



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Ian Smith on behalf of AMRI		Phone: 505-948-4320
Address: 4200 Balloon Park Rd. NE		Email: ian.smith@amriglobal.com
City: Albuquerque	State: New Mexico	Zip: 87109
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Requesting a Minor Amendment to the site plan to allow for 8-foot fencing around entire property for the purpose of hardening the physical security of the site.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: See attached IDO Zone Atlas Page	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 4200 Balloon Park Rd. NE	Between:	and:
---	----------	------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: <i>Ian Smith</i>	Date: 08-11-20
Printed Name: Ian Smith	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-00802	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2020-004308

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.


MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

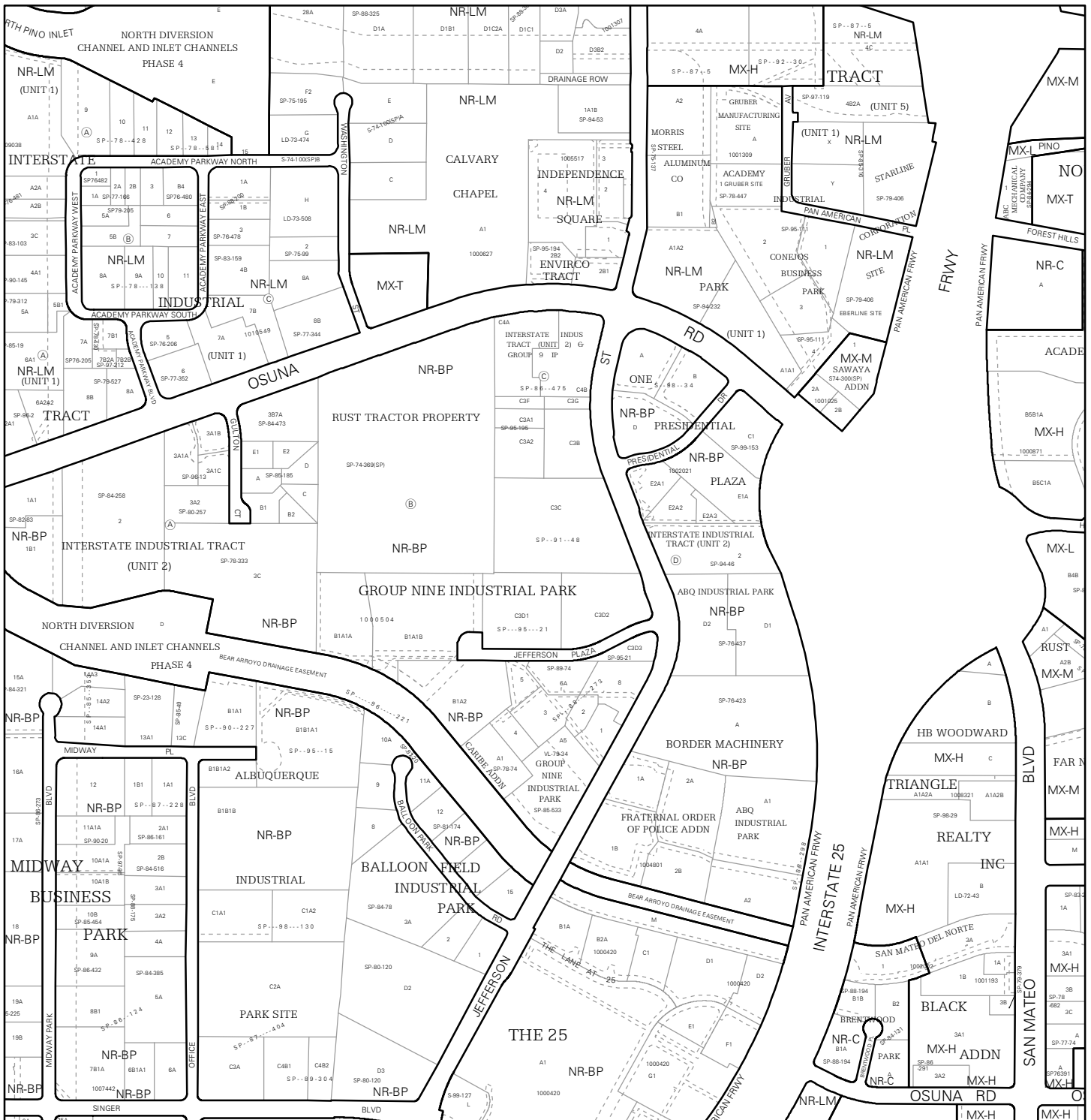
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: <i>lan Smith</i></p>	<p>Date: 08-11-20</p>
<p>Printed Name: Ian Smith</p>	<p><input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number: PR-2020-004308</p>	<p>Case Numbers: SI-2020-00802</p>
<p>Staff Signature:</p>	
<p>Date:</p>	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

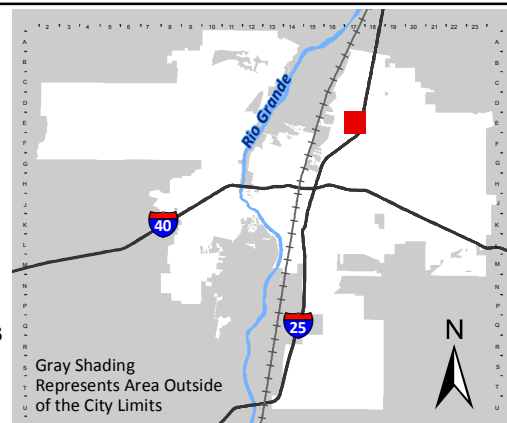
IDO Zone Atlas May 2018




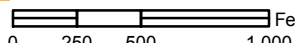
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
E-17-Z

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone







Ian Smith, Plant Mechanical Engineer
AMRI
505-948-4320
4200 Balloon Park Rd. NE

To whom it may concern,

The purpose of this letter is justify the need for a minor administrative amendment for AMRI's property located at 4200 Balloon Park Rd. NE. AMRI is a pharmaceutical Contract Development and Manufacturing Organization (CDMO). There are four properties owned by AMRI in Albuquerque, three of which are located on Balloon Park Road. Some of the pharmaceuticals manufactured at AMRI are DEA Scheduled and Listed substances which requires that the facility located at 4200 Balloon Park Rd. NE maintain an active DEA manufacturing registration.

In January of 2019, AMRI received a Security Assessment from the Pinkerton Private Security Contractor which covered the state of the physical security at the AMRI Albuquerque locations. This Security Assessment was requested to help fulfil the requirements to maintain the active DEA manufacturing registration. The assessment determined that there was inadequate physical security at all four properties. Pinkerton recommended that a complete, security grade barrier be erected around the 4200 Balloon Park property.

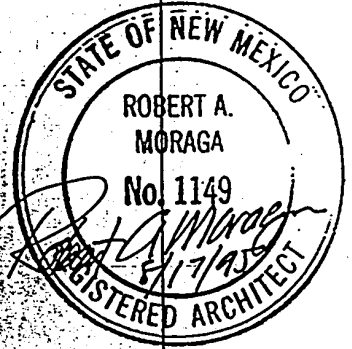
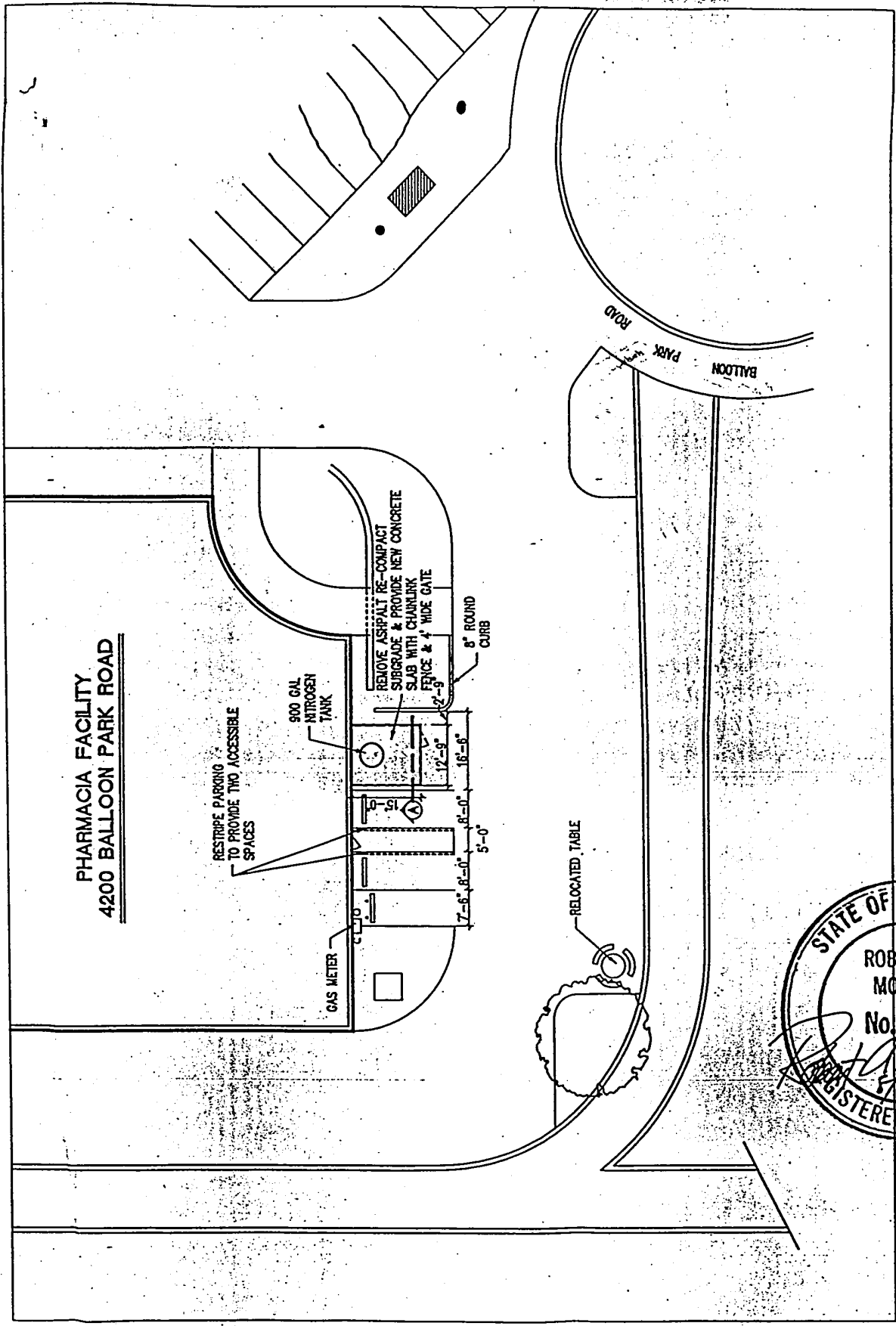
In addition to the Pinkerton Assessment, AMRI management has been made aware of several instances of unauthorized foot traffic across AMRI property, issues with vagrants in Bear Arroyo and as well as confirmed shootings in the area. For these reasons, AMRI would like an administrative amendment approved that will allow the construction of an eight foot tall security fence to better protect its employees, its processes and to ensure that the DEA manufacturing registration is appropriately maintained.


In preparing documentation for this submittal it was determined by CABQ Staff that a Notice of Decision for a prior approval was not able to be located.

Sincerely,



Ian Smith
Plant Mechanical Engineer



C101	PHARMACIA	REF:	ARCHITECTS • PLANNERS • INTERIOR DESIGNERS	
4200 BALLOON PARK ROAD		JOB # 95060	115 AMHERST DRIVE SE.	
LIQUID NITROGEN STORAGE TANK		DATE: 8/11/95	ALBUQUERQUE, NEW MEXICO 87106	
PARTIAL SITE PLAN		SCALE: 1"=30'-0"	TELE. (505) 255-8668 FAX (505) 268-6665	

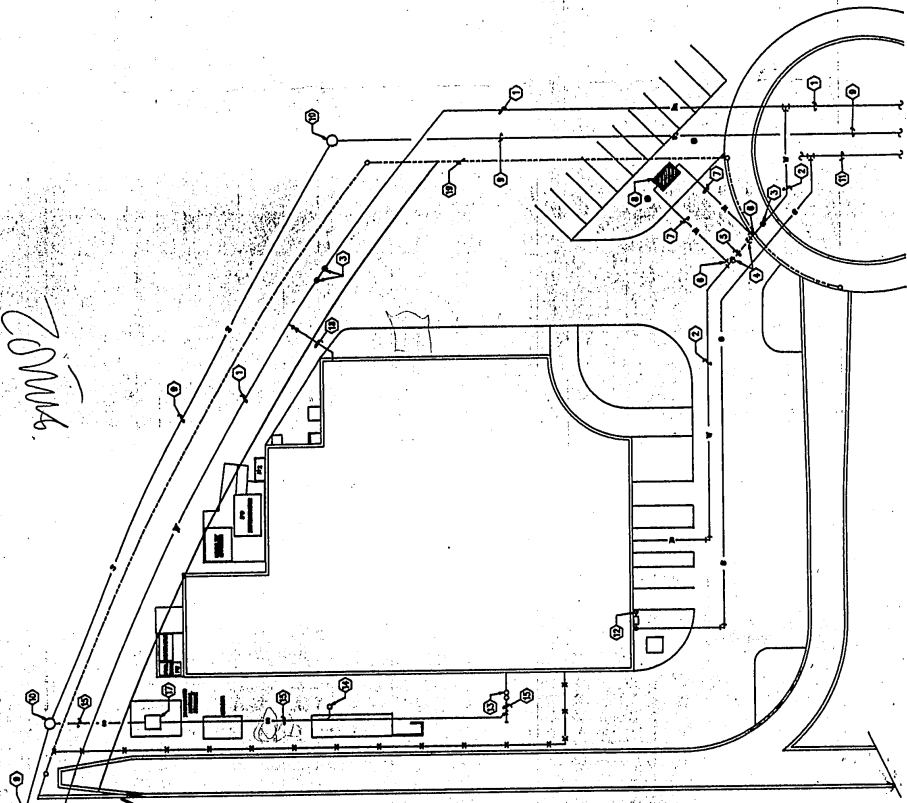
GENERAL NOTES:

KEYED NOTES:

- 1 1" WATER MAIN
- 2 2" WATER SERVICE
- 3 WATER METER
- 4 1/2" CP, WATER SERVICE
- 5 2" WATER SERVICE TO EXISTING 2" WATER SERVICE
- 6 2" WATER SERVICE
- 7 4" SANITARY SEWER LINE
- 8 6" SANITARY SEWER LINE
- 9 NATURAL GAS MAIN
- 10 2" NATURAL GAS (C PRO) UP ON EXTERIOR WALL
- 11 TRO-WAY CLEARWAT TO URINE
- 12 CLEARWAT TO URINE
- 13 4" SANITARY SEWER
- 14 NOTE NOT USED
- 15 SANITARY SEWER METERS/ADJUSTING MANHOLE, THE PLUMBING
- 16 FIRE PROTECTION LINE
- 17 LANDSCAPE SPRINKLER HEADS AND MAINS

ZONING

ADMINISTRATIVE
 DEVELOPMENT PLAN AMENDMENT
 FILE NO. 7-1894
 11/17/89
 DATE
 PLANNING DIRECTOR



COPY

SEP 14 1995

NO.	DATE	REVISION
1	11/17/89	FIELD VERIFIED
2		
3		
4		
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UTILITY SITE PLAN

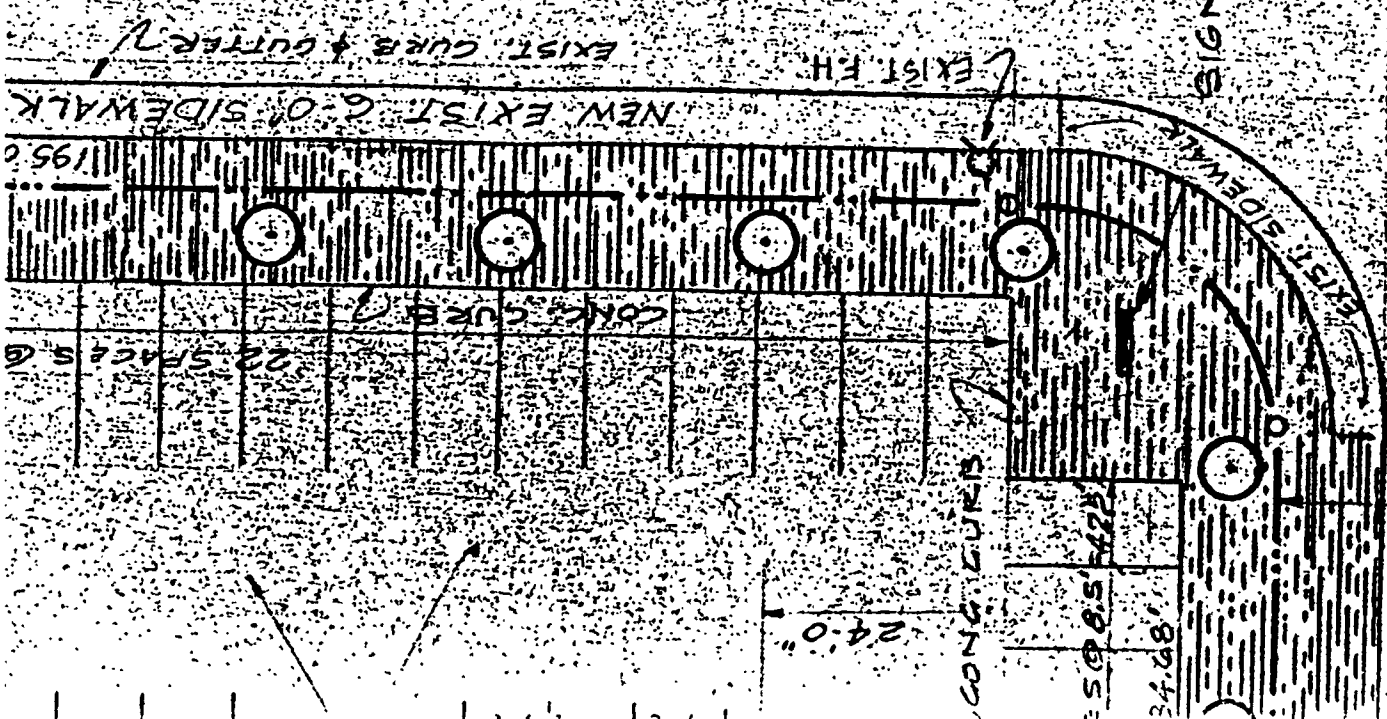


Pharmacia

CITY	BUILDING 4200
UTILITY SITE PLAN	
DATE	11-17-89
PROJECT NO.	11240
PROJECT NAME	PHARMACIA
CLIENT	PHARMACIA
SCALE	AS SHOWN
PROJECT NO.	C300100/C-1a
DATE	APRIL 3, 1992
PROJECT NO.	C300100

OFFICE AREA: 3191 SQ. FT. 16 SPACES REQ.
 MEETING ROOM: 250 ATTEND. 63 SPACES REQ.
 TOTAL AREA: 6382 SQ. FT. 79 TOTAL SPACES
 HANDICAPPED REQUIRED (4%): 255 SPACES PRO.
 PAVED AREA: 27424 SQ. FT. 1919 SQ. FT.
 REQUIRED 7% LANDSCAPE = 10000 SQ. FT.
 PROPOSED LANDSCAPE AREA = 10000 SQ. FT.

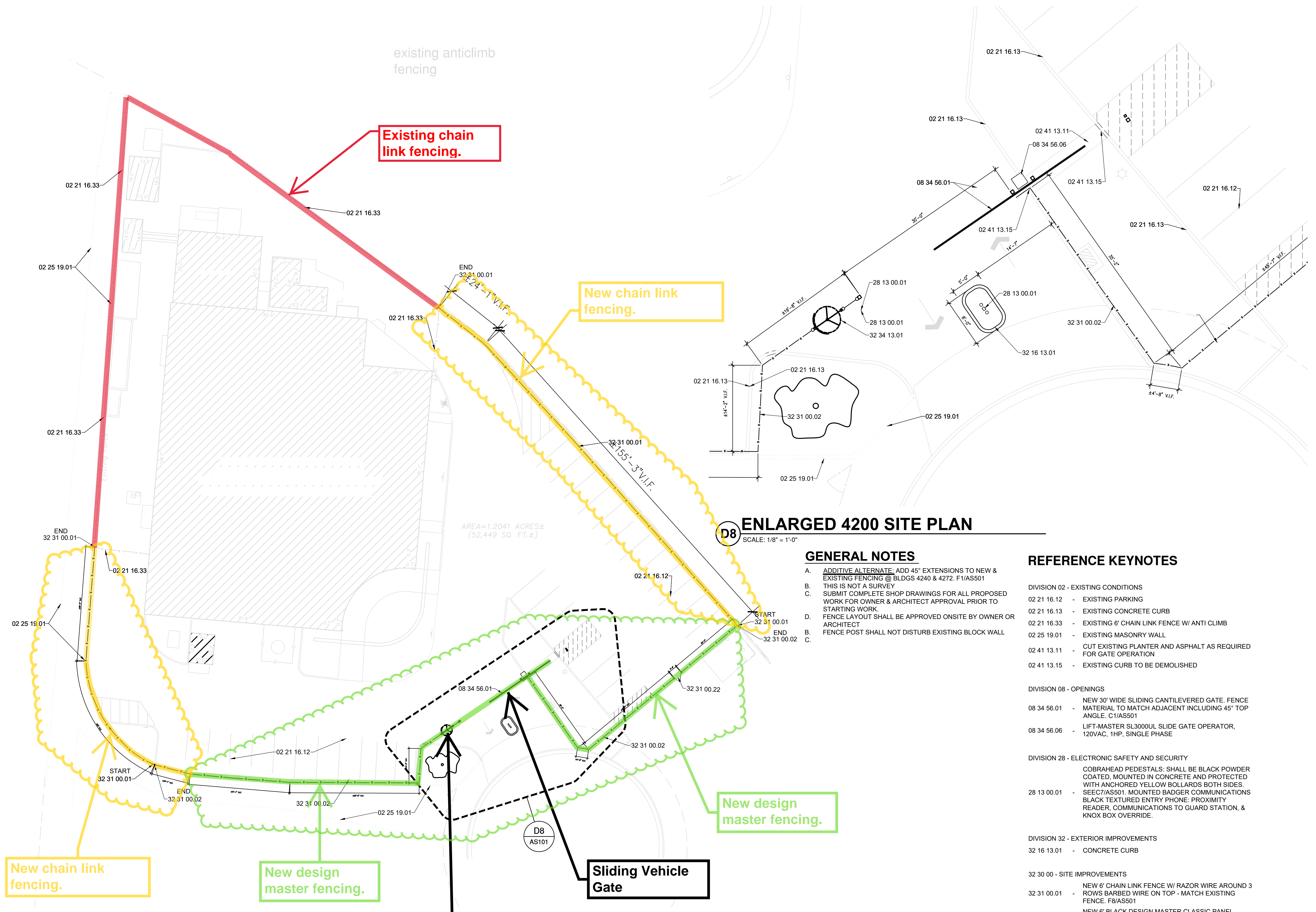
KIECHER BLVD. N.E.



SIGN ELEVATION

Save Date: May 26, 2020 - 11:27 AM - Jessica
 Drawing Name: G:\Archiv\2020\2018 - AMRI External Security Project\BDA\DWGS\Schematic\2018 - AMRI overall.dwg

BLDG 4200 - SITE PLAN
 SCALE: 1" = 20'



AREA=1.2041 ACRES±
 (52,449 SQ. FT.±)

ENLARGED 4200 SITE PLAN
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. ADDITIVE ALTERNATE: ADD 45° EXTENSIONS TO NEW & EXISTING FENCING @ BLDGS 4240 & 4272. F1/AS501
- B. THIS IS NOT A SURVEY
- C. SUBMIT COMPLETE SHOP DRAWINGS FOR ALL PROPOSED WORK FOR OWNER & ARCHITECT APPROVAL PRIOR TO STARTING WORK
- D. FENCE LAYOUT SHALL BE APPROVED ONSITE BY OWNER OR ARCHITECT
- E. FENCE POST SHALL NOT DISTURB EXISTING BLOCK WALL

REFERENCE KEYNOTES

- DIVISION 02 - EXISTING CONDITIONS**
- 02 21 16.12 - EXISTING PARKING
 - 02 21 16.13 - EXISTING CONCRETE CURB
 - 02 21 16.33 - EXISTING 6" CHAIN LINK FENCE W/ ANTI CLIMB
 - 02 25 19.01 - EXISTING MASONRY WALL
 - 02 41 13.11 - CUT EXISTING PLANTER AND ASPHALT AS REQUIRED FOR GATE OPERATION
 - 02 41 13.15 - EXISTING CURB TO BE DEMOLISHED
- DIVISION 08 - OPENINGS**
- 08 34 56.01 - NEW 30" WIDE SLIDING CANTILEVERED GATE. FENCE MATERIAL TO MATCH ADJACENT INCLUDING 45° TOP ANGLE. C1/AS501
 - 08 34 56.06 - LIFT-MASTER SL3000UL SLIDE GATE OPERATOR, 120VAC, 1HP, SINGLE PHASE
- DIVISION 28 - ELECTRONIC SAFETY AND SECURITY**
- 28 13 00.01 - COBRAHEAD PEDESTALS: SHALL BE BLACK POWDER COATED, MOUNTED IN CONCRETE AND PROTECTED WITH ANCHORED YELLOW BOLLARDS BOTH SIDES. SECT/AS501. MOUNTED BADGER COMMUNICATIONS BLACK TEXTURED ENTRY PHONE: PROXIMITY READER, COMMUNICATIONS TO GUARD STATION, & KNOX BOX OVERRIDE.
- DIVISION 32 - EXTERIOR IMPROVEMENTS**
- 32 16 13.01 - CONCRETE CURB
- 32 30 00 - SITE IMPROVEMENTS**
- 32 31 00.01 - NEW 6" CHAIN LINK FENCE W/ RAZOR WIRE AROUND 3 ROWS BARBED WIRE ON TOP - MATCH EXISTING FENCE. F8/AS501
 - 32 31 00.02 - NEW 6" BLACK DESIGN MASTER CLASSIC PANEL FENCING WITH 45° ANGLE EXTENSION. MATCHING PANEL ON EXTENSION. F1/AS501
 - 32 31 00.22 - 3'-6" MAN GATE SELF CLOSING. F6/AS501
 - 32 34 13.01 - STAINLESS STEEL CONTROLLED ACCESS HS430 SERIES FULL HEIGHT TURNSTILE WITH AUDIO TO GUARD, KEYPAD, & PROXIMITY READER. ANTI CLIMB 45° AT TOP TO MATCH ADJACENT. C1/AS501

AMRI External Security Project
 4200 Balloon Park Road
 Albuquerque, New Mexico 87109
 AMRI
 Copyright, 2020, BDA ARCHITECTURE PC.

SITE PLAN
4200 BALLOON PARK

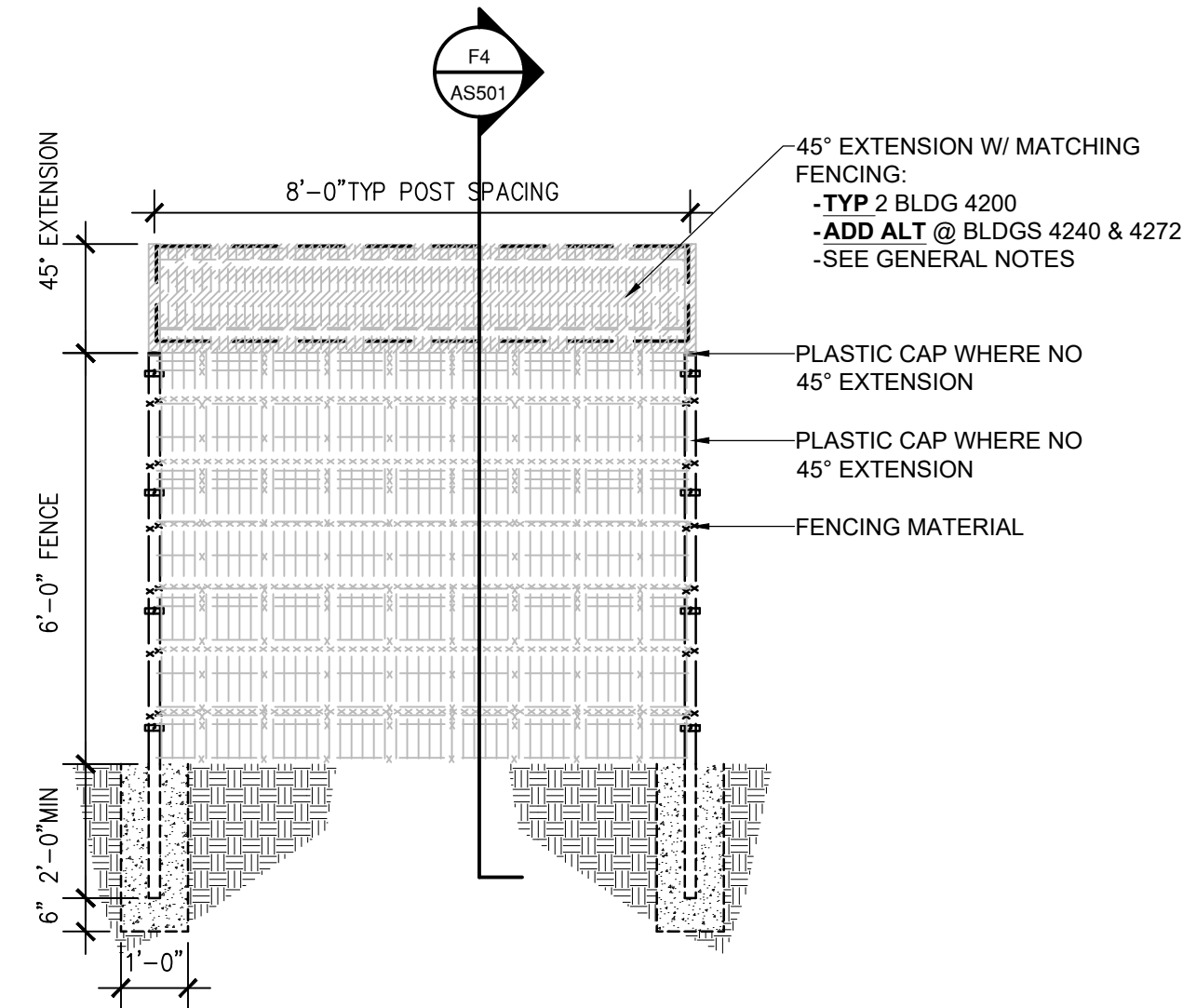
REV.#	DATE	COMMENTS

REVIEWS

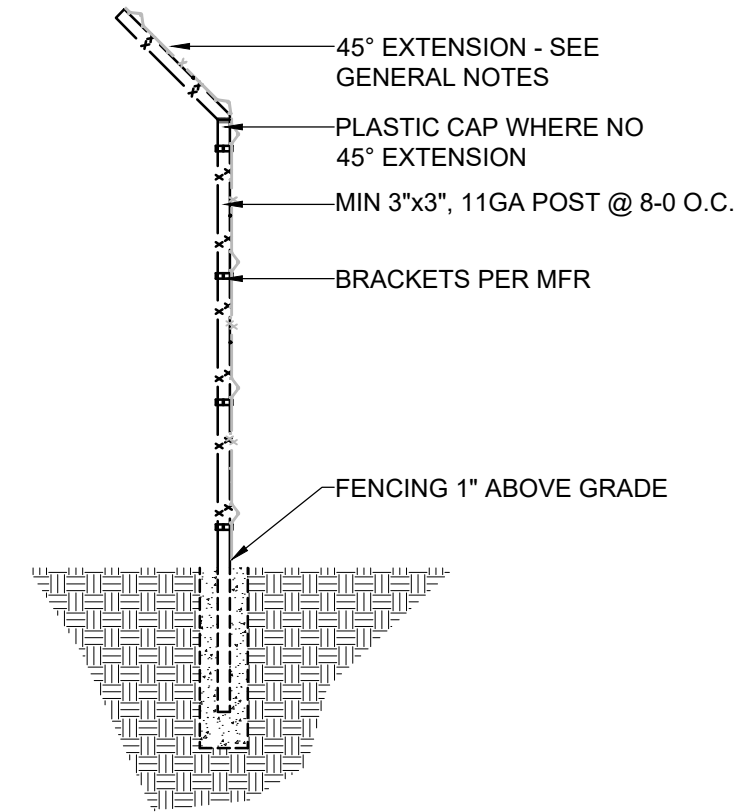
INITIALS	REVISION
	BDA DSGN. REV.
	BDA TECH REV.

AMRI Security
 PROJECT NO.: 2018
 DRAWN: --
 DATE: 5/26/20
AS103
 OF

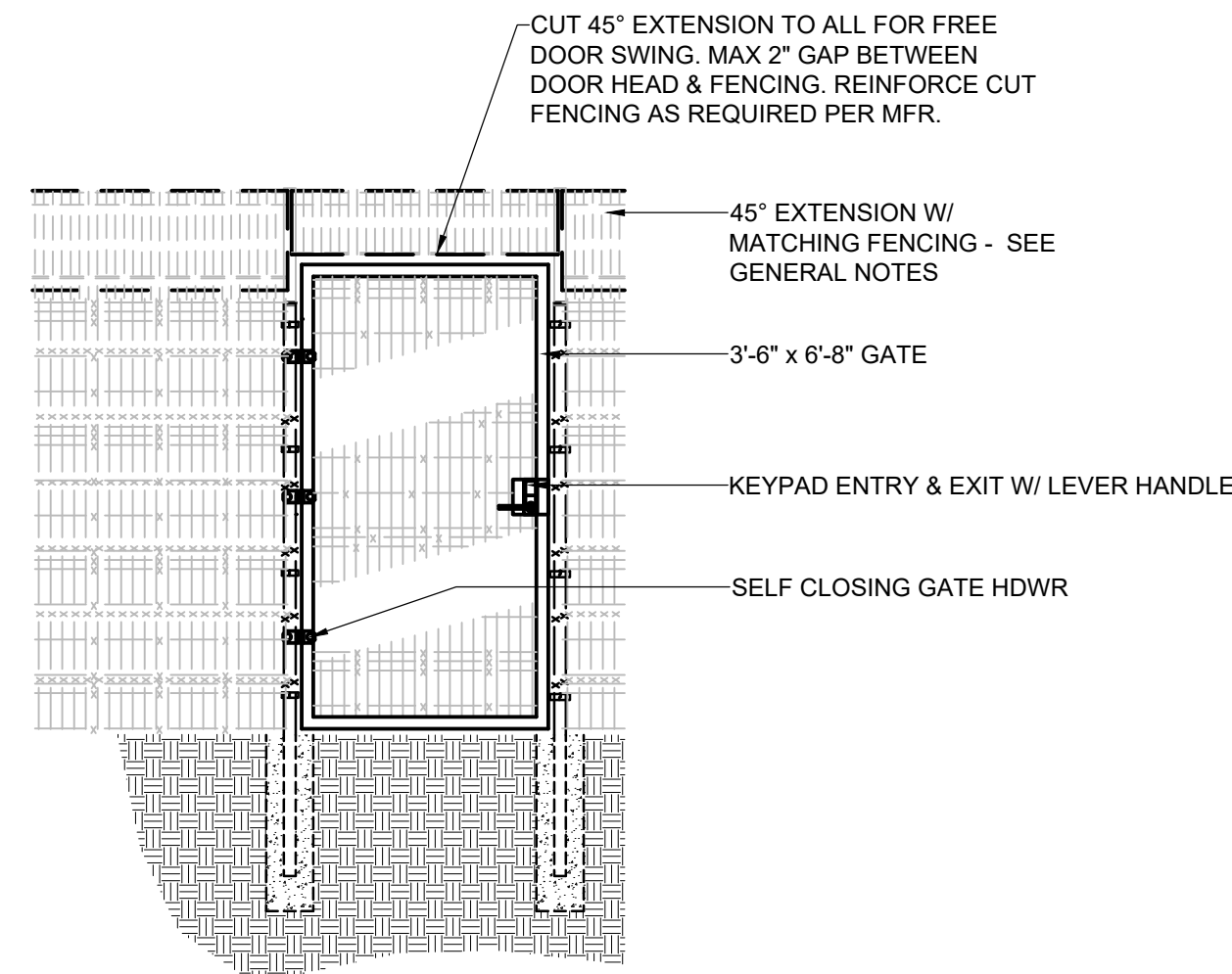
BDA
 BDA Architecture, P.C.
 Building Design for Animals, LLC
 901 Lamberon Pl. NE
 Albuquerque, NM 87107
 Phone: (505) 868-0180
 Fax: (505) 868-0111
 Email: info@bdaarc.com
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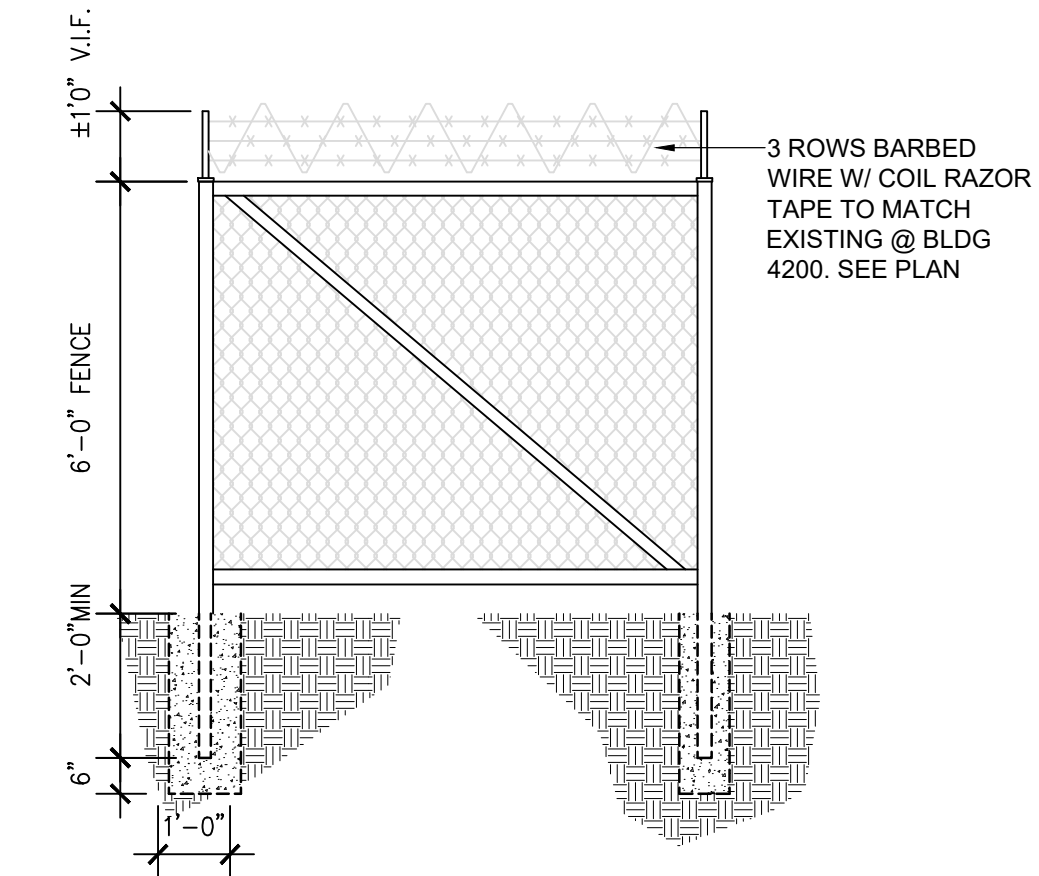
F1 TYP WIRE FENCE DETAIL
SCALE: 3/8" = 1'-0"



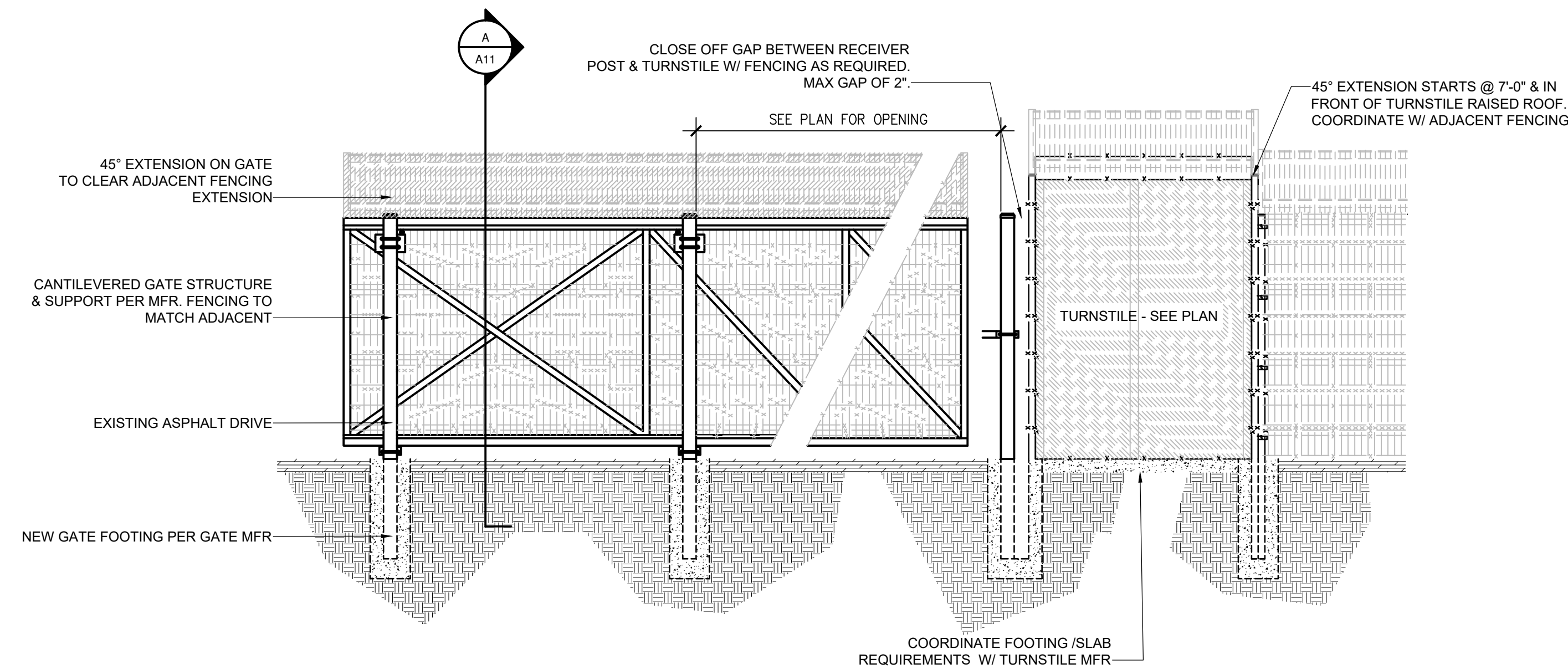
F4 TYP WIRE FENCE DETAIL
SCALE: 3/8" = 1'-0"



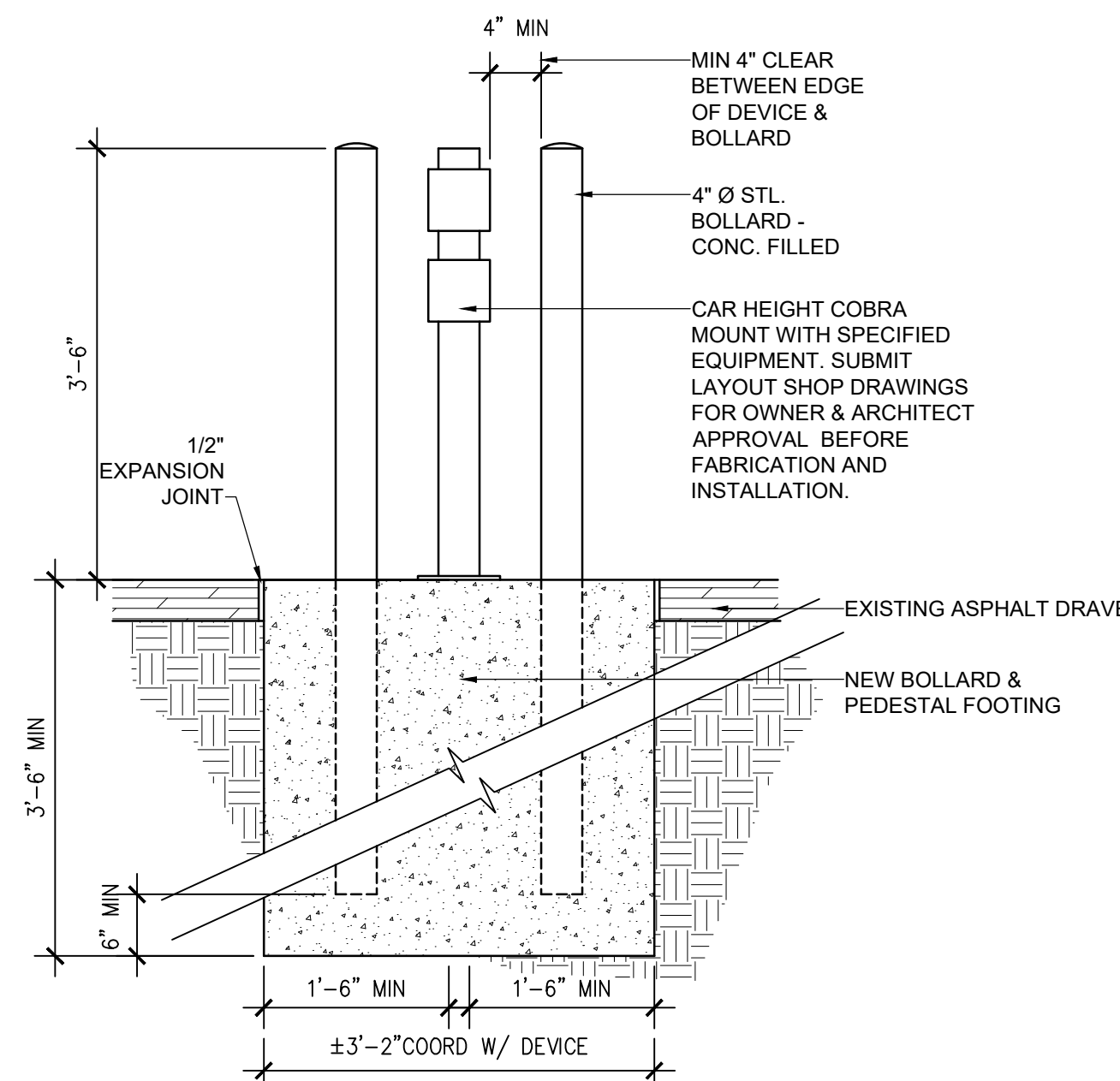
F6 TYP GATE DETAIL
SCALE: 3/8" = 1'-0"



F8 TYP CHAIN LINK FENCE DETAIL
SCALE: 3/8" = 1'-0"



C1 CANT GATE & TURNSTILE DETAIL
SCALE: 3/8" = 1'-0"



C7 ENTRY PEDESTAL DETAIL
SCALE: 3/4" = 1'-0"

Save Date: May 26, 2020 - 11:27 AM - Jessica
Drawing Name: G:\Arch\2020\2018 - AMRI External Security Project\BDA\DWGS\Schematic\2018 - AMRI overall.dwg

BDA
Architecture, P.C.
Building Design for Animals, LLC
901 Lamberon Pl. NE
Atlanta, GA 30328
Phone: (404) 888-0107
Fax: (404) 888-0180
Email: info@bdaarc.com

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BDA

AMRI External Security Project

4200 Balloon Park Road
Albuquerque, New Mexico 87109
AMRI

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SITE DETAILS
4200 BALLOON PARK

REV.#	DATE	COMMENTS

REVIEWS	
INITIALS	
-	BDA DSGN. REV.
-	BDA TECH REV.

AMRI Security
PROJECT NO.: 2018
DRAWN: -
DATE: 5/8/2020

AS501

OF

FOR CITY & COUNTY APPROVAL STAMP

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor
Albuquerque, NM 87102
Tel: (505) 924-3339



August 13, 2020

Ian Smith
Plant Mechanical Engineer
AMRI
Albuquerque, New Mexico

Mr. Smith:

Thank you for your request for an exception for to the provisions of IDO §§5-7(D)(1) and IDO Table 5-7-1 for the property located at 4200 Balloon Park Road NE. Per your email dated August 11, 2020, AMRI is working on a project to improve the physical security of their properties located throughout Albuquerque. In improving security on the aforementioned subject property, you are proposing an 8-foot fence around the entire site. Based on the verified information you provided, AMRI is a pharmaceutical CMO with US Drug Enforcement Agency (DEA) manufacturing registrations on the subject property that require you to improve the security of the subject site at 4200 Balloon Park Road NE.

The subject property is zoned NR-BP. Pursuant to IDO §5-7(D)(1) and IDO Table 5-7-1, an 8-foot tall wall/fence is permitted on the side and rear yards and along the arroyo adjacent to the site. A 3-foot tall wall/fence is permitted in the front yard along Balloon Park Road.

Pursuant to IDO §6-5(J)(3)(a), The Zoning Enforcement Officer (ZEO) can make an exception to the height standards of 5-7(D)(1) and Table 5-7-1 for security reasons due to specific site conditions or the nature of the land use or related materials and facilities on the site pursuant to 6-5(J) (Wall or Fence Permit – Minor)

6-5(J)(3) Review and Approval Criteria

An application for a Wall or Fence Permit shall be approved if it complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

6-5(J)(3)(a) The ZEO may approve a wall or fence that is taller than allowed by Subsection 14-16-5-7(D) if necessary for security reasons due to specific site conditions or the nature of the land use or related materials and facilities on the site.

Based upon the nature of the land use and related materials on the subject property located at 4200 Balloon Park Road NE, it is my interpretation as ZEO that an exception to the height standards of IDO §5-7(D)(1) and Table 5-7-1 for security reasons is warranted in this particular situation. **Therefore, upon review of this request, it is my determination that the proposed 8 foot security fence around the entire subject property is a justified and acceptable exception to IDO §5-7(D)(1) and Table 5-7-1.** Please note that because there is an approved Site Plan for the subject property, an Administrative Amendment to the existing Site Plan will be required for any proposed fencing/walls. For any required fence/wall permits, please contact the Building Safety and Permits Division at (505) 924-3964 or (505) 924-3320.

Respectfully,

James M. Aranda, MCRP
Deputy Director and Zoning Enforcement Officer,
Albuquerque Planning Department