



SITE DATA

LEGAL DESCRIPTION: PAT HURLEY PARK & LOTS 216 THRU 222 & WLY PORT OF LOT 223 GLENDALE GARDENS ADDN EXCPT LOTS 27-A & 28-A OF THE PALISADES

SITE AREA: 19.39 AC.

EXISTING ZONING: NR-PO-A

LAND USE: PARKS AND OPEN SPACE, COMMUNITY CENTER

BUILDING AREA:
 EXISTING BUILDING AREA: 5,010 SF
 PROPOSED BUILDING AREA: 6,955 SF
 TOTAL BUILDING AREA: 11,965 SF

DIMENSIONAL STANDARDS SHALL BE DETERMINED BY A MASTER PLAN, NATURAL RESOURCE MANAGEMENT PLAN, OR SPECIFIED BY IMPLEMENTING CITY DEVELOPMENT PER IDO SECTION 5-1 (E)(1)(a).

BUILDING HEIGHT: 30 FEET.

PARKING REQUIREMENTS:
 TOTAL PARKING REQUIRED/PROVIDED: 24/78
 ADA PARKING REQUIRED / PROVIDED: 4 (1 VAN ACCESSIBLE)/ 4 (1 VAN ACCESSIBLE)
 MOTORCYCLE REQUIRED/ PROVIDED :1/2
 BICYCLE PARKING REQUIRED/ PROVIDED: 3/6

COMMUNITY CENTER: 2 PER 1,000 SF, GROSS FLOOR AREA (GFA).

PARKS AND OPEN SPACE: NO REQUIREMENT

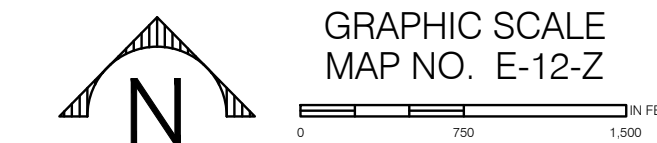
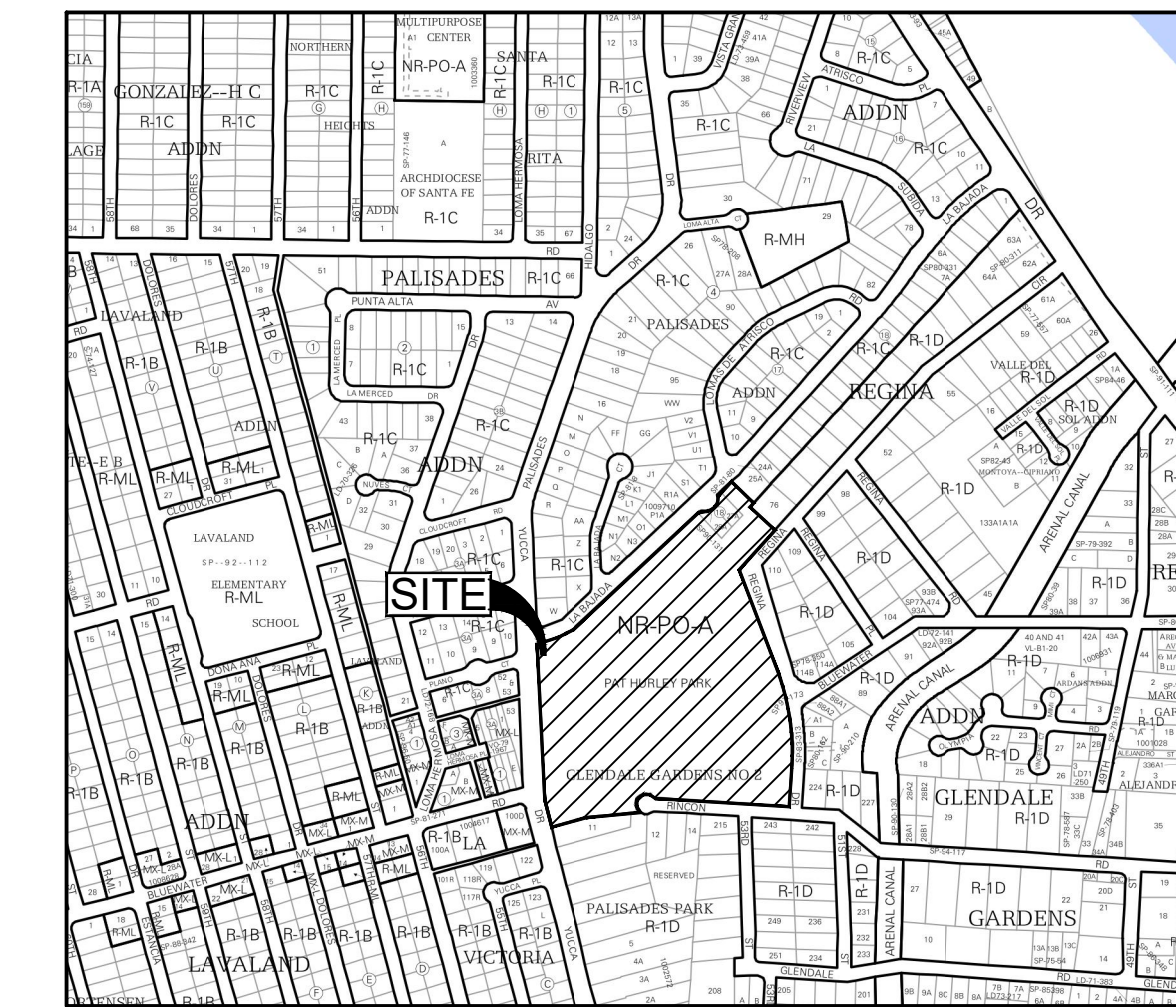
SENSITIVE LANDS ANALYSIS: THE SITE HAS BEEN EVALUATED FOR SENSITIVE LANDS. THE ONLY SENSITIVE LANDS PRESENT ON THE SITE ARE STEEP SLOPES. THE PROPOSED DEVELOPMENT AVOIDS THESE SLOPES AND WILL NOT ALTER OR IMPACT THE STEEP SLOPES. SEE GRADING AND DRAINAGE PLAN.

TURF GRASS: TOTAL EXISTING TURF GRASS TO REMAIN IS ±203,580 SF (±4.67 AC).

WAIVERS

- ① WAIVER TO PUBLIC SIDEWALK WIDTH TO MAINTAIN EXISTING 4-FOOT MINIMUM SIDEWALKS IN PUBLIC RIGHTS-OF-WAY, APPROVED BY DRB: _____
- ② WAIVER TO PUBLIC SIDEWALK LOCATION TO ALLOW EXISTING MEANDERS INTO PROPERTY, APPROVED BY DRB: _____
- ③ WAIVER FROM FULL CUL-DE-SAC CONSTRUCTION DUE TO TOPOGRAPHY CONSTRAINTS, APPROVED BY DRB: _____

VICINITY MAP



SHEET INDEX

1. OVERALL SITE PLAN DRB
2. ARCHITECTURAL SITE PLAN
3. LANDSCAPE PLAN
4. CONCEPTUAL GRADING & UTILITY PLAN
5. EXTERIOR ELEVATIONS
6. FIRE ONE PLAN

PROJECT NUMBER:
 Application Number:
 Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

PAT HURLEY PARK

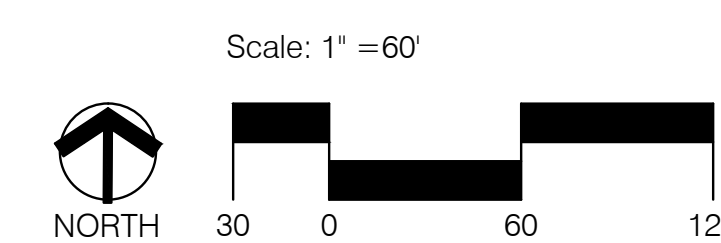
OVERALL SITE PLAN DRB

Prepared for:
 City of Albuquerque
 Department of Municipal Development
 Stacy Herrera, Project Manager

Prepared by:
 Greer Stafford/SJCF Architecture, Inc.
 1717 Louisiana NE, Suite 205
 Albuquerque, NM 87110

In Conjunction with:
 City of Albuquerque
 Department of Family & Community Services
 Jess Martinez, Deputy Director

Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102



GENERAL SHEET NOTES

1. THE CONTRACTOR'S SHALL IDENTIFY HIS/HER STAGING AREA AND TEMPORARY CONSTRUCTION FENCING. A DETAILED SEQUENCING/STAGING PLAN SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS PLAN SHALL INCLUDE DETAILED ACCESS AND EGRESS ROUTES. THE CONTRACTOR SHALL UPDATE AND MAINTAIN EGRESS PLANS DURING ALL CONSTRUCTION ACTIVITIES. ACTUAL LOCATIONS AND LAYOUT ARE SUBJECT TO APPROVAL BY OWNER AND ARCHITECT BASED ON ACTUAL REQUIREMENTS OF PUBLIC SAFETY.
2. ALL EXISTING EQUIPMENT, PAVING, LANDSCAPING AND/OR SITE ELEMENTS THAT ARE TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION. ANY OF THESE ITEMS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL PAYMENT.
3. CONTRACTOR SHALL COMPLY WITH STATE STATUTES BY CONTACTING NM ONE CALL AND OWNER'S REPRESENTATIVE TO VERIFY LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO ANY WORK ON SITE.
4. REFER TO CIVIL FOR SITE GRADING AND NEW STORM DRAIN UTILITIES.
5. EXISTING UTILITIES SHOWN ON THIS SHEET ARE FOR INFORMATION ONLY. REFER TO PHASE 1 (PAT HURLEY COMMUNITY CENTER - DATED 04/01/2016) CIVIL DRAWINGS FOR ALL EXISTING WATER/FIRE PROTECTION/ SANITARY AND STORM DRAIN UTILITIES TO REMAIN. NO NEW UTILITIES ARE SCHEDULED FOR THIS PROJECT, EXCEPT EXTENSION OF STORM DRAIN.
6. REFER TO LANDSCAPE FOR MISCELLANEOUS LANDSCAPING, PLAYGROUND AND SHADE STRUCTURE ITEMS.
7. REFER TO OVERALL SITE PLAN DRB FOR PARKING CALCULATIONS.

SITE PLAN LEGEND

- NEW CONCRETE PAVING - REFER TO PLANS FOR TYPE
- NEW XERIC LANDSCAPED AREA - REFER TO LANDSCAPE
- EXISTING XERIC LANDSCAPED AREA
- EXISTING TURF GRASS AREA

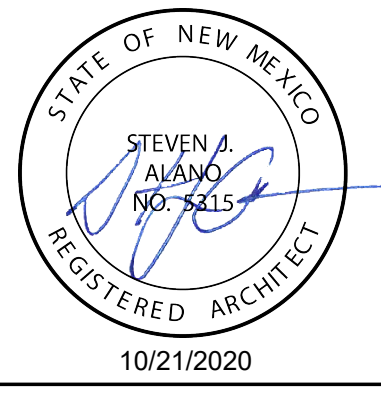
PARKING REQUIREMENTS

TOTAL BUILDING AREA:	11,965 GSF
COMMUNITY CENTER:	2 PER 1,000 SF GROSS FLOOR AREA
PARKS & OPENS SPACE:	NO REQUIREMENT
TOTAL PARKING REQUIRED / PROVIDED:	24 / 78
ADA PARKING REQUIRED / PROVIDED:	4 (1 VAN) / 4 (1 VAN)
MOTORCYCLE PARKING REQUIRED / PROVIDED:	1 / 2
BICYCLE PARKING REQUIRED / PROVIDED:	3 / 6

GREER STAFFORD/SJCF ARCHITECTURE, INC.
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 (505) 325-7475 • FAX: (505) 325-6464



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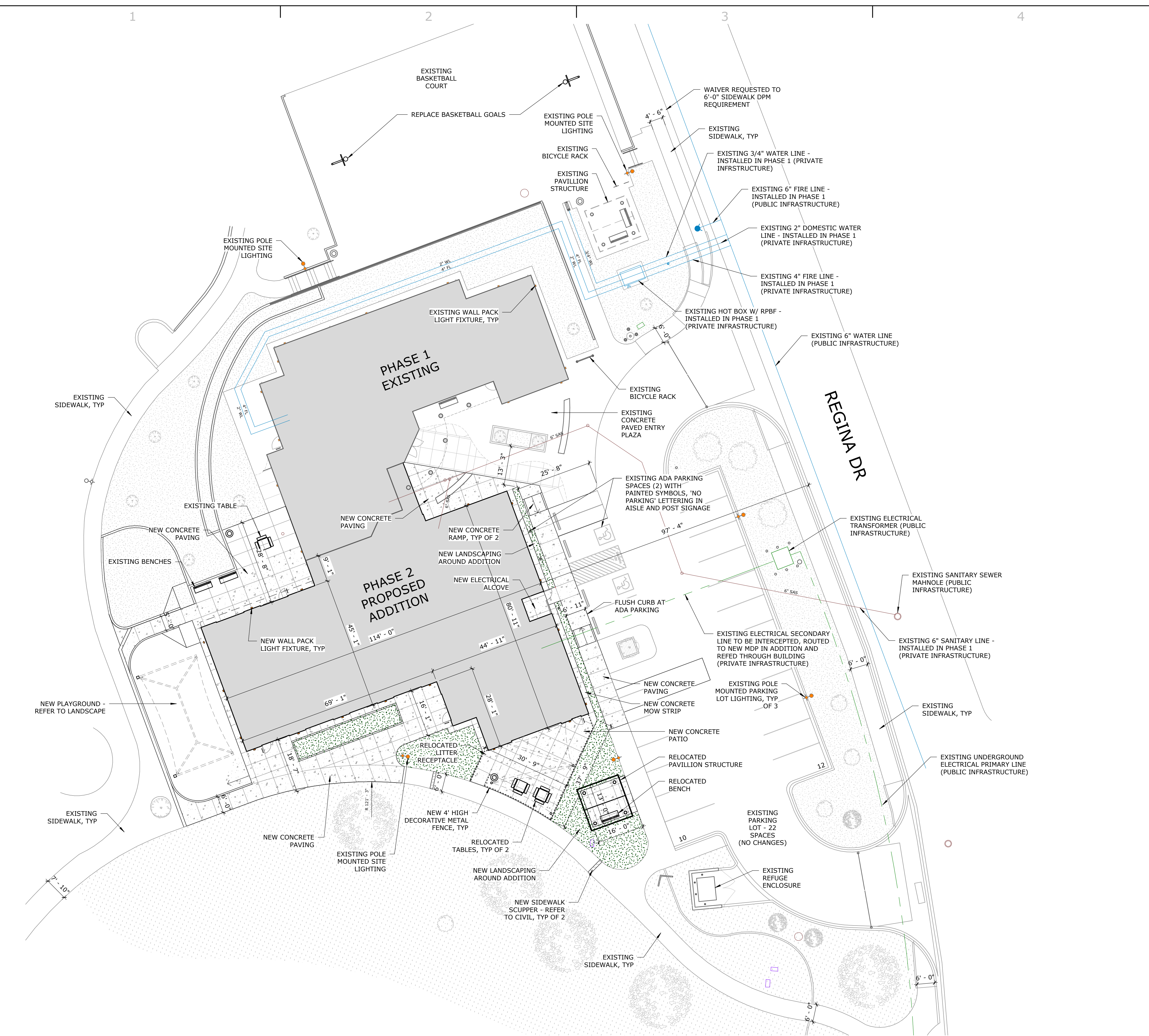
JOAN JONES COMMUNITY CENTER - PHASE 2
 CITY OF ALBUQUERQUE
 3828 RINCON ROAD NW
 ALBUQUERQUE, NM 87102

Mark	Date	Description	ISSUE
3	10/21/20	DRB SUPPLEMENTAL INFO	10/20/2020
2	10/07/20	DRB SUPPLEMENTAL INFO	
1	10/07/20	INTERNAL REVISIONS	

PROJECT NO: 5384.00
 DRAWN BY:
 CHECKED BY:
 SHEET TITLE
 DRB SITE PLAN

DRAWING SHEET

AS100



1 ARCHITECTURAL SITE PLAN
 1/16" = 1'-0"

FOR DRB APPROVAL
 NOT FOR CONSTRUCTION

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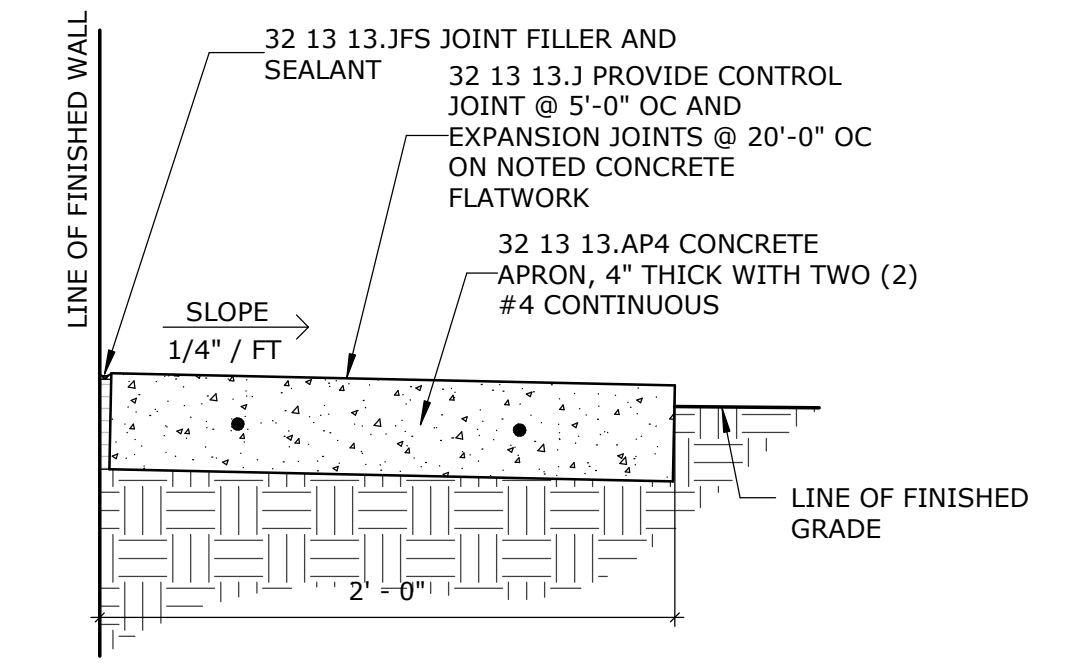
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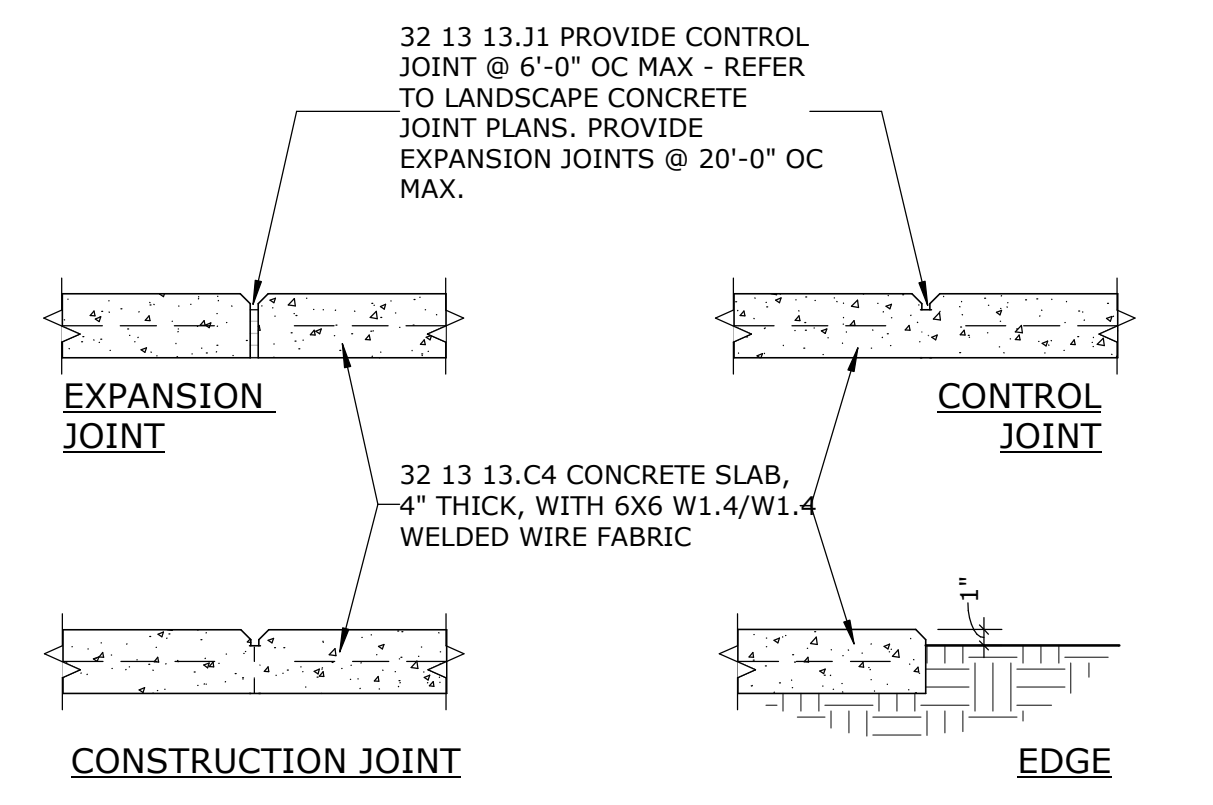
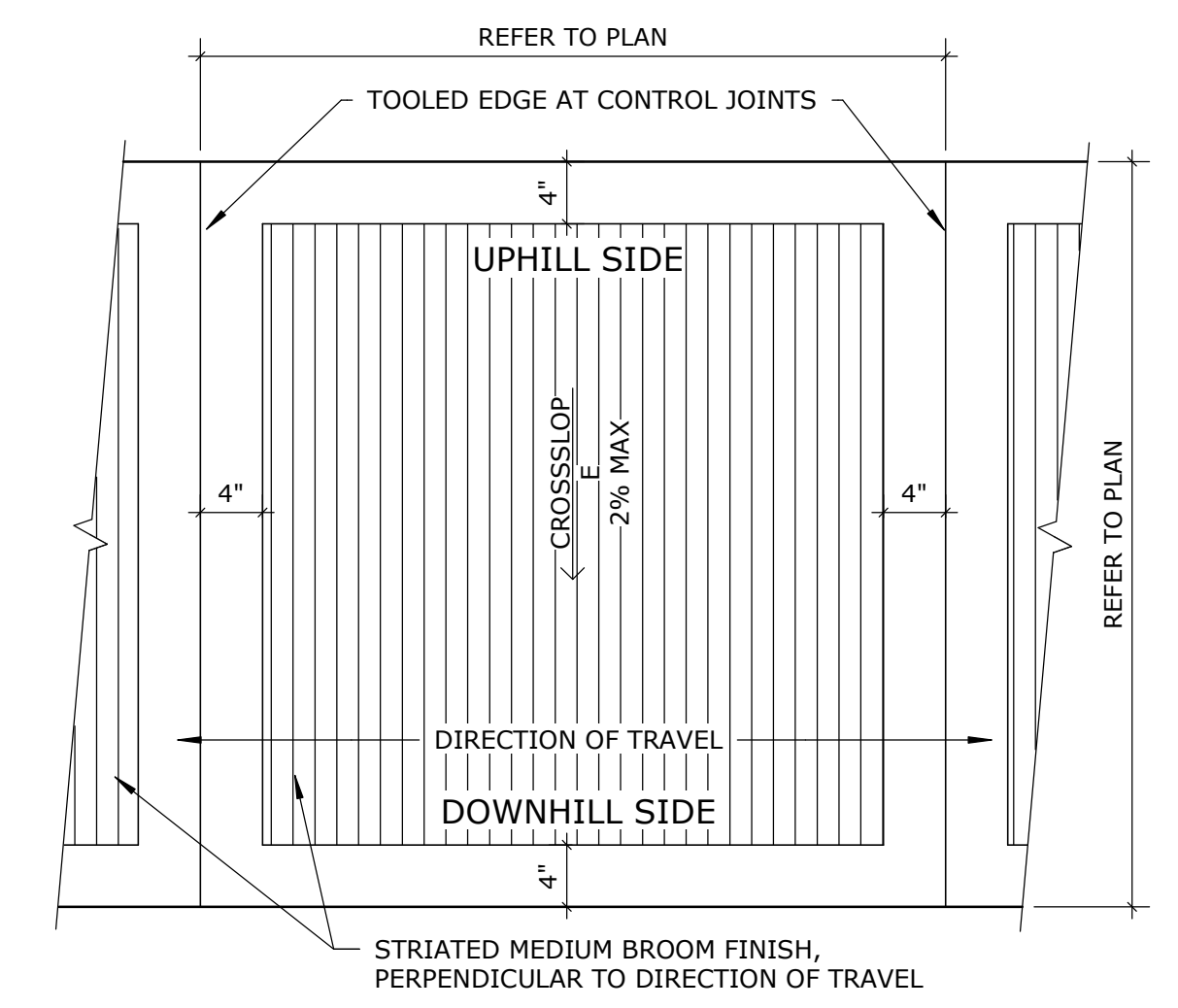
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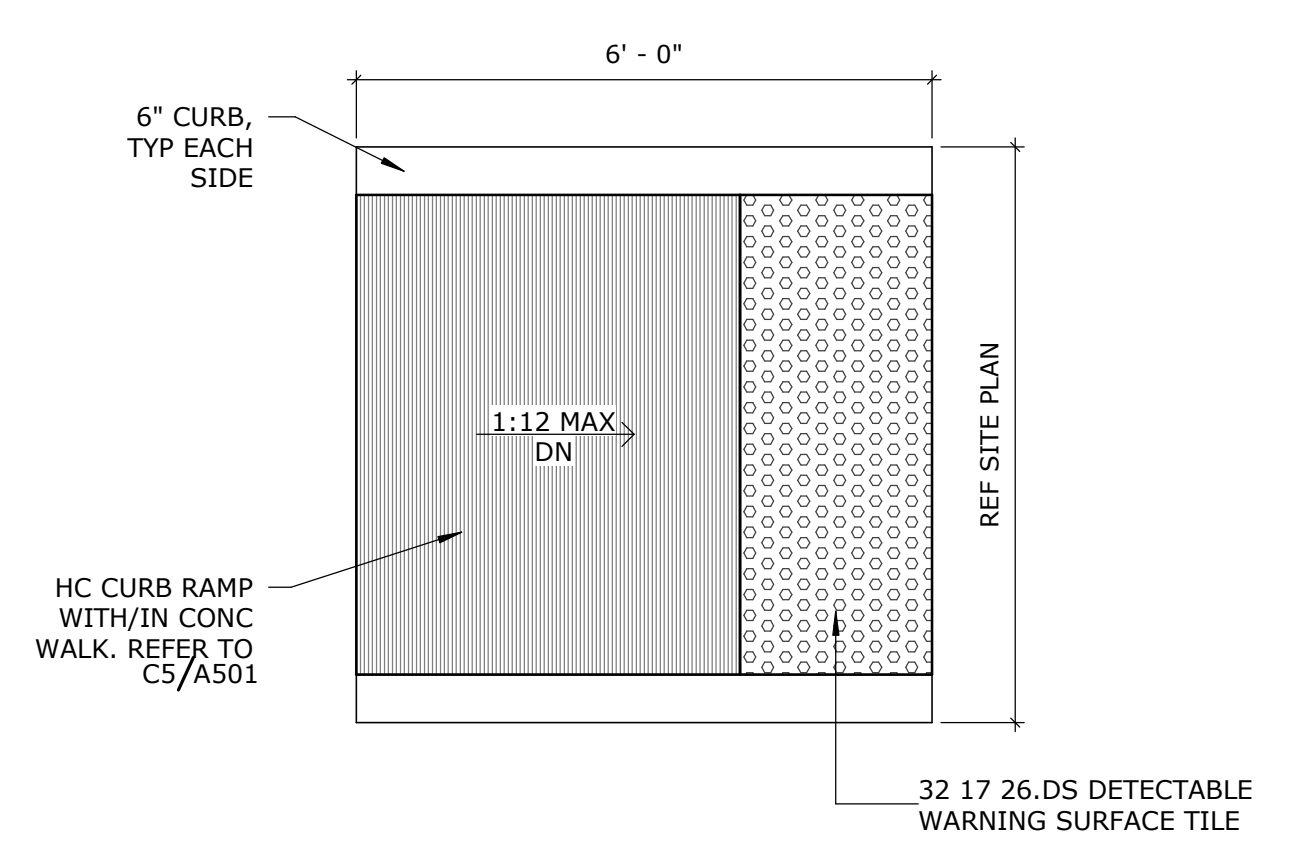
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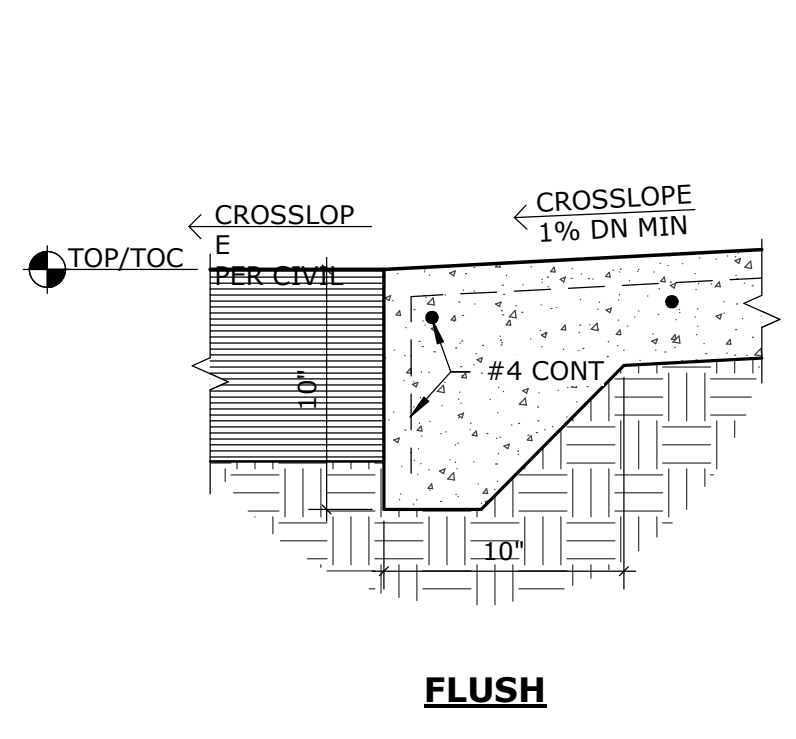
D4 CONCRETE APRON
1 1/2" = 1'-0"



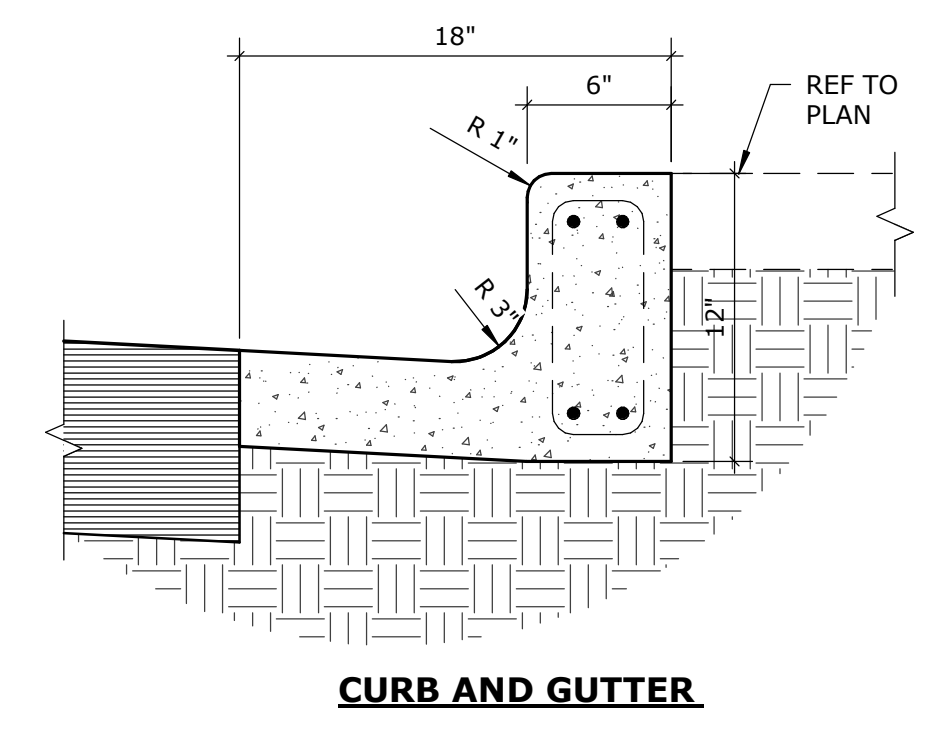
B4 CONCRETE WALK
1" = 1'-0"



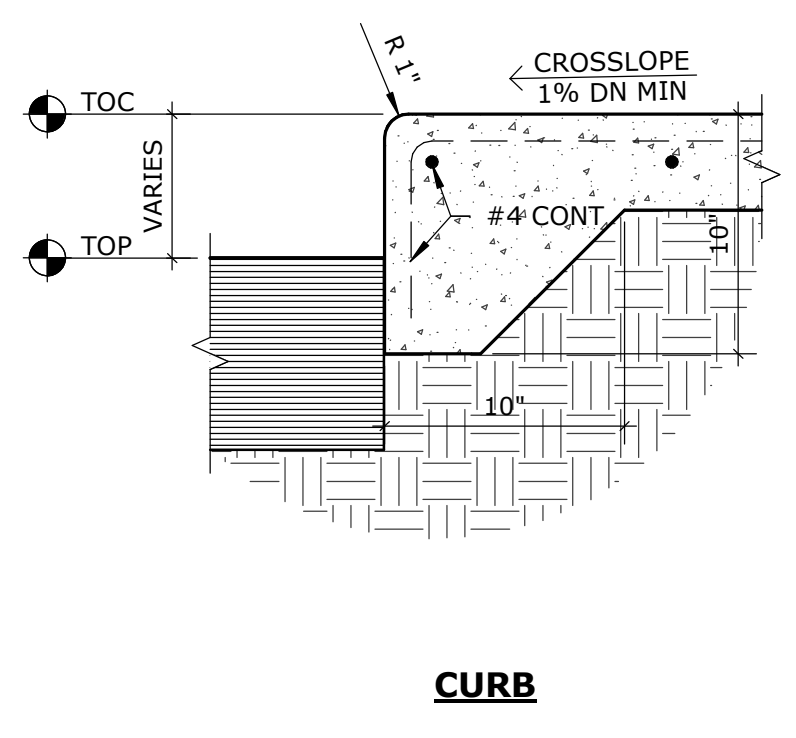
A4 HANDICAP RAMP
1/2" = 1'-0"



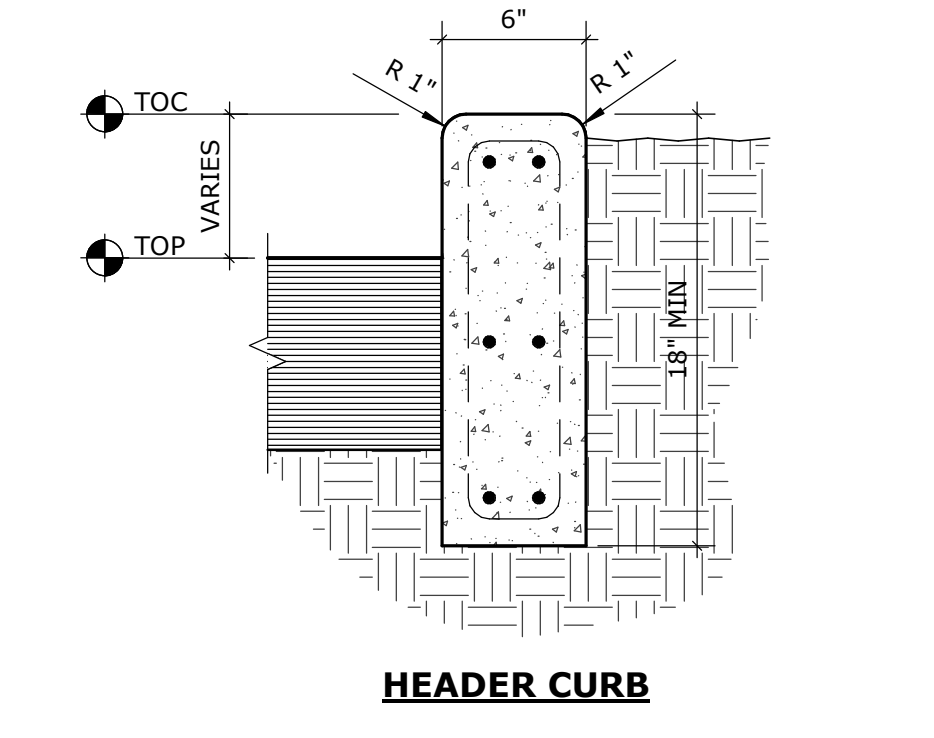
FLUSH



CURB AND GUTTER



CURB



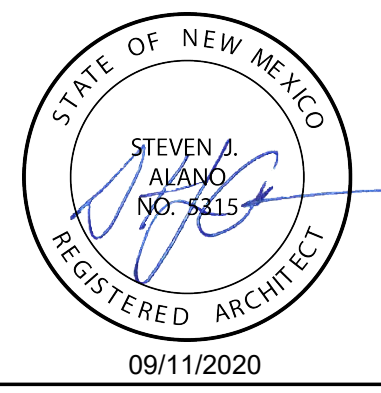
HEADER CURB

A3 CONCRETE CURB EDGES
1 1/2" = 1'-0"

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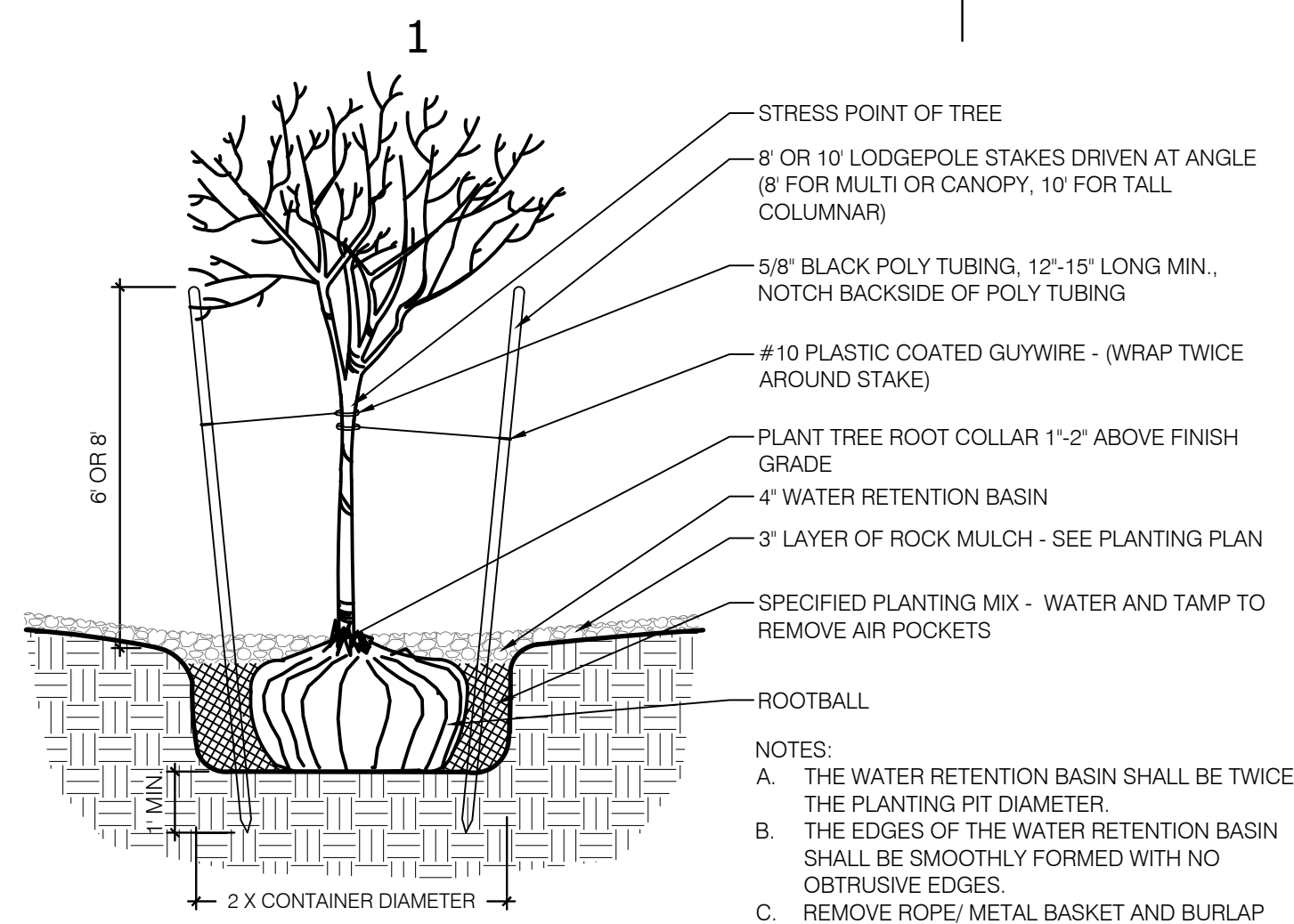
JOAN JONES COMMUNITY CENTER - PHASE 2
CITY OF ALBUQUERQUE
3828 RINCON ROAD NW
ALBUQUERQUE, NM 87102

Mark	Date	Description
ISSUE:	09/11/2020	

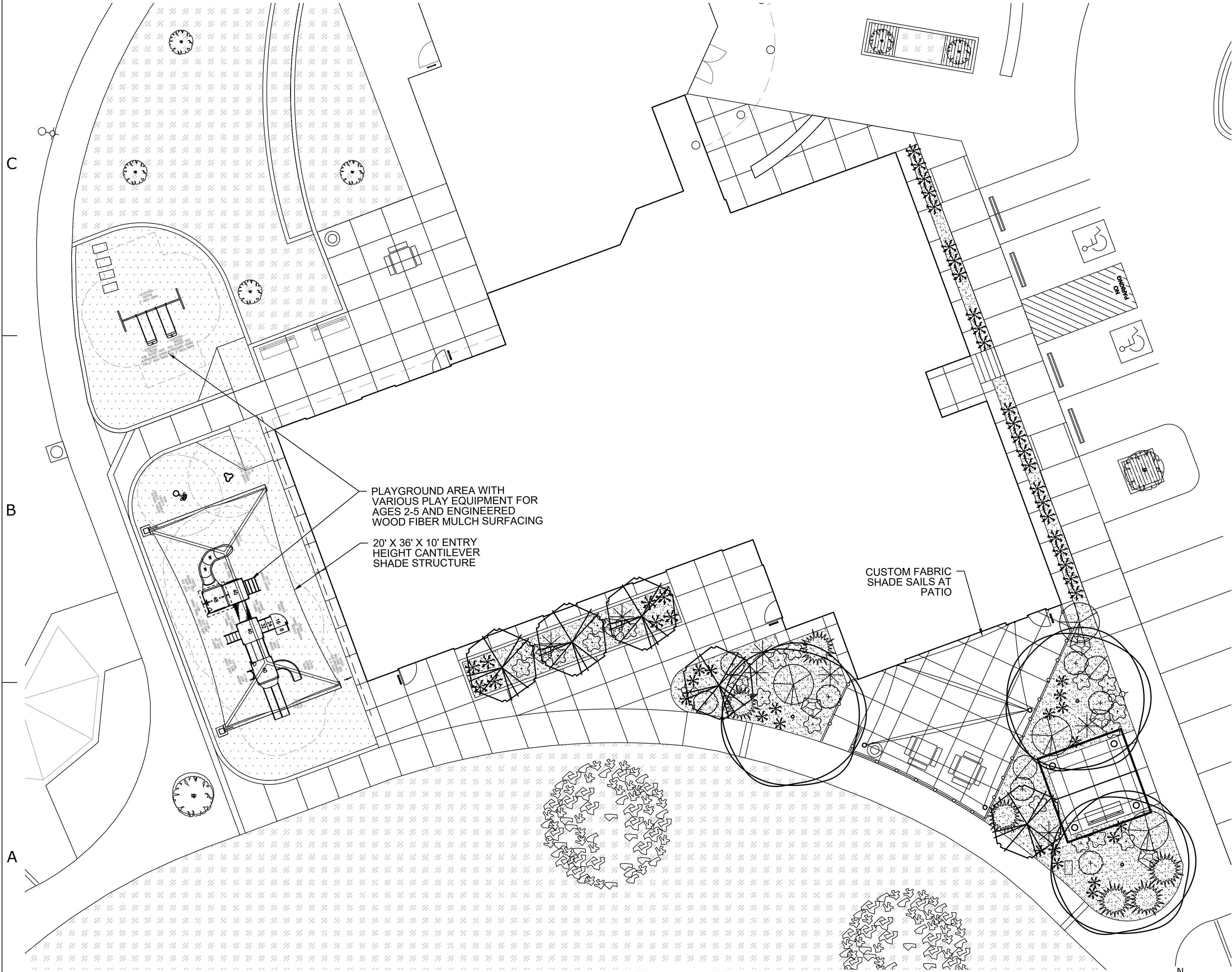
PROJECT NO: 5384.00
DRAWN BY:
CHECKED BY:
GREER STAFFORD/SJCF ARCHITECTURE, INC.
SHEET TITLE
DRB SITE DETAILS

DRAWING SHEET

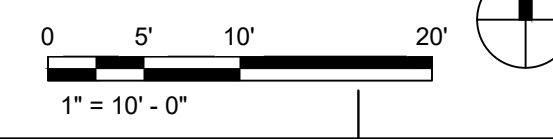
A500



TREE PLANTING DETAIL
SCALE: N.T.S.



A1 LANDSCAPE PLAN
1" = 10'-0"



PLANT LEGEND

QTY	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	MATURE SIZE	WATER USE
TREES					
EXISTING TREE TO REMAIN					
5		FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15 GAL MULTI-TRUNK	15' HT. X 15' SPR.	MED
3		PYRUS CALLERYANA 'ARISTOCRAT' ARISTOCRAT FLOWERING PEAR	2"-CAL	40' HT. X 25' SPR.	MED
SHRUBS					
7		CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS DWARF RABBITBRUSH	5 GAL	2' HT. X 4' SPR.	LOW
51		HELICOTRICHON SEMPERVIRENS BLUE AVENA	5 GAL	2' HT. X 2' SPR.	MED
7		HESPERALOE PARVIFLORA RED YUCCA	5 GAL	3' HT. X 4' SPR.	MED
6		JUNIPERUS HORIZONTALIS 'BLUE CHIP' BLUE CHIP JUNIPER	5 GAL	12" HT. X 6' SPR.	MED
4		RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	5 GAL	2' HT. X 7' SPR.	LOW
18		SALVIA GREGGII AUTUMN SAGE	5 GAL	2' HT. X 3' SPR.	MED
2		YUCCA RUPICOLA TWIST LEAF YUCCA	5 GAL	2' HT. X 4' SPR.	LOW
MULCHES & BOULDERS					
7		MOSS ROCK LANDSCAPING BOULDER, MIN. 3' DIAMETER (SEE DETAIL 3, SHEET L501)			
1,475 SF		3/4" ROCK MULCH, COLOR: BUILDOLGY BROWN, ANGLED-FACE 3" DEPTH OVER PERMEABLE LANDSCAPE FABRIC			
1,438 SF		ENGINEERED WOOD FIBER MULCH, ZEAGER WOOD CARPET OR APPROVED EQUAL, 12" DEPTH THROUGHOUT PLAY AREA.			
		EXISTING LANDSCAPE EXISTING LANDSCAPE AREA TO REMAIN. SEE GENERAL LANDSCAPE NOTE 5.			

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH MULCHES AS DEFINED IN THE PLANT LEGEND.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (3) .25 GPM BUBBLERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (1) .25 GPM BUBBLERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. THE IRRIGATION SYSTEM WILL BE DESIGNED IN ACCORDANCE WITH CITY OF ALBUQUERQUE DETAILS AND SPECIFICATIONS.

WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, A SEPARATE VALVE(S) WILL BE PROVIDED AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 10 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE
TOTAL SITE AREA (CONSTRUCTION BOUNDARY): 16,104 SF (.36 AC)
BUILDING AREA (BUILDING ENVELOPE): -6,955 SF
NET AREA: 9,149 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA): 1,372 SF
PROVIDED LANDSCAPE AREA: 1,475 SF (16%)

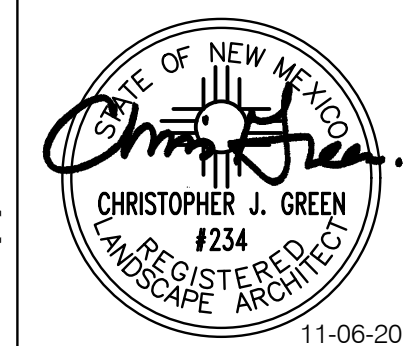
LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE: 3,125 SF (212% OF LANDSCAPE AREA)
PROVIDED GROUND-LEVEL PLANT COVERAGE: 767 SF (25% OF LIVE VEGETATIVE COVERAGE)

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN
ANY LANDSCAPE MATERIAL PROPOSED AROUND THE BUILDING SHALL NOT OBSTRUCT WINDOWS, DOORS OR ENTRYWAYS TO DETER CRIME AND FACILITATE SECURITY MEASURES.

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NOT FOR CONSTRUCTION



JOAN JONES COMMUNITY CENTER - PHASE 2
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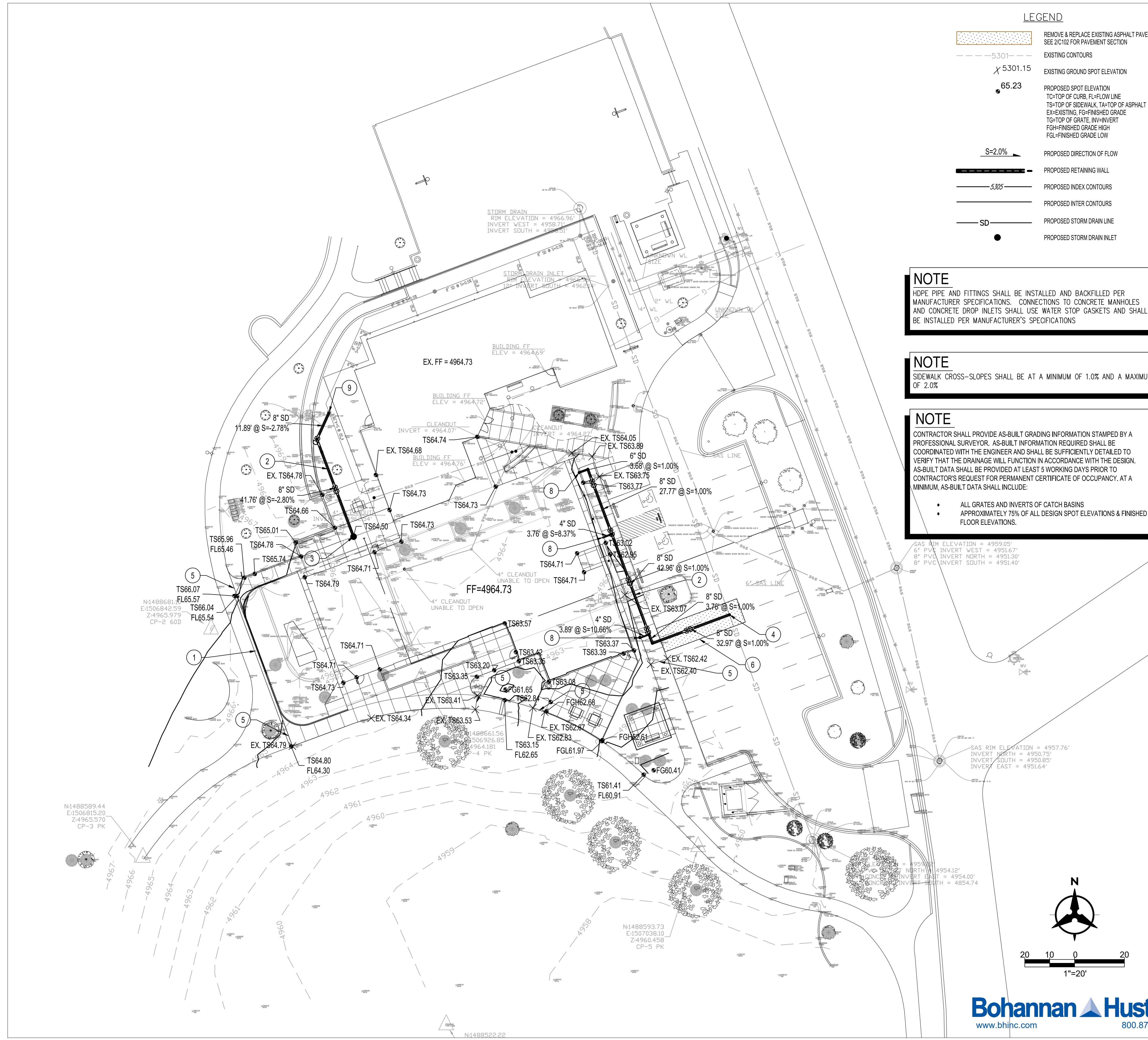
Mark	Date	Description

PROJECT NO: 5384.00
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SHEET TITLE
LANDSCAPE PLAN

DRAWING SHEET

L102

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
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e-mail: cp@consensusplanning.com



LEGEND

- REMOVE & REPLACE EXISTING ASPHALT PAVEMENT SEE 2/C102 FOR PAVEMENT SECTION
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- 65.23 PROPOSED SPOT ELEVATION
- TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT EX=EXISTING, FG=FINISHED GRADE
- TS=TOP OF GRADE, IN=INVERT FGH=FINISHED GRADE HIGH FGL=FINISHED GRADE LOW
- S=2.00% PROPOSED DIRECTION OF FLOW
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET

NOTE
HOPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

NOTE
SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

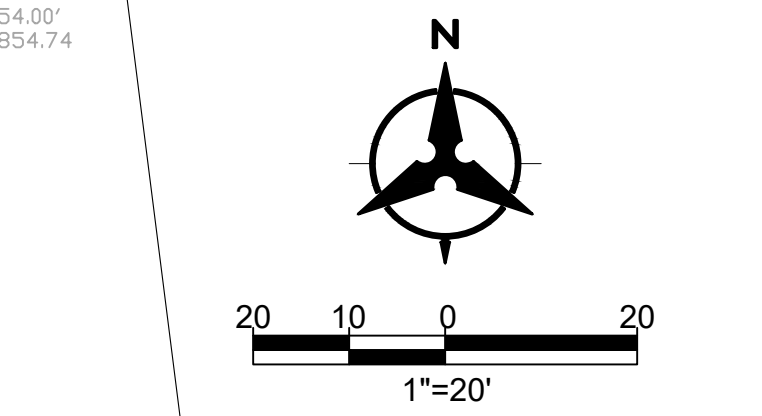
NOTE
CONTRACTOR SHALL PROVIDE AS-BUILT GRADING INFORMATION STAMPED BY A PROFESSIONAL SURVEYOR. AS-BUILT INFORMATION REQUIRED SHALL BE COORDINATED WITH THE ENGINEER AND SHALL BE SUFFICIENTLY DETAILED TO VERIFY THAT THE DRAINAGE WILL FUNCTION IN ACCORDANCE WITH THE DESIGN. AS-BUILT DATA SHALL BE PROVIDED AT LEAST 5 WORKING DAYS PRIOR TO CONTRACTOR'S REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. AT A MINIMUM, AS-BUILT DATA SHALL INCLUDE:

- ALL GRATES AND INVERTS OF CATCH BASINS
- APPROXIMATELY 75% OF ALL DESIGN SPOT ELEVATIONS & FINISHED FLOOR ELEVATIONS.

SAS RIM ELEVATION = 4959.05'
 6" PVC INVERT WEST = 4951.67'
 8" PVC INVERT NORTH = 4951.30'
 8" PVC INVERT SOUTH = 4951.40'

SAS RIM ELEVATION = 4957.76'
 INVERT NORTH = 4950.75'
 INVERT SOUTH = 4950.85'
 INVERT EAST = 4951.64'

SAS RIM ELEVATION = 4954.18'
 INVERT NORTH = 4954.00'
 INVERT SOUTH = 4954.74'



Bohannon & Huston
 www.bhinc.com 800.877.5332

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE ARCHITECT/ENGINEER AND/OR THE CITY PROJECT MANAGER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION", ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES

- INSTALL 12" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
- INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
- INSTALL 12" NYLOPLAST DRAIN BASIN WITH 2' DEEP SUMP, FLAT PEDESTRIAN RATED GRATE & "FLEXSTORM" INLET FILTER.
- CONNECT TO EXISTING 12" STORM DRAIN PIPE.
- MATCH EXISTING SIDEWALK HORIZONTALLY & VERTICALLY.
- MATCH EXISTING ASPHALT PAVEMENT.
- CONNECT ROOF DRAIN LEADER TO UNDERGROUND STORM DRAIN PER DETAIL 1/C102.
- EXTEND STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- CONNECT TO EXISTING STORM DRAIN INLET.

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 ALBUQUERQUE, NM 87110-7087
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 3005 NORTHRIDGE DR, SUITE F
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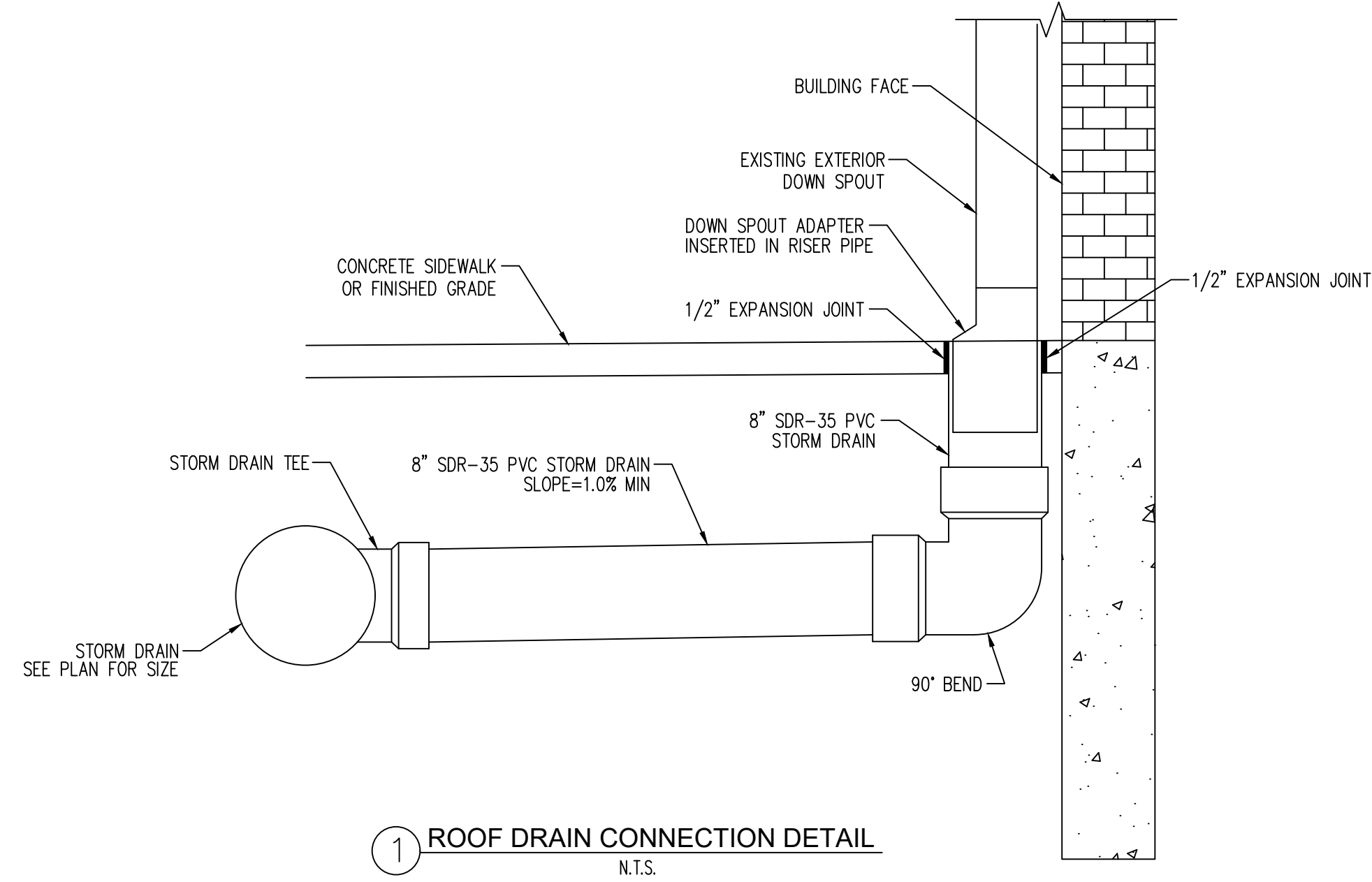
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ISSUE: 09/09/2020

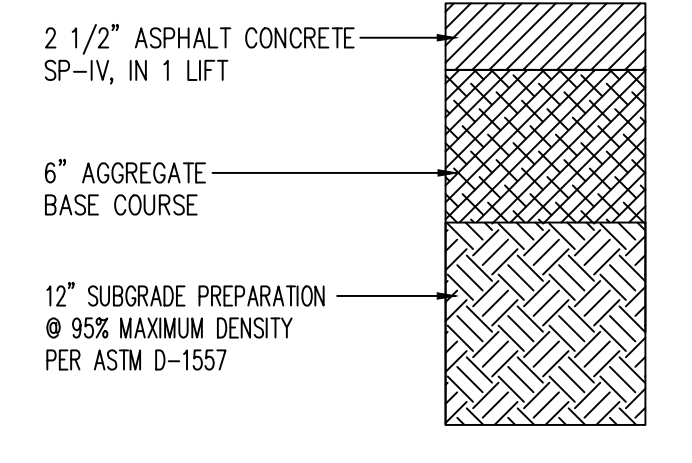
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 SHEET TITLE
 GRADING PLAN

DRAWING SHEET

C-101



1 ROOF DRAIN CONNECTION DETAIL
N.T.S.



2 ASPHALT PAVEMENT SECTION
N.T.S.

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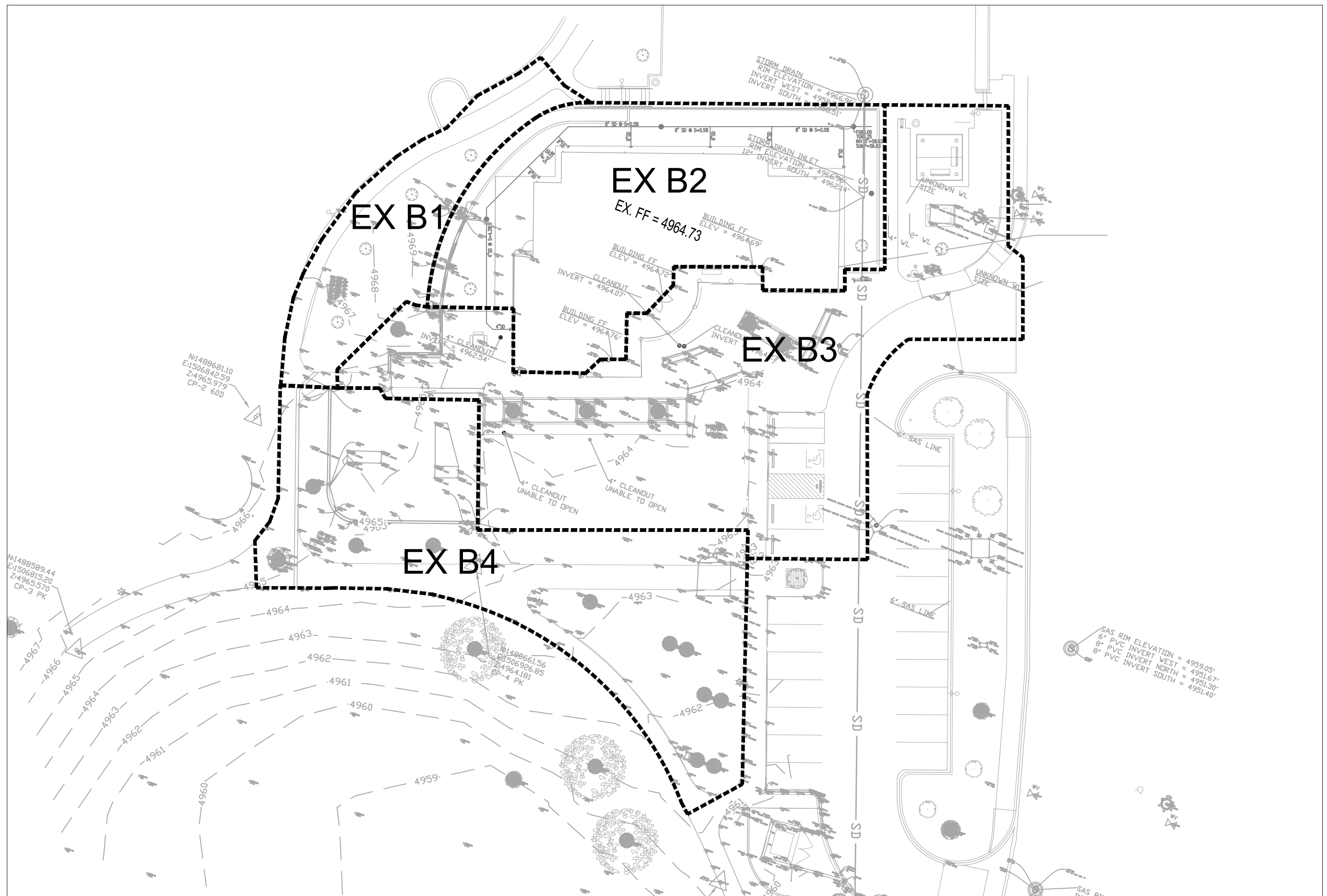
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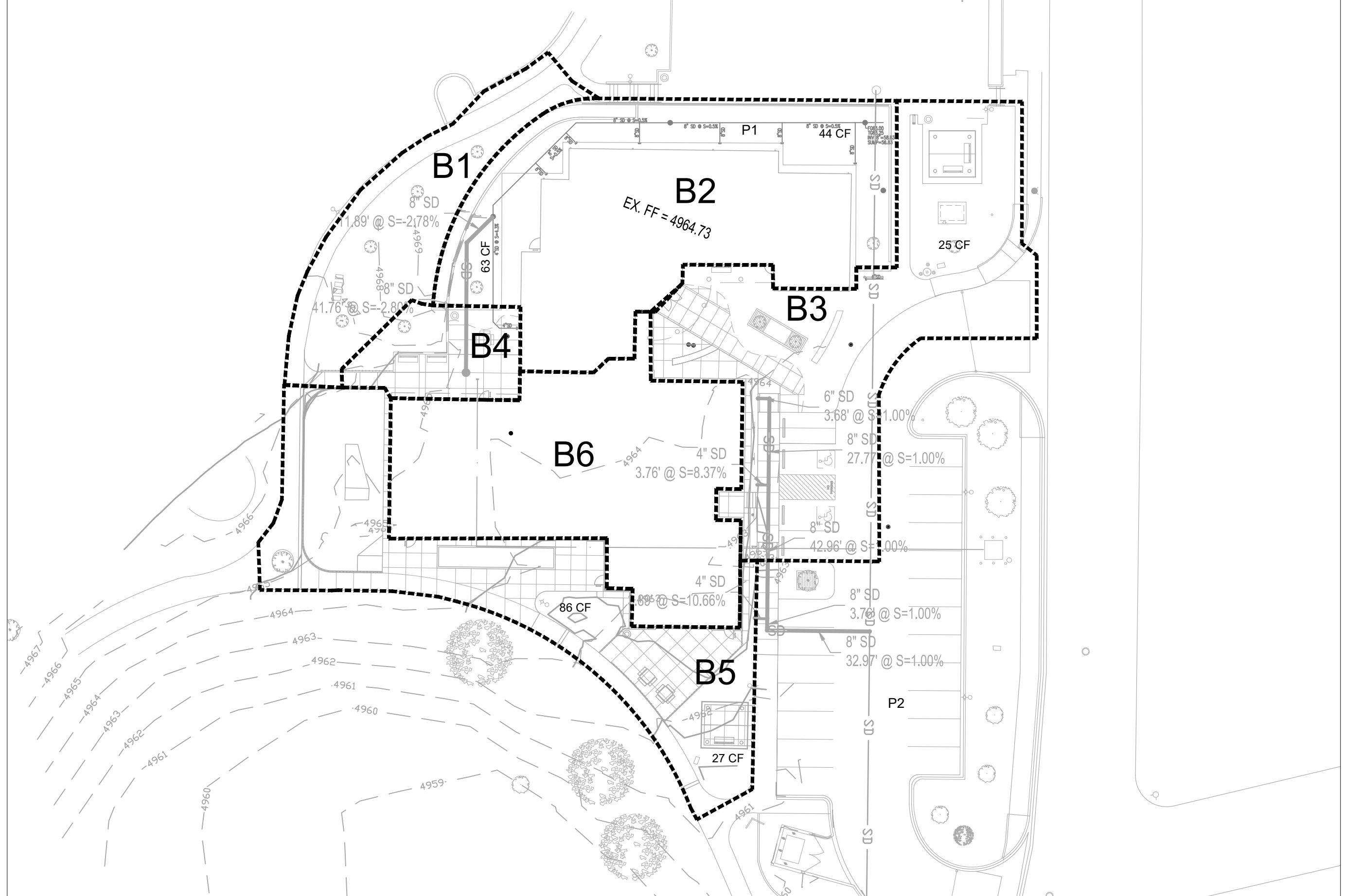
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SHEET TITLE
CIVIL DETAILS

DRAWING SHEET
C-102



EXISTING DRAINAGE MANAGEMENT PLAN



PROPOSED DRAINAGE MANAGEMENT PLAN

INTRODUCTION:

THE PROJECT IS LOCATED ON THE EASTERN SIDE OF PAT HURLEY PARK, NEAR THE INTERSECTION OF REGINA DR. NW AND BLUEWATER RD. NW. THIS SITE IS NOT WITHIN A DEFINED FLOOD ZONE AS SHOWN ON FIRM MAP NUMBER 35001C0329H (THIS SHEET). THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A DRAINAGE MANAGEMENT PLAN FOR THE BUILDING ADDITION TO THE PAT HURELY COMMUNITY CENTER AND REQUEST BUILDING PERMIT APPROVAL.

EXISTING CONDITIONS:

THE APPROXIMATELY 0.82 ACRE SITE IS CURRENTLY DEVELOPED WITH THE EXISTING COMMUNITY CENTER BUILDING, PLAYGROUND AND GREEN SPACE AREA. THE EXISTING COMMUNITY CENTER BUILDING WILL STAY BUT THE PLAYGROUND WILL BE MODIFIED TO MAKE ROOM FOR THE BUILDING ADDITION TO THE SOUTH. THE SITE SLOPES TO THE SOUTH / SOUTHEAST WHERE THE RUNOFF FREE DISCHARGES INTO THE PARK DRAINAGE SYSTEM AND ULTIMATELY TO REGINA DR.

METHODOLOGY:

THE HYDROLOGIC ANALYSIS PROVIDED WITH THIS DRAINAGE MANAGEMENT PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 22.2 OF THE DPM. THE SITE IS LOCATED WEST OF THE RIO GRANDE WITHIN PRECIPITATION ZONE 1. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE EXISTING AND PROPOSED CONDITIONS IN EACH ONSITE BASIN. THIS IS SUMMARIZED IN THE EXISTING AND PROPOSED BASIN DATA TABLES ON THIS SHEET.

PROPOSED CONDITIONS:

THIS DRAINAGE MANAGEMENT PLAN WAS BASED ON A FULLY DEVELOPED SITE. IT WAS DETERMINED THAT THE MAXIMUM PEAK DISCHARGE FROM THE SITE IS APPROXIMATELY 2.67 CFS.

THE PROPOSED DEVELOPMENT IS DIVIDED INTO FIVE SMALL DRAINAGE BASINS. BASIN 1 FLOWS SOUTH INTO A TURF AREA OF THE PARK VIA A SIDEWALK CULVERT. BASIN 2 IS INTERCEPTED BY THE EXISTING 8" STORM DRAIN WHICH CONNECTS TO A 12" STORM DRAIN THAT FLOWS SOUTH AND DISCHARGES INTO A TURF AREA IN THE PARK. BASIN 4 IS COLLECTED BY AN INLET AND DISCHARGES TO THE EXISTING 8" STORM DRAIN UPSTREAM OF BASIN 2. BASIN 3 SURFACE DRAINS INTO THE EXISTING PARKING LOT AND ULTIMATELY TO REGINA DR. BASIN 5 DRAINS TO THE SOUTH WHERE SOME IS COLLECTED IN SHALLOW DEPRESSED AREAS IN THE LANDSCAPE AND THEN EVENTUALLY OVERFLOWS TO THE TURF AREA VIA SIDEWALK CULVERTS. BASIN 6 COMPRISES OF THE PROPOSED ROOF AREA AND DRAINS TO THE EAST VIA ROOF DRAINS AND INTO THE EXISTING 12" STORM DRAIN. THE TURF AREA MENTIONED ABOVE ALSO DISCHARGES TO REGINA DR.

THE EXISTING AND PROPOSED LAND TREATMENTS ARE SIMILAR AND THE PROPOSED DISCHARGE FLOW RATE IS CLOSE TO THE CURRENT CONDITION.

FIRST FLUSH CALCULATIONS:

STORM RUNOFF FROM PART OF THE SITE IS CONVEYED TO SHALLOW DEPRESSED AREAS IN THE LANDSCAPE. THESE WATER HARVESTING AREAS RETAIN RUNOFF FROM THE "FIRST FLUSH" STORM. BASIN B1 IS PRIMARILY LANDSCAPE WITH CONCRETE SIDEWALKS. THIS BASIN AREA IS SLIGHTLY REDUCED, BUT ESSENTIALLY UNCHANGED WITH THE REDEVELOPMENT OF THIS SITE. BASIN B2 IS PRIMARILY ROOF RUNOFF FROM THE EXISTING BUILDING AND IS UNCHANGED IN THE PROPOSED CONDITIONS. TWO EXISTING SMALL WATER HARVESTING AREAS INTERCEPT ROOF RUNOFF. DUE TO PROXIMITY TO THE BUILDING AND RETAINING WALL FOUNDATIONS AREA AVAILABLE TO RETAIN STORM WATER RUNOFF WAS LIMITED. THE TOTAL VOLUME PROVIDED IS ESTIMATED TO BE 107 CUBIC FEET AND THE REQUIRED VOLUME IS 144 CUBIC FEET. A WATER QUALITY INLET WAS PREVIOUSLY INSTALLED TO ADD ADDITIONAL TREATMENT OF STORM WATER RUNOFF FROM THIS BASIN. BASIN B3 IS COMPRISED OF SIDEWALKS AND LANDSCAPING. AN EXISTING SMALL WATER HARVESTING AREA WAS PREVIOUSLY PROVIDED WHICH INTERCEPTS RUNOFF FROM THIS BASIN. THE TOTAL RETENTION VOLUME PROVIDED IS 25 CUBIC FEET AND THE REQUIRED VOLUME IS 160 CUBIC FEET. BASIN B5 IS COMPRISED OF SIDEWALKS AND LANDSCAPING. TWO SMALL WATER HARVESTING AREAS ARE PROVIDED WHICH INTERCEPT RUNOFF FROM THIS BASIN. THE TOTAL RETENTION VOLUME PROVIDED IS 113 CUBIC FEET AND THE REQUIRED VOLUME IS 84 CUBIC FEET. OVERALL ONSITE RETENTION VOLUME PROVIDED OF 245 CUBIC FEET IS LESS THAN THE REQUIRED VOLUME OF 577 CUBIC FEET, BUT DUE TO SITE CONSTRAINTS THE VOLUME PROVIDED WAS MAXIMIZED TO THE EXTENT TECHNICALLY FEASIBLE. THEREFORE, WE ARE REQUESTING TO SUBMIT A PAYMENT IN LIEU FOR THE REMAINING VOLUME OF 332 CUBIC FEET.

CONCLUSION:

THE PEAK DISCHARGE FROM THE SITE IS SIMILAR TO THE EXISTING CONDITIONS AND THE STORM WATER FROM THE FIRST FLUSH IS PASSIVELY TREATED WITHIN THE EXISTING LANDSCAPE AREAS. THE DESIGN INTENT IS IN CONFORMANCE WITH CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS AND WE REQUEST BUILDING PERMIT APPROVAL.

JOAN JONES COMMUNITY CENTER
Existing Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 1

Basin ID	Area (SQ. FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac)	Q(100) (CFS)	WTE (inches)	V(100-24hr) CF
			A	B	C	D				
EXB1	3264	0.07	0.0%	72.2%	0.0%	27.8%	2.68	0.20	1.03	315
EXB2	9043	0.21	0.0%	43.0%	0.0%	57.0%	3.36	0.70	1.41	1261
EXB3	13993	0.32	0.0%	31.7%	1.0%	67.3%	3.61	1.16	1.55	2166
EXB4	9330	0.21	0.0%	50.7%	21.9%	27.4%	2.86	0.61	1.10	98
TOTAL	35630	0.82						2.67		

JOAN JONES COMMUNITY CENTER
Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 1

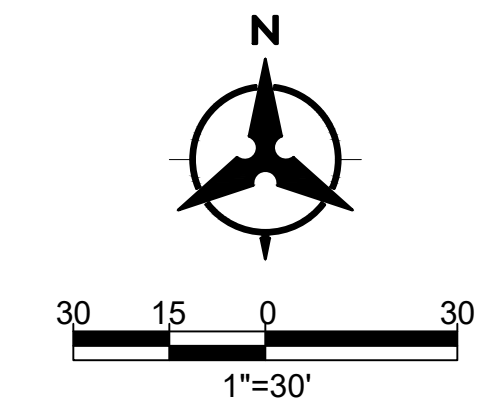
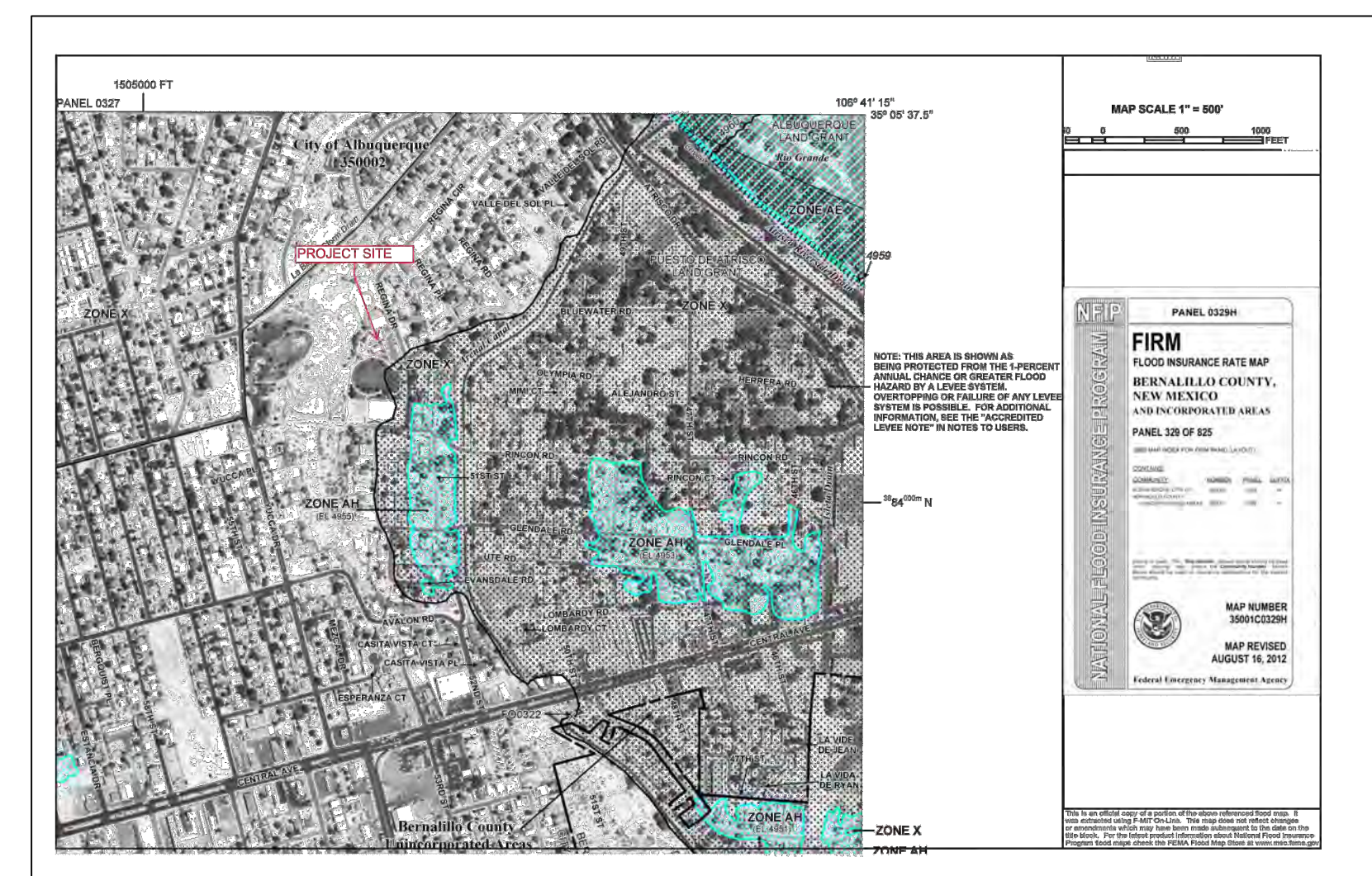
Basin ID	Area (SQ. FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac)	Q(100) (CFS)	WTE (inches)	V(100-24hr) CF	V(First Flush) CF
			A	B	C	D					
B1	3264	0.07	0.0%	72.2%	0.0%	27.8%	2.68	0.20	1.03	315	20
B2	9043	0.21	0.0%	26.6%	0.0%	73.4%	3.75	0.78	1.62	1478	144
B3	8483	0.19	0.0%	13.1%	0.0%	86.9%	4.06	0.79	1.80	1555	160
B4	1460	0.03	0.0%	27.3%	0.0%	72.7%	3.73	0.13	1.61	237	23
B5	6609	0.15	0.0%	20.2%	21.0%	59%	3.58	0.54	1.50	976	84
B6	6771	0.16	0.0%	0.0%	0.0%	100.0%	4.37	0.68	1.97	1371	147
TOTAL	35630	0.82						3.12			577

*"First Flush" volume is based on a precipitation depth of 0.26" for redeveloped sites which allows for a 0.1" initial abstration. Volume calculation is based on impervious area only.

JOAN JONES COMMUNITY CENTER
STORM DRAIN PIPE TABLE

PIPE #	Contributing Basins & Pipes	Size in.	Slope	Capacity* cfs	ACTUAL FLOW cfs	PIPE LENGTH ft	INVERT OUT	INVERT IN
P1	B2, B4	8	0.50%	0.9	0.9	148.0	58.80	59.54
P2	B2, B6	12	3.39%	6.6	1.5	236.5	54.12	62.14

*CAPACITY IS BASED ON GRAVIT FLOW, USING MANNING'S EQUATION WITH n=0.013



LEGEND

----- DRAINAGE BASIN BOUNDARY

Bohannon & Huston
www.bhinc.com 800.877.5332

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CITY OF ALBUQUERQUE
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DRAINAGE MANAGEMENT PLAN

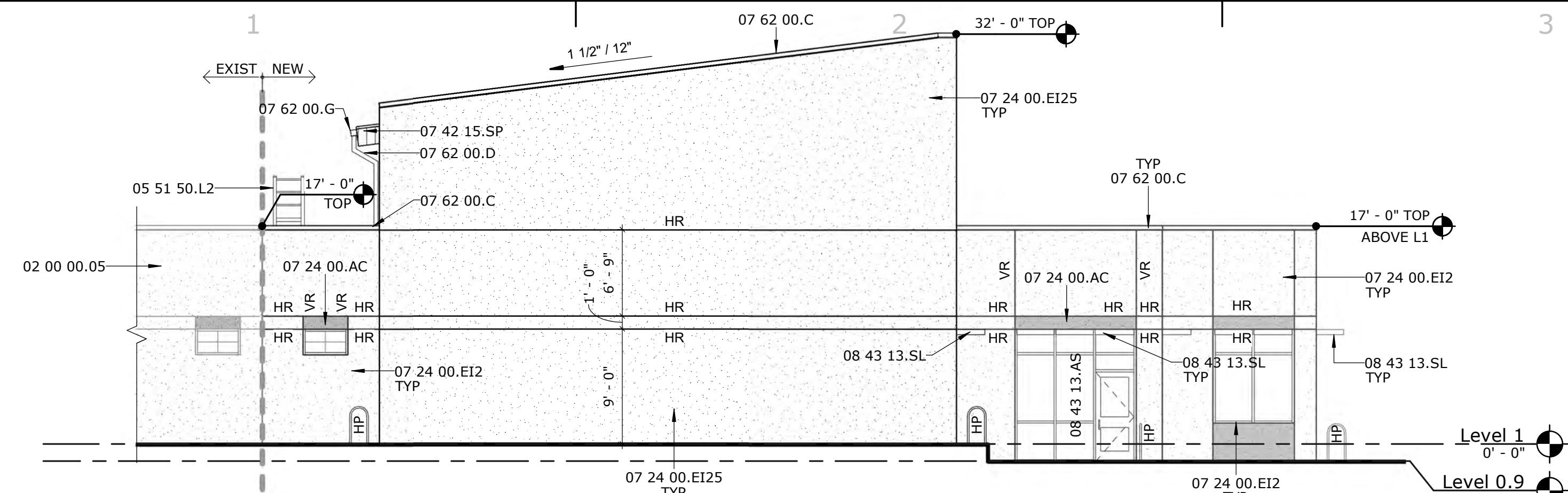
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C-103

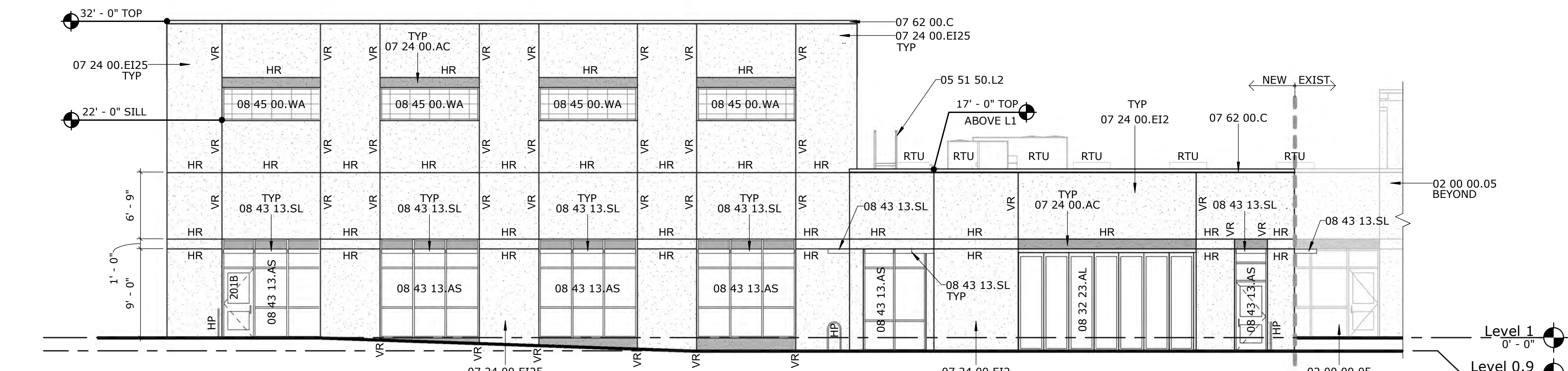
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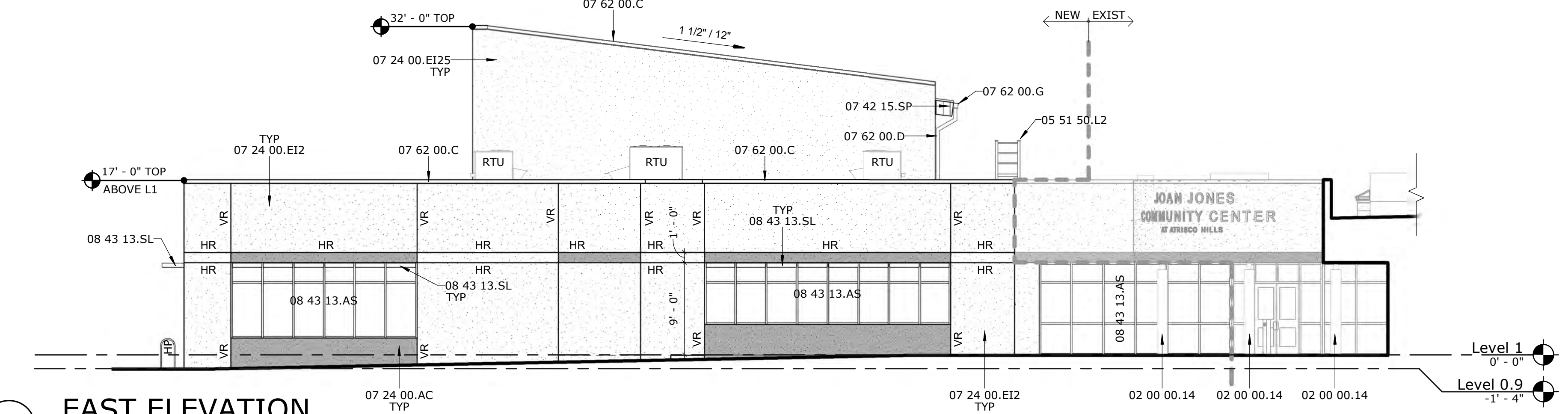
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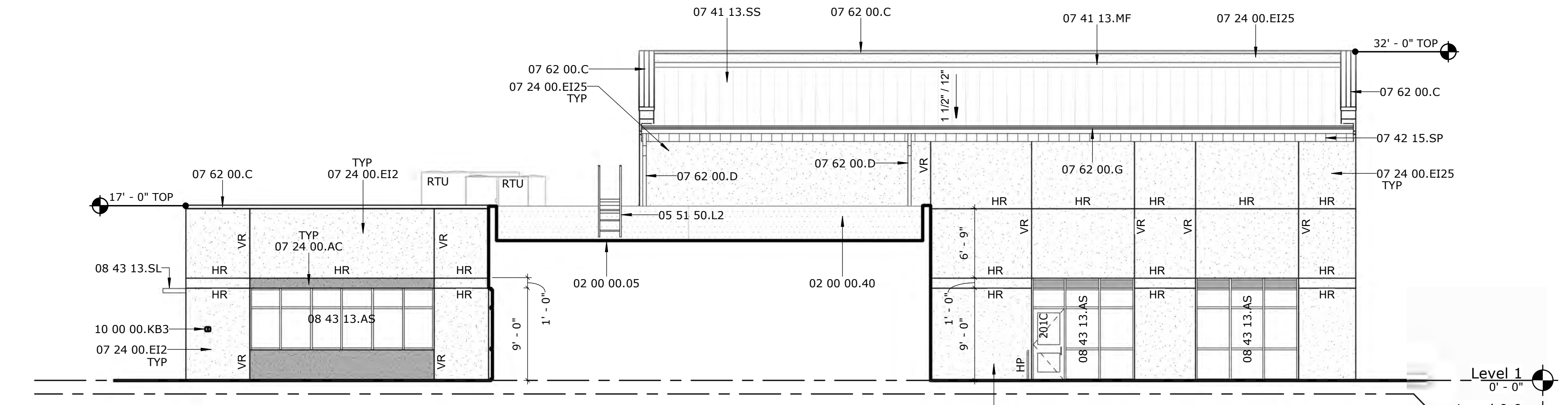
4 WEST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

GENERAL SHEET NOTES

- 1. EXIST = EXISTING
- 2. HP = HAIR PIN DOOR STOP
- 3. HR = EIFS HORIZONTAL REVEAL
- 4. RTU = ROOF TOP MECHANICAL UNIT
- 5. TOP = TOP OF PARAPET
- 6. TYP = TYPICAL
- 7. VR = EIFS VERTICAL REVEAL

GENERAL BUILDING COLORS

ALL ADDITION COLORS TO MATCH EXISTING COMMUNITY CENTER

- EIFS FIELD COLOR: PAREX #806L "BUFFALO" (LIGHT TAN)
- EIFS ACCENT COLOR: PAREX #1571L "CLAY" (LIGHT BROWN)
- STANDING SEAM METAL ROOF: FIRESTONE "METALLIC SILVER"
- METAL COPING, GUTTERS, DOWNSPOUTS: FIRESTONE "METALLIC SILVER"
- ALUMINUM STOREFRONT: CLEAR ANODIZED
- TRANSLUCENT WALL PANELS: TRANLUCENT WHITE

NO NEW EXTERIOR SIGNAGE WILL BE ADDED TO THE PHASE 2 ADDITION OF THE COMMUNITY CENTER.

KEYNOTE LEGEND

02 00 00.05	EXISTING BUILDING TO REMAIN
02 00 00.14	EXISTING CONCRETE COLUMN TO REMAIN
02 00 00.40	EXISTING THERMOPLASTIC WALL/FLASHING MEMBRANE TO REMAIN.
05 51 50.L2	ALUMINUM LADDER OVER PARAPET
07 24 00.AC	EIFS ACCENT COLOR
07 24 00.EI2	EXTERIOR INSULATION AND FINISH SYSTEM, 2"
07 24 00.EI25	EXTERIOR INSULATION AND FINISH SYSTEM, 2.5"
07 41 13.MF	METAL WALL FLASHING
07 41 13.SS	PRE-FINISHED STANDING SEAM METAL ROOF
07 42 15.SP	SOFFIT / FASCIA PANEL
07 62 00.C	COPING, WITH CONTINUOUS CLEAT BOTH SIDES
07 62 00.D	DOWNSPOUT
07 62 00.G	GUTTER
08 32 23.AL	ALUMINUM SLIDING/FOLDING GLAZED DOOR/WALL ASSEMBLY
08 43 13.AS	ALUMINUM-FRAMED STOREFRONT
08 43 13.SL	SUNSHADE LOUVER
08 45 00.WA	TRANSLUCENT WALL PANEL ASSEMBLY
10 00 00.KB3	KNOX BOX KEY VAULT, RECESSED TYPE. RELOCATE AS REQUIRED. COORDINATE EXACT INSTALL LOCATION WITH FIRE MARSHALL'S INSPECTOR.
22 00 00.DN	DOWNSPOUT NOZZLE - REFER TO PLUMBING
26 00 00.LF	LIGHT FIXTURE - REFER TO ELECTRICAL

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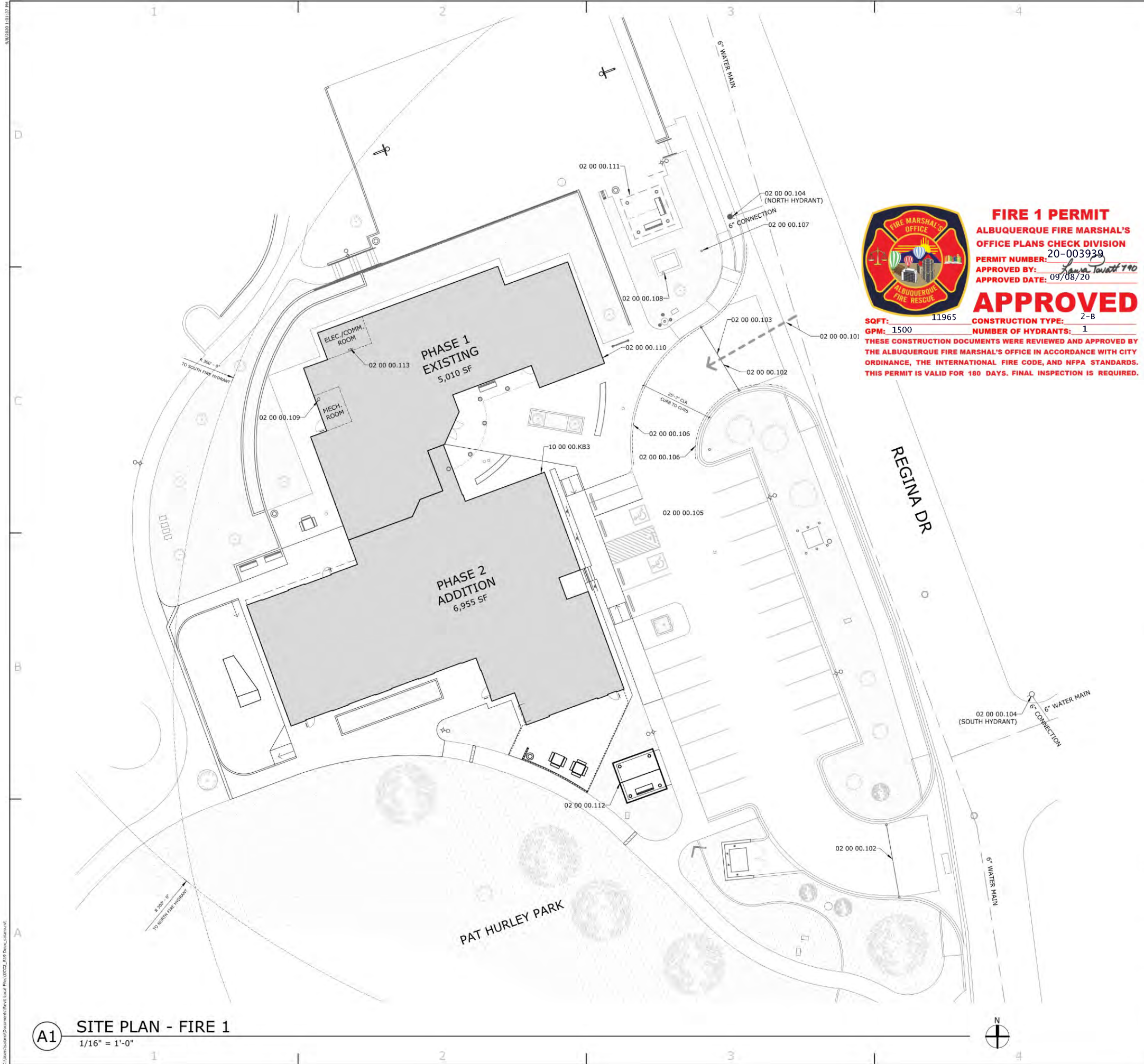
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DRB EXTERIOR ELEVATIONS

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NOT FOR CONSTRUCTION



A200



GENERAL SHEET NOTES

- REFER TO **FLOOR PLAN - FIRE 2** FOR THE FOLLOWING: ROOM IDENTIFIER & NUMBER, SQUARE FOOTAGE, OCCUPANT LOAD FACTOR, OCCUPANT LOAD.
- REFER TO **FLOOR PLAN - FIRE 2** FOR EMERGENCY LIGHTING AND EXIT/EGRESS LIGHTING.
- EGRESS HARDWARE - REFER TO A601 DOOR SCHEDULE & SPECIFICATIONS SECTION 08 71 00.
- PER IFC 907.2.13.1.2 DUCT SMOKE DETECTION: DUCT DETECTORS FOR FIRE ALARM SYSTEM WILL NOT BE REQUIRED; REFER TO SHEET M601 FOR ROOF TOP UNIT (RTU) SUPPLY AIR CFM SPECIFICATIONS.
- REFER TO **FLOOR PLAN - FIRE 2** FOR THE PROJECT CODE REVIEW.
- SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION PER SHEET FP001.
- THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED AS REQUIRED BY THE 2015 INTERNATIONAL FIRE CODE PER SHEET FP001.
- REFER TO SHEET FP001 FOR FIRE PROTECTION GENERAL NOTES AND SYSTEM REQUIREMENTS.



FIRE 1 PERMIT
ALBUQUERQUE FIRE MARSHAL'S OFFICE PLANS CHECK DIVISION
PERMIT NUMBER: 20-003939
APPROVED BY: [Signature]
APPROVED DATE: 09/08/20

APPROVED

SQFT: 11965 CONSTRUCTION TYPE: 2-B
GPM: 1500 NUMBER OF HYDRANTS: 1
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE REVIEW

GENERAL INFORMATION:
 THIS PROJECT INCLUDES THE CONSTRUCTION OF A 6,955 SF ADDITION TO THE JOAN JONES COMMUNITY CENTER AND ASSOCIATED SITE IMPROVEMENTS FOR THE CITY OF ALBUQUERQUE. THE TOTAL BUILDING WILL BE 11,965 SF.

PROJECT INFORMATION:
 JOAN JONES COMMUNITY CENTER
 3828 RINCON ROAD, NW
 ALBUQUERQUE, NM 87102

USE AND OCCUPANCY CLASSIFICATION
 OCCUPANCY GROUP: A-3

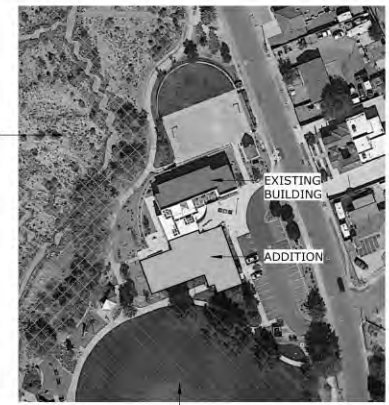
BUILDING CONSTRUCTION & HEIGHTS
 CONSTRUCTION TYPE: II-B, 1 STORY
 BUILDING HEIGHT: 30'-0"

FIRE PROTECTION SYSTEMS
 AN AUTOMATIC SPRINKLER SYSTEM WILL BE PROVIDED THROUGHOUT.

FIRE FLOW REQUIREMENTS
 REQUIRED FIRE FLOW: 900 GPM
 FIRE FLOW: 1,000 GPM
 2 EXISTING FIRE HYDRANTS @ 1,000 GPM

FIRE APPARATUS ACCESS ROAD
 IFC 503.1.1 - EXCEPTION 1: THE FIRE CODE OFFICIAL IS AUTHORIZED TO INCREASE THE 150' REQUIREMENT FOR ACCESS ROAD WHERE THESE CONDITIONS OCCUR:
 (1.1) THE BUILDING IS EQUIPPED THROUGHOUT WITH A SPRINKLER SYSTEM
 (1.2) ACCESS ROADS CANNOT BE INSTALLED BECAUSE OF LOCATION ON THE PROPERTY, TOPOGRAPHY, AND NON-NEGOTIABLE GRADES.

SEE AERIAL BELOW:



HILLSIDE

DETENTION POND @ TURF GRASS AREA

KEYNOTE LEGEND

02 00 00.101	EXISTING FIRE DEPARTMENT ACCESS
02 00 00.102	EXISTING DOUBLE-SWING PIPE GATE
02 00 00.103	EXISTING GATE MOUNTED KNOX BOX KEY VAULT
02 00 00.104	EXISTING FIRE HYDRANT
02 00 00.105	EXISTING ASPHALT PAVING AT DRIVE LANE/PARKING LOT - NO WORK IN THIS AREA
02 00 00.106	EXISTING PAINTED CURB - FIRE LANE
02 00 00.107	EXISTING POST INDICATOR VALVE
02 00 00.108	EXISTING FIRE DEPARTMENT CONNECTION (FDC) ON HOT BOX
02 00 00.109	EXISTING FIRE SPRINKLER RISER
02 00 00.110	EXISTING ADDRESS IDENTIFICATION - 10" HIGH LETTERS @ TOP OF WALL
02 00 00.111	EXISTING OPEN AIR SHADE CANOPY NO. 1
02 00 00.112	RELOCATED OPEN AIR SHADE CANOPY NO. 2
02 00 00.113	EXISTING FIRE ALARM CONTROL PANEL
10 00 00.KB3	KNOX BOX KEY VAULT, RECESSED TYPE. RELOCATE AS REQUIRED. COORDINATE EXACT INSTALL LOCATION WITH FIRE MARSHAL'S INSPECTOR.

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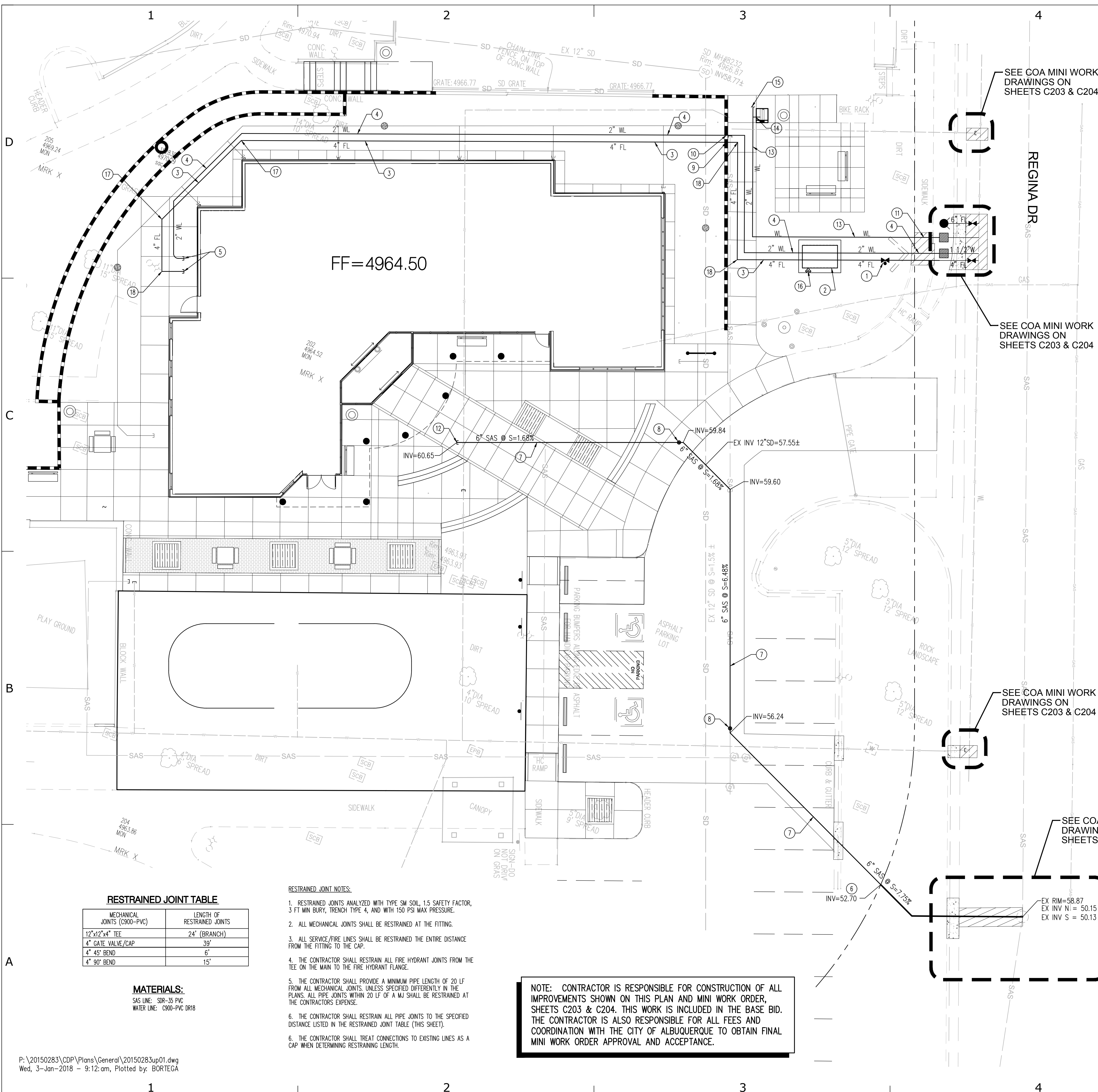
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 SHEET TITLE
FIRE 1 - SITE PLAN

DRAWING SHEET

FIRE1

A1 SITE PLAN - FIRE 1
 1/16" = 1'-0"

C:\Users\stafard\Documents\Arch\Local\Proj\2022_2019\Draws\albuq.nw



UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.
12. EXISTING UTILITY INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON RECORD DRAWING AND SURFACE EVIDENCE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES IN THE WORK AREA. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE VERIFIED PRIOR TO INSTALLATION OF NEW UTILITY SERVICES. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF THERE ARE SIGNIFICANT DISCREPANCIES IN HORIZONTAL LOCATION OR ELEVATION OF EXISTING UTILITIES.

UTILITY KEYED NOTES

1. INSTALL 4" GATE VALVE WITH POST INDICATOR PER DETAIL 1/C301.
2. INSTALL 2" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER & 4" FIRE REDUCED PRESSURE BACKFLOW PREVENTER IN SINGLE HEATED ENCLOSURE.
3. INSTALL 4" C900 DR-18 PVC FIRE LINE.
4. INSTALL 2" DOMESTIC WATER SERVICE LINE.
5. INSTALL SERVICE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
6. CONNECT TO 6" SANITARY SEWER STUB OUT.
7. INSTALL 6" SRD-35 PVC SANITARY SEWER SERVICE LINE. SEE PLAN FOR SLOPE.
8. INSTALL SANITARY SEWER CLEANOUT PER DETAIL 2/C301.
9. INSTALL WATER SERVICE LINE IN 4" STEEL SLEEVE UNDER RETAINING WALL.
10. INSTALL FIRE LINE IN 8" STEEL SLEEVE UNDER RETAINING WALL.
11. REMOVE & REPLACE EXISTING CONCRETE SIDEWALK & HEADER CURBS TO NEAREST JOINTS FOR UTILITY TRENCH.
12. SEE PLUMBING PLANS FOR CONTINUATION.
13. INSTALL WATER SERVICE LINE, MATCH EXISTING METER SIZE.
14. CONNECT NEW WATER FOUNTAIN WITH 3/4" WATER LINE.
15. CONNECT TO EXISTING WATER SERVICE LINE.
16. REMOVE FIRE DEPARTMENT CONNECTION (FDC) AND CHECK VALVE TO BE INSTALLED DOWNSTREAM OF THE 4" REDUCED PRESSURE BACKFLOW PREVENTION DEVICE AND MOUNTED TO THE HEATED ENCLOSURE. FDC SHALL HAVE CLEAR ACCESS TO SITE FIRE HYDRANT. FDC SHALL BE POLISHED CHROME. EXPOSED BRASS IS NOT AN ACCEPTABLE MATERIAL.
17. INSTALL 45° BEND WITH RESTRAINED JOINTS.
18. INSTALL 90° BEND WITH RESTRAINED JOINTS.

LEGEND

- SAS --- EXISTING SANITARY SEWER
- W --- EXISTING WATER LINE
- SD --- EXISTING STORM DRAIN
- G --- EXISTING GAS LINE
- EXISTING WATER METER
- EXISTING CAP
- ⊗ EXISTING VALVE
- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING SANITARY SEWER MANHOLE
- ⊗ EXISTING STORM DRAIN MANHOLE
- EXISTING INLET
- SAS --- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED CLEANOUT
- WL --- PROPOSED WATER LINE
- FL --- PROPOSED FIRE LINE
- PROPOSED HYDRANT
- PROPOSED CAP
- PROPOSED WATER METER

RESTRAINED JOINT TABLE

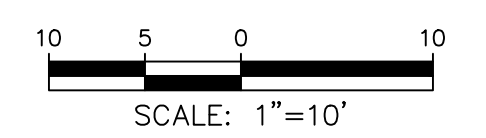
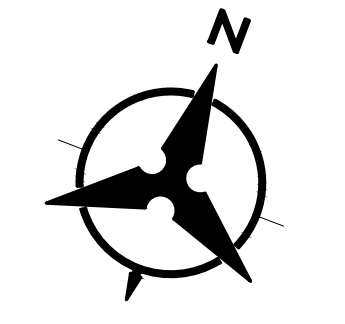
MECHANICAL JOINTS (C900-PVC)	LENGTH OF RESTRAINED JOINTS
12"x12"x4" TEE	24" (BRANCH)
4" GATE VALVE/CAP	39"
4" 45° BEND	6'
4" 90° BEND	15'

MATERIALS:
 SAS LINE: SDR-35 PVC
 WATER LINE: C900-PVC DR18

RESTRAINED JOINT NOTES:

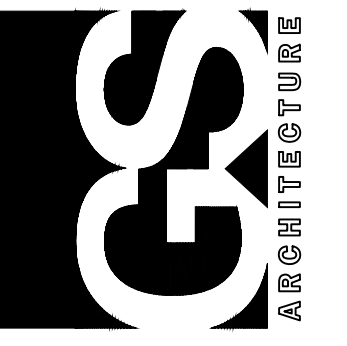
1. RESTRAINED JOINTS ANALYZED WITH TYPE SM SOIL, 1.5 SAFETY FACTOR, 3 FT MIN BURY, TRENCH TYPE 4, AND WITH 150 PSI MAX PRESSURE.
2. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
3. ALL SERVICE/FIRE LINES SHALL BE RESTRAINED THE ENTIRE DISTANCE FROM THE FITTING TO THE CAP.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
5. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS, UNLESS SPECIFIED DIFFERENTLY IN THE PLANS. ALL PIPE JOINTS WITHIN 20 LF OF A MJ SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS TO THE SPECIFIED DISTANCE LISTED IN THE RESTRAINED JOINT TABLE (THIS SHEET).
6. THE CONTRACTOR SHALL TREAT CONNECTIONS TO EXISTING LINES AS A CAP WHEN DETERMINING RESTRAINING LENGTH.

NOTE: CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF ALL IMPROVEMENTS SHOWN ON THIS PLAN AND MINI WORK ORDER, SHEETS C203 & C204. THIS WORK IS INCLUDED IN THE BASE BID. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL FEES AND COORDINATION WITH THE CITY OF ALBUQUERQUE TO OBTAIN FINAL MINI WORK ORDER APPROVAL AND ACCEPTANCE.



Bohannon & Huston
 www.bhinc.com 800.877.5332

GREER STAFFORD/SJCF ARCHITECTURE, INC.
 1717 LOUISIANA NE, SUITE 205
 ALBUQUERQUE, NM 87110-7027
 (505) 881-0835 • FAX: (505) 881-0848
 3005 NORTHBRIDGE DR., SUITE F
 FARMINGTON, NM 87401-3085
 (505) 882-7475 • FAX: (505) 882-4464



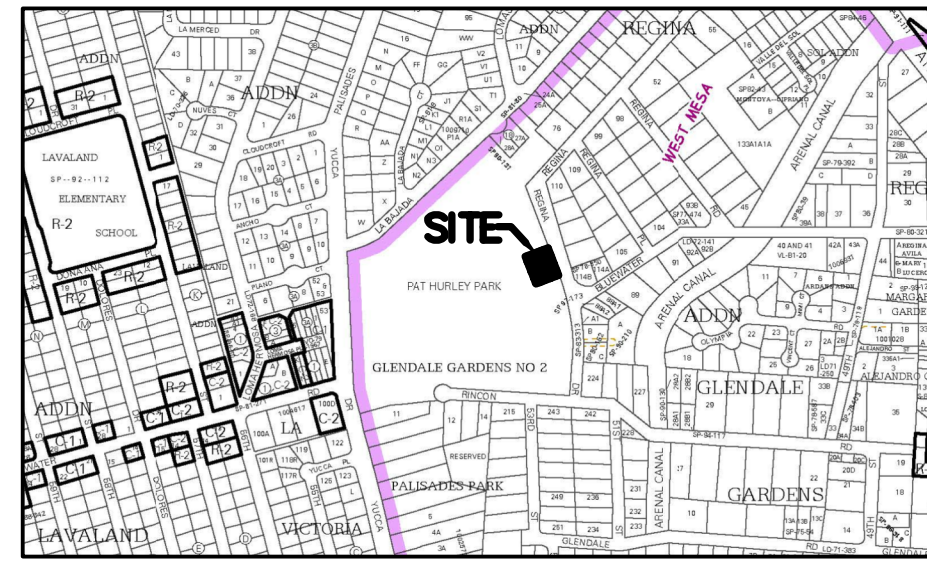
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED, AND DATED BELOW

**PAT HURLEY COMMUNITY CENTER
 CITY OF ALBUQUERQUE DMD**
 3828 RINCON ROAD, NW ALBUQUERQUE, NM 87102

PROJECT NO: 5239-01
DRAWN BY: BO
CHECKED BY: GSB
GREER STAFFORD/SJCF ARCHITECTURE
SHEET TITLE
UTILITY PLAN

DRAWING SHEET
C202

**WATER UTILITY AUTHORITY
PUBLIC INFRASTRUCTURE INSTALLATION**



VICINITY MAP

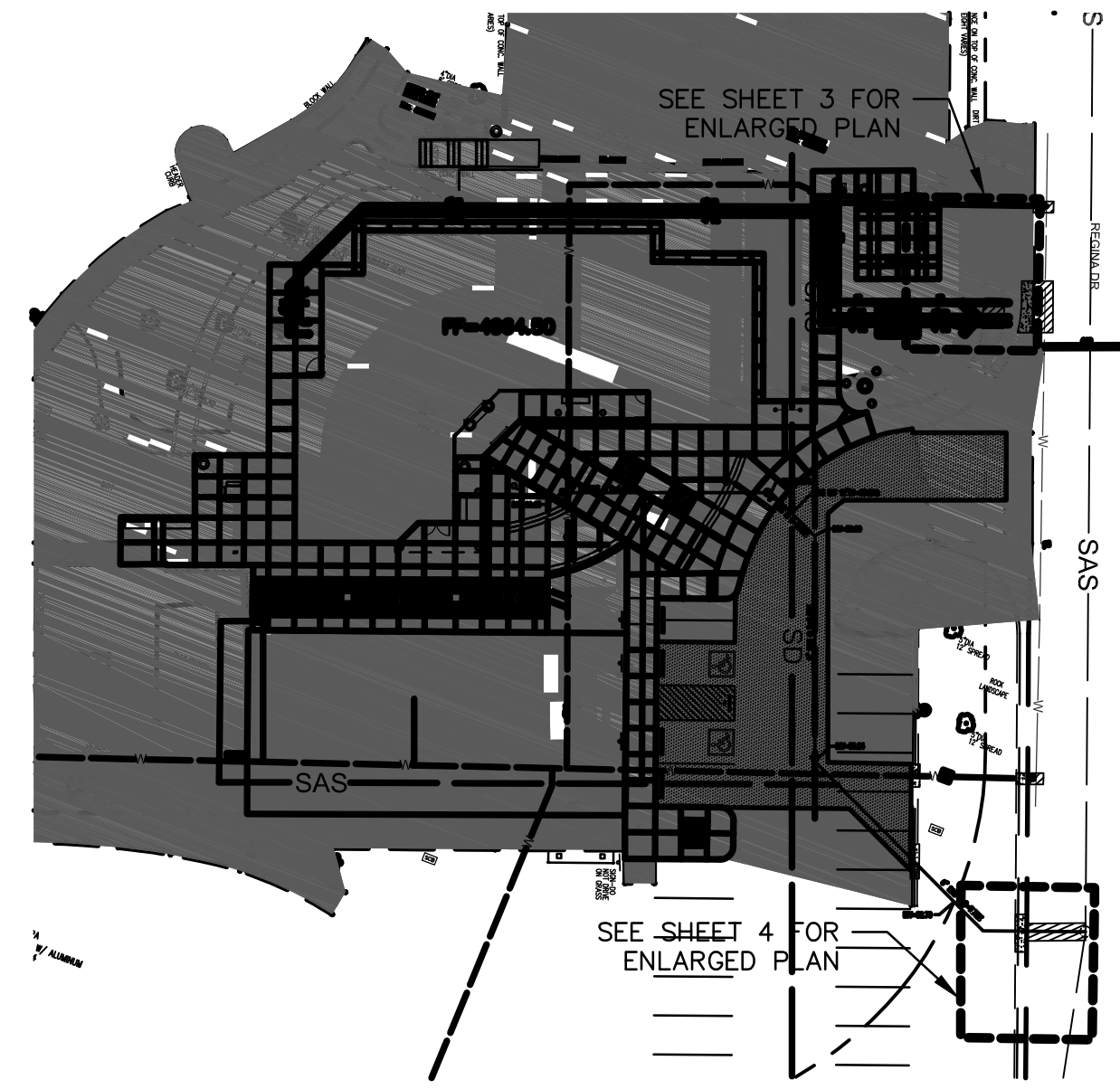
LEGAL DESCRIPTION OF PROPERTY AND ADDRESS:
PAT HURLEY PARK & LOTS 216 THRU 222 & WESTERLY PORTION OF LOT 223
GLENDALE GARDEN ADDITION EXCEPT LOTS 27A & 28A OF THE PALISADES
3828 RINCON NW 87105, ALBUQUERQUE, NM 87105

NOTICE TO CONTRACTORS

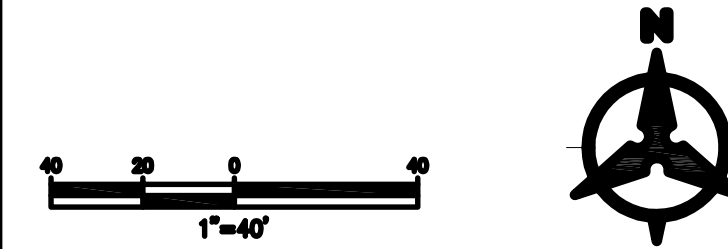
1. An excavation/barricade permit will be required before beginning any work within City, County, or Village right-of-way. An approved copy of these plans must be submitted at the time of application for these permits.
2. All work detailed on these plans to be done, except as otherwise stated or provided hereon, will be constructed in accordance with "City of Albuquerque Interim Standard Specification for Public Works Construction, 1986," latest revision.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call System, Inc., 260-1990, for location of existing utilities.
4. Prior to construction, the contractor will excavate and verify the horizontal and vertical locations of all construction. Should a conflict exist, the contractor will notify the Construction Engineer so that the conflict can be resolved with a minimum amount of delay.
5. The contractor will be responsible for coordinating the water shutoff with the Water Authority seven (7) working days prior to construction.
6. The contractor will be responsible for performing soil density tests as required

APPROVALS FOR	NAME	DATE	TITLE OF PROJECT:
DESIGN UTILITY DEVELOPMENT			PAT HURLEY COMMUNITY CENTER CITY OF ALBUQUERQUE DMD
CONSTRUCTION ENGINEER			
ACCEPTANCE CONSTRUCTION INSPECTOR			
			PROJECT NO. _____ ZONE ATLAS SHEET 1 OF 6 J-11

**WATER UTILITY AUTHORITY
PUBLIC INFRASTRUCTURE SITE DETAIL**

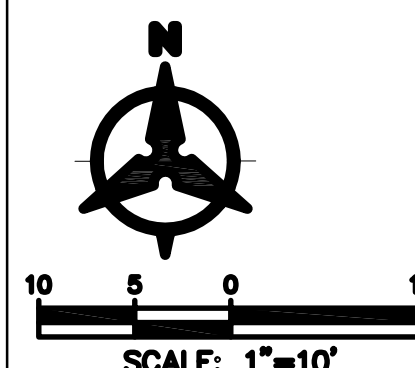
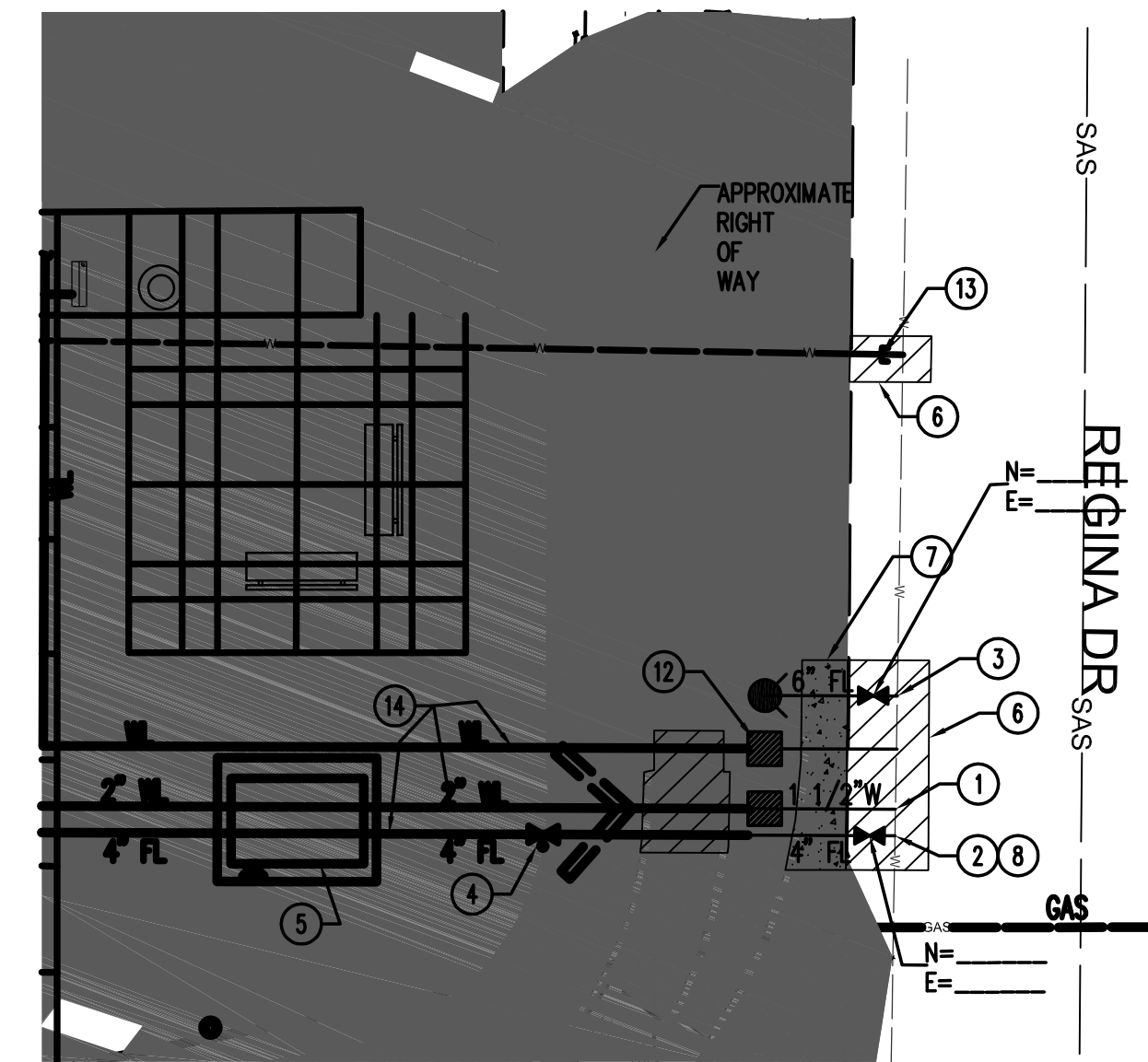


DESIGN ENGINEER: GLENN BROUGHTON, P.E. BOHANNAN HUSTON INC. 7500 JEFFERSON NE ALBUQUERQUE, NM 87109 505-823-1000
OWNER: JESS MARTINEZ-DIVISION MANAGER COA COMMUNITY RECREATION EDUCATIONS INITIATIVE 700 FOURTH ST NW SUITE B ALBUQUERQUE, NM 87102 505-767-5886
CONTRACTOR: ANTONIO GARCIA-VP OF OPERATIONS T.A. COLE & SONS P.O. BOX 10660 ALBUQUERQUE, NM 87184 505-461-4655



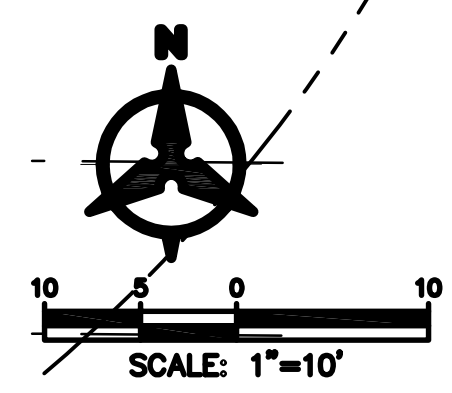
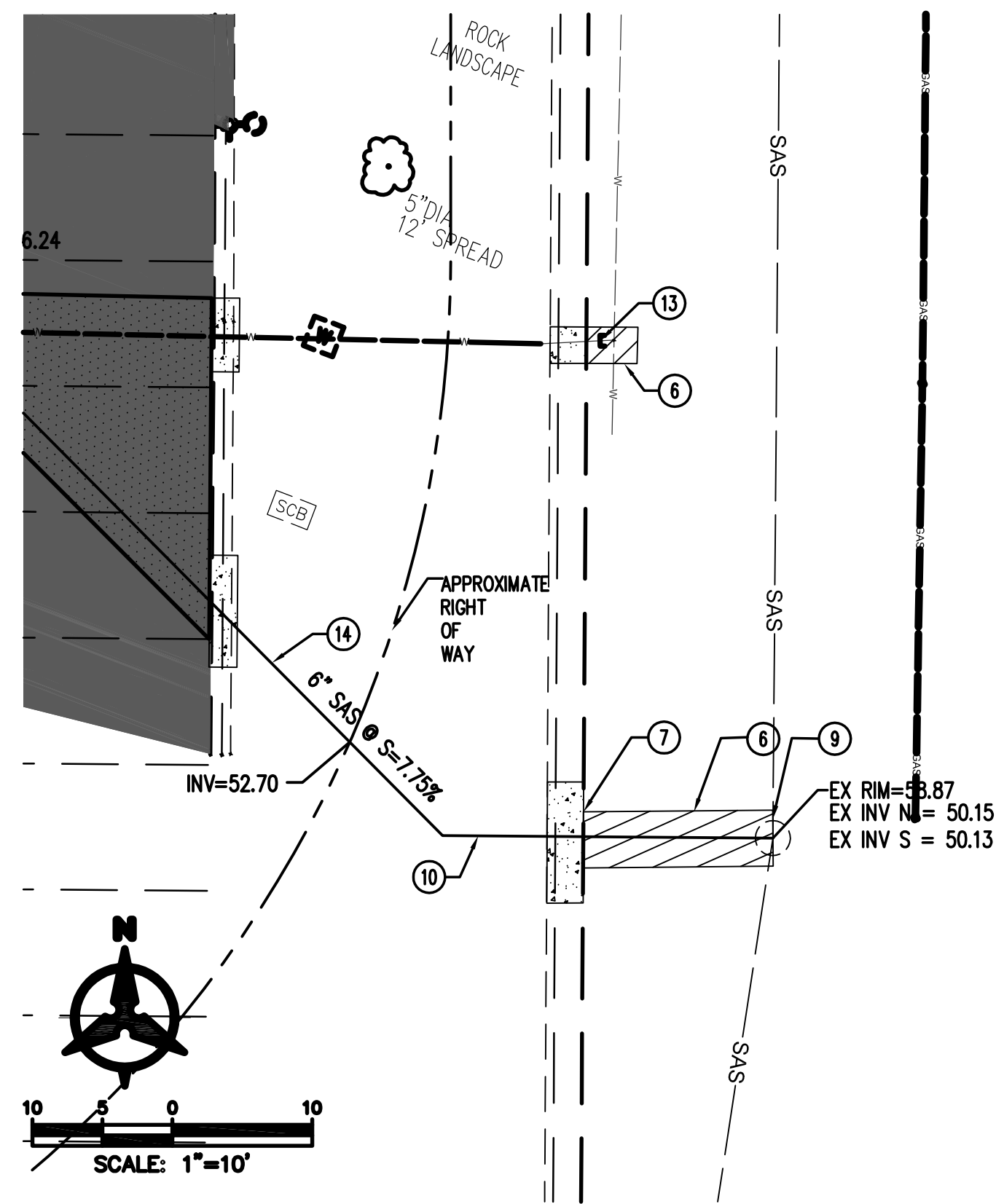
PROJECT NO. _____	ZONE ATLAS _____	TITLE: PAT HURLEY COMMUNITY CENTER CITY OF ALBUQUERQUE DMD
SHEET 2 OF 6		

**WATER UTILITY AUTHORITY
PUBLIC INFRASTRUCTURE SITE DETAIL**



PROJECT NO. _____	ZONE ATLAS _____	TITLE: PAT HURLEY COMMUNITY CENTER CITY OF ALBUQUERQUE DMD
SHEET 3 OF 6	J-11	

**WATER UTILITY AUTHORITY
PUBLIC INFRASTRUCTURE SITE DETAIL**



PROJECT NO. _____	ZONE ATLAS _____	TITLE: PAT HURLEY COMMUNITY CENTER CITY OF ALBUQUERQUE DMD
SHEET 4 OF 6	J-11	

**WATER UTILITY AUTHORITY
PUBLIC INFRASTRUCTURE KEYED NOTES**

○ UTILITY KEYED NOTES

1. INSTALL 1 1/2" DOMESTIC WATER SERVICE PER COA STD DWG 2363 WITH METER BOX & COVER PER COA STD DWG 2367.
2. CONNECT TO EXISTING 12" WATER LINE. INSTALL 12"x12"x4" TEE (NON-PRESSURE CONNECTION) & 4" GATE VALVE WITH BOX & LID PER COA STD DWG 2326. CONTRACTOR TO VERIFY EXACT LOCATION OF EXISTING WATER LINE.
3. INSTALL 12"x12"x6" TEE (NON-PRESSURE CONNECTION), 6" GATE VALVE WITH BOX & LID PER COA STD DWG 2326 AND 1-FIRE HYDRANT COMPLETE PER COA STD DWG 2340.
4. PRIVATE 4" GATE VALVE & PIV TO BE INSTALLED WITH PUBLIC INFRASTRUCTURE CONSTRUCTION.
5. 2" DOMESTIC WATER & 4" FIRE REDUCED PRESSURE BACKFLOW PREVENTERS IN SINGLE HEATED ENCLOSURE, TO BE INSTALLED WITH ON-SITE UTILITY CONSTRUCTION.
6. SAW-CUT, REMOVE & REPLACE EXISTING ASPHALT PAVEMENT. PAVEMENT REPLACEMENT SHALL BE PER COA STD DWG 2465.
7. REMOVE & REPLACE EXISTING STANDARD CURB & GUTTER PER COA STD DWG 2415A. MATCH EXISTING.
8. INSTALL 4" C900 DR18 PVC CLASS 150 FIRE LINE WITH RESTRAINED JOINTS. PROVIDE 3" MINIMUM COVER.
9. CONNECT TO EXISTING SANITARY SEWER MAN HOLE PER COA STD DWG 2118. CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH OF EXISTING SANITARY SEWER MAN HOLE AND CONTACT ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES.
10. INSTALL 6" SDR-35 PVC SANITARY SEWER SERVICE LINE. SEE PLAN FOR SLOPE.
11. TRACER WIRE SHALL BE INSTALLED ON ALL PUBLIC INFRASTRUCTURE LINES
12. INSTALL 3/4" DOMESTIC WATER SERVICE PER COA STD DWG 2362 WITH METER BOX & COVER PER COA STD DWG 2367
13. CAP EXISTING WATER SERVICE LINE AT MAIN.
14. PRIVATE UTILITIES TO BE INSTALLED WITH ONSITE CONSTRUCTION

DESIGN ENGINEER: GLENN BROUGHTON, P.E. BOHANNAN HUSTON INC. 7500 JEFFERSON NE ALBUQUERQUE, NM 87109 505-823-1000
OWNER: JESS MARTINEZ-DIVISION MANAGER COA COMMUNITY RECREATION EDUCATIONS INITIATIVE 700 FOURTH ST NW SUITE B ALBUQUERQUE, NM 87102 505-767-5886
CONTRACTOR: ANTONIO GARCIA-VP OF OPERATIONS T.A. COLE & SONS P.O. BOX 10660 ALBUQUERQUE, NM 87184 505-461-4655

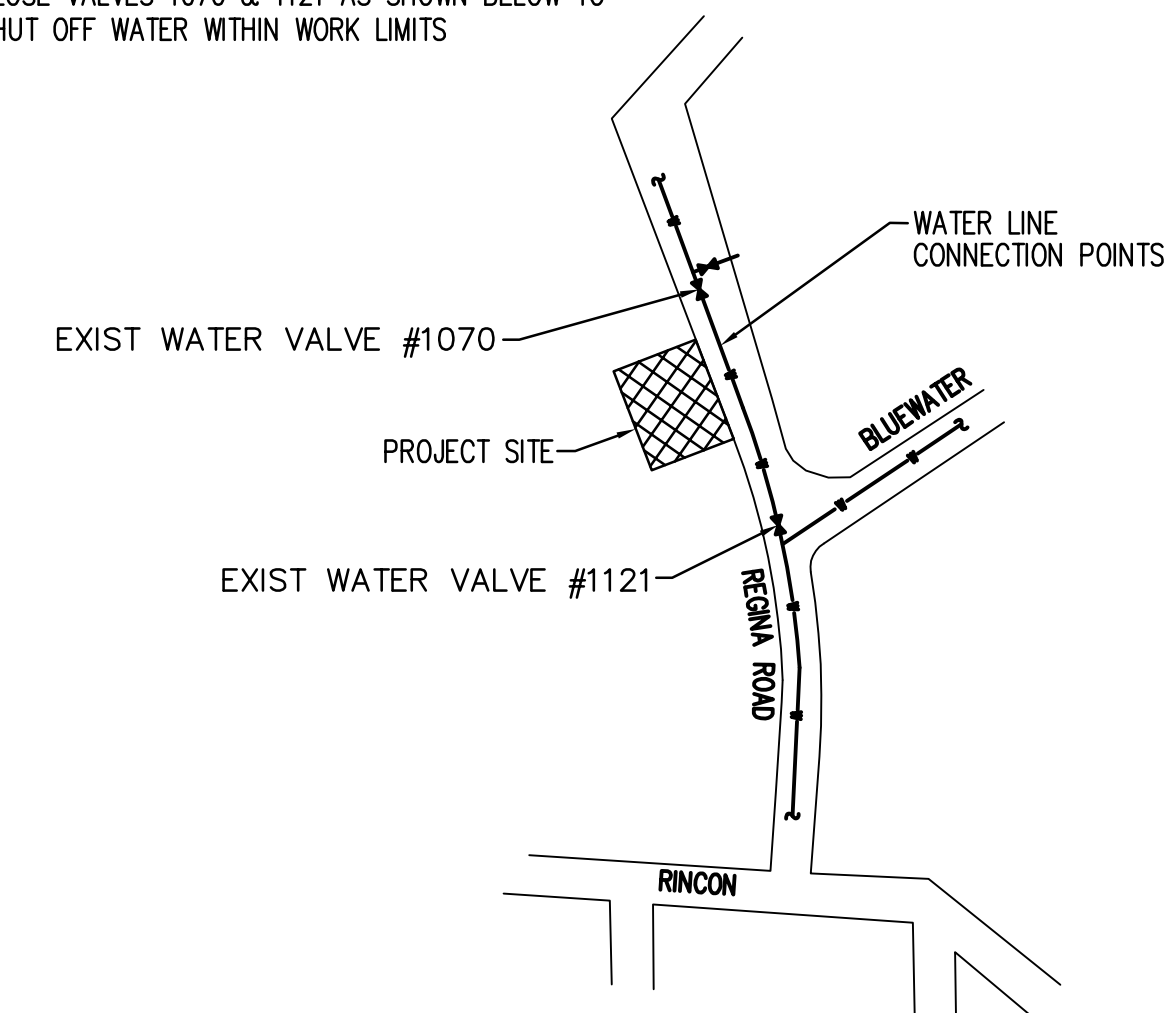
PROJECT NO. _____	ZONE ATLAS _____	TITLE: PAT HURLEY COMMUNITY CENTER CITY OF ALBUQUERQUE DMD
SHEET 5 OF 6	J-11	

**WATER UTILITY AUTHORITY
EMERGENCY WATER SHUT OFF PLAN**

WATER SHUT-OFF REQUIREMENTS:

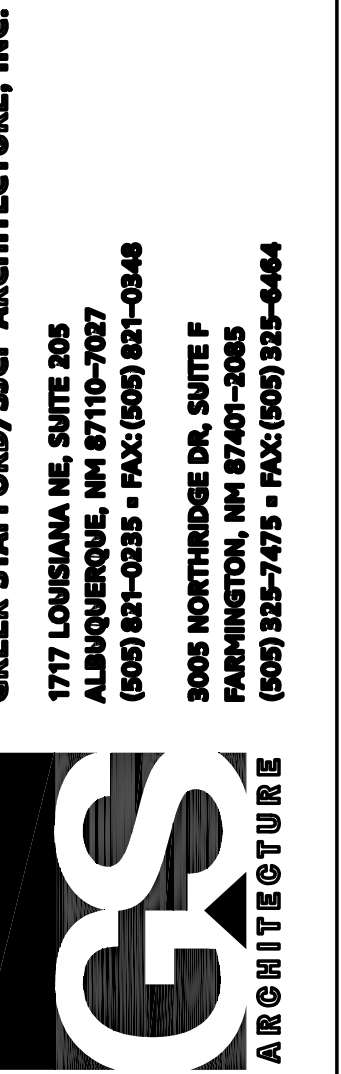
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN(7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE AT:
[HTTP://WWW.ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://www.abcwua.org/water_shut_off_and_turn_on_procedures.aspx)

CLOSE VALVES 1070 & 1121 AS SHOWN BELOW TO SHUT OFF WATER WITHIN WORK LIMITS



NOTE: CONTRACTOR SHALL COORDINATE WITH THE ABCWUA. CONTRACTOR SHALL COMPLETE ALL SUBMITTALS FOR MATERIALS SHOWN ON THIS SHEET. CONTRACTOR SHALL ALSO PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "MINI WORK ORDER" REQUIRED TO TAP THE EXISTING PUBLIC WATER MAIN.

PROJECT NO. _____	ZONE ATLAS _____	TITLE: PAT HURLEY COMMUNITY CENTER CITY OF ALBUQUERQUE DMD
SHEET 6 OF 6	J-11	



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PAT HURLEY COMMUNITY CENTER
CITY OF ALBUQUERQUE DMD
3828 RINCON ROAD, NW ALBUQUERQUE, NM 87102

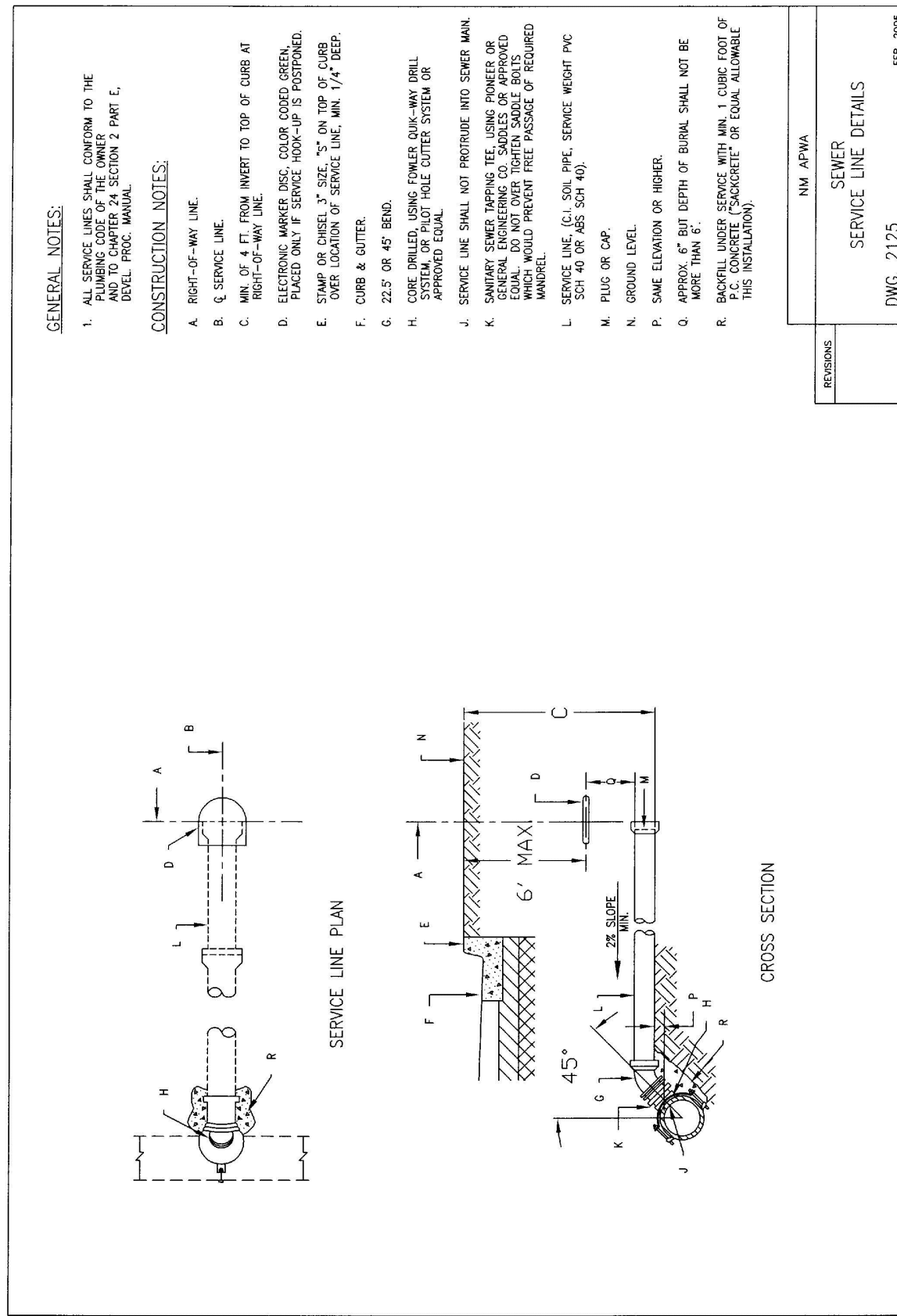
PROJECT NO: 5239.01
DRAWN BY: BO
CHECKED BY: GSB
GREER STAFFORD/SJCF ARCHITECTURE
SHEET TITLE
UTILITY PLAN

PROJECT NO: 5239.01
DRAWN BY: BO
CHECKED BY: GSB
GREER STAFFORD/SJCF ARCHITECTURE
SHEET TITLE
UTILITY PLAN

DRAWING SHEET

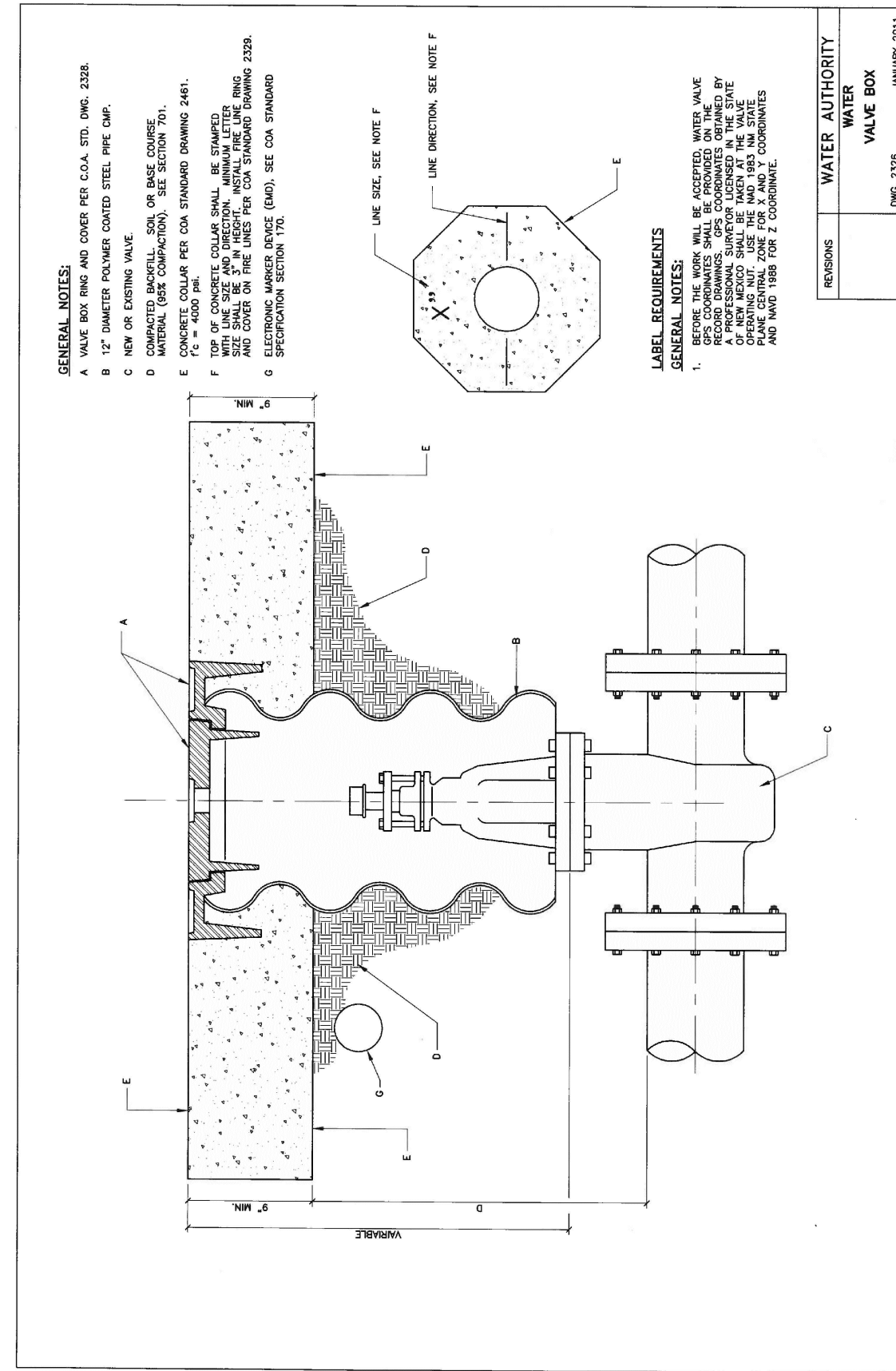
C203

WATER UTILITY AUTHORITY COA STD DWG 2125



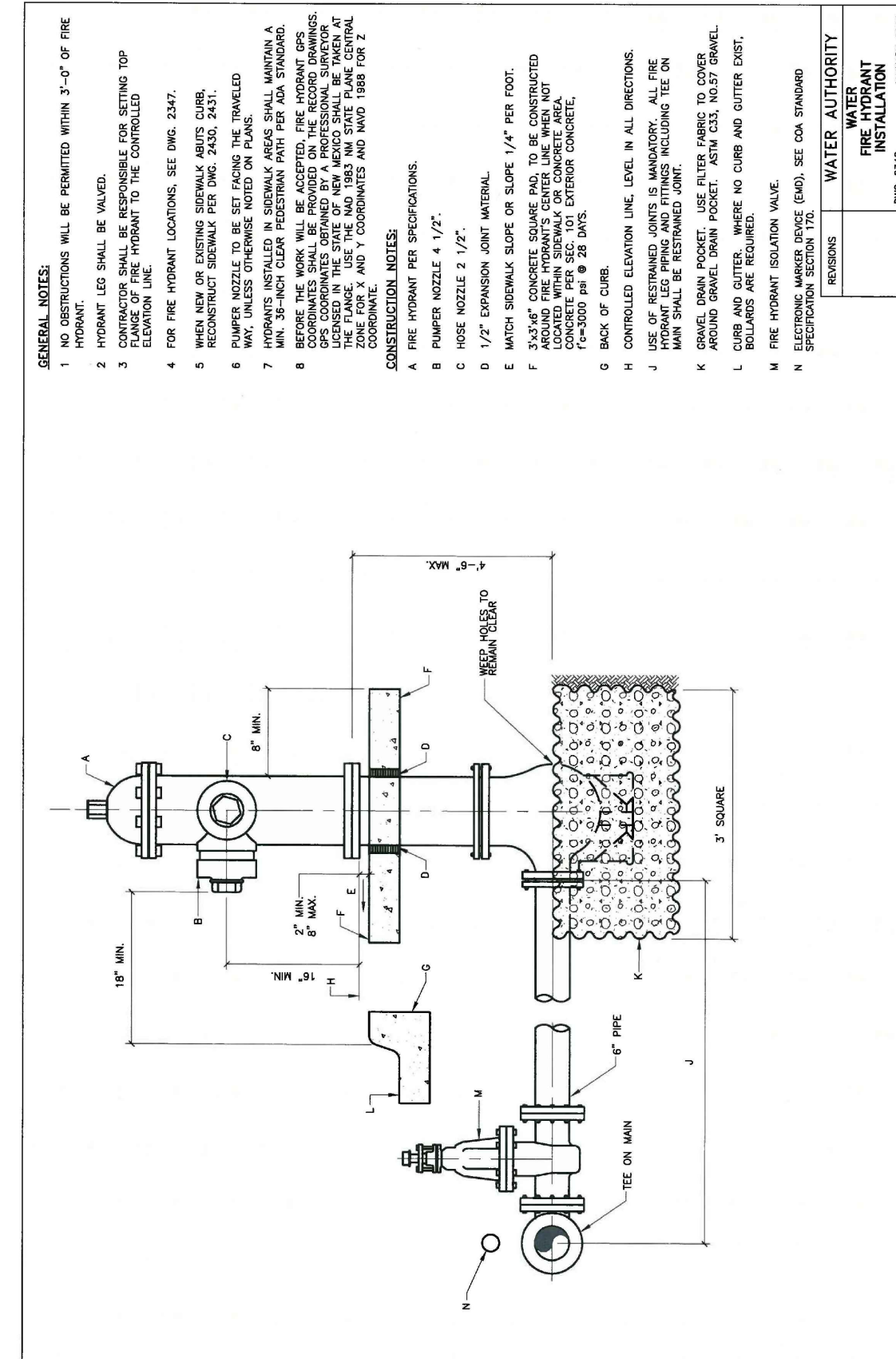
PROJECT NO. _____ ZONE ATLAS TITLE: PAT HURLEY COMMUNITY CENTER
SHEET 7 OF 12 J-11 CITY OF ALBUQUERQUE DMD
20150283 Mini Work Order.dwg

WATER UTILITY AUTHORITY COA STD DWG 2326



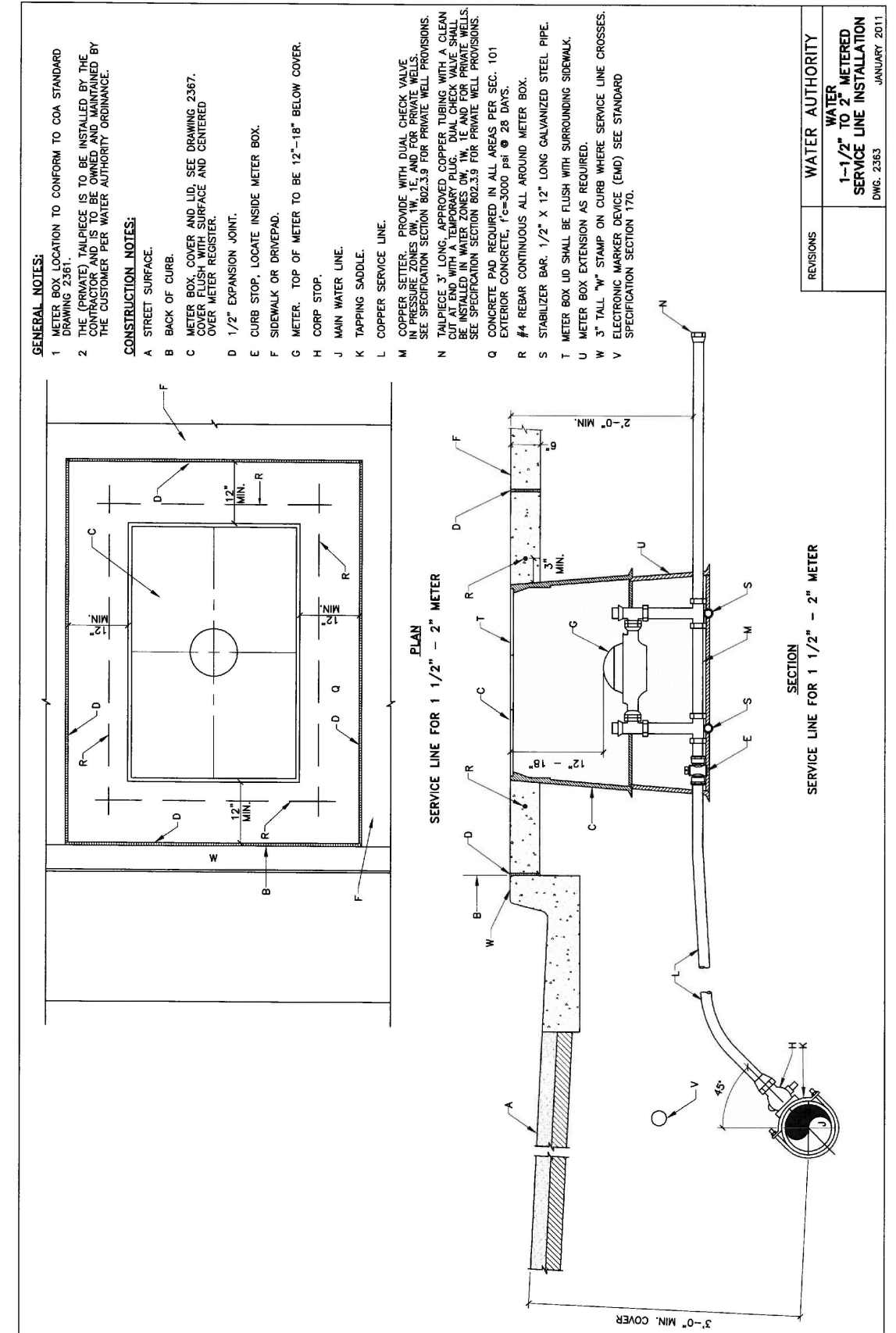
PROJECT NO. _____ ZONE ATLAS TITLE: PAT HURLEY COMMUNITY CENTER
SHEET 8 OF 12 J-11 CITY OF ALBUQUERQUE DMD
20150283 Mini Work Order.dwg

WATER UTILITY AUTHORITY COA STD DWG 2340



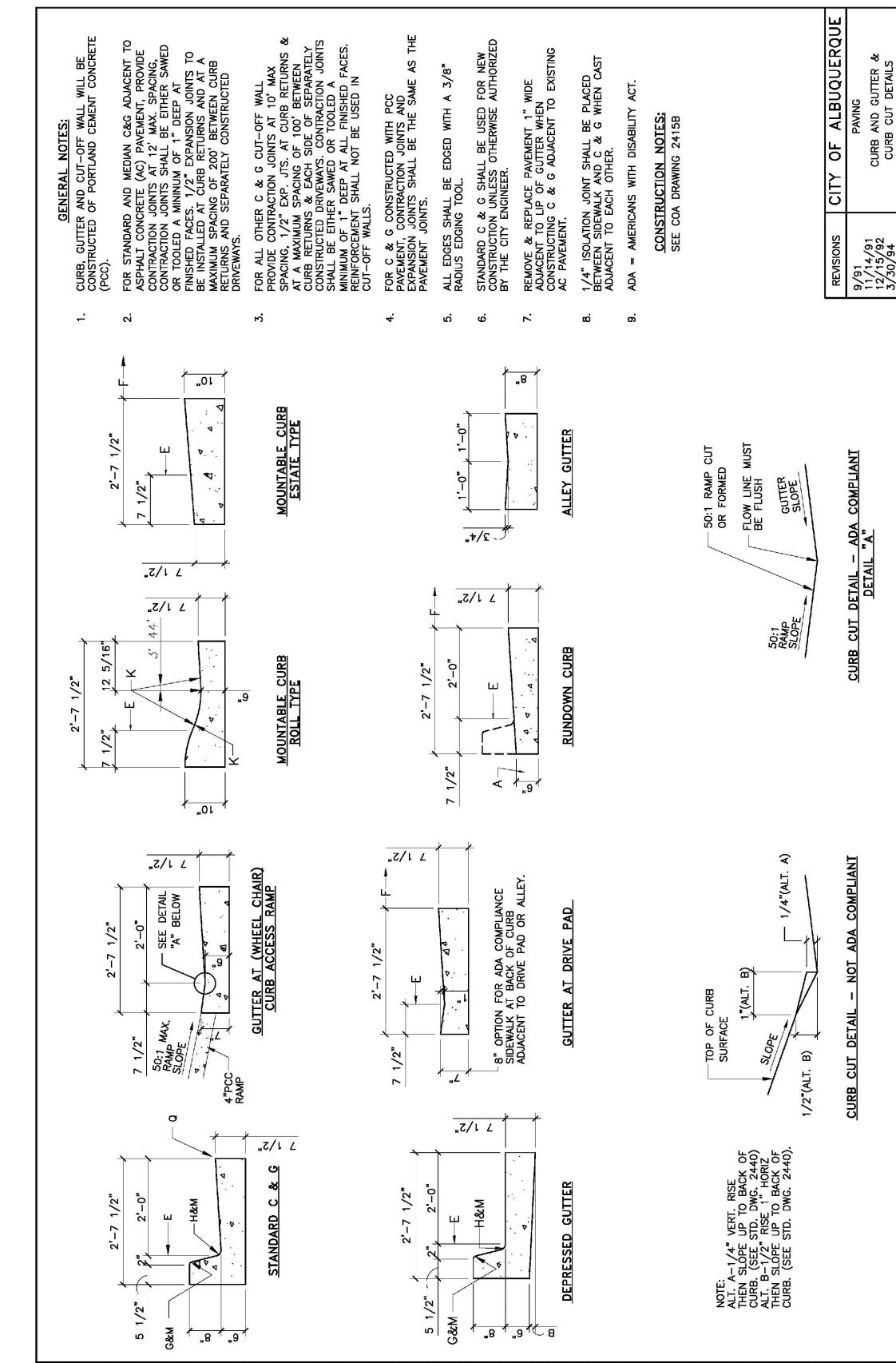
PROJECT NO. _____ ZONE ATLAS TITLE: PAT HURLEY COMMUNITY CENTER
SHEET 9 OF 12 J-11 CITY OF ALBUQUERQUE DMD
20150283 Mini Work Order.dwg

WATER UTILITY AUTHORITY COA STD DWG 2363



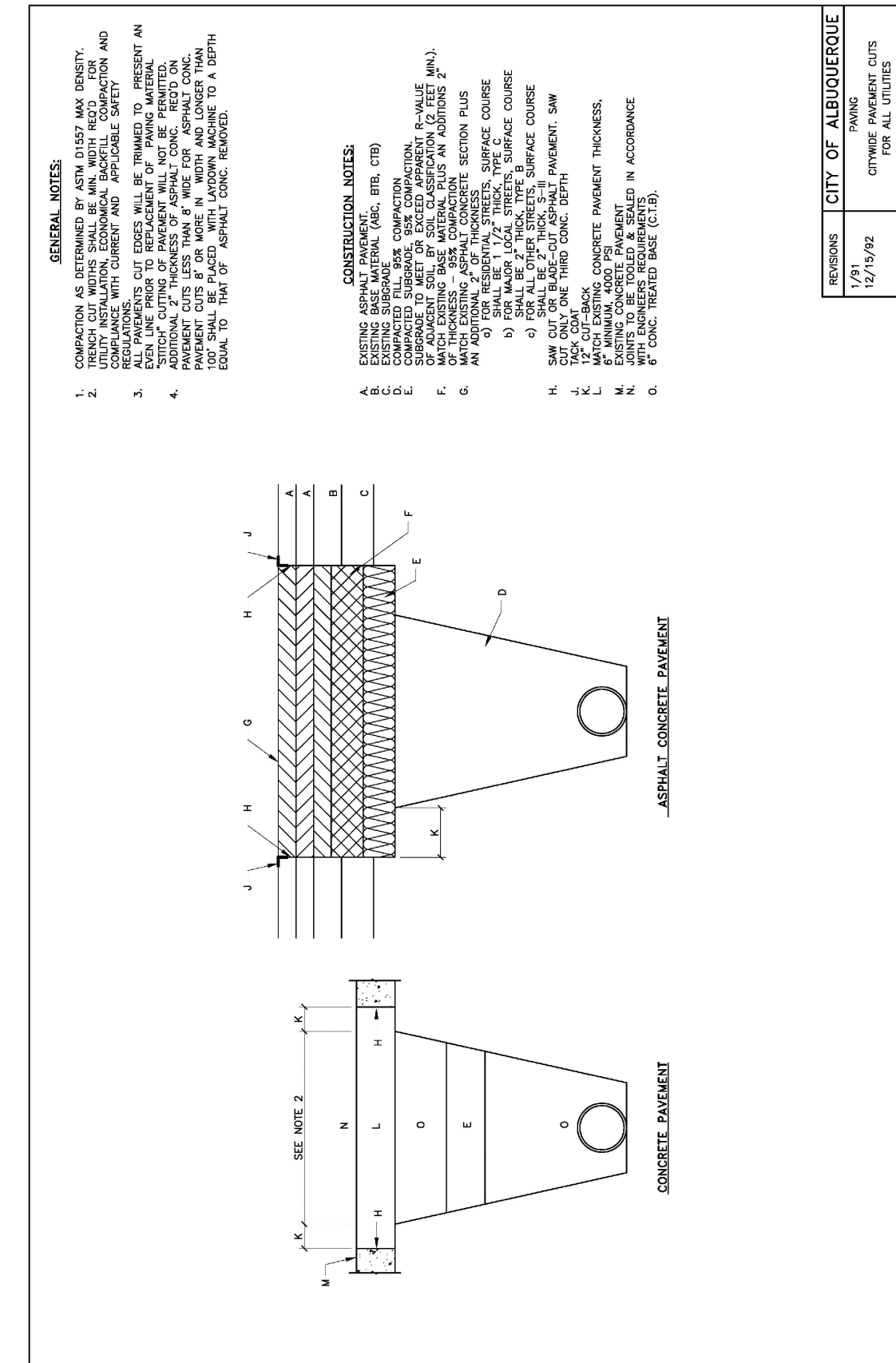
PROJECT NO. _____ ZONE ATLAS TITLE: PAT HURLEY COMMUNITY CENTER
SHEET 10 OF 12 J-11 CITY OF ALBUQUERQUE DMD
20150283 Mini Work Order.dwg

WATER UTILITY AUTHORITY COA STD DWG 2415A



PROJECT NO. _____ ZONE ATLAS TITLE: PAT HURLEY COMMUNITY CENTER
SHEET 11 OF 6 J-11 CITY OF ALBUQUERQUE DMD
20150283 Mini Work Order.dwg

WATER UTILITY AUTHORITY COA STD DWG 2465




PROJECT NO. _____ ZONE ATLAS TITLE: PAT HURLEY COMMUNITY CENTER
SHEET 12 OF 12 J-11 CITY OF ALBUQUERQUE DMD
20150283 Mini Work Order.dwg

AT HURLEY COMMUNITY CENTER CITY OF ALBUQUERQUE DMD
MINI WORK ORDER
COA PROJECT 853

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORKED BY	DATE	COA SURVEY CONTROL MONUMENT "20-J11 1989"					
ACCEPTANCE BY	DATE	3 1/4 INCH ALUMINUM DISC SET FLUSH IN TOP OF CURB					
VERIFICATION BY	DATE	LOCATED NORTH OF ATRISCO ROAD AND VISTA GRANDE DRIVE					
DRAWINGS CHECKED BY	DATE	ELEVATION = 5093.60 (NAVD 88)					
CHECKED BY	DATE	(THERE WAS AN OBSERVED DIFFERENCE IN THE PUBLISHED					
MICRO-FILM INFORMATION		VERSUS OBSERVED VALUES FOR THE MONUMENT)					
RECORDED BY	DATE						
NO.							

FOR INFORMATION ONLY

FOR INFORMATION ONLY



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PAT HURLEY COMMUNITY CENTER - CITY OF ALBUQUERQUE DMD
UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.
LAST DESIGN UPDATE		MO./DAY/YR.
CITY PROJECT NO. 853	ZONE MAP NO. J-11-Z	SHEET 2 OF 2

DESIGNED BY GSB DATE 04/2016
 DRAWN BY BO DATE 04/2016
 CHECKED BY GSB DATE 04/2016