



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: <u>Sivage Building Ltd Partnership</u>		Phone:
Address: <u>4902 Alamed Blvd NE</u>		Email:
City: <u>Albuquerque</u>	State: <u>NM</u>	Zip: <u>87113</u>
Professional/Agent (if any): <u>Scott Anderson</u>		Phone: <u>401 7575</u>
Address: <u>4419 4th St NW Ste B</u>		Email: <u>scott@scaarchitects.com</u>
City: <u>Albuquerque</u>	State: <u>NM</u>	Zip: <u>87107</u>
Proprietary Interest in Site:	List all owners: <u>Sivage Buildin Ltd Partner</u>	

BRIEF DESCRIPTION OF REQUEST

Add an overhead door to east facade

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <u>A-1A1</u>	Block:	Unit:
Subdivision/Addition: <u>Academy for Boys</u>	MRGCD Map No.:	UPC Code: <u>1017063489116 40209</u>
Zone Atlas Page(s): <u>D17</u>	Existing Zoning: <u>NR-LM</u>	Proposed Zoning: <u>NR-LM</u>
# of Existing Lots: <u>1</u>	# of Proposed Lots: <u>1</u>	Total Area of Site (acres): <u>1.26</u>

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 7447 Pan American Frwy Between: _____ and: _____

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

C37140 2001C088

Signature: <u>[Signature]</u>	Date: <u>9/2/2020</u>
Printed Name: <u>Scott Anderson</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
<u>SI-2020-00858</u>	<u>AA</u>				
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project # <u>PR-2020-004384</u>		

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

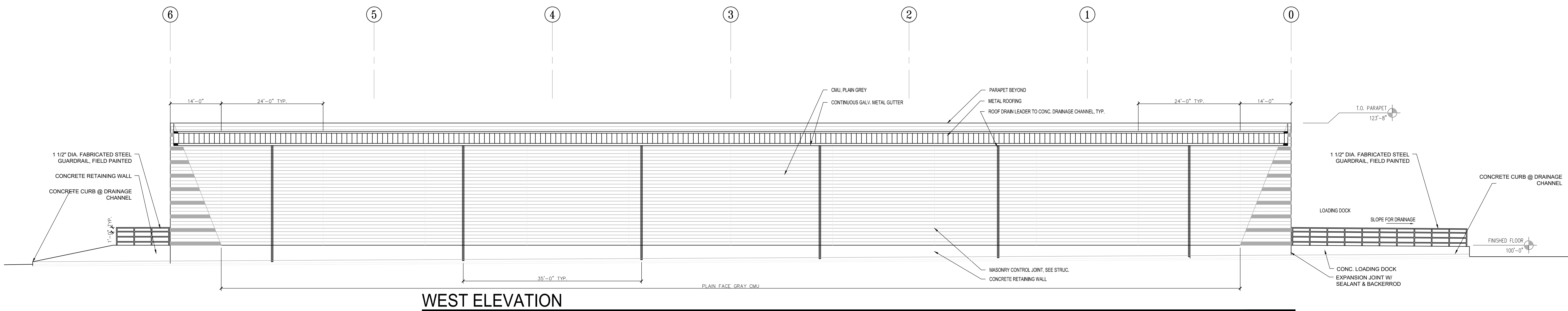
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

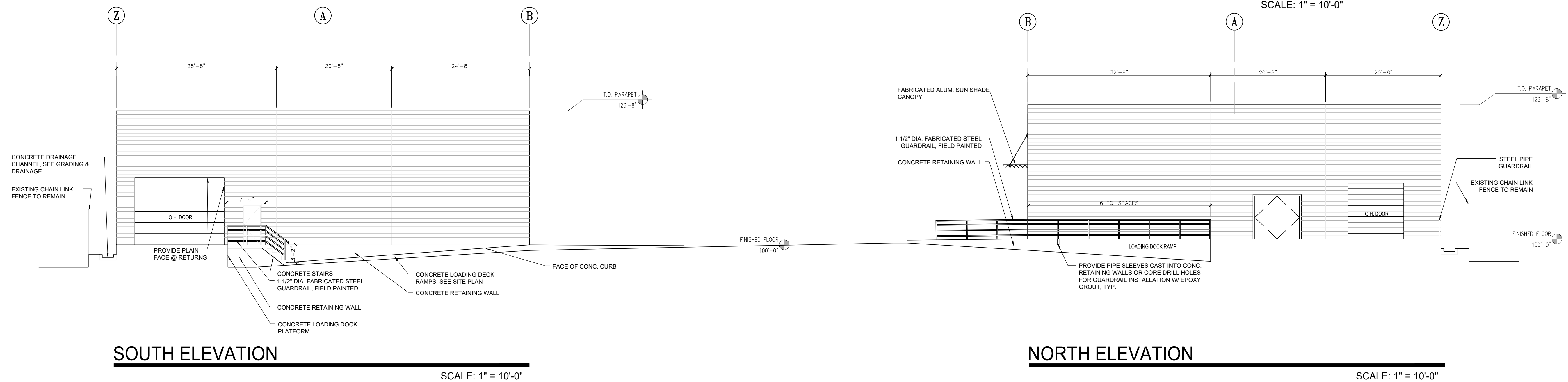
- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 9/2/2020</p>
<p>Printed Name: Scott Anderson</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number: PR-2020-004384</p>	<p>Case Numbers: SI-2020-00858</p>
<p>Staff Signature:</p>	
<p>Date:</p>	



WEST ELEVATION

SCALE: 1" = 10'-0"

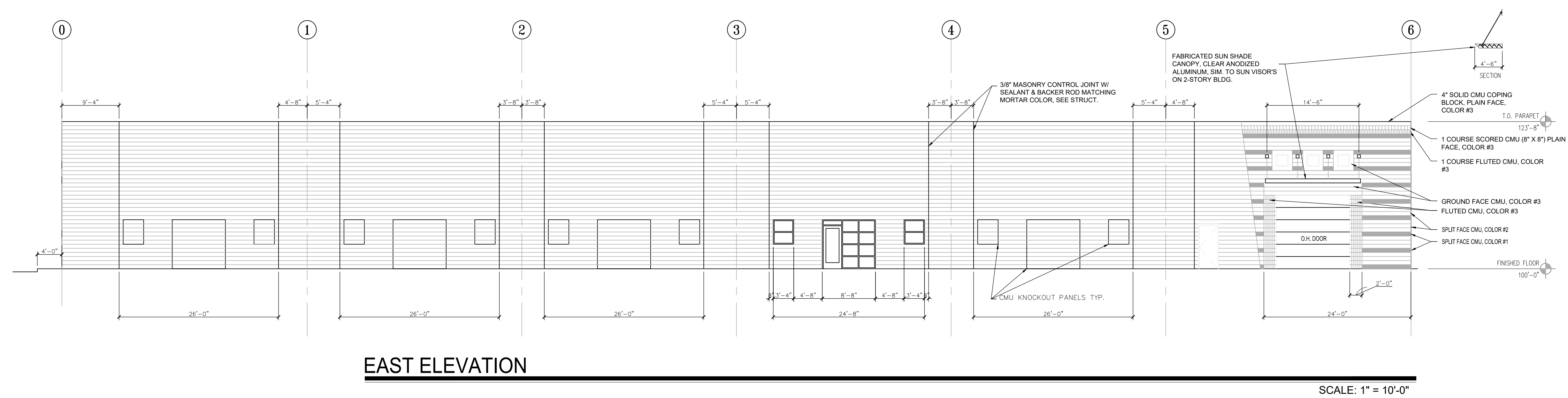


SOUTH ELEVATION

SCALE: 1" = 10'-0"

NORTH ELEVATION

SCALE: 1" = 10'-0"



EAST ELEVATION

SCALE: 1" = 10'-0"

No	Revision	Item	Date

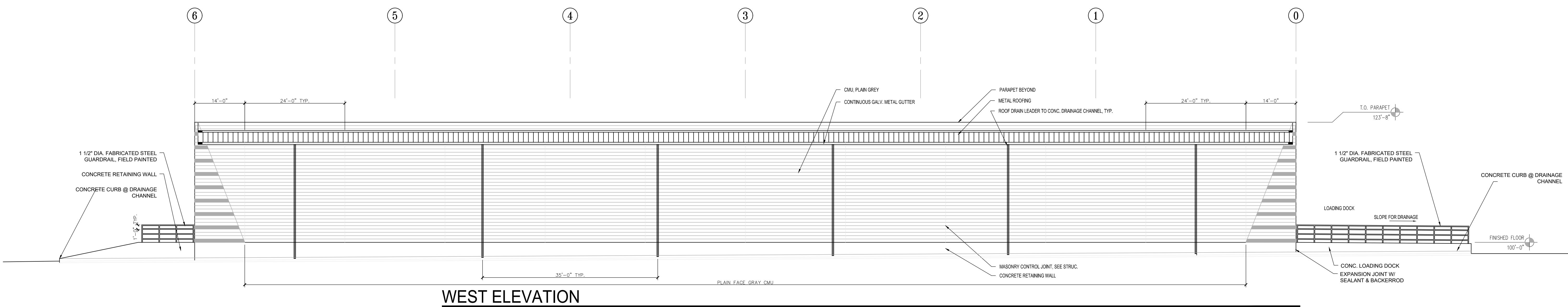
SCOTT C. ANDERSON
 & associates architects
 4419 10th St. NW, Ste. B
 Albuquerque, NM 87107
 scott@scottanderson.com 505.461.7575

WAREHOUSE DOOR ADDITION
 7447 PAN AMERICAN FWY NE
 ALBUQUERQUE, NM 87109

DRAWING TITLE
EXISTING BUILDING ELEVATIONS

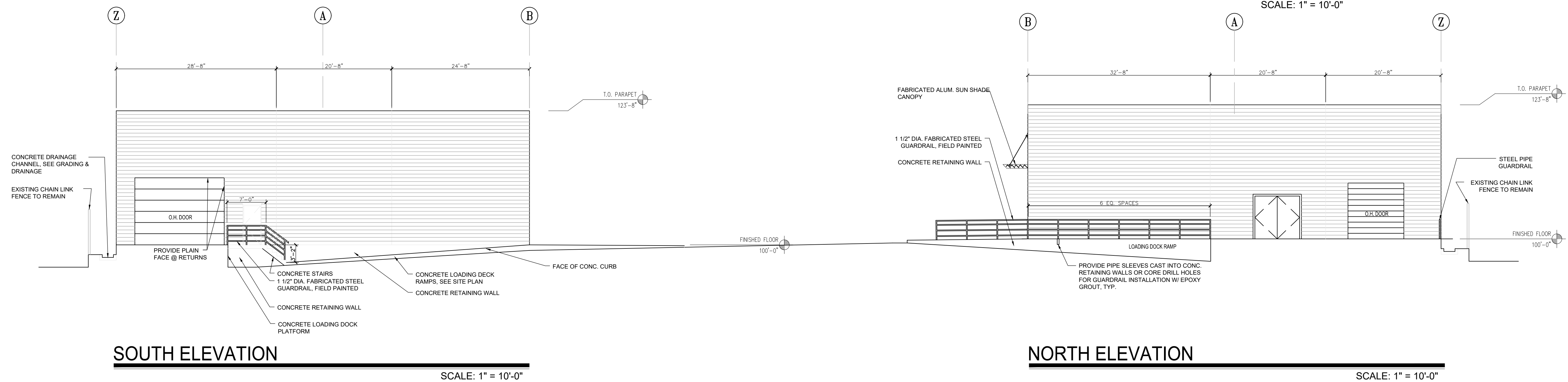
DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	A-201
DATE	

OF



WEST ELEVATION

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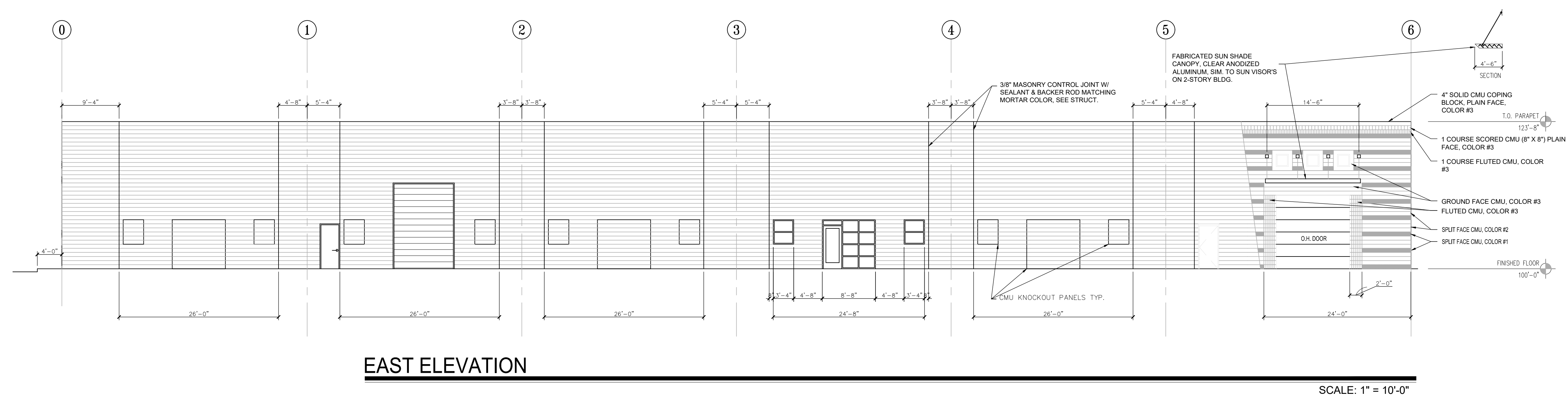


SOUTH ELEVATION

SCALE: 1" = 10'-0"

NORTH ELEVATION

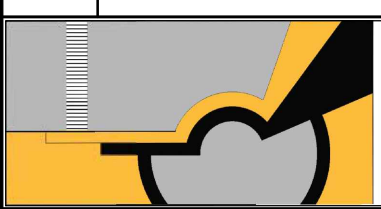
SCALE: 1" = 10'-0"



EAST ELEVATION

SCALE: 1" = 10'-0"

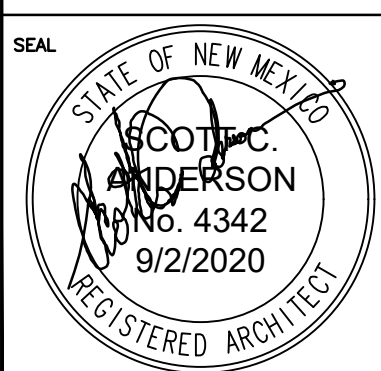
No	Revision	Item	Date



SCOTT C. ANDERSON
& associates architects
4419 10th St. NW, Ste. B
Albuquerque, NM 87107
scott@scottanderson.com 505.461.7575

WAREHOUSE DOOR ADDITION
7447 PAN AMERICAN FWY NE
ALBUQUERQUE, NM 87109

DRAWING TITLE: **NEW BUILDING ELEVATIONS**

	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-202
DATE	9/2/2020	OF



City of Albuquerque

February 16, 2000

Diane Hoelzer, P.E.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

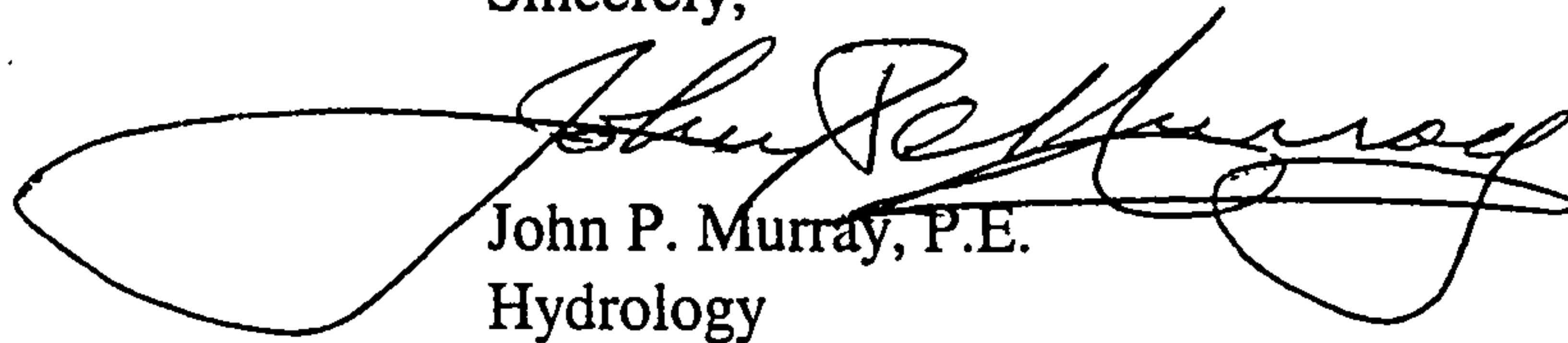
**RE: *SIVAGE-THOMAS OFFICE BUILDING (D17-D77). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL
ENGINEER'S STAMP DATED JANUARY 27, 2000.***

Dear Ms. Hoelzer:r.

Based on the information provided on your January 27, 2000 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.
Hydrology

c: WR
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 19, 1999

Mark Goodwin
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

RE: SIVAGE THOMAS OFFICE BUILDING (D17/D77), REVISED GRADING &
DRAINAGE SUBMITTAL FOR FOUNDATION, BUILDING AND GRADING
PERMIT APPROVAL. ENGINEER'S STAMP DATED 7-13-99

Dear Mr. Goodwin:

The revised Grading & Drainage submittal, submitted to this office on 7-14-99 is hereby approved for Foundation, Building and Grading Permit.

Separate permitting will be required for any work to be performed within City right-of-way. Also, please attach a copy of this approval letter to the project plans when submitting for Hydrology Division sign-off.

Sincerely,

Scott Davis

PWD, Hydrology Division

c: file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 26, 1999

Mark Goodwin
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

RE: SIVAGE THOMAS OFFICE BUILDING (D17/D77), GRADING & DRAINAGE
RESUBMITTAL FOR FOUNDATION, BUILDING AND GRADING PERMIT
APPROVAL. ENGINEER'S STAMP DATED 2-12-99

Dear Mr. Goodwin:

Based upon the information provided in your 2-23-99 resubmittal, the subject project is approved for Foundation, Building and Grading permit.

Please keep in mind that prior to doing any work in City right-of-way, a separate permit is required. Also, please attach a copy of this approval letter to the project plans when submitting for Hydrology Division sign off.

If I can be of further assistance, feel free to contact me at 768-2766.

Sincerely,

Scott Davis
PWD, Hydrology Division

c: Andrew Garcia
file

PRIVATE DRAINAGE EASEMENT

This grant of Easement between
Ashcraft Real Estate & Development Inc.
("Grantor") whose address is 811 Dallas NE
Albuquerque, NM 87110
and ("Grantee"), who owns the following property ("Grantee's
Property")

<u>Lot No.</u>	<u>Block No.</u>	<u>Subdivision</u>
<u>A-1-A</u>	<u>Academy for Boys Division</u>	

is entered into as of the date Grantor signs this Private Drainage
Easement.

1. Recital. Grantor is the Owner of certain real property
located at Tract 4AA-6A of the Replat of Tracts 4AA-5A-2 and
4AA-6, Journal Center

2. Grant of Easement. The Grantor grants to the Grantee
solely for the benefit of Grantee's Property, a permanent private
easement (the "Easement") in, over, upon and across that portion of
the Property so designated on Exhibit A, for a Drainage Facility.

3. Warranty. Grantor covenants that it is the Owner in fee
simple of the Property and that it has a good lawful right to
convey the Property, that the Property is free from all
encumbrances except encumbrances of record and taxes due and owing
the Treasurer of Bernalillo County, and that the Grantor will
forever warrant and defend the title to the Property against all
claims from all persons or entities.

4. Binding on Grantor's Property. The grant and other
provisions of this Easement constitute covenants running with the
land for the benefit of Grantee and its successors and assigns, and
shall run with said Property until released by the Grantee.

5. Liability of City. Grantor understands and agrees that
the City of Albuquerque shall not be liable to the Grantor or its
respective heirs, successors or assigns, or to any third parties
for any damages resulting from the Grantee's failure to construct,
maintain or repair the Drainage Facility.

6. Maintenance; Relocation. Grantee shall construct and
maintain the Drainage Facility in good order. Upon demand, Grantee
will promptly relocate the Drainage Facility to another location
within the Property. If Grantee fails to so maintain the Drainage
Facility, or fails to so relocate the Drainage Facility, Grantor
may do so, and Grantee will promptly reimburse Grantor the
maintenance or relocation costs, plus 10% per annum from the date
of expenditure, upon demand. Grantor's failure to immediately



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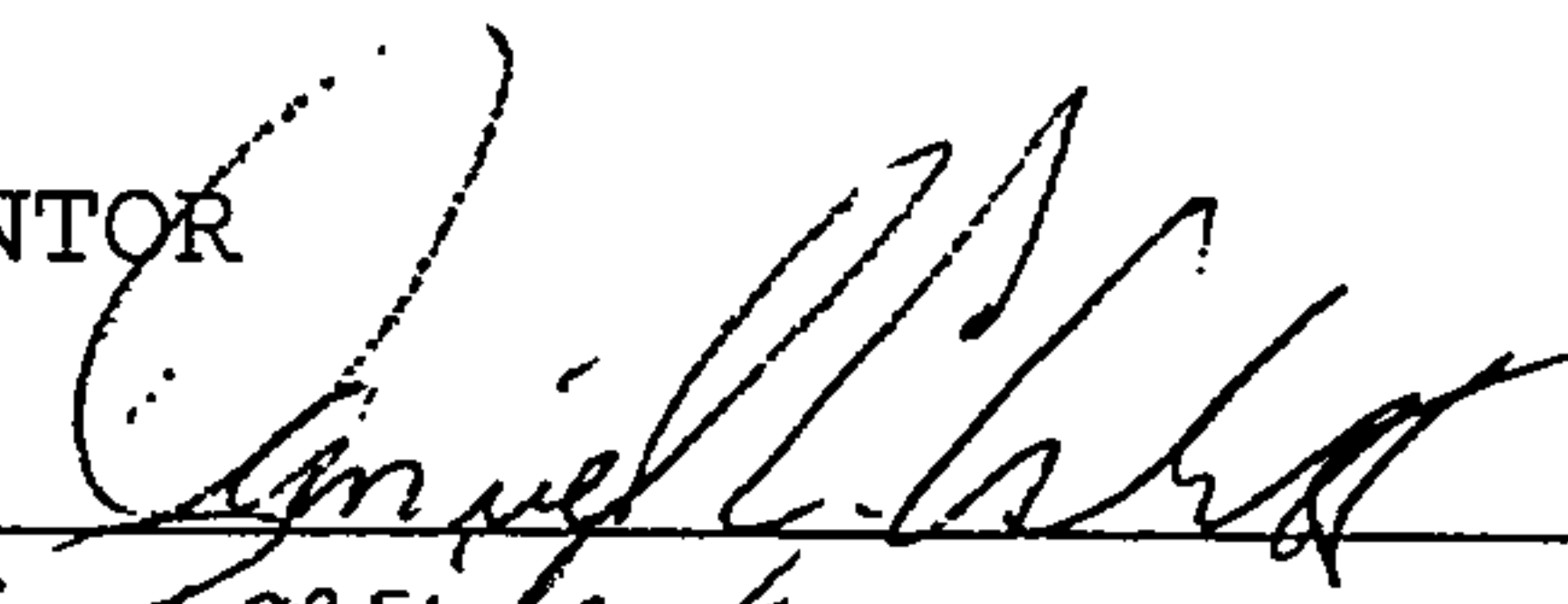
reimburse Grantor upon demand will entitle Grantor to place a lien upon Grantee's Property, by filing a notice thereof in the records of Bernalillo County, New Mexico, and to foreclose the lien in the manner provided by law for the foreclosure of mortgages.

7. Notices. Notices under this Easement may be delivered by first class mail, return receipt requested, at the address of the owner of the applicable property as shown on the records of the Bernalillo County tax assessor.

8. Indemnification. Grantor owns and controls the Drainage Facility. Neither Grantor nor Grantee shall permit the Drainage Facility to constitute a hazard to the health or safety of the general public. Grantee agrees to indemnify, defend and hold harmless Grantor and the City, its officials, agents and employees, and the Grantor, its heirs, successors and assigns from any claims, actions, suits or other proceedings and from or out of the negligent acts or omissions of Grantee, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Grantee herein, provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Easement, this indemnity will not extend to liability, claims, damages, losses, or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions in the primary cause of bodily injury to persons or damage to property.

9. Binding on Grantor's Property. The easement, covenants and obligations of Grantor set forth herein shall be binding on Grantor, and its respective heirs, assigns and successors and on Grantor's Property and constitute covenants running with Grantor's Property until released by the City's Chief Administrative Officer as approved by the City Engineer.

GRANTOR

By: 
Its: President
Dated: 2/18/99

GRANTEE

By: John W. Hardin
Its: SECRETARY / TREASURER
Dated: 02-18-99

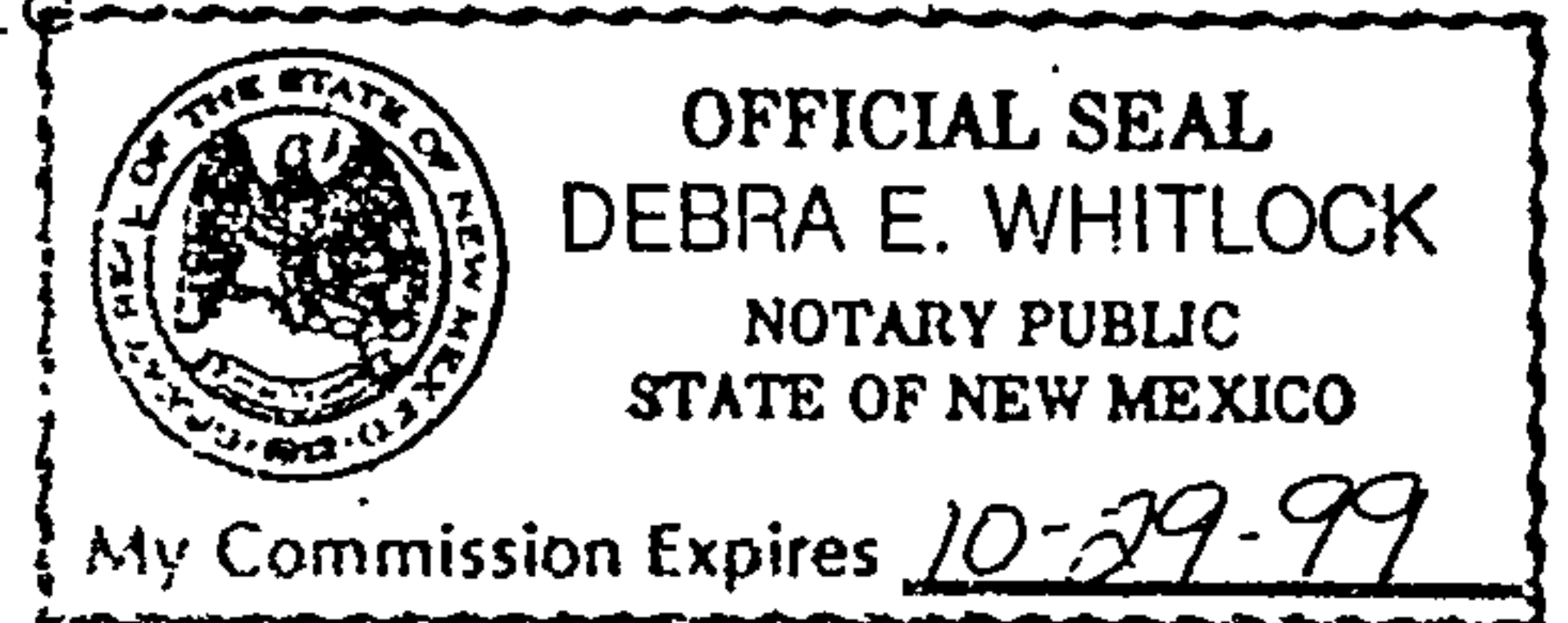
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on
FEBRUARY 18, 1999, by John W. Hardin, as
Secretary/Treasurer of Sivage-Thomas Homes, Inc.

Debra E. Whitlock
Notary Public

My commission expires:

October 29, 1999



GRANTEE

By: _____
Its: _____
Dated: _____

STATE OF NEW MEXICO)
) ss. Grantor
COUNTY OF BERNALILLO)

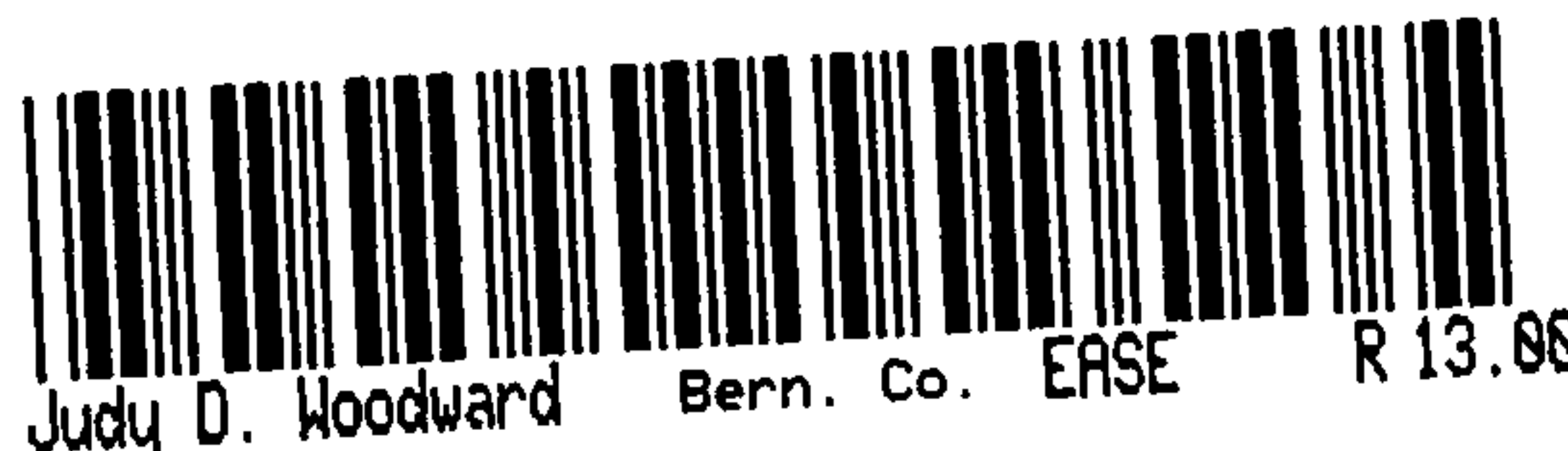
This instrument was acknowledged before me on
February 18, 1999, by Daniel C. Ashcraft, as
President of Ashcraft Real Estate.

Carolyn M. Brown
Notary Public

My commission expires:

11-01-01

G:\ASHCRAFT\ALLIANZ\CPP\LEGALDOC\PRVTDR.EAS
02/03/99



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Page: 3 of 4
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EXHIBIT "A"

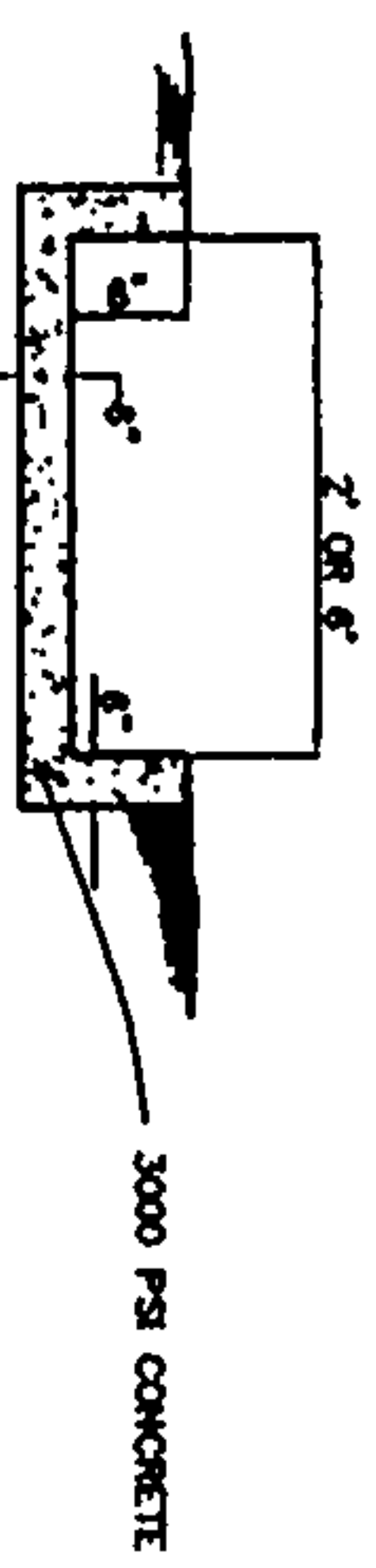
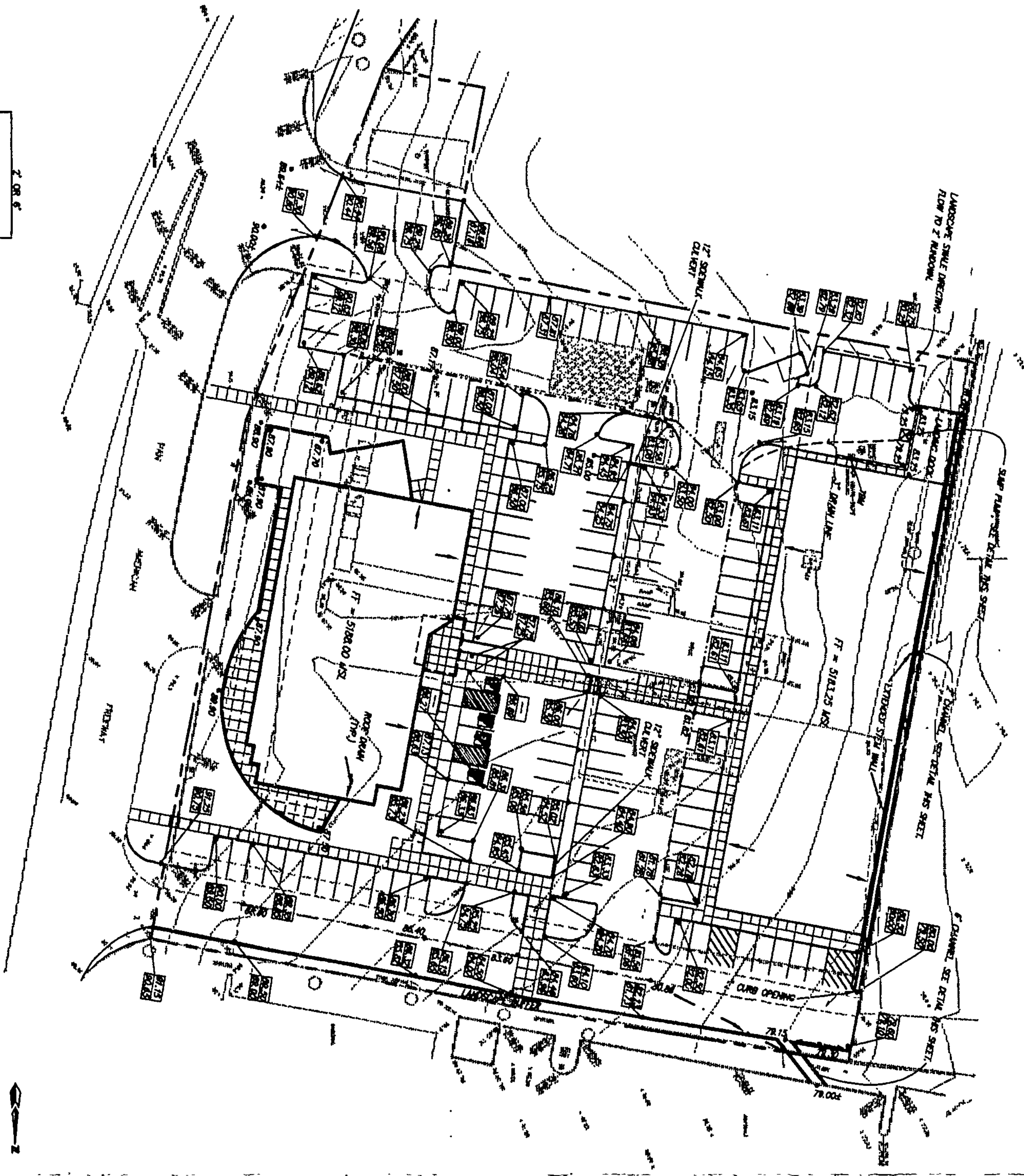


Judy D. Woodward Bern. Co. EASE R 13.00

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Page: 4 of 4
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Bk-9903 Pg-2468

NOTES

1. THE SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD ZONE.
2. THERE ARE NO OFFSITE FLOODING CONCNS THIS SITE.
3. THIS PROJECT SITE IS FULLY DEVELOPED UNDER EXISTING CONDITIONS UNDER EXISTING CONDITIONS. ANY CHANGES TO THE PROJECT TO THE WEST UNDER THE PROPOSED DEVELOPED CONDITIONS, THE SITE WILL BE GRADED TO EXISTENCE. A DRAINAGE CONDUIT FOR A CROSS LOT DRAINAGE ELEMENT WILL ALLOW THE CONFORMANCE OF THIS PROJECT SITE'S MINOR THROUGH THE ADJACENT PROPERTY TO THE NORTH AND TO EASTHEAD ROAD. A PRELIMINARY MASTER DRAINAGE REPORT DONE FOR TRACT 411-S1-S1-A DETERMINED THAT THERE IS 48.42 CFS OF AVERAGE DOWNSLOPE CAPACITY IN MASTERDRAIN ROAD UNDER PROPOSED DEVELOPED CONDITIONS. THIS SITE WILL DISCHARGE 112.5 CFS FOR THE 100-YEAR 8 HOUR STORM EVENT.
4. BELOW IS A SUMMARY OF THE AVERAGE HYDROLOGIC PARAMETERS AND RESULTS:



CHANNEL SECTION



N.T.S.

01115V/01110230/02-11-99/MLV

VICINITY MAP SOME MAP-D-1V-2

EXISTING ALFT LOCATED ON SOUTHWEST QUADRANT OF SITE.
TOP OF GRAVE = 81.73

AGE BENCHMARK

MUSIC BRASS CAP 7'-25-14" ELEVATION = 5196.73

LEGAL DESCRIPTION

ADJACENT FOR BOTS, LOT A-1-A WITHIN THE SECTION 23 TOWNSHIP 1 NORTH, RANGE 3 EAST, TWP. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

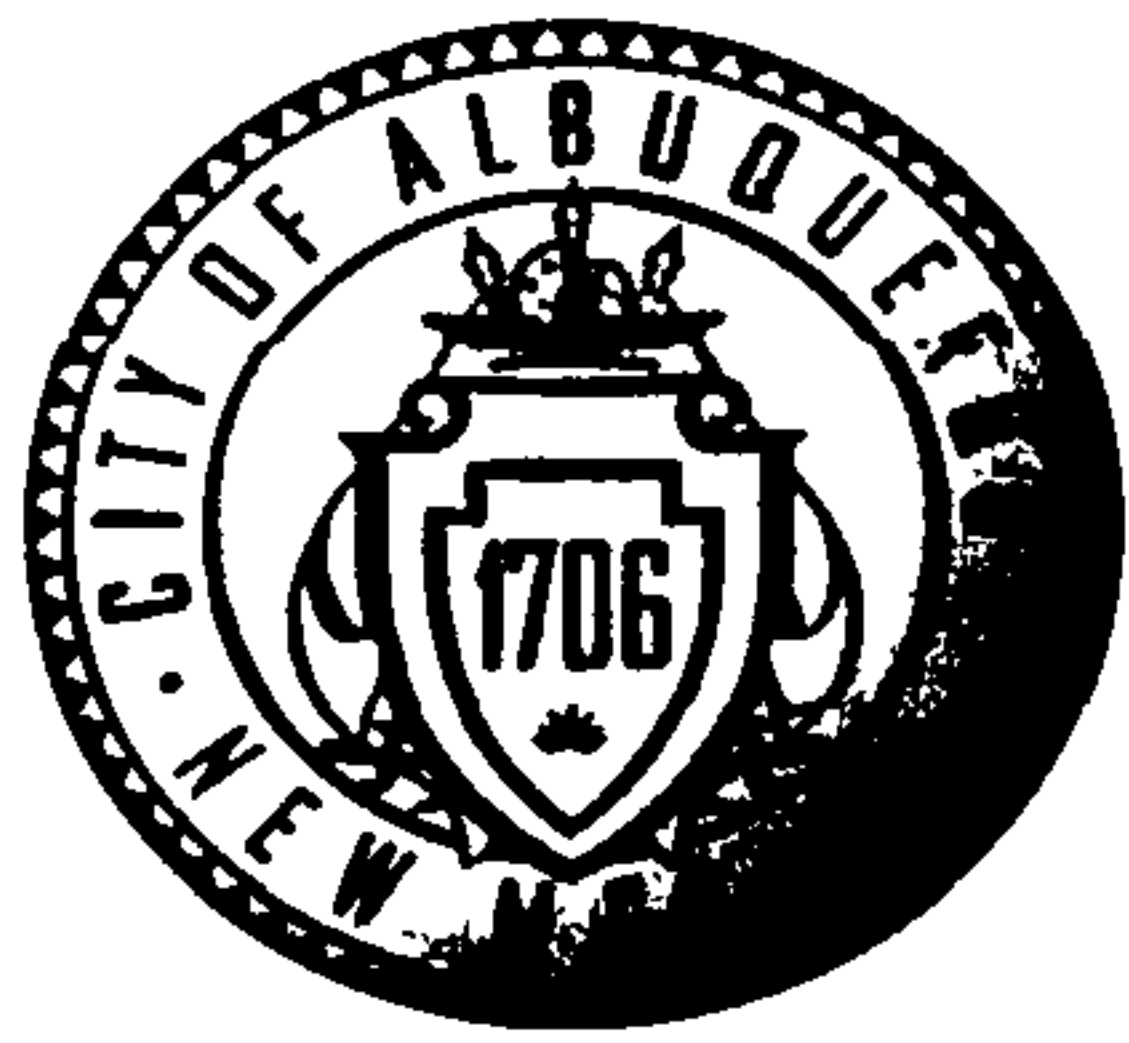
LEGEND

- NEW CURB
- NEW RETAINING WALL
- ASPHALT SWALE FLOWLINE
- EXISTING FLOWLINE
- EXISTING CONTOUR
- NEW TOP OF CURB
- NEW FLOWLINE ELEVATION

STAGE-THOMAS OFFICE BUILDING GRADING AND DRAINAGE PLAN

dmj MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90608
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DAC	Drawn: MAB, W/V	Checked: DAC	Sheet: 2 of 2
Scale: 1" = 30'	Date: 10/79	Job: 98111	



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: LOS ALAMOS NAT'L BANK TENANT IMPROVEMENTS Building Permit #: _____ Hydrology File #: D17 D077
 DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____
 City Address: 1445 PAN AMERICAN PKWY, NE ALBU. NM 87109

Applicant: FBT ARCHITECTS Contact: TED GRUMBLATT
 Address: 6501 AMERICAS PKWY STE 300
 Phone#: 505-883-5200 Fax#: 505-884-8400 E-mail: tcg@fbtarch.com

Other Contact: ~~EMILY BRAUNOLD~~ LOS ALAMOS NAT'L BANK Contact: EMILY BRAUNOLD
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply: Plan for Info only TCL - Dimension for ATM

- DEPARTMENT:**
 HYDROLOGY/ DRAINAGE
 TRAFFIC/ TRANSPORTATION
 MS4/ EROSION & SEDIMENT CONTROL

- TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**
 BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY

- TYPE OF SUBMITTAL:**
 ENGINEER/ARCHITECT CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE MASTER PLAN
 DRAINAGE REPORT
 CLOMR/LOMR

- PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL

- TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 EROSION & SEDIMENT CONTROL PLAN (ESC)
 _____ OTHER (SPECIFY) _____

- SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: Yes No

_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/24/2014 By: FBT ARCHITECTS



TRAFFIC CERTIFICATION

I, TED GRUMBLATT, NMPE OR NMRA 03382, OF THE FIRM FBS ARCHITECTS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/3/2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TED G. OF THE FIRM FBS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/3/2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TCL.

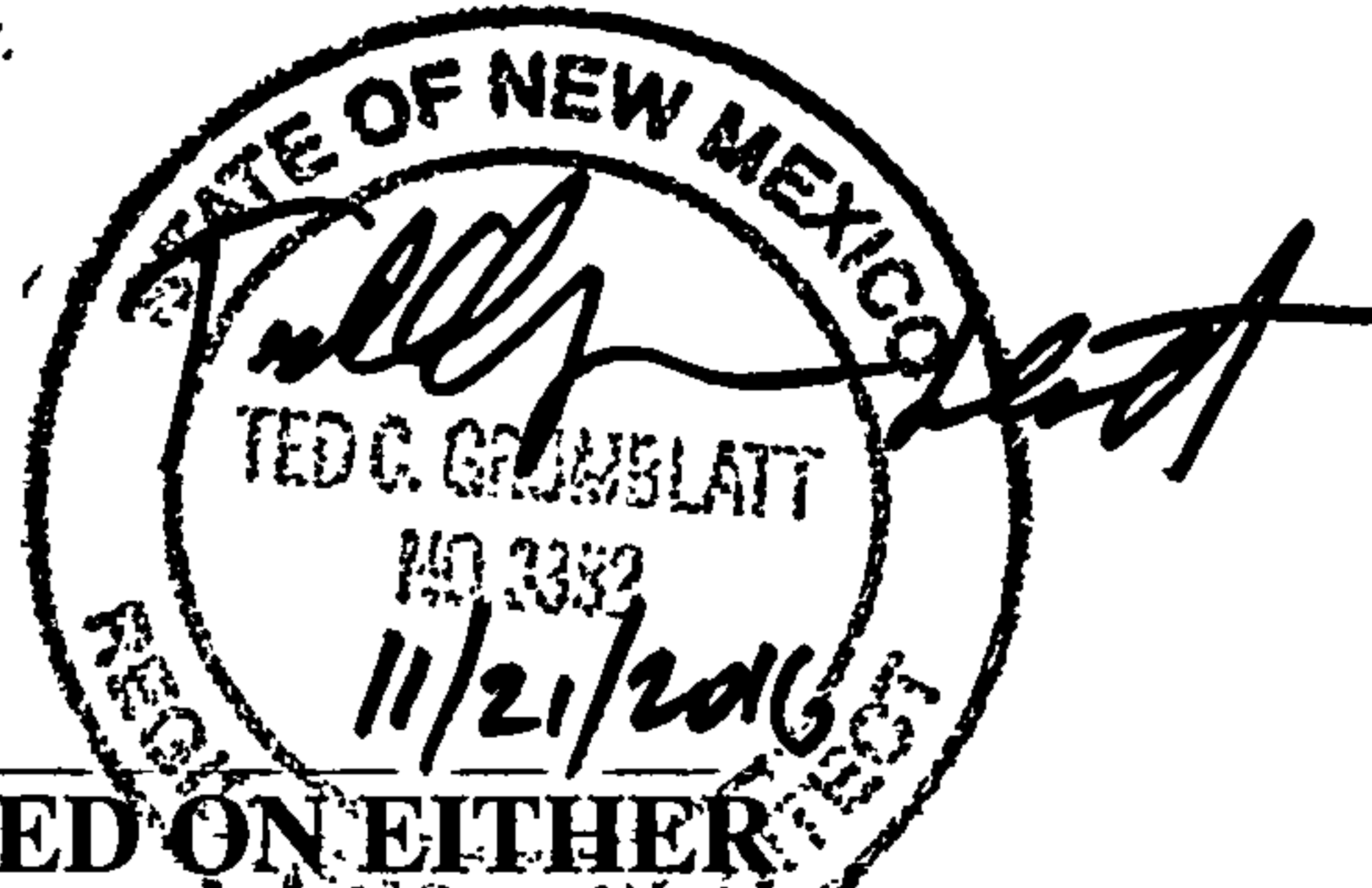
<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

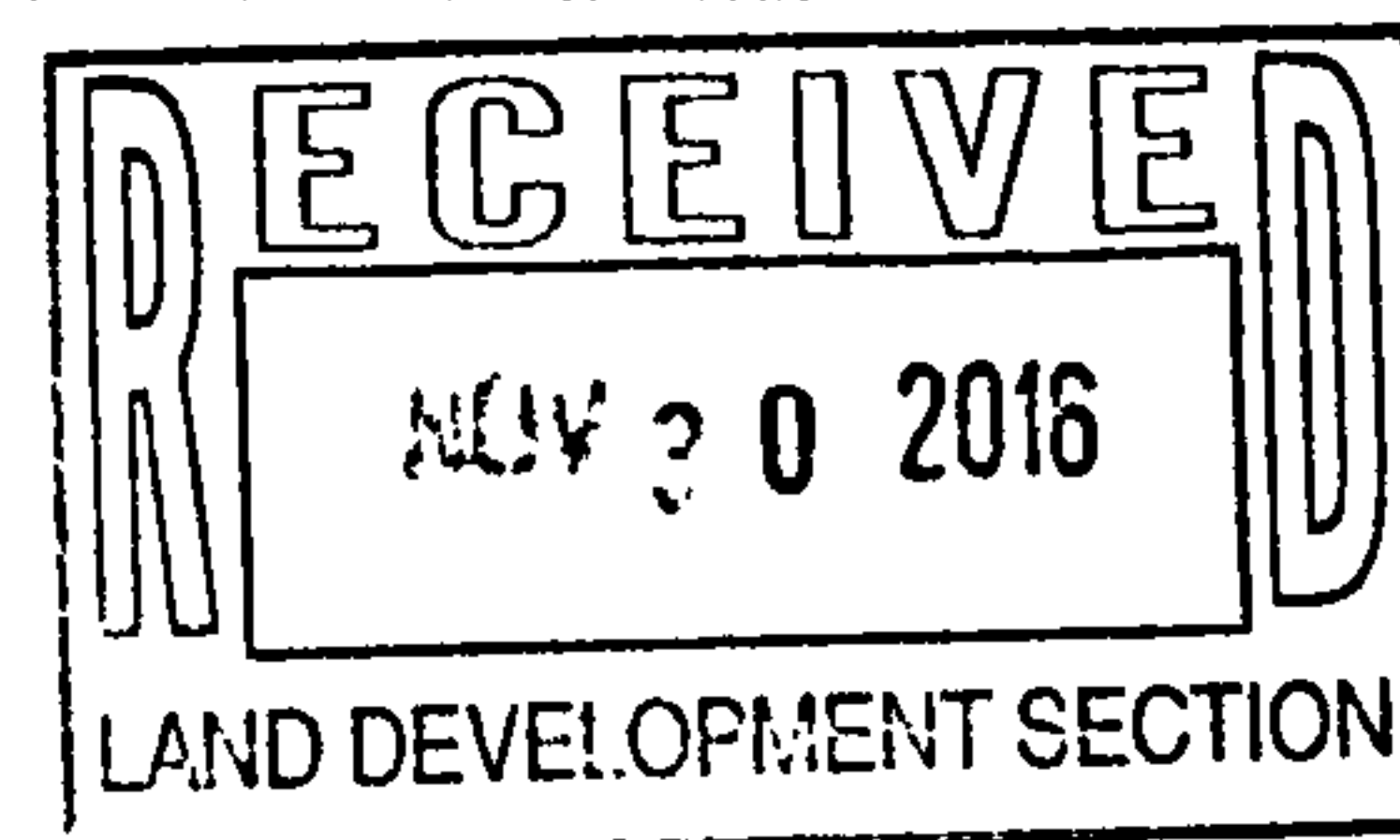
Ted Grumblatt
Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

11/21/2016
Date



- THIS CERTIFICATION MUST BE SUBMITTED ON EITHER**
- 1) COMPANY LETTERHEAD, WITH AN ORIGINAL STAMP AND SIGNATURE**
 - or
 - 2) ON THE ORIGINAL APPROVED PLAN WITH EITHER TCL STAMP OR DRB SIGNATURE BLOCK**





City of Albuquerque

February 16, 2000

Diane Hoelzer, P.E.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

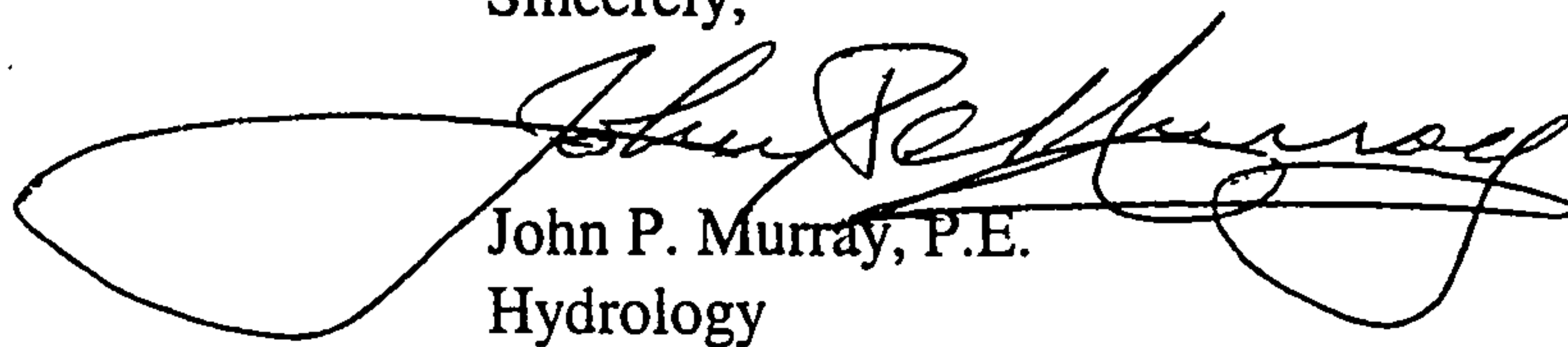
**RE: *SIVAGE-THOMAS OFFICE BUILDING (D17-D77). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL
ENGINEER'S STAMP DATED JANUARY 27, 2000.***

Dear Ms. Hoelzer:r.

Based on the information provided on your January 27, 2000 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.
Hydrology

c: WR
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 19, 1999

Mark Goodwin
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

RE: SIVAGE THOMAS OFFICE BUILDING (D17/D77), REVISED GRADING &
DRAINAGE SUBMITTAL FOR FOUNDATION, BUILDING AND GRADING
PERMIT APPROVAL. ENGINEER'S STAMP DATED 7-13-99

Dear Mr. Goodwin:

The revised Grading & Drainage submittal, submitted to this office on 7-14-99 is hereby approved for Foundation, Building and Grading Permit.

Separate permitting will be required for any work to be performed within City right-of-way. Also, please attach a copy of this approval letter to the project plans when submitting for Hydrology Division sign-off.

Sincerely,

Scott Davis

PWD, Hydrology Division

c: file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 26, 1999

Mark Goodwin
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

RE: SIVAGE THOMAS OFFICE BUILDING (D17/D77), GRADING & DRAINAGE
RESUBMITTAL FOR FOUNDATION, BUILDING AND GRADING PERMIT
APPROVAL. ENGINEER'S STAMP DATED 2-12-99

Dear Mr. Goodwin:

Based upon the information provided in your 2-23-99 resubmittal, the subject project is approved for Foundation, Building and Grading permit.

Please keep in mind that prior to doing any work in City right-of-way, a separate permit is required. Also, please attach a copy of this approval letter to the project plans when submitting for Hydrology Division sign off.

If I can be of further assistance, feel free to contact me at 768-2766.

Sincerely,

Scott Davis
PWD, Hydrology Division

c: Andrew Garcia
file

PRIVATE DRAINAGE EASEMENT

This grant of Easement between
Ashcraft Real Estate & Development Inc.
("Grantor") whose address is 811 Dallas NE
Albuquerque, NM 87110
and ("Grantee"), who owns the following property ("Grantee's
Property")

<u>Lot No.</u>	<u>Block No.</u>	<u>Subdivision</u>
A-1-A	Academy for Boys Division	

is entered into as of the date Grantor signs this Private Drainage
Easement.

1. Recital. Grantor is the Owner of certain real property
located at Tract 4AA-6A of the Replat of Tracts 4AA-5A-2 and
4AA-6, Journal Center

2. Grant of Easement. The Grantor grants to the Grantee
solely for the benefit of Grantee's Property, a permanent private
easement (the "Easement") in, over, upon and across that portion of
the Property so designated on Exhibit A, for a Drainage Facility.

3. Warranty. Grantor covenants that it is the Owner in fee
simple of the Property and that it has a good lawful right to
convey the Property, that the Property is free from all
encumbrances except encumbrances of record and taxes due and owing
the Treasurer of Bernalillo County, and that the Grantor will
forever warrant and defend the title to the Property against all
claims from all persons or entities.

4. Binding on Grantor's Property. The grant and other
provisions of this Easement constitute covenants running with the
land for the benefit of Grantee and its successors and assigns, and
shall run with said Property until released by the Grantee.

5. Liability of City. Grantor understands and agrees that
the City of Albuquerque shall not be liable to the Grantor or its
respective heirs, successors or assigns, or to any third parties
for any damages resulting from the Grantee's failure to construct,
maintain or repair the Drainage Facility.

6. Maintenance; Relocation. Grantee shall construct and
maintain the Drainage Facility in good order. Upon demand, Grantee
will promptly relocate the Drainage Facility to another location
within the Property. If Grantee fails to so maintain the Drainage
Facility, or fails to so relocate the Drainage Facility, Grantor
may do so, and Grantee will promptly reimburse Grantor the
maintenance or relocation costs, plus 10% per annum from the date
of expenditure, upon demand. Grantor's failure to immediately



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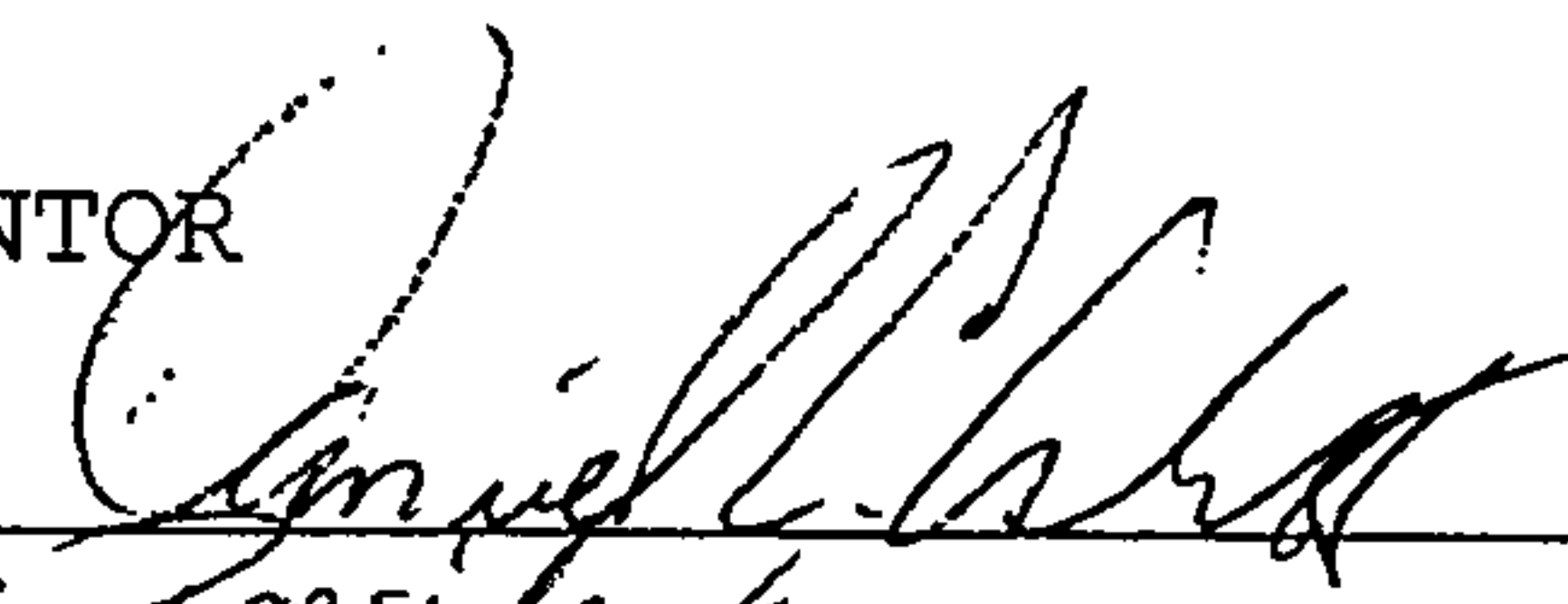
reimburse Grantor upon demand will entitle Grantor to place a lien upon Grantee's Property, by filing a notice thereof in the records of Bernalillo County, New Mexico, and to foreclose the lien in the manner provided by law for the foreclosure of mortgages.

7. Notices. Notices under this Easement may be delivered by first class mail, return receipt requested, at the address of the owner of the applicable property as shown on the records of the Bernalillo County tax assessor.

8. Indemnification. Grantor owns and controls the Drainage Facility. Neither Grantor nor Grantee shall permit the Drainage Facility to constitute a hazard to the health or safety of the general public. Grantee agrees to indemnify, defend and hold harmless Grantor and the City, its officials, agents and employees, and the Grantor, its heirs, successors and assigns from any claims, actions, suits or other proceedings and from or out of the negligent acts or omissions of Grantee, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Grantee herein, provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Easement, this indemnity will not extend to liability, claims, damages, losses, or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions in the primary cause of bodily injury to persons or damage to property.

9. Binding on Grantor's Property. The easement, covenants and obligations of Grantor set forth herein shall be binding on Grantor, and its respective heirs, assigns and successors and on Grantor's Property and constitute covenants running with Grantor's Property until released by the City's Chief Administrative Officer as approved by the City Engineer.

GRANTOR

By: 
Its: President
Dated: 2/18/99

GRANTEE

By: John W. Hardin
Its: SECRETARY / TREASURER
Dated: 02-18-99

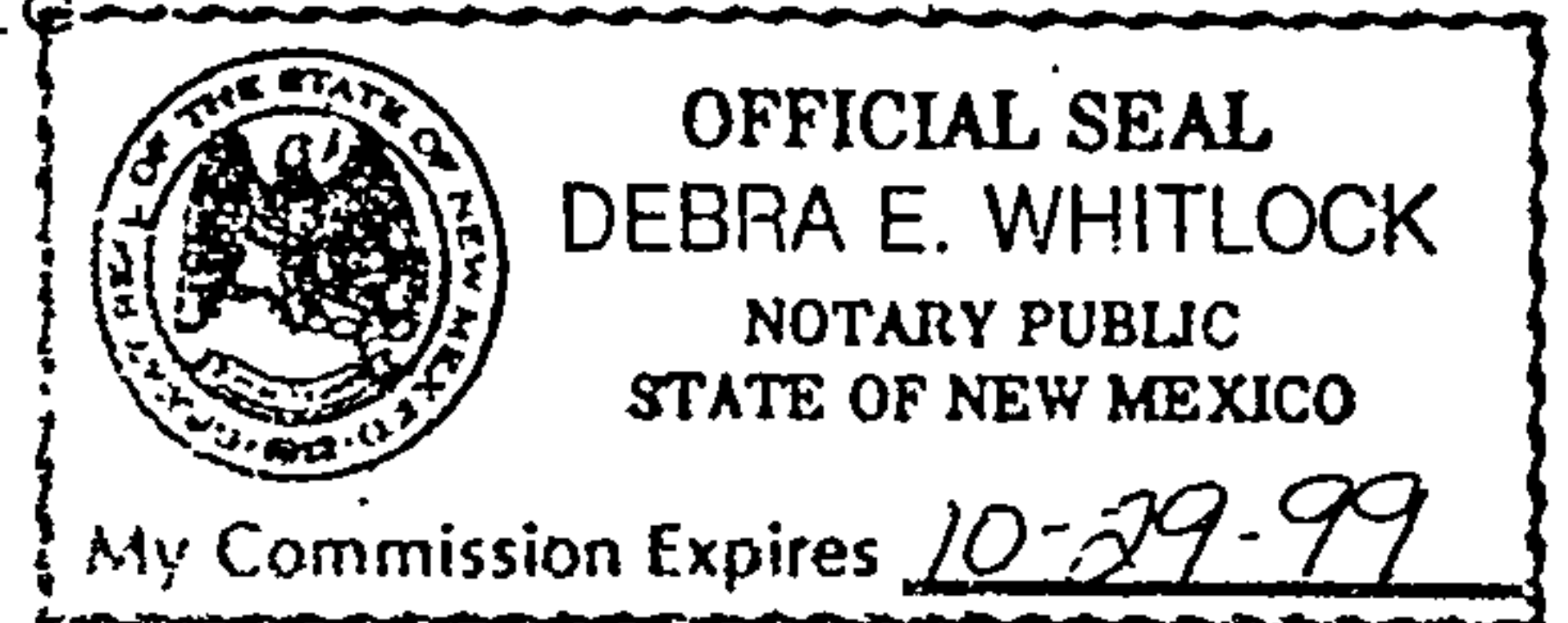
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on
FEBRUARY 18, 1999, by John W. Hardin, as
Secretary/Treasurer of Sivage-Thomas Homes, Inc.

Debra E. Whitlock
Notary Public

My commission expires:

October 29, 1999



GRANTEE

By: _____
Its: _____
Dated: _____

STATE OF NEW MEXICO)
) ss. Grantor
COUNTY OF BERNALILLO)

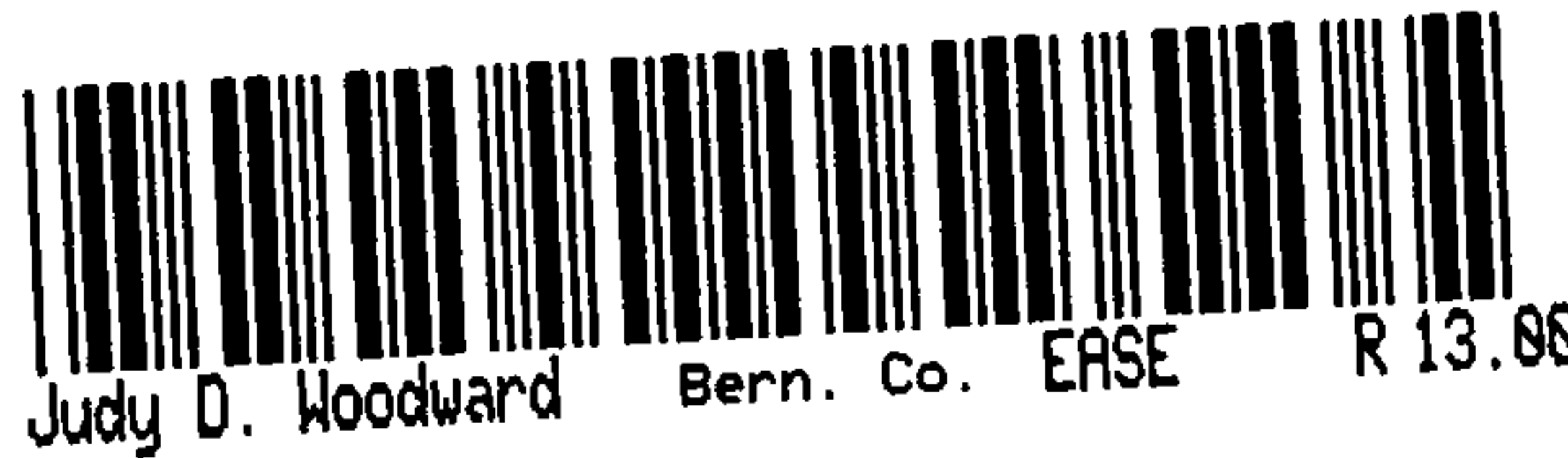
This instrument was acknowledged before me on
February 18, 1999, by Daniel C. Ashcraft, as
President of Ashcraft Real Estate.

Carolyn M. Brown
Notary Public

My commission expires:

11-01-01

G:\ASHCRAFT\ALLIANZ\CPP\LEGALDOC\PRVTDR.EAS
02/03/99



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EXHIBIT "A"

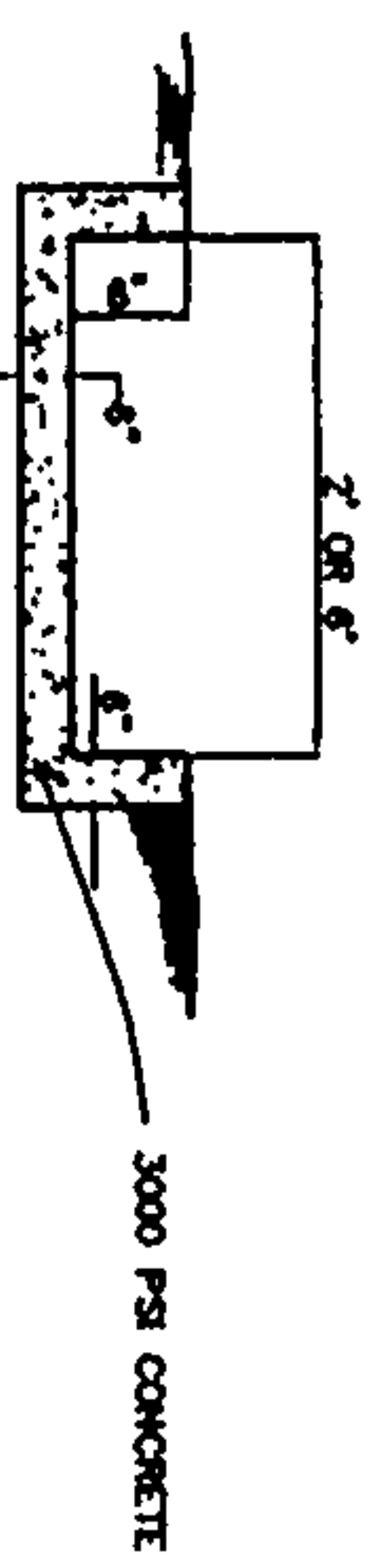
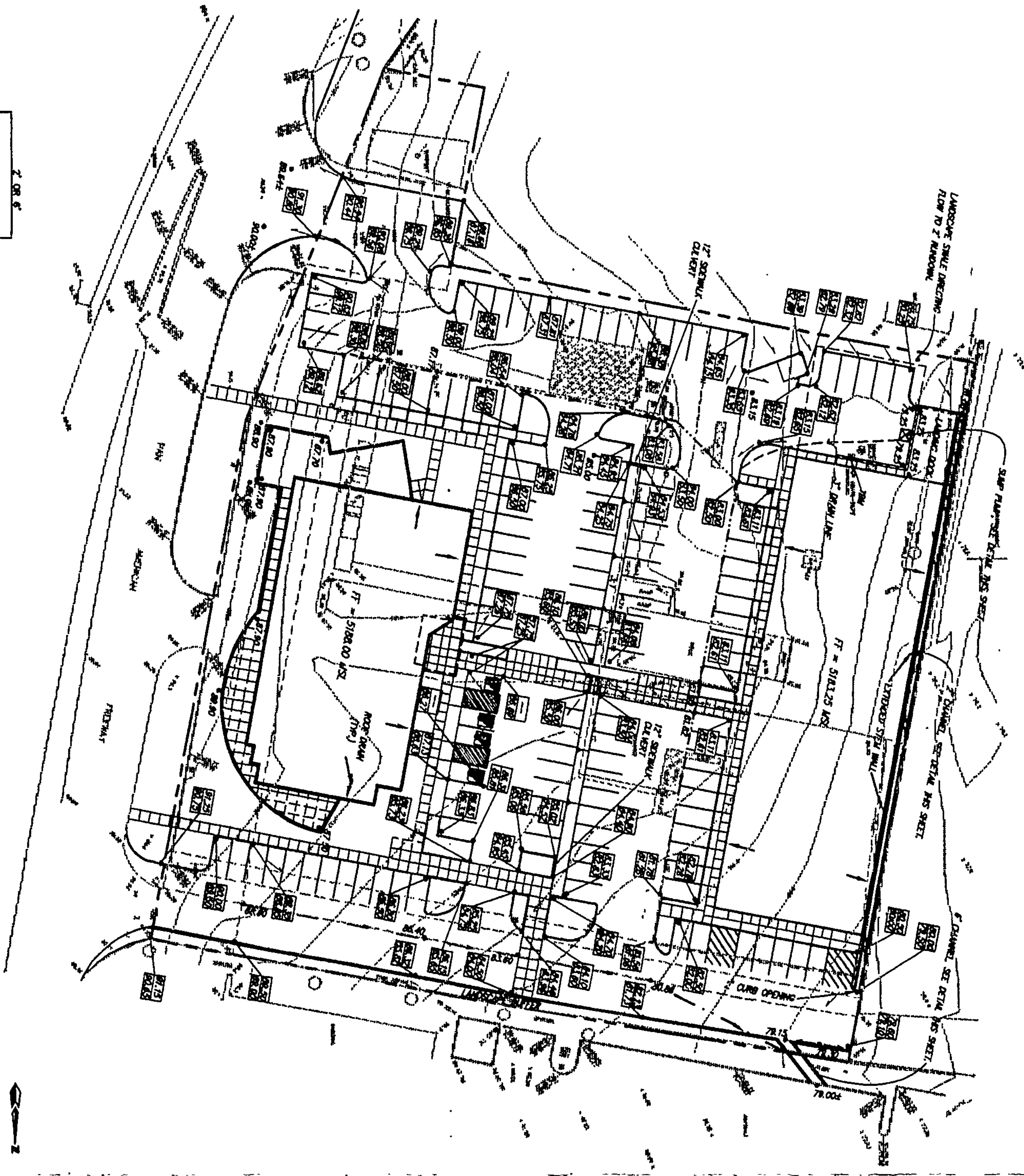


Judy D. Woodward Bern. Co. EASE R 13.00

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NOTES

1. THE SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD ZONE.
2. THERE ARE NO OFFSITE FLOODING CONCNS THIS SITE.
3. THIS PROJECT SITE IS FULLY DEVELOPED UNDER EXISTING CONDITIONS UNDER EXISTING CONDITIONS. ANY CHANGES TO THE PROJECT TO THE WEST UNDER THE PROPOSED DEVELOPED CONDITIONS, THE SITE WILL BE GRADED TO DISCHARGE WATER TO THE PROPERTY TO THE NORTH THROUGH A 6" CONC. CHANNEL DRAINAGE. A DRAINAGE CONDUIT FOR A CROSS LOT DRAINAGE ELEMENT WILL ALLOW THE CONFORMANCE OF THIS PROJECT SITE'S MAJOR THROUGH THE ADJACENT PROPERTY TO THE NORTH AND TO EASTHEAD ROAD. A PRELIMINARY MASTER DRAINAGE REPORT DONE FOR TRACT 411-S1-S1-A DETERMINED THAT THERE IS 48.42 CFS OF APPROXIMATE DRAINAGE CAPACITY IN MASTERHEAD ROAD UNDER PROPOSED DEVELOPED CONDITIONS. THIS SITE WILL DISCHARGE 112.5 CFS FOR THE 100-YEAR 8 HOUR STORM EVENT.
4. BELOW IS A SUMMARY OF THE APPROXIMATE HYDROLOGIC PARAMETERS AND RESULTS:



N.T.S. CHANNEL SECTION
3000 PSI CONCRETE
SCALE 1" = 30'
01115V/21110230/02-11-99/MLV

VICINITY MAP SOME MAP-D-1V-2

EXISTING ALIET LOCATED ON SOUTHWEST QUADRANT OF SITE.
TOP OF GRAVE = 81.73

AGE BENCHMARK

MUSIC BRASS CAP 7'-25-14" ELEVATION = 5196.73

LEGAL DESCRIPTION

ADJACENT FOR BOTS, LOT A-1-A WITHIN THE SECTION 23 TOWNSHIP 1 NORTH, RANGE 3 EAST, TWP. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

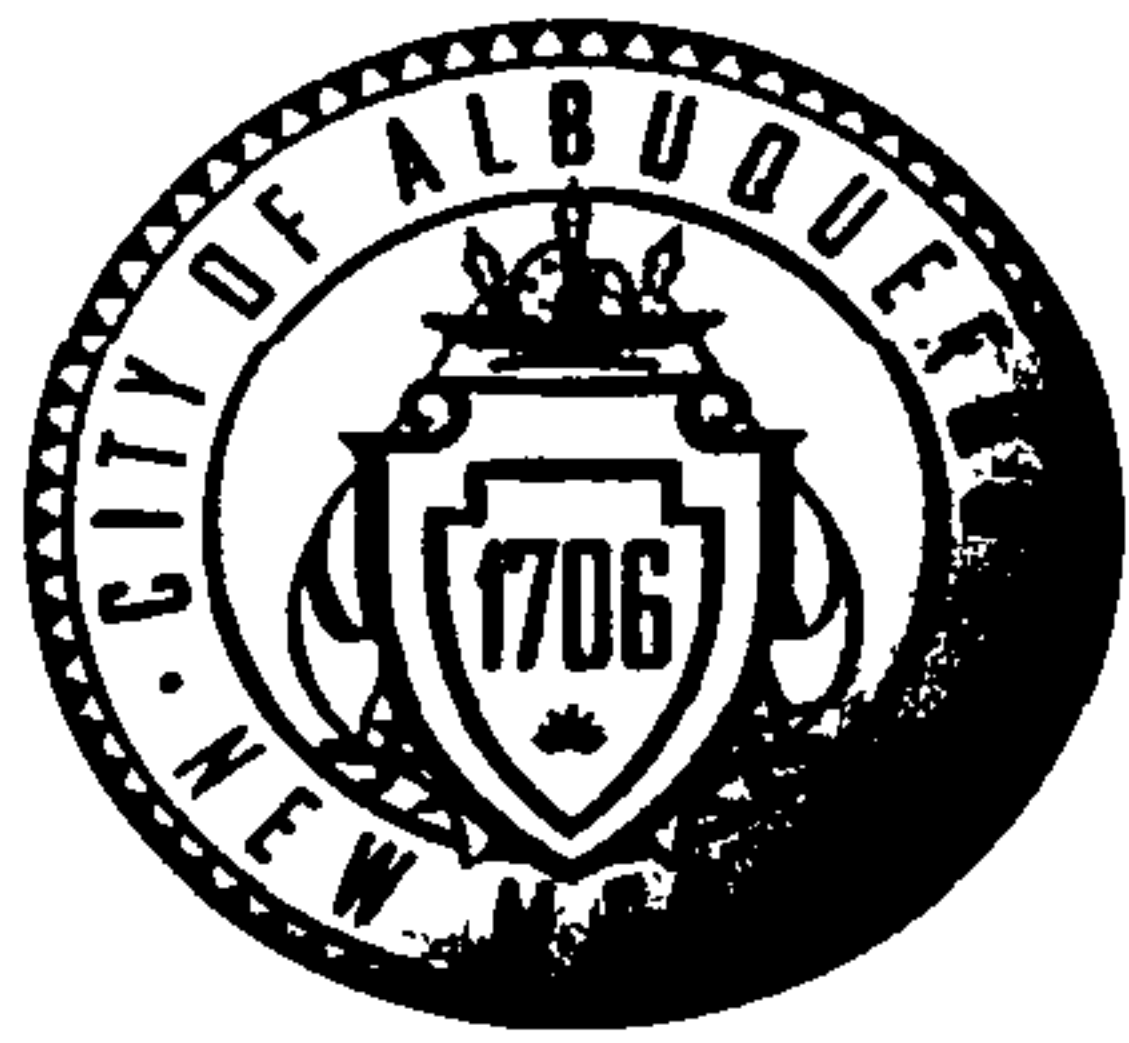
LEGEND

- NEW CURB
- NEW RETAINING WALL
- ASPHALT SWALE FLOWLINE
- EXISTING FLOWLINE
- EXISTING CONTOUR
- NEW TOP OF CURB
- NEW FLOWLINE ELEVATION

STAGE-THOMAS OFFICE BUILDING GRADING AND DRAINAGE PLAN

dmj MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90608
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DAC	Drawn: MAB, W/V	Checked: DAC	Sheet: 2 of 2
Scale: 1" = 30'	Date: 10/79	Job: 98111	



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: LOS ALAMOS NAT'L BANK TENANT IMPROVEMENTS Building Permit #: _____ Hydrology File #: D17 D077
 DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____
 City Address: 1445 PAN AMERICAN PKWY, NE ALBU. NM 87109

Applicant: FBT ARCHITECTS Contact: TED GRUMBLATT
 Address: 6501 AMERICAS PKWY STE 300
 Phone#: 505-883-5200 Fax#: 505-884-8400 E-mail: tcg@fbtarch.com

Other Contact: ~~EMILY BRAUNOLD~~ LOS ALAMOS NAT'L BANK Contact: EMILY BRAUNOLD
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply: Plan for Info only TCL - Dimension for ATM

- DEPARTMENT:
- HYDROLOGY/ DRAINAGE
 - TRAFFIC/ TRANSPORTATION
 - MS4/ EROSION & SEDIMENT CONTROL

- TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
- BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY

- TYPE OF SUBMITTAL:
- ENGINEER/ARCHITECT CERTIFICATION

- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL

- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR



- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)

- PRE-DESIGN MEETING?
- OTHER (SPECIFY) _____

OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: 11/24/2014 By: FBT ARCHITECTS

TRAFFIC CERTIFICATION

I, TED GRUMBLATT, NMPE OR NMRA 03382, OF THE FIRM FBS ARCHITECTS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/3/2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TED G. OF THE FIRM FBS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/3/2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TCL.

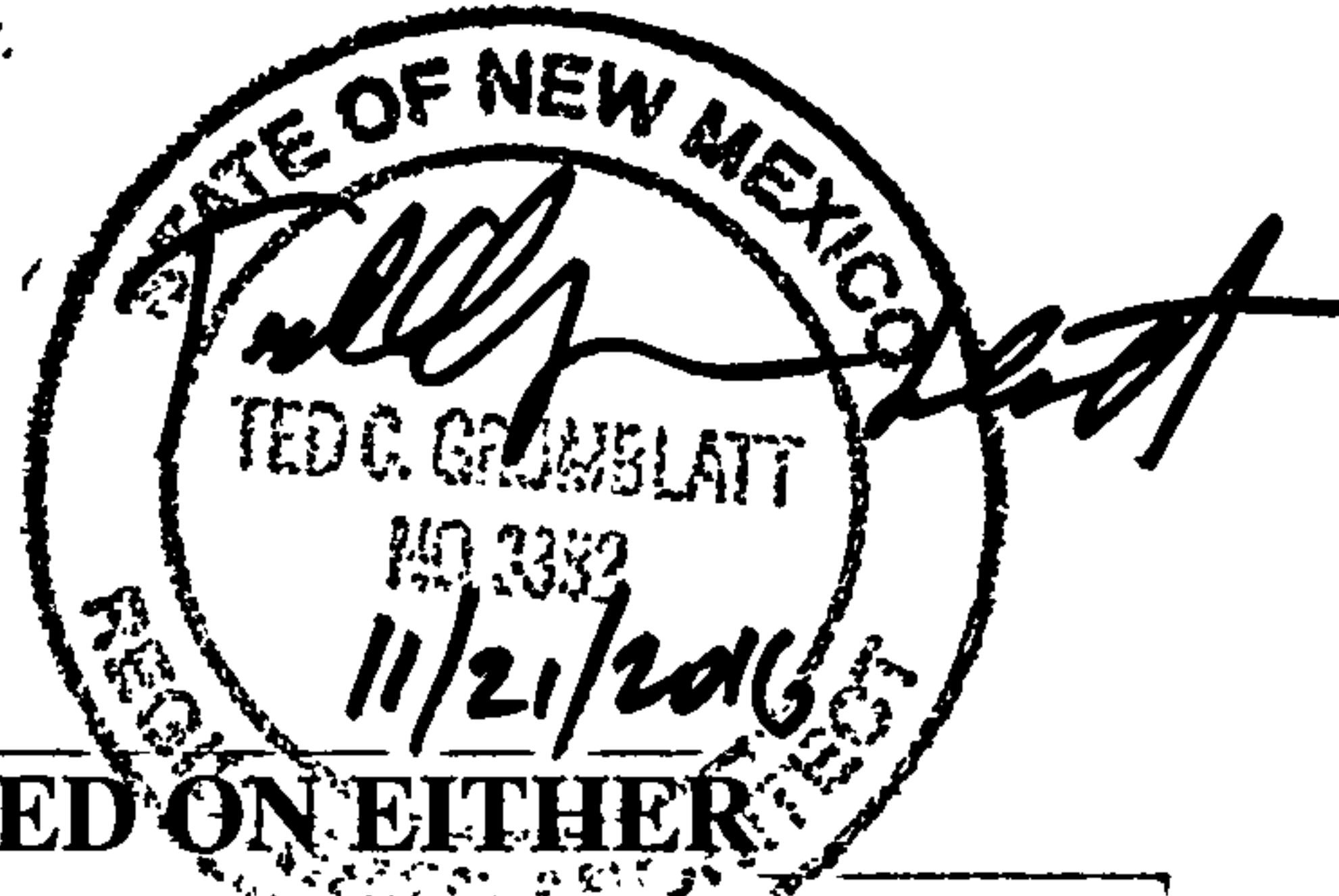
<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

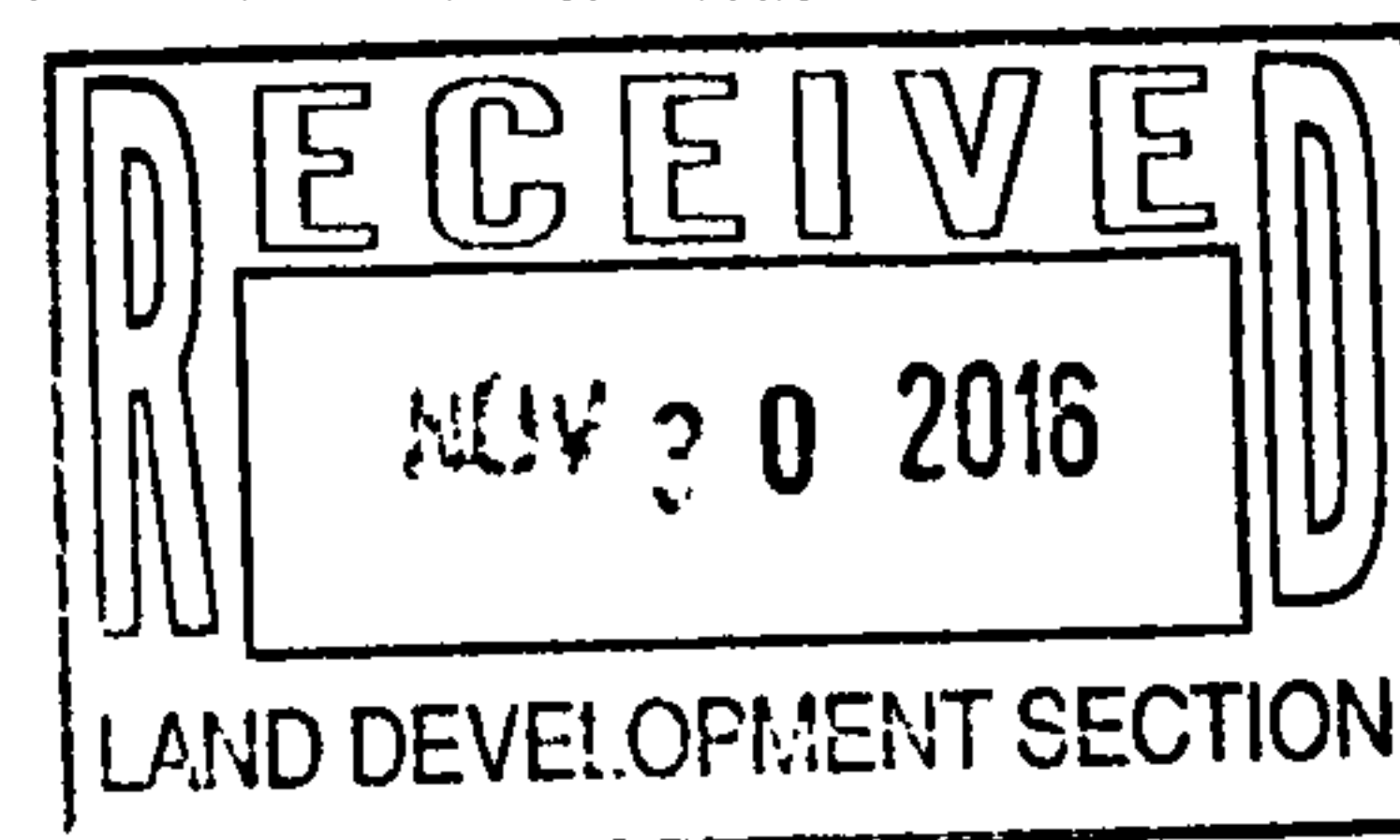
Ted Grumblatt
Signature of Engineer or Architect

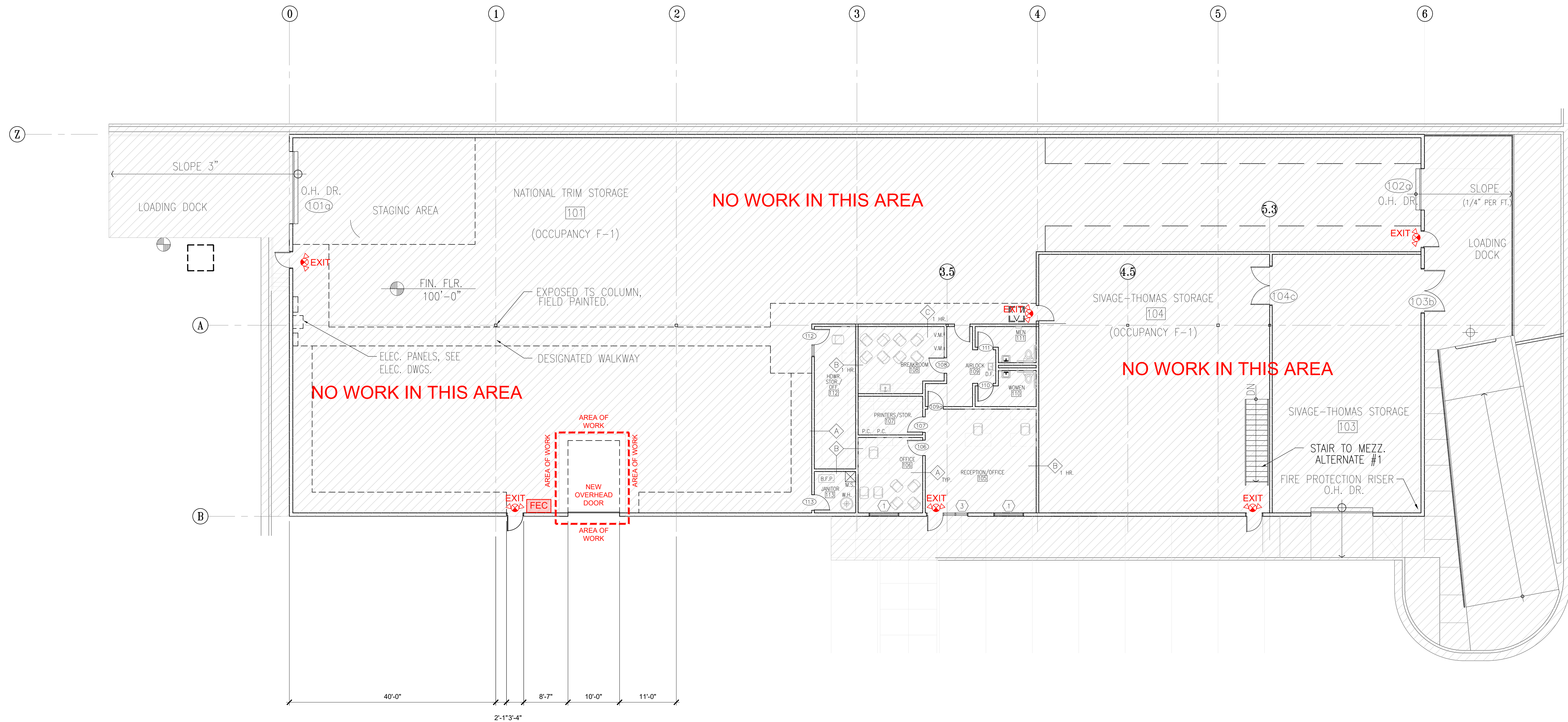
ENGINEER'S OR ARCHITECT'S STAMP

11/21/2016
Date



- THIS CERTIFICATION MUST BE SUBMITTED ON EITHER**
- 1) COMPANY LETTERHEAD, WITH AN ORIGINAL STAMP AND SIGNATURE**
 - or
 - 2) ON THE ORIGINAL APPROVED PLAN WITH EITHER TCL STAMP OR DRB SIGNATURE BLOCK**





CODE ANALYSIS / FIRE 2 PLAN

SCALE: 1" = 10'-0"



CODE ANALYSIS
 IBC 2015
 OCCUPANCY CLASSIFICATION STORAGE GROUP F-1
 SCOPE OF WORK: ADD NEW OVERHEAD DOOR ALTERATION LEVEL 2

BUILDING TYPE:
 IBC TABLE 601 & SECTION 602.2
 CONSTRUCTION TYPE TYPE II-B-S1

FIRE-RESISTIVE REQUIREMENTS PER IBC TABLE 601

STRUCTURAL FRAME	0 HR
BEARING WALLS	0 HR
NON-BEARING WALLS	0 HR
ROOF CONSTRUCTION	0 HR

ALLOWABLE GROSS FLOOR AREA:
 IBC TABLE 506.2
 F-1 OCC. / TYPE II-B-S1 CONST
 2 FLOORS / 55 FT 62,000 SQ. FT.

ACTUAL FLOOR AREA:
 TOTAL BUILDING AREA 16,250 SQ. FT.

CODE ANALYSIS

AREA SEPARATION:
 IBC TABLE 508.4
 NONE REQUIRED

OCCUPANT LOAD:
 IBC TABLE 1004.1.1
 UNCHANGED

AUTOMATIC SPRINKLER SYSTEM:
 PROVIDED

FIRE ALARM & DETECTION SYSTEM: IBC 907.2.2
 PROVIDED

GROUP F-1 PLUMBING:
 IBC 2902.1
 NO CHANGE TO OCCUPANCY OR OCCUPANT LOAD
 EXISTING FIXTURE COUNT TO REMAIN PER IBC

CODE LEGEND

- 3 HOUR FIRE RATED ASSEMBLY
- 2 HOUR FIRE RATED ASSEMBLY
- 1 HOUR FIRE RATED ASSEMBLY
- SMOKE BARRIER 1 HOUR RATED
- DIRECTION OF EGRESS
- DIRECTION OF EGRESS WITH NUMBER OF OCCUPANTS INDICATED
- FIRE EXTINGUISHER CABINET
- FIRE EXTINGUISHER IN AREAS OTHER THAN THE KITCHEN ARE TO BE 2A-10BC SURFACE MOUNTED TYPE ABC. FIRE EXTINGUISHER IN THE KITCHEN TO BE TYPE K.
- FIRE DEPARTMENT HOSE CONNECTION

NOTE:

- SHOP DRAWINGS SHALL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL FOR ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM.
- THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED.

No	Revision	Item	Date

		DESIGNED	PROJECT NO
		DRAWN	SCALE
		CHECKED	DRAWING NO
		REVIEWED	G-101
DATE 8/14/2020		OF	

WAREHOUSE DOOR ADDITION
 7447 PAN AMERICAN FWY NE
 ALBUQUERQUE, NM 87109

DRAWING TITLE
**CODE ANALYSIS PLAN
 FIRE 2 PLAN**



SCOTT C. ANDERSON
& associates architects

7604 rio penasco nw
albuquerque, nm 87120
andersonscottc@comcast.net
505.401.7575

September 2, 2020

Russell Brito, Division Manager
Urban Design and Development
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: 2020-35698, Admin Amendment 7447 Pan American Frwy NE

Dear Mr Brito:

I am writing to request and Administrative Amendment for 7447 Pan American Frwy NE.

This request is being made to add an overhead door to the east facade.

Thank you for your consideration. Please feel free to contact me with any questions or concerns.

Respectfully,

Scott C. Anderson
Principal
Scott Anderson & Associates Architects