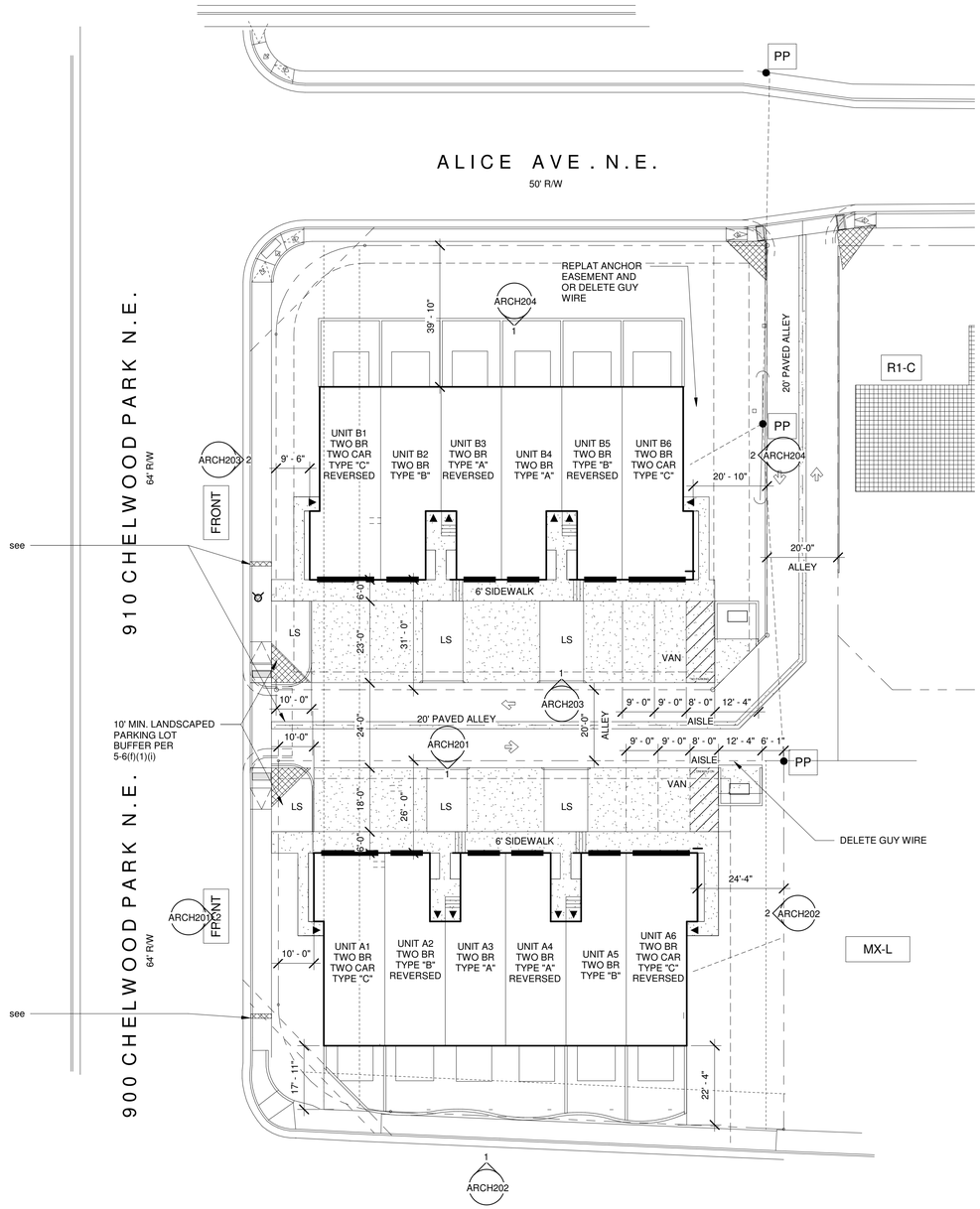


1 SITE PLAN
Scale: 1" = 20'-0"

VM HERE

UOS HERE

DESIGN CRITERIA

CIMA TOWNHOUSES FOR WORQUE, L.L.C.

CODES: 2015IBC, 2015IRC, 2015UMC, 2015 UPC, 2017NEC

PROJECT LOCATION: NORTHEAST CORNEROF INTERSECTION OF CHELWOOD PARK BLVD N.E. AND LOMAS BOULEVARD N.E. 900 & 910 CHELWOOD PARK BLVD. N.E., ALBUQUERQUE, NM

ZONE ATLAS MAP: J-22-Z

LEGAL DESCRIPTION:
900 CHELWOOD PARK BLVD. N.E. -LOT 1A, BLOCK 11, GRANDVIEW HEIGHTS SUBD.
910 CHELWOOD PARK BLVD. N.E. - LOT 28A, BLOCK 11 GRANDVIEW HEIGHTS SUBD.

ACREAGE: 1.2341 ACRES

ZONE DISTRICT: MX-L

USABLE OPEN SPACE MX-L:

900 CHELWOOD PARK BLVD. N.E. - 1500 SF REQUIRED
910 CHELWOOD PARK BLVD. N.E. - 1500 SF REQUIRED

900 CHELWOOD PARK BLVD. N.E. - XXXX PROVIDED
910 CHELWOOD PARK BLVD. N.E. - XXXX PROVIDED
COMPLIES

PROPOSED USES: RESIDENTIAL DWELLINGS

MAXIMUM HEIGHT: 23'-6" **COMPLIES**

CONSTRUCTION TYPE: TYPE VB NON SPRINKLERED

SEISMIC ZONE: D

MAXIMUM TOTAL DWELLING UNITS:

900 CHELWOOD PARK BLVD. N.E. - 6 UNITS
910 CHELWOOD PARK BLVD. N.E. - 6 UNITS
10 DU'S PER ACRE DENSITY **COMPLIES**

SITE PARKING CALCULATION:

1.5 PARKING SPACES PER UNIT PER TABLE 14-16-5-5-1

900 CHELWOOD PARK BLVD. N.E. - (6) TWO BR UNIT:
6 X 1.5= 9.0 PARKING SPACES INCLUDING ONE HC VAN SPACE REQUIRED.
910 CHELWOOD PARK BLVD. N.E. - (6) TWO BR UNIT:
6 X 1.5= 9.0 PARKING SPACES INCLUDING (1) HC VAN SPACE REQUIRED

MOTORCYCLE PARKING NOT REQUIRED FOR RESIDENTIAL - SEE 15-6-5-5)D)(1)

PROPOSED PARKING:

900 CHELWOOD PARK BLVD. N.E. - (14) PARKING SPACES PLUS (1) GUEST SPACE
910 CHELWOOD PARK BLVD. N.E. - (14) PARKING SPACES PLUS (1) GUEST SPACE
COMPLIES

BICYCLE PARKING:

900 CHELWOOD PARK BLVD. N.E. - (3)BICYCLE PARKING SPACES REQUIRED, (6) PROVIDED IN GARAGES.
COMPLIES

910 CHELWOOD PARK BLVD. N.E. - (3)BICYCLE PARKING SPACES REQUIRED ,(6) PROVIDED IN GARAGES. **COMPLIES**

UNIT AREAS:

TWO BEDROOM/ 1 1/2 BATH TYPE "A" UNITS:

FLOOR AREA (EA. UNIT):	
LOWER LEVEL HEATED	546
UPPER LEVEL HEATED	659
TOTAL HEATED	1205 SF
GARAGE	292 SF
TOTAL AREA	1497 SF

TWO BEDROOM/ 1 1/2 BATH TYPE "B" UNITS:

FLOOR AREA (EA. UNIT):	
LOWER LEVEL HEATED	552
UPPER LEVEL HEATED	678
TOTAL HEATED	1230 SF
GARAGE	288 SF
TOTAL AREA	1518 SF

TWO BEDROOM/ 1 1/2 BATH TYPE "C" UNITS:

FLOOR AREA (EA. UNIT):	
LOWER LEVEL HEATED	557
UPPER LEVEL HEATED	657
TOTAL HEATED	1214 SF
GARAGE	428 SF
TOTAL AREA	1642 SF

PROJECT BUILDING AREAS:

900 CHELWOOD PARK BLVD. N.E. = 7298 SF
910 CHELWOOD PARK BLVD. N.E. = 7298 SF

TOTAL HEATED AREA = 14, 596 SQUARE FEET

900 CHELWOOD PARK BLVD. N.E. = 2016 SF
910 CHELWOOD PARK BLVD. N.E. = 2016 SF

TOTAL GARAGE AREA = 4,032 SQUARE FEET

TOTAL PROJECT AREA = 18,628 SQUARE FEET

LEGEND

CO — CURB OPENING PER DRAINAGE & GRADING PLAN CIVIL102

LS — LANDSCAPING -SEE LAND101

DESIGN PROFESSIONALS

TOWNHOUSES FOR WORQUE LLC

PRIME DESIGN PROFESSIONAL AND ARCHITECT:
ROGER CINELLI & ASSOCIATES INC, -
2418 MANUEL TORRES LN NW, ABQ., N.M.
PH. 243-8211

ELECTRICAL ENGINEER:
ELECTRICAL CONSULTANTS
974 NAZCON ROAD
BERNALILLO NEW MEXICO 87004
PH. 505-359-9230

STRUCTURAL ENGINEER:(WIND ANALYSIS ONLY)
GOLDEN LANE JR.
9808 DOROTHY PL. N.W.
ALBUQUERQUE, NEW MEXICO 87111
PH. 298-2385

RIO GRANDE ENGINEERING OF NEW MEXICO L.L.C.
PO BOX 93924
ALBUQUERQUE, NEW MEXICO
PH. 872-0999

APPLICABLE CODES

2015IBC
2015IRC
2015UMC
2015UPC
2017NEC

Cinelli ARCHITECTS / Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

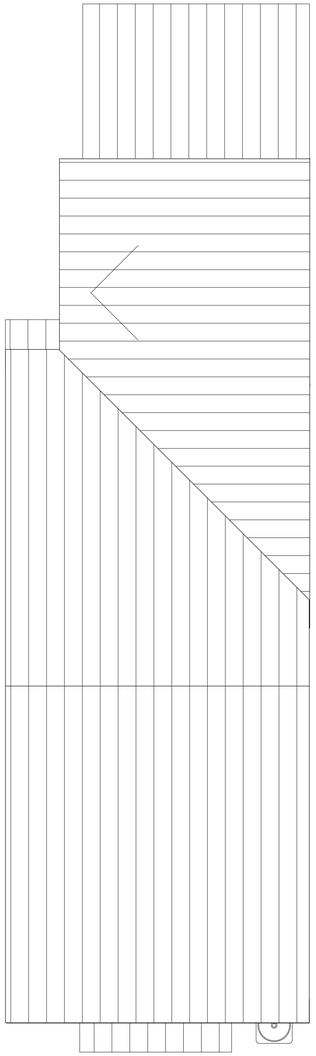
PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
SITE PLAN

SEAL — STATE OF NEW MEXICO · ROGER CINELLI · No. 7902 · REGISTERED ARCHITECT
7/20/19

DATE: JULY 2019
PROJECT NO.: MCKIN2

DRAWING NO.
SITE101



ROOF VENTILATION CALCULATION

TWO BEDROOM TYPE "A", "C" AND "D" UNIT VENTILATION CALCULATION PER R806

GROSS AREA = 654 SF
675/300 = 2.17 SF (314 SQ. IN.) REQUIRED VENT AREA

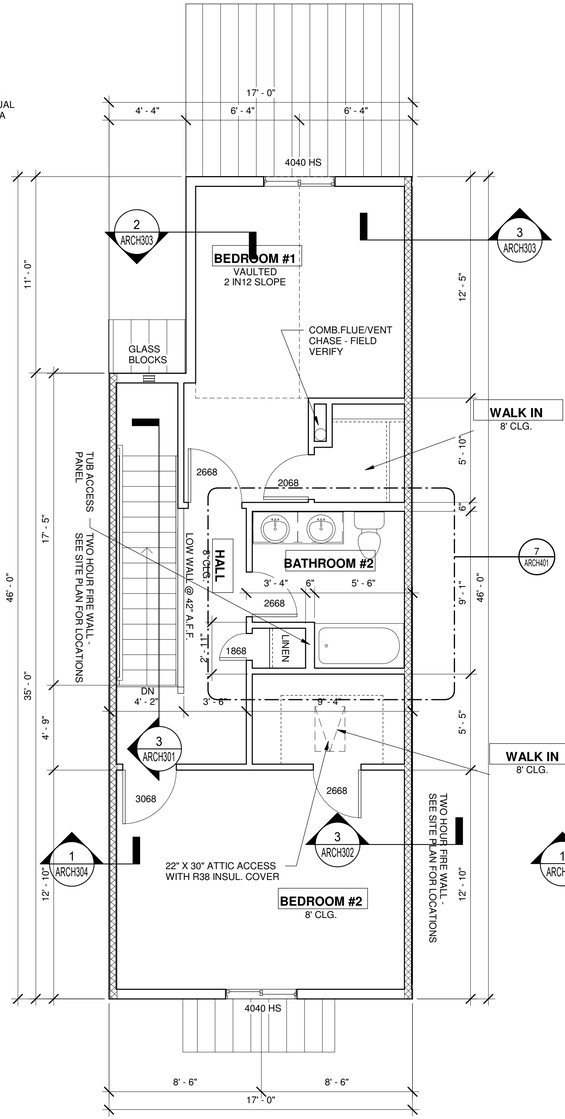
VENT TYPES AND CAPACITIES (NFA - NET FREE AREA)
RIDGE VENT (AT LEAST 3' ABOVE EAVE VENTS) = 40 SQ. IN NFA PER LINEAR FOOT - V-600 TE BY COR-A-VENT OR EQUAL
12" RADIUS QUARTER ROUND GABLE VENT = 32 SQ. IN. NFA AMERICAN LOUVER AND VENT CO. OR EQUAL
3" WIDE CONTINUOUS STRIP EAVE VENT - 9 SQ. IN./LIN. FT.

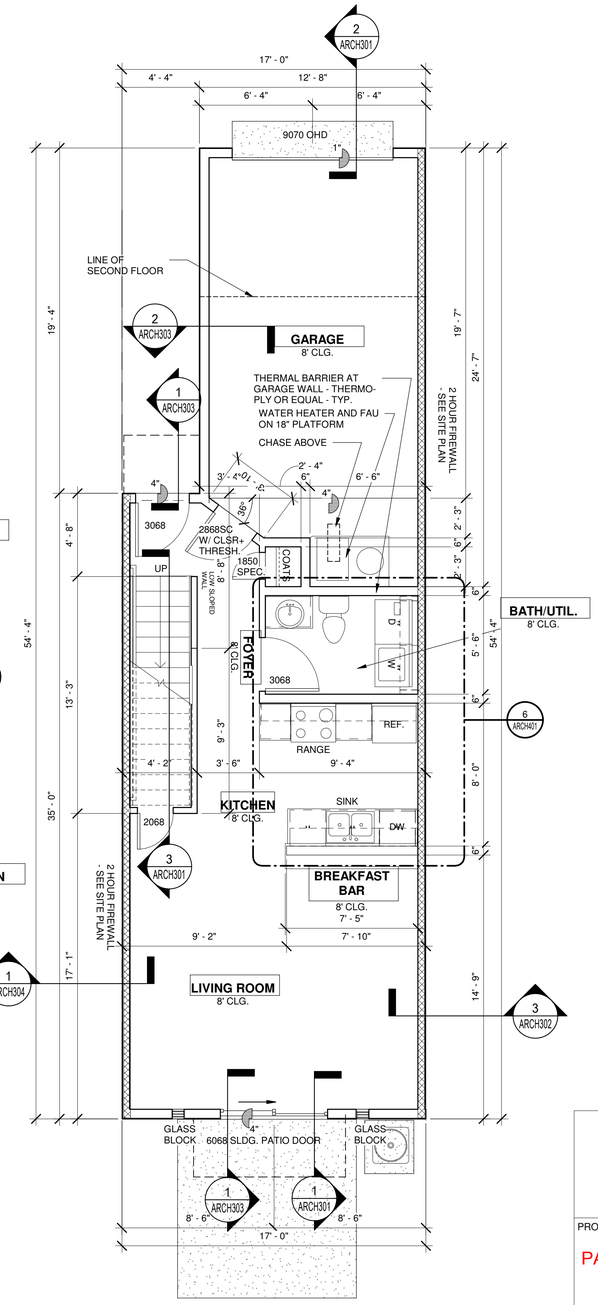
CALCULATION:

6.0 LIN. FT. COR-A-VENT RIDGE VENT = 240 SQ. IN. NFA OR 74% OF REQ'D VENT AREA
(1) 12" R. QTR RND GABLE VENT = 32 SQ. IN. NFA
5 LIN. FT. OF 3" WIDE CONTINUOUS STRIP EAVE VENT = 45 SQ. IN. NFA
240 + 32 + 45 = 317 SQ. IN. NFA > 314 SQ. IN. - **COMPLIES**

ROOF VENT CLEARANCES

REFER TO MANUAL FOR MANUFACTURER'S RECOMMENDED ROOF VENT INSTALLATION AND CLEARANCES.





GENERAL BUILDING SPECIFICATIONS AND NOTES:

A. EXTERIOR

1. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING.FACE OF WALL SHEATHING SHALL ALIGN WITH FACEOF PERIMETER INSULATION (OR THE FACE OF CONCRETE WHERE THERE IS NO PERIMETER INSULATION).
2. ALL EXTERIOR WINDOWS AND DOORS SHALL BE DAFLASHED WITH PROTECTO-WRAP, 4" WIDE, 20 MIL THICKNESS OR EQUAL.
3. STATIC ROOF VENTS ARE COR-A-VENT
4. DOUBLE PANE WINDOWS SHALL COMPLY WITH IEEC TABLE 402.1.1.

B. INTERIOR

1. PROVIDE CAULKING AT INSIDE EDGE OF ALL EXTERIOR WALL SILL PLATES.
2. PROVIDE DUROCK OR CEMENT BASED BOARD AT SHOWERS - FLOOR TO CEILING AND TUBS - DECK TO FLOOR
3. PROVIDE 1/4" THERMOPLY THERMAL BARRIER AT BATH TUB TO EXTERIOR WALL PER IECC2009. INSTALL FROM FLOOR TO TUB DECK AT BATHTUB. INSTALL FROM FLOOR TO TOP OF TUB INSERT, WHERE APPLICABLE.
4. BATH, KITCHEN AND LAUNDRY EXHAUST FANS SHALL BE VENTED TO THE OUTSIDE AND SEALED WITH TAPE AND SEALENT.
5. COMPLETELY FILL JOIST CAVITY IN JOIST SPACE AT GARAGE WITH CONDITIONED SPACE ABOVE. PROVIDE MIN R-38 AT UPPER LEVEL CEILING.
6. PERFORM REFRIGERANT CHARGE TEST ON ALL A/C UNITS. PROVIDE DOCUMENTATION INDICATING THAT PRESSURE IS WITHIN MANUFACTURER'S RECOMMENDATIONS.
7. INSTALL SINGLE-THROW SUPPLY VALVE FOR ALL CLOTHES WASHERS IN OR OVER LIVING SPACES
8. ASHRAE STD. 62.2:WHERE ATMOSPHERICALLY VENTED COMBUSTION APPLIANCES OR SOLID FUEL BURNING APPLIANCES ARE LOCATEDWITHIN THE PRESSURE BOUNDARY, THE TOTAL NET EXHAUSTFLOW OF THE TWO LARGEST EXHAUST FANS (NOT INCLUDING) A SUMMER COOLING FAN INTENDED TO BE OPERATED ONLY WHEN WINDOWS OR OTHER AIR INLETS ARE OPEN) SHALL NOT EXCEED OVER 15 CFM/100 FT² (75 LPS/M²) OF OCCUPIABLE SPACE WHEN IN OPERATION AT FULL CAPACITY. IF THE DESIGNED TOTAL NETFLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED (BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUTDOOR AIRFLOW) OR ATMOSPHERICALLY.
9. PROVIDE 1/4" THERMOPLY OR EQUAL THERMAL BARRIER AT STAIRS TO EXTERIOR WALL PER IECC2009.

GENERAL DOOR/WINDOW NOTES

1. PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE GLASS PANELS WHICH ARE WITHIN 24" OF VERTICAL FACE OF DOOR
2. PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE GLASS PANELS WHICH ARE LESS THAN 18" ABOVE FINISH FLOOR
3. COMPLY WITH ALL GLAZING REQUIREMENTS - IRC2015 EDITION
4. ALL EXTERIOR WINDOW GLAZING SHALL BE LOW E MAXIMUM U-VALUE OF 0.35 PER 2009 IECC TABLE 402.11

PLAN ORIENTATION

STANDARD PLAN SHOWN - REFER TO SITE PLAN FOR STANDARD VERSUS REVERSED PLAN ORIENTATION

3 TWO BEDROOM TYPE "A" ROOF PLAN
Scale: 1/4" = 1'-0"

2 TWO BEDROOM TYPE "A" UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

1 TWO BEDROOM TYPE "A" LOWER FLOOR PLAN
Scale: 1/4" = 1'-0"

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TWO BEDROOM - TYPE "A" UNIT

SEAL
STATE OF NEW MEXICO
No. 7402
REGISTERED ARCHITECT
7/20/19

DATE: JULY 2019
PROJECT NO.: MCKIN2
DRAWING NO.: ARCH101

ROOF VENTILATION CALCULATION

ROOF VENTILATION CALCULATION

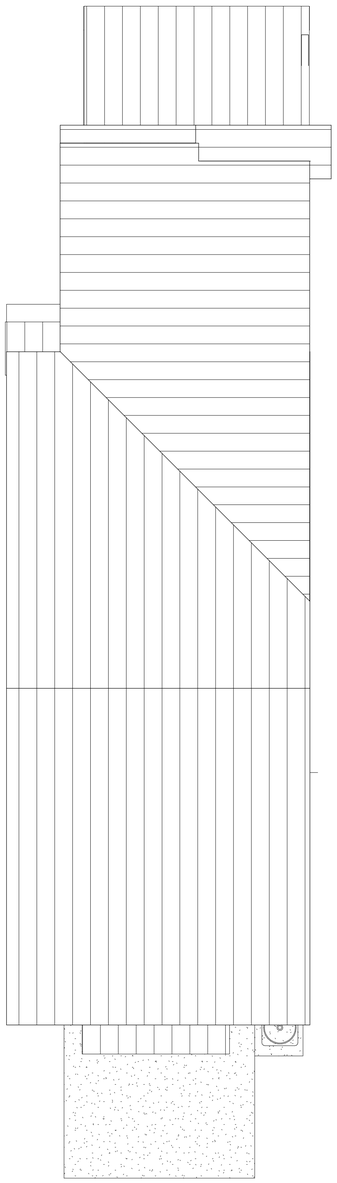
TWO BEDROOM TYPE "B" UNIT VENTILATION CALCULATION PER R806

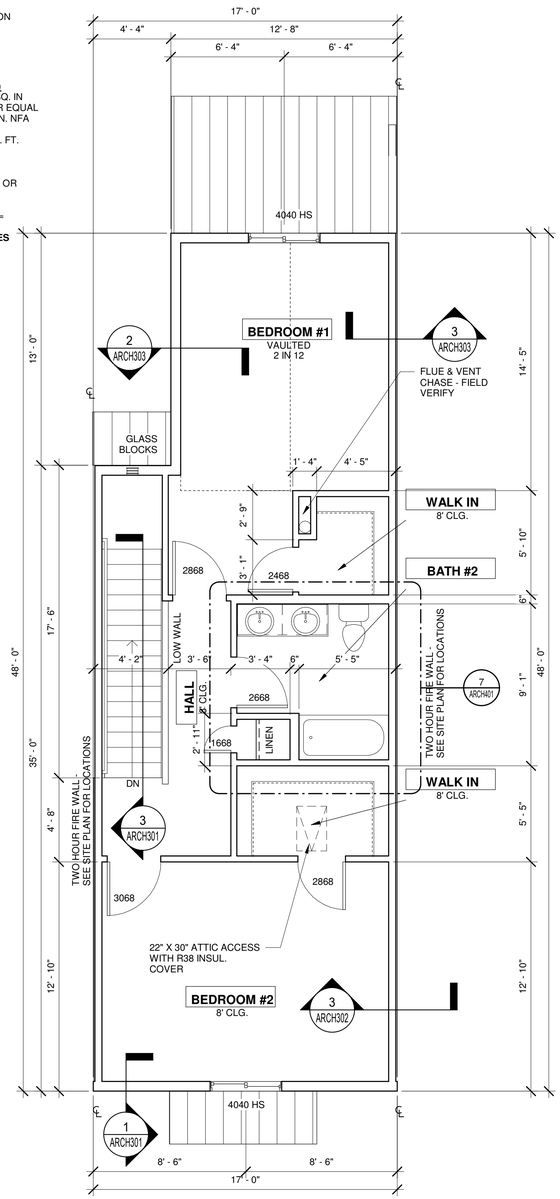
TWO BEDROOM TYPE "A", "C" AND "D" UNIT VENTILATION
GROSS AREA = 654 SF CALCULATION PER R806
675/300 = 2.25 SF (324 SQ. IN.) REQUIRED VENT AREA
GROSS AREA = 654 SF
VENT TYPES AND CAPACITIES (NFA - NET FREE AREA) D VENT AREA
RIDGE VENT (AT LEAST 3" ABOVE EAVE VENTS) = 40 SQ. IN
NFA PER LINEAR FOOT -V-600 TE BY COR-A-VENT OR EQUALAREA)
12" RADIUS QUARTER ROUND GABLE VENT = 32 SQ. IN. NFA) = 40 SQ. IN
AMERICAN LOUVER AND VENT CO. OR EQUALCOR-A-VENT OR EQUAL
3" WIDE CONTINUOUS STRIP EAVE VENT -9 SQ. IN./LIN. FT. = 32 SQ. IN. NFA
AMERICAN LOUVER AND VENT CO. OR EQUAL
CALCULATION:3" WIDE CONTINUOUS STRIP EAVE VENT - 9 SQ. IN./LIN. FT.

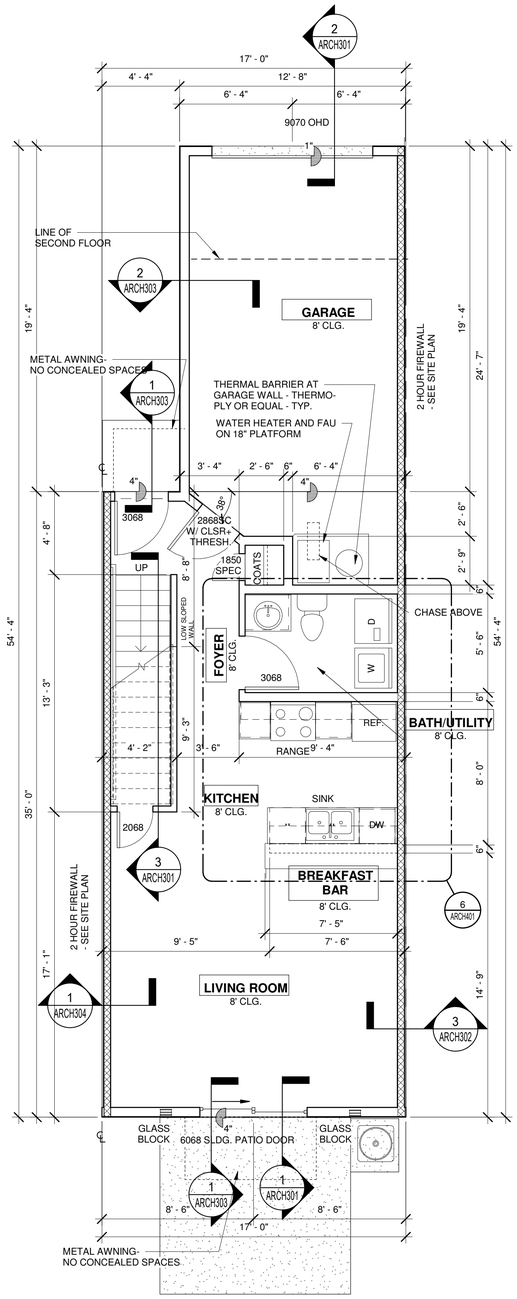
6.0 LIN. FT. COR-A-VENT RIDGE VENT = 240 SQ. IN. NFA OR
74% OF REQ'D VENT AREA
(1) 12" R. QTR RND GABLE VENT = 32 SQ. IN. NFA;NT = 240 SQ. IN. NFA OR
6 LIN. FT. OF 3" WIDE CONTINUOUS STRIP EAVE VENT =
54 SQ. IN. NFA (1) 12" R. QTR RND GABLE VENT = 32 SQ. IN. NFA
240 + 32 + 54 = 326 SQ. IN. NFA > 324 SQ. IN. - **COMPLIES**EAVE VENT =
45 SQ. IN. NFA
240 + 32 + 45 = 317 SQ. IN. NFA > 314 SQ. IN. - **COMPLIES**

ROOF VENT CLEARANCES

REFER TO MANUAL FOR MANUFACTURER'S RECOMMENDED ROOF VENT INSTALLATION AND CLEARANCES.







GENERAL BUILDING SPECIFICATIONS AND NOTES:

A. EXTERIOR

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3. STATIC ROOF VENTS ARE COR-A-VENT
4. DOUBLE PANE WINDOWS SHALL COMPLY WITH IEEC TABLE 402.1.1.

B. INTERIOR

1. PROVIDE CAULKING AT INSIDE EDGE OF ALL EXTERIOR WALL SILL PLATES.
2. PROVIDE DUROCK OR CEMENT BASED BOARD AT SHOWERS - FLOOR TO CEILING AND TUBS - DECK TO FLOOR
3. PROVIDE 1/4" THERMOPLY THERMAL BARRIER AT BATH TUB TO EXTERIOR WALL PER IECC2009. INSTALL FROM FLOOR TO TUB DECK. AT BATHTUB. INSTALL FROM FLOOR TO TOP OF TUB INSERT, WHERE APPLICABLE.
4. BATH, KITCHEN AND LAUNDRY EXHAUST FANS SHALL BE VENTED TO THE OUTSIDE AND SEALED WITH TAPE AND SEALENT.
5. COMPLETELY FILL JOIST CAVITY IN JOIST SPACE AT GARAGE WITH CONDITIONED SPACE ABOVE. PROVIDE MIN R-38 AT UPPER LEVEL CEILING.
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PLAN ORIENTATION

STANDARD PLAN SHOWN -
REFER TO SITE PLAN FOR STANDARD VERSUS REVERSED PLAN ORIENTATION

3 TWO BEDROOM TYPE "B" ROOF PLAN
Scale: 1/4" = 1'-0"

2 TWO BEDROOM TYPE "B" UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"

1 TWO BEDROOM TYPE "B" LOWER FLOOR PLAN
Scale: 1/4" = 1'-0"

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

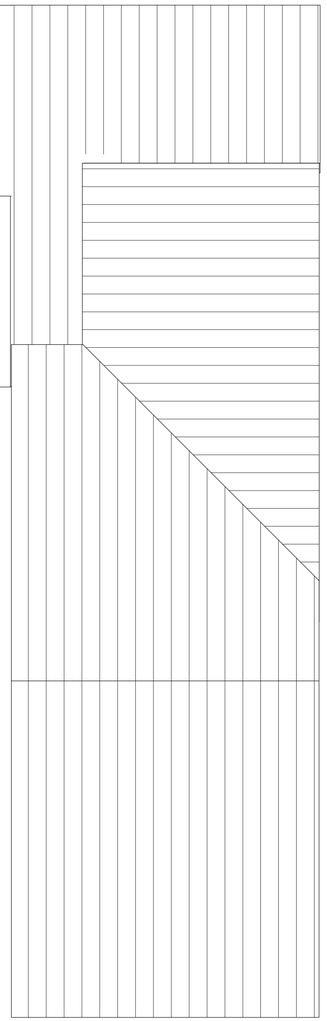
PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TWO BEDROOM TYPE "B" UNIT

SEAL
STATE OF NEW MEXICO
ROGER CINELLI
No. 7102
REGISTERED ARCHITECT
7/20/19

DATE: JULY 2019
PROJECT NO.: MCKIN2

DRAWING NO.
ARCH102



ROOF VENTILATION CALCULATION

TWO BEDROOM TYPE "A", "C" AND "D" UNIT VENTILATION CALCULATION PER R806

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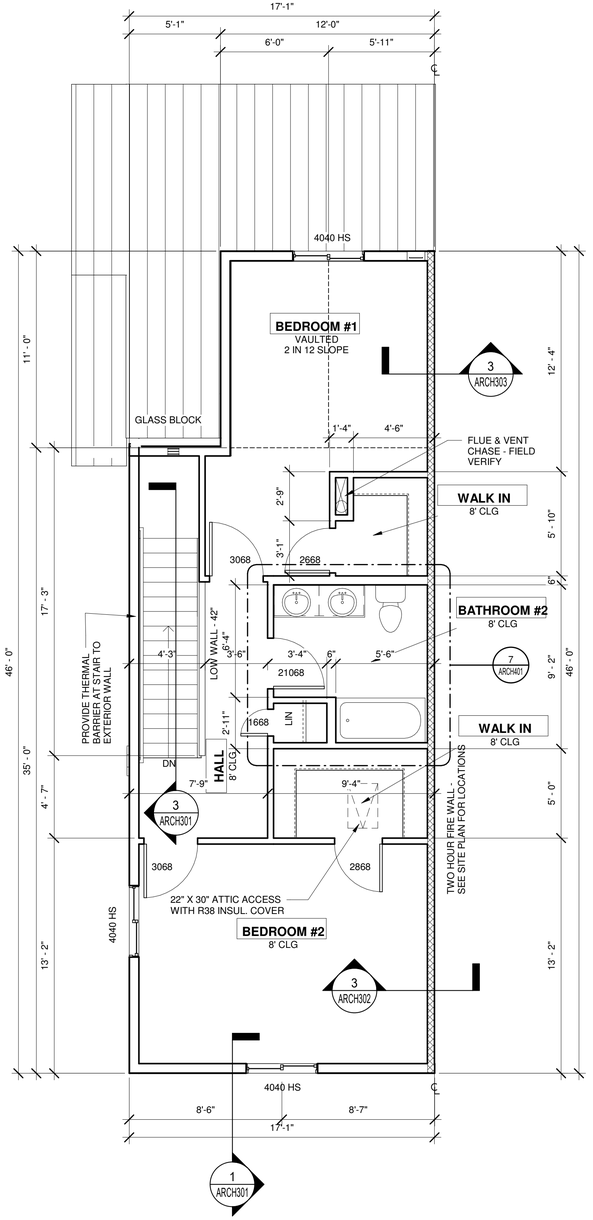

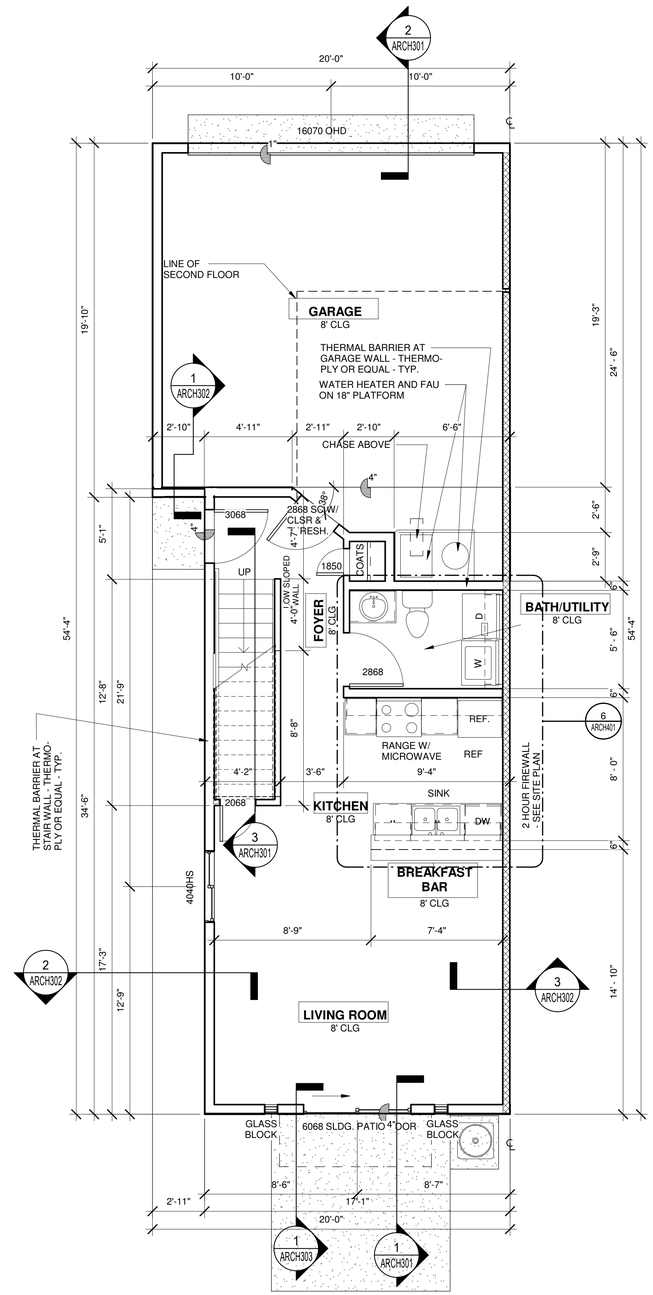

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PLAN ORIENTATION

STANDARD PLAN SHOWN -
REFER TO SITE PLAN FOR STANDARD VERSUS REVERSED PLAN ORIENTATION

3 TWO BEDROOM TYPE "C" ROOF PLAN
Scale: 1/4" = 1'-0"

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Scale: 1/4" = 1'-0"

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Scale: 1/4" = 1'-0"

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

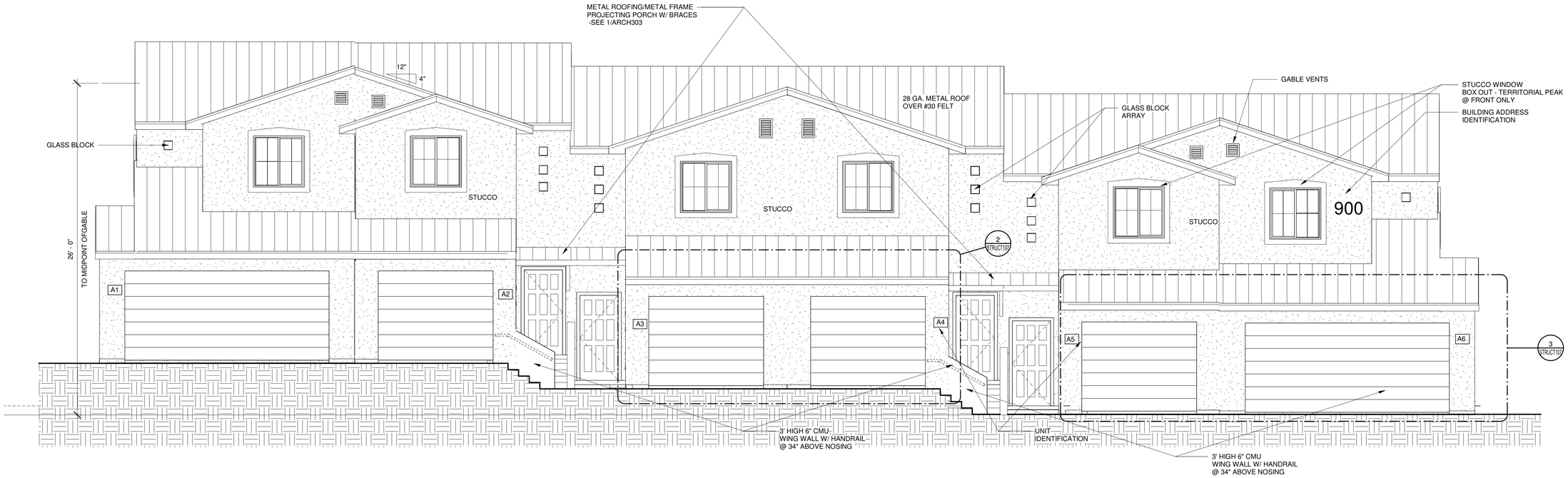
PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TWO BEDROOM TYPE "C" UNIT

SEAL
STATE OF NEW MEXICO
ROGER CINELLI
No. 7902
REGISTERED ARCHITECT
7/20/19

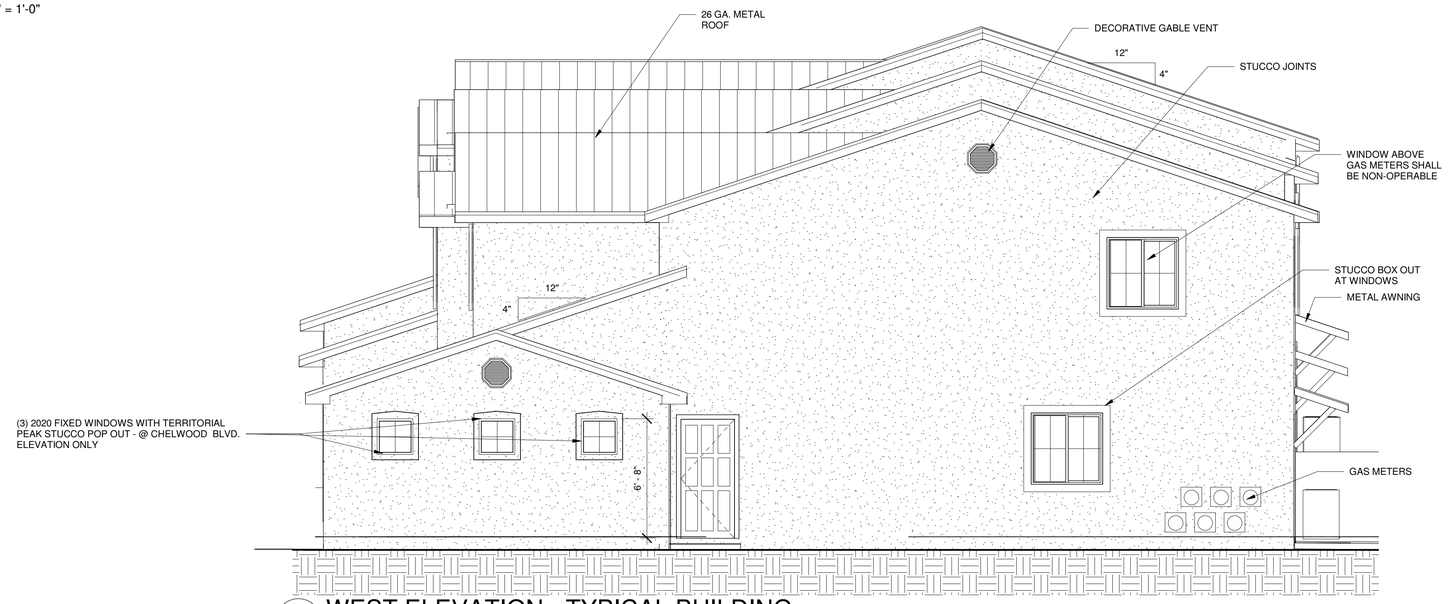
DATE	PROJECT NO.
JULY 2019	MCKIN2

DRAWING NO.
ARCH103



1 NORTH ELEVATION - 900 CHELWOOD.

Scale: 1/4" = 1'-0"



2 WEST ELEVATION - TYPICAL BUILDING

Scale: 1/4" = 1'-0"

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
EXTERIOR ELEVATIONS - 900 CHELWOOD BLVD. N.E.

SEAL

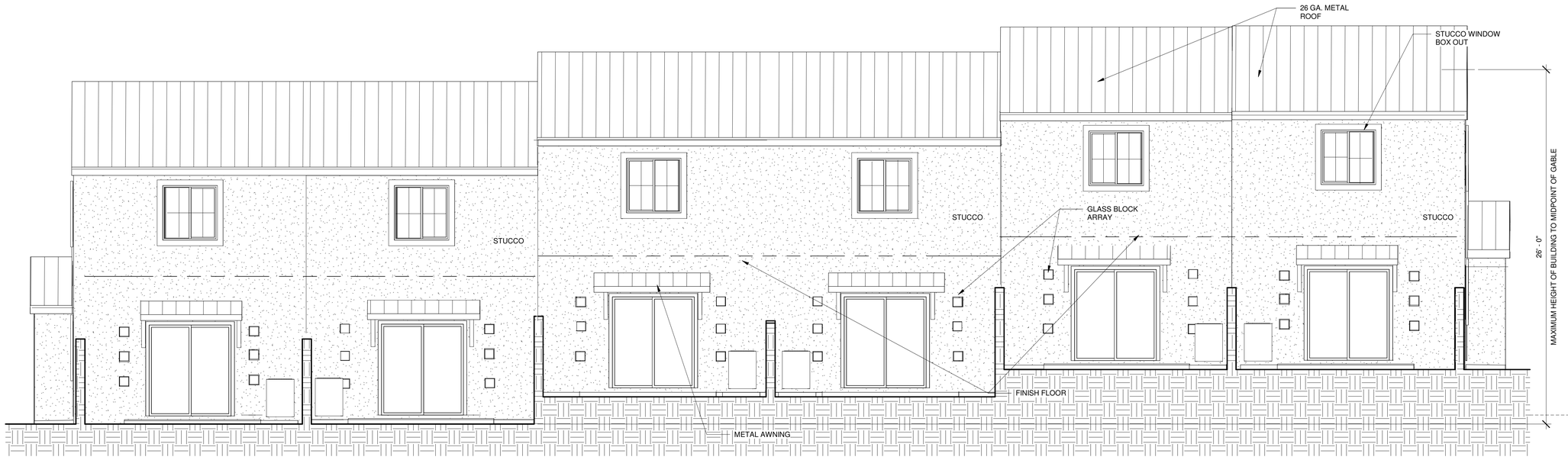
STATE OF NEW MEXICO
ROGER CINELLI
No. 7702
REGISTERED ARCHITECT

7/20/19

DATE	PROJECT NO.
JULY 2019	MCKIN2

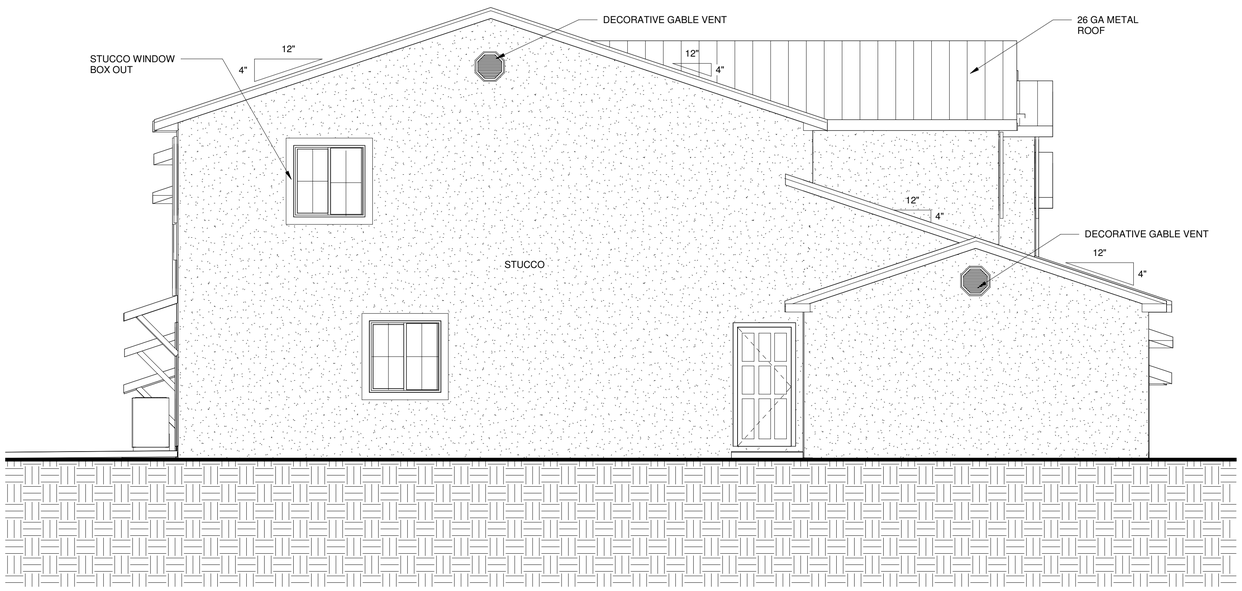
DRAWING NO.

ARCH201



1 SOUTH ELEVATION - 900 CHELWOOD

Scale: 1/4" = 1'-0"



2 EAST ELEVATION - 900 CHELWOOD

Scale: 1/4" = 1'-0"

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
EXTERIOR ELEVATIONS - 900 CHELWOOD BLVD. N.E.

SEAL

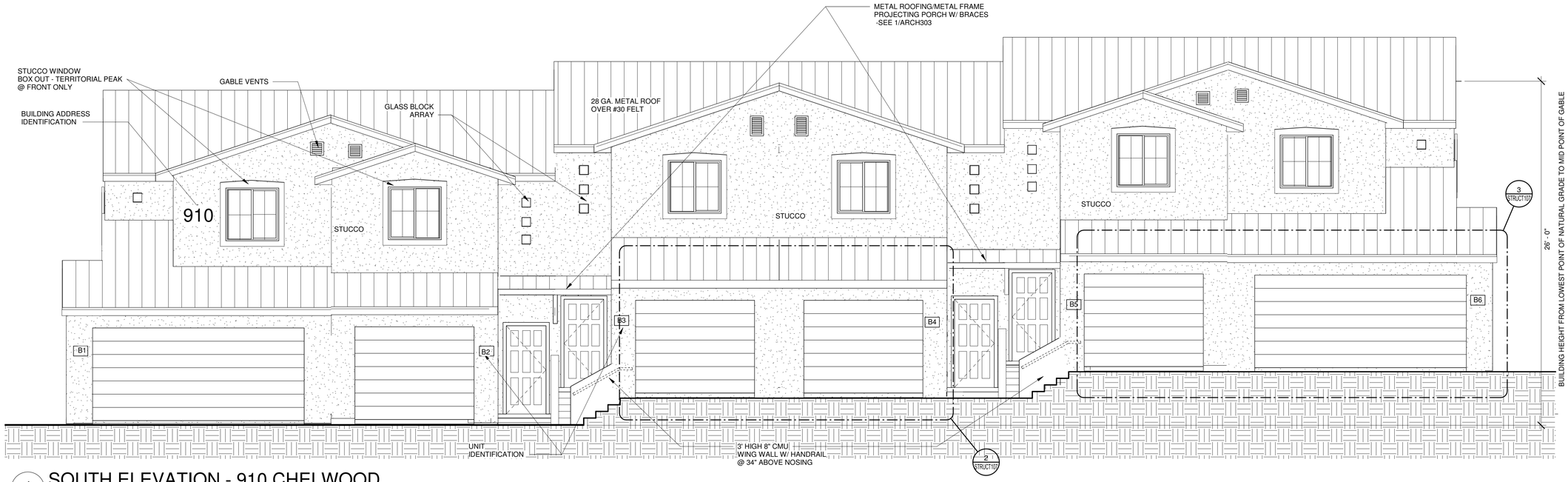
STATE OF NEW MEXICO
ROGER CINELLI
No. 7102
REGISTERED ARCHITECT

7/20/19

DATE	PROJECT NO.
JULY 2019	MCKIN2

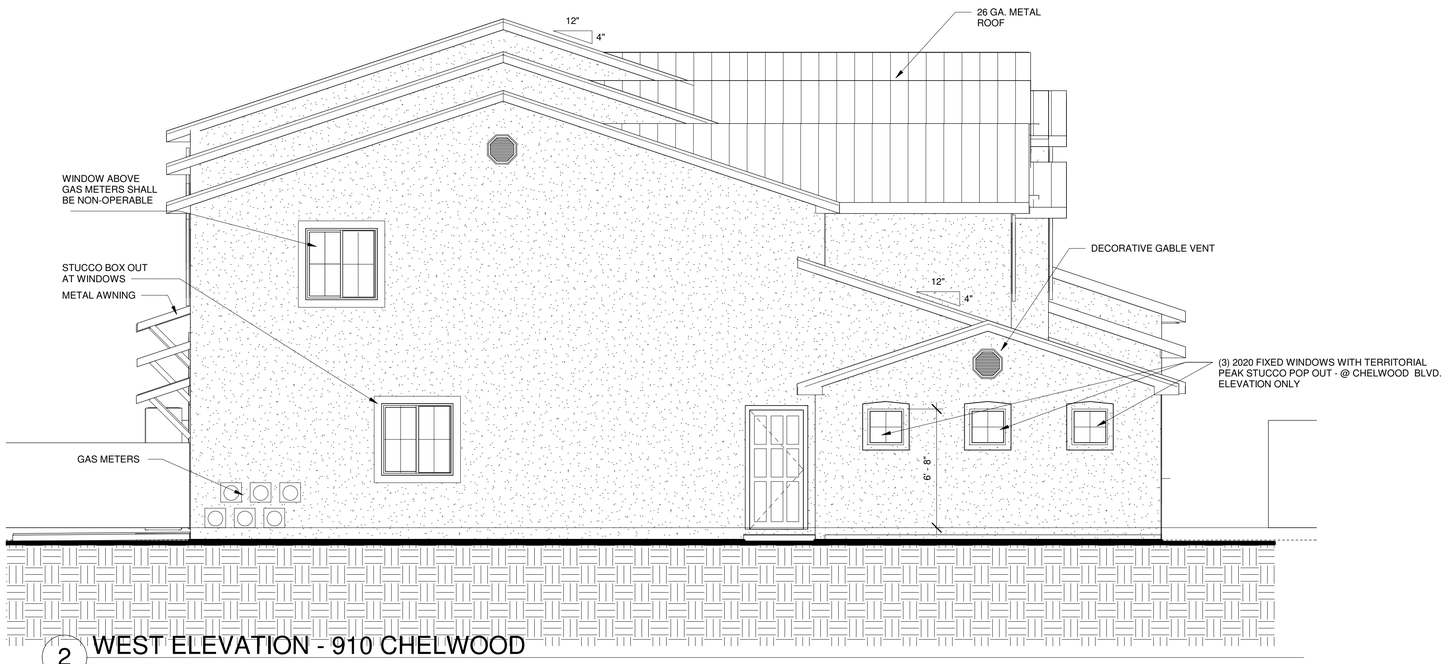
DRAWING NO.

ARCH202



1 SOUTH ELEVATION - 910 CHELWOOD

Scale: 1/4" = 1'-0"



2 WEST ELEVATION - 910 CHELWOOD

Scale: 1/4" = 1'-0"

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:

12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:

EXTERIOR ELEVATIONS - 910 CHELWOOD BLVD. N.E.

SEAL

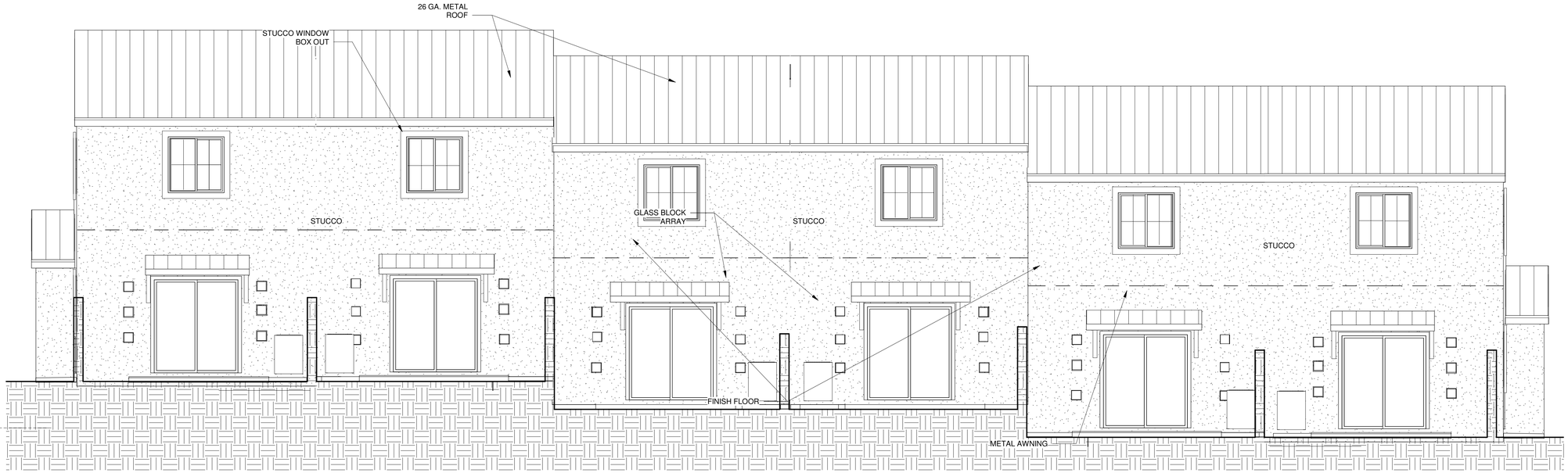
STATE OF NEW MEXICO
ROGER CINELLI
No. 7102
REGISTERED ARCHITECT

5/12/15

DATE	PROJECT NO.
JULY 2019	MCKIN2

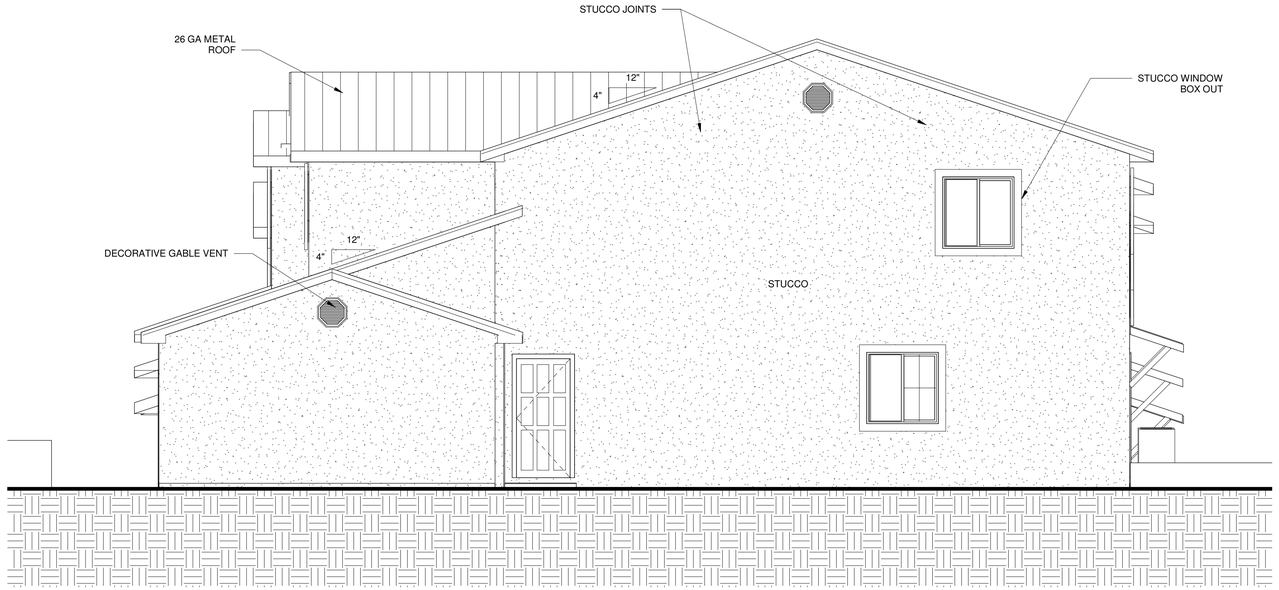
DRAWING NO.

ARCH203



1 NORTH ELEVATION - 910 CHELWOOD

Scale: 1/4" = 1'-0"



2 EAST ELEVATION - 910 CHELWOOD

Scale: 1/4" = 1'-0"

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
EXTERIOR ELEVATIONS - 910 CHELWOOD BLVD. N.E.

SEAL

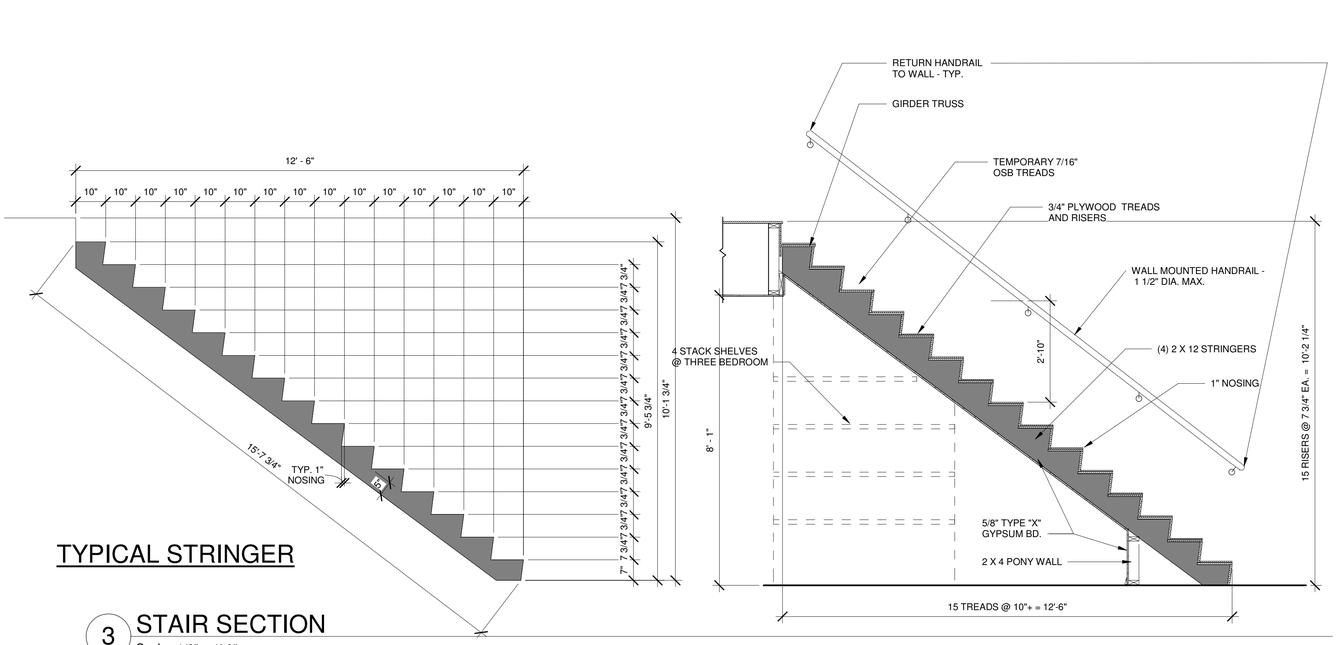
STATE OF NEW MEXICO
ROGER E. CINELLI
NO. 3102
REGISTERED ARCHITECT

7/20/19

DATE	PROJECT NO.
JULY 2019	MCKIN2

DRAWING NO.

ARCH204



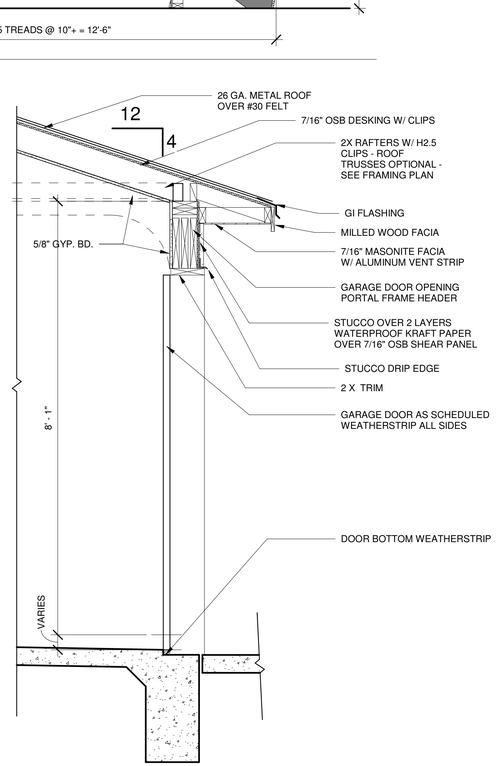
TYPICAL STRINGER

3 STAIR SECTION

Scale: 1/2" = 1'-0"

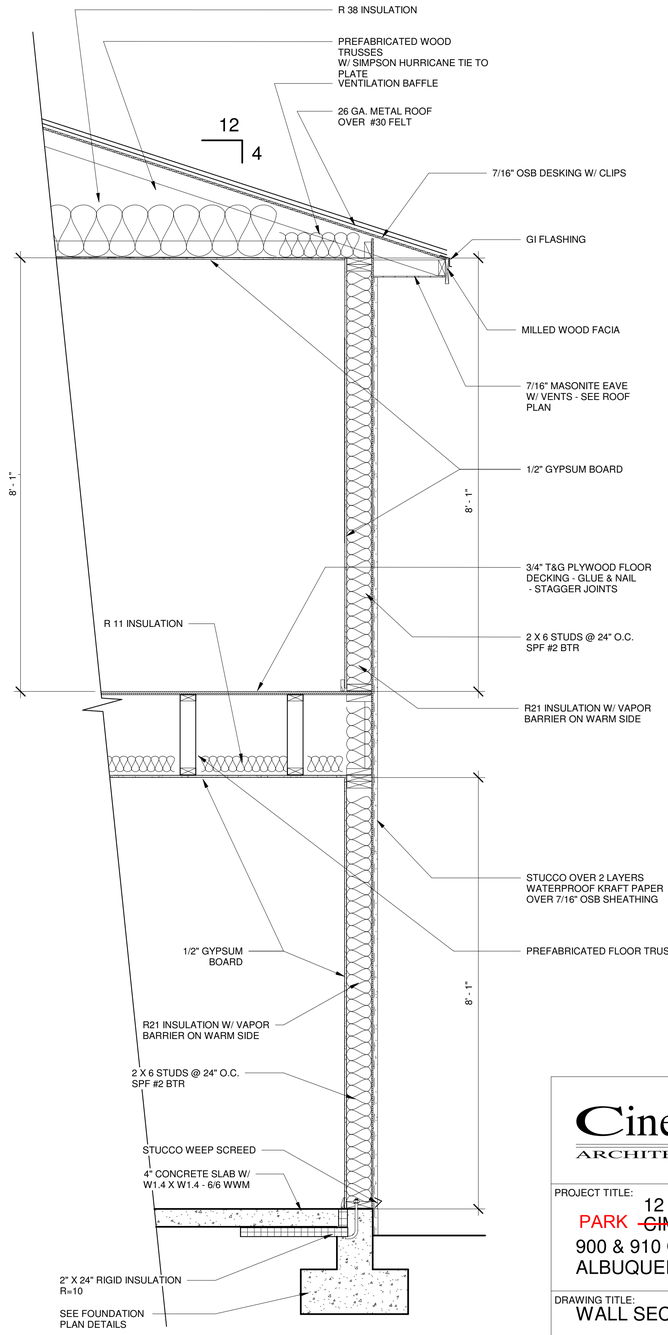
STAIR NOTES

1. UNDERSIDES OF NOSINGS SHALL NOT BE ABRUPT.
2. RADIUS OF CURVATURE OF LEADING STAIR TREAD EDGE SHALL NOT EXCEED 1/2". OR UNDERSIDES OF NOSINGS SHALL HAVE AN ANGLE NOT LESS THAN 60 DEGREES. NOSINGS SHALL PROJECT NO MORE THAN 1 1/2". PROVIDE A CLEAR SPACE BETWEEN RAIL AND ANY WALL - MIN. 1 1/2".
3. GRIPPING SURFACE OF HANDRAIL SHALL BE CONTINUOUS (UNTERRUPTED). ENDS OF HANDRAILS SHALL BE ROUNDED OR RETURNED.
4. DIAMETER OF GRIPPING SURFACE OF HANDRAIL SHALL BE 1 1/4" TO 1 1/2".
5. HANDRAILS AND ADJACENT SURFACES SHALL BE FREE OF ABRASIVE OR SHARP ELEMENTS.
6. ALL STEPS ON STAIRS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD DEPTH.



2 WALL DETAIL @ GARAGE DOOR

Scale: 3/4" = 1'-0"



1 TWO STORY WALL SECTION

Scale: 3/4" = 1'-0"

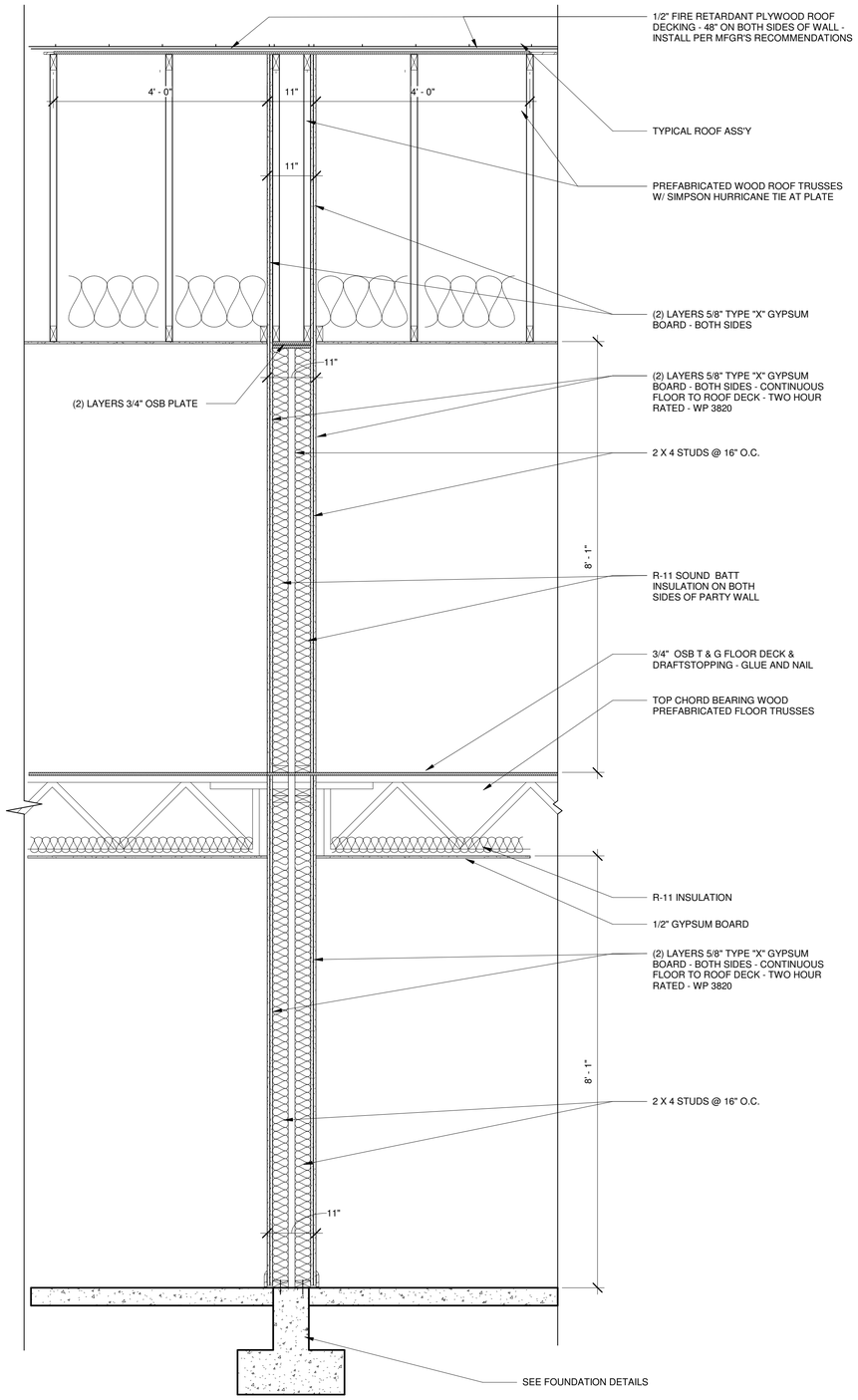
Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
WALL SECTIONS AND ASSEMBLIES

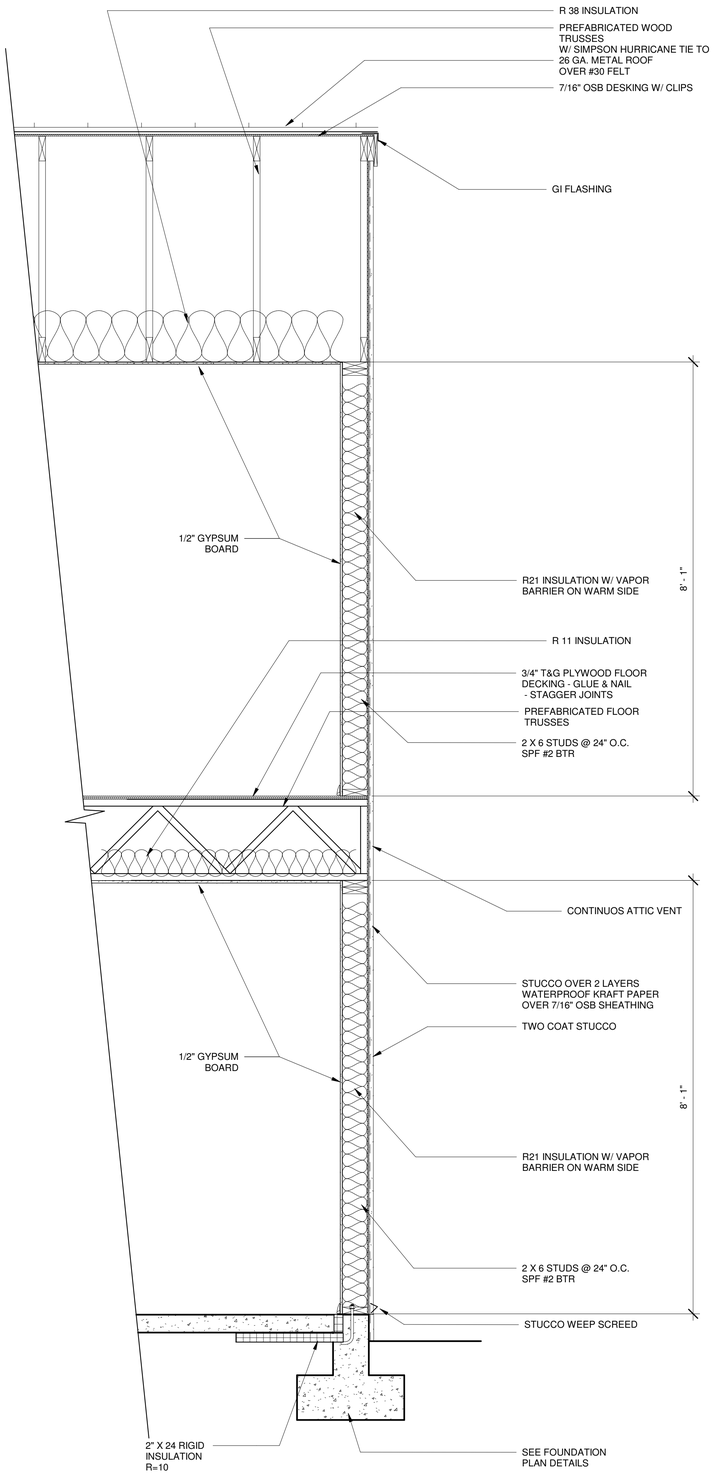
SEAL
STATE OF NEW MEXICO ROGER CINELLI No. 7892 REGISTERED ARCHITECT
7/20/19

DATE: JULY 2019
PROJECT NO.: MCKIN2
DRAWING NO.: ARCH301



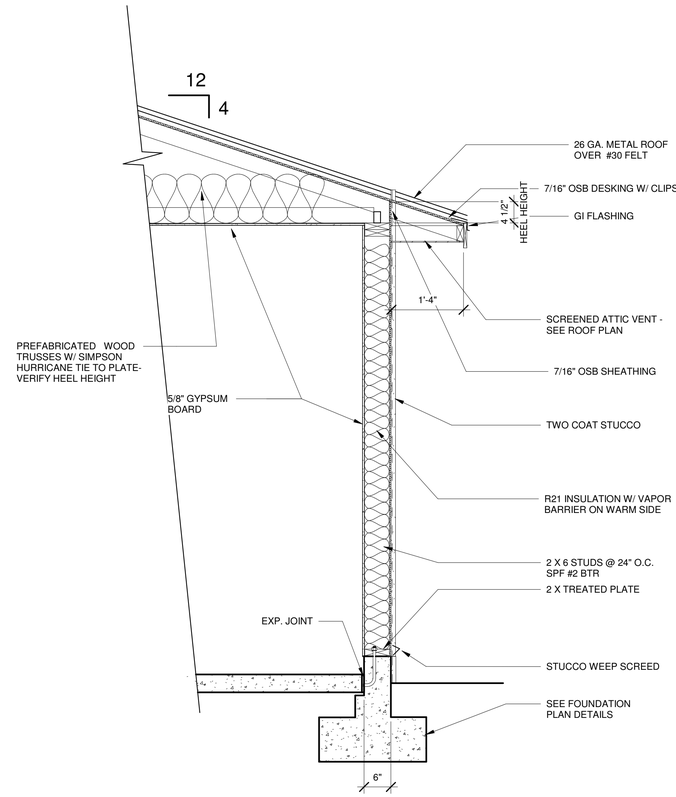
3 PARTY WALL SECTION

Scale: 3/4" = 1'-0"



2 TWO STORY END WALL SECTION

Scale: 3/4" = 1'-0"



1 ONE STORY SECTION

Scale: 3/4" = 1'-0"

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

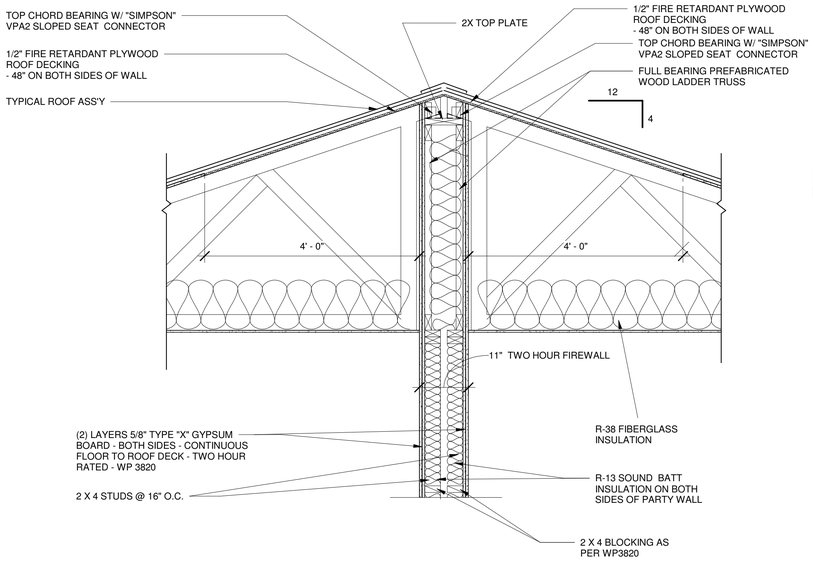
PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK CIMA TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
WALL SECTIONS

SEAL
STATE OF NEW MEXICO
ROGER CINELLI
No. 7102
REGISTERED ARCHITECT
7/20/19

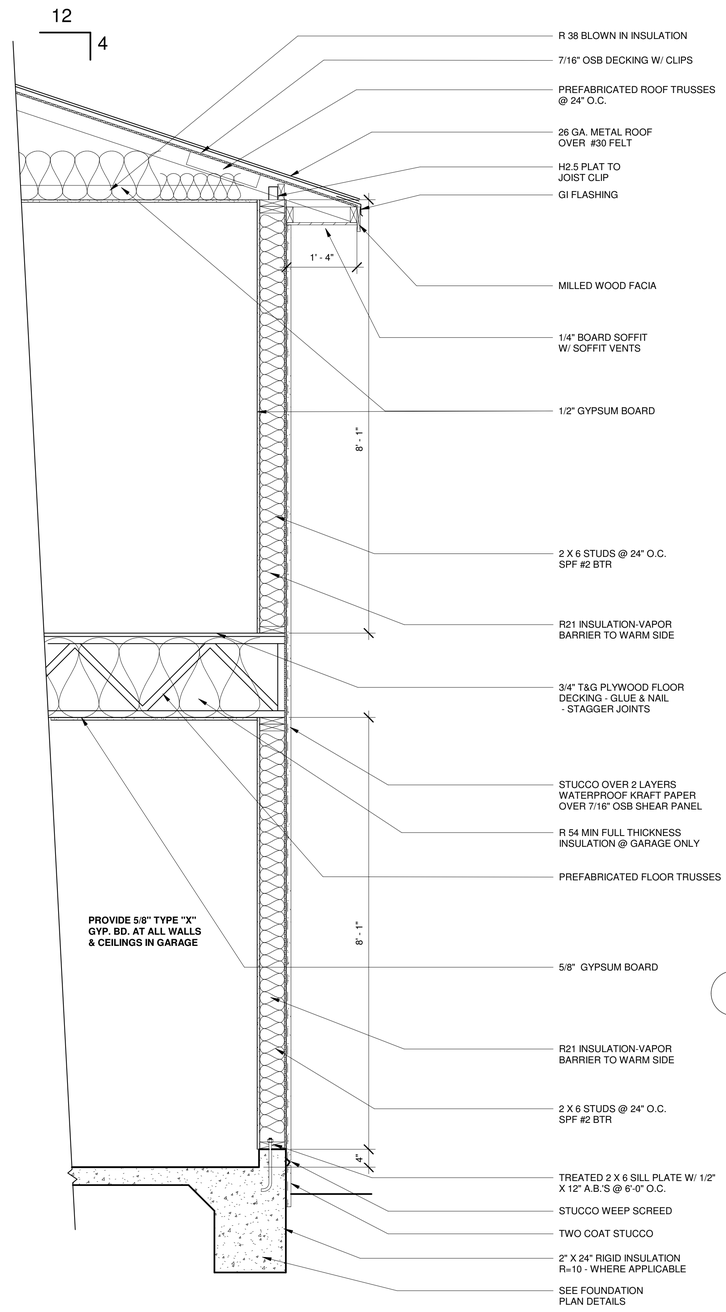
DATE	PROJECT NO.
JULY 2019	MCKIN2

DRAWING NO.
ARCH302



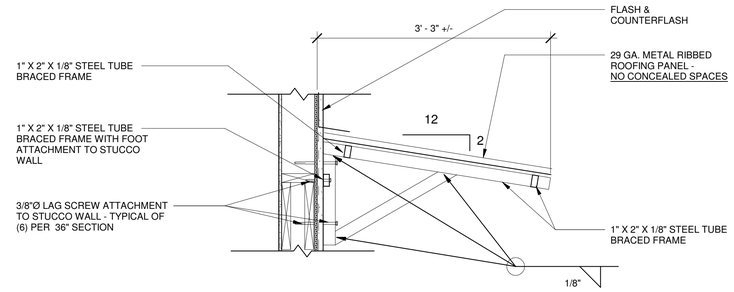
3 PARTY WALL SECTION @ ROOF PEAK

Scale: 3/4" = 1'-0"



2 GARAGE WALL SECTION

Scale: 3/4" = 1'-0"



1 METAL AWNING DETAIL

Scale: 1" = 1'-0"

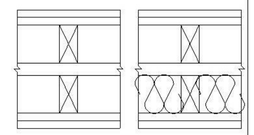
WALLS AND INTERIOR PARTITIONS, WOOD-FRAMED

GA FILE NO. WP 3820	GENERIC	2 HOUR FIRE	55 to 59 STC SOUND

GYPSUM WALLBOARD, WOOD STUDS

Base layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to each side of double row of 2 x 4 wood studs 16" o.c. on separate plates 1" apart with 6d coated nails, 1 7/8" long, 0.085" shank, 1/4" heads, 24" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to each side with 8d coated nails, 2 3/8" long, 0.100" shank, 1/4" heads, 8" o.c.

Joints staggered 16" each layer and side. Sound tested with 3 1/2" glass fiber insulation stapled to studs in stud spaces on one side and with nails for base layer spaced 6" o.c. Horizontal bracing required at mid-height. (LOAD-BEARING)



Thickness:	10 3/4"
Approx. Weight:	13 psf
Fire Test:	See WP 4135 (FM WP 360, 9-27-74)
Sound Test:	NGC 3056, 4-7-70

TWO HOUR ASSEMBLY - WP3820

Scale: 1/4" = 1'-0"

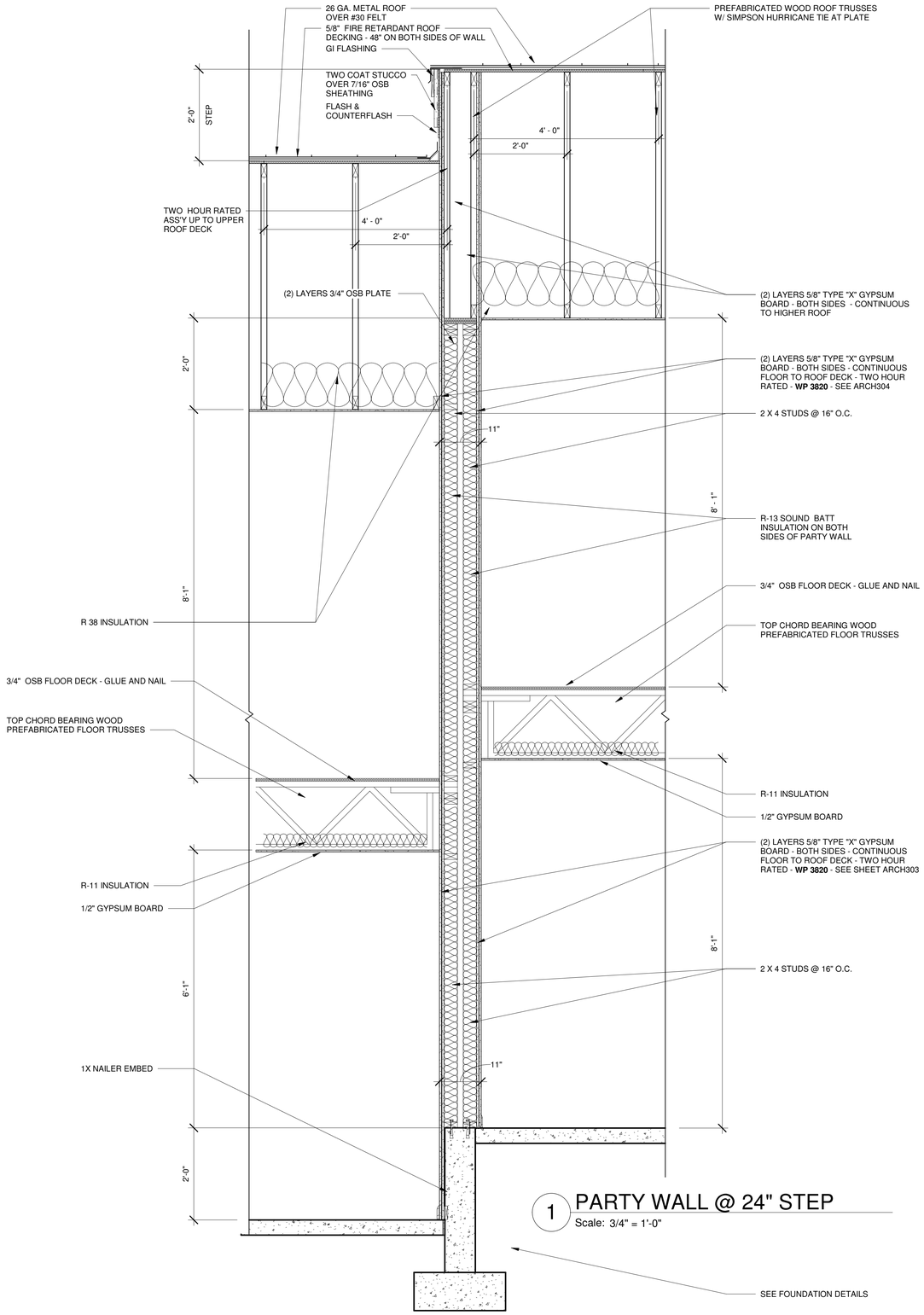
Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
SECTIONS & ASSEMBLIES

SEAL
STATE OF NEW MEXICO
REGISTERED ARCHITECT
7/20/19

DATE: JULY 2019
PROJECT NO.: MCKIN2
DRAWING NO.: ARCH303



1 PARTY WALL @ 24" STEP

Scale: 3/4" = 1'-0"

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

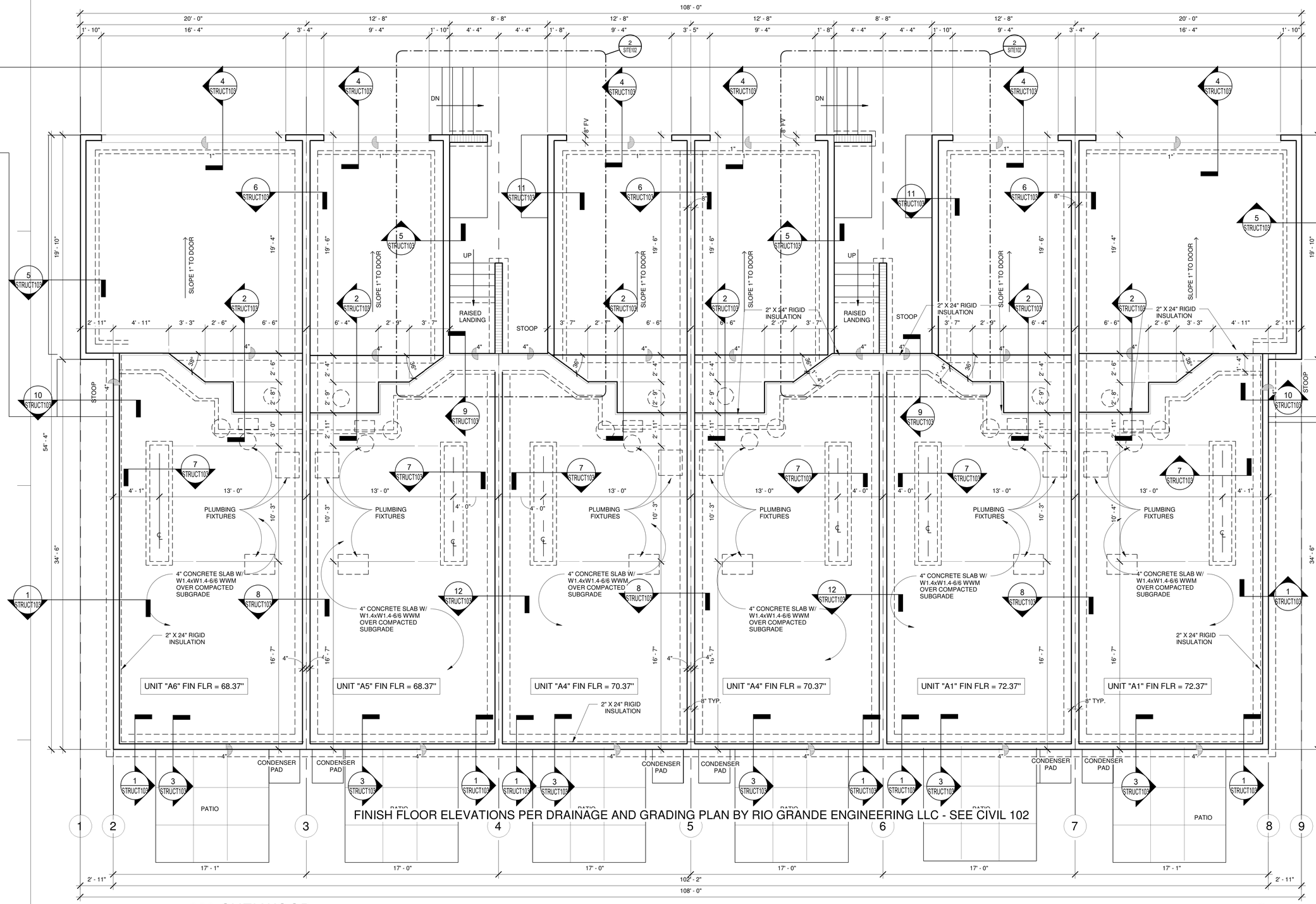
PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
WALL SECTIONS

SEAL
STATE OF NEW MEXICO ROGER CINELLI No. 7102 REGISTERED ARCHITECT
7/20/19

DATE	PROJECT NO.
JULY 2019	MCKIN2

DRAWING NO.
ARCH304



FINISH FLOOR ELEVATIONS PER DRAINAGE AND GRADING PLAN BY RIO GRANDE ENGINEERING LLC - SEE CIVIL 102

900 CHELWOOD FOUNDATION PLAN

1 Scale: 1/4" = 1'-0"

GENERAL FOUNDATION NOTES

1. ALL FOUNDATION PLAN DIMENSIONS ARE TO FACE OF RIGID INSULATION (OR TO FACE OF CONCRETE WHERE THERE IS NO PERIMETER INSULATION)

2. FOUNDATION PLAN ELEVATIONS ARE BASED ON ELEVATIONS AS PER GRADING & DRAINAGE PLAN BY RIO ENGINEERING - SEE SHEET CIVIL102.

3. _____ IN THE ABSENCE OF A SOIL BEARING REPORT, SOIL BEARING CAPACITY HAS BEEN ASSUMED TO BE 1500 PSF. NO DATA HAS BEEN PROVIDED CONCERNINGTHIS ASSUMPTION. OWNER/BUILDER HAS PROVIDED ARCHITECT A WAIVER OF RESPONSIBILITY FOR ANY AND ALL FOUNDATION CRACKING, SETTLEMENT OR PROBLEMS RELATING TO FOUNDATION SETTLEMENT, ETC.
A HOLD HARMLESS LETTER SIGNED AND DATED APRIL 19, 2019 IS ON RECORD SHALL BE IN FORCE FOR ANY AND ALL FUTURE PROPRIETORS OF THE BUILDINGS.

4. CONCRETE STRENGTH 3000 PSI MIN., 4" MINIMUM SLAB THICKNESS OVER GRAVEL BASE COURSE OVER COMPACTED SUBGRACE. PROVIDE W1.4XW1.4-6/6WWM AT ALL SLABS ON GRADE.

5. BEAR PERIMETER FOOTINGS 18" MINIMUM BELOW GRADE, UNLESS SHOWN OTHERWISE.BEAR INTERIOR THICKEN FOOTINGS A MINIMUM OF 12" INTO UNDISTURBED.

6. STEP FOOTINGS AS NECESSARY TO COMPLY WITH CHAPTER 4 IRC2015 ASCENDING/DESCENDING SLOPES, CUTS, FILLS.

7. PROVIDE MINIMUM 40 BAR DIAMETER REBAR SPLICE PER TABLE R608.5.4(1) AND MINIMUM 3" COVER. REINFORCEMENT SHALL BE SECURED IN PLACE.

8. CONCRETE ENCASED ELECTRODES, ONE OR MORE #4 (1/2") REBAR NOT LESS THAN20 FEET IN LENGTH OR 20 FEET OR MORE OF #4 BARE AWG COPPER CONDUCTOR LOCATED WITHIN OR NEAR THE BOTTOM OF THE FOUNDATION OR FOOTING ENCASED BY AT LEAST 2" OF CONCRETE, AND TO EXTEND A MINIMUM OF 18" ABOVE STEM WALL. MUST BE LOCATED AS CLOSE AS POSSIBLE TO ELECTRICAL SERVICE PANEL AS PER 2015IRC, SECTION E3608.1.2.

9. FOUNDATION INSULATION 2" X 24" R = 10 EXTRUDED POLYSTYRENE AT PERIMETER AND AT GARAGE HOUSE WALL.

10. PROVIDE MINIMUM 6" MINIMUM SLOPE IN 10' SLOPE FROM DWELLING, EXCEPT WHEN DWELLING IS LESS THAN 10' FROM PROPERTY LINE, 5% MINIMUM GRADE TO SWALE OR DRAIN PER 2015IRC, SECTION R403 .

11. INSTALL FOAM SILL PLATE SEAL OR EQUAL BELOW SILL PLATES IN CONTACT WITH CONCRETE, TYPICAL.
12. PROVIDE 6" MIN. FROM GRADE TO SILL PLATE
13. TYPICAL FOUNDATION PLAN SHOWN - SEE SITE
PLAN FOR TRUE NORTH ORIENTATION AND LOCATION ON SITE

FOUNDATION DIMENSION NOTE

ALL FOUNDATION DIMENSIONS ARE TO FACE OF 2" PERIMETER INSULATION (TO FACE OF CONCRETE WHERE NO PERIMETER INSULATION). EXTERIOR FACE OF WALL SHEATHING SHALL BE FLUSH WITH PERIMETER INSULATION.

Cinelli ARCHITECTS / Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
900 CHELWOOD FOUNDATION PLAN

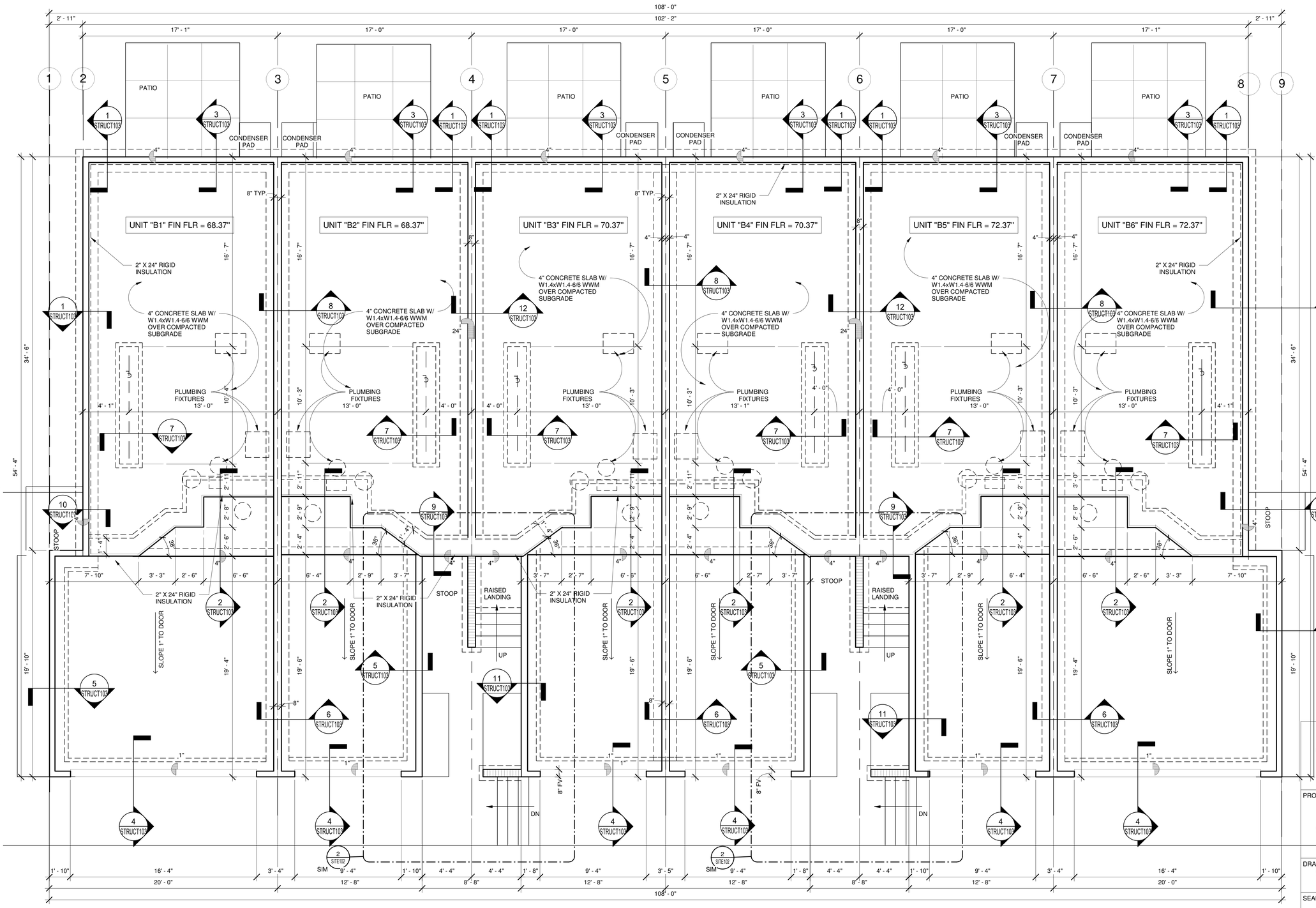
SEAL

STATE OF NEW MEXICO
ROGER P. CINELLI
No. 7102
REGISTERED ARCHITECT
7/20/19

DATE	PROJECT NO.
JULY 2019	MCKIN2

DRAWING NO.

STRUCT101



1 910 CHELWOOD FOUNDATION PLAN

Scale: 1/4" = 1'-0"

GENERAL FOUNDATION NOTES

1. ALL FOUNDATION PLAN DIMENSIONS ARE TO FACE OF RIGID INSULATION (OR TO FACE OF CONCRETE WHERE THERE IS NO PERIMETER INSULATION)

2. FOUNDATION PLAN ELEVATIONS ARE BASED ON ELEVATIONS AS PER GRADING & DRAINAGE PLAN BY RIO ENGINEERING - SEE SHEET CIVIL102.

3. IN THE ABSENCE OF A SOIL BEARING REPORT, SOIL BEARING CAPACITY HAS BEEN ASSUMED TO BE 1500 PSF. NO DATA HAS BEEN PROVIDED CONCERNINGTHIS ASSUMPTION. OWNER/BUILDER HAS PROVIDED ARCHITECT A WAIVER OF RESPONSIBILITY FOR ANY AND ALL FOUNDATION CRACKING, SETTLEMENT OR PROBLEMS RELATING TO FOUNDATION SETTLEMENT, ETC.
A HOLD HARMLESS LETTER SIGNED AND DATED APRIL 19, 2019 IS ON RECORD SHALL BE IN FORCE FOR ANY AND ALL FUTURE PROPRIETORS OF THE BUILDINGS.

4. CONCRETE STRENGTH 3000 PSI MIN., 4" MINIMUM SLAB THICKNESS OVER GRAVEL BASE COURSE OVER COMPACTED SUBGRACE. PROVIDE W1.4XW1.4-6/6WWM AT ALL SLABS ON GRADE.

5. BEAR PERIMETER FOOTINGS 18" MINIMUM BELOW GRADE, UNLESS SHOWN OTHERWISE.BEAR INTERIOR THICKEN FOOTINGS A MINIMUM OF 12" INTO UNDISTURBED.

6. STEP FOOTINGS AS NECESSARY TO COMPLY WITH CHAPTER 4 IRC2015 ASCENDING/DESCENDING SLOPES, CUTS, FILLS.

7. PROVIDE MINIMUM 40 BAR DIAMETER REBAR SPLICE PER TABLE R608.5.4(1) AND MINIMUM 3" COVER. REINFORCEMENT SHALL BE SECURED IN PLACE.

8. CONCRETE ENCASED ELECTRODES, ONE OR MORE #4 (1/2") REBAR NOT LESS THAN20 FEET IN LENGTH OR 20 FEET OR MORE OF #4 BARE AWG COPPER CONDUCTOR LOCATED WITHIN OR NEAR THE BOTTOM OF THE FOUNDATION OR FOOTING ENCASED BY AT LEAST 2" OF CONCRETE, AND TO EXTEND A MINIMUM OF 18" ABOVE STEM WALL. MUST BE LOCATED AS CLOSE AS POSSIBLE TO ELECTRICAL SERVICE PANEL AS PER 2015IRC, SECTION E3608.1.2.

9. FOUNDATION INSULATION 2" X 24" R = 10 EXTRUDED POLYSTYRENE AT PERIMETER AND AT GARAGE HOUSE WALL.

10. PROVIDE MINIMUM 6" MINIMUM SLOPE IN 10' SLOPE FROM DWELLING, EXCEPT WHEN DWELLING IS LESS THAN 10' FROM PROPERTY LINE, 5% MINIMUM GRADE TO SWALE OR DRAIN PER 2015IRC, SECTION R403 .

11. INSTALL FOAM SILL PLATE SEAL OR EQUAL BELOW SILL PLATES IN CONTACT WITH CONCRETE, TYPICAL.
12. PROVIDE 6" MIN. FROM GRADE TO SILL PLATE
13. TYPICAL FOUNDATION PLAN SHOWN - SEE SITE
PLAN FOR TRUE NORTH ORIENTATION AND LOCATION ON SITE

FOUNDATION DIMENSION NOTE

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Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

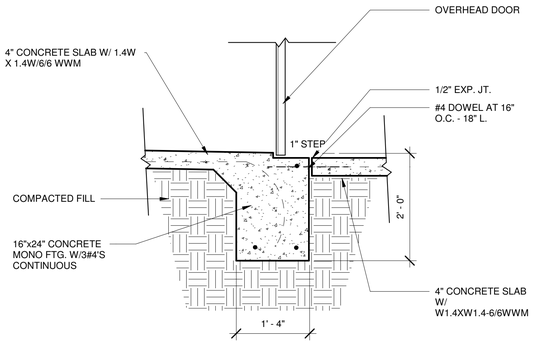
PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
910 CHELWOOD FOUNDATION PLAN

SEAL
STATE OF NEW MEXICO
ROGER CINELLI
No. 1102
REGISTERED ARCHITECT
7/20/19

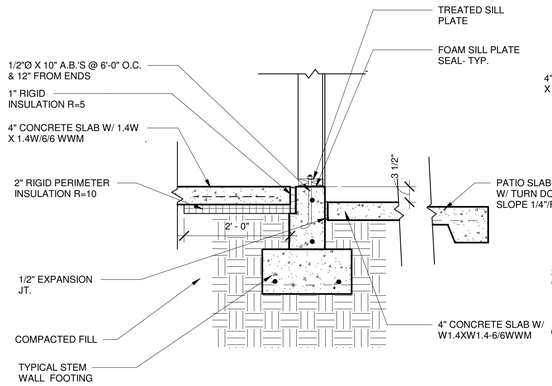
DATE	PROJECT NO.
JULY 2019	MCKIN2

DRAWING NO.
STRUCT102



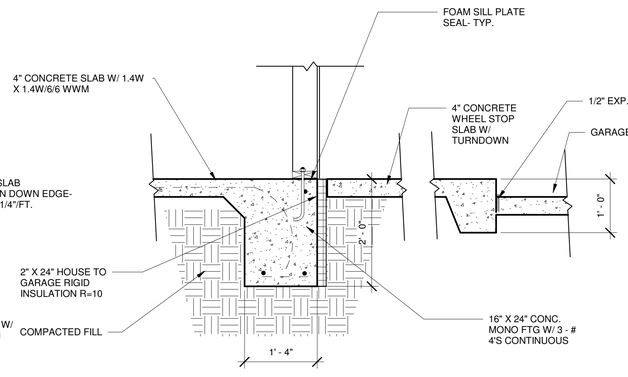
4 GARAGE DOOR FOUNDATION

Scale: 3/4" = 1'-0"



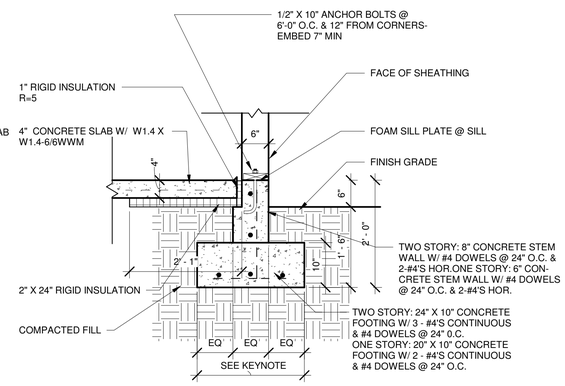
3 PATIO/STOOP TO FOOTING

Scale: 3/4" = 1'-0"



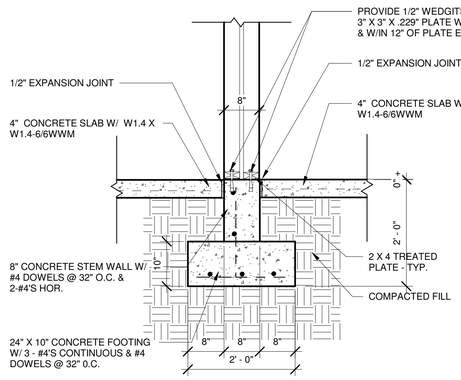
2 HOUSE TO GARAGE W/ CURB STOP

Scale: 3/4" = 1'-0"



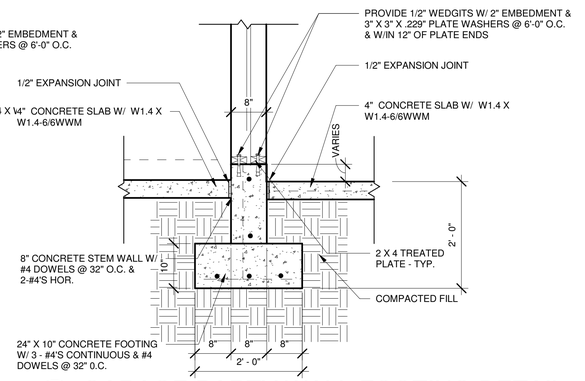
1 EXTERIOR WALL FOOTING

Scale: 3/4" = 1'-0"



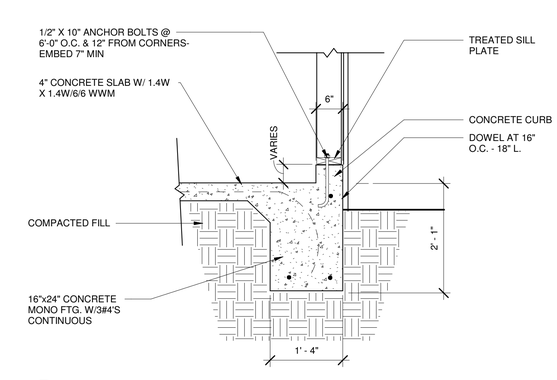
7 THICKENED SLAB

Scale: 3/4" = 1'-0"



6 GARAGE PARTY WALL FOOTING DETAIL

Scale: 3/4" = 1'-0"

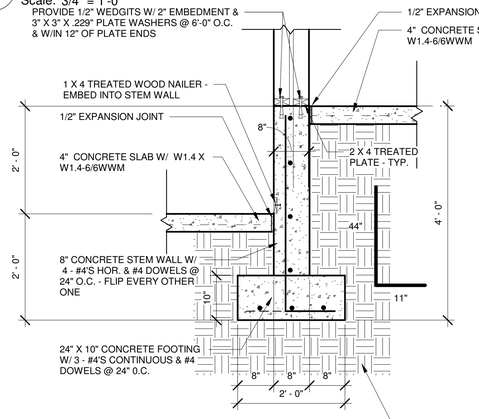


5 PERIMETER GARAGE FOUNDATION

Scale: 3/4" = 1'-0"

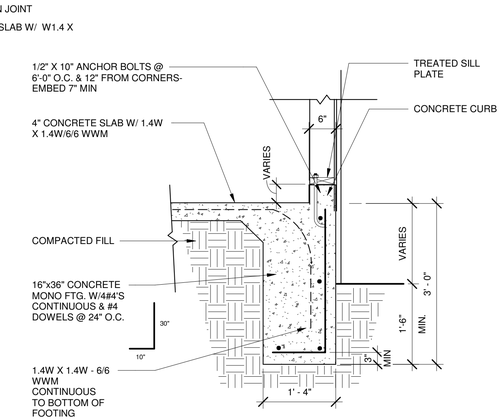
8 PARTY WALL FOOTING DETAIL

Scale: 3/4" = 1'-0"



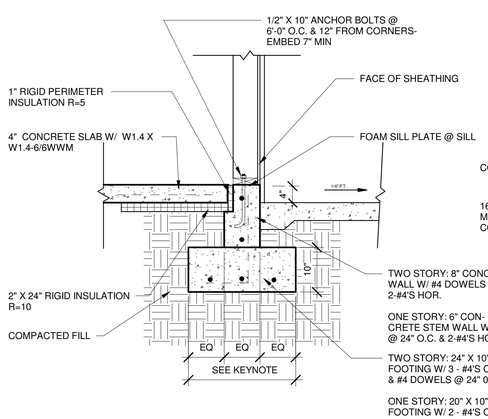
12 PARTY WALL FTG @ 24" STEP

Scale: 3/4" = 1'-0"



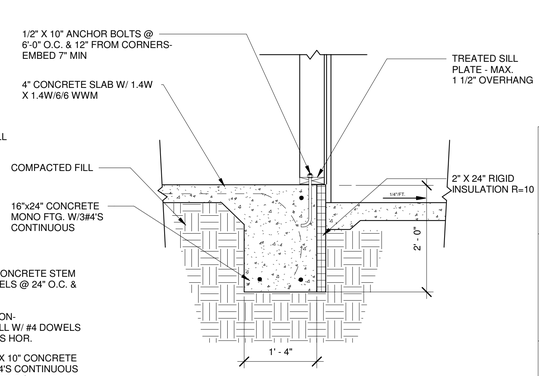
11 GARAGE STEPPED FOUNDATION

Scale: 3/4" = 1'-0"



10 UNIT "C" ENTRY FOUNDATION

Scale: 3/4" = 1'-0"



9 ENTRY FOUNDATION

Scale: 3/4" = 1'-0"

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

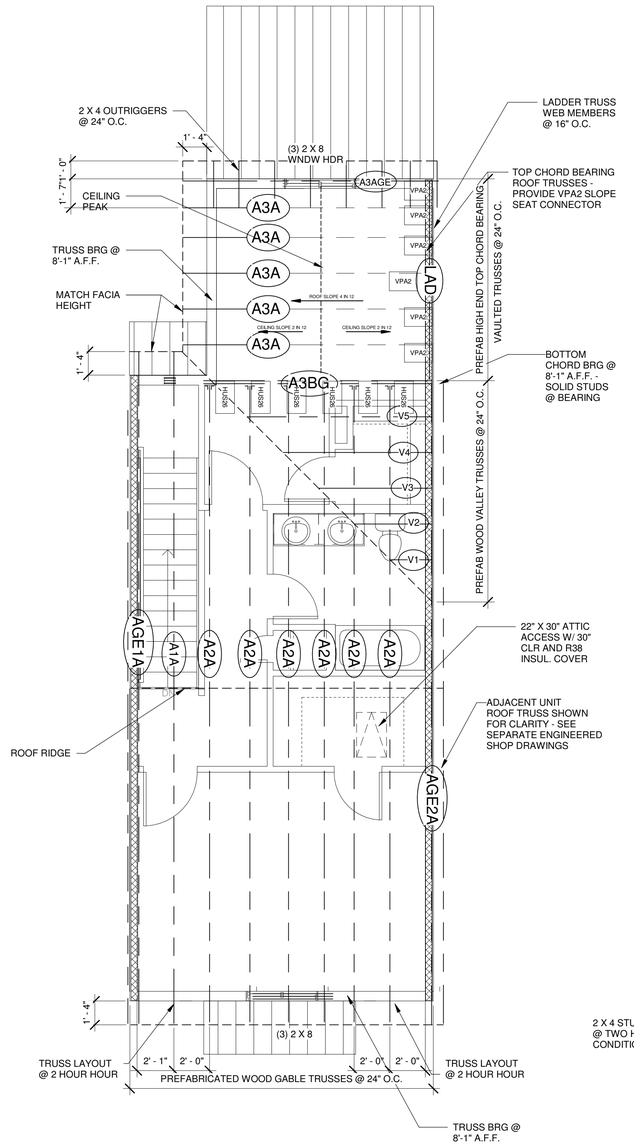
PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
FOUNDATION DETAILS

SEAL
STATE OF NEW MEXICO
ROGER CINELLI
No. 1102
REGISTERED ARCHITECT
7/20/19

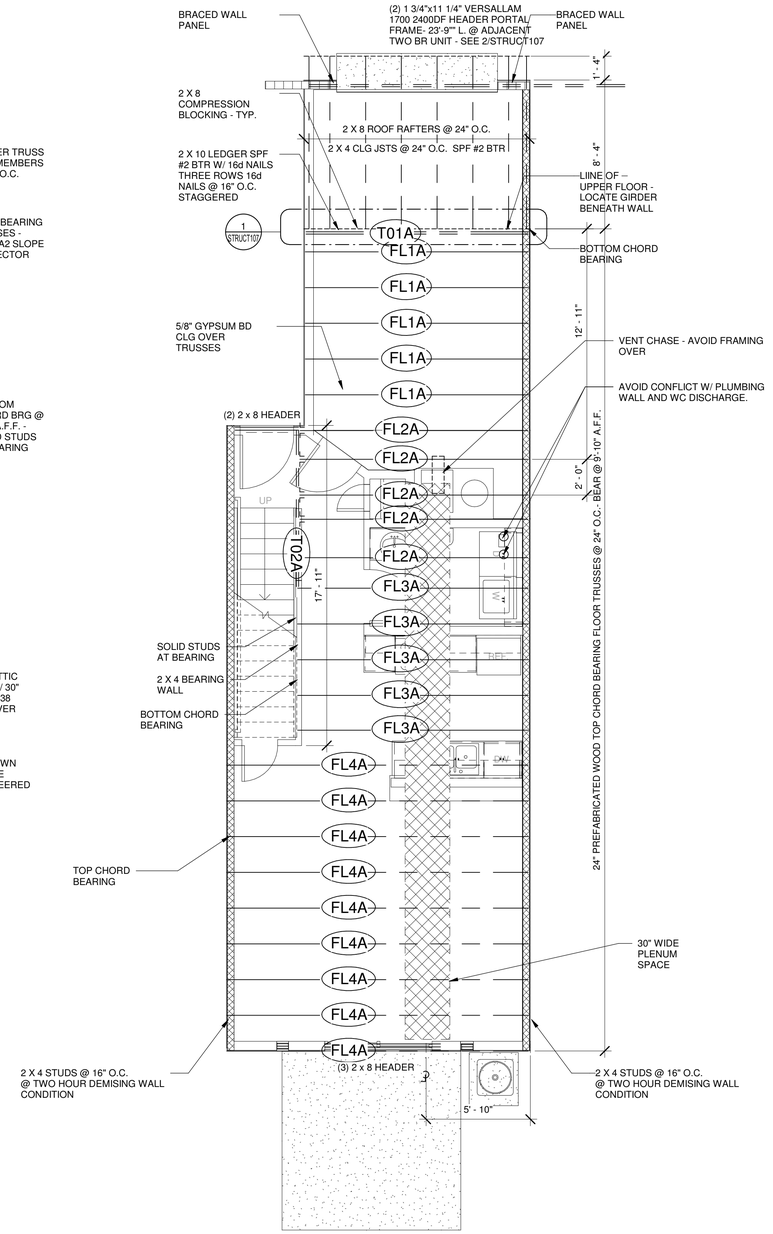
DATE	PROJECT NO.
JULY 2019	MCKIN2

DRAWING NO.
STRUCT103



2 TWO BEDROOM TYPE "A" ROOF FRAMING PLAN

Scale: 1/4" = 1'-0"



1 TWO BEDROOM TYPE "A" FLOOR FRAMING PLAN

Scale: 1/4" = 1'-0"

PREFABRICATED TRUSS AND ROOF RAFTER NOTES

IT SHALL BE THE TRUSS MANUFACTURER'S RESPONSIBILITY TO PROVIDE SHOP DRAWINGS BASED ON THE REVIEW OF THE COMPLETE SET OF PLANS AND REVIEW OF EXISTING CONDITIONS BY THE CONTRACTOR

SEISMIC ZONE "D"

ROOF LOADS

LIVE LOAD	20 PSF
TC DEAD LOAD	10 PSF
BC DEAD LOAD	10 PSF
TOTAL	40 PSF

FLOOR LOADS

LIVE LOAD	40 PSF
TC DEAD LOAD	10 PSF
BC DEAD LOAD	5 PSF
TOTAL	55 PSF

STAIR LOADS

LIVE LOAD	40 PSF
BC DEAD LOAD	10 PSF
TOTAL	50 PSF

WIND LOADS

WIND LOAD 25 PSF
90 MPH FOR 3 SEC. GUST
EXP C

WOOD HEADERS SPRUCE-PINE-FIR, NO. 2 BTR, Fb=1000PSI (REP. MEMBER USE) E=1,200,000 PSI

CONVENTIONAL ROOF RAFTERS AND CLG JOISTS SPRUCE-PINE-FIR, NO. 2BTR, Fb=1000PSI (REP. MEMBER USE) E=1,200,000 PSI

RAFTER ROOF LOADS

LIVE LOAD	200 PSF
BC DEAD LOAD	20 PSF
TOTAL	40 PSF

FRAMING NOTES

-FIREBLOCK AND DRAFTSTOP PER CODE
-PROVIDE 7/16" OSB WALL SHEATHING THROUGHOUT W/ ALL EDGES BLOCKED W/ 8d NAILS @ 6" O.C. @ EDGES AND 12" O.C. ELSEWHERE
-PROVIDE 22" X 30" ATTIC ACCESS WITH MINIMUM 30" HEAD CLEARANCE & R-38 INSUL. COVER
-HANG TRUSSES AS SHOWN W/ CODE APPROVED TRUSS HANGERS & TRUSS HANGER NAILS
PROVIDE ROOF TRUSS/ROOF RAFTER TO TOP PLATE ATTACHMENT: 2 16d NAILS AND H2.5"SIMPSON" HURRICANE STRAP
-COORDINATE TRUSS LOCATIONS WITH DUCTWORK & PLUMBING AND/OR PER PLAN
- ALL FRAMING DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING
-PROVIDE SOLID STUDS AT ALL BEAM BEARING

DENOTES GIRDER/TIMBER

C — DENOTES TRUSS/GIRDER TRUSS

DENOTES RAFTER/HEADER

THA822 — DENOTES TRUSS HANGER W/ HANGER NAILS

Cinelli / ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

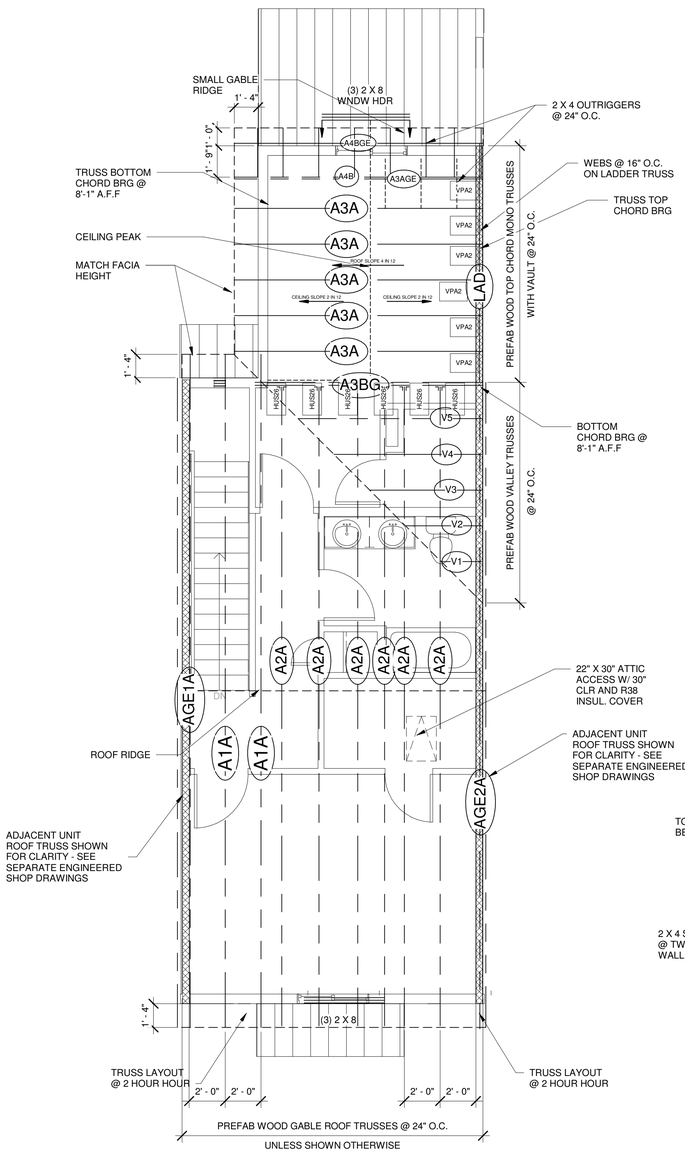
PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TWO BEDROOM TYPE "A" FRAMING PLANS

SEAL
STATE OF NEW MEXICO — REGISTERED ARCHITECT
7/20/19

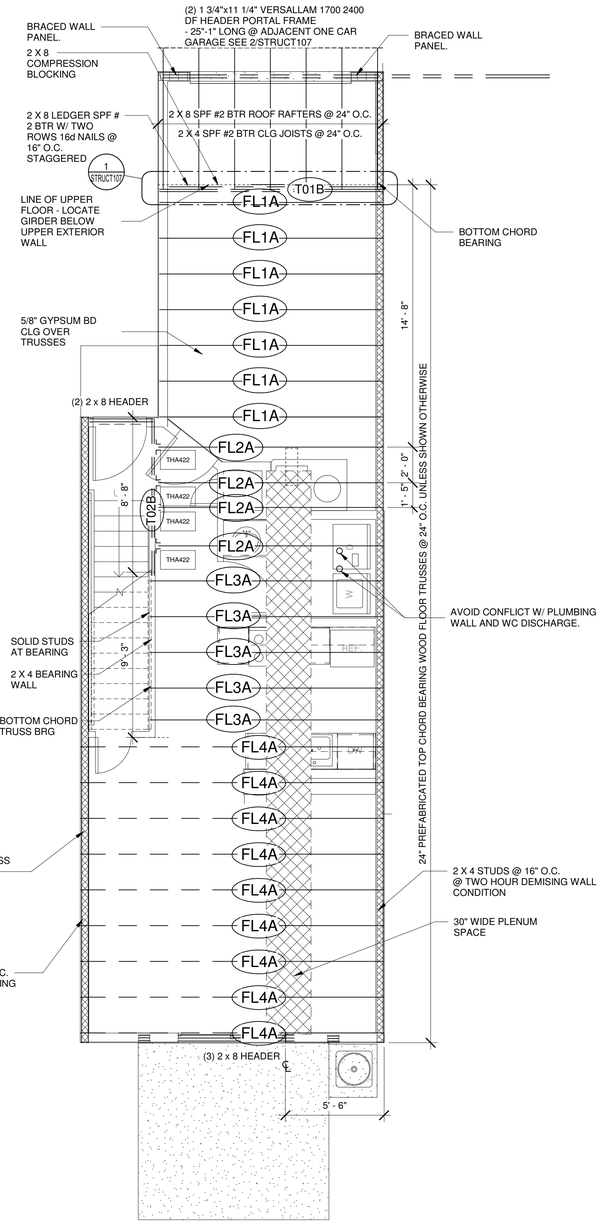
DATE: JULY 2019
PROJECT NO.: MCKIN2

DRAWING NO.
STRUCT104



2 TWO BEDROOM TYPE "B" ROOF FRAMING PLAN

Scale: 1/4" = 1'-0"



1 TWO BEDROOM TYPE "B" FLOOR FRAMING PLAN

Scale: 1/4" = 1'-0"

PREFABRICATED TRUSS AND ROOF RAFTER NOTES

IT SHALL BE THE TRUSS MANUFACTURER'S RESPONSIBILITY TO PROVIDE SHOP DRAWINGS BASED ON THE REVIEW OF THE COMPLETE SET OF PLANS AND REVIEW OF EXISTING CONDITIONS BY THE CONTRACTOR

SEISMIC ZONE "D"

ROOF LOADS

LIVE LOAD	20 PSF
TC DEAD LOAD	10 PSF
BC DEAD LOAD	10 PSF
TOTAL	40 PSF

FLOOR LOADS

LIVE LOAD	40 PSF
TC DEAD LOAD	10 PSF
BC DEAD LOAD	5 PSF
TOTAL	55 PSF

STAIR LOADS

LIVE LOAD	40 PSF
BC DEAD LOAD	10 PSF
TOTAL	50 PSF

WIND LOADS

WIND LOAD 25 PSF
90 MPH FOR 3 SEC. GUST
EXP C

WOOD HEADERS SPRUCE-PINE-FIR, NO. 2 BTR, Fb=1000PSI (REP. MEMBER USE) E=1,200,000 PSI

CONVENTIONAL ROOF RAFTERS AND CLG JOISTS SPRUCE-PINE-FIR, NO. 2BTR, Fb=1000PSI (REP. MEMBER USE) E=1,200,000 PSI

RAFTER ROOF LOADS

LIVE LOAD	200 PSF
BC DEAD LOAD	20 PSF
TOTAL	40 PSF

FRAMING NOTES

-FIREBLOCK AND DRAFTSTOP PER CODE
-PROVIDE 7/16" OSB WALL SHEATHING THROUGHOUT W/ ALL EDGES BLOCKED W/ 8d NAILS @ 6" O.C. @ EDGES AND 12" O.C. ELSEWHERE
-PROVIDE 22" X 30" ATTIC ACCESS WITH MINIMUM 30" HEAD CLEARANCE & R-38 INSUL. COVER
-HANG TRUSSES AS SHOWN W/ CODE APPROVED TRUSS HANGERS & TRUSS HANGER NAILS
PROVIDE ROOF TRUSS/ROOF RAFTER TO TOP PLATE ATTACHMENT: 2 16d NAILS AND H2.5"SIMPSON" HURRICANE STRAP
-COORDINATE TRUSS LOCATIONS WITH DUCTWORK & PLUMBING AND/OR PER PLAN
- ALL FRAMING DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING
-PROVIDE SOLID STUDS AT ALL BEAM BEARING

DENOTES GIRDER/TIMBER

C — DENOTES TRUSS/GIRDER TRUSS

DENOTES RAFTER/HEADER

THA422 — DENOTES TRUSS HANGER W/ HANGER NAILS

Cinelli ARCHITECTS / Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TWO BEDROOM TYPE "B" FRAMING PLANS

SEAL

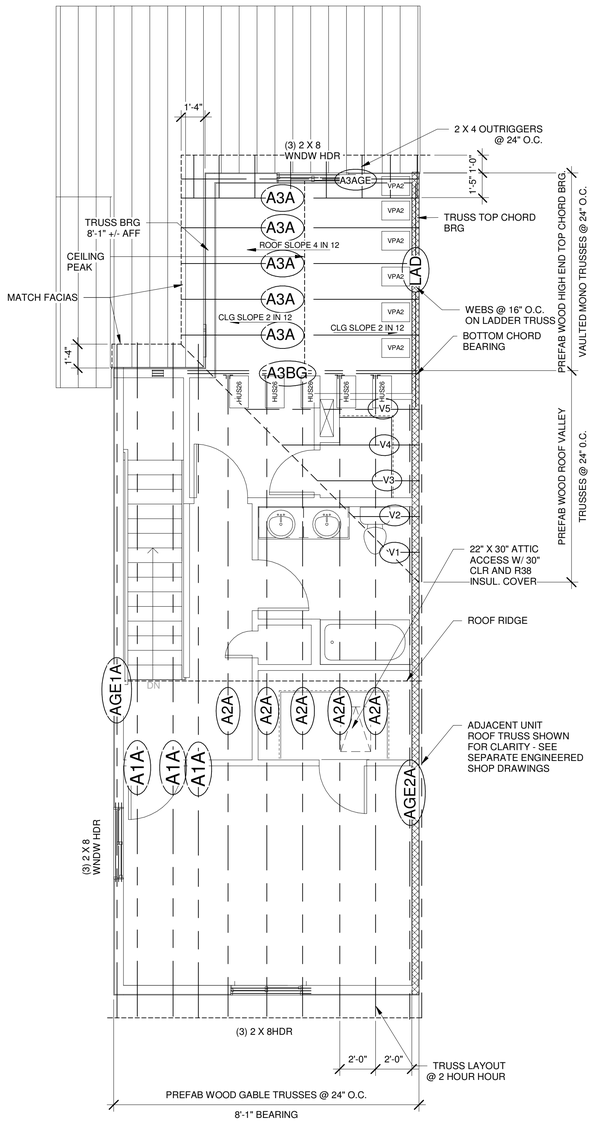
STATE OF NEW MEXICO — ROGER E. CINELLI — NO. 7402 — REGISTERED ARCHITECT

7/20/19

DATE	PROJECT NO.
JULY 2019	MCKIN2

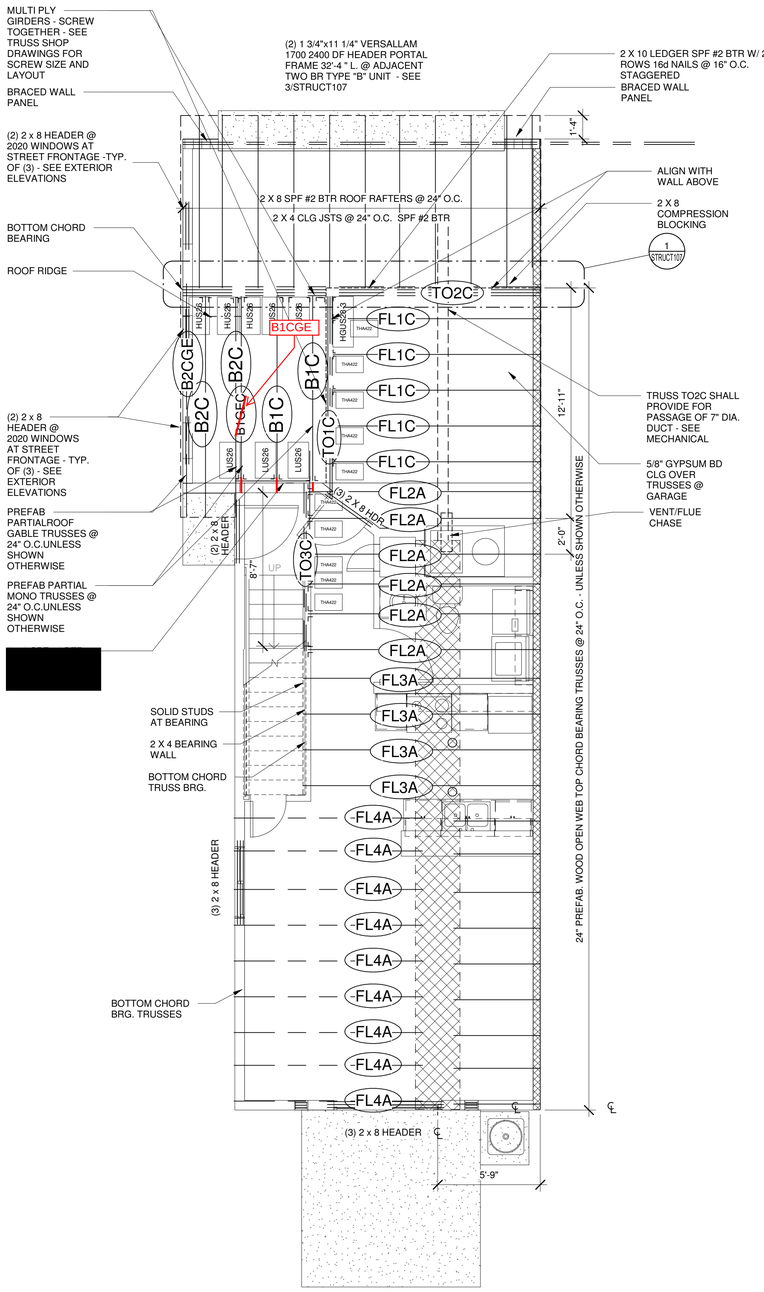
DRAWING NO.

STRUCT105



2 TWO BEDROOM TYPE "C" ROOF FRAMING PLAN

Scale: 1/4" = 1'-0"



1 TWO BEDROOM TYPE "C" FLOOR FRAMING PLAN

Scale: 1/4" = 1'-0"

PREFABRICATED TRUSS AND ROOF RAFTER NOTES

IT SHALL BE THE TRUSS MANUFACTURER'S RESPONSIBILITY TO PROVIDE SHOP DRAWINGS BASED ON THE REVIEW OF THE COMPLETE SET OF PLANS AND REVIEW OF EXISTING CONDITIONS BY THE CONTRACTOR

SEISMIC ZONE "D"

ROOF LOADS

LIVE LOAD	20 PSF
TC DEAD LOAD	10 PSF
BC DEAD LOAD	10 PSF
TOTAL	40 PSF

FLOOR LOADS

LIVE LOAD	40 PSF
TC DEAD LOAD	10 PSF
BC DEAD LOAD	5 PSF
TOTAL	55 PSF

STAIR LOADS

LIVE LOAD	40 PSF
BC DEAD LOAD	10 PSF
TOTAL	50 PSF

WIND LOADS

WIND LOAD 25 PSF
90 MPH FOR 3 SEC. GUST
EXP C

WOOD HEADERS SPRUCE-PINE-FIR, NO. 2 BTR, Fb=1000PSI (REP. MEMBER USE) E=1,200,000 PSI

CONVENTIONAL ROOF RAFTERS AND CLG JOISTS SPRUCE-PINE-FIR, NO. 2BTR, Fb=1000PSI (REP. MEMBER USE) E=1,200,000 PSI

RAFTER ROOF LOADS

LIVE LOAD	200 PSF
BC DEAD LOAD	20 PSF
TOTAL	40 PSF

FRAMING NOTES

-FIREBLOCK AND DRAFTSTOP PER CODE
-PROVIDE 7/16" OSB WALL SHEATHING THROUGHOUT W/ ALL EDGES BLOCKED W/ 8d NAILS OR 1 1/2" STAPLES @ 6" O.C. @ EDGES AND 12" O.C. ELSEWHERE
-PROVIDE 22" X 30" ATTIC ACCESS WITH MINIMUM 30" HEAD CLEARANCE & R-38 INSUL. COVER
-HANG TRUSSES AS SHOWN W/ CODE APPROVED TRUSS HANGERS & TRUSS HANGER NAILS
PROVIDE ROOF TRUSS/ROOF RAFTER TO TOP PLATE ATTACHMENT: 2 16d NAILS AND H2.5"SIMPSON" HURRICANE STRAP
-COORDINATE TRUSS LOCATIONS WITH DUCTWORK & PLUMBING AND/OR PER PLAN
- ALL FRAMING DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING
-PROVIDE SOLID STUDS AT ALL BEAM BEARING

DENOTES GIRDER/TIMBER

DENOTES TRUSS/GIRDER TRUSS

DENOTES RAFTER/HEADER

DENOTES TRUSS HANGER W/ HANGER NAILS

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TWO BEDROOM TYPE "C"
FRAMING PLANS

SEAL

STATE OF NEW MEXICO
ROGER CINELLI
No. 7902
REGISTERED ARCHITECT

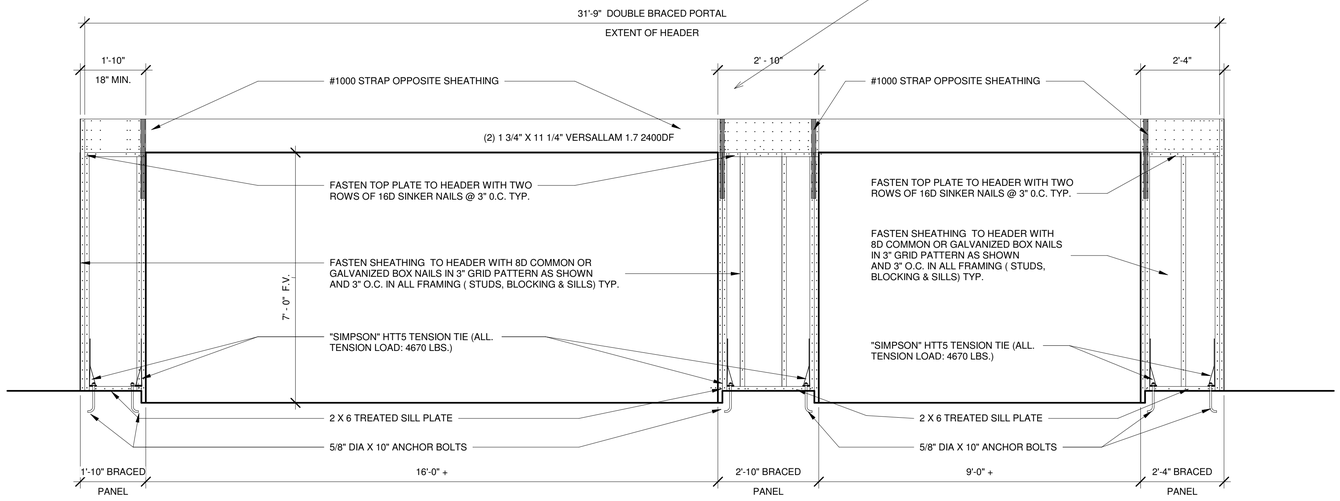
7/20/19

DATE	PROJECT NO.
JULY 2019	MCKIN2

DRAWING NO.

STRUCT106

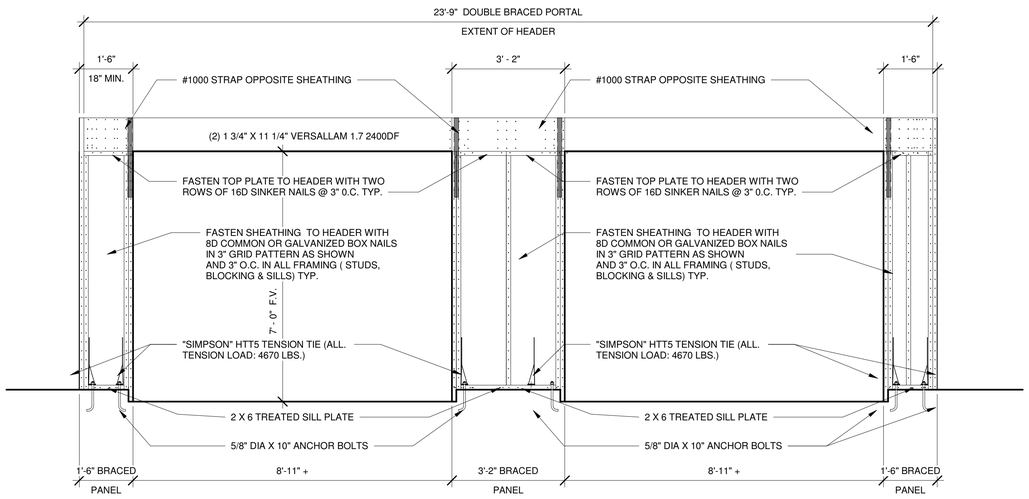
CHECK



PORTAL FRAME @ @ TYPE "C" AND "B" UNITS GARAGE DOORS

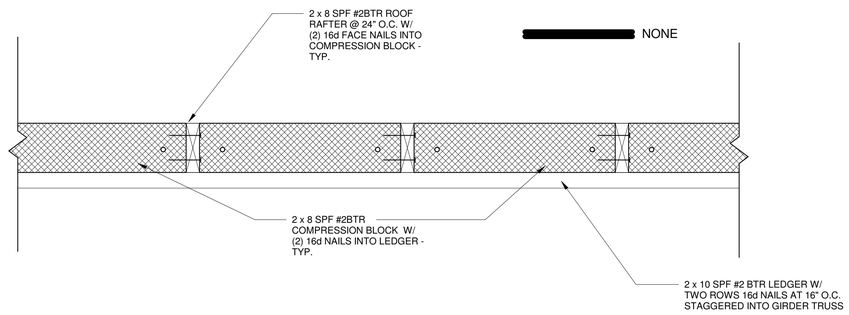
3 Scale: 1/2" = 1'-0"

GOLDEN



PORTAL FRAME @ TWO BR TYPE "A" GARAGE DOOR

2 Scale: 1/2" = 1'-0"



COMPRESSION BLOCKING

1 Scale: 1 1/2" = 1'-0"

Cinelli ARCHITECTS
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
12 UNIT TOWNHOUSE PROJ.
PARK ~~CIMA~~ TOWNHOMES
900 & 910 CHELWOOD BLVD. . N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
DETAILS & LOAD ANALYSIS

SEAL

STATE OF NEW MEXICO
ROGER CINELLI
No. 7102
REGISTERED ARCHITECT

7/20/19

DATE	PROJECT NO.
JULY 2019	MCKIN2

DRAWING NO.

STRUCT107