



**SITE DATA**

LEGAL DESCRIPTION: PAT HURLEY PARK & LOTS 216 THRU 222 & WLY PORT OF LOT 223 GLENDALE GARDENS ADDN EXCPT LOTS 27-A & 28-A OF THE PALISADES

SITE AREA: 19.39 AC.

EXISTING ZONING: NR-PO-A

LAND USE: PARKS AND OPEN SPACE, COMMUNITY CENTER

BUILDING AREA:  
 EXISTING BUILDING AREA: 5,010 SF  
 PROPOSED BUILDING AREA: 6,955 SF  
 TOTAL BUILDING AREA: 11,965 SF

DIMENSIONAL STANDARDS SHALL BE DETERMINED BY A MASTER PLAN, NATURAL RESOURCE MANAGEMENT PLAN, OR SPECIFIED BY IMPLEMENTING CITY DEVELOPMENT PER IDO SECTION 5-1 (E)(1)(a).

BUILDING HEIGHT: 30 FEET.

PARKING REQUIREMENTS:  
 TOTAL PARKING REQUIRED/PROVIDED: 24/78  
 ADA PARKING REQUIRED / PROVIDED: 4 (1 VAN ACCESSIBLE)/ 4 (1 VAN ACCESSIBLE)  
 MOTORCYCLE REQUIRED/ PROVIDED :1/2  
 BICYCLE PARKING REQUIRED/ PROVIDED: 3/6

COMMUNITY CENTER: 2 PER 1,000 SF, GROSS FLOOR AREA (GFA).

PARKS AND OPEN SPACE: NO REQUIREMENT

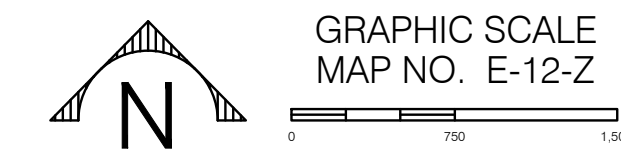
SENSITIVE LANDS ANALYSIS: THE SITE HAS BEEN EVALUATED FOR SENSITIVE LANDS. THE ONLY SENSITIVE LANDS PRESENT ON THE SITE ARE STEEP SLOPES. THE PROPOSED DEVELOPMENT AVOIDS THESE SLOPES AND WILL NOT ALTER OR IMPACT THE STEEP SLOPES. SEE GRADING AND DRAINAGE PLAN.

TURF GRASS: TOTAL EXISTING TURF GRASS TO REMAIN IS ±203,580 SF (±4.67 AC).

**WAIVERS**

- ① WAIVER TO PUBLIC SIDEWALK WIDTH TO MAINTAIN EXISTING 4-FOOT MINIMUM SIDEWALKS IN PUBLIC RIGHTS-OF-WAY, APPROVED BY DRB: VA-2020-00437
- ② WAIVER TO PUBLIC SIDEWALK LOCATION TO ALLOW EXISTING MEANDERS INTO PROPERTY, APPROVED BY DRB: VA-2020-00436
- ③ WAIVER FROM FULL CUL-DE-SAC CONSTRUCTION DUE TO TOPOGRAPHY CONSTRAINTS, APPROVED BY DRB: VA-2020-00435

**VICINITY MAP**



**SHEET INDEX**

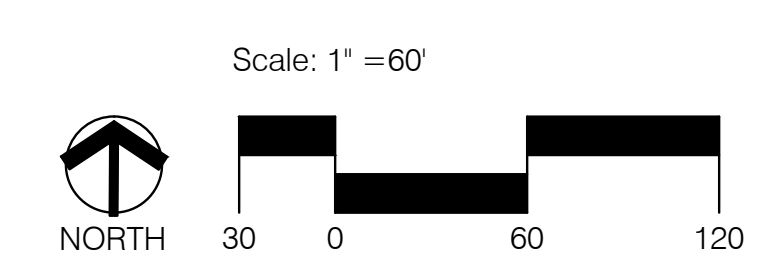
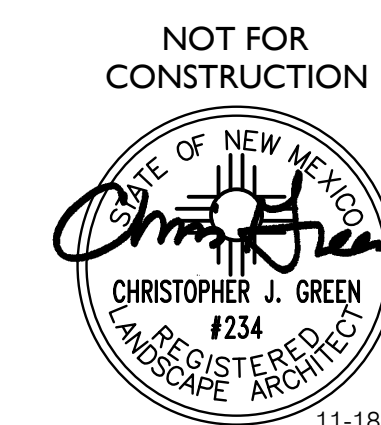
- 1. OVERALL SITE PLAN DRB
- 2. ARCHITECTURAL SITE PLAN
- 3. LANDSCAPE PLAN
- 4. CONCEPTUAL GRADING & UTILITY PLAN
- 5. EXTERIOR ELEVATIONS
- 6. FIRE ONE PLAN

PROJECT NUMBER: PR-2020-004414  
 Application Number: SI-2020-00917

Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Jeanne Wolfenbarger</i> Traffic Engineering, Transportation Division	Dec 3, 2020
<i>Kimberly Cole</i> ABCWUA	Dec 7, 2020
<i>Chris Humphlett</i> Parks and Recreation Department	Dec 3, 2020
<i>Ernest Arrijo</i>	Dec 3, 2020
City Engineer/Hydrology	Date
<i>Carl Garcia</i> Code Enforcement	Dec 7, 2020
* Environmental Health Department (conditional)	Date
<i>Herman Gallegos</i>	12-01-20
Solid Waste Management	Date
<i>[Signature]</i>	Dec 23, 2020
DRB Chairperson, Planning Department	Date



**PAT HURLEY PARK**

**OVERALL SITE PLAN DRB**

Prepared for:  
 City of Albuquerque  
 Department of Municipal Development  
 Stacy Herrera, Project Manager

In Conjunction with:  
 City of Albuquerque  
 Department of Family & Community Services  
 Jess Martinez, Deputy Director

Prepared by:  
 Greer Stafford/SJCF Architecture, Inc.  
 1717 Louisiana NE, Suite 205  
 Albuquerque, NM 87110

Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102

# GENERAL SHEET NOTES

1. THE CONTRACTOR'S SHALL IDENTIFY HIS/HER STAGING AREA AND TEMPORARY CONSTRUCTION FENCING. A DETAILED SEQUENCING/STAGING PLAN SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS PLAN SHALL INCLUDE DETAILED ACCESS AND EGRESS ROUTES. THE CONTRACTOR SHALL UPDATE AND MAINTAIN EGRESS PLANS DURING ALL CONSTRUCTION ACTIVITIES. ACTUAL LOCATIONS AND LAYOUT ARE SUBJECT TO APPROVAL BY OWNER AND ARCHITECT BASED ON ACTUAL REQUIREMENTS OF PUBLIC SAFETY.
2. ALL EXISTING EQUIPMENT, PAVING, LANDSCAPING AND/OR SITE ELEMENTS THAT ARE TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION. ANY OF THESE ITEMS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL PAYMENT.
3. CONTRACTOR SHALL COMPLY WITH STATE STATUTES BY CONTACTING NM ONE CALL AND OWNER'S REPRESENTATIVE TO VERIFY LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO ANY WORK ON SITE.
4. REFER TO CIVIL FOR SITE GRADING AND NEW STORM DRAIN UTILITIES.
5. PROPOSED ADDITION WILL CONNECT TO EXISTING UTILITY SERVICES. NO NEW PUBLIC UTILITY SERVICES ARE REQUIRED FOR PHASE 2 CONSTRUCTION. EXISTING UTILITIES SHOWN ON THIS SHEET ARE FOR INFORMATION ONLY. SHADE STRUCTURE ITEMS.
6. REFER TO LANDSCAPE FOR MISCELLANEOUS LANDSCAPING, PLAYGROUND AND SHADE STRUCTURE ITEMS.
7. REFER TO OVERALL SITE PLAN DRB FOR PARKING CALCULATIONS.

# SITE PLAN LEGEND

- NEW CONCRETE PAVING - REFER TO PLANS FOR TYPE
- NEW XERIC LANDSCAPED AREA - REFER TO LANDSCAPE
- EXISTING XERIC LANDSCAPED AREA
- EXISTING TURF GRASS AREA

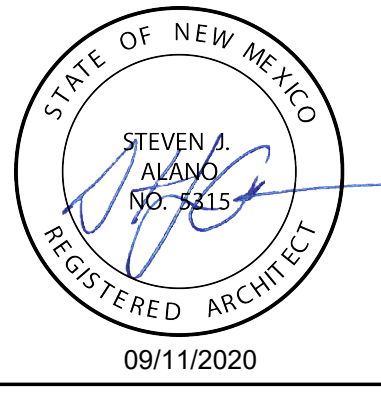
# PARKING REQUIREMENTS

TOTAL BUILDING AREA:	11,965 GSF
COMMUNITY CENTER:	2 PER 1,000 SF GROSS FLOOR AREA
PARKS & OPENS SPACE:	NO REQUIREMENT
TOTAL PARKING REQUIRED / PROVIDED:	24 / 78
ADA PARKING REQUIRED / PROVIDED:	4 (1 VAN) / 4 (1 VAN)
MOTORCYCLE PARKING REQUIRED / PROVIDED:	1 / 2
BICYCLE PARKING REQUIRED / PROVIDED:	3 / 6

**GREER STAFFORD/SJCF ARCHITECTURE, INC.**  
 1717 LOUISIANA NE, SUITE 205  
 ALBUQUERQUE, NM 87110-7027  
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 3005 NORTHRIDGE DR, SUITE F  
 FARMINGTON, NM 87401-2085  
 (505) 325-7475 • FAX: (505) 325-6464



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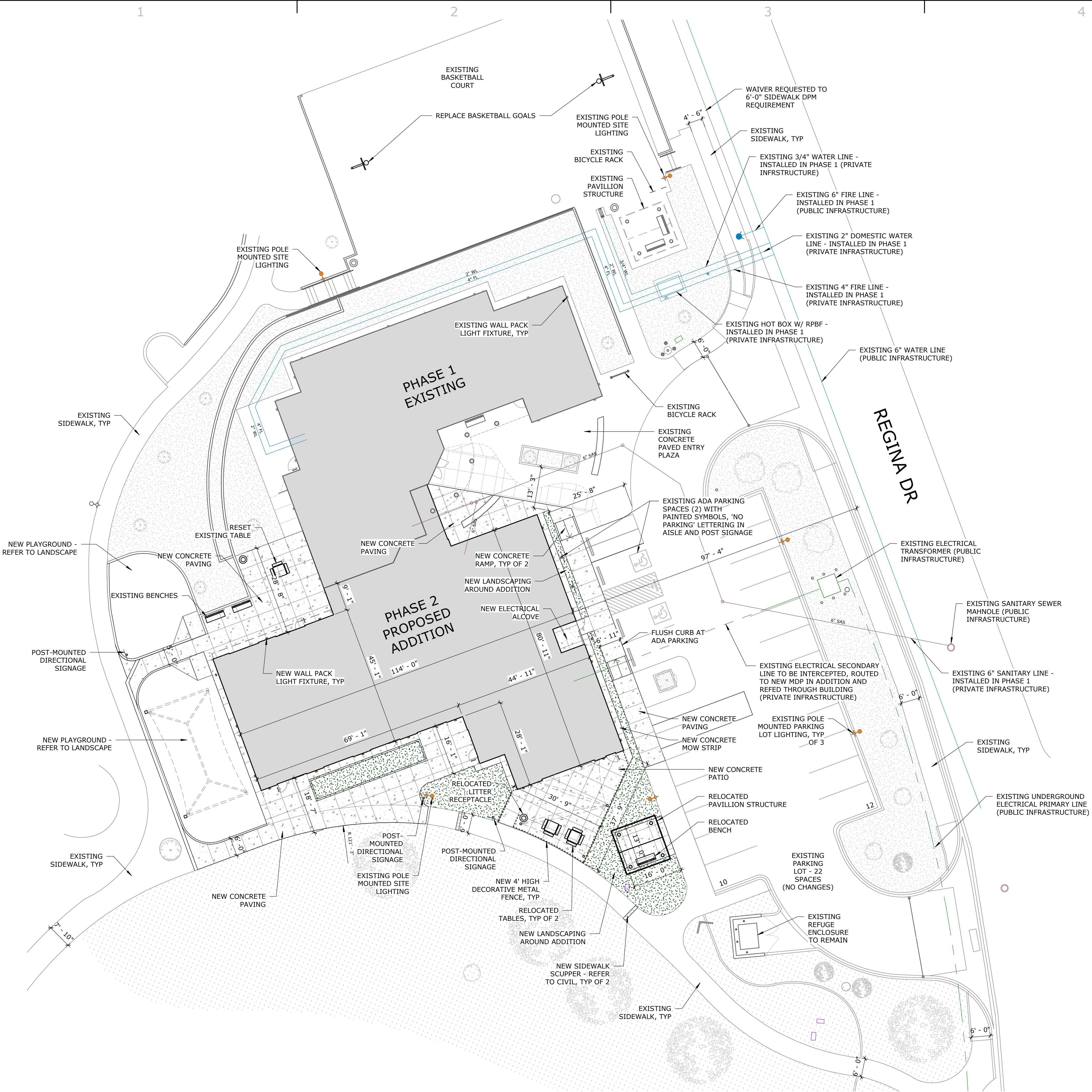
**JOAN JONES COMMUNITY CENTER - PHASE 2**  
 CITY OF ALBUQUERQUE  
 3828 RINCON ROAD NW  
 ALBUQUERQUE, NM 87102

Mark	Date	Description	ISSUE:
4	11/30/20	DRB SUPPLEMENTAL INFO 3	09/11/2020
3	10/21/20	DRB SUPPLEMENTAL INFO 2	
2	10/07/20	DRB SUPPLEMENTAL INFO 1	
1	10/02/20	INTERNAL REVISION	

PROJECT NO: 5384.00  
 DRAWN BY:  
 CHECKED BY:  
 GREER STAFFORD/SJCF ARCHITECTURE, INC.  
 SHEET TITLE  
 DRB SITE PLAN

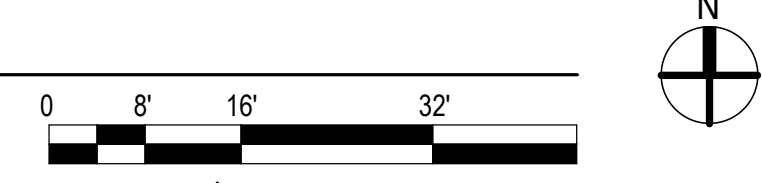
DRAWING SHEET

**AS100**



# 1 ARCHITECTURAL SITE PLAN

1/16" = 1'-0"



FOR DRB APPROVAL  
 NOT FOR CONSTRUCTION

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1

2

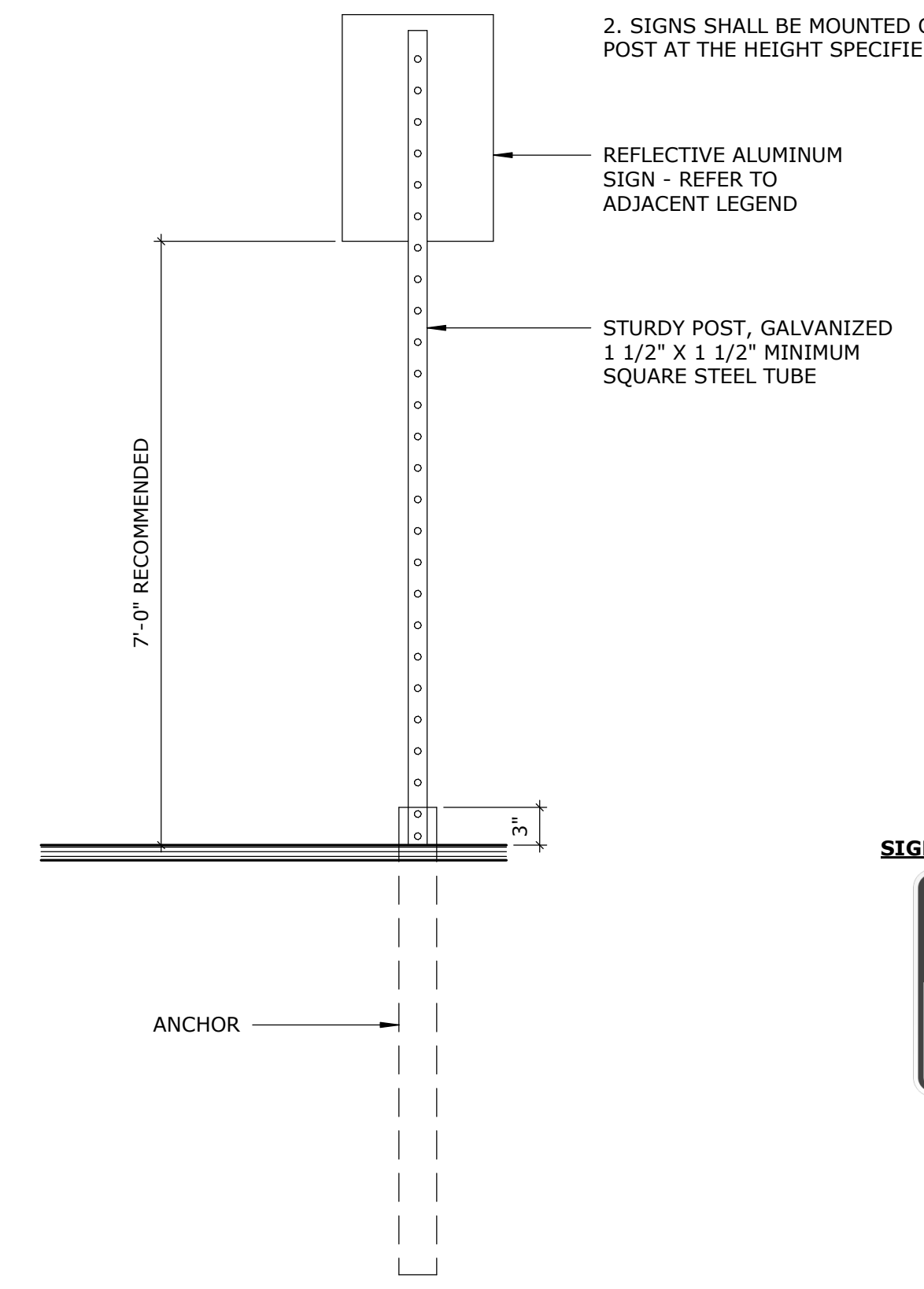
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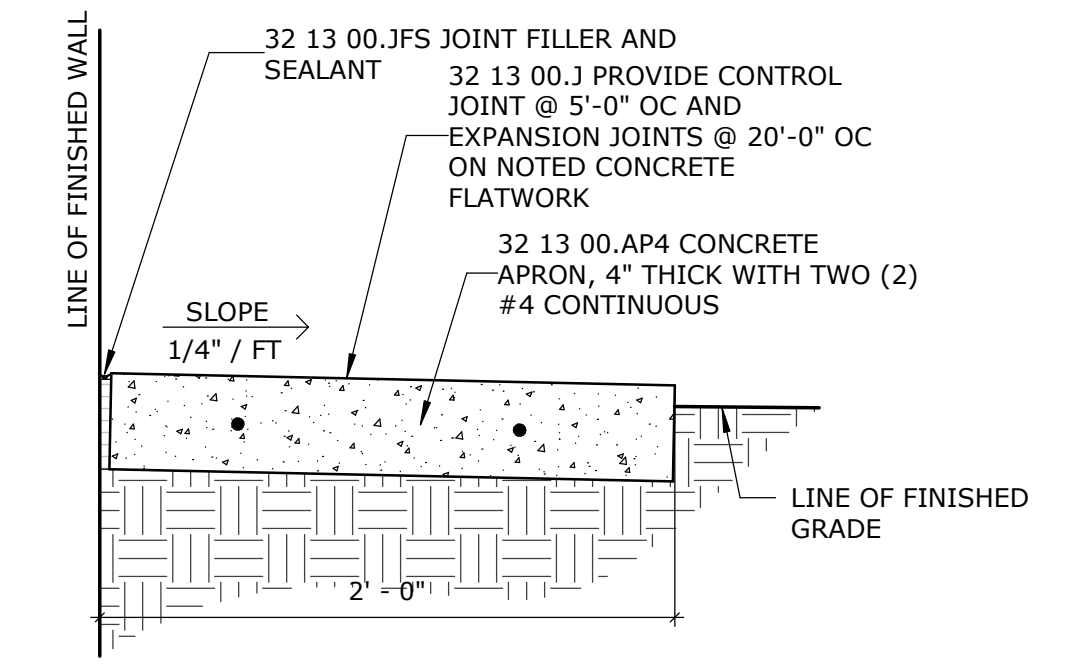
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**NOTES:**

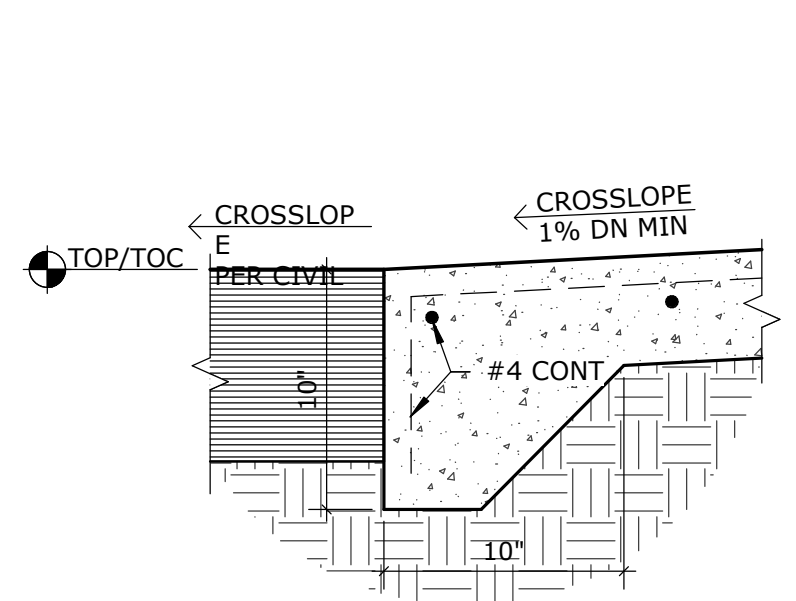
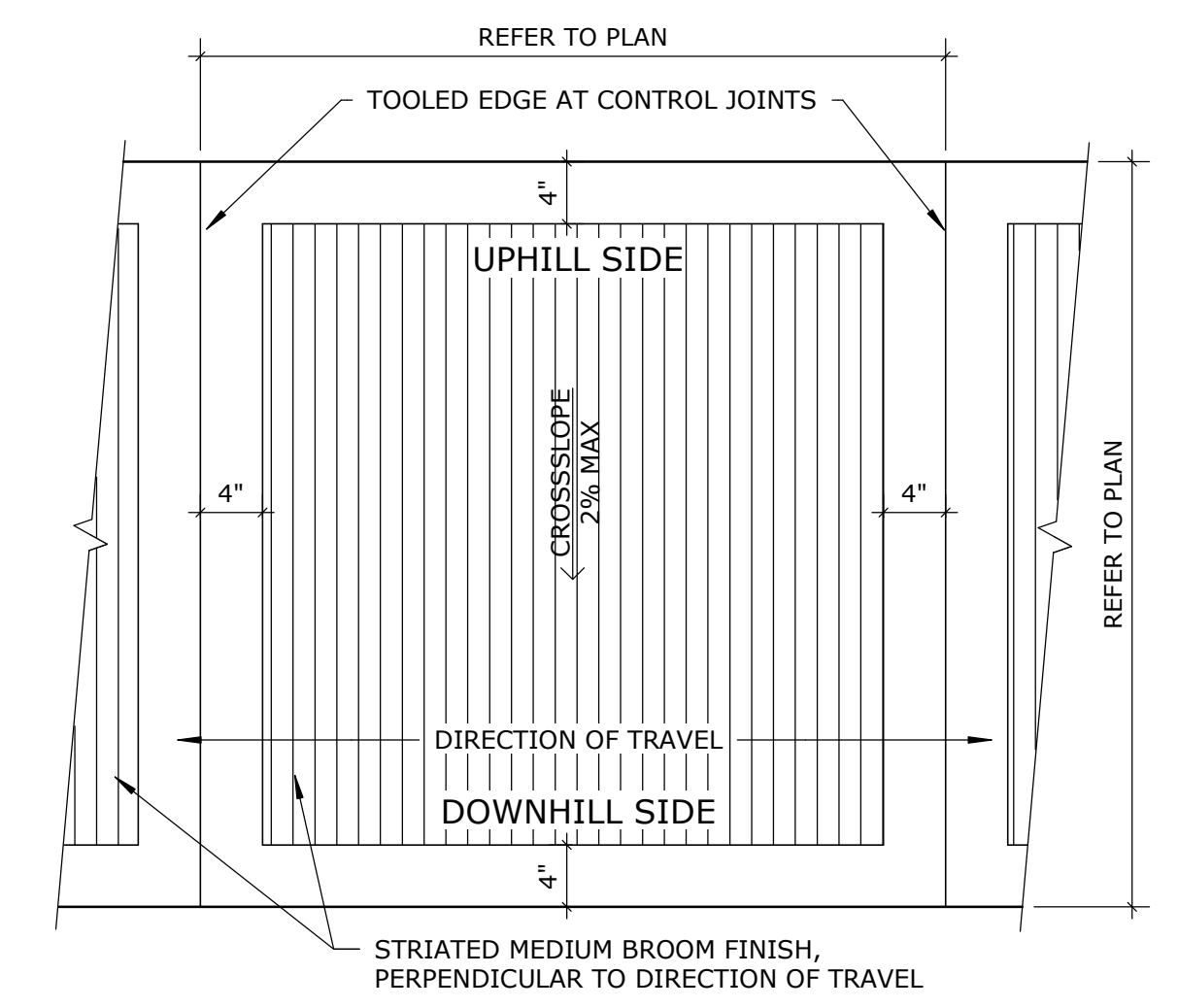
1. SIGNS SHALL CONFORM TO THE STANDARDS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
2. SIGNS SHALL BE MOUNTED ON A STURDY POST AT THE HEIGHT SPECIFIED HEREIN.



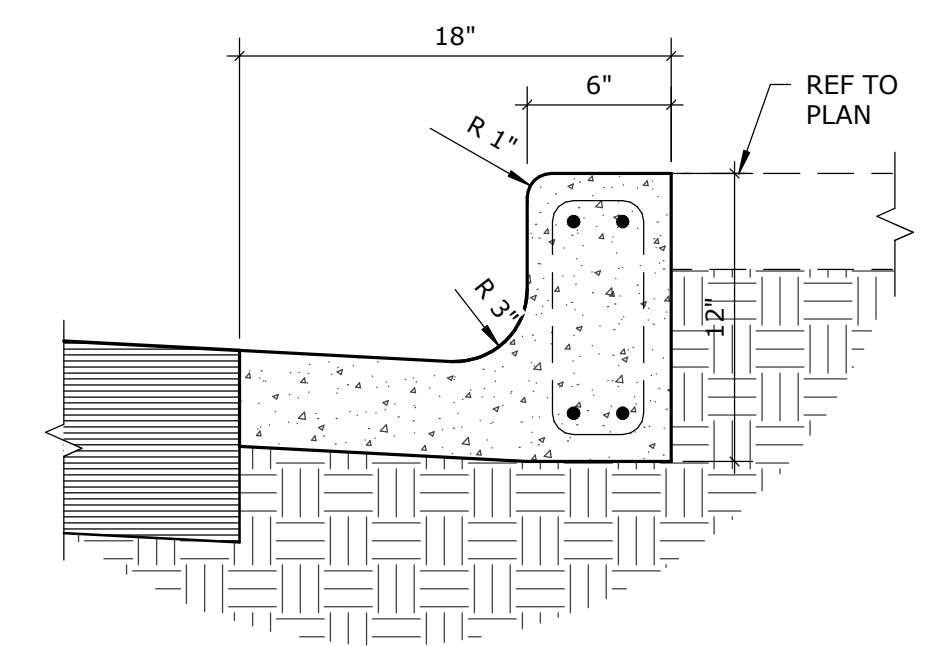
**5 POST MOUNTED SIGNAGE**  
1" = 1'-0"



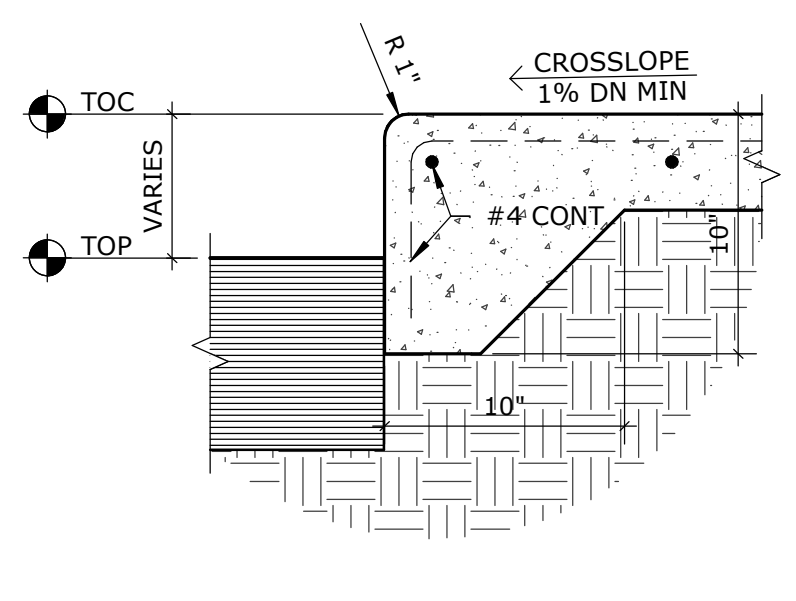
**4 CONCRETE APRON**  
1 1/2" = 1'-0"



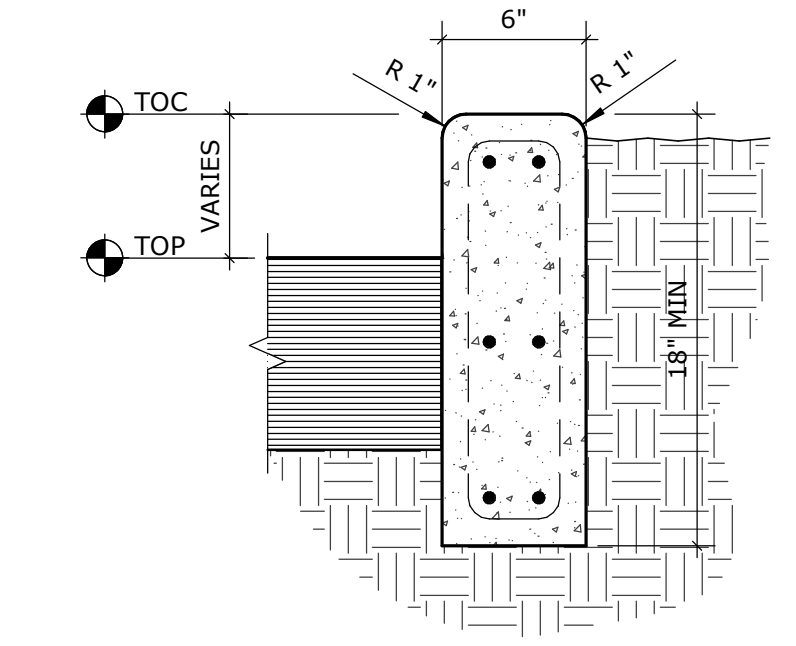
**FLUSH**



**CURB AND GUTTER**



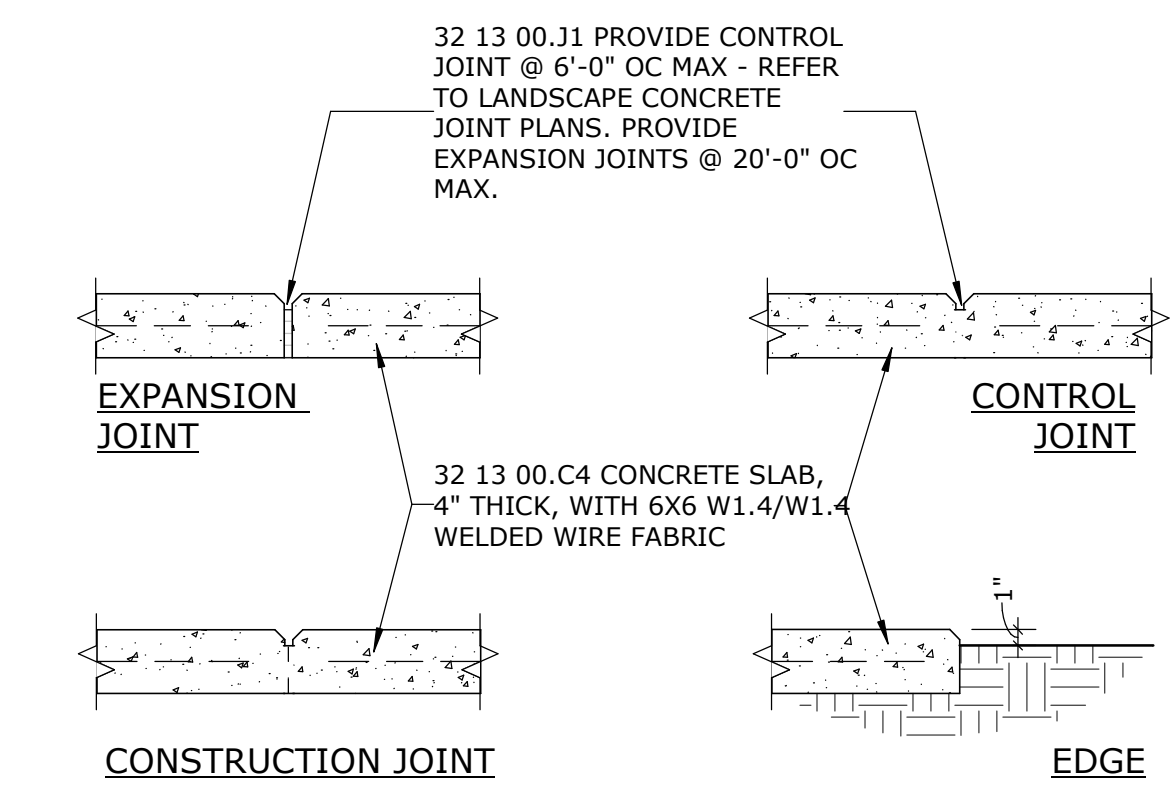
**CURB**



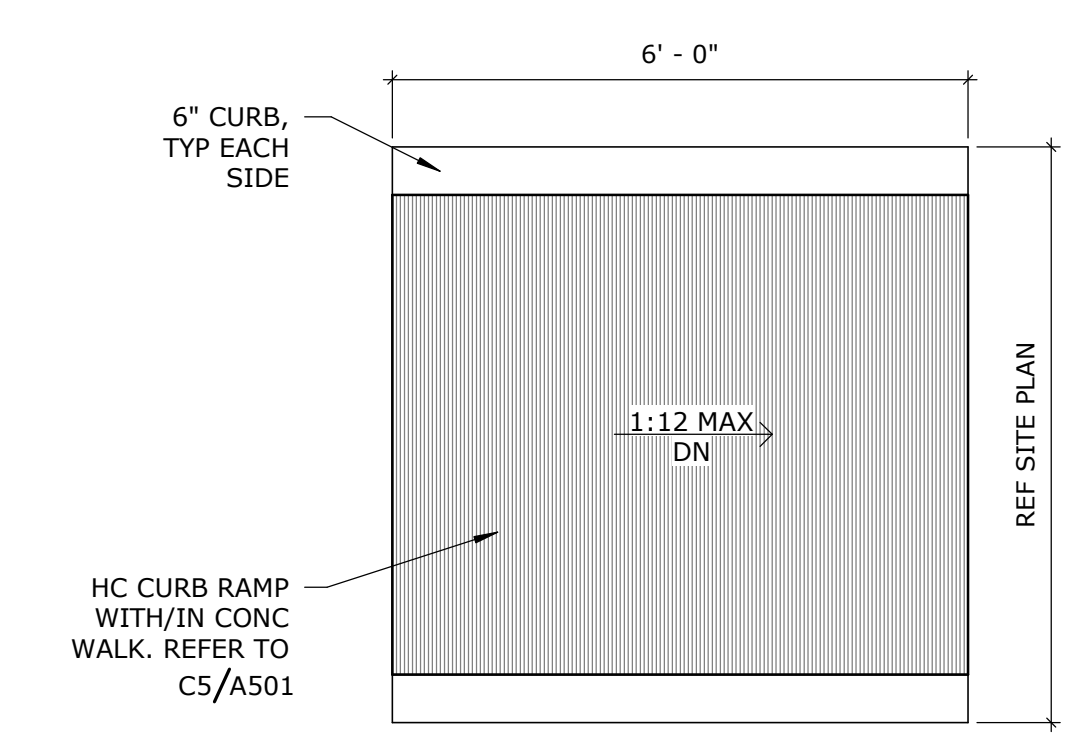
**HEADER CURB**

FOR DRB APPROVAL  
NOT FOR CONSTRUCTION

**1 CONCRETE CURB EDGES**  
1 1/2" = 1'-0"



**3 CONCRETE WALK**  
1" = 1'-0"

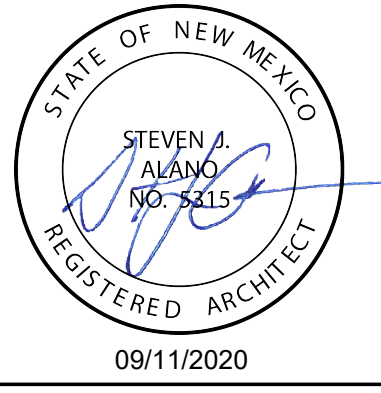


**2 HANDICAP RAMP**  
1/2" = 1'-0"

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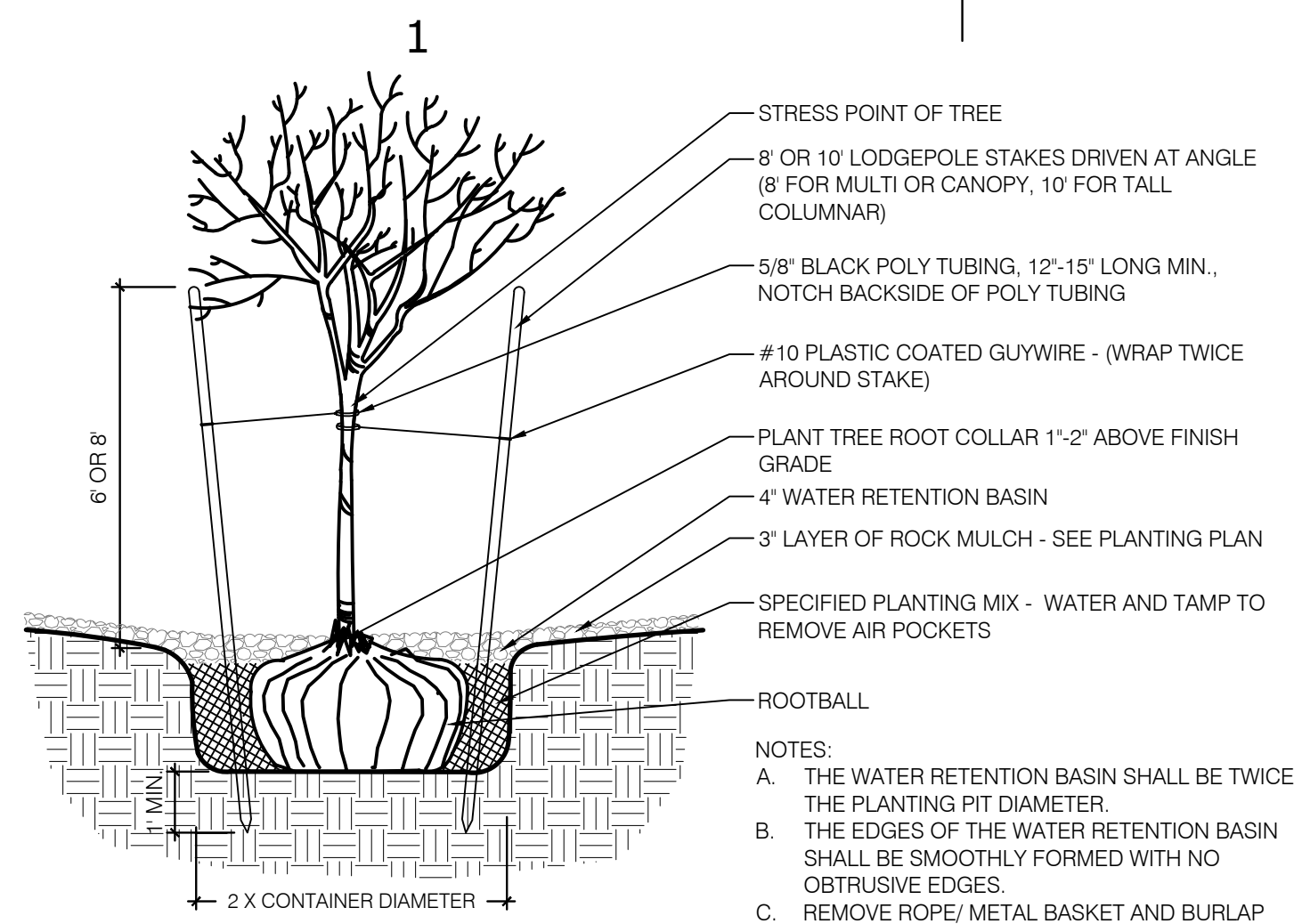
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1	10/07/20	DRB SUPPLEMENTAL INFO 1	
1			

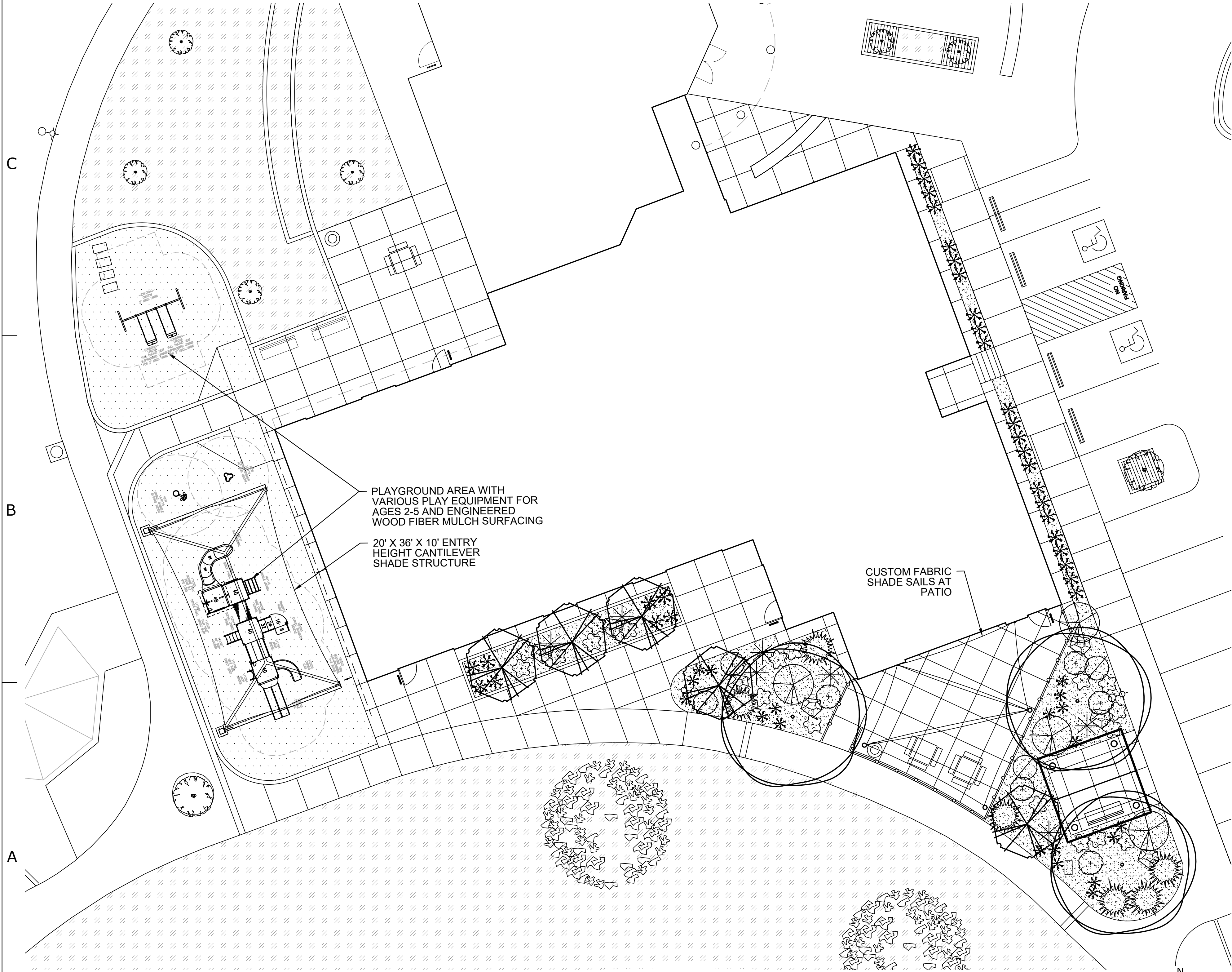
PROJECT NO: 5384.00  
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CHECKED BY:  
GREER STAFFORD/SJCF ARCHITECTURE, INC.  
SHEET TITLE  
DRB SITE DETAILS

DRAWING SHEET

**A500**



TREE PLANTING DETAIL  
SCALE: N.T.S.



A1 LANDSCAPE PLAN  
1" = 10'-0"

PLANT LEGEND

QTY	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	MATURE SIZE	WATER USE
<b>TREES</b>					
EXISTING TREE TO REMAIN					
5		FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15 GAL MULTI-TRUNK	15' HT. X 15' SPR.	MED
3		PYRUS CALLERYANA 'ARISTOCRAT' ARISTOCRAT FLOWERING PEAR	2"-CAL	40' HT. X 25' SPR.	MED
<b>SHRUBS</b>					
7		CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS DWARF RABBITBRUSH	5 GAL	2' HT. X 4' SPR.	LOW
51		HELICTOTRICHON SEMPERVIRENS BLUE AVENA	5 GAL	2' HT. X 2' SPR.	MED
7		HESPERALOE PARVIFLORA RED YUCCA	5 GAL	3' HT. X 4' SPR.	MED
6		JUNIPERUS HORIZONTALIS 'BLUE CHIP' BLUE CHIP JUNIPER	5 GAL	12' HT. X 6' SPR.	MED
4		RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	5 GAL	2' HT. X 7' SPR.	LOW
18		SALVIA GREGGII AUTUMN SAGE	5 GAL	2' HT. X 3' SPR.	MED
2		YUCCA RUPICOLA TWIST LEAF YUCCA	5 GAL	2' HT. X 4' SPR.	LOW
<b>MULCHES &amp; BOULDERS</b>					
7		MOSS ROCK LANDSCAPING BOULDER, MIN. 3' DIAMETER (SEE DETAIL 3, SHEET L501)			
1,475 SF		3/4" ROCK MULCH, COLOR: BUILDOLGY BROWN, ANGLED-FACE 3" DEPTH OVER PERMEABLE LANDSCAPE FABRIC			
1,438 SF		ENGINEERED WOOD FIBER MULCH, ZEAGER WOOD CARPET OR APPROVED EQUAL, 12" DEPTH THROUGHOUT PLAY AREA.			
		EXISTING LANDSCAPE EXISTING LANDSCAPE AREA TO REMAIN. SEE GENERAL LANDSCAPE NOTE 5.			

GENERAL LANDSCAPE NOTES

**LANDSCAPE DESIGN**  
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH MULCHES AS DEFINED IN THE PLANT LEGEND.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (3) .25 GPM BUBBLERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (1) .25 GPM BUBBLERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. THE IRRIGATION SYSTEM WILL BE DESIGNED IN ACCORDANCE WITH CITY OF ALBUQUERQUE DETAILS AND SPECIFICATIONS.

WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**CLEAR SIGHT DISTANCE:**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**LANDSCAPE AREA COVERAGE**  
TOTAL SITE AREA (CONSTRUCTION BOUNDARY): 16,104 SF (.36 AC)  
BUILDING AREA (BUILDING ENVELOPE): -6,955 SF  
NET AREA: 9,149 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 1,372 SF  
PROVIDED LANDSCAPE AREA: 1,475 SF (16%)

**LANDSCAPE LIVE VEGETATIVE COVERAGE**  
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

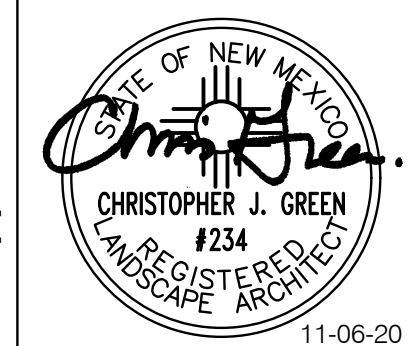
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE: 3,125 SF (212% OF LANDSCAPE AREA)  
PROVIDED GROUND-LEVEL PLANT COVERAGE: 767 SF (25% OF LIVE VEGETATIVE COVERAGE)

**CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN**  
ANY LANDSCAPE MATERIAL PROPOSED AROUND THE BUILDING SHALL NOT OBSTRUCT WINDOWS, DOORS OR ENTRYWAYS TO DETER CRIME AND FACILITATE SECURITY MEASURES.

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NOT FOR CONSTRUCTION



JOAN JONES COMMUNITY CENTER - PHASE 2  
CITY OF ALBUQUERQUE  
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Mark	Date	Description
	11/06/2020	ISSUE

PROJECT NO: 5384.00  
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CHECKED BY:  
GREER STAFFORD/SCF ARCHITECTURE, INC.  
SHEET TITLE  
LANDSCAPE PLAN

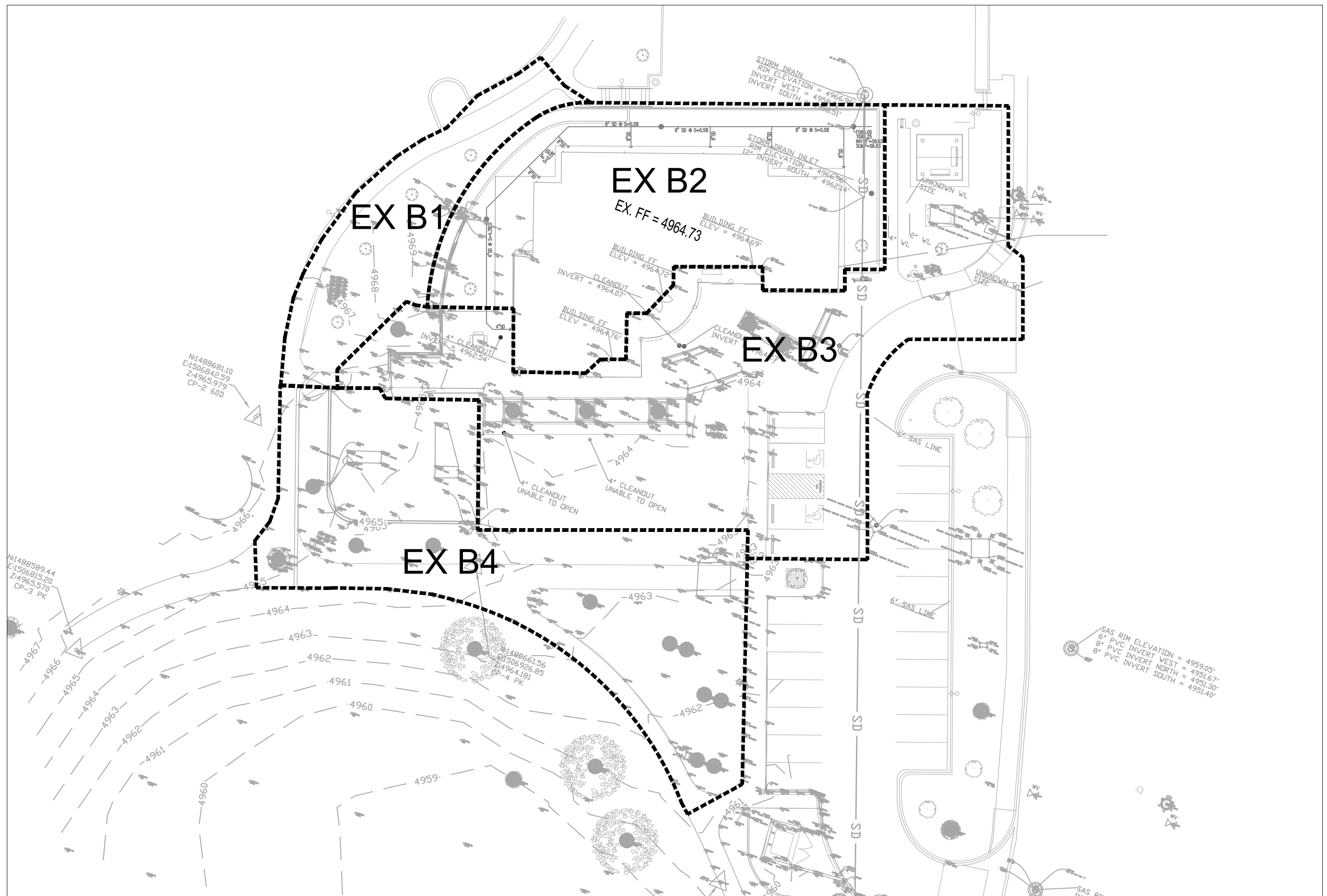
DRAWING SHEET

CONSENSUS PLANNING, INC.  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

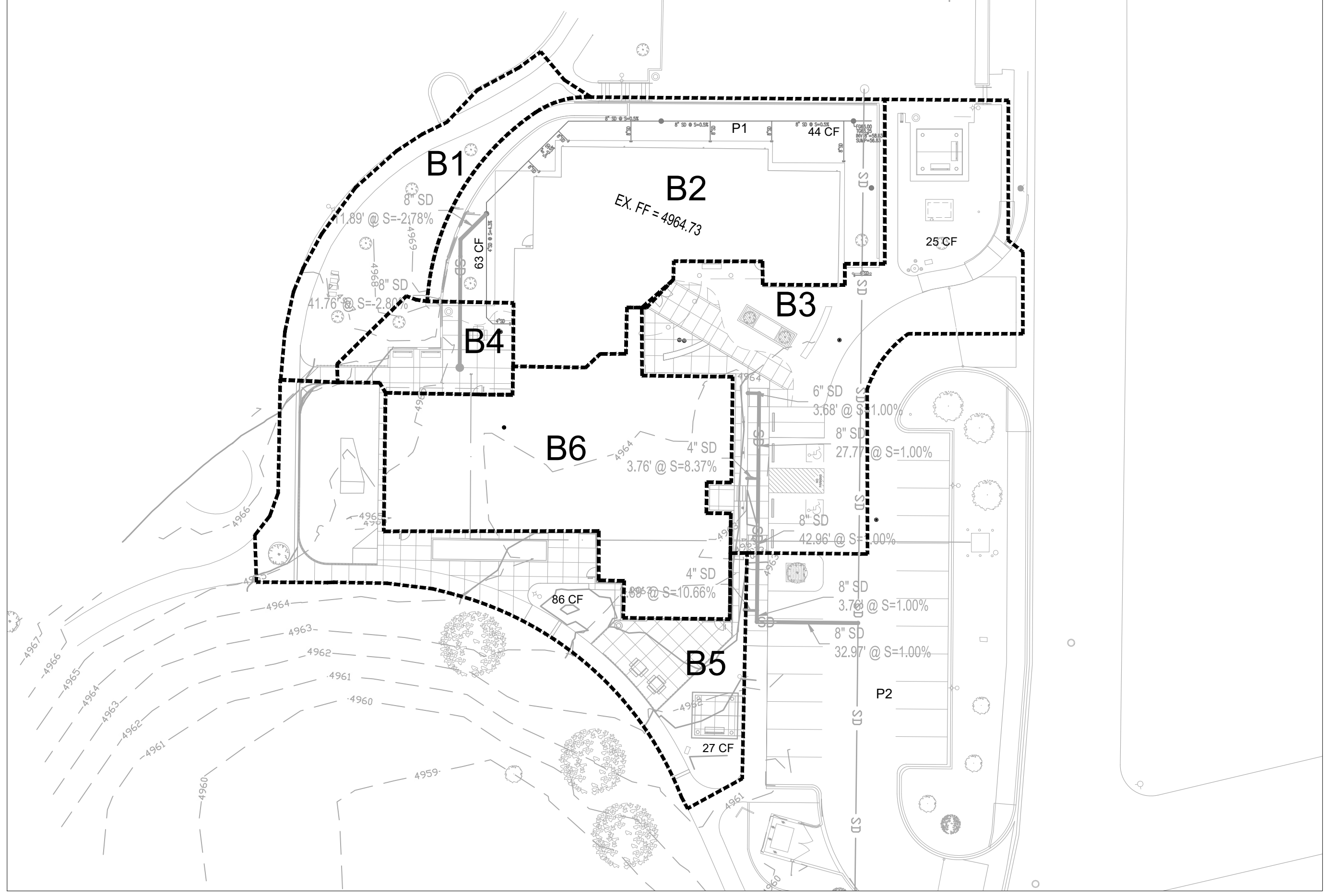
L102







EXISTING DRAINAGE MANAGEMENT PLAN



PROPOSED DRAINAGE MANAGEMENT PLAN

INTRODUCTION:

THE PROJECT IS LOCATED ON THE EASTERN SIDE OF PAT HURLEY PARK, NEAR THE INTERSECTION OF REGINA DR. NW AND BLUEWATER RD. NW. THIS SITE IS NOT WITHIN A DEFINED FLOOD ZONE AS SHOWN ON FIRM MAP NUMBER 35001C0329H (THIS SHEET). THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A DRAINAGE MANAGEMENT PLAN FOR THE BUILDING ADDITION TO THE PAT HURELY COMMUNITY CENTER AND REQUEST BUILDING PERMIT APPROVAL.

EXISTING CONDITIONS:

THE APPROXIMATELY 0.82 ACRE SITE IS CURRENTLY DEVELOPED WITH THE EXISTING COMMUNITY CENTER BUILDING, PLAYGROUND AND GREEN SPACE AREA. THE EXISTING COMMUNITY CENTER BUILDING WILL STAY BUT THE PLAYGROUND WILL BE MODIFIED TO MAKE ROOM FOR THE BUILDING ADDITION TO THE SOUTH. THE SITE SLOPES TO THE SOUTH / SOUTHEAST WHERE THE RUNOFF FREE DISCHARGES INTO THE PARK DRAINAGE SYSTEM AND ULTIMATELY TO REGINA DR.

METHODOLOGY:

THE HYDROLOGIC ANALYSIS PROVIDED WITH THIS DRAINAGE MANAGEMENT PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 22.2 OF THE DPM. THE SITE IS LOCATED WEST OF THE RIO GRANDE WITHIN PRECIPITATION ZONE 1. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE EXISTING AND PROPOSED CONDITIONS IN EACH ONSITE BASIN. THIS IS SUMMARIZED IN THE EXISTING AND PROPOSED BASIN DATA TABLES ON THIS SHEET.

PROPOSED CONDITIONS:

THIS DRAINAGE MANAGEMENT PLAN WAS BASED ON A FULLY DEVELOPED SITE. IT WAS DETERMINED THAT THE MAXIMUM PEAK DISCHARGE FROM THE SITE IS APPROXIMATELY 2.67 CFS.

THE PROPOSED DEVELOPMENT IS DIVIDED INTO FIVE SMALL DRAINAGE BASINS. BASIN 1 FLOWS SOUTH INTO A TURF AREA OF THE PARK VIA A SIDEWALK CULVERT. BASIN 2 IS INTERCEPTED BY THE EXISTING 8" STORM DRAIN WHICH CONNECTS TO A 12" STORM DRAIN THAT FLOWS SOUTH AND DISCHARGES INTO A TURF AREA IN THE PARK. BASIN 4 IS COLLECTED BY AN INLET AND DISCHARGES TO THE EXISTING 8" STORM DRAIN UPSTREAM OF BASIN 2. BASIN 3 SURFACE DRAINS INTO THE EXISTING PARKING LOT AND ULTIMATELY TO REGINA DR. BASIN 5 DRAINS TO THE SOUTH WHERE SOME IS COLLECTED IN SHALLOW DEPRESSED AREAS IN THE LANDSCAPE AND THEN EVENTUALLY OVERFLOWS TO THE TURF AREA VIA SIDEWALK CULVERTS. BASIN 6 COMPRISES OF THE PROPOSED ROOF AREA AND DRAINS TO THE EAST VIA ROOF DRAINS AND INTO THE EXISTING 12" STORM DRAIN. THE TURF AREA MENTIONED ABOVE ALSO DISCHARGES TO REGINA DR.

THE EXISTING AND PROPOSED LAND TREATMENTS ARE SIMILAR AND THE PROPOSED DISCHARGE FLOW RATE IS CLOSE TO THE CURRENT CONDITION.

FIRST FLUSH CALCULATIONS:

STORM RUNOFF FROM PART OF THE SITE IS CONVEYED TO SHALLOW DEPRESSED AREAS IN THE LANDSCAPE. THESE WATER HARVESTING AREAS RETAIN RUNOFF FROM THE "FIRST FLUSH" STORM. BASIN B1 IS PRIMARILY LANDSCAPE WITH CONCRETE SIDEWALKS. THIS BASIN AREA IS SLIGHTLY REDUCED, BUT ESSENTIALLY UNCHANGED WITH THE REDEVELOPMENT OF THIS SITE. BASIN B2 IS PRIMARILY ROOF RUNOFF FROM THE EXISTING BUILDING AND IS UNCHANGED IN THE PROPOSED CONDITIONS. TWO EXISTING SMALL WATER HARVESTING AREAS INTERCEPT ROOF RUNOFF. DUE TO PROXIMITY TO THE BUILDING AND RETAINING WALL FOUNDATIONS AREA AVAILABLE TO RETAIN STORM WATER RUNOFF WAS LIMITED. THE TOTAL VOLUME PROVIDED IS ESTIMATED TO BE 107 CUBIC FEET AND THE REQUIRED VOLUME IS 144 CUBIC FEET. A WATER QUALITY INLET WAS PREVIOUSLY INSTALLED TO ADD ADDITIONAL TREATMENT OF STORM WATER RUNOFF FROM THIS BASIN. BASIN B3 IS COMPRISED OF SIDEWALKS AND LANDSCAPING. AN EXISTING SMALL WATER HARVESTING AREA WAS PREVIOUSLY PROVIDED WHICH INTERCEPTS RUNOFF FROM THIS BASIN. THE TOTAL RETENTION VOLUME PROVIDED IS 25 CUBIC FEET AND THE REQUIRED VOLUME IS 160 CUBIC FEET. BASIN B5 IS COMPRISED OF SIDEWALKS AND LANDSCAPING. TWO SMALL WATER HARVESTING AREAS ARE PROVIDED WHICH INTERCEPT RUNOFF FROM THIS BASIN. THE TOTAL RETENTION VOLUME PROVIDED IS 113 CUBIC FEET AND THE REQUIRED VOLUME IS 84 CUBIC FEET. OVERALL ONSITE RETENTION VOLUME PROVIDED OF 245 CUBIC FEET IS LESS THAN THE REQUIRED VOLUME OF 577 CUBIC FEET, BUT DUE TO SITE CONSTRAINTS THE VOLUME PROVIDED WAS MAXIMIZED TO THE EXTENT TECHNICALLY FEASIBLE. THEREFORE, WE ARE REQUESTING TO SUBMIT A PAYMENT IN LIEU FOR THE REMAINING VOLUME OF 332 CUBIC FEET.

CONCLUSION:

THE PEAK DISCHARGE FROM THE SITE IS SIMILAR TO THE EXISTING CONDITIONS AND THE STORM WATER FROM THE FIRST FLUSH IS PASSIVELY TREATED WITHIN THE EXISTING LANDSCAPE AREAS. THE DESIGN INTENT IS IN CONFORMANCE WITH CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS AND WE REQUEST BUILDING PERMIT APPROVAL.

**JOAN JONES COMMUNITY CENTER**  
Existing Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 1

Basin ID	Area (SQ. FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac)	Q(100) (CFS)	WTE (inches)	V(100-24hr) CF
			A	B	C	D				
EXB1	3264	0.07	0.0%	72.2%	0.0%	27.8%	2.68	0.20	1.03	315
EXB2	9043	0.21	0.0%	43.0%	0.0%	57.0%	3.36	0.70	1.41	1261
EXB3	13993	0.32	0.0%	31.7%	1.0%	67.3%	3.61	1.16	1.55	2166
EXB4	9330	0.21	0.0%	50.7%	21.9%	27.4%	2.86	0.61	1.10	98
<b>TOTAL</b>	<b>35630</b>	<b>0.82</b>					<b>2.67</b>			<b>577</b>

**JOAN JONES COMMUNITY CENTER**  
Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 1

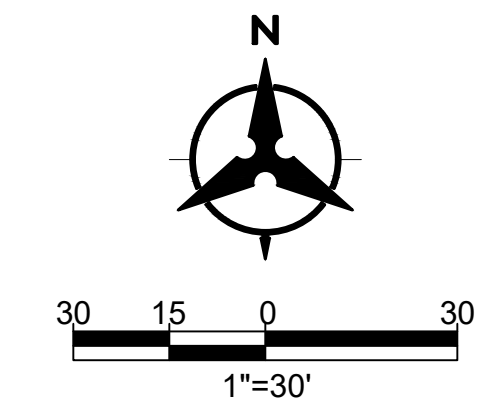
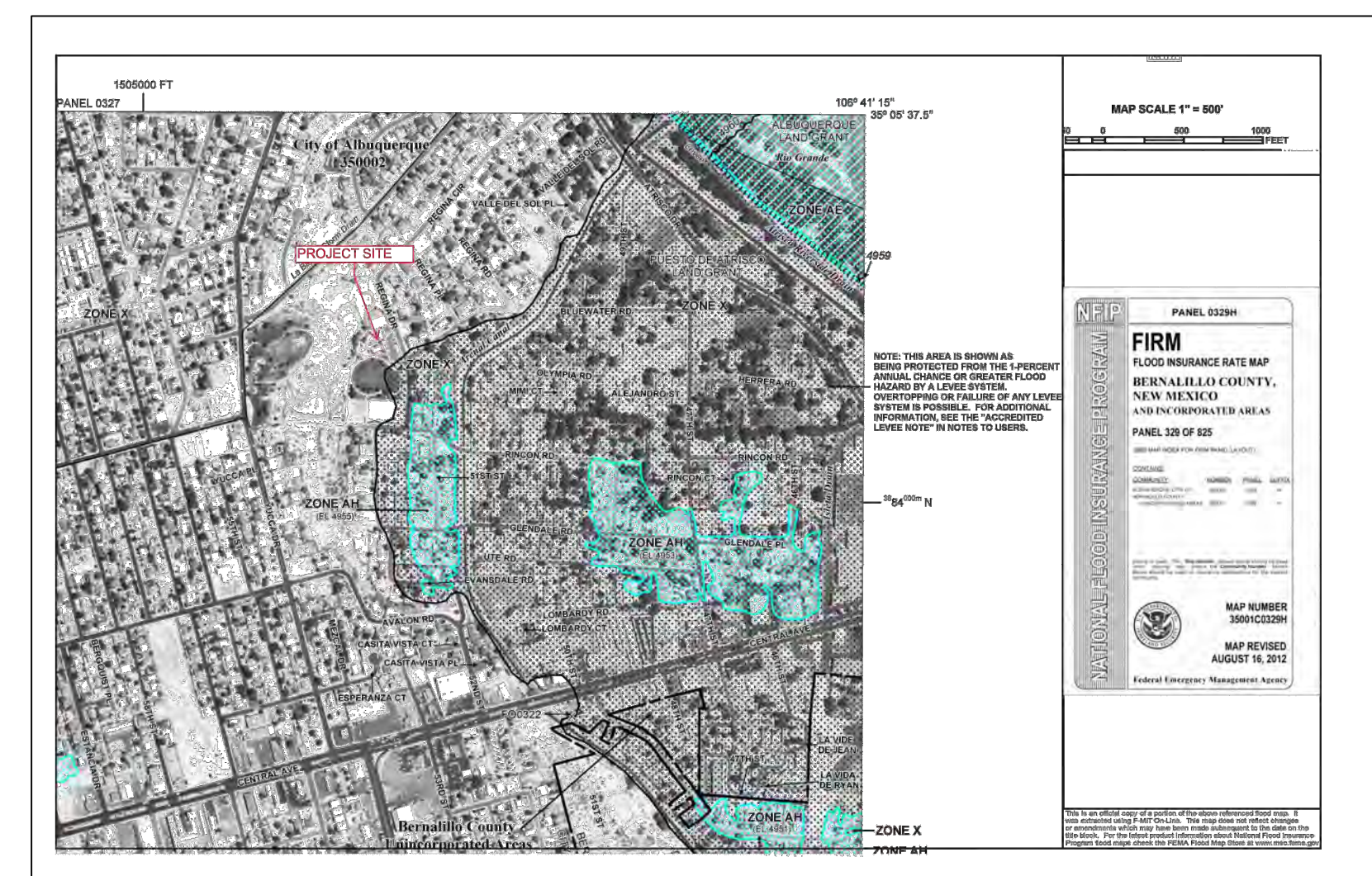
Basin ID	Area (SQ. FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac)	Q(100) (CFS)	WTE (inches)	V(100-24hr) CF	V(First Flush) CF
			A	B	C	D					
B1	3264	0.07	0.0%	72.2%	0.0%	27.8%	2.68	0.20	1.03	315	20
B2	9043	0.21	0.0%	26.6%	0.0%	73.4%	3.75	0.78	1.62	1478	144
B3	8483	0.19	0.0%	13.1%	0.0%	86.9%	4.06	0.79	1.80	1555	160
B4	1460	0.03	0.0%	27.3%	0.0%	72.7%	3.73	0.13	1.61	237	23
B5	6609	0.15	0.0%	20.2%	21.0%	59%	3.58	0.54	1.50	976	84
B6	6771	0.16	0.0%	0.0%	0.0%	100.0%	4.37	0.68	1.97	1371	147
<b>TOTAL</b>	<b>35630</b>	<b>0.82</b>					<b>3.12</b>			<b>1371</b>	<b>577</b>

\*"First Flush" volume is based on a precipitation depth of 0.26" for redeveloped sites which allows for a 0.1" initial abatement. Volume calculation is based on impervious area only.

**JOAN JONES COMMUNITY CENTER**  
STORM DRAIN PIPE TABLE

PIPE #	Contributing Basins & Pipes	Size in.	Slope	Capacity* cfs	ACTUAL FLOW cfs	PIPE LENGTH ft	INVERT OUT	INVERT IN
<b>STORM DRAIN PIPE</b>								
P1	B2, B4	8	0.50%	0.9	0.9	148.0	58.80	59.54
P2	B2, B6	12	3.39%	6.6	1.5	236.5	54.12	62.14

\*CAPACITY IS BASED ON GRAVIT FLOW, USING MANNING'S EQUATION WITH n=0.013



LEGEND

----- DRAINAGE BASIN BOUNDARY

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

NOT FOR CONSTRUCTION

**GREER STAFFORD/SJAF ARCHITECTURE, INC.**  
1717 LOUISIANA NE, SUITE 205  
ALBUQUERQUE, NM 87110-7087  
(505) 881-0838 • FAX: (505) 881-0848  
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FARMINGTON, NM 87401-8085  
(505) 885-7475 • FAX: (505) 885-6464



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED, AND DATED BELOW



**JOAN JONES COMMUNITY CENTER - PHASE 2**  
CITY OF ALBUQUERQUE  
3828 RINCON ROAD NW  
ALBUQUERQUE, NM 87102

Mark	Date	Description

PROJECT NO: 5384.00  
DRAWN BY:  
CHECKED BY:  
GREER STAFFORD/SJAF ARCHITECTURE, INC.  
SHEET TITLE  
DRAINAGE MANAGEMENT PLAN

DRAWING SHEET

**C-103**

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