		
				REVISED:		

SHEET #
2
OF
3

CLIENT:
PAUL ALLEN HOMES



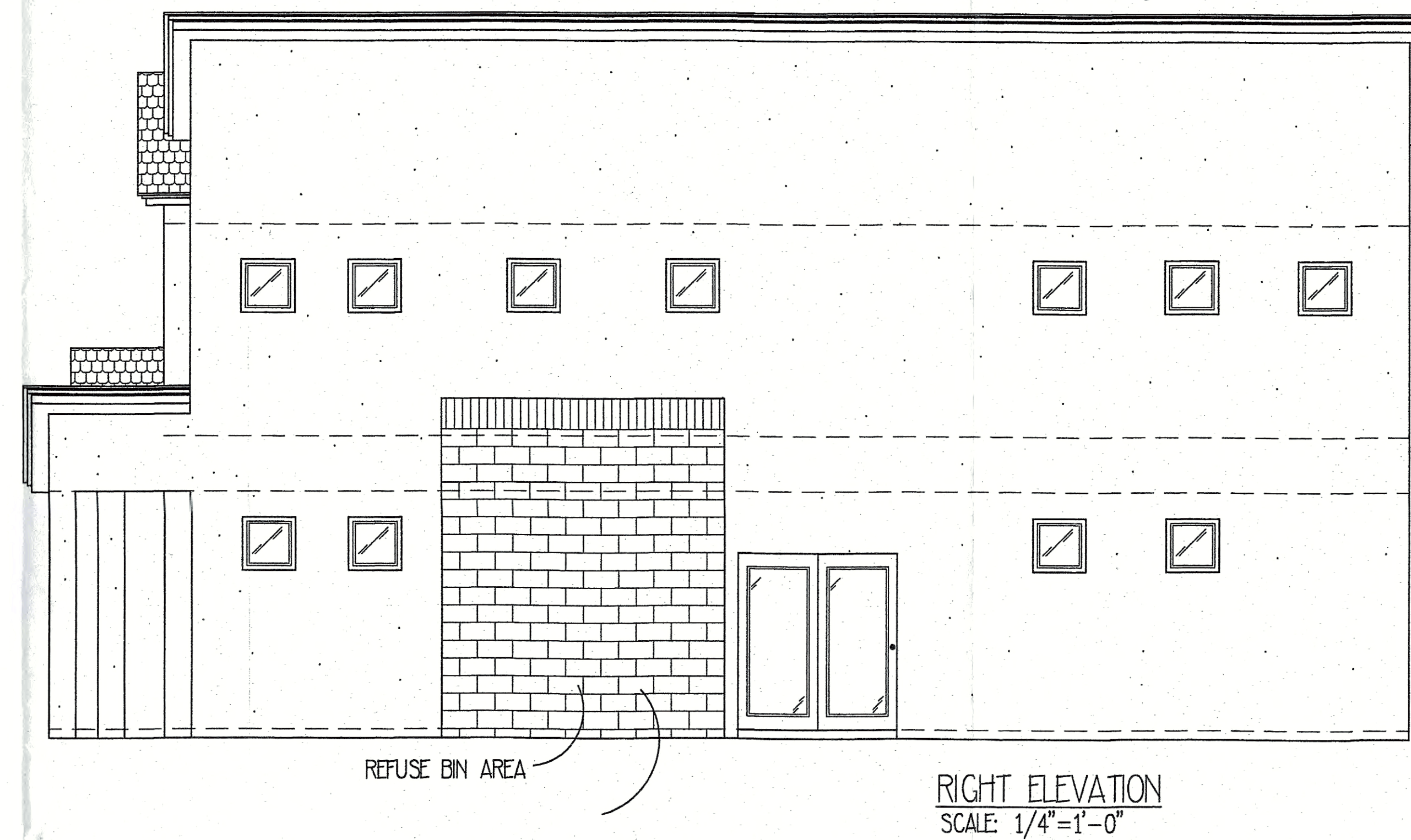
YCD DESIGNS
505-899-1199



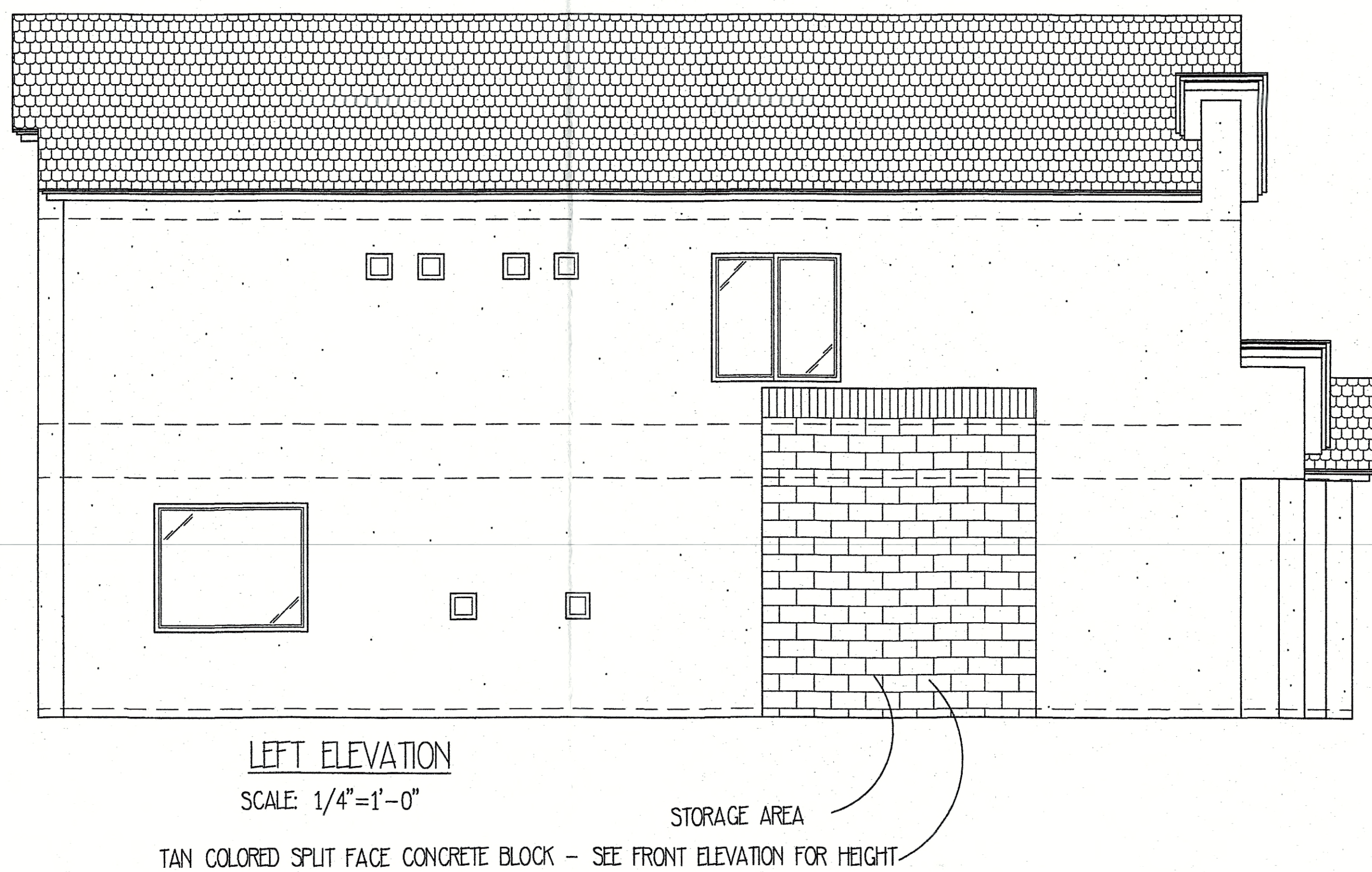
TYPICAL FRONT ELEVATION
SCALE: 1/4"=1'-0"

COLOR INFORMATION

SEE SHEET 1 FOR POTENTIAL MIX OF VARIOUS EARTH TONE COLOR AND MATERIAL OPTIONS LISTED UNDER ITEM "D" AT RESIDENTIAL BUILDING DESIGN STANDARDS

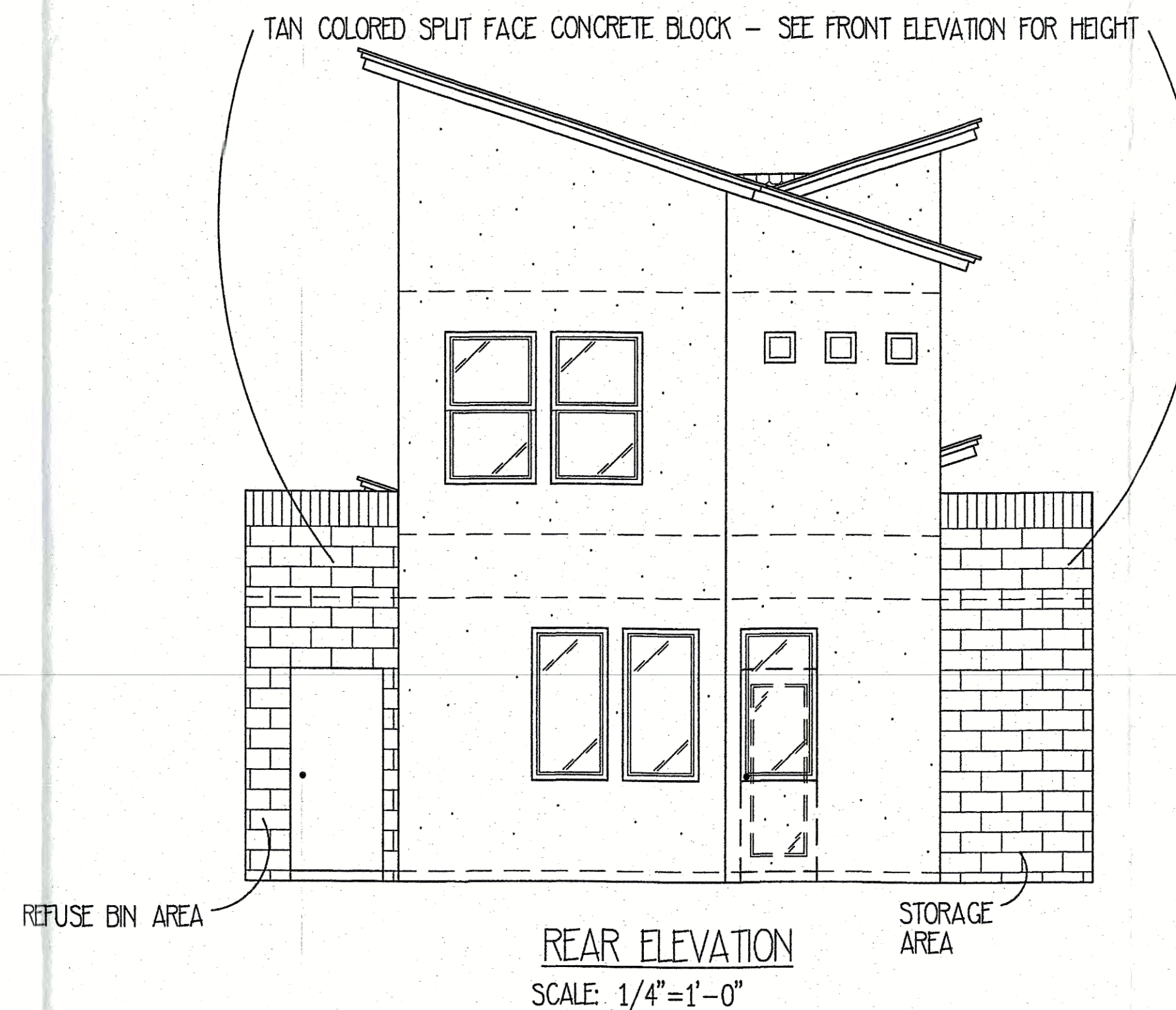


RIGHT ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

TAN COLORED SPLIT FACE CONCRETE BLOCK - SEE FRONT ELEVATION FOR HEIGHT



REAR ELEVATION
SCALE: 1/4"=1'-0"

ALL
NEW
SHEET

SHEET #
3
OF
3

ORIENTATION	MEASURED BY	1
	DESIGNED BY P.A.H.	7
	DRAFTED BY J.W.	1
	CHECKED BY M.G.	1
	REVISED:	7
SCALE	DATE	
1/4"=1'-0"	10-9-17	

PROJECT:
**DEL'S
HIDE-AWAY
TOWNHOMES**

DESCRIPTION:
ELEVATIONS

CLIENT:
**PAUL ALLEN
HOMES**

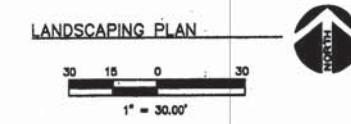
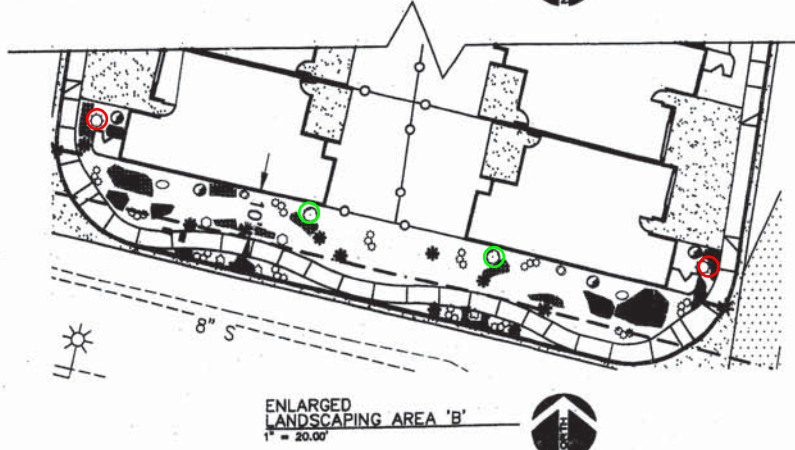
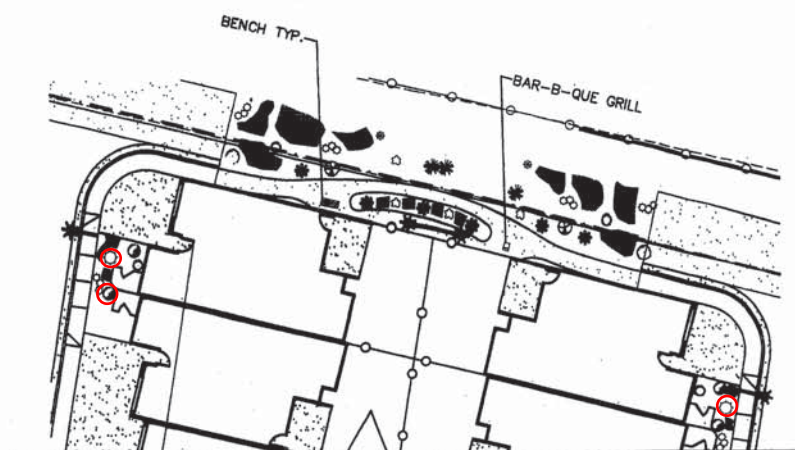
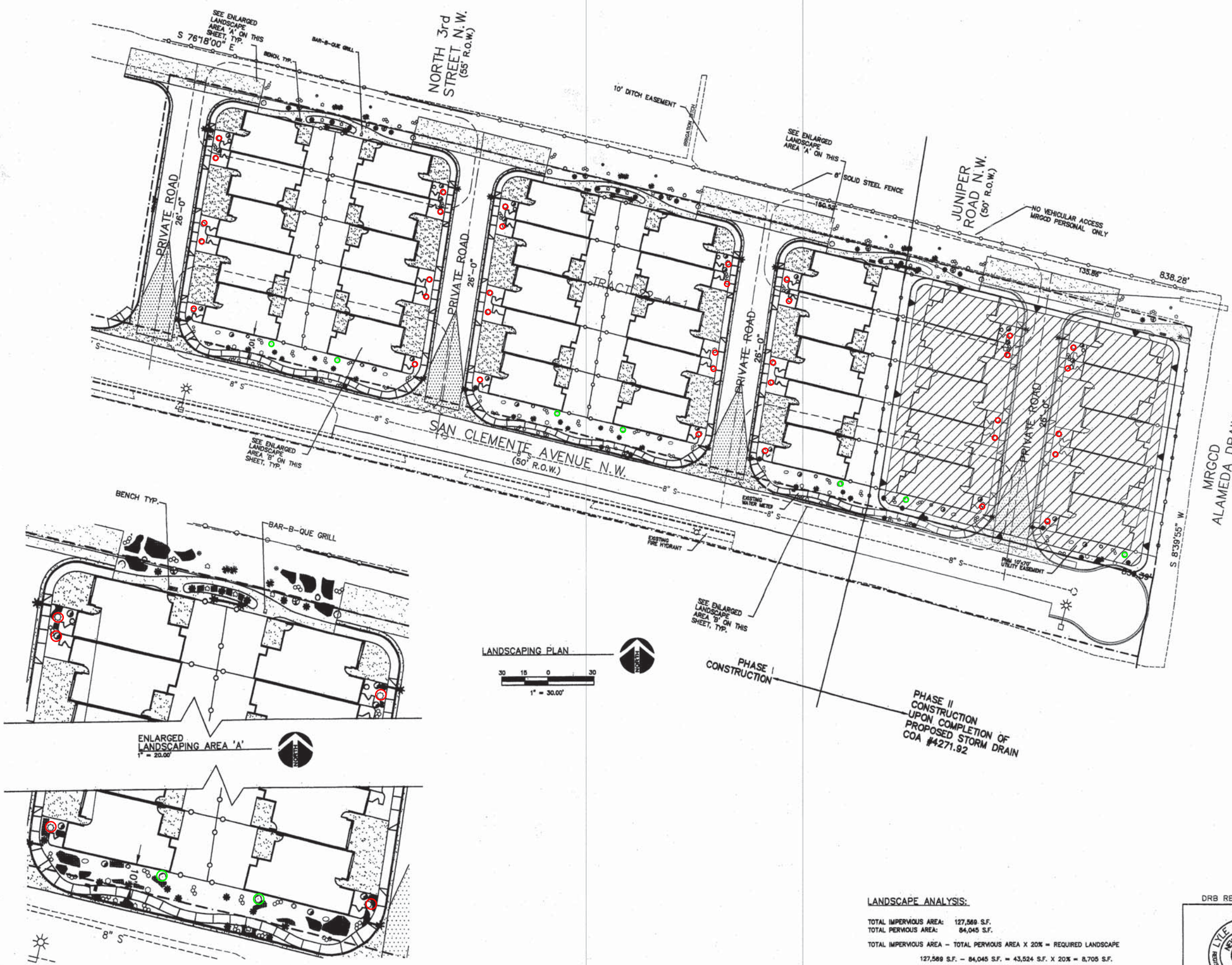


YCD DESIGNS
505-899-1199

Colors note tree types and locations per legend. Note yard locations on updated site plan.

- Landscaping General Notes:**
1. Drip Irrigation per City of Albuquerque Code.
 2. Maintenance of landscaping and irrigation system to be the responsibility of the Property Owner.
 3. The owner shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction.
 4. The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities.
 5. The owner shall not impede drainage in any way. The owner shall always maintain positive drainage away from the building.
 6. The owner shall not plant trees within 5 feet of gas lines.

Common Name	Botanical Name	Size	Mature height and spread	Symbol
Purple Flowering Plum	<i>Prunella americana</i>	Tree	15' tall x 15' spread	(Symbol)
Amelanchier	<i>Amelanchier canadensis</i>	Tree	15' tall x 15' spread	(Symbol)
Cherry Sage	<i>Salvia sp.</i>	Shrub	2' tall x 3' spread	(Symbol)
Prickly Pear Cactus	<i>Cylindropuntia cholla</i>	Shrub	2' tall x 2' spread	(Symbol)
Blackberry Sage	<i>Salvia sp.</i>	Shrub	2' tall x 2' spread	(Symbol)
Red Top Yucca	<i>Yucca sp.</i>	Shrub	2' tall x 2' spread	(Symbol)
Yucca	<i>Yucca sp.</i>	Shrub	2' tall x 2' spread	(Symbol)
Flowering Yucca	<i>Yucca sp.</i>	Shrub	2' tall x 2' spread	(Symbol)
Shrub of Paradise	<i>Conoclinium sp.</i>	Shrub	10' tall x 10' spread	(Symbol)
Hardy Purple Hydrangea	<i>Hydrangea sp.</i>	Shrub	4' tall x 4' spread	(Symbol)
Yucca	<i>Yucca sp.</i>	Shrub	2' tall x 2' spread	(Symbol)
Holly Hedges	<i>Ilex sp.</i>	Shrub	2' tall x 1'-4" spread	(Symbol)
Smart Willow	<i>Salix sp.</i>	Shrub	20' tall x 20' spread	(Symbol)
Cable Stones				(Symbol)
3/4" Gravel				(Symbol)
Courier Pine				(Symbol)



LANDSCAPE ANALYSIS:

TOTAL IMPERVIOUS AREA: 127,569 S.F.
 TOTAL PERVIOUS AREA: 84,045 S.F.

TOTAL IMPERVIOUS AREA - TOTAL PERVIOUS AREA X 20% = REQUIRED LANDSCAPE
 127,569 S.F. - 84,045 S.F. = 43,524 S.F. X 20% = 8,705 S.F.

REQUIRED LANDSCAPING: 8,705 S.F. (20%)
 PROVIDED LANDSCAPING: 11,790 S.F. (27%)

- General Notes:**
1. The intent of these drawings is to display labor and materials necessary for the completion of all work shown.
 2. In the event of an inconsistency, specifications shall take precedence over drawings.
 3. All work and materials shall be in accordance with the 1997 UBC, State and/or local codes, laws and ordinances.
 4. All dimensions are to face of wall, except windows and doors are dimensioned to center line.
 5. Verify Dimensions in the field, they will take precedence over drawings.

ARCHeTECH
 DRAFTING SERVICES
 12928 EASTRIDGE DR. N.E.
 ALBUQUERQUE, N.M. 87112
 (505)480-7423 (505)332-1748

DRB REVIEW ONLY

CONSULTANTS

ORDER: DEL'S HIDE-A-WAY PARK - REVISE
 4326 4th STREET ALBUQUERQUE, NEW MEXICO

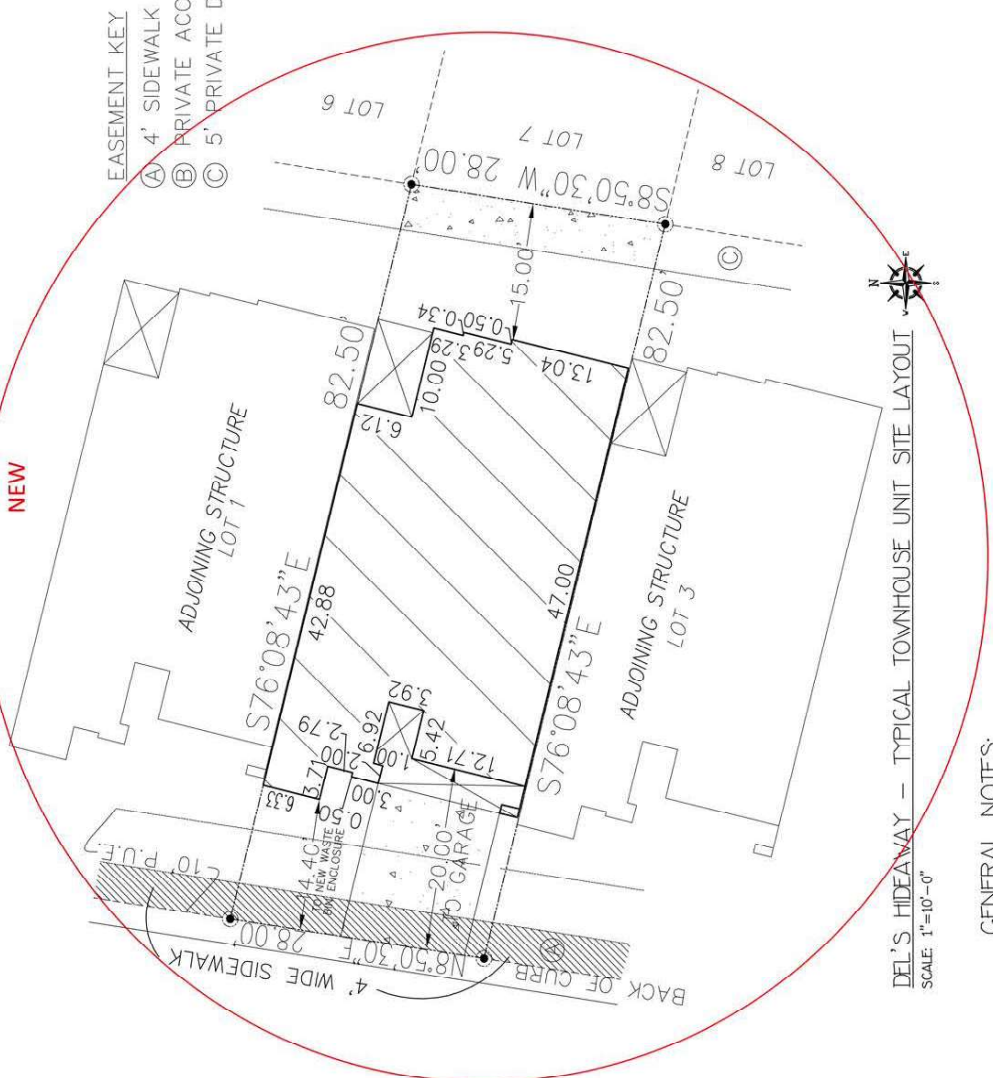
TITLE: LANDSCAPING PLAN

DATE: 4/04
 SCALE: AS SHOWN
 DESIGNED: RAR/LCL
 DRAWN: RAR/PJM

ENGINEER'S SEAL

QUICKDRAW ENGINEERING, L.L.C.
 P.O. Box 729
 Corrales, NM 87048
 Office (505) 690-0389 Fax (505) 697-0389

L1 of 6



DEL'S HIDEAWAY - TYPICAL TOWNHOUSE UNIT SITE LAYOUT
SCALE: 1"=10'-0"

GENERAL NOTES:

1. ZONING, SU-1 FOR R-T MAXIMUM 35 DWELLING UNITS PROPOSED DEVELOPMENT.
2. APPROXIMATE ACREAGE - 2.89
NUMBER OF LOTS - 1 D.U.
3. PROPOSED DENSITY - 12.1 D.U./ACRE
4. MINIMUM UNIT DIMENSIONS - 28'x82.5'
TYPICAL AREA - 2310 SQ. FT.
5. ALL STREETS AND UTILITIES IMPROVEMENTS ARE TO BE PRIVATE.
6. NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO SAN CLEMENTE.
7. OFF-STREET PARKING SHALL BE PROVIDED ON EACH LOT, AS REQUIRED BY THE ZONING CODE.
8. NO IMPROVEMENT WILL BE CONSTRUCTED IN THE IRRIGATION EASEMENT. ONLY GRAVEL AND LANDSCAPING WILL BE PLACED IN THE EASEMENT. NO CHANGES WILL BE MADE TO THE CONFIGURATION OF THE DITCH, ITS BANKS OR ITS CHECKGATE. THERE SHALL BE A 10' SEPARATION BETWEEN THE RESIDENCES AND THE IRRIGATION DITCH EASEMENT.
9. SIDEWALKS SHALL BE BUILT PER APPROVED SITE PLAN DATED APRIL 4, 2004.
10. STREET LIGHTS WILL BE INSTALLED ACCORDING TO THE DESIGN PROCESS MANUAL REQUIREMENTS FOR STREET LIGHT LOCATIONS, WITH ONE STREETLIGHT AT EACH INTERSECTION.
11. SOLID WASTE NOTE: GARBAGE AND RECYCLING BINS WILL BE PLACED ON SAN CLEMENTE. THIS INFORMATION WILL BE INCLUDED IN HOMEOWNER ASSOCIATION DOCUMENTS.

NEW

12. FIRE 1 CHECKLIST NOTES:
 - FIRE HYDRANT SUPPLY LINE: THE FIRE HYDRANT SUPPLY LINE IS A 6" WATER LINE LOCATED ON THE SOUTH SIDE OF SAN CLEMENTE
 - DEAD END: DEAD END STREETS RANGE IN LENGTH FROM 151.51 FEET TO 153.14 FEET. A HAMMERHEAD TURNAROUND WAS APPROVED ON THE ORIGINAL PLAN (APRIL 2004) AND PLAT (JANUARY 2006), PROJECT NUMBER 1002123.
 - ACCESS ROADS ARE ASPHALT CONCRETE WITH 4" COMPACTED SUB BASE AND 6" COMPACTED SUB GRADE AS APPROVED ON THE ORIGINAL PLAN
 - ALL ROADS ARE LESS THAN 10 PERCENT IN GRADE.
 - NO SECURITY GATES THAT EXTEND ACROSS FIRE APPARATUS ACCESS ROADS ARE TO BE INSTALLED ON THE SITE

- EASEMENT KEY**
- (A) 4' SIDEWALK ACCESS EASEMENT
 - (B) PRIVATE ACCESS AND SIDEWALK EASEMENT
 - (C) 5' PRIVATE DRAINAGE EASEMENT

PROJECT NUMBER: PR-2020-004225 - OLD EPC/DRB CASE #1002123
APPLICATION NUMBER: SI-2020-00717

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO. IF YES, THEN A SET OF APPROVED DFC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

ADMINISTRATIVE AMENDMENT SITE DEVELOPMENT PLAN FOR LOTS 1 thru 35 AND TRACTS A, B-1, C, D, E, F, G, H, J DEL'S HIDE-A-WAY

APPROVALS

THIS PLAN IS CONSISTENT WITH THE ZONE MAP AMENDMENT APPROVAL BY THE ENVIRONMENT PLANNING COMMISSION (EPC) ON JANUARY 17, 2003 AND THAT THE FINDINGS AND CONDTIONS IN THE OFFICIAL NOTIFICATIONS OF DECISION HAVE BEEN COMPLIED WITH.

RESIDENTIAL BUILDING DESIGN STANDARDS

THE FOLLOWING GUIDELINES ARE TO BE UTILIZED FOR TOWNHOUSES DESIGNED AND BUILT WITHIN THIS PROJECT.

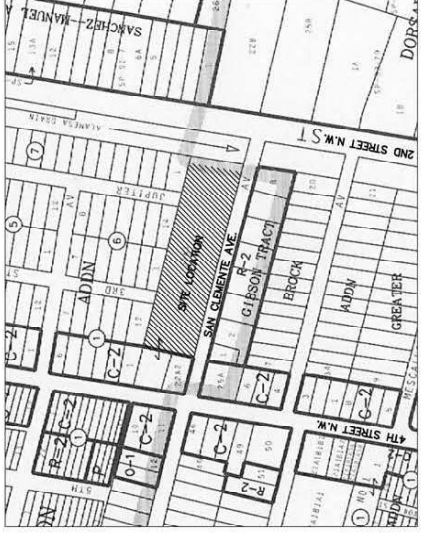
- ARCHITECTURAL STYLE: CONTEMPORARY WITH MULTI-COLORED STUCCO ACCENTS
- SETBACK REQUIREMENTS:
 - FRONT YARD: PER SITE PLAN APPROVED 04/28/2004 DRIVEWAYS SHALL CONTINUE TO HAVE 20' SETBACK
 - REAR YARD: 15' MIN. EXCEPT AS FURTHER DEFINED IN THE R-T RESIDENTIAL ZONE FOR HOUSES WITH OFFSET REAR LOT LINES
 - SIDE YARD: NONE REQUIRED EXCEPT THERE SHALL BE 10' ON THE STREET SIDE OF CORNER UNITS 5,10,15,20,25,30 AND 35
- BUILDING HEIGHT RESTRICTIONS: STRUCTURES SHALL NOT EXCEED 26' IN HEIGHT, AS DEFINED IN THE ZONING CODE AND WITH EXCEPTION PROVIDED IN PARAGRAH 14-16-3-3

NEW

- BUILDING COLOR SCHEMES: THE FOLLOWING COLOR SCHEMES SHALL BE UTILIZED: "DRY" STUCCO NUMBERS IN THE FOLLOWING CONFIGURATION: DARKER STUCCO COLOR - LIGHTER STUCCO COLOR
 - 81582, CORAL GABLES - 110, ASH
 - 63149, HATTERAS - 121, SANDALWOOD
 - 135, SAHARA - 100, COLONIAL WHITE
 - 81585, CHARLESTON - 30, SOAPSTONE
 - 81584, SUFFOLK - 90, CANDELIGHT
 - 63152, ASHEVILLE - 117, FAWN
 ADDRESS PLATES AND METAL EYEBROW STRUCTURES SHALL BE PAINTED BRONZE PROPERTY LINE WALLS SHALL BE TAN COLORED, SMOOTH BLOCK CPU STYLE
- LANDSCAPING INSTALL SHALL BE:
 - EACH LOT, FRONT YARD COMMON SOUTHWEST/DESERT PACKAGE
 - ~~30 - 15 GALLON TREE~~ 44 15 GALLON TREES, 35 IN FRONT YARDS, 9 IN COMMON AREAS
 - 60 - 5 GALLON SHRUBS
 - 7 - 2 GALLON SHRUBS
 - 108 - 1 GALLON SHRUBS
 - 2"-4" - ACCENT COBBLESTONE, AS PER LANDSCAPE PLAN
 - 3/4" - GRAY CRUSHED STONE ON PLATIC, AS PER LANDSCAPE PLAN

F. PEDESTRIAN ACCESS SHALL BE PROVIDED BY SIDEWALKS CONSTRUCTED AS SHOWN ON SITE PLAN

G. PRIVACY WALLS: EACH LOT SHALL BE PROVIDED WITH CONCRETE BLOCK PRIVACY WALLS ON THE COMMON PROPERTY LINE. THE HEIGHT OF THE WALLS SHALL CONFORM TO THE ZONING CODE



VICINITY MAP
NOT TO SCALE

DESIGN CRITERIA:

- ZONING DESIGN CRITERIA
 - LEGAL DESCRIPTION - LOTS 1 thru 35 and TRACTS A,B-1,C,D,E,F,G,H & J DELS HIDE-A-WAY
 - ZONING CLASSIFICATION - SU-1 FOR R-T USES
 - ACTUAL USE - ATTACHED RESIDENTIAL TOWNHOUSE
- ARCHITECTURAL DESIGN CRITERIA
 - OCCUPANCY GROUP R-3
 - TYPE CONSTRUCTION V-N
 - FLOOR AREA - GARAGE 270.28 SQ. FT.
DOWNSTAIRS HEATED 976.12 SQ. FT.
UPSTAIRS HEATED 423.91 SQ. FT.
TOTAL HEATED 1400.03 SQ. FT.

PARKING ANALYSIS:

- REQUIRED PARKING SPACES: BASED ON R-T ZONING
1 SPACE PER BATH BUT NOT LESS THAN 1.5 SPACES PER DWELLING
- PROVIDED PARKING SPACES: 2 SPACES PER DWELLING
35 DWELLINGS
70 PARKING SPACES PROVIDED

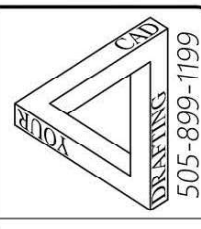
PROJECT: **DEL'S HIDEAWAY**

DESCRIPTION: **SITE PLAN SINGLE UNIT**

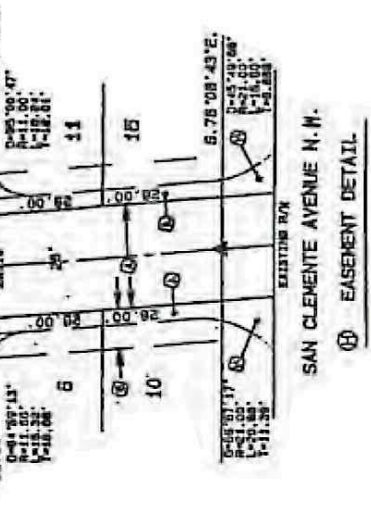
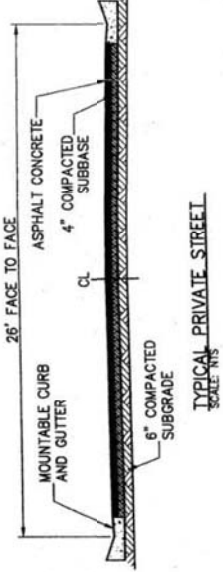
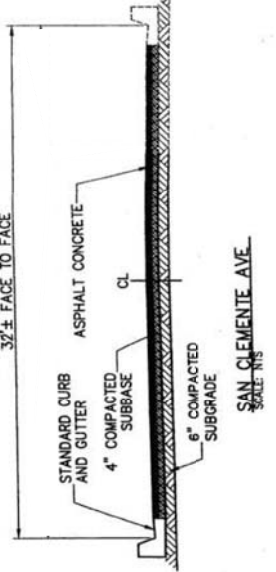
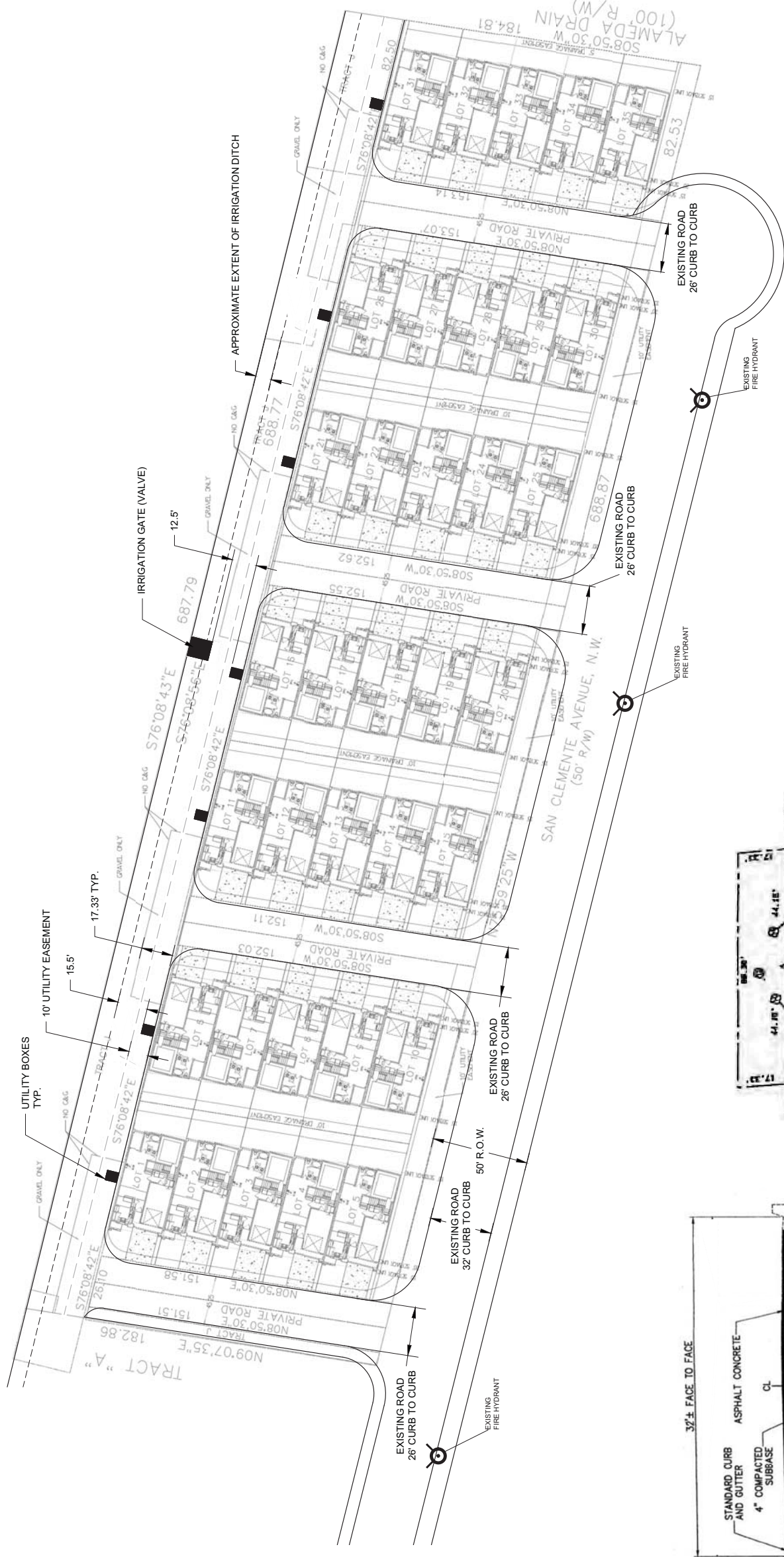
CLIENT: **TWILIGHT HOMES**

SHEET # **01**
OF **03**

MEASURED BY	R 2
DESIGNED BY	YCD F 0
DRAFTED BY	M.G. R 0
CHECKED BY	M.G. E 0
REVISED:	N 8
SCALE	DATE
AS NOTED	10-2-20



505-899-1199



1 SITE PLAN
 1" = 30'-0"



CHECKLIST NOTES

- (6) FIRE HYDRANT SUPPLY LINE: THE FIRE HYDRANT SUPPLY LINE IS A 6" WATER LINE LOCATED ON THE SOUTH SIDE OF SAN CLEMENTE.
- (20) DEAD END: DEAD END STREETS RANGE IN LENGTH FROM 151.51 FEET TO 153.14 FEET. A HAMMERHEAD TURNAROUND WAS APPROVED ON THE ORIGINAL PLAN (APRIL 2004) AND PLAT (JANUARY 2006), PROJECT NUMBER 1002123.
- (21) ACCESS AND LOADING: ACCESS ROADS ARE ASPHALT CONCRETE WITH 4" COMPACTED SUBBASE AND 6" COMPACTED SUBGRADE AS APPROVED ON THE ORIGINAL PLAN.
- (23) GRADE: ALL ROADS ARE LESS THAN 10 PERCENT IN GRADE.
- (24) SECURITY GATE: NO SECURITY GATES THAT EXTEND ACROSS FIRE APPARATUS ACCESS ROADS ARE TO BE INSTALLED ON THE SITE.

SOLID WASTE NOTE

GARBAGE AND RECYCLING BINS WILL BE PLACED ON SAN CLEMENTE. THIS INFORMATION WILL BE INCLUDED IN HOMEOWNER ASSOCIATION DOCUMENTS.

Approved for Access Solid Waste Department
Herman Gallegos 09-28-20

Herman Gallegos