

**ADMINISTRATIVE AMENDMENT**

**FILE # \_\_\_\_\_ PROJECT # \_\_\_\_\_**

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**APPROVED BY**

**DATE**

Save Date: May 26, 2020 - 11:27 AM - Jessica  
 Drawing Name: G:\Arch\2020\2018 - AMRI External Security Project\BDA\DWGS\Schematic\2018 - AMRI overall.dwg

**BLDG 4200 - SITE PLAN**  
 SCALE: 1" = 20'

New chain link fencing.

New design master fencing.

Sliding Vehicle Gate

Pedestrian turnstile

**ENLARGED 4200 SITE PLAN**  
 SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- A. ADDITIVE ALTERNATE: ADD 45° EXTENSIONS TO NEW & EXISTING FENCING @ BLDGS 4240 & 4272. F1/AS501
- B. THIS IS NOT A SURVEY
- C. SUBMIT COMPLETE SHOP DRAWINGS FOR ALL PROPOSED WORK FOR OWNER & ARCHITECT APPROVAL PRIOR TO STARTING WORK
- D. FENCE LAYOUT SHALL BE APPROVED ONSITE BY OWNER OR ARCHITECT
- E. FENCE POST SHALL NOT DISTURB EXISTING BLOCK WALL

**REFERENCE KEYNOTES**

- DIVISION 02 - EXISTING CONDITIONS**
- 02 21 16.12 - EXISTING PARKING
  - 02 21 16.13 - EXISTING CONCRETE CURB
  - 02 21 16.33 - EXISTING 6" CHAIN LINK FENCE W/ ANTI CLIMB
  - 02 25 19.01 - EXISTING MASONRY WALL
  - 02 41 13.11 - CUT EXISTING PLANTER AND ASPHALT AS REQUIRED FOR GATE OPERATION
  - 02 41 13.15 - EXISTING CURB TO BE DEMOLISHED
- DIVISION 08 - OPENINGS**
- 08 34 56.01 - NEW 30" WIDE SLIDING CANTILEVERED GATE. FENCE MATERIAL TO MATCH ADJACENT INCLUDING 45° TOP ANGLE. C1/AS501
  - 08 34 56.06 - LIFT-MASTER SL3000UL SLIDE GATE OPERATOR, 120VAC, 1HP, SINGLE PHASE
- DIVISION 28 - ELECTRONIC SAFETY AND SECURITY**
- 28 13 00.01 - COBRAHEAD PEDESTALS: SHALL BE BLACK POWDER COATED, MOUNTED IN CONCRETE AND PROTECTED WITH ANCHORED YELLOW BOLLARDS BOTH SIDES. SECT/AS501. MOUNTED BADGER COMMUNICATIONS BLACK TEXTURED ENTRY PHONE: PROXIMITY READER, COMMUNICATIONS TO GUARD STATION, & KNOX BOX OVERRIDE.
- DIVISION 32 - EXTERIOR IMPROVEMENTS**
- 32 16 13.01 - CONCRETE CURB
- 32 30 00 - SITE IMPROVEMENTS**
- 32 31 00.01 - NEW 6" CHAIN LINK FENCE W/ RAZOR WIRE AROUND 3 ROWS BARBED WIRE ON TOP - MATCH EXISTING FENCE. F8/AS501
  - 32 31 00.02 - NEW 6" BLACK DESIGN MASTER CLASSIC PANEL FENCING WITH 45° ANGLE EXTENSION. MATCHING PANEL ON EXTENSION. F1/AS501
  - 32 31 00.22 - 3'-6" MAN GATE SELF CLOSING. F6/AS501
  - 32 34 13.01 - STAINLESS STEEL CONTROLLED ACCESS HS430 SERIES FULL HEIGHT TURNSTILE WITH AUDIO TO GUARD, KEYPAD, & PROXIMITY READER. ANTI CLIMB 45° AT TOP TO MATCH ADJACENT. C1/AS501

**SITE PLAN**  
**4200 BALLOON PARK**

REV.#	DATE	COMMENTS

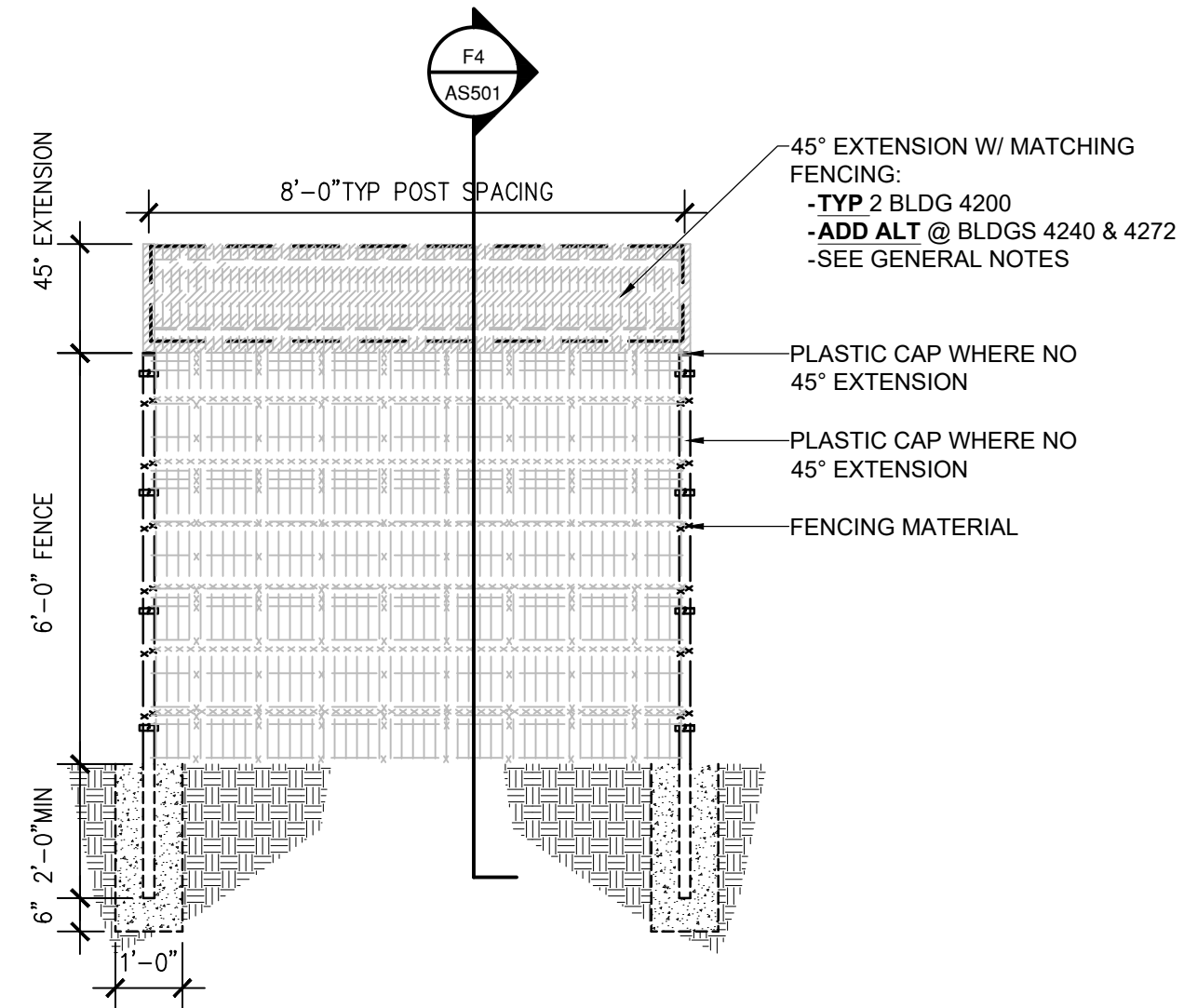
INITIALS	REVIEWS
	BDA DSGN. REV.
	BDA TECH REV.

AMRI Security  
 PROJECT NO.: 2018  
 DRAWN: --  
 DATE: 5/26/20  
**AS103**  
 OF

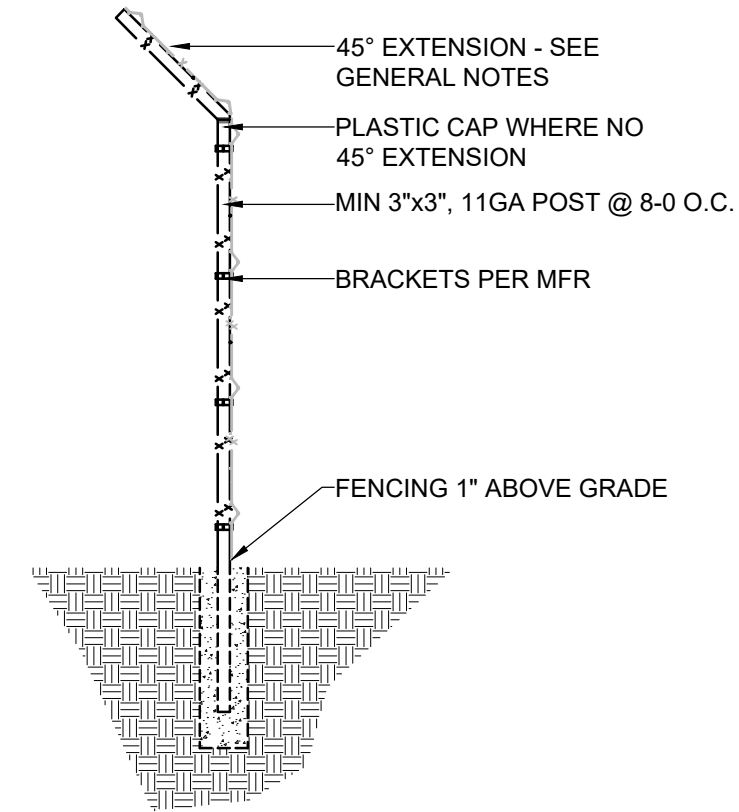
**AMRI External Security Project**  
 4200 Balloon Park Road  
 Albuquerque, New Mexico 87109  
 AMRI  
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**BDA**

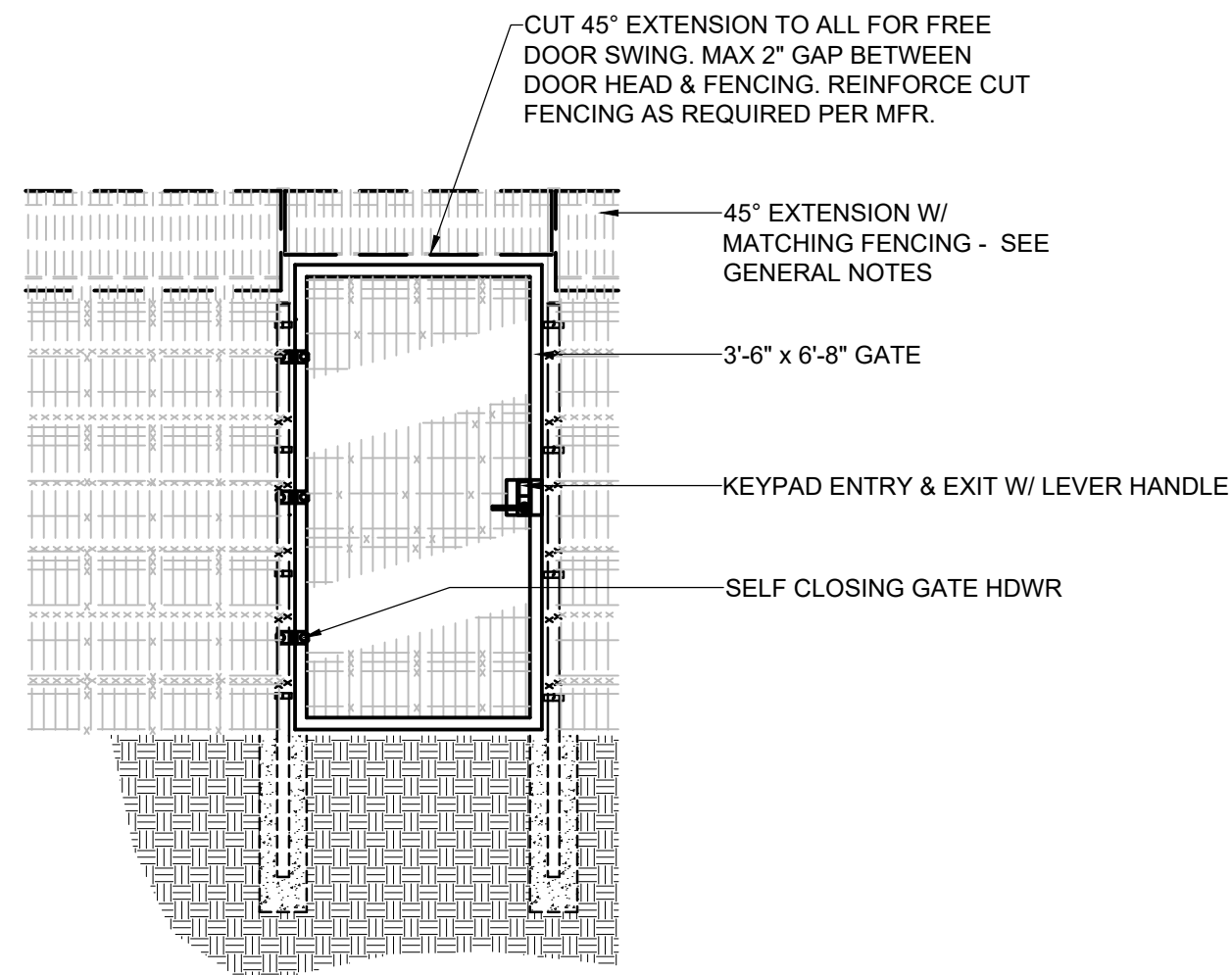
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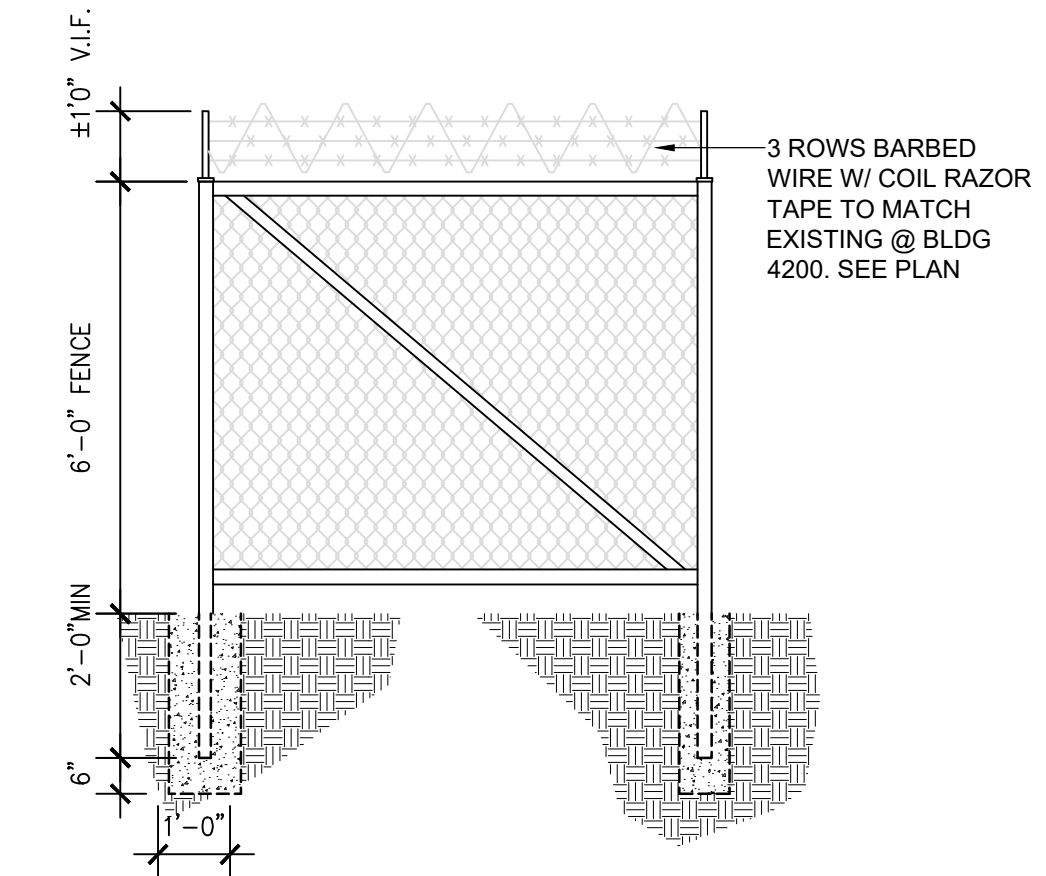
**F1 TYP WIRE FENCE DETAIL**  
SCALE: 3/8" = 1'-0"



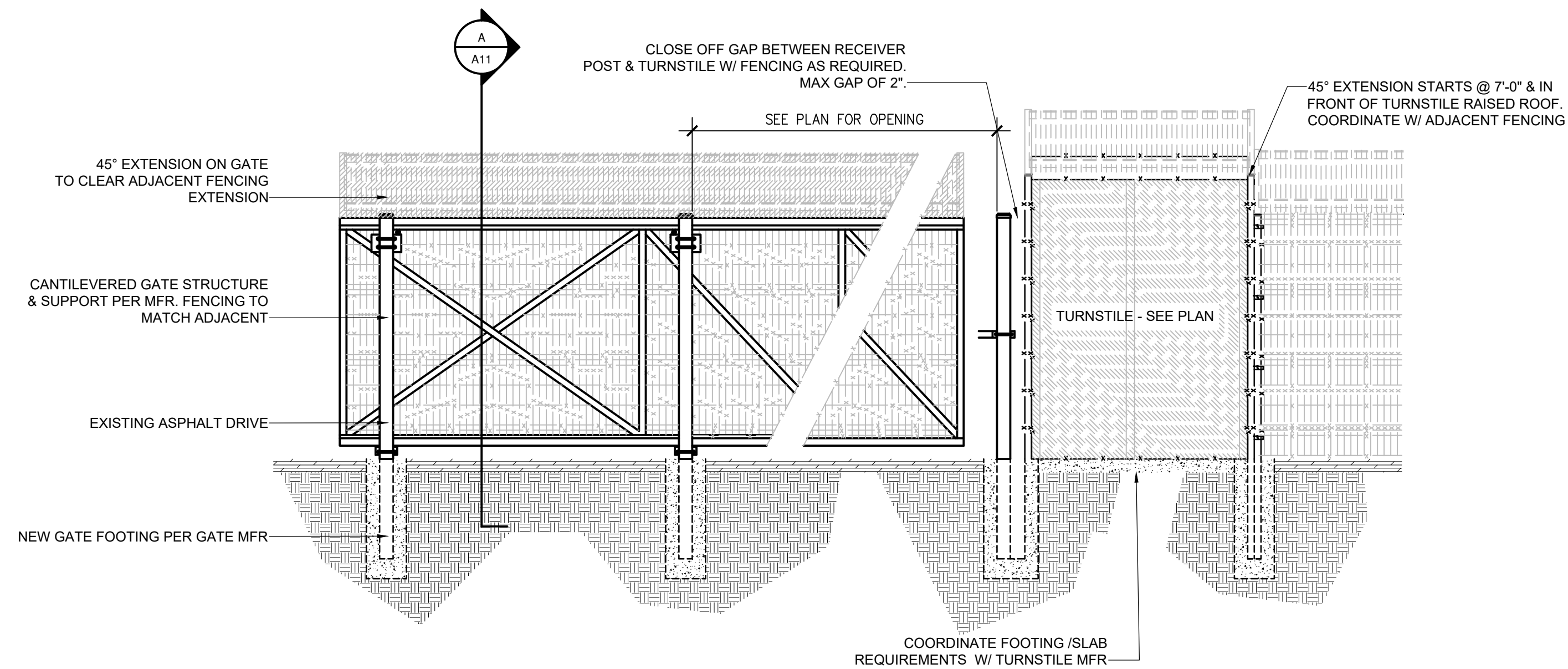
**F4 TYP WIRE FENCE DETAIL**  
SCALE: 3/8" = 1'-0"



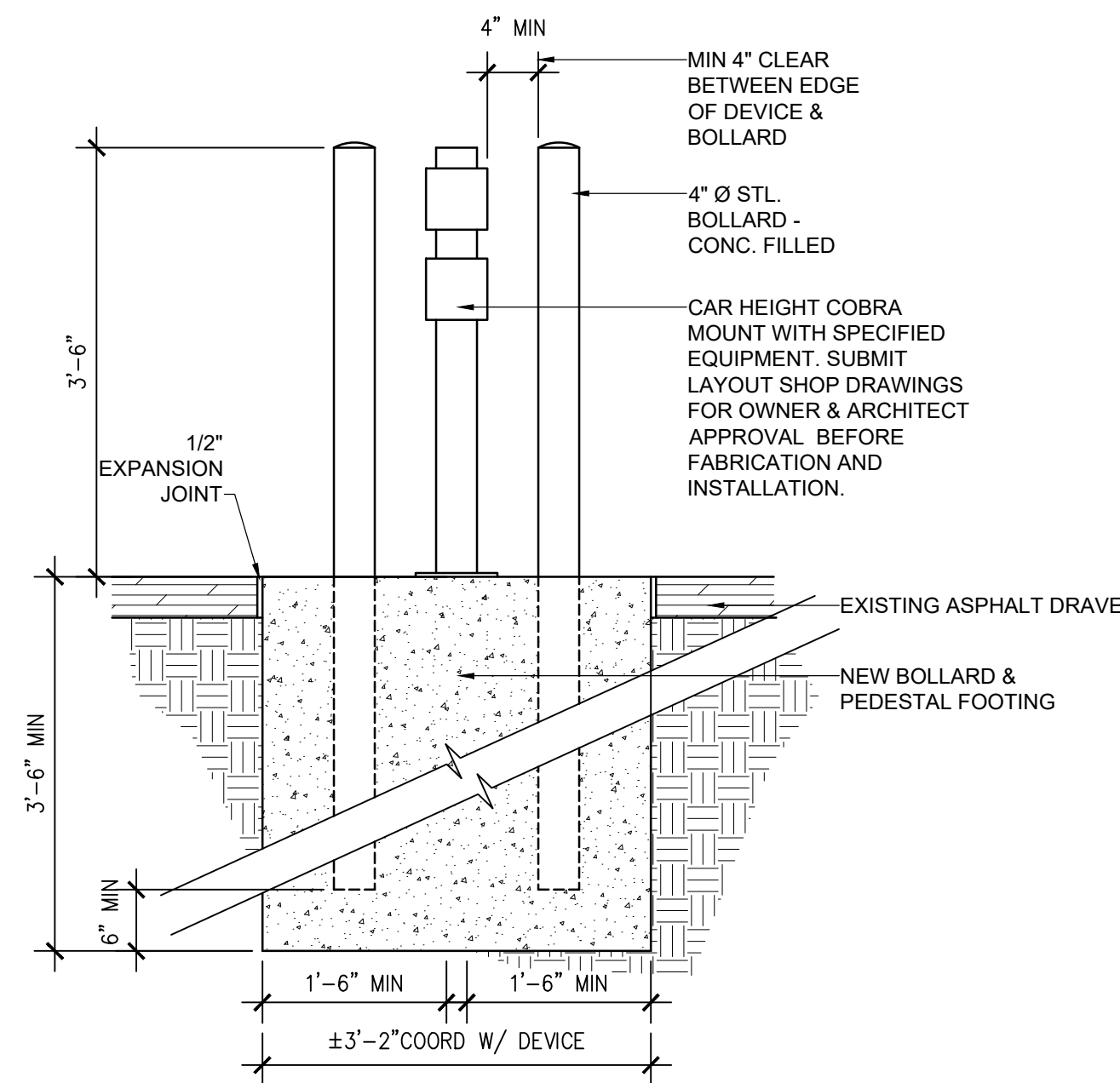
**F6 TYP GATE DETAIL**  
SCALE: 3/8" = 1'-0"



**F8 TYP CHAIN LINK FENCE DETAIL**  
SCALE: 3/8" = 1'-0"



**C1 CANT GATE & TURNSTILE DETAIL**  
SCALE: 3/8" = 1'-0"



**C7 ENTRY PEDESTAL DETAIL**  
SCALE: 3/4" = 1'-0"

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Albuquerque, New Mexico 87109  
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**SITE DETAILS**  
**4200 BALLOON PARK**

REV.#	DATE	COMMENTS

INITIALS	REVIEWS
	BDA DSGN. REV.
	BDA TECH REV.

AMRI Security  
PROJECT NO.: 2018  
DRAWN: -  
DATE: 5/8/2020

**AS501**

OF

FOR CITY & COUNTY APPROVAL STAMP



# CITY OF ALBUQUERQUE

## PLANNING DEPARTMENT ADMINISTRATION

600 2nd Street NW, 3rd Floor  
Albuquerque, NM 87102  
Tel: (505) 924-3339



August 13, 2020

Ian Smith  
Plant Mechanical Engineer  
AMRI  
Albuquerque, New Mexico

Mr. Smith:

Thank you for your request for an exception for to the provisions of IDO §§5-7(D)(1) and IDO Table 5-7-1 for the property located at 4200 Balloon Park Road NE. Per your email dated August 11, 2020, AMRI is working on a project to improve the physical security of their properties located throughout Albuquerque. In improving security on the aforementioned subject property, you are proposing an 8-foot fence around the entire site. Based on the verified information you provided, AMRI is a pharmaceutical CMO with US Drug Enforcement Agency (DEA) manufacturing registrations on the subject property that require you to improve the security of the subject site at 4200 Balloon Park Road NE.

The subject property is zoned NR-BP. Pursuant to IDO §5-7(D)(1) and IDO Table 5-7-1, an 8-foot tall wall/fence is permitted on the side and rear yards and along the arroyo adjacent to the site. A 3-foot tall wall/fence is permitted in the front yard along Balloon Park Road.

Pursuant to IDO §6-5(J)(3)(a), The Zoning Enforcement Officer (ZEO) can make an exception to the height standards of 5-7(D)(1) and Table 5-7-1 for security reasons due to specific site conditions or the nature of the land use or related materials and facilities on the site pursuant to 6-5(J) (Wall or Fence Permit – Minor)

### **6-5(J)(3) Review and Approval Criteria**

An application for a Wall or Fence Permit shall be approved if it complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

6-5(J)(3)(a) The ZEO may approve a wall or fence that is taller than allowed by Subsection 14-16-5-7(D) if necessary for security reasons due to specific site conditions or the nature of the land use or related materials and facilities on the site.

Based upon the nature of the land use and related materials on the subject property located at 4200 Balloon Park Road NE, it is my interpretation as ZEO that an exception to the height standards of IDO §5-7(D)(1) and Table 5-7-1 for security reasons is warranted in this particular situation. **Therefore, upon review of this request, it is my determination that the proposed 8 foot security fence around the entire subject property is a justified and acceptable exception to IDO §5-7(D)(1) and Table 5-7-1.** Please note that because there is an approved Site Plan for the subject property, an Administrative Amendment to the existing Site Plan will be required for any proposed fencing/walls. For any required fence/wall permits, please contact the Building Safety and Permits Division at (505) 924-3964 or (505) 924-3320.

Respectfully,

James M. Aranda, MCRP  
Deputy Director and Zoning Enforcement Officer,  
Albuquerque Planning Department