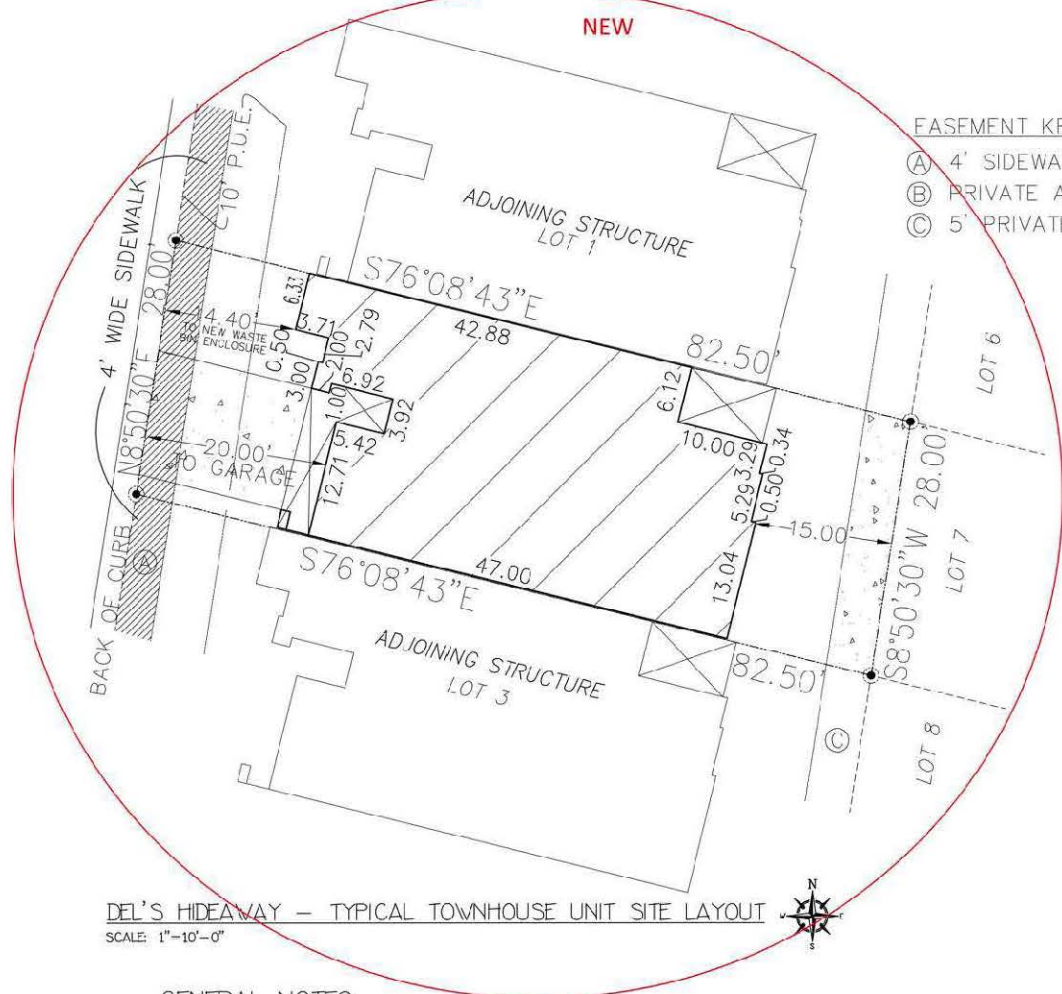


ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE



- EASEMENT KEY**
- (A) 4' SIDEWALK ACCESS EASEMENT
 - (B) PRIVATE ACCESS AND SIDEWALK EASEMENT
 - (C) 5' PRIVATE DRAINAGE EASEMENT

PROJECT NUMBER: PR-2020-004225 - OLD FPC/DRB CASE #1002123
 APPLICATION NUMBER: SI-2020-00717

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

ADMINISTRATIVE AMENDMENT SITE DEVELOPMENT PLAN FOR LOTS 1 thru 35 AND TRACTS A, B-1, C, D, E, F, G, H, J DEL'S HIDE-A-WAY

APPROVALS
 THIS PLAN IS CONSISTENT WITH THE ZONE MAP AMENDMENT APPROVAL BY THE ENVIRONMENT PLANNING COMMISSION (EPC) ON JANUARY 17, 2003 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATIONS OF DECISION HAVE BEEN COMPLIED WITH.



VICINITY MAP
 NOT TO SCALE

DEL'S HIDEAWAY - TYPICAL TOWNHOUSE UNIT SITE LAYOUT
 SCALE: 1"=10'-0"

GENERAL NOTES:

1. ZONING, SU-1 FOR R-T MAXIMUM 35 DWELLING UNITS PROPOSED DEVELOPMENT.
2. APPROXIMATE ACREAGE - 2.89
 NUMBER OF LOTS - 1 D.U.
 PROPOSED DENSITY - 12.1 D.U./ACRE
3. MINIMUM UNIT DIMENSIONS - 28'x82.5'
 TYPICAL AREA - 2310 SQ. FT.
4. ALL STREETS AND UTILITIES IMPROVEMENTS ARE TO BE PRIVATE.
5. NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO SAN CLEMENTE.
6. OFF-STREET PARKING SHALL BE PROVIDED ON EACH LOT, AS REQUIRED BY THE ZONING CODE.
7. NO IMPROVEMENT WILL BE CONSTRUCTED IN THE IRRIGATION EASEMENT. ONLY GRAVEL AND LANDSCAPING WILL BE PLACED IN THE EASEMENT. NO CHANGES WILL BE MADE TO THE CONFIGURATION OF THE DITCH, ITS BANKS OR ITS CHECKGATE. THERE SHALL BE A 10' SEPARATION BETWEEN THE RESIDENCES AND THE IRRIGATION DITCH EASEMENT.
8. SIDEWALKS SHALL BE BUILT PER APPROVED SITE PLAN DATED APRIL 4, 2004. **NEW**
9. STREET LIGHTS WILL BE INSTALLED ACCORDING TO THE DESIGN PROCESS MANUAL REQUIREMENTS FOR STREET LIGHT LOCATIONS, WITH ONE STREETLIGHT AT EACH INTERSECTION
10. SOLID WASTE NOTE: GARBAGE AND RECYCLING BINS WILL BE PLACED ON SAN CLEMENTE. THIS INFORMATION WILL BE INCLUDED IN HOMEOWNER ASSOCIATION DOCUMENTS.

FIRE 1 CHECKLIST NOTES:

- FIRE HYDRANT SUPPLY LINE: THE FIRE HYDRANT SUPPLY LINE IS A 6" WATER LINE LOCATED ON THE SOUTH SIDE OF SAN CLEMENTE
- DEAD END: DEAD END STREETS RANGE IN LENGTH FROM 151.51 FEET TO 153.14 FEET. A HAMMERHEAD TURNAROUND WAS APPROVED ON THE ORIGINAL PLAN (APRIL 2004) AND PLAT (JANUARY 2006), PROJECT NUMBER 1002123.
- ACCESS ROADS ARE ASPHALT CONCRETE WITH 4" COMPACTED SUB BASE AND 6" COMPACTED SUB GRADE AS APPROVED ON THE ORIGINAL PLAN
- ALL ROADS ARE LESS THAN 10 PERCENT IN GRADE.
- NO SECURITY GATES THAT EXTEND ACROSS FIRE APPARATUS ACCESS ROADS ARE TO BE INSTALLED ON THE SITE

RESIDENTIAL BUILDING DESIGN STANDARDS

THE FOLLOWING GUIDELINES ARE TO BE UTILIZED FOR TOWNHOUSES DESIGNED AND BUILT WITHIN THIS PROJECT.

- A. ARCHITECTURAL STYLE:
 CONTEMPORARY WITH MULTI-COLORED STUCCO ACCENTS
- B. SETBACK REQUIREMENTS:
 FRONT YARD: PER SITE PLAN APPROVED 04/28/2004
 DRIVEWAYS SHALL CONTINUE TO HAVE 20' SETBACK
 REAR YARD: 15' MIN. EXCEPT AS FURTHER DEFINED IN THE R-T RESIDENTIAL ZONE FOR HOUSES WITH OFFSET REAR LOT LINES
 SIDE YARD: NONE REQUIRED EXCEPT THERE SHALL BE 10' ON THE STREET SIDE OF CORNER UNITS 5,10,15,20,25,30 AND 35
- C. BUILDING HEIGHT RESTRICTIONS:
 STRUCTURES SHALL NOT EXCEED 26' IN HEIGHT, AS DEFINED IN THE ZONING CODE AND WITH EXCEPTION PROVIDED IN PARAGRAPH 14-16-3-3

D. BUILDING COLOR SCHEMES: **NEW**
 THE FOLLOWING COLOR SCHEMES SHALL BE UTILIZED:
 "DRIVIT" STUCCO NUMBERS IN THE FOLLOWING CONFIGURATION:
 DARKER STUCCO COLOR - LIGHTER STUCCO COLOR

81582, CORAL GABLES - 110, ASH
63147, HATTERAS - 121, SANDALWOOD
135, SAHARA - 100, COLONIAL WHITE
81585, CHARLESTON - 30, SOAPSTONE
81584, SUFFOLK - 90, CANDELIGHT
63152, ASHEVILLE - 117, FAWN

ADDRESS PLATES AND METAL EYEBROW STRUCTURES SHALL BE PAINTED BRONZE
 PROPERTY LINE WALLS SHALL BE TAN COLORED, SMOOTH BLOCK CMU STYLE

E. LANDSCAPING INSTALL SHALL BE:
 EACH LOT, FRONT YARD COMMON SOUTHWEST/DESERT PACKAGE
~~30 - 15 GALLON TREES~~ **44 15 GALLON TREES, 35 IN FRONT YARDS, 9 IN COMMON AREAS**
 60 - 5 GALLON SHRUBS
 7 - 2 GALLON SHRUBS
 108 - 1 GALLON SHRUBS
 2"-4" - ACCENT COBBLESTONE, AS PER LANDSCAPE PLAN
 3/4" - GRAY CRUSHED STONE ON PLATIC, AS PER LANDSCAPE PLAN

F. PEDESTRIAN ACCESS SHALL BE PROVIDED BY SIDEWALKS CONSTRUCTED AS SHOWN ON SITE PLAN

G. PRIVACY WALLS:
 EACH LOT SHALL BE PROVIDED WITH CONCRETE BLOCK PRIVACY WALLS ON THE COMMON PROPERTY LINE. THE HEIGHT OF THE WALLS SHALL CONFORM TO THE ZONING CODE

DESIGN CRITERIA:

- A. ZONING DESIGN CRITERIA
 1. LEGAL DESCRIPTION - LOTS 1 thru 35 and TRACTS A,B-1,C,D,E,F,G,H & J DELS HIDE-A-WAY
 2. ZONING CLASSIFICATION - SU-1 FOR R-T USES
 3. ACTUAL USE - ATTACHED RESIDENTIAL TOWNHOUSE
- B. ARCHITECTURAL DESIGN CRITERIA
 1. OCCUPANCY GROUP R-3
 2. TYPE CONSTRUCTION V-N
 3. FLOOR AREA

NEW	- GARAGE	270.28 SQ. FT.
	- DOWNSTAIRS HEATED	976.12 SQ. FT.
	- UPSTAIRS HEATED	423.91 SQ. FT.
	- TOTAL HEATED	1400.03 SQ. FT.
	- TOTAL AREA	1670.31 SQ. FT.

PARKING ANALYSIS:

REQUIRED PARKING SPACES: BASED ON R-T ZONING
 1 SPACE PER BATH BUT NOT LESS THAN 1.5 SPACES PER DWELLING

2 SPACES PER DWELLING
 35 DWELLINGS
 70 PARKING SPACES REQUIRED

PROVIDED PARKING SPACES: 2 SPACES PER DWELLING
 35 DWELLINGS
 70 PARKING SPACES PROVIDED

PROJECT:
DEL'S HIDEAWAY

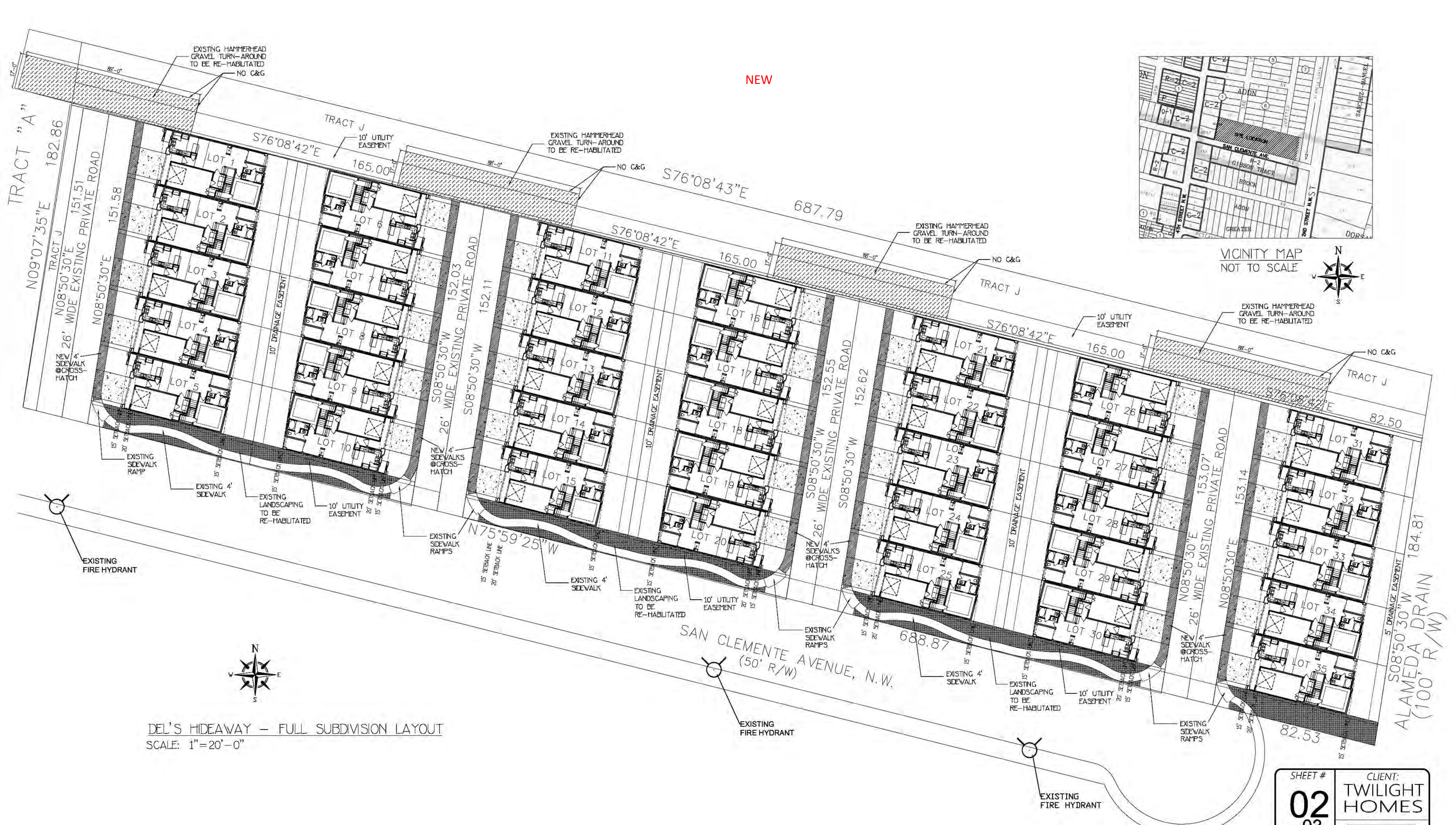
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SITE PLAN SINGLE UNIT

CLIENT:
TWILIGHT HOMES

SHEET #
01
 OF 03

MEASURED BY		R	2
DESIGNED BY	YCD	E	0
DRAFTED BY	M.G.	R	0
CHECKED BY	M.G.	E	0
REVISED:		N	8
		C	0
		E	0
		#	0
SCALE	DATE		
AS NOTED	10-2-20		

505-899-1199



NEW



VICINITY MAP
NOT TO SCALE



DEL'S HIDEAWAY - FULL SUBDIVISION LAYOUT
SCALE: 1"=20'-0"



PROJECT:
DEL'S HIDEAWAY
DESCRIPTION:
SITE PLAN
ALL PROPOSED
UNITS

ORIENTATION
MEASURED BY
DESIGNED BY YCD
DRAFTED BY M.G.
CHECKED BY M.G.
REVISED:
SCALE AS NOTED
DATE 10-21-20

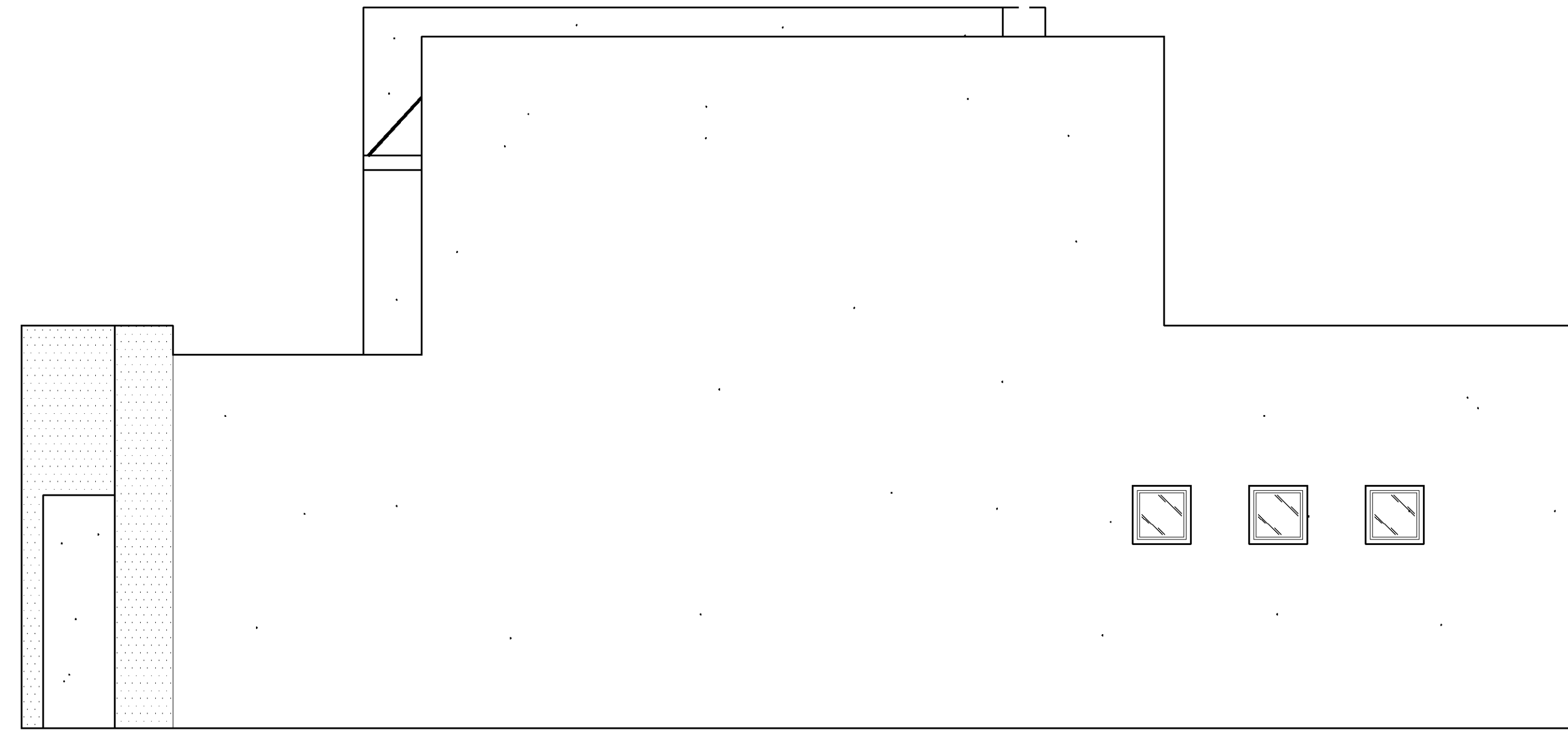
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SHEET #
02
OF 03

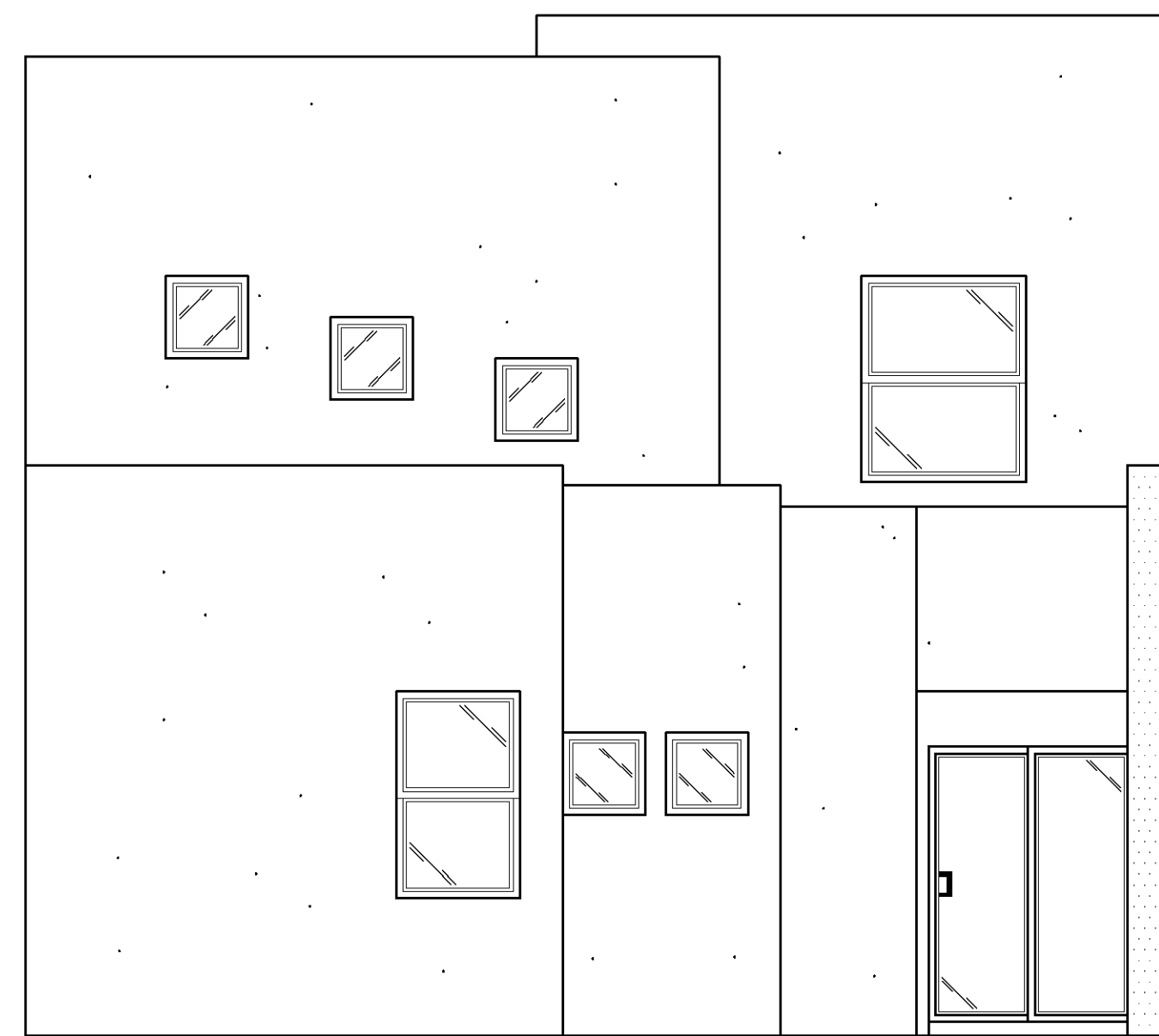
CLIENT:
TWILIGHT HOMES



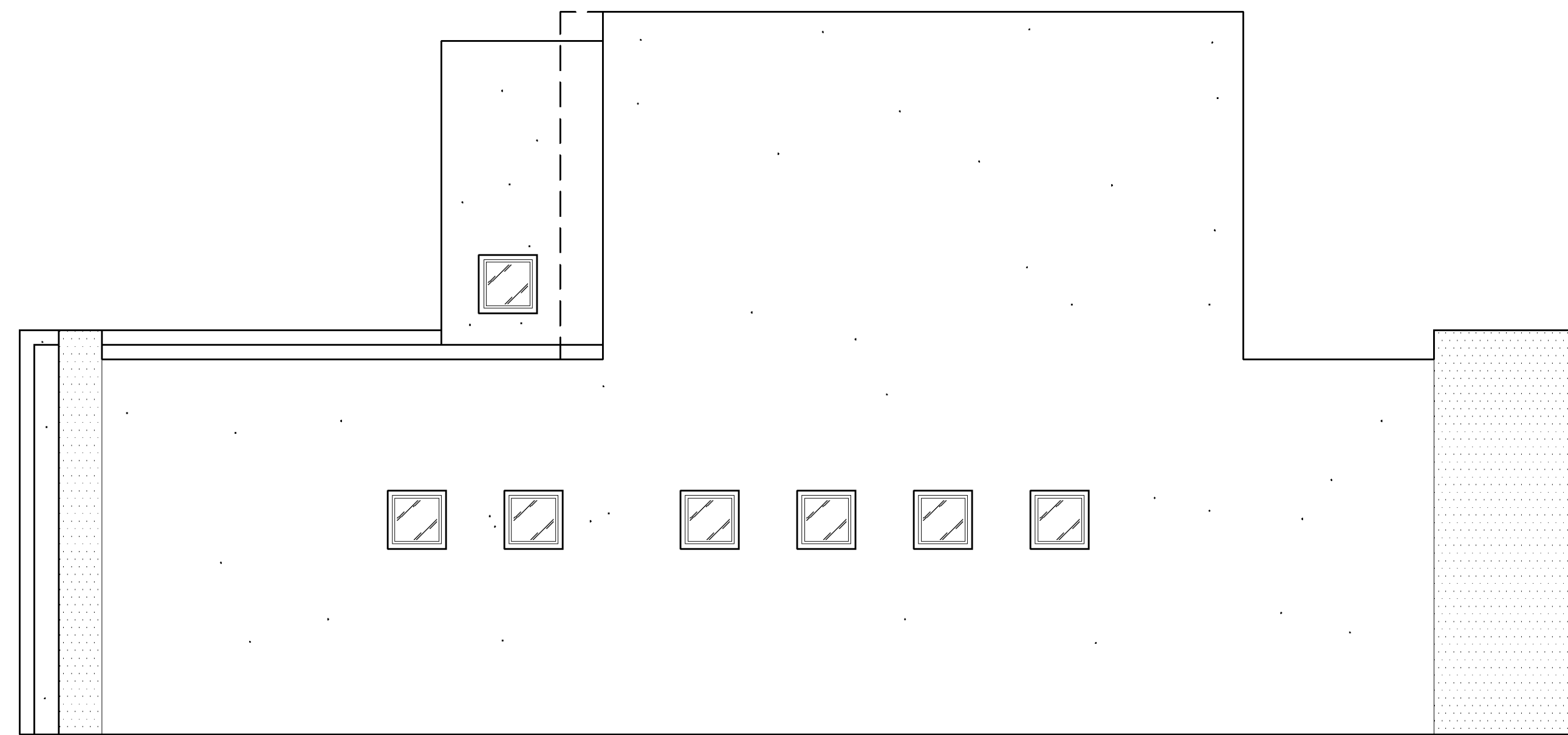
FRONT ELEVATION



RIGHT ELEVATION - STREET SIDE OPTION



REAR ELEVATION - STREET SIDE OPTION



LEFT ELEVATION - STREET SIDE OPTION

PROJECT:
DEL'S
HIDEAWAY

DESCRIPTION:
SINGLE
UNIT
ELEVATIONS

CLIENT:
TWILIGHT
HOMES

SHEET #
03
OF 03

MEASURED BY		R E F E R E N C E #
DESIGNED BY	YCD	
DRAFTED BY	M.G.	
CHECKED BY	M.G.	
REVISED:		
SCALE	DATE	
1/4"=1'-0"	8-4-20	



Colors note tree types and locations per legend. Note yard locations on updated site plan.

- Landscaping General Notes:**
1. Drip Irrigation per City of Albuquerque Code.
 2. Maintenance of landscaping and irrigation system to be the responsibility of the Property Owner.
 3. The owner shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction.
 4. The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities.
 5. The owner shall not impede drainage in any way. The owner shall always maintain positive drainage away from the building.
 6. The owner shall not plant trees within 5 feet of gas lines.

PLANTING LEGEND

Common Name	Botanical Name	Size	Mature height and spread	Symbol
Purple Flowering Plum	<i>Prunella americana</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Apple Blossom Tree	<i>Malus domestica</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Cherry Sage	<i>Prunella angustifolia</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Prickly Pear Cactus	<i>Cylindropuntia cholla</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Blackberry Sage	<i>Salvia atrovirens</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Red Top Yucca	<i>Yucca filamentosa</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Yucca	<i>Yucca filifera</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Flowering Yucca	<i>Yucca filamentosa</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Shrub of Paradise	<i>Conoclinium octocoloratum</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Hardy Purple Hydrangea	<i>Hydrangea macrophylla</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Yucca	<i>Yucca filamentosa</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Holly Hedges	<i>Ilex</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Smart Willow	<i>Salix amygdaloides</i>	Tree 10'	10' tall x 10' spread	(Symbol)
Cable Stones				(Symbol)
1/4" Gravel				(Symbol)
Crusher Stone				(Symbol)

- General Notes:**
1. The intent of these drawings is to display labor and materials necessary for the completion of all work shown.
 2. In the event of an inconsistency, specifications shall take precedence over drawings.
 3. All work and materials shall be in accordance with the 1997 UBC, State and/or local codes, laws and ordinances.
 4. All dimensions are to face of wall, except windows and doors are dimensioned to center line.
 5. Verify Dimensions in the field, they will take precedence over drawings.

ARCHeTECH
DRAFTING SERVICES
12928 EASTRIDGE DR. N.E.
ALBUQUERQUE, N.M. 87112
(505)480-7423 (505)332-1748

LANDSCAPE ANALYSIS:

TOTAL IMPERVIOUS AREA: 127,569 S.F.
TOTAL PERVIOUS AREA: 84,045 S.F.

TOTAL IMPERVIOUS AREA - TOTAL PERVIOUS AREA X 20% = REQUIRED LANDSCAPE
127,569 S.F. - 84,045 S.F. = 43,524 S.F. X 20% = 8,705 S.F.

REQUIRED LANDSCAPING: 8,705 S.F. (20%)
PROVIDED LANDSCAPING: 11,790 S.F. (27%)

DRB REVIEW ONLY

CONSULTANTS

ORDER: DEL'S HIDE-A-WAY PARK - REVISE
4326 4th STREET ALBUQUERQUE, NEW MEXICO

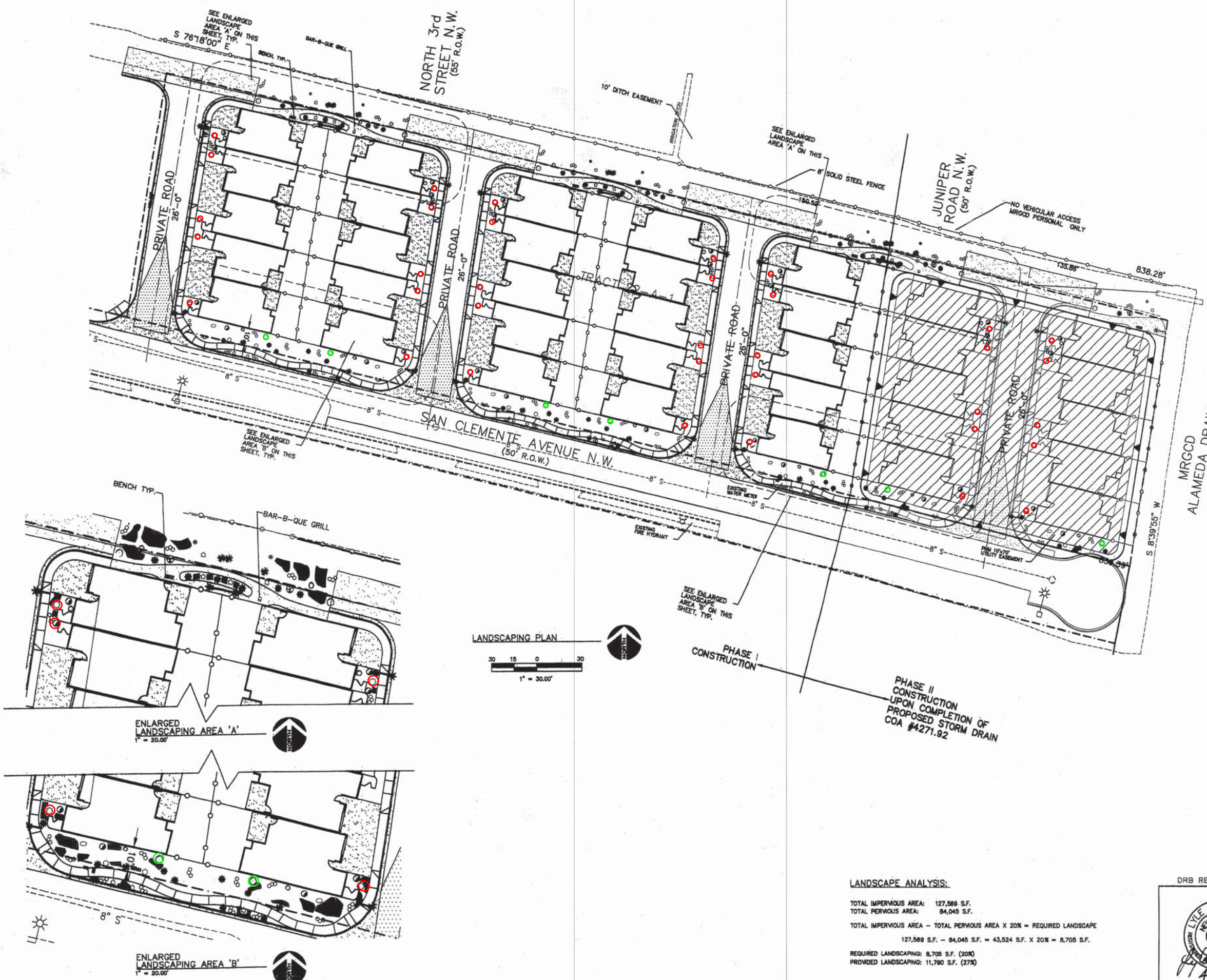
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DATE: 4/04
SCALE: AS SHOWN
DESIGNED: RAR/LCL
DRAWN: RAR/PJM

ENGINEER'S SEAL

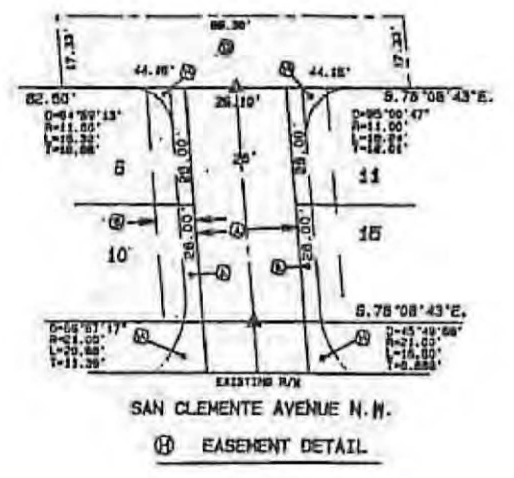
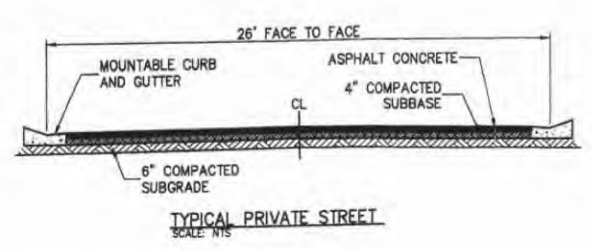
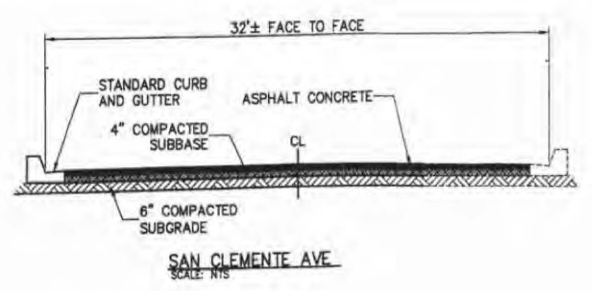
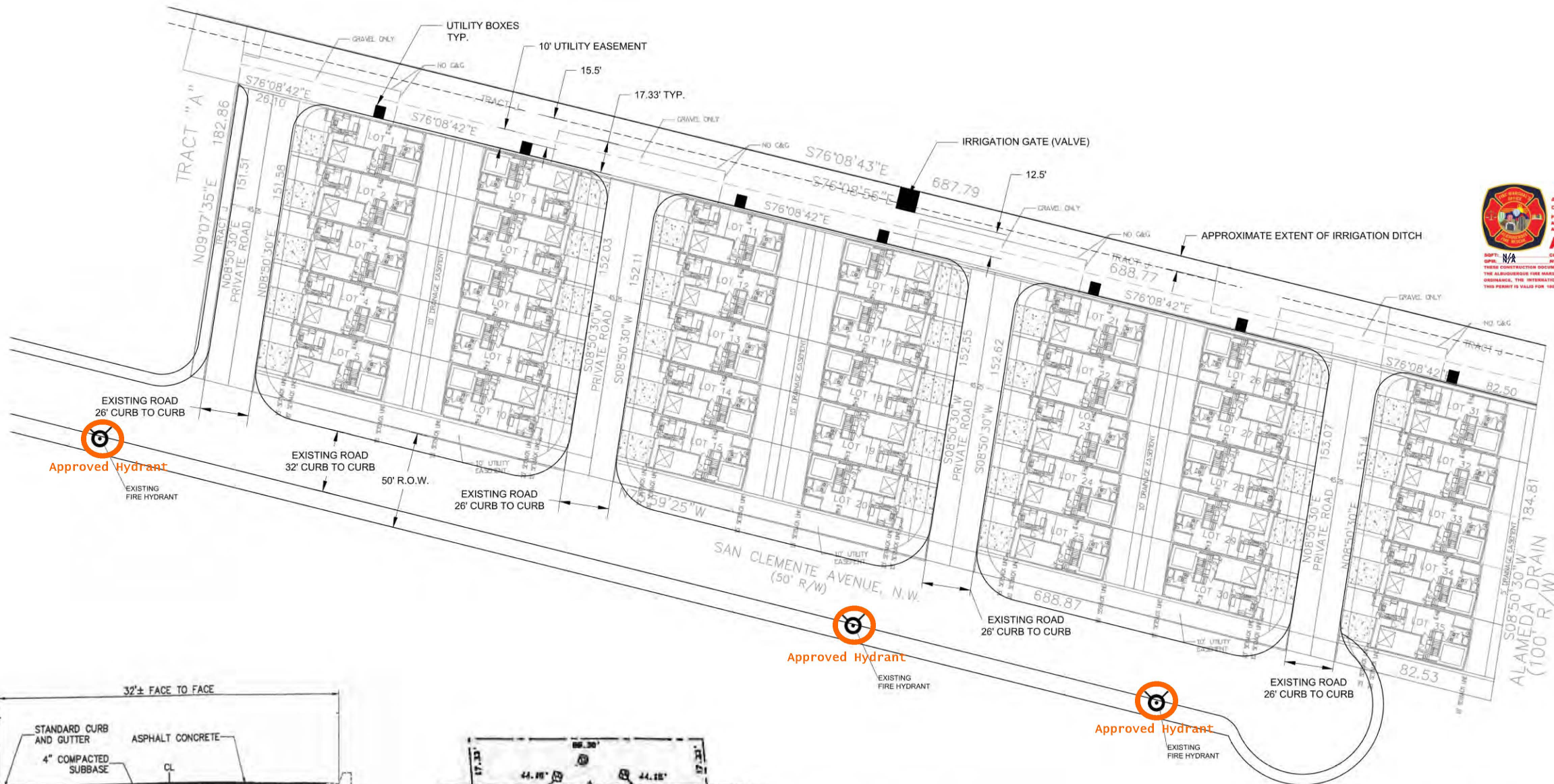
QUICKDRAW ENGINEERING, L.L.C.
P.O. Box 729
Corralitos, NM 87048
Office (505) 690-0389 Fax (505) 697-0389

L1 of 6



PHASE I CONSTRUCTION

PHASE II CONSTRUCTION UPON COMPLETION OF PROPOSED STORM DRAIN COA #4271.92



SITE PLAN
1" = 30'-0"

CHECKLIST NOTES

- (6) **FIRE HYDRANT SUPPLY LINE:** THE FIRE HYDRANT SUPPLY LINE IS A 6" WATER LINE LOCATED ON THE SOUTH SIDE OF SAN CLEMENTE.
- (20) **DEAD END:** DEAD END STREETS RANGE IN LENGTH FROM 151.51 FEET TO 153.14 FEET. A HAMMERHEAD TURNAROUND WAS APPROVED ON THE ORIGINAL PLAN (APRIL 2004) AND PLAT (JANUARY 2006), PROJECT NUMBER 1002123.
- (21) **ACCESS AND LOADING:** ACCESS ROADS ARE ASPHALT CONCRETE WITH 4" COMPACTED SUBBASE AND 6" COMPACTED SUBGRADE AS APPROVED ON THE ORIGINAL PLAN.
- (23) **GRADE:** ALL ROADS ARE LESS THAN 10 PERCENT IN GRADE.
- (24) **SECURITY GATE:** NO SECURITY GATES THAT EXTEND ACROSS FIRE APPARATUS ACCESS ROADS ARE TO BE INSTALLED ON THE SITE.

DEL'S HIDEAWAY - TWILIGHT HOMES
SAN CLEMENTE AVE NW
ALBUQUERQUE, NM 87107

DATE: 09/16/2020

PROJECT: 2021_021

SHEET TITLE

SITE PLAN
SHEET 1 OF 1