



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

| Administrative Decisions | Decisions Requiring a Public Meeting or Hearing | Policy Decisions |
|---|---|--|
| <input type="checkbox"/> Archaeological Certificate (Form P3) | <input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1) | <input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z) |
| <input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L) | <input type="checkbox"/> Master Development Plan (Form P1) | <input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L) |
| <input type="checkbox"/> Alternative Signage Plan (Form P3) | <input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L) | <input type="checkbox"/> Amendment of IDO Text (Form Z) |
| <input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3) | <input type="checkbox"/> Demolition Outside of HPO (Form L) | <input type="checkbox"/> Annexation of Land (Form Z) |
| <input type="checkbox"/> WTF Approval (Form W1) | <input type="checkbox"/> Historic Design Standards and Guidelines (Form L) | <input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z) |
| | <input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2) | <input type="checkbox"/> Amendment to Zoning Map – Council (Form Z) |
| | | Appeals |
| | | <input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A) |

APPLICATION INFORMATION

| | | |
|---|-------------------------|---------------------------------------|
| Applicant: | | Phone: |
| Address: | | Email: |
| City: | State: | Zip: |
| Professional/Agent (if any): The Hartman + Majewski Design Group | | Phone: 505-998-6430 |
| Address: 120 Vassar Drive SE | | Email: daube@designgroupnm.com |
| City: Albuquerque | State: NM | Zip: 87106 |
| Proprietary Interest in Site: | List <u>all</u> owners: | |

BRIEF DESCRIPTION OF REQUEST

Modify Site Plan to allow for bus routing.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

| | | |
|--|------------------------------|---|
| Lot or Tract No.: G | Block: | Unit: |
| Subdivision/Addition: Mesa Del Sol Innovation Park II | MRGCD Map No.: | UPC Code: 101605214403530304 |
| Zone Atlas Page(s): Q-14-Z | Existing Zoning: PC | Proposed Zoning: PC |
| # of Existing Lots: 1 | # of Proposed Lots: 1 | Total Area of Site (acres): 7.4 ac |

LOCATION OF PROPERTY BY STREETS

| | | |
|--|------------------------------|------|
| Site Address/Street: 5441 Watson Drive SE | Between: Crick Avenue | and: |
|--|------------------------------|------|

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

| | |
|-----------------------------------|---|
| Signature: | Date: 9-8-2020 |
| Printed Name: David A Aube | <input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent |

FOR OFFICIAL USE ONLY

| Case Numbers | Action | Fees | Case Numbers | Action | Fees |
|--------------|--------|------|--------------|--------|------|
| | | | | | |
| | | | | | |
| | | | | | |

| | |
|-----------------------|-----------------|
| Meeting/Hearing Date: | Fee Total: |
| Staff Signature: | Date: Project # |

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
 - Copy of the Official Notice of Decision associated with the prior approval
 - Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.


MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

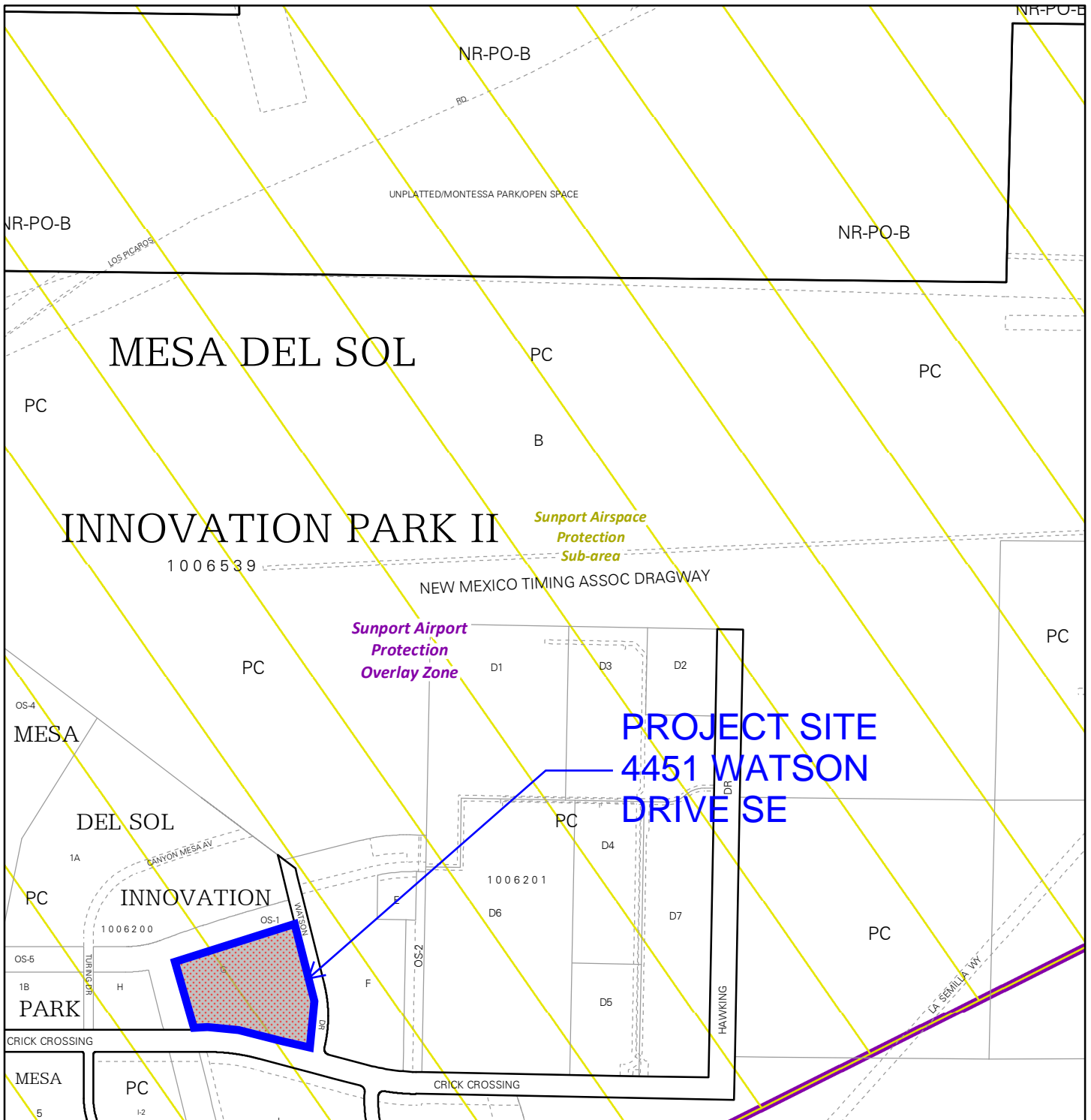
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
 - Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
 - Copy of the Official Notice of Decision associated with the prior approval
 - Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

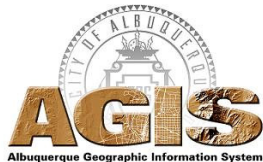
- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

| | | |
|--|--|---|
| <p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p> | | |
| <p>Signature: _____</p> | <p>Date: 9-8-2020</p> | |
| <p>Printed Name: David A Aube</p> | <p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p> | |
| <p>FOR OFFICIAL USE ONLY</p> | | |
| <p>Project Number: _____</p> | <p>Case Numbers</p> <p style="text-align: center;">-</p> <p style="text-align: center;">-</p> <p style="text-align: center;">-</p> |  |
| <p>Staff Signature: _____</p> | | |
| <p>Date: _____</p> | | |

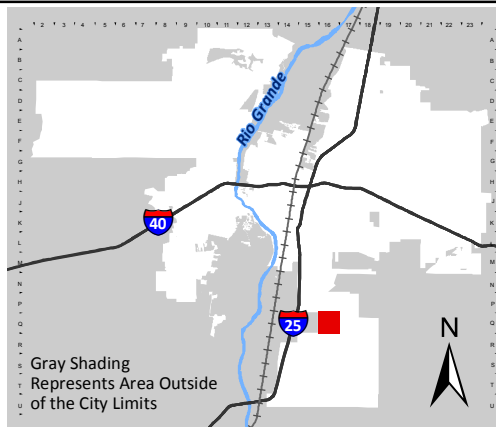


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

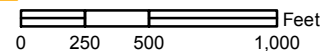


IDO Zoning information as of May 17, 2018
 The Zone Districts and Overlay Zones
 are established by the
 Integrated Development Ordinance (IDO).



Zone Atlas Page:
Q-16-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





GSA Region
Public Buildings Service
Division 07

September 3, 2020

To: City of Albuquerque
Planning and Permitting Department
C/O Brennon Williams, Planning Director
Plaza Del Sol, 600 2nd NW
Albuquerque, NM 87102

From: Adolph Dominguez (Senior PM)
Planning and Special Projects (7PAC)
US General Services Administration
Region 7 – Northern New Mexico
421 Gold Avenue – Suite 400
Albuquerque, NM 87102

Subject: Federal Contract Order: 47PH0620F0020, US Department of Homeland Security

The Hartman + Majewski Design Group is hereby authorized to act as a designated agent related to the processing of an Amendment to the Current Site Plan for 5441 Watson Drive SE, Albuquerque, NM 87106. This delegation includes but is not limited to the creation of all plans and obtaining necessary approvals from local, state and federal agencies, to also include the City of Albuquerque Planning Department.

If you would like to discuss this issue further, please feel free to call me at (505) 203-1874.

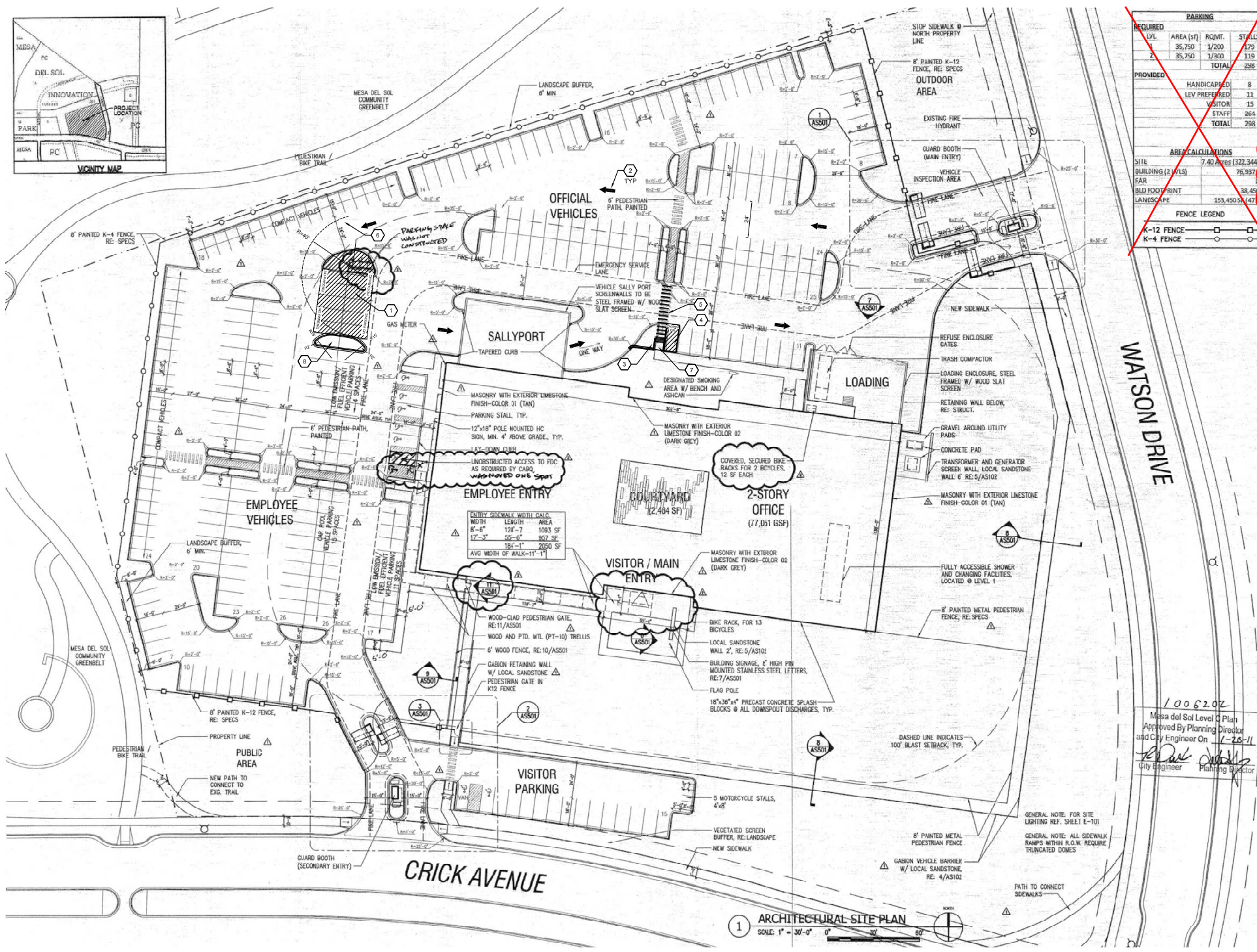
Sincerely,

**DOMINGUEZ.ADOLPH
.ADRIAN.1176223193**

Digitally signed by DOMINGUEZ.ADOLPH.ADRIAN.1176223193
DN: C=US, O=U.S. Government, OU=DoD, OU=PKI, OU=USAF,
CN=DOMINGUEZ.ADOLPH.ADRIAN.1176223193
Reason: I am the author of this document
Location: your signing location here
Date: 2020-09-03 09:12:45
Foxit PhantomPDF Version: 10.0.0

Adolph A. Dominguez
Senior Project Manager
Planning and Special Projects (7PAC)

U.S. General Services Administration
Region 7 – Northern New Mexico
www.gsa.gov



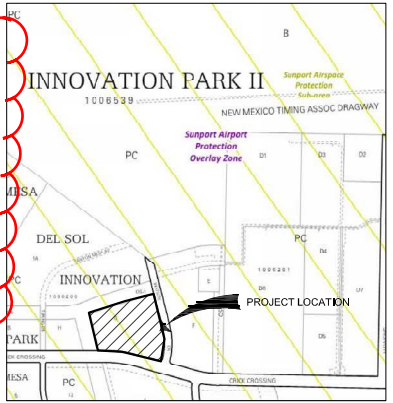
| REQUIRED PARKING | | | |
|------------------|-----------|-------------|-----|
| OFFICE | AREA (SF) | REQ. STALLS | |
| 1 | 25,750 | 1/200 | 129 |
| 2 | 35,750 | 1/300 | 119 |
| | TOTAL | | 248 |

| PROVIDED | | | |
|----------------|-----|--|--|
| HANDICAPPED | 8 | | |
| LEV. PREFERRED | 11 | | |
| VISITOR | 15 | | |
| STAFF | 264 | | |
| TOTAL | 298 | | |

| AREA CALCULATIONS | | | |
|--------------------|------------|--------------|---------|
| SITE | 7.40 Acres | (322,344 SF) | |
| BUILDING (2 BLDGS) | | 76,937 SF | |
| FAR | | 38,469 SF | |
| BLD FOOTPRINT | | 153,430 SF | (47.2%) |

| FENCE LEGEND | |
|--------------|---|
| K-12 FENCE | ○ |
| K-4 FENCE | ○ |

*Refer to Updated Parking Tabulations Below -JMA 10/1/2020



Q-16-Z ZONE ATLAS PAGE
SCALE: NOT TO SCALE

TCL KEYED NOTES

- REMOVE END ISLAND, AND PARKING STALL STRIPING. PROVIDE INFILL PAVING AND STRIPING TO INDICATED NO PARKING AS SHOWN.
- ARROWS TO INDICATED BUS ROUTE FROM PUBLIC ROAD TO SALLYPORT. ARROWS ARE NOT PROPOSED TO BE APPLIED TO PAVEMENT, SIMPLY FOR INDICATION OF PURPOSE FOR PARKING LOT MODIFICATIONS.
- REMOVE CURBING, AND PROVIDE INFILL ASPHALT PAVEMENT, CURB AND GUTTER AND CURB ACCESS RAMP WITH DETECTABLE WARNING SURFACE PER DETAIL A4 THIS SHEET.
- STRIPED PARKING STALL TO INDICATE NO PARKING.
- REFRESH AND EXTEND EXISTING CROSSWALK, 6' WIDE CONTINENTAL STRIPING.
- RADIUS SHOWN TO ENSURE BUS WILL HAVE ROOM FOR TURNING MOVEMENT. NO STRIPING IS PROPOSED TO BE APPLIED TO PAVEMENT TO INDICATED RADIUS.
- NEW CONCRETE CURB AND GUTTER RAMP WITH DETECTABLE WARNING SURFACE PER DETAILS A3 THIS SHEET.
- NEW CONCRETE CURB AND GUTTER PER DETAIL A5 THIS SHEET TO CREATE END ISLAND, PROVIDE IRRIGATION, AND LANDSCAPING PER IDO REQUIREMENTS.

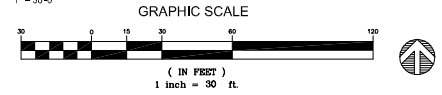
TCL GENERAL NOTES

- SITE PLAN USED FOR TCL UPDATED WAS FROM GRADING AND DRAINAGE SUBMITTAL FROM 2011.
- MODIFICATIONS ARE LIMITED TO THE AREAS IDENTIFIED.
- ALL PROPOSED MODIFICATIONS ARE WITHIN THE SECURE PARKING AREA. THERE IS NO ACCESS FOR THE PUBLIC.

TABULATED PARKING:

PER TABLE 5-5-1 OFF-STREET PARKING REQUIREMENTS FOR OFFICE SPACE
3.5 PARKING SPACES PER 1,000 GSF
BUILDING IS 38,450 SF PER FLOOR (2 STORES) = 76,900 GSF
EXISTING CONDITIONS
PARKING COMPUTED UNDER CITY OF ALBUQUERQUE PLANNING REQUIREMENTS (PRIOR TO IDO)
297 SPACES (INCLUDING ADA)
MOTORCYCLE PARKING=5
PROPOSED CONDITIONS
77,900 X 0.35 = 273 SPACES REQUIRED (284 PROVIDED)
MOTORCYCLE PARKING=5 (Table 5-5-4)
ADA PARKING STALLS PER IDO (NM COMMERCIAL BUILDING CODE 2015) CHAPTER 11, ACCESSIBILITY (TABLE 1106.1)
FOR BETWEEN 100 AND 300 SPACES 8 ADA STALLS ARE REQUIRED INCLUDING 2 VAN ACCESSIBLE STALL
CURRENTLY PROVIDED 8 ADA INCLUDING 2 VAN (NO MODIFICATIONS REQUIRED)

B1 ADMINISTRATIVE AMENDMENT TO SITE PLAN
1" = 30'-0"

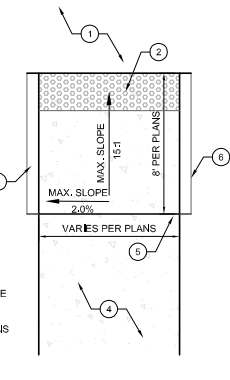


| Table 1106.1 Accessible Parking Spaces | | |
|--|--|---|
| Total Parking Spaces | Total Required Accessible Parking Spaces | Number Required to be Van Accessible Spaces |
| 1-25 | 1 | 1 |
| 26-50 | 2 | 1 |
| 51-100 | 3 | 1 |
| 101-150 | 4 | 1 |
| 151-200 | 5 | 1 |
| 201-250 | 6 | 1 |
| 251-300 | 7 | 1 |
| 301-350 | 8 | 1 |
| 351-400 | 9 | 1 |
| 401-450 | 10 | 1 |
| 451-500 | 11 | 1 |
| 501-550 | 12 | 1 |
| 551-600 | 13 | 1 |
| 601-650 | 14 | 1 |
| 651-700 | 15 | 1 |
| 701-750 | 16 | 1 |
| 751-800 | 17 | 1 |
| 801-850 | 18 | 1 |
| 851-900 | 19 | 1 |
| 901-950 | 20 | 1 |
| 951-1,000 | 21 | 1 |
| 1,001 and over | 20 spaces plus 1 space for every 100 spaces, or fraction thereof, over 1,000 | 1 of every 6 accessible parking spaces, or fraction thereof |

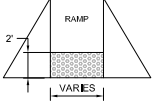
KEYED NOTES:

- 2% CROSS SLOPE MADE IN ANY DIRECTION.
- DETECTABLE WARNING SURFACE PER AA/C-901.
- CONC. CURB. SEE PLANS.
- CONCRETE SIDEWALK PER PLANS.
- 1/2" EXPANSION MATERIAL.
- STD. CONC. HEADER CURB AS REQUIRED.

A3 CURB ACCESS RAMPS
NOT TO SCALE



A4 DETECTABLE WARNING SURFACE
NOT TO SCALE

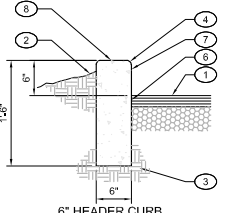
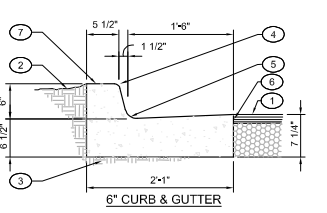


CURB & GUTTER CONSTRUCTION NOTES:

- CURBS, GUTTERS & CUT-OFF WALLS TO BE CONSTRUCTED OF 3500 PSF P.C.C. UNLESS OTHERWISE NOTED.
- FINISHED GRADE.
- PREPARED SUBGRADE.
- 3/4" RADIUS.
- 1 1/2" RADIUS.
- TACK COAT.
- CONCRETE CURB.
- SMOOTH RUBBED FINISH.

KEYED NOTES:

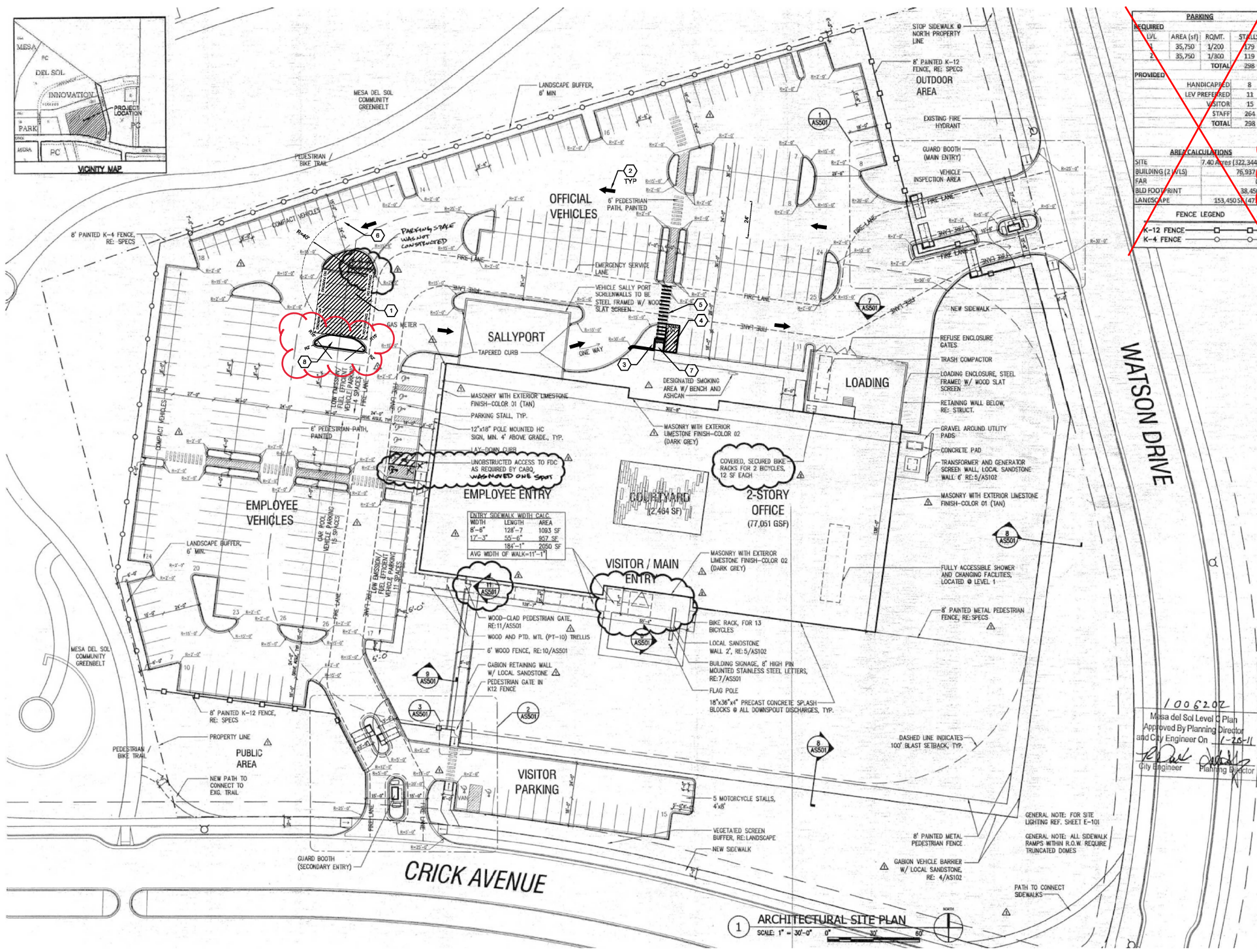
- PAVEMENT SECTION PER DRAWINGS AND SPECS.
- FINISHED GRADE.
- PREPARED SUBGRADE.
- 3/4" RADIUS.
- 1 1/2" RADIUS.
- TACK COAT.
- CONCRETE CURB.
- SMOOTH RUBBED FINISH.



A5 CURB SECTIONS
NOT TO SCALE

| APPROVED | | ARCHITECTURAL | STRUCTURAL | MECHANICAL | ELECTRICAL |
|---------------------------------|-----------------|---------------------------------------|------------|------------|------------|
| GENERAL SERVICES ADMINISTRATION | | | | | |
| PUBLIC BUILDING SERVICE | | | | | |
| BUILDING | NAME | ICE | | | |
| | ADDRESS | 5441 WATSON SE | | | |
| | CITY | ALBUQUERQUE | STATE | NEW MEXICO | |
| PROJECT | DESCRIPTION | ICE | | | |
| | NUMBER | ALBUQUERQUE, NEW MEXICO | | | |
| DRAWING | NUMBER | NM1577ZZ | | | |
| | DRAWN BY | CKD. | DATE | 8/3/20 | |
| | TITLE | ADMINISTRATIVE AMENDMENT TO SITE PLAN | | | |
| | TYPE | CIVIL | | | |
| | NUMBER | | TYPE | SERIES | SEQUENCE |
| | | | | | AA - SP |
| A-E | CONTRACT NUMBER | | | | |





REQUIRED PARKING

| AREA (sq ft) | COMPT. | STALLS |
|--------------|--------|------------|
| 35,750 | 1/200 | 179 |
| 35,750 | 1/300 | 119 |
| TOTAL | | 298 |

PROVIDED

| | |
|----------------|------------|
| HANDICAPPED | 8 |
| LEV. PREFERRED | 11 |
| VISITOR | 15 |
| STAFF | 264 |
| TOTAL | 298 |

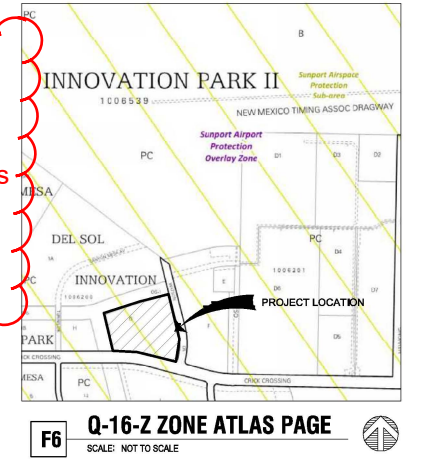
AREA CALCULATIONS

| | |
|------------------|----------------------------|
| SITE | 7.40 Acres (322,344 sq ft) |
| BUILDING (2 FLS) | 76,937 sq ft |
| FAR | 38,450 sq ft |
| BLD FOOTPRINT | 38,450 sq ft |
| LANDSCAPE | 153,450 sq ft (47.5%) |

FENCE LEGEND

- K-12 FENCE
- K-4 FENCE

*Refer to Updated Parking Tabulations Below -JMA 10/1/2020



- TCL KEYED NOTES**
- REMOVE END ISLAND, AND PARKING STALL STRIPING. PROVIDE INFILL PAVING AND STRIPING TO INDICATED NO PARKING AS SHOWN.
 - ARROWS TO INDICATED BUS ROUTE FROM PUBLIC ROAD TO SALLYPORT. ARROWS ARE NOT PROPOSED TO BE APPLIED TO PAVEMENT, SIMPLY FOR INDICATION OF PURPOSE FOR PARKING LOT MODIFICATIONS.
 - REMOVE CURBING, AND PROVIDE INFILL ASPHALT PAVEMENT, CURB AND GUTTER AND CURB ACCESS RAMP WITH DETECTABLE WARNING SURFACE PER DETAIL A4 THIS SHEET.
 - STRIPED PARKING STALL TO INDICATE NO PARKING.
 - REFRESH AND EXTEND EXISTING CROSSWALK, 6' WIDE CONTINENTAL STRIPING.
 - RADIUS SHOWN TO ENSURE BUS WILL HAVE ROOM FOR TURNING MOVEMENT. NO STRIPING IS PROPOSED TO BE APPLIED TO PAVEMENT TO INDICATED RADIUS.
 - NEW CONCRETE CURB ACCESS RAMP WITH DETECTABLE WARNING SURFACE PER DETAILS AS THIS SHEET.
 - NEW CONCRETE CURB AND GUTTER PER DETAIL A5 THIS SHEET TO CREATE END ISLAND. PROVIDE IRRIGATION, AND LANDSCAPING PER IDO REQUIREMENTS.
- TCL GENERAL NOTES**
- SITE PLAN USED FOR TCL UPDATED WAS FROM GRADING AND DRAINAGE SUBMITTAL FROM 2011.
 - MODIFICATIONS ARE LIMITED TO THE AREAS IDENTIFIED.
 - ALL PROPOSED MODIFICATION ARE WITHIN THE SECURE PARKING AREA. THERE IS NO ACCESS FOR THE PUBLIC.

This Administrative Amendment action does not meet the applicability criteria of IDO 5-6(B), therefore no landscaping is required on the proposed end island. JMA 11/20/2020

TABULATED PARKING:

PER TABLE 5-5-1 OFF-STREET PARKING REQUIREMENTS FOR OFFICE SPACE
 3.5 PARKING SPACES PER 1,000 GSF
 BUILDING IS 38,450 SF PER FLOOR (2 STORES) = 76,900 GSF

EXISTING CONDITIONS
 PARKING COMPUTED UNDER CITY OF ALBUQUERQUE PLANNING REQUIREMENTS (PRIOR TO IDO)
 297 SPACES (INCLUDING ADA)
 MOTORCYCLE PARKING=5

PROPOSED CONDITIONS
 77,900 X 3.5 = 273 SPACES REQUIRED (284 PROVIDED)
 MOTORCYCLE PARKING=5 (Table 5-5-4)

ADA PARKING STALLS PER IDO (NM COMMERCIAL BUILDING CODE 2015) CHAPTER 11, ACCESSIBILITY (TABLE 1106.1)
 FOR BETWEEN 100 AND 300 SPACES 8 ADA STALLS ARE REQUIRED INCLUDING 2 VAN ACCESSIBLE STALL
 CURRENTLY PROVIDED 8 ADA INCLUDING 2 VAN (NO MODIFICATIONS REQUIRED)

1006202
 Mesa del Sol Level 2 Plan
 Approved By Planning Director
 and City Engineer On 1-26-11
 City Engineer Planning Director

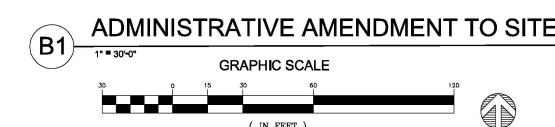
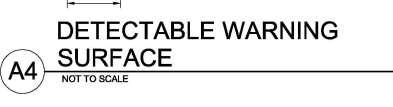
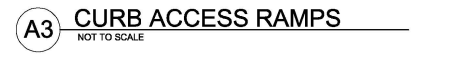


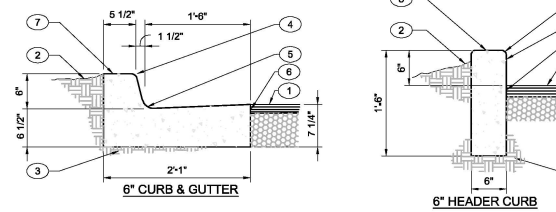
Table 1106.1 Accessible Parking Spaces

| Total Parking Spaces | Total Required Accessible Parking Spaces | Number Required to be Van Accessible Spaces |
|----------------------|--|---|
| 1-25 | 1 | 1 |
| 26-35 | 2 | 1 |
| 36-50 | 3 | 1 |
| 51-100 | 4 | 1 |
| 101-300 | 8 | 2 |
| 301-500 | 12 | 2 |
| 501-800 | 15 | 3 |
| 801-1000 | 20 | 3 |
| 1,001 and over | 20 spaces plus 1 space for every 100 spaces, or fraction thereof, over 1,000 | 1 of every 6 accessible parking spaces, or fraction thereof |

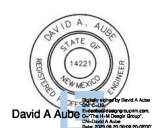
- KEYED NOTES:**
- 2% CROSS SLOPE MADE IN ANY DIRECTION.
 - DETECTABLE WARNING SURFACE PER AA1C-501.
 - CONC. CURB, SEE PLANS.
 - CONCRETE SIDEWALK PER PLANS.
 - 1/2" EXPANSION MATERIAL.
 - STD. CONC. HEADER CURB AS REQUIRED.



- CURB & GUTTER CONSTRUCTION NOTES:**
- CURBS, GUTTERS & CUT-OFF WALLS TO BE CONSTRUCTED OF 3500 PSF P.C.C. UNLESS OTHERWISE NOTED.
 - FINISHED GRADE.
 - PREPARED SUBGRADE.
 - 3/4" RADIUS.
 - 1 1/2" RADIUS.
 - TACK COAT.
 - CONCRETE CURB.
 - SMOOTH RUBBED FINISH.
- KEYED NOTES:**
- PAVEMENT SECTION PER DRAWINGS AND SPECS.
 - FINISHED GRADE.
 - PREPARED SUBGRADE.
 - 3/4" RADIUS.
 - 1 1/2" RADIUS.
 - TACK COAT.
 - CONCRETE CURB.
 - SMOOTH RUBBED FINISH.



| | | | | |
|---------------------------------|--|------------|------------|------------|
| APPROVED | ARCHITECTURAL | STRUCTURAL | MECHANICAL | ELECTRICAL |
| GENERAL SERVICES ADMINISTRATION | | | | |
| PUBLIC BUILDING SERVICE | | | | |
| NAME | ICE | | | |
| ADDRESS | 5441 WATSON SE ALBUQUERQUE NEW MEXICO | | | |
| NUMBER | ICE | | | |
| DESCRIPTION | ALBUQUERQUE, NEW MEXICO | | | |
| PROJECT NUMBER | NM15772Z | | | |
| DRAWN BY | CKD. | BY | DATE | 8/3/20 |
| TITLE | ADMINISTRATIVE AMENDMENT TO SITE PLAN | | | |
| TYPE | C/M/L | | | |
| NUMBER | AA - SP | | | |
| A-E | CONTRACT NUMBER | SERIES | SEQUENCE | |
| CONSTRUCTION | | | | |





August 26, 2020

Mr. Russell Brito
Planning Department, Current Planning Section
City of Albuquerque
Albuquerque, New Mexico 87103

RE: Administrative Amendment to Site Plan
Immigrations and Customs Enforcement
Zone Atlas Pages Q-16-Z

Dear Mr. Brito:

We would like to request your consideration and approval of an Administrative Amendment to the Current Site Plan for the facility located at 5441 Watson Drive SE. The area has been developed under a Site Plan for Subdivision with prescriptive Design Guidelines. As such the request to EPC was to have the approval of Site Plans delegated to a Mesa Del Sol Architectural Review Committee (ARC). The Site Plan being amended was approved by that ARC on January 18, 2011. The City Project Number was 1006202.

The scope of this project is to create a manageable driving path for a bus to enter the existing Sallyport. To allow for this routing a total of 13 parking spaces will be eliminated. The current Site Plan contains 297 parking spacing including ADA stalls. The IDO requires 3.5 parking spaces per 1,00 gross square feet of office space. Current parking requirements per IDO are 273 spaces. The reduction of 13 will leave a total of 284 spaces.

One end island will need to be created to protect the cars near the new bus travel path. This island will include curb and gutter as well as landscaping with irrigation per IDO requirements.

Other minor modifications include relocation of a curb access ramp and the extension/refreshing of an existing painted crosswalk.

If you have any questions or require additional information, please contact me at the office at 998-6430, or on my cell at 463-4503.

Thank you for your assistance on this project.

Respectfully submitted:

David A. Aube, P.E.



CITY OF ALBUQUERQUE INVOICE

THE DESIGN GROUP DAVID AUBE

120 VASSAR DR SE SUITE 100

Reference NO: SI-2020-00888

Customer NO: CU-98974819

| Date | Description | Amount |
|---------|--------------------------|---------|
| 9/09/20 | Application Fee (Manual) | \$50.00 |

Due Date: **9/09/20** Total due for this invoice: **\$50.00**

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 9/09/20
Amount Due: \$50.00
Reference NO: SI-2020-00888
Payment Code: 130
Customer NO: CU-98974819

THE DESIGN GROUP DAVID AUBE
120 VASSAR DR SE SUITE 100
ALBUQUERQUE, NM 87106



130 0000SI20200088800099355112092495200000000000050000CU98974819