

ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

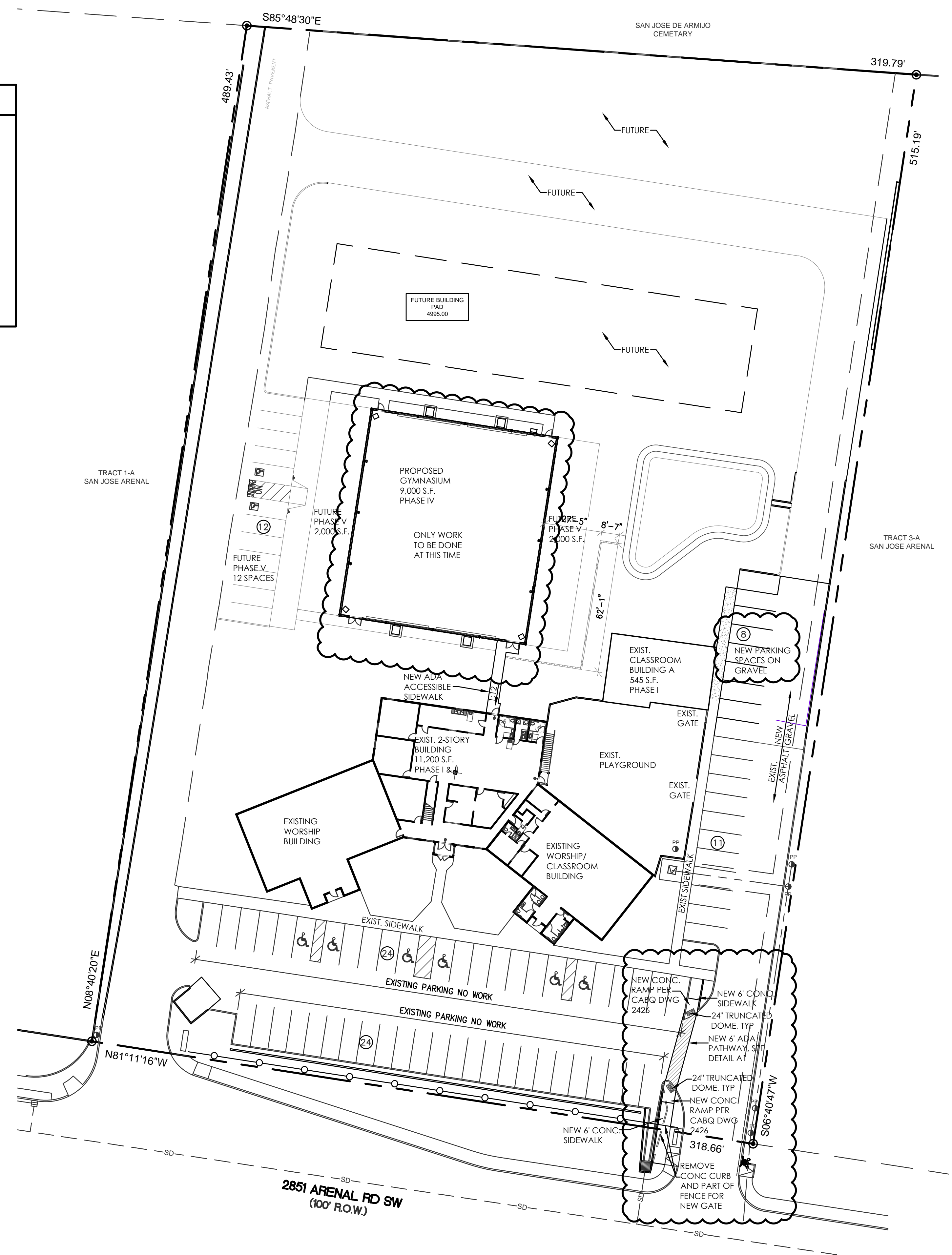
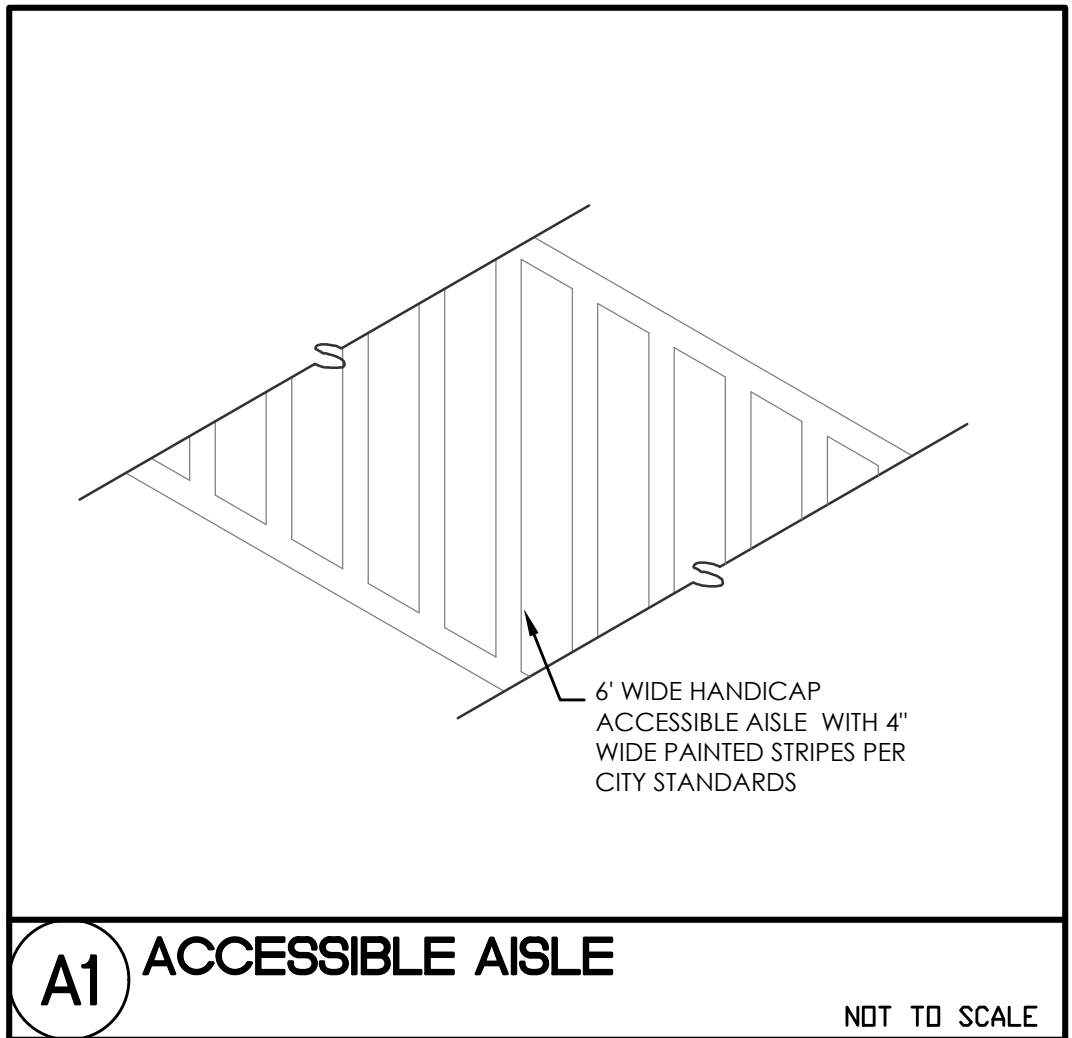
PARKING REQUIREMENTS		
EXISTING BUILDINGS:		
EAST WORSHIP SPACE:	1/4 SEATS	120 SEATS/4 = 30 SPACES
WEST WORSHIP SPACE:	1/4 SEATS	60 SEATS/4 = 15 SPACES
OFFICE SPACES:	1ST FLR. 1/200	402 S.F./200 = 2 SPACES
OFFICE SPACES:	2ND FLR. 1/300	282 S.F./300 = 1 SPACES
GRADE SCHOOL ROOMS:	1/EMPLOYEE	5 ROOMS = 6 SPACES
HIGH SCHOOL ROOMS:	SEE NEW GYMNASIUM	
	(1 CLASSROOM - 3 SPACES)	
TOTAL SPACES REQUIRED:		= 54 SPACES
TOTAL EXISTING SPACES PROVIDED:		= 59 SPACES
NEW BUILDING:		
Gymnasium 9,000 S.F.:	1/4 SEATS AUDITORIUM	50 SEATS/4 = 13 SPACES
TOTAL SPACES REQUIRED:		67 SPACES (4 H.C.)
ACCESSIBLE SPACES REQUIRED:		51-100 SPACES = 4 H.C.
TOTAL SPACES PROVIDED:		67 SPACES (6 H.C.)
FUTURE BUILDING:		
FUTURE GYMNASIUM ADDITION	4,000 S.F.	ACCESSORY SPACE
FUTURE BUILDING 1,525 S.F.	1 STORY	1 PER 200 = 8 SPACES
TOTAL SPACES REQUIRED:		8 SPACES

ABUNDANT LIFE SITE WILL NOT USE ALL THE PARKING AT THE SAME TIME. DURING THE WEEK SCHOOL IS IN SESSION FROM 8:00 AM - 3:30 PM, 59 SPACES WILL BE DEDICATED DURING SCHOOL HOURS. OTHER BUILDINGS ARE AREAS FOR ACCESSORY SPACE TO THE SCHOOL. THEY WILL NOT ADD ANY SPACES DURING SCHOOL HOURS. THE GYM WILL BE USED AFTER HOURS OR WEEKENDS FOR BASKETBALL GAMES WITH 13 PARKING SPACE REQUIRED.

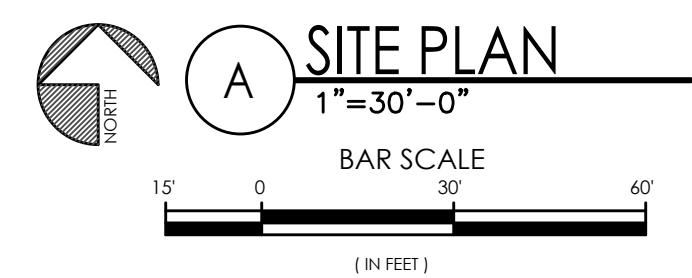
THERE IS A NEW SIDEWALK THAT GOES FROM THE BACK DOOR OF THE CAFETERIA (RIGHT BESIDE THE KITCHEN) TO THE GYM TO ALLOW FOR HANDICAPPED ACCESS. THERE ARE NO STEPS OR OBSTACLES THAT WOULD IMPEDE A WHEELCHAIR FROM GOING FROM FRONT PARKING LOT HANDICAPPED SPACES TO THE GYM, BY GOING THROUGH THE FRONT DOORS OF THE SCHOOL AND THROUGH THE CAFETERIA AREA.

THE FIRST FLUSH POND WILL BE BUILT AT THIS TIME AS REQUIRED.

PROPOSED GYMNASIUM	
APPROVED BUILDINGS PER SITE DEVELOPMENT PLAN 1990:	
PHASE 1: WORSHIP SPACE	5,600 S.F.
PHASE 2: CLASSROOMS/OFFICES	5,600 S.F.
PHASE 3: FUTURE SCHOOL	2,800 S.F.
PHASE 3: 2 STORY BLDG	13,000 S.F.
TOTAL APPROVED SQUARE FOOTAGE	27,000 S.F.
BUILDINGS THAT EXIST NOW	
EXISTING PHASE 1: WORSHIP SPACE/BLDG. A	7,145 S.F.
EXISTING PHASE 2: CLASSROOMS/OFFICES	5,600 S.F.
TOTAL SQUARE FOOTAGE	12,745 S.F.
NEW BUILDINGS PROPOSED WITH THIS AA:	
PHASE 4: GYMNASIUM	9,000 S.F.
PHASE 5: FUTURE GYM ADDITION	4,000 S.F.
TOTAL SQUARE FOOTAGE	13,000 S.F.
REMOVE PHASE 3 FUTURE SCHOOL	2,800 S.F.
REMOVE PHASE 3 2 STORY BLDG	13,000 S.F.
NEW TOTAL PROPOSED SQUARE FOOTAGE	25,475 S.F.
TOTAL APPROVED SQUARE FOOTAGE	27,000 S.F.



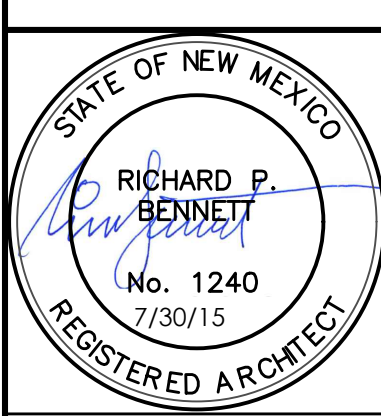
PROJECT NARRATIVE: REVISING ADMINISTRATIVE AMENDMENT TO SHOW JUST THE GYMNASIUM BEING BUILT. ALL OTHER WORK WILL BE FUTURE. THERE WILL BE 8 ADDITIONAL SPACES ADDED TO THE EAST SIDE. THEY WILL BE ON GRAVEL BASE COURSE



LEGAL DESCRIPTION
2851 ARENAL RD SW, ALBUQUERQUE, NM 87121
SU-1 LOT 2A SAN JOSE ARENAL, TRACT 2-A CORRECTED PLAT OF TRACTS 1-A, 2-A, AND 3-A SAN JOSE ARENAL CONTAINING 3.675 ACRES AND LOCATED ON ARENAL RD BETWEEN COORS AND UNSER. USES TO INCLUDE WORSHIP SPACE AND CLASS ROOMS WITH GYMNASIUM.

ABUNDANT LIFE GYMNASIUM
SITE PLAN FOR ADMINISTRATIVE AMENDMENT
ALBUQUERQUE, NM
PROJECT #1301

REVISION DATE
08-18-2020
10-20-2020



RBA
REGISTERED ARCHITECT
1524 Park Ave. SW, 87102
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DATE
07-30-2015

SHEET NUMBER
AA-1.0