



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>SUBDIVISIONS</b>	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2A)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Form S1)	<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Minor - Final Plat (Form S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
<b>SITE PLANS</b>	<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

**BRIEF DESCRIPTION OF REQUEST**  
 Site Plan - DRB for a new electric utility substation on an approximately 21-acre easement of the Sunport at the NE corner of University Blvd and Sunport Blvd SE per EPC condition of approval for PR-2020-004447/SI-2020-01023, as determined by ZEO.

<b>APPLICATION INFORMATION</b>		
Applicant: Public Service Company of New Mexico (PNM)		Phone: 505.241.2798
Address: 2401 Aztec Rd NE		Email: Russell.Brito@pnm.com
City: Albuquerque	State: NM	Zip: 87107
Professional/Agent (if any): AECOM		Phone: 505.855.7500
Address: 6501 Americas Parkway NE, Ste 900		Email: Scott.Medina@AECOM.com
City: Albuquerque	State: NM	Zip: 87110
Proprietary Interest in Site: Permanent Easement granted to PNM	List all owners: City of Albuquerque (Aviation Department)	
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: 20.88-acre easement on Tract A-1	Block:	Unit:
Subdivision/Addition: Sunport Municipal Addition	MRGCD Map No.:	UPC Code: 101605420230220101
Zone Atlas Page(s): M-15	Existing Zoning: NR-SU	Proposed Zoning NR-SU
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 20.88
<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: 2200 Sunport Blvd SE	Between: University Blvd SE	and: Yale Blvd SE
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		
PR-2020-004447 / SI-2020-01023		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: <i>R Brito</i>		Date: 02 November 2021			
Printed Name: Russell Brito		<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent			
<b>FOR OFFICIAL USE ONLY</b>					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:			Fee Total:		
Staff Signature:		Date:	Project #		

**FORM P2: SITE PLAN – DRB**

**Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

**SITE PLAN – DRB**

**MAJOR AMENDMENT TO SITE PLAN – DRB**

**EXTENSION OF SITE PLAN – DRB**

n/a Interpreter Needed for Hearing? \_\_\_\_ if yes, indicate language: \_\_\_\_\_

PDF of application as described above

Zone Atlas map with the entire site clearly outlined and labeled

n/a Letter of authorization from the property owner if application is submitted by an agent

Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)

Signed Traffic Impact Study (TIS) Form

Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (*not required for Extension*)

Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)(3)

n/a Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

*Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.*

Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (*not required for Extension*)

Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) (*not required for extension*)

Office of Neighborhood Coordination neighborhood meeting inquiry response

Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

Completed neighborhood meeting request form(s)

n/a If a meeting was requested or held, copy of sign-in sheet and meeting notes (*no meeting requested*)

Sign Posting Agreement

Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)

Office of Neighborhood Coordination notice inquiry response

Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

Proof of emailed notice to affected Neighborhood Association representatives

Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

Completed Site Plan Checklist

Site Plan and related drawings

n/a Copy of the original approved Site Plan or Master Development Plan (*for amendments and extensions*)


Site Plan and related drawings

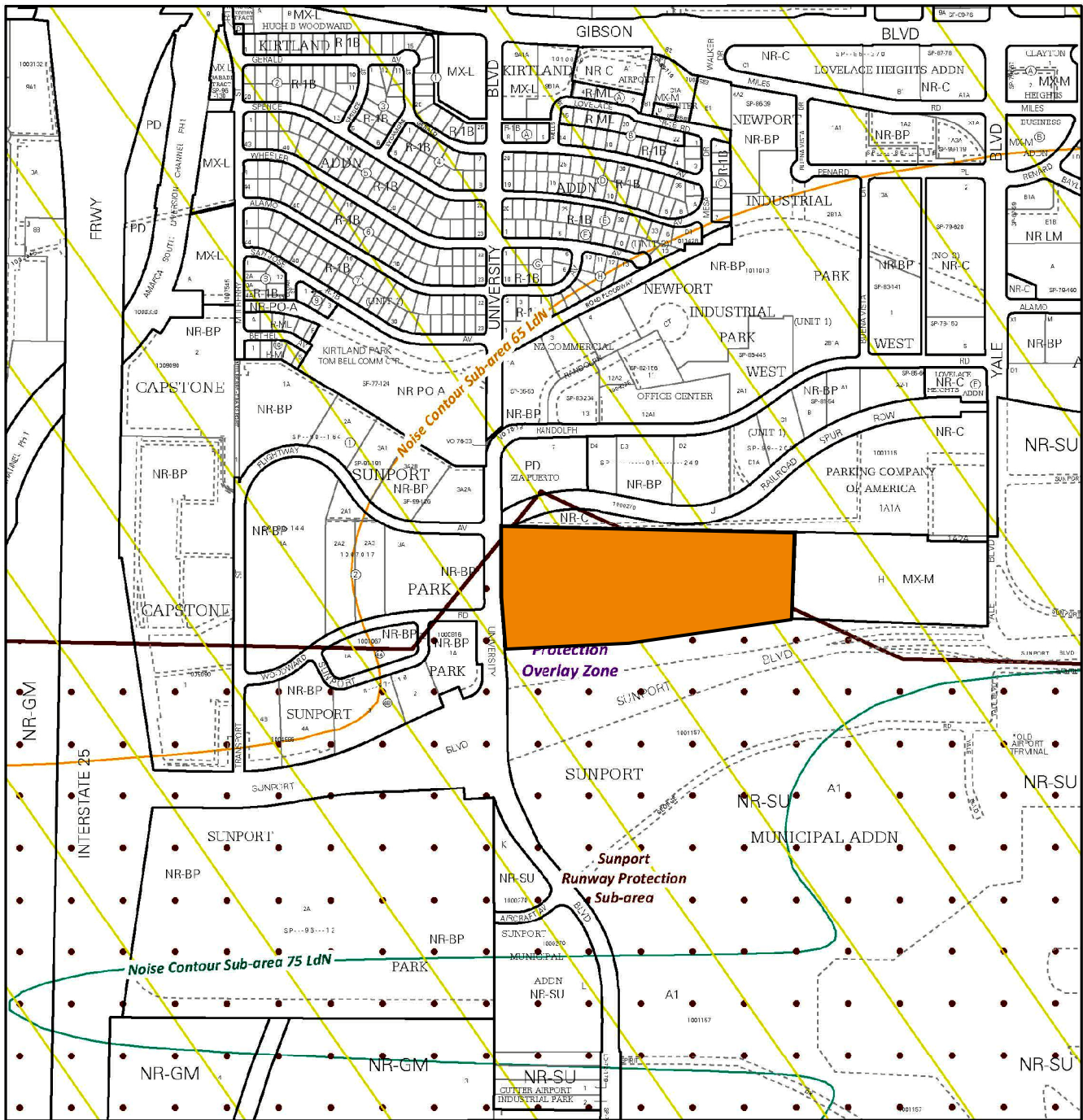
Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)

n/a Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units (*no buildings, electric utility use*)

Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2.) (d.) if site is within a designated landfill buffer zone

n/a Infrastructure List, if required

<b><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i></b>	
Signature: <i>R Brito</i>	Date: 02 November 2021
Printed Name: Russell Brito, PNM	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

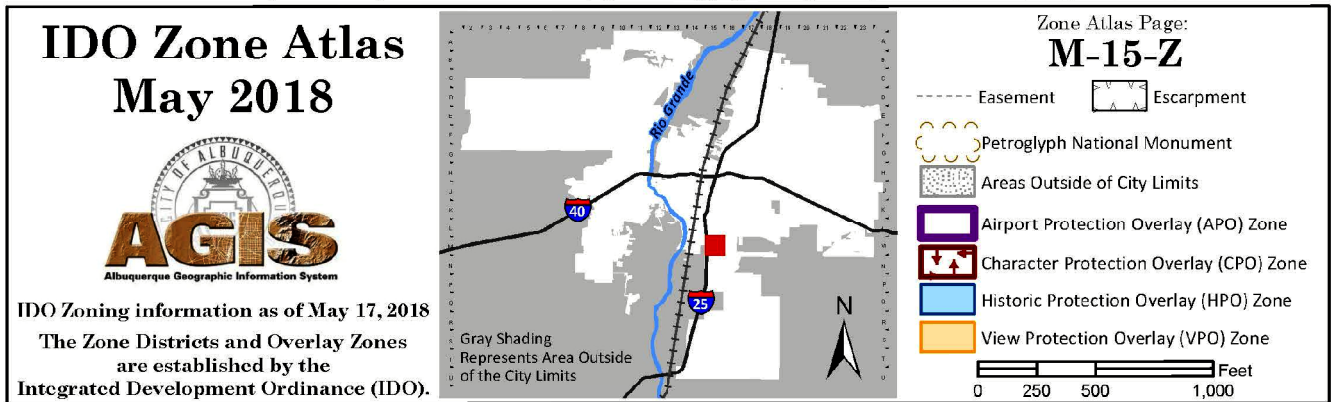


Figure 1

Sagebrush Substation  
Zone Atlas Page M-15-Z



Stewart File # 9956280H

PNM MT#0400262  
A#004959 O#000334

**PUBLIC SERVICE COMPANY OF NEW MEXICO  
EASEMENT (SUBSTATION)**

THIS EXCLUSIVE EASEMENT made this 22 day of Sept., 2021 by and between City of Albuquerque, a New Mexico municipal corporation ("Grantor") and PUBLIC SERVICE COMPANY OF NEW MEXICO, a New Mexico corporation ("Grantee"), and their successors and assigns.

WITNESSETH:

Grantor, for valuable consideration as provided in a separate agreement, the receipt of which is acknowledged, does hereby give, bargain, sell, grant and convey unto Grantee, its successors and assigns, an exclusive easement to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, upgrade, operate and maintain an electric substation and overhead and/or underground facilities ("Facilities"). The Facilities shall be utilized only for the transmission and distribution of electric power and energy. The Facilities may include (but are not limited to) transformers, switches, circuit breakers, antennae, lines, cables, poles, guy wires, anchors, conduits, fiber optics, and other equipment, fixtures, appurtenances and structures necessary to maintain the Facilities on, over, beneath, through and across the easement hereinafter described, together with free access to, from and over said easement for the purposes set forth herein and with the right to utilize the easement to extend services to customers of Grantee and to trim and remove any trees, shrubs, bushes or vegetation and remove any structures which interfere with the purposes set forth herein. The Facilities and operation thereof must comply with Federal Aviation Administration regulations regarding height restrictions and glare. This easement is granted from the date first written above and for so long as after the electric substation is energized the electric substation provides beneficial transmission and distribution of electric power and energy, and this easement shall automatically terminate ninety (90) days after "abandonment" by Grantee, which "abandonment" shall occur only if, after the electric substation is energized, (i) the electric substation is not used in providing service to any of Grantee's customers for a continuous period of three hundred sixty-five (365) consecutive days and (ii) during such continuous period of three hundred sixty-five (365) consecutive days, no activities occur relating to any building, rebuilding, construction, reconstruction, location, relocation, change, removal, replacement, modification, renewing, upgrading, operating or maintaining the Facilities. Grantee agrees that it will use the premises in compliance with the Federal Nondiscrimination Provisions attached hereto as Exhibit "B" and incorporated herein as if set forth in full.

As part of the consideration for this grant of easement, the Grantee shall save, defend, indemnify and hold Grantor harmless from any and all liability that may arise as a result of the construction and use of the easement for the purposes set forth herein, provided however, this agreement to save, defend, indemnify and hold Grantor harmless shall not extend to liability, claims, actions, damages, losses, costs or expenses, including attorney's fees: (a) that arise out of or are related to Grantee's compliance with any codes, rules, regulations, or ordinances of Grantor or any permits, plans or approvals given by Grantor, its officers, employees or agents, and (b) to the extent NMSA 1978 §56-7-1 (2005) is applicable to this grant of easement, if at all, that arise out of bodily injury to persons or damage to property caused by or resulting from, in whole in part, the negligence, act or omission of the Grantor, its officers, employees or agents.

This easement form and provisions are specific to this transaction, and shall not serve as a precedent for existing and future easements obtained by Grantee from Grantor, or as a precedent for existing and future substations on Grantor property. The exclusive easement granted herein is within lands situate in Bernalillo County, New Mexico, and is more particularly described as follows, to wit:

PNM MT#0400262

An exclusive easement of approximately 20.8778 acres within a portion of Tract A-1, SUNPORT MUNICIPAL ADDITION, situate in Section 33, T. 10 North, R. 3 East, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said Plat filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on October 13, 2011, as Document No. 2011092575 in Plat Book 2011C, Page 106, and being more particularly shown and described on Exhibit "A", attached hereto and made apart hereof, to the extent and only to the extent of the surface area and depths shown and described on such Exhibit "A".

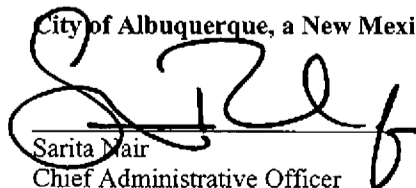
This easement is made subject to all easements affecting the above described property of record in Bernalillo County, New Mexico to the extent reflected on Exhibit "A" attached hereto.

Grantor hereby covenants that Grantor is the true and lawful owner of the land described herein, and that Grantor has a good and lawful right to convey the easement interest herein.

The provisions hereof shall inure to the benefit of and bind the heirs, executors, mortgagees, lessees, tenants, successors and assigns of the parties hereto. Grantee shall have the right to assign this easement and the rights granted herein, and its assigns shall have the same right to assign this easement and the rights granted herein.

WITNESS our hands this 22 day of Sept., 2021.

City of Albuquerque, a New Mexico municipal corporation

 (SIGNATURE)  
Sarita Nair  
Chief Administrative Officer

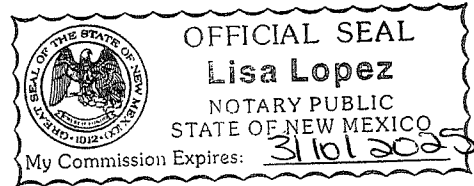
ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on Sept. 22, 2021, by Lawrence Rael, Chief Operating Officer, on behalf of Sarita Nair, Chief Administrative Officer, City of Albuquerque, a New Mexico municipal corporation, on behalf of said corporation. Said officer hereby acknowledges that he is the duly authorized signatory for said corporation.

Lisa Lopez (SIGNATURE)  
Notary Public

My commission expires: 3/10/2025  
Seal:



FOR RECORDER'S USE ONLY

PNM  
REFERENCE  
NUMBER

[Empty rectangular box for PNM Reference Number]



# Legal Description

# EXHIBIT "A"

## PNM PERMANENT EASEMENT

A PNM PERMANENT EASEMENT LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF A PORTION OF TRACT A-1, SUNPORT MUNICIPAL ADDITION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 13, 2011, IN BOOK 2011C AT PAGE 0106, SAID EASEMENT SITE BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED EASEMENT, LYING ON THE NORTH BOUNDARY LINE OF SAID TRACT A-1, FROM WHENCE A TIE TO AGRS MONUMENT "5\_M14" BEARS S 79°27'16" W, A DISTANCE OF 4781.06 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH BOUNDARY LINE, S 88°41'01" E, A DISTANCE OF 1548.29 TO THE NORTHEAST CORNER OF DESCRIBED EASEMENT;

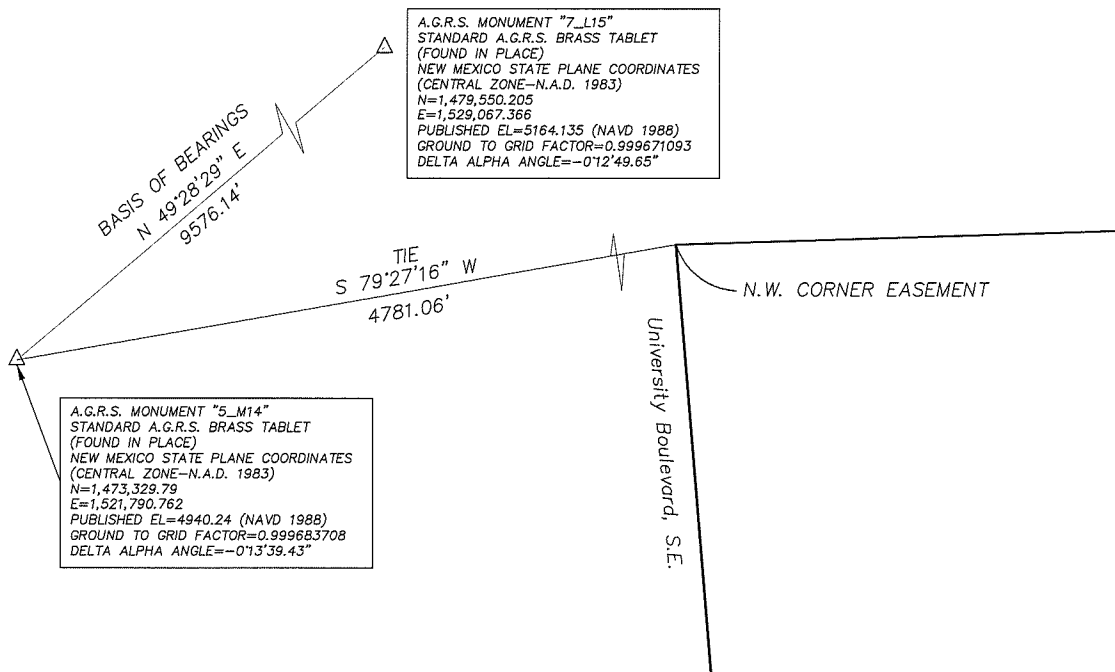
THENCE LEAVING SAID NORTH BOUNDARY LINE, S 02°00'56" W, A DISTANCE OF 451.91 FEET TO THE SOUTHEAST CORNER OF DESCRIBED EASEMENT;

THENCE S 78°52'54" W, A DISTANCE OF 908.43 FEET TO AN ANGLE POINT;

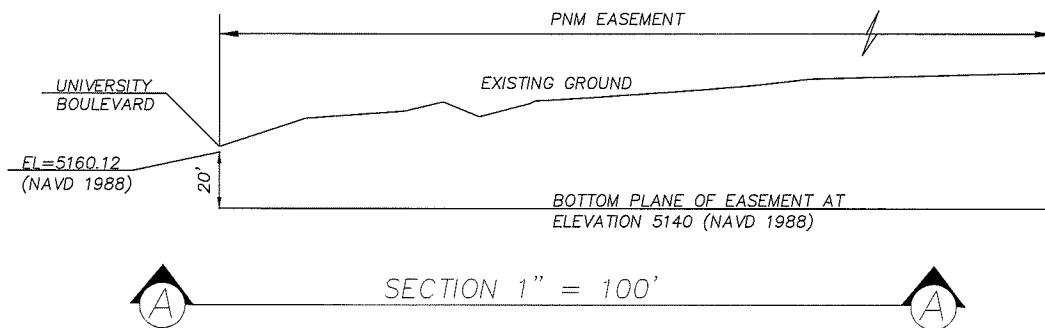
THENCE S 89°48'39" W, A DISTANCE OF 615.36 FEET TO THE SOUTHWEST CORNER OF DESCRIBED EASEMENT, LING ON THE EAST RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD, S.E.;

THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 04°17'02" W, A DISTANCE OF 314.75 FEET TO AN ANGLE POINT;

THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, N 00°17'07" W, A DISTANCE OF 350.54 FEET TO THE POINT OF BEGINNING, CONTAINING 20.8778 ACRES (909,435 SQUARE FEET), MORE OR LESS, WITH THE BOTTOM PLANE OF EASEMENT AT 5140 FEET (NAVD 88).



**Tie and Basis of Bearings Detail**

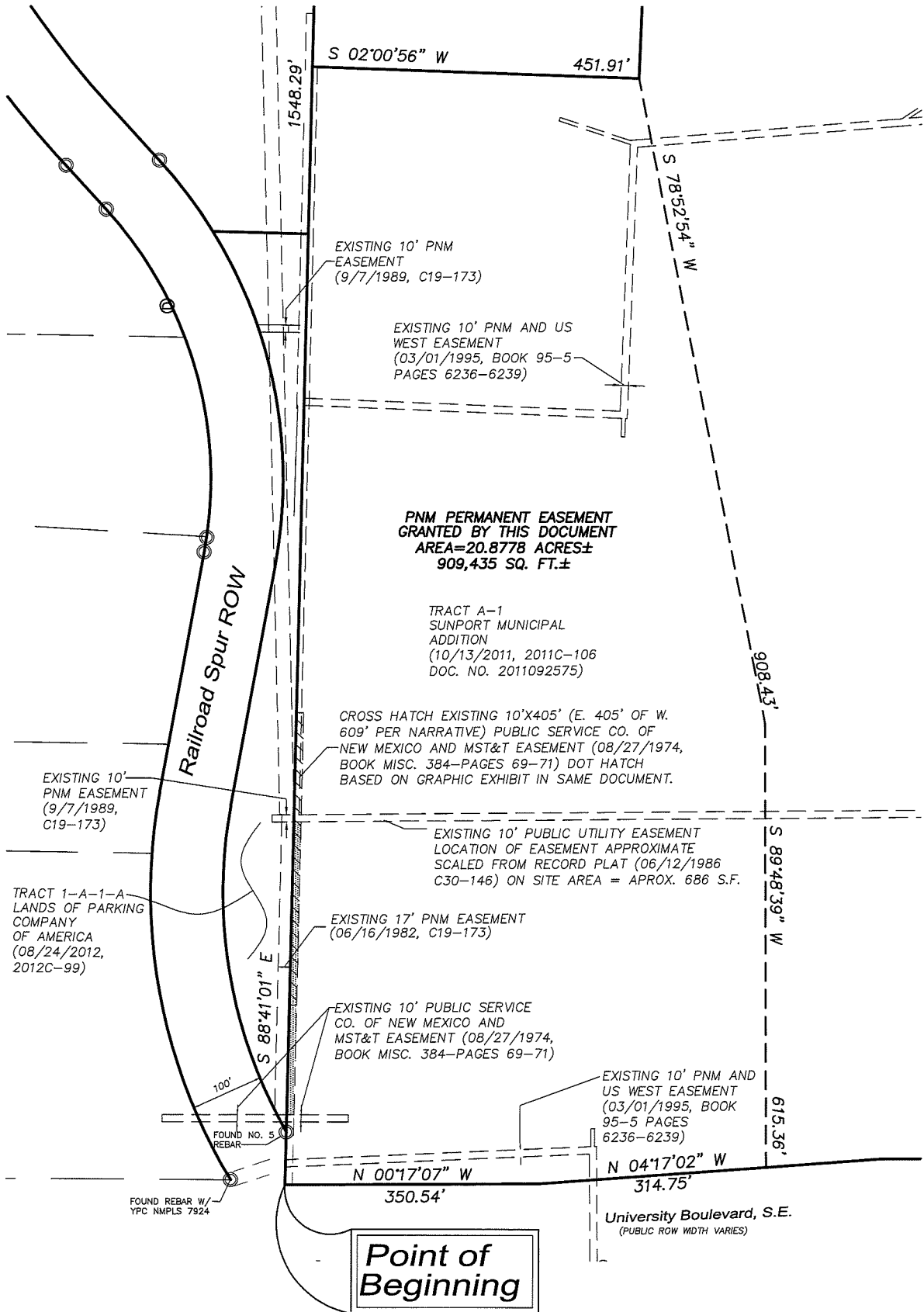
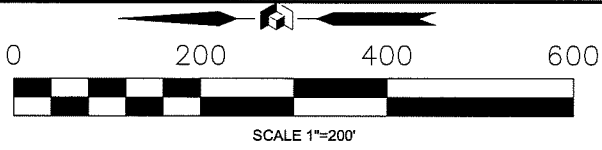


OFFICE LOCATION:  
9208 San Mateo Boulevard, NE  
Albuquerque, NM 87113

505.856.5700 PHONE  
505.856.7900 FAX

COORDINATE AND DIMENSION INFORMATION			PLSS INFORMATION				PROJECT INFORMATION		INDEXING INFORMATION
STATE PLANE ZONE: <b>NM-C</b>	GRID / GROUND COORDINATES: <b>GRID</b>	TYPE: <b>AGRS NETWORK</b>	LAND GRANT <b>N/A</b>				CREW/TECH: <b>SP/DP</b>	DATE OF SURVEY <b>MAY 2020</b>	PROPERTY OWNER <b>CITY OF ALBUQUERQUE</b>
HORIZONTAL DATUM: <b>NAD83</b>	VERTICAL DATUM: <b>NAVD88</b>	ROTATION ANGLE: <b>0° 00' 00.00"</b>	SECTION <b>33</b>	TOWNSHIP <b>10 NORTH</b>	RANGE <b>03 EAST</b>	MERIDIAN <b>NMPM</b>	DRAWN BY: <b>MC/MA</b>	CHECKED BY: <b>LM</b>	
CONTROL USED: <b>ALBUQUERQUE GEOGRAPHIC CONTROL SYSTEM</b>			BASE POINT <b>N = 0</b>	CITY <b>N/A</b>		COUNTY <b>BERNALILLO</b>	STATE <b>NM</b>	PSI JOB NO. <b>20-4033</b>	SHEET NUMBER <b>2 OF 3</b>
COMBINED SCALE FACTOR: <b>GRID TO GROUND: 1.000322704</b> <b>GROUND TO GRID: 0.999677401</b>			DISTANCE ANNOTATION: <b>GROUND</b>		BEARINGS ANNOTATION: <b>GRID</b>		SUBDIVISION NAME <b>SUNPORT MUNICIPAL ADDITION</b>		
							UPC <b>101605420230220101</b>		

# EXHIBIT "A"



SEE SHEET 2 FOR TIE

COORDINATE AND DIMENSION INFORMATION			PLSS INFORMATION				PROJECT INFORMATION		INDEXING INFORMATION
STATE PLANE ZONE: <b>NM-C</b>	GRID/GROUND COORDINATES: <b>GRID</b>	TYPE: <b>AGRS NETWORK</b>	LAND GRANT N/A				CREW/TECH: SP/DP	DATE OF SURVEY APRIL 2020	PROPERTY OWNER CITY OF ALBUQUERQUE
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	SECTION 33	TOWNSHIP 10 NORTH	RANGE 03 EAST	MERIDIAN NMPM	DRAWN BY: MC	CHECKED BY: LM	
CONTROL USED: <b>ALBUQUERQUE GEOGRAPHIC CONTROL SYSTEM</b>			DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GRID				SUBDIVISION NAME SUNPORT MUNICIPAL ADDITION		
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000322704 GROUND TO GRID: 0.999677401			CITY N/A	COUNTY BERNALILLO	STATE NM	PSI JOB NO. 20-4033	SHEET NUMBER 3 OF 3	UPC 101605420230220101	



## **EXHIBIT “B”**

### **Federal Nondiscrimination Provisions**

Grantee agrees to comply with pertinent statutes, Executive Orders and such rules as are promulgated to ensure that no person shall, on the grounds of race, creed, color, national origin, sex, age, or disability be excluded from participating in any activity conducted with or benefiting from Federal assistance. If Grantee transfers its obligation to another, the transferee is obligated in the same manner as the Grantee.

This provision obligates the Grantee for the period during which the property is owned, used or possessed by the Grantee and the airport remains obligated to the Federal Aviation Administration. This provision is in addition to that required by Title VI of the Civil Rights Act of 1964.

#### **Title VI Clauses for Construction/Use/Access to Real Property**

Grantee, for itself, its heirs, personal representatives, successors in interest, and assigns, as a part of the consideration hereof, does hereby covenant and agree, as a covenant running with the land that (1) no person on the ground of race, color, or national origin, will be excluded from participation in, denied the benefits of, or be otherwise subjected to discrimination in the use of said facilities, (2) that in the construction of any improvements on, over, or under such land, and the furnishing of services thereon, no person on the ground of race, color, or national origin, will be excluded from participation in, denied the benefits of, or otherwise be subjected to discrimination, and (3) that the Grantee will use the premises in compliance with all other requirements imposed by or pursuant to the List of Nondiscrimination Acts And Authorities.

#### **Title VI List of Pertinent Nondiscrimination Acts and Authorities**

During the performance of this easement, the Grantee, for itself, its assignees, and successors in interest, agrees to comply with the following non-discrimination statutes and authorities; including but not limited to:

- Title VI of the Civil Rights Act of 1964 (42 USC § 2000d *et seq.*, 78 stat. 252) (prohibits discrimination on the basis of race, color, national origin);
- 49 CFR part 21 (Non-discrimination in Federally-assisted programs of the Department of Transportation—Effectuation of Title VI of the Civil Rights Act of 1964);
- The Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, (42 USC § 4601) (prohibits unfair treatment of persons displaced or whose property has been acquired because of Federal or Federal-aid programs and projects);
- Section 504 of the Rehabilitation Act of 1973 (29 USC § 794 *et seq.*), as amended (prohibits discrimination on the basis of disability); and 49 CFR part 27;
- The Age Discrimination Act of 1975, as amended (42 USC § 6101 *et seq.*) (prohibits discrimination on the basis of age);
- Airport and Airway Improvement Act of 1982 (49 USC § 471, Section 47123), as amended (prohibits discrimination based on race, creed, color, national origin, or sex);
- The Civil Rights Restoration Act of 1987 (PL 100-209) (broadened the scope, coverage and applicability of Title VI of the Civil Rights Act of 1964, the Age Discrimination Act of 1975 and Section 504 of the Rehabilitation Act of 1973, by expanding the definition of the terms “programs or activities” to include all of the programs or activities of the Federal-aid recipients, sub-recipients and contractors, whether such programs or activities are Federally funded or not);
- Titles II and III of the Americans with Disabilities Act of 1990, which prohibit discrimination on the basis of disability in the operation of public entities, public and private transportation systems, places of public accommodation, and certain testing entities (42 USC §§ 12131 – 12189) as implemented by U.S. Department of Transportation regulations at 49 CFR parts 37 and 38;
- The Federal Aviation Administration’s Nondiscrimination statute (49 USC § 47123) (prohibits discrimination on the basis of race, color, national origin, and sex);
- Executive Order 12898, Federal Actions to Address Environmental Justice in Minority Populations and Low-Income Populations, which ensures nondiscrimination against minority populations by discouraging programs, policies, and activities with disproportionately high and adverse human health or environmental effects on minority and low-income populations;
- Executive Order 13166, Improving Access to Services for Persons with Limited English Proficiency, and resulting agency guidance, national origin discrimination includes discrimination because of limited English proficiency (LEP). To ensure compliance with Title VI, you must take reasonable steps to ensure that LEP persons have meaningful access to your programs (70 Fed. Reg. at 74087 to 74100);
- Title IX of the Education Amendments of 1972, as amended, which prohibits you from discriminating because of sex in education programs or activities (20 USC 1681 *et seq.*).



**City of Albuquerque**  
P.O. Box 1293 Albuquerque, NM 87103  
**Planning Department**  
Alan Varela, Interim Director

**Tim Keller, Mayor**  
**Sarita Nair, CAO**

**DATE:** November 1, 2021

**SUBJECT:** Albuquerque Archaeological Ordinance - Compliance Documentation

**Case Number(s):** PR-2020-004447  
**Agent:** No agent  
**Applicant:** Russell Brito, PNM  
**Legal Description:** 21-acre portion of Tract A-1 Sunport Municipal Addition (NE corner of University/Sunport)  
**Zoning:** NR-SU  
**Acreage:** 21  
**Zone Atlas Page(s):** M-15-Z

**CERTIFICATE OF NO EFFECT:**  Yes  No

**CERTIFICATE OF APPROVAL:**  Yes  No

**SUPPORTING DOCUMENTATION:**

Historic Google Earth images, NMCRIS records

**SITE VISIT:** n/a

**RECOMMENDATIONS:**

The parcel has been an in-use landfill and has been mechanically reworked. An archaeological survey conducted in 1999 (NMCRIS 66898) crossed a small portion of the property with no significant finds.


Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"



**SUBMITTED BY:**

**SUBMITTED TO:**

Planning, Development Services

 11-1-2021  
Douglas H. M. Boggs, MA, RPA Date  
Senior Principal Investigator  
Acting City Archaeologist  
Lone Mountain Archaeological Services, Inc.



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

**Project Title:** Sagebrush Substation

Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

Zone Atlas Page: M-15 DRB#: PR 2020-004447 EPC#: PR 2020-004447 Work Order#: \_\_\_\_\_

Legal Description: 20.8778-acre Permanent Easement - a portion of Tract A-1, Sunport Municipal Addition (see attached)

Development Street Address: NE corner of University Blvd and Sunport Blvd SE (2200 Sunport Blvd SE)

**Applicant:** Public Service Company of New Mexico Contact: Russell Brito

Address: 2401 Aztec Rd NE

Phone#: 505.241.2798 Fax#: \_\_\_\_\_

E-mail: Russell.Brito@pnm.com

### Development Information

Build out/Implementation Year: 2021-2022 Current/Proposed Zoning: NR-SU

Project Type: New:  Change of Use: ( ) Same Use/Unchanged: ( ) Same Use/Increased Activity: ( )

Change of Zoning: ( )

Proposed Use (mark all that apply): Residential: ( ) Office: ( ) Retail: ( ) Mixed-Use: ( ) Electric Utility:

Describe development and Uses:

Electric Substation approved by the EPC (PR 2020-004447/SI-2020-01023) - no public access, no traffic generation. This use will be unmanned and will not generate any traffic after landfill remediation, construction, and energization.

Days and Hours of Operation (if known): Substation will operate unmanned 24/7 - no public access

### Facility

Building Size (sq. ft.): No buildings - electric facilities only

Number of Residential Units: n/a

Number of Commercial Units: n/a

### Traffic Considerations

ITE Trip Generation Land Use Code \_\_\_\_\_

Expected Number of Daily Visitors/Patrons (if known):\* n/a - no public access

Expected Number of Employees (if known):\* n/a - not a manned facility

Expected Number of Delivery Trucks/Buses per Day (if known):\* n/a - electric facilities only

Trip Generations during PM/AM Peak Hour (if known):\* n/a - not a manned facility and no public access

Driveway(s) Located on: Street Name University Boulevard, north of Sunport Boulevard

Adjacent Roadway(s) Posted Speed: Street Name University Boulevard Posted Speed 35  
Street Name Sunport Boulevard (no access to site) Posted Speed 35

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

**Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: Sunport Blvd is a CompPlan Commuter Corridor (no access to site)  
(arterial, collector, local, main street) University Boulevard is a minor arterial; Sunport Boulevard is a regional principal arterial (no access to site)

Comprehensive Plan Center Designation: Sunport/Airport Employment Center is to the north of the site  
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: University Blvd: 10k-20k AWDT19 Volume-to-Capacity Ratio (v/c): \_\_\_\_\_  
(if applicable)

Adjacent Transit Service(s): 222 Rio Bravo-Sunport (University Blvd) Nearest Transit Stop(s): 1900 Randolph Rd SE (north and east of site)  
250 Downtown-Airport (Sunport Blvd)

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Multi-use Trail on University Boulevard abuts the site  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Multi-use Trail on University Boulevard abuts the site

**Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

**TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No

Thresholds Met? Yes [ ] No

Mitigating Reasons for Not Requiring TIS: Previously Studied: [ ]

Notes:

*M.P. P.E.*

10/19/2021

TRAFFIC ENGINEER

DATE

**Submittal**

The Scoping Form must be submitted as part of a Traffic Circulation Layout submittal, DRB application for site plan approval, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) and to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov). Call 924-3362 for information.

### Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
4. Location of nearby multi-use trails, if applicable ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.

**FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY**

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

**PROJECT NAME:** Sagbrush Substation

**AGIS MAP #** M-15

**LEGAL DESCRIPTIONS:** 20.88-acre easement on Tract A-1, Sunport Municipal  
Addition located at the NE corner of University Blvd SE  
and Sunport Blvd SE

**DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2<sup>nd</sup> /Ground Floor, Plaza del Sol) on ~~02 November 2021~~ 10/15/2021 (date).

R Brito 02 November 2021  
Applicant/Agent Date

Ernest Armijo 11/2/2021  
Hydrology Division Representative Date

**NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL**

**WATER AND SEWER AVAILABILITY STATEMENT**

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: [http://www.abcwua.org/Availability\\_Statements.aspx](http://www.abcwua.org/Availability_Statements.aspx)) on 02 November 2021 (date).

R Brito 02 November 2021  
Applicant/Agent Date

Blaine Carter 11/02/2021  
ABCWUA Representative Date

**PROJECT #** PR-2020-004447



02 November 2021

Development Review Board

Jolene Wolfley, DRB Chair  
Jeanne Wolfenbarger, Transportation Development  
Ernest Armijo, Hydrology & City Engineer  
Kristopher Cadena, ABCWUA  
Vincent Montano, Code Enforcement  
Cheryl Somerfeldt, Parks & Recreation

City of Albuquerque Planning Department  
600 Second Street NW  
Albuquerque, NM 87102

RE: Sagebrush Substation Site Plan (EPC Approval of Project #2020-004447 / SI-2020-01023)

Chair Wolfley and Board Members,

PNM is requesting approval of a Site Plan - DRB for a Public Utility Facility on a site to be developed as the Sagebrush Substation (Project) as required per the Environmental Planning Commission's (EPC) approval of a Site Plan – EPC (Project #2020-004447/SI-2020-01023). The EPC approved this site plan for the Orion Project located on the Albuquerque International Sunport (Sunport) at their November 12, 2020 public hearing.

The EPC's site plan approval includes Condition 23 that requires identification of all electric facilities, including a substation. The EPC found that the Orion site plan requires new substation capacity, is a developer-initiated project that has gone through a public involvement process, and that the processes and standards of the Electric Facility Plan are applicable (Finding 22).

The Zoning Enforcement Officer (ZEO) has determined that the Project is to be reviewed and approved by the DRB per the Integrated Development Ordinance (IDO). He has determined that Administrative Review is not appropriate for the site given its scale and connection to the Orion project on the Sunport premises per EPC Condition 23. Please see attached email from Deputy Director James Aranda.

This Project is consistent with the Purpose of the IDO, implements the ABC Comp Plan, ensures the provision of adequate public facilities and services for new development, and is essential to the health, safety, and general welfare of the public (IDO Section 1-3). The Project will transmit and distribute electricity for the use and benefit of area neighborhoods, businesses, institutions, and critical regional transportation infrastructure.

The Project location is an approximately 20.8778-acre site at the northeast corner of the intersection of University Blvd SE and Sunport Blvd SE that is part of the larger, approximately 2,286-acre Albuquerque International Sunport premises (**Figure 1, Zone Atlas Map M-15**). The Project is essential in order to continue providing sufficient, safe, reliable, affordable, and environmentally responsible electric service to existing and new neighborhoods and businesses in the Southeast quadrant of Albuquerque and the metro area.

As more businesses and residents locate in the Southeast quadrant, PNM is required to plan and provide for the area's electrical demand, including the Albuquerque International Sunport. The existing substations and associated distribution facilities serving the SE Albuquerque area are currently at their desired operating load and the Project will provide additional capacity for the larger electric grid system to accommodate growth and new development.

### **Keeping the Lights On**

PNM's electric grid system is intended and designed to have multiple substations in each geographic subarea of Albuquerque and the metro area that can provide backup capacity during extreme loads (e.g. cooling systems demands during the summer) and power outages (e.g. windstorm damage). The Project will ensure that electric facilities in the area have sufficient capacity to serve existing and anticipated future customer demands in the area.

PNM's desired operating load for substations, transformers within substations, and distribution feeders from transformers is **under 70%** of the equipment's normal operating rating. This allows "room" or capacity for a substation, a transformer, and/or a distribution feeder to take on load when there is a power outage elsewhere, which is a life/safety issue beyond just "keeping the lights on."

Typically, there are one or two transformers per substation, depending on its size. Then, each transformer, depending on its size, has four to six feeders that leave a substation to distribute electricity to customers. See **Figure 2** that illustrates a typical distribution system.

Some feeders provide electricity to nearby customers close to a substation, while other feeders may extend further away to serve customers in areas more removed from the same substation. Feeders from different substations are connected by a feeder switch that allows electricity to flow from a "back-up" substation to an area that is usually served by another substation that experiences an outage. This allows PNM to "keep the lights on" while the source of the outage is addressed.

The existing substations that serve the area are built out and cannot accommodate new transformers. Each unit requires adequate safety clearances per mandatory North American Electric Reliability Corporation (NERC) and Western Electricity Coordination Council (WECC) operating standards.

Operating distribution facilities **below 70%** of their equipment rating is preferred to allow for off-loading to/from "adjacent" facilities during outages. PNM can operate facilities up to 100% of the normal capacity rating, but that leaves no capacity to back up adjacent facilities should they have an outage.

There is ample vacant and redeveloping land and opportunity for residential and non-residential growth and development in southeast Albuquerque. The new capacity provided by the Project will help ensure that there is a safe and reliable supply of electricity for existing and new customers.



**The Project**

This Project was identified as a necessary electric facility in 2020 as part of the economic development initiatives on the Albuquerque International Sunport and in the surrounding southeast Albuquerque area. The Project will be part of the master planned electric system to support, promote, and protect new growth in the metro area.

The Project begins with the remediation of the Yale Landfill followed by construction of the substation per the Site Plan – DRB that is submitted concurrent with an Alternative Landscape Plan request that has the same project number (PR#2020-004447). When it becomes operational, the Project will benefit existing and new residents and businesses due to increased reliability of the electric system.

**Site Location and Zoning**

The subject site is an approximately 21-acre portion of the larger Sunport premises (approximately 2,286 acres) owned by the City of Albuquerque Aviation Department. The Project site is located at the intersection of the Sunport Boulevard SE and University Boulevard SE, adjacent to the northeast of the grade separated interchange (**Figure 1, Zone Atlas Map M-15**).

The property is part of the City’s former Yale landfill that is vacant, undeveloped, and zoned NR-SU (Non-residential Sensitive Use). The NR-SU zone permits a limited number of permissive non-residential uses, including airport. The NR-SU Zone allows a Electric utility (such as a transformer, switching station, pumping, or similar technical installation) essential to the operation of a public utility.

<u>Legal Description</u>	<u>UPC Number</u>
TR A-1 PLAT OF TRS A-1 & A-2 SUNPORT MUNICIPAL ADDN CONT 2286.0091 AC	101605420230220101

**Land Ownership**

The City of Albuquerque Aviation Department (Sunport) owns the property. PNM has an easement with defined boundary lines that give it a proprietary interest in the Project site (**Easement attached**).

**Surrounding Land Use and Zoning**

The zoning and land use of parcels surrounding the subject site are (**see Figure 1, Zone Atlas Page M-15**):

	<u>Zoning</u>	<u>Land Use</u>
North	NR-C and Railroad Spur	Vacant and outdoor storage of automobiles
South	NR-SU	Sunport Boulevard and Airport
East	MX-M	Outdoor storage of automobiles
West	Public Right-of-Way and NR-BP	University Boulevard, hotel, and light manufacturing

## **Project Description**

The proposed Project site is described below (**Figure 3, Station Site Plan**):

- Proposed substation site is approximately 20.8778 acres.
- The substation site is adjacent to existing transmission and distribution lines.
- For safety and security reasons, the electrical equipment will be enclosed by a 14-ft. high, CMU split-face, decorative block wall (see **Figure 3, Station Site Plan, and Figures 4, Wall Design**).
- Temporary construction jobs will be created in the area.
- The City of Albuquerque will directly benefit from the remediation of the former Yale landfill.
- The Project site will be accessed from University Boulevard SE on the west side of the site during construction and along the south side of the site from University Boulevard for intermittent access once the station is built (**Figure 3, Station Site Plan**). The movement of large vehicles and delivery trucks will occur during construction; however, the Project will not generate traffic once it is built.
- The site will be secured and monitored all times during the construction 24/7. Once construction is complete, utility personnel using pick-up trucks will periodically visit the facility. Visits will be intermittent for maintenance.
- On-site sanitary sewer facilities are not required for the Project and are not provided. Given the security nature of the Project, PNM will install motion-detection security lighting at key locations within the perimeter block.
- Because public visibility of the site is only from the west frontage along University Boulevard, PNM will be requesting approval of an alternative landscape plan per IDO Section 5-6(C)(16) that will relocate landscape from the north, south, and east sides of the site to the western frontage where it will be visible.
- Per IDO Table 5-5-1, there is no parking requirement for this Electric Utility use. The proposed substation will not be open to the public and will not be manned by personnel. The facility will be operated remotely and visited intermittently by PNM or authorized contract personnel. Any “parking” on the station property will be for authorized maintenance vehicles that will be parked near the equipment or on the internal access drive, as needed.
- Signage at the substation will include a standard PNM sign 4 feet x 4 feet in size permanently attached to the wall of the facility near the entry gate and standard PNM warning signs for safety will be attached and spaced at intervals on the exterior walls of the facility (**Figure 4, Wall Design**).
- Dust suppression at the Project site will include active suppression and other methods as determined appropriate by the Environmental Health Department during construction as necessary.

- The first phase of the Grading & Drainage Plan is for the remediation of the former Yale Landfill and create a finished pad for the substation. The second phase is the construction of the substation project.

### **Public Notice**

In June 2021, PNM notified affected Neighborhood Associations (NAs), offering a neighborhood meeting. None of the notified NAs responded or requested a neighborhood meeting for this Project.

PNM has also provided notice to NAs and adjacent property owners that this application is being submitted for DRB review and sign-off.

### **Responses to IDO Section 6-6(l)**

**Note:** PNM responses are in *italics*.

6-6(l)(1)(a)

1. *The site is zoned NR-SU. The site and the project were directly referenced and reflected in the EPC's review and approval of a Site Plan – EPC in November 2020 (PR#2020-004447 / SI-2020-01023) as Finding 22 and Condition 23. The ZEO has determined that it is appropriate for the DRB to review the site plan to meet the direction of Finding 22 and Condition 23 (see attached email from James Aranda).*

6-6(l)(1)(c) *The ZEO, as the Planning Director's designee, has determined that it is appropriate for the DRB to review this site plan (see attached email from James Aranda).*

6-6(l)(3)(a) *The Site Plan complies with all applicable provisions of the IDO, the DPM, and other adopted City regulations. This site plan fulfills an EPC Condition of Approval for PR#2020-004447 / SI-2020-01023 as determined by the ZEO.*

6-6(l)(3)(b) *The substation will not adversely affect the City's existing infrastructure. Access to University Boulevard and across an existing multi-use trail will comply with all DPM requirements. Drainage from the site will meet all DPM hydrological requirements.*

6-6(l)(3)(c) *The Site Plan furthers and meets relevant standards of the Facility Plan: Electric and the Sunport Master Plan.*

*The health, safety, and general welfare of our community and our society are dependent on electricity and everything it powers in our homes, businesses, schools, institutions, roadways, and parks. The Project would be advantageous to the community because it is essential to providing a safe, sufficient, and reliable source of energy to existing and future residential and business customers. In order to protect health, safety, and general welfare, the current electricity load demands and PNM's delivery system in the surrounding service area require a new substation. The Project is consistent with the health, safety and general welfare of City and County residents and is consistent with the ABC Comprehensive Plan (see EPC Notice of Decision for PR#2020-004447 / SI-2020-01023).*

**Summary**

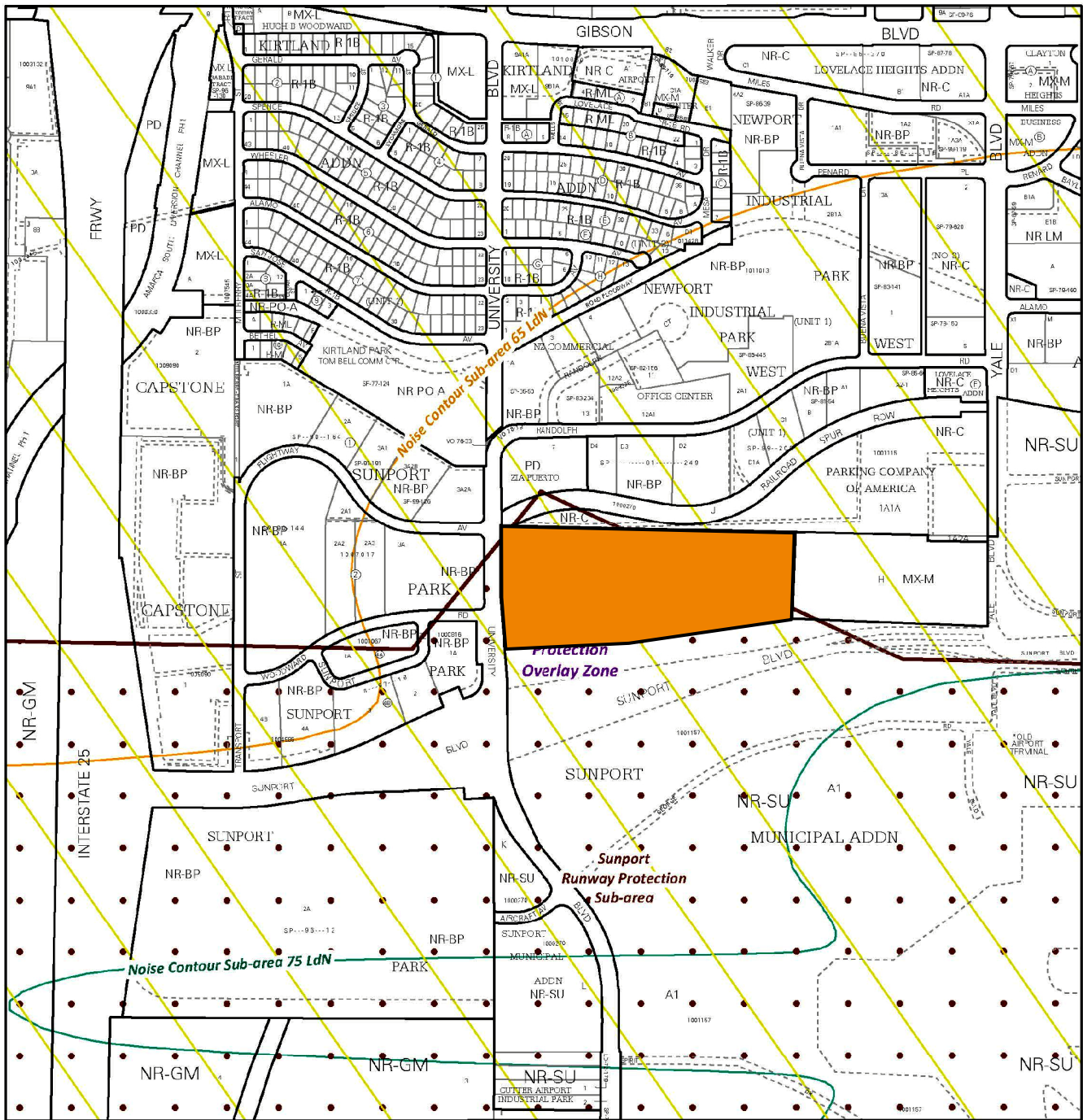
PNM is requesting review of a Site Plan – DRB for the Sagebrush Substation and respectfully requests approval to ensure an adequate, safe and reliable supply of electric power to the service area, the metro area, and the region. If you have any questions on this submittal or need further information, please contact me at 505-241-2798.

Sincerely,

Russell Brito  
Projects and Program Management

**Attachments**

Figure 1 – Zone Atlas Map M-15  
Figure 2 – Typical Distribution System  
Figure 3 – Site Plan  
Figure 4 – Wall Design  
Easement



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

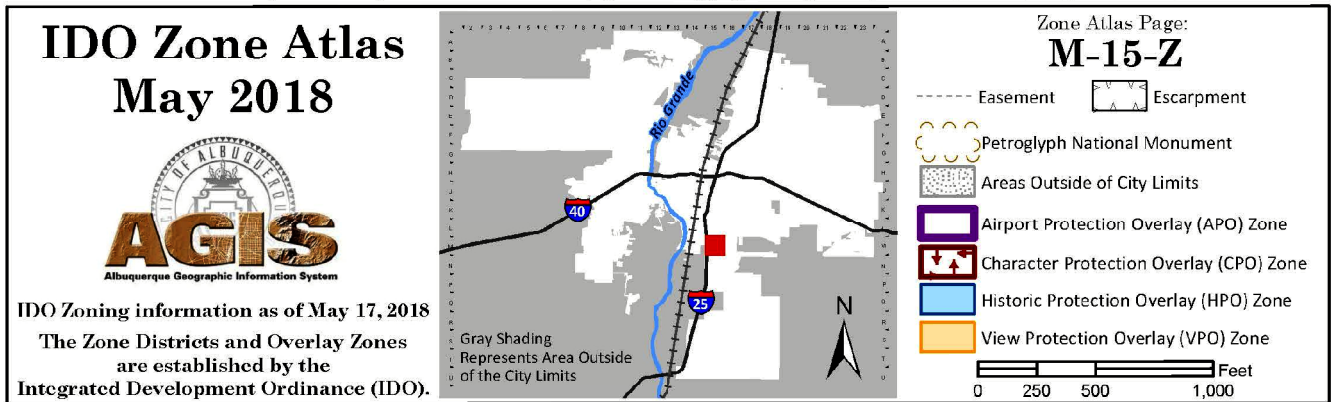
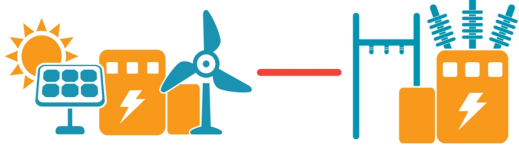


Figure 1

Sagebrush Substation  
Zone Atlas Page M-15-Z





### Legend

- Generation
- Switching Station
- Substation
- Residential Neighborhood
- Retail
- Offices
- 345 kV Transmission Line
- 115 kV Transmission Line
- Distribution Feeder Lines
- Feeder Switch

## Typical Distribution System

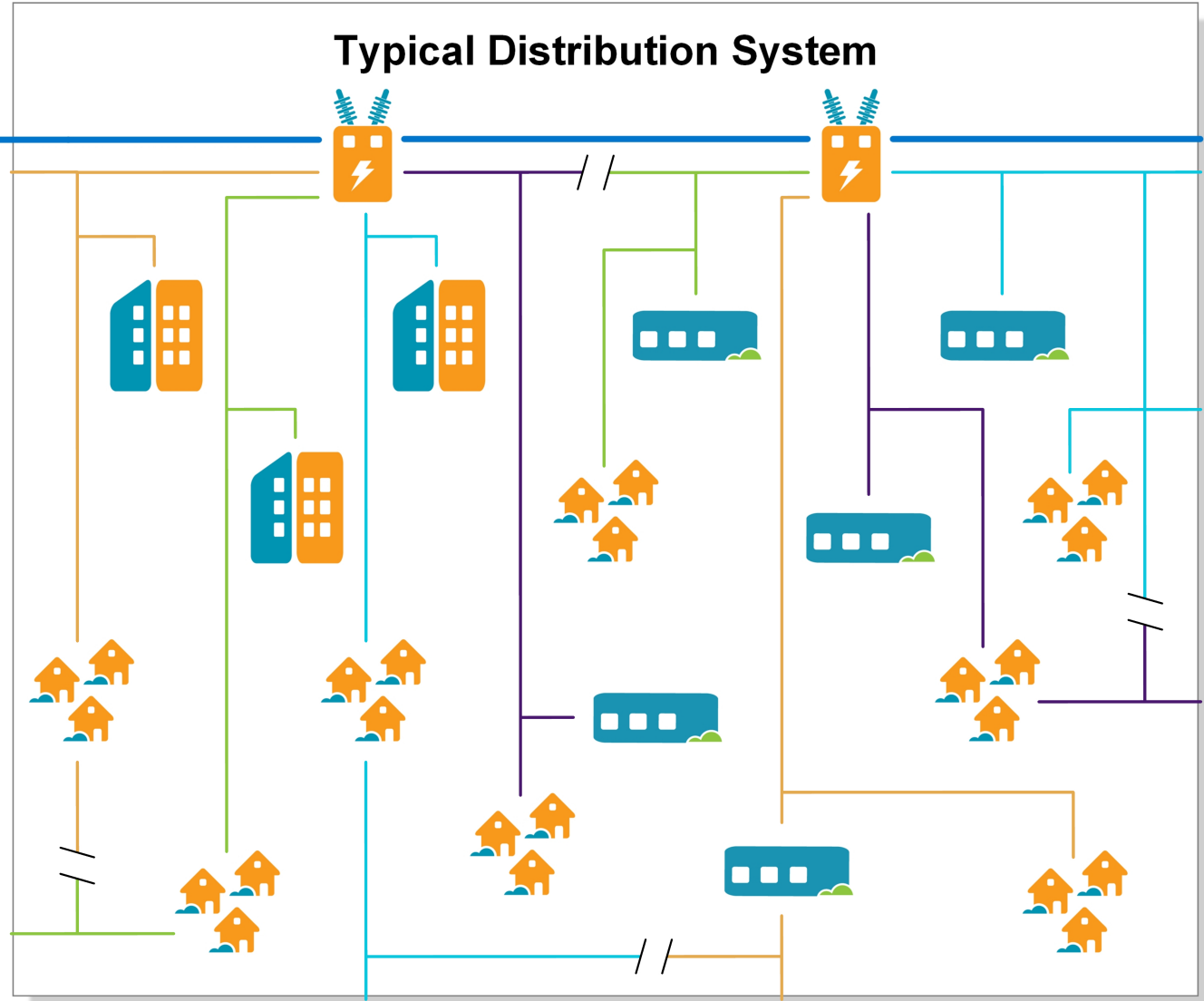
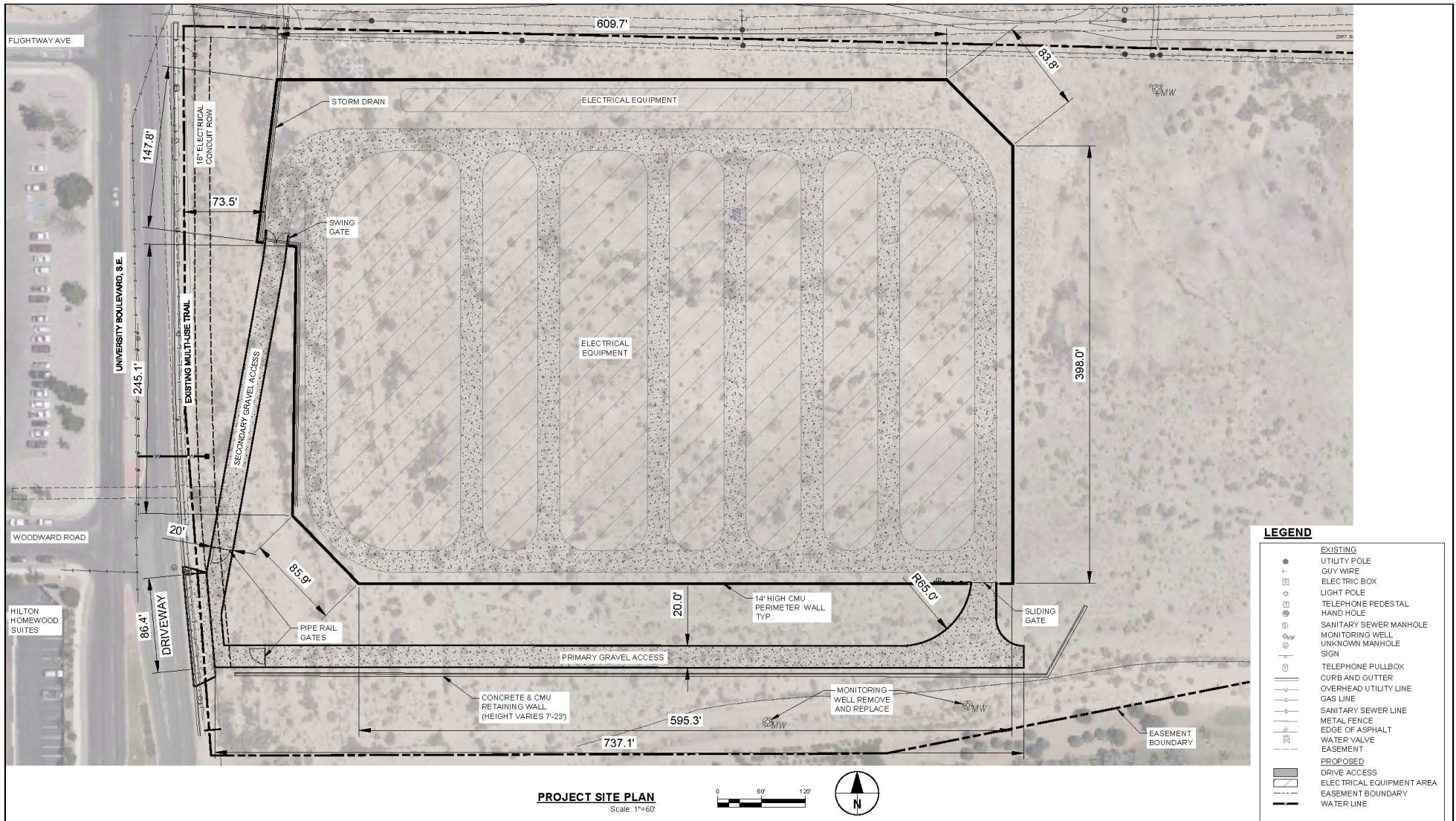


Figure  
**2**

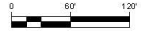
## Sagebrush Substation Typical Distribution System





LEGEND	
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING ELECTRIC BOX
	EXISTING LIGHT POLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING HAND HOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING MONITORING WELL
	EXISTING UNKNOWN MANHOLE
	EXISTING SIGN
	EXISTING TELEPHONE PULLBOX
	EXISTING CURB AND GUTTER
	EXISTING OVERHEAD UTILITY LINE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER LINE
	EXISTING METAL FENCE
	EXISTING EDGE OF ASPHALT
	EXISTING WATER VALVE
	EXISTING EASEMENT
	PROPOSED DRIVE ACCESS
	PROPOSED ELECTRICAL EQUIPMENT AREA
	PROPOSED EASEMENT BOUNDARY
	PROPOSED WATER LINE

**PROJECT SITE PLAN**  
Scale: 1"=60'



REVISION	NO.	DATE	BY

ENGINEER'S STAMP  
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PROPRIETARY STATEMENT  
THIS DOCUMENT AND ALL PREVIOUS ISSUES ARE THE PROPERTY OF PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEITHER RECEIPT NOR POSSESSION THEREOF INFERS OR TRANSFERS ANY RIGHT IN OR LICENSE TO USE THIS DOCUMENT THE SUBJECT MATTER THEREOF OR ANY DESIGN OR TECHNICAL INFORMATION SHOWN THEREON OR ANY PART THEREOF. NEITHER THIS DOCUMENT NOR ANY INFORMATION CONTAINED THEREIN MAY BE COPIED, REPRODUCED, OR OTHERWISE USED OR DISCLOSED TO ANY OTHER PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF PNM. THIS DOCUMENT IS PROVIDED UNDER THE EXPRESS CONDITION THAT IT WILL BE HELD IN CONFIDENCE BY THE RECIPIENT, THAT IT IS SUBJECT TO RETURN UPON DEMAND, AND THAT IT WILL NOT BE USED IN ANY WAY DETRIMENTAL TO PNM.

**PNM PUBLIC SERVICE COMPANY OF NEW MEXICO**  
**PROJECT SITE PLAN**  
**SAGEBRUSH SUBSTATION**

DR:	DATE: 02/01/21
CKD:	OK:
APP:	SCALE: As Noted
REV. NO.	SBD-7602-S2 2 OF 6

**Figure 3 Sagebrush Substation Project Site Plan**



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**Representative Elevation**

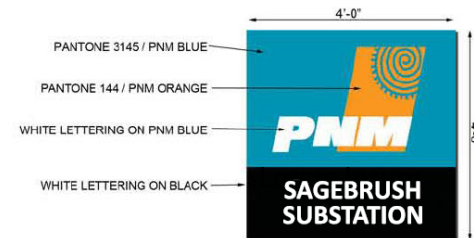


**Split-Face Block - #250 Pecos Gold**



**Smooth-Face Block - #250 Pecos Gold**

**Top & Cap Block - #250 Pecos Gold**



**Figure 4**

**Sagebrush Substation  
Station Sign Details**





Stewart File # 9950280H

PNM MT#0400262  
A#004959 O#000334

**PUBLIC SERVICE COMPANY OF NEW MEXICO  
EASEMENT (SUBSTATION)**

THIS EXCLUSIVE EASEMENT made this 22 day of Sept., 2021 by and between City of Albuquerque, a New Mexico municipal corporation ("Grantor") and PUBLIC SERVICE COMPANY OF NEW MEXICO, a New Mexico corporation ("Grantee"), and their successors and assigns.

WITNESSETH:

Grantor, for valuable consideration as provided in a separate agreement, the receipt of which is acknowledged, does hereby give, bargain, sell, grant and convey unto Grantee, its successors and assigns, an exclusive easement to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, upgrade, operate and maintain an electric substation and overhead and/or underground facilities ("Facilities"). The Facilities shall be utilized only for the transmission and distribution of electric power and energy. The Facilities may include (but are not limited to) transformers, switches, circuit breakers, antennae, lines, cables, poles, guy wires, anchors, conduits, fiber optics, and other equipment, fixtures, appurtenances and structures necessary to maintain the Facilities on, over, beneath, through and across the easement hereinafter described, together with free access to, from and over said easement for the purposes set forth herein and with the right to utilize the easement to extend services to customers of Grantee and to trim and remove any trees, shrubs, bushes or vegetation and remove any structures which interfere with the purposes set forth herein. The Facilities and operation thereof must comply with Federal Aviation Administration regulations regarding height restrictions and glare. This easement is granted from the date first written above and for so long as after the electric substation is energized the electric substation provides beneficial transmission and distribution of electric power and energy, and this easement shall automatically terminate ninety (90) days after "abandonment" by Grantee, which "abandonment" shall occur only if, after the electric substation is energized, (i) the electric substation is not used in providing service to any of Grantee's customers for a continuous period of three hundred sixty-five (365) consecutive days and (ii) during such continuous period of three hundred sixty-five (365) consecutive days, no activities occur relating to any building, rebuilding, construction, reconstruction, location, relocation, change, removal, replacement, modification, renewing, upgrading, operating or maintaining the Facilities. Grantee agrees that it will use the premises in compliance with the Federal Nondiscrimination Provisions attached hereto as Exhibit "B" and incorporated herein as if set forth in full.

As part of the consideration for this grant of easement, the Grantee shall save, defend, indemnify and hold Grantor harmless from any and all liability that may arise as a result of the construction and use of the easement for the purposes set forth herein, provided however, this agreement to save, defend, indemnify and hold Grantor harmless shall not extend to liability, claims, actions, damages, losses, costs or expenses, including attorney's fees: (a) that arise out of or are related to Grantee's compliance with any codes, rules, regulations, or ordinances of Grantor or any permits, plans or approvals given by Grantor, its officers, employees or agents, and (b) to the extent NMSA 1978 §56-7-1 (2005) is applicable to this grant of easement, if at all, that arise out of bodily injury to persons or damage to property caused by or resulting from, in whole in part, the negligence, act or omission of the Grantor, its officers, employees or agents.

This easement form and provisions are specific to this transaction, and shall not serve as a precedent for existing and future easements obtained by Grantee from Grantor, or as a precedent for existing and future substations on Grantor property. The exclusive easement granted herein is within lands situate in Bernalillo County, New Mexico, and is more particularly described as follows, to wit:

PNM MT#0400262

An exclusive easement of approximately 20.8778 acres within a portion of Tract A-1, SUNPORT MUNICIPAL ADDITION, situate in Section 33, T. 10 North, R. 3 East, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said Plat filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on October 13, 2011, as Document No. 2011092575 in Plat Book 2011C, Page 106, and being more particularly shown and described on Exhibit "A", attached hereto and made apart hereof, to the extent and only to the extent of the surface area and depths shown and described on such Exhibit "A".

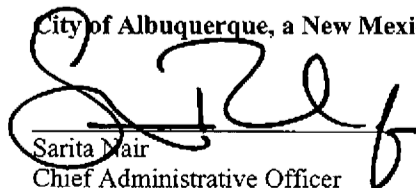
This easement is made subject to all easements affecting the above described property of record in Bernalillo County, New Mexico to the extent reflected on Exhibit "A" attached hereto.

Grantor hereby covenants that Grantor is the true and lawful owner of the land described herein, and that Grantor has a good and lawful right to convey the easement interest herein.

The provisions hereof shall inure to the benefit of and bind the heirs, executors, mortgagees, lessees, tenants, successors and assigns of the parties hereto. Grantee shall have the right to assign this easement and the rights granted herein, and its assigns shall have the same right to assign this easement and the rights granted herein.

WITNESS our hands this 22 day of Sept., 2021.

City of Albuquerque, a New Mexico municipal corporation

 (SIGNATURE)  
Sarita Nair  
Chief Administrative Officer

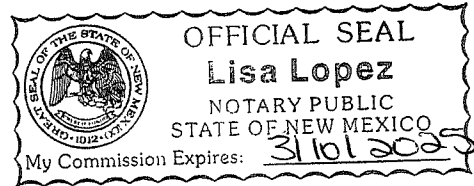
ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on Sept. 22, 2021, by Lawrence Rael, Chief Operating Officer, on behalf of Sarita Nair, Chief Administrative Officer, City of Albuquerque, a New Mexico municipal corporation, on behalf of said corporation. Said officer hereby acknowledges that he is the duly authorized signatory for said corporation.

Lisa Lopez (SIGNATURE)  
Notary Public

My commission expires: 3/10/2025  
Seal:

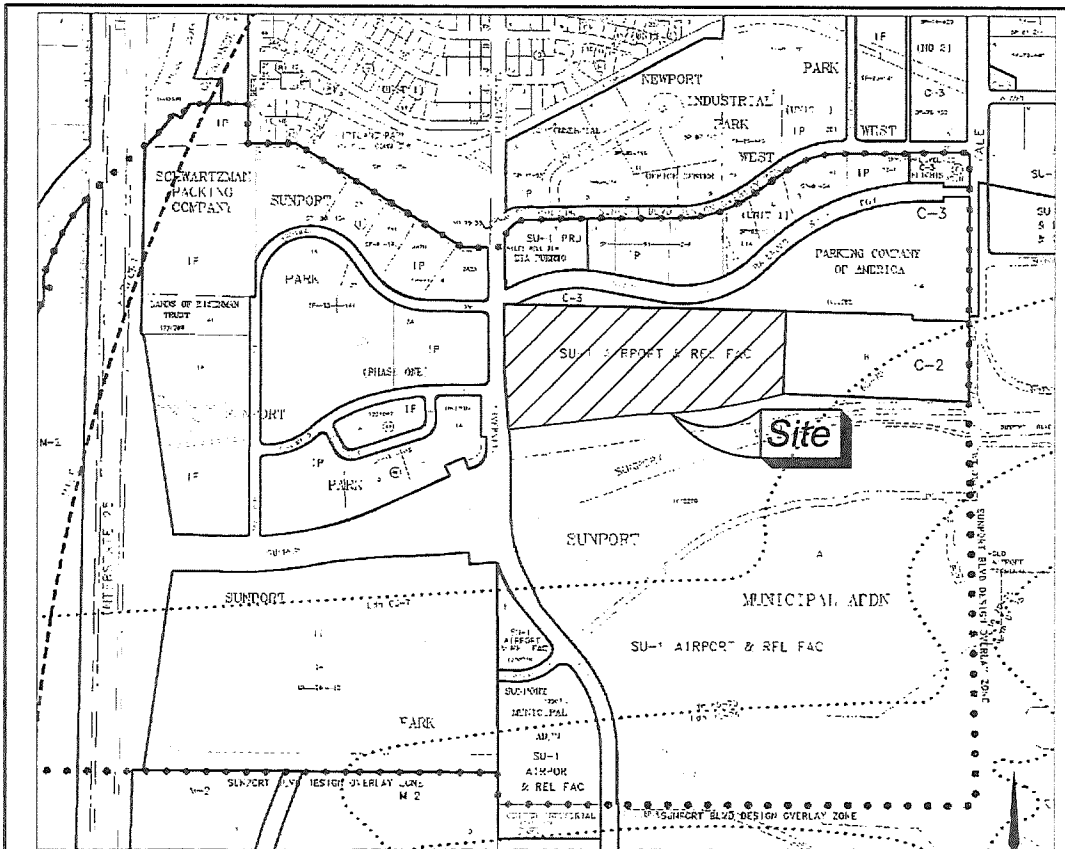


FOR RECORDER'S USE ONLY

PNM  
REFERENCE  
NUMBER

[Empty box for PNM Reference Number]

# EXHIBIT "A"



**Location Map**  
**Zone Atlas Map No. M-15-Z**

N.T.S.

## Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS EXHIBIT FOR EASEMENT SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR THIS CLASSIFICATION OF SURVEY AS PER THE MINIMUM STANDARDS FOR LAND SURVEYING IN NEW MEXICO AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*[Signature]*  
LARRY W. MEDRANO  
N.M.P.S. No. 11993

6/25/21  
DATE

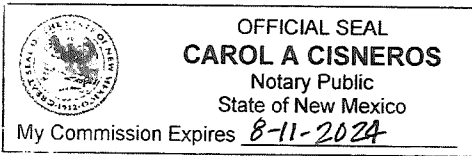


## Acknowledgment

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO ) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 25<sup>th</sup> DAY OF June 2021 BY LARRY W. MEDRANO, PRESIDENT, PRECISION SURVEYS, INC.

BY Carol A. Cisneros MY COMMISSION EXPIRES: 8-11-2024  
NOTARY PUBLIC



RECORDING STAMP



OFFICE LOCATION:  
9200 San Mateo Boulevard, NE  
Albuquerque, NM 87113  
505.856.5700 PHONE  
505.856.7900 FAX

COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROJECT INFORMATION		INDEXING INFORMATION	
STATE PLANE ZONE: <b>NM-C</b>	GRID	TYPE: <b>AGRS NETWORK</b>	LAND GRANT <b>N/A</b>	SECTION <b>33</b>	TOWNSHIP <b>10 NORTH</b>	RANGE <b>03 EAST</b>	MERIDIAN <b>NMPM</b>	CREW/TECH: <b>SP/DP</b>	DATE OF SURVEY <b>MAY 2020</b>	PROPERTY OWNER <b>CITY OF ALBUQUERQUE</b>	
HORIZONTAL DATUM: <b>NAD83</b>	VERTICAL DATUM: <b>NAVD88</b>	ROTATION ANGLE: OF 00° 00' 00"	DATE POINT <b>N = 0 E = 0</b>	CITY <b>N/A</b>	COUNTY <b>BERNALILLO</b>	STATE <b>NM</b>	PSI JOB NO. <b>20-4033</b>	CHECKED BY: <b>LM</b>	SUBDIVISION NAME <b>SUNPORT MUNICIPAL ADDITION</b>		
COMBINED SCALE FACTOR: <b>GRID TO GROUND: 1.000322704</b>	GROUND BEARING ANNOTATION ON IGRID						SHEET NUMBER <b>1 OF 3</b>	UPC <b>101605420230220101</b>			

# Legal Description

# EXHIBIT "A"

## PNM PERMANENT EASEMENT

A PNM PERMANENT EASEMENT LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF A PORTION OF TRACT A-1, SUNPORT MUNICIPAL ADDITION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 13, 2011, IN BOOK 2011C AT PAGE 0106, SAID EASEMENT SITE BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED EASEMENT, LYING ON THE NORTH BOUNDARY LINE OF SAID TRACT A-1, FROM WHENCE A TIE TO AGRS MONUMENT "5\_M14" BEARS S 79°27'16" W, A DISTANCE OF 4781.06 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH BOUNDARY LINE, S 88°41'01" E, A DISTANCE OF 1548.29 TO THE NORTHEAST CORNER OF DESCRIBED EASEMENT;

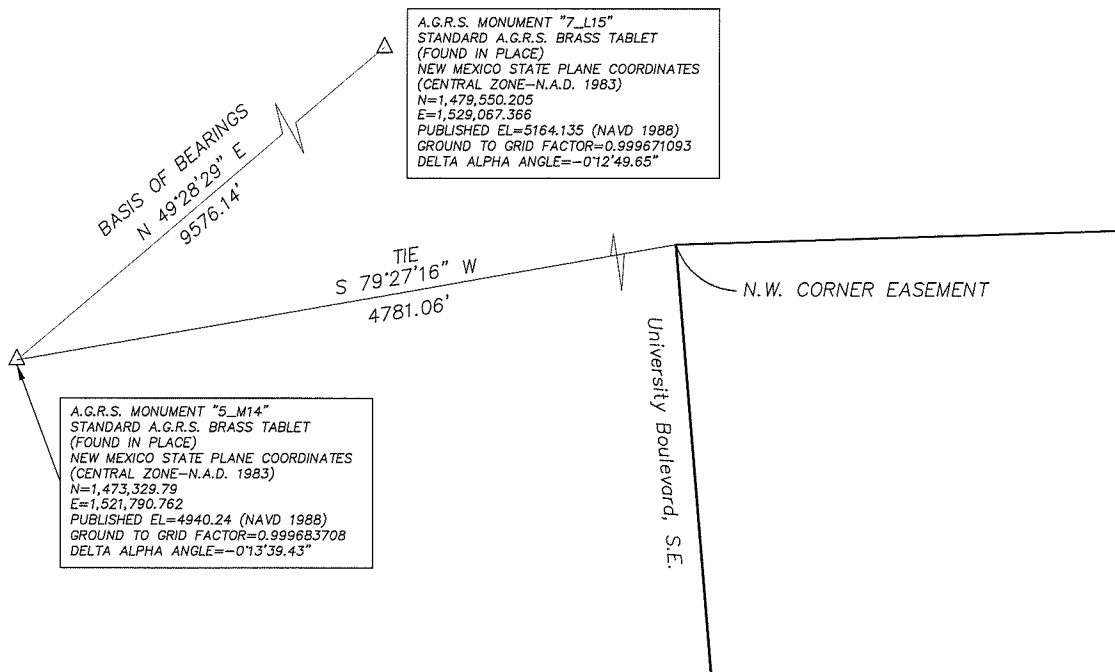
THENCE LEAVING SAID NORTH BOUNDARY LINE, S 02°00'56" W, A DISTANCE OF 451.91 FEET TO THE SOUTHEAST CORNER OF DESCRIBED EASEMENT;

THENCE S 78°52'54" W, A DISTANCE OF 908.43 FEET TO AN ANGLE POINT;

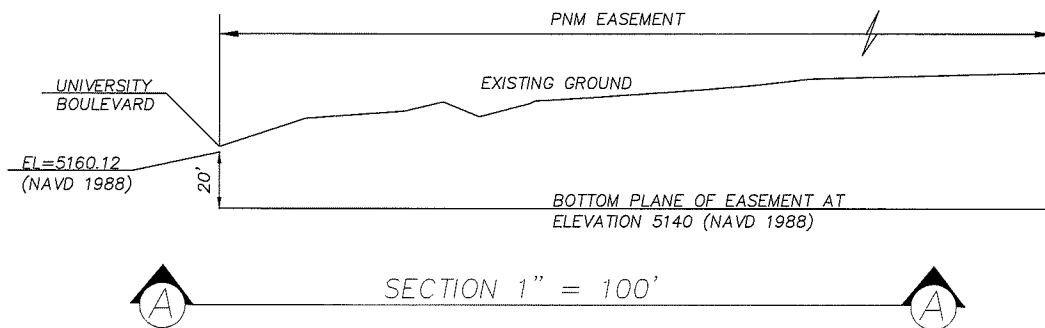
THENCE S 89°48'39" W, A DISTANCE OF 615.36 FEET TO THE SOUTHWEST CORNER OF DESCRIBED EASEMENT, LING ON THE EAST RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD, S.E.;

THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 04°17'02" W, A DISTANCE OF 314.75 FEET TO AN ANGLE POINT;

THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, N 00°17'07" W, A DISTANCE OF 350.54 FEET TO THE POINT OF BEGINNING, CONTAINING 20.8778 ACRES (909,435 SQUARE FEET), MORE OR LESS, WITH THE BOTTOM PLANE OF EASEMENT AT 5140 FEET (NAVD 88).



**Tie and Basis of Bearings Detail**

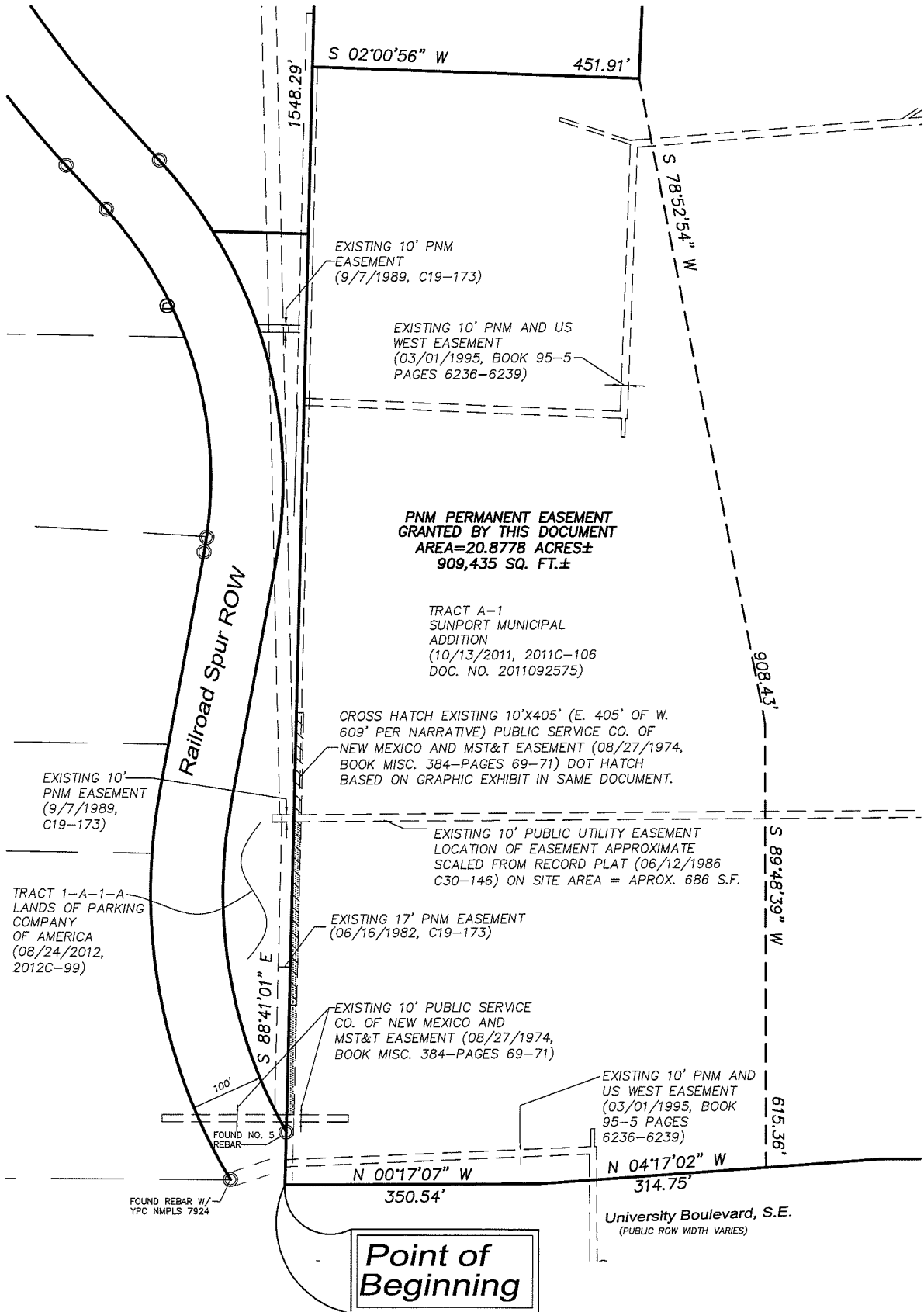
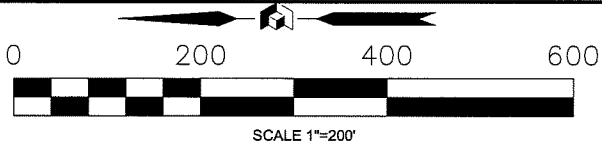


OFFICE LOCATION:  
9208 San Mateo Boulevard, NE  
Albuquerque, NM 87113

505.856.5700 PHONE  
505.856.7900 FAX

COORDINATE AND DIMENSION INFORMATION			PLSS INFORMATION				PROJECT INFORMATION		INDEXING INFORMATION
STATE PLANE ZONE: <b>NM-C</b>	GRID / GROUND COORDINATES: <b>GRID</b>	TYPE: <b>AGRS NETWORK</b>	LAND GRANT <b>N/A</b>				CREW/TECH: <b>SP/DP</b>	DATE OF SURVEY <b>MAY 2020</b>	PROPERTY OWNER <b>CITY OF ALBUQUERQUE</b>
HORIZONTAL DATUM: <b>NAD83</b>	VERTICAL DATUM: <b>NAVD88</b>	ROTATION ANGLE: <b>0° 00' 00.00"</b>	SECTION <b>33</b>	TOWNSHIP <b>10 NORTH</b>	RANGE <b>03 EAST</b>	MERIDIAN <b>NMPM</b>	DRAWN BY: <b>MC/MA</b>	CHECKED BY: <b>LM</b>	SUBDIVISION NAME <b>SUNPORT MUNICIPAL ADDITION</b>
CONTROL USED: <b>ALBUQUERQUE GEOGRAPHIC CONTROL SYSTEM</b>		BASE POINT <b>N = 0 E = 0</b>	CITY <b>N/A</b>	COUNTY <b>BERNALILLO</b>	STATE <b>NM</b>	PSI JOB NO. <b>20-4033</b>	SHEET NUMBER <b>2 OF 3</b>	UPC <b>101605420230220101</b>	
COMBINED SCALE FACTOR: <b>GRID TO GROUND: 1.000322704</b>		DISTANCE ANNOTATION: <b>GROUND</b>	BEARINGS ANNOTATION: <b>GRID</b>						

# EXHIBIT "A"



SEE SHEET 2 FOR TIE

COORDINATE AND DIMENSION INFORMATION			PLSS INFORMATION				PROJECT INFORMATION		INDEXING INFORMATION
STATE PLANE ZONE: <b>NM-C</b>	GRID/GROUND COORDINATES: <b>GRID</b>	TYPE: <b>AGRS NETWORK</b>	LAND GRANT N/A				CREW/TECH: SP/DP	DATE OF SURVEY APRIL 2020	PROPERTY OWNER CITY OF ALBUQUERQUE
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	SECTION 33	TOWNSHIP 10 NORTH	RANGE 03 EAST	MERIDIAN NMPM	DRAWN BY: MC	CHECKED BY: LM	
CONTROL USED: <b>ALBUQUERQUE GEOGRAPHIC CONTROL SYSTEM</b>			DISTANCE ANNOTATION: GROUND N = 0 E = 0				SUBDIVISION NAME SUNPORT MUNICIPAL ADDITION		
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000322704 GROUND TO GRID: 0.999677401			CITY N/A	COUNTY BERNALILLO	STATE NM	PSI JOB NO. 20-4033	SHEET NUMBER 3 OF 3	UPC 101605420230220101	

## **EXHIBIT “B”**

### **Federal Nondiscrimination Provisions**

Grantee agrees to comply with pertinent statutes, Executive Orders and such rules as are promulgated to ensure that no person shall, on the grounds of race, creed, color, national origin, sex, age, or disability be excluded from participating in any activity conducted with or benefiting from Federal assistance. If Grantee transfers its obligation to another, the transferee is obligated in the same manner as the Grantee.

This provision obligates the Grantee for the period during which the property is owned, used or possessed by the Grantee and the airport remains obligated to the Federal Aviation Administration. This provision is in addition to that required by Title VI of the Civil Rights Act of 1964.

#### **Title VI Clauses for Construction/Use/Access to Real Property**

Grantee, for itself, its heirs, personal representatives, successors in interest, and assigns, as a part of the consideration hereof, does hereby covenant and agree, as a covenant running with the land that (1) no person on the ground of race, color, or national origin, will be excluded from participation in, denied the benefits of, or be otherwise subjected to discrimination in the use of said facilities, (2) that in the construction of any improvements on, over, or under such land, and the furnishing of services thereon, no person on the ground of race, color, or national origin, will be excluded from participation in, denied the benefits of, or otherwise be subjected to discrimination, and (3) that the Grantee will use the premises in compliance with all other requirements imposed by or pursuant to the List of Nondiscrimination Acts And Authorities.

#### **Title VI List of Pertinent Nondiscrimination Acts and Authorities**

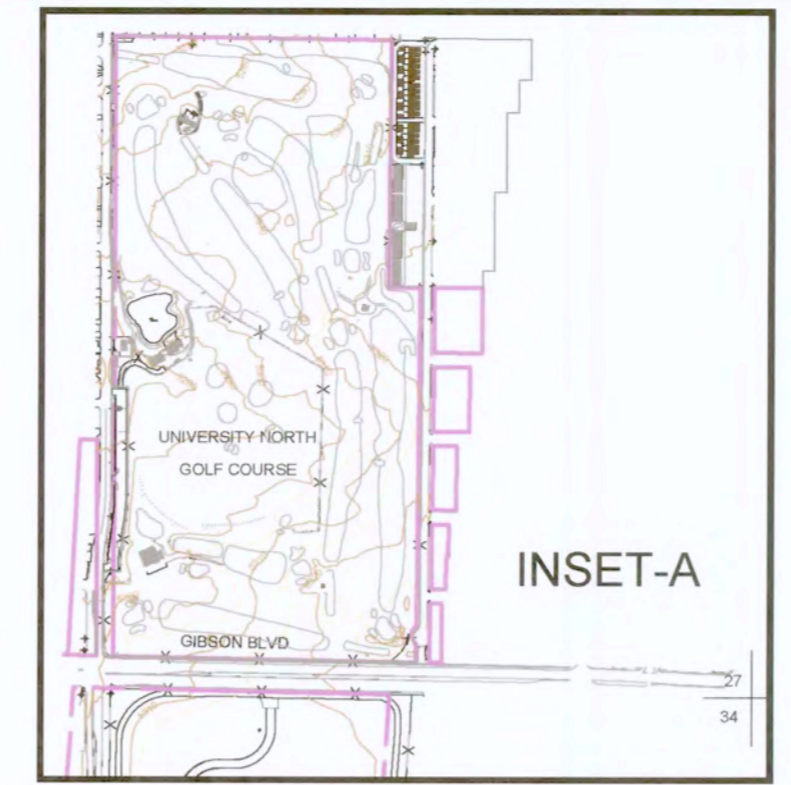
During the performance of this easement, the Grantee, for itself, its assignees, and successors in interest, agrees to comply with the following non-discrimination statutes and authorities; including but not limited to:

- Title VI of the Civil Rights Act of 1964 (42 USC § 2000d *et seq.*, 78 stat. 252) (prohibits discrimination on the basis of race, color, national origin);
- 49 CFR part 21 (Non-discrimination in Federally-assisted programs of the Department of Transportation—Effectuation of Title VI of the Civil Rights Act of 1964);
- The Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, (42 USC § 4601) (prohibits unfair treatment of persons displaced or whose property has been acquired because of Federal or Federal-aid programs and projects);
- Section 504 of the Rehabilitation Act of 1973 (29 USC § 794 *et seq.*), as amended (prohibits discrimination on the basis of disability); and 49 CFR part 27;
- The Age Discrimination Act of 1975, as amended (42 USC § 6101 *et seq.*) (prohibits discrimination on the basis of age);
- Airport and Airway Improvement Act of 1982 (49 USC § 471, Section 47123), as amended (prohibits discrimination based on race, creed, color, national origin, or sex);
- The Civil Rights Restoration Act of 1987 (PL 100-209) (broadened the scope, coverage and applicability of Title VI of the Civil Rights Act of 1964, the Age Discrimination Act of 1975 and Section 504 of the Rehabilitation Act of 1973, by expanding the definition of the terms “programs or activities” to include all of the programs or activities of the Federal-aid recipients, sub-recipients and contractors, whether such programs or activities are Federally funded or not);
- Titles II and III of the Americans with Disabilities Act of 1990, which prohibit discrimination on the basis of disability in the operation of public entities, public and private transportation systems, places of public accommodation, and certain testing entities (42 USC §§ 12131 – 12189) as implemented by U.S. Department of Transportation regulations at 49 CFR parts 37 and 38;
- The Federal Aviation Administration’s Nondiscrimination statute (49 USC § 47123) (prohibits discrimination on the basis of race, color, national origin, and sex);
- Executive Order 12898, Federal Actions to Address Environmental Justice in Minority Populations and Low-Income Populations, which ensures nondiscrimination against minority populations by discouraging programs, policies, and activities with disproportionately high and adverse human health or environmental effects on minority and low-income populations;
- Executive Order 13166, Improving Access to Services for Persons with Limited English Proficiency, and resulting agency guidance, national origin discrimination includes discrimination because of limited English proficiency (LEP). To ensure compliance with Title VI, you must take reasonable steps to ensure that LEP persons have meaningful access to your programs (70 Fed. Reg. at 74087 to 74100);
- Title IX of the Education Amendments of 1972, as amended, which prohibits you from discriminating because of sex in education programs or activities (20 USC 1681 *et seq.*).

EXISTING BUILDINGS/FACILITIES		
DESCRIPTION	Elevation	
1 TERMINAL BUILDING	5363.7	
2 E TERMINAL RENTAL SPACE	5324.1	
3 SNOWBARN BUILDING	-	
4 PATHOGEN DESTRUCTOR TRITURATOR & WASH BAYS	-	
5 WASTE COLLECTION SYSTEM	-	
6 RE-FUELER STATION CONTROL BUILDING	0.0	
7 PROVISION BUILDING (To Be Removed)	5334.8	
8 US POSTAL FACILITY	5333.5	
9 ORIGINAL TERMINAL BUILDING	5346.4	
10 AIR FREIGHT BUILDING (To Be Removed)	5348.4	
11 PARKING STRUCTURE ADMINISTRATION	5327.2	
12 HOTEL	5432.1	
13 2700 VALE RENTAL BUILDING	5265.3	
14 RENTAL CAR SHUTTLE BUS SERVICE and STORAGE	5309.0	
15 PARKS & RECREATION SATELLITE	5322.1	
16 PARKING STRUCTURE ADMINISTRATION	5306.7	
17 PARKING FEE BOOTH	5302.1	
18 ECLIPSE HANGAR II, PAINT	5377.9	
19 ECLIPSE HANGAR II, ASSEMBLY	5379.1	
20 NWS INFILTRATION BUILDING	5314.9	
21 NATIONAL WEATHER SERVICE	5328.3	
22 NWS GENERATOR BUILDING	5320.8	
23 NEW MEXICO DOT-AVIATION DIVISION	-	
24 CUTTER W HANGER	5342.9	
25 CUTTER FBO	5366.5	
26 ECLIPSE HANGAR I HQ	5343.1	
27 ATLANTIC AVIATION	5352.3	
28 AIRPORT BEACON/SGA VAULT	5367.5	
29 ECLIPSE HANGAR IV, CUSTOMER SERVICE	5339.4	
30 FOUR SEASONS NORTH HANGAR	5331.4	
31 FOUR SEASONS	5338.8	
32 FANAFSS	5331.8	
33 ASIG FUEL FARM	5343.8	
34 FUEL STORAGE TANKS	5333.2	
35 VEHICLE STORAGE BUILDING	5333.8	
36 AIRFIELD MAINTENANCE	5337.0	
37 AVIATION DEPARTMENT, T-HANGARS	5331.2	
38 FLEET MAINTENANCE	5333.4	
39 AIR CARGO BUILDING	5348.3	
40 NANOPORE INSULATION	5345.8	
41 SWA RESERVATION CENTER	5331.4	
42 SOUTH VAULT	5326.9	
43 NORTH VAULT	5324.5	
44 RENTAL CAR TERMINAL	5282.0	
45 HERTZ CORPORATION BLDG G, H, I, and JJ	5247.3	
46 THRIFTY CAR RENTAL BUILDING T	5266.0	
47 AVIS AUTO RENTAL BUILDINGS C, E and F	5254.8	
48 BUDGET RENT-A-CAR BUILDING Q, Rand S	5266.9	
49 ALAMON NATIONAL HANGAR/BUILDINGS K, Land M	5287.4	
50 ADVANTAGE RENT-A-CAR BUILDINGS N, O and P	5275.8	
51 DOLLAR RENTAL-A-CAR BUILDINGS A and B	5258.4	
52 ENTERPRISE RENT-A-CAR BUILDING D	5256.0	

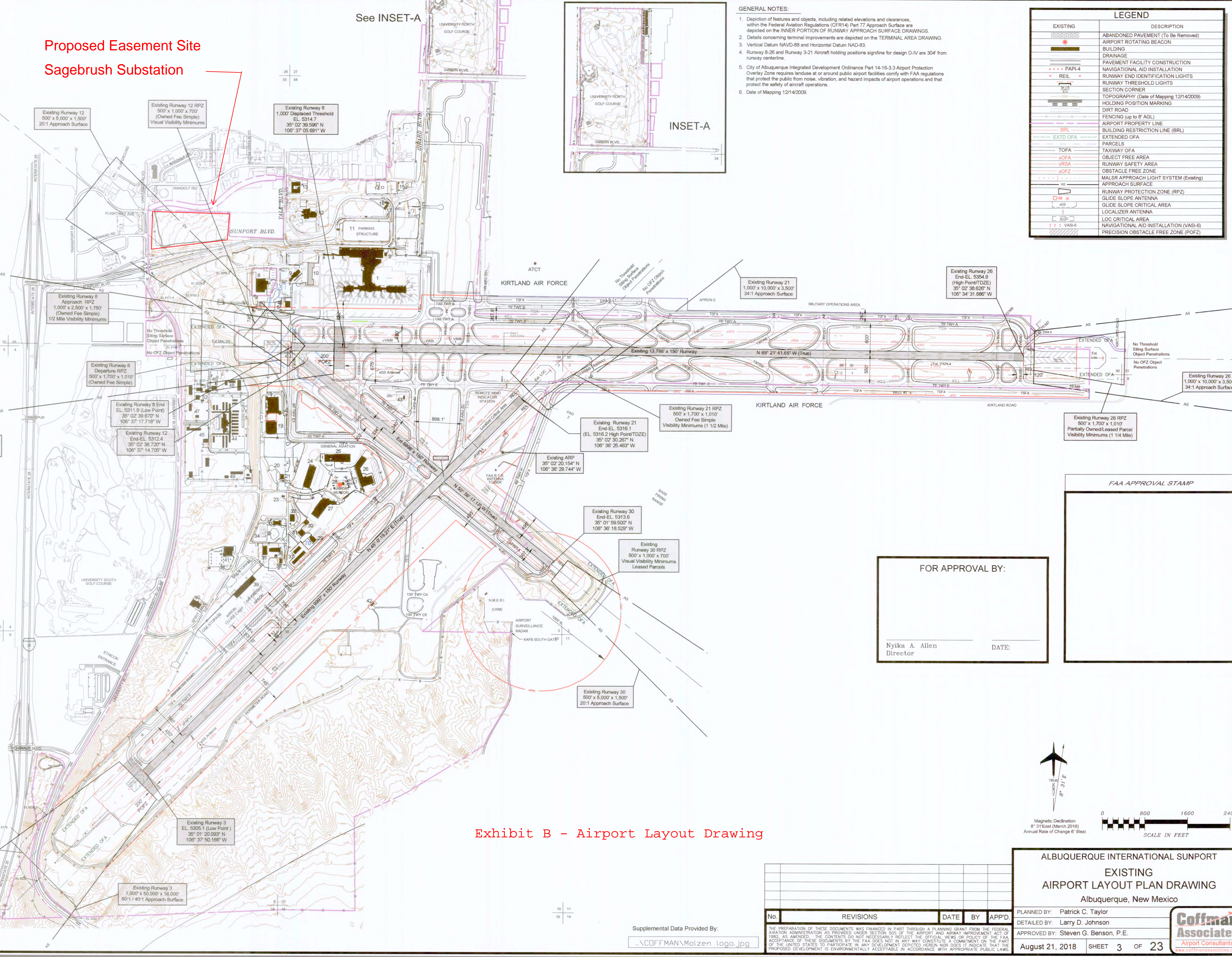
Proposed Easement Site  
Sagebrush Substation

See INSET-A



- GENERAL NOTES:
1. Depiction of features and objects, including related elevations and clearances, within the Federal Aviation Regulations (CFR14) Part 77 Approach Surface are depicted on the INNER PORTION OF RUNWAY APPROACH SURFACE DRAWINGS.
  2. Details concerning terminal improvements are depicted on the TERMINAL AREA DRAWING.
  3. Vertical Datum NAVD-88 and Horizontal Datum NAD-83.
  4. Runway 8-26 and Runway 3-21 Aircraft holding positions/signline for design D-IV are 304' from runway centerline.
  5. City of Albuquerque Integrated Development Ordinance Part 14-16-3.3 Airport Protection Overlay Zone requires land use at or around public airport facilities comply with FAA regulations that protect the public from noise, vibration, and hazard impacts of airport operations and that protect the safety of aircraft operations.
  6. Date of Mapping 12/14/2009.

LEGEND	
EXISTING	DESCRIPTION
	ABANDONED PAVEMENT (To Be Removed)
	AIRPORT ROTATING BEACON
	BUILDING
	DRAINAGE
	PAVEMENT FACILITY CONSTRUCTION
	NAVIGATIONAL AID INSTALLATION
	RUNWAY END IDENTIFICATION LIGHTS
	RUNWAY THRESHOLD LIGHTS
	SECTION CORNER
	TOPOGRAPHY (Date of Mapping 12/14/2009)
	DIRT ROAD
	FENCING (up to 8' AGL)
	AIRPORT PROPERTY LINE
	BUILDING RESTRICTION LINE (BRL)
	EXTENDED OFA
	PARCELS
	TAXIWAY OFA
	OBJECT FREE AREA
	RUNWAY SAFETY AREA
	OBSTACLE FREE ZONE
	MALS APPROACH LIGHT SYSTEM (Existing)
	APPROACH SURFACE
	RUNWAY PROTECTION ZONE (RPZ)
	GLIDE SLOPE ANTENNA
	GLIDE SLOPE CRITICAL AREA
	LOCALIZER ANTENNA
	LOC CRITICAL AREA
	NAVIGATIONAL AID INSTALLATION (VASI-6)
	PRECISION OBSTACLE FREE ZONE (POFZ)



FOR APPROVAL BY:

Nyika A. Allen  
Director

DATE:

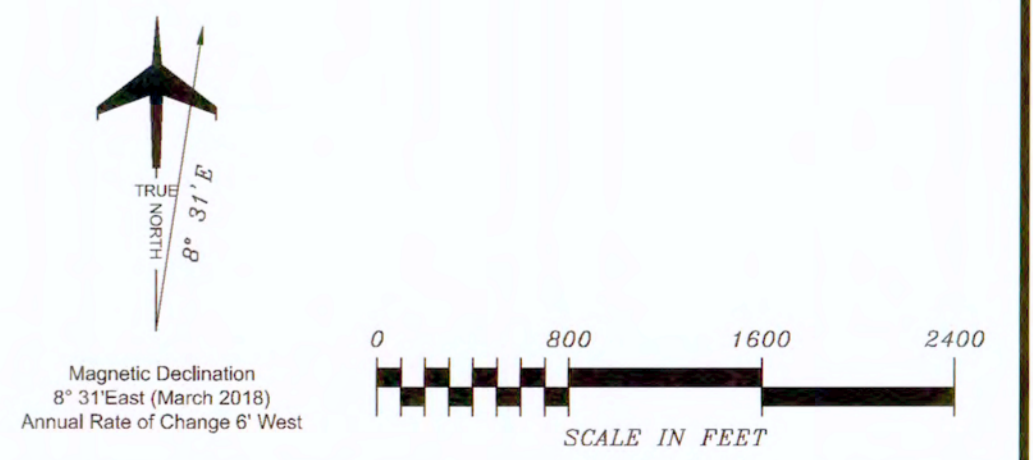
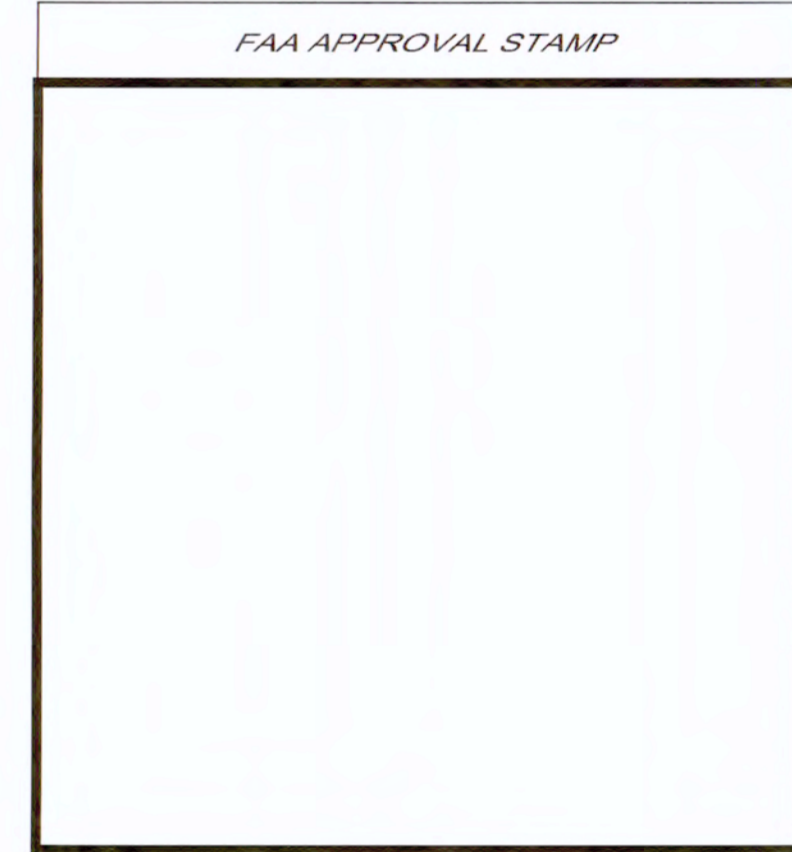


Exhibit B - Airport Layout Drawing

No.	REVISIONS	DATE	BY	APP'D

ALBUQUERQUE INTERNATIONAL SUNPORT  
EXISTING  
AIRPORT LAYOUT PLAN DRAWING  
Albuquerque, New Mexico

PLANNED BY: Patrick C. Taylor  
DETAILED BY: Larry D. Johnson  
APPROVED BY: Steven G. Benson, P.E.

August 21, 2018 SHEET 3 OF 23



Supplemental Data Provided By:  
COFFMAN Molzen logo.jpg

02/26/19 - 9:40am - jghoman - R:\CAD\Johnson\Projects\2018\ALP\alplp.dwg

**From:** Brito, Russell  
**To:** Brito, Russell  
**Subject:** FW: [External] Sagebrush Site Plan -- DRB  
**Date:** Thursday, October 28, 2021 2:47:45 PM  
**Importance:** High

---

**From:** Aranda, James M. <[jmaranda@cabq.gov](mailto:jmaranda@cabq.gov)>  
**Sent:** Friday, July 23, 2021 9:18 AM  
**To:** Maestas, Ken <[Kenny.Maestas@pnm.com](mailto:Kenny.Maestas@pnm.com)>  
**Cc:** Williams, Brennon <[bnwilliams@cabq.gov](mailto:bnwilliams@cabq.gov)>; Biazar, Shahab <[sbiazar@cabq.gov](mailto:sbiazar@cabq.gov)>  
**Subject:** [External] Sagebrush Site Plan -- DRB  
**Importance:** High

\*\*\*\*\*  
\*\*\*\*\*  
**CAUTION:** This email was received from an **EXTERNAL** source, use caution when clicking links or opening attachments.  
If you believe this to be a malicious and/or phishing email, please use the **Report Phishing** button.  
\*\*\*\*\*  
\*\*\*\*\*

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\*\*\*\*\*  
**Is this a phishing email? - Look again!**  
This email is from [jmaranda@cabq.gov](mailto:jmaranda@cabq.gov) - do you know them?  
\*\*\*\*\*  
\*\*\*\*\*

Ken,  
Hello and happy Friday! I hope this message finds you in great health hand spirits! Last Friday I spoke at length with Planning Director Brennon Williams and City Engineer Shahab Biazar about the status of Orion and how to best proceed with the Sagebrush substation expansion.

Please proceed with fulfilling the applicable EPC site plan conditions by moving forward with a site plan submission to DRB for the sagebrush substation expansion/improvements.

Please feel free to reach out if you have questions or require any additional information regarding this matter.

JMA





**JAMES M. ARANDA, MCRP**

*él/he/him/his*

deputy director + zeo | planning department

o 505.924.3361

e [jmaranda@cabq.gov](mailto:jmaranda@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

# PRE-APPLICATION REVIEW TEAM (PRT) MEETING REQUEST

Pre-application Review Team (PRT) Meetings are available to help applicants identify and understand the allowable uses, development standards, and processes that pertain to their request. ***PRT Meetings are for informational purposes only; they are non-binding and do not constitute any type of approval.*** Any statements regarding zoning at a PRT Meeting are not certificates of zoning. The interpretation of specific uses allowed in any zone district is the responsibility of the Zoning Enforcement Officer (ZEO).

**When you submit PRT notes to meet a Pre-application Meeting requirement in Table 6-1-1, you will be charged a \$50 PRT fee.**

<i>Official Use only</i>		
PA#: 21-126	Received By: Diego Ewell	Date: 6/25/2021
<b>APPOINTMENT DATE &amp; TIME:</b> N/A		

Applicant Name: PNM, agent for CABQ Aviation Dept. Phone#: 505.241.2792 Email: Laurie.Moye2@pnm.com

## PROJECT INFORMATION:

***For the most accurate and comprehensive responses, please complete this request as fully as possible and submit any relevant information, including site plans, sketches, and previous approvals.***

Size of Site: 23 acres Existing Zoning: NR-SU Proposed Zoning: NR-SU

Previous case number(s) for this site: PR-2020-004447 / SI-2020-01023

Applicable Overlays or Mapped Areas: Airport Protection Overlay (APO)

Residential – Type and No. of Units: n/a

Non-residential – Estimated building square footage: n/a No. of Employees: n/a

Mixed-use – Project specifics: n/a

## LOCATION OF REQUEST:

Physical Address: 2200 Sunport Blvd SE Zone Atlas Page (Please identify subject site on the map and attach) M-15

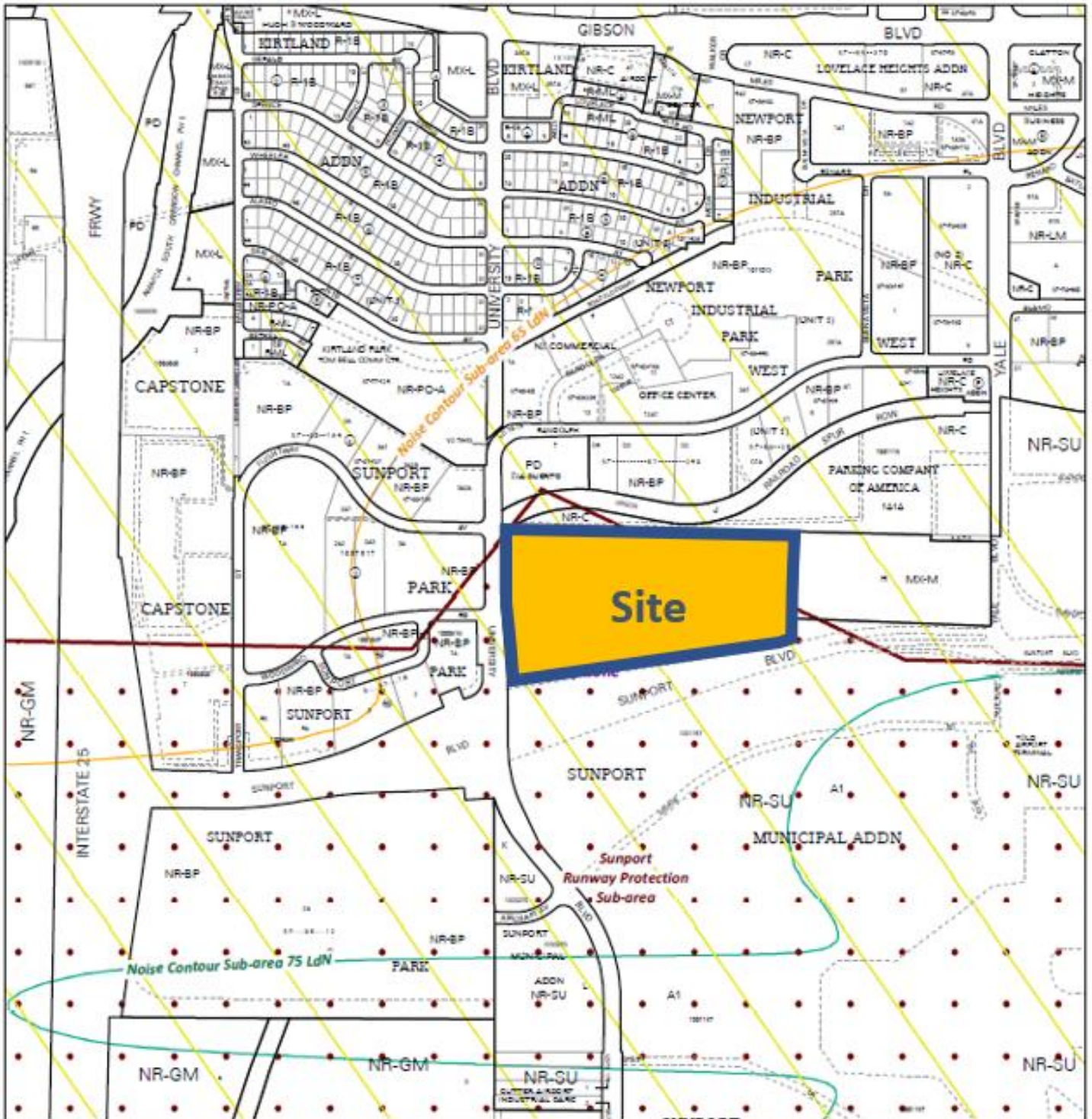
## BRIEFLY DESCRIBE YOUR REQUEST (What do you plan to develop on this site?)

1. Grading and drainage plan for Voluntary Remediation of Yale Landfill
2. Site Plan - DRB for Sagebrush Substation on CABQ property at the NE corner of University Blvd and Sunport Blvd SE

## QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)


Background: Grading and drainage plan for Voluntary Remediation of Yale Landfill and Site Plan - DRB per determination by the Zoning Enforcement Officer (see attached). Landfill remediation and Sagebrush Substation are components of the EPC-approved Orion Site Plan, SI-2020-01023 (see attached Notice of Decision). CABQ Aviation Director has authorized PNM and AECOM to be its agents for all necessary DRB applications. Notifications and offer for neighborhood meeting has been sent to affected ONC NAs.

Questions/Concerns: Confirmation that PRT requirement is met for two sequential and interrelated applications to DRB and that ZEO determination remains valid and is applicable for: 1. necessary landfill remediation; and 2. critical electrical infrastructure.



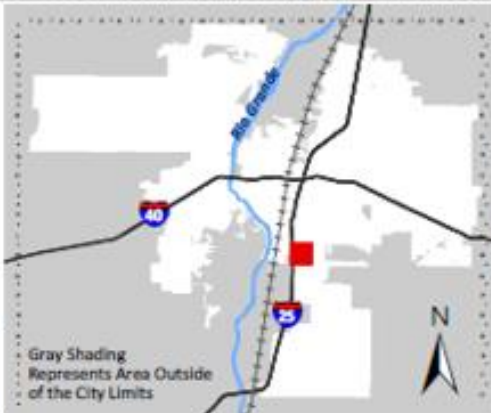
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018




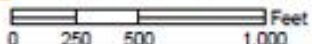
IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**M-15-Z**



- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading  
Represents Area Outside  
of the City Limits

PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

November 12, 2020

Group Orion, LLC  
1455 Pennsylvania Ave. NW  
Washington DC, 20004

**Project #2020-004447**  
SI-2020-01023—Site Plan-EPC

### LEGAL DESCRIPTION:

An approximately 119 acre portion of Tract A-1, Plat of Tracts A-1 and A-2, Sunport Municipal Addition, and Tract A-1-B, Replat of Tracts Z-4 & A-1 to Tracts Z-4-A, A-1-A, A-1-B & A-1-C of Airport Park, approximately 2.8 acres, zoned NR-SU, located south of Gibson Blvd. SE, west of Kirtland Air Force Base (KAFB), north of the existing taxiway and both east and west of Girard Blvd. SE.

Staff Planner: Catalina Lehner

On November 12, 2020, the Environmental Planning Commission (EPC) voted to Approve Project # 2020-004447/ SI-2020-01023, a Site Plan – EPC, based on the following Findings and subject to the following Conditions of Approval:

### FINDINGS:

1. The request is for a Site Plan-EPC for an approximately 119 acre portion of the Albuquerque International Sunport and an approximately 2.8 acre portion of the business park to the west, for a total of approximately 122 acres (the “subject site”). The subject site is legally described as an approximately 119 acre portion of Tract A-1, Plat of Tracts A-1 and A-2, Sunport Municipal Addition, and Tract A-1-B, Replat of Tracts Z-4 & A-1 to Tracts Z-4-A, A-1-A, A-1-B & A-1-C of Airport Park, approximately 2.8 acres.
2. Owned by the City of Albuquerque, the subject site is located south of Gibson Blvd. SE, northeast of the main airport terminal area, adjacent to Kirtland Air Force Base (KAFB), near Sandia National Laboratories, and not far from the University of New Mexico (UNM).
3. The request is considered a Site Plan-EPC because the proposed site plan would repeal and replace the controlling site development plan for subdivision for the Aviation Center for Excellence (ACE), an approximately 75 acre site consisting of the decommissioned runway land and approved by the EPC in 2015.
4. The applicant seeks to establish a new business/industrial campus for research and development of aerospace technology (assembly, integration, and testing) pertaining to satellites. The campus would contain manufacturing and assembly operations and associated uses such as office,

laboratories, on-site amenities (restaurant, gym, child care), a hotel, and a parking structure. Development would be phased. All facilities shown on the current site plan will be developed as a first phase. The areas identified as “future development” shall return to the EPC for review and approval.

5. The subject site is zoned NR-SU (Non-Residential Sensitive Use Zone District). The NR-SU zone is controlled by the Environmental Planning Commission (EPC) and allows variation from certain requirements (see Table 2-5-9) as part of the EPC review process. A separate Variance-EPC is not needed.
6. The subject site is located in both an Area of Change and an Area of Consistency as designated by the Comprehensive Plan. It is not in a currently designated Activity Center, though over time the subject site could become an Employment Center. Gibson Blvd. is designated a Commuter Corridor.
7. The subject site is located in the Airport Protection Overlay Zone. The Air Space protection subarea, Runway protection subarea, and the Noise contours subarea also apply.
8. The request does not conflict with the applicable, Use-Specific Standards (USS) for the following uses planned for the campus: 14-16-4-3(E)(2)- Light Manufacturing; 14-16-4-3(D)(27)- Research or Testing Facility; 14-16-4-3(D)(8)- Bar, Nightclub, Restaurant, Tap Room; 14-16-4-3(D)(4)- Hotel or Motel; 14-16-4-3(D)(9)- Health Club or Gym; and 14-16-4-3(D)(21)- Paid Parking Lot or Parking Structure.
9. The Albuquerque/Bernalillo County Comprehensive Plan, the Integrated Development Ordinance (IDO), the Electric Facilities Transmission and Generation Plan (2010-2020), and the Sunport Sustainable Airport Master Plan are incorporated herein by reference and made part of the record for all purposes.
10. The request is consistent with the following Comprehensive Plan Goals and Policies from Chapter 5: Land Use regarding Centers and Corridors:
  - A. Policy 5.1.5 Employment Centers: Create Centers that prioritize employment opportunities and foster synergy among businesses.
    - subpolicy a: Prioritize office and commercial employment in areas with good access via automobile and transit.
    - subpolicy b: Prioritize industrial employment in areas with good connectivity for freight routes.

The request would create a new employment center west of the Sunport Employment Center, (which corresponds somewhat to Airport Park Business Park) because it would prioritize a variety of economic-base and supporting employment opportunities. The operation would foster synergy with other aerospace-related businesses, such as Sandia National Laboratories, and would generally be located in an area with good access via automobile (transit to a lesser degree) and connectivity to freight routes such as Interstate 25.

- B. Policy 5.1.12 Commuter Corridors: Allow auto-oriented development along Commuter Corridors that are higher-speed and higher-traffic volume routes for people going across town, often as limited-access roadways.  
subpolicy a: Allow auto-oriented, single-use development such as strip retail, large retail facilities, and business and institutional campuses along Commuter Corridors.

The request would facilitate auto-oriented development along a designated Commuter Corridor, Gibson Blvd., and allow travel across town for this regionally significant operation that consists of more than a single use (so Subpolicy a does not apply).

- 11. The request is consistent with the following Comprehensive Plan Goal and policy pair from Chapter 5-Land Use regarding development patterns:

- A. Goal 5.3-Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would facilitate development in an area already served by infrastructure and public facilities, such as a fire station, and intended for aerospace-related industry. This would constitute an efficient use of land, and would support the public good by providing base jobs that create multiplier effects throughout the economy.

- B. Policy 5.3.1-Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site, and the area around it, are established locations already served by existing infrastructure and public facilities that can accommodate additional growth, although additional infrastructure (ex. electrical) would be needed to serve the proposed development.

- 12. The request is consistent with the following Comprehensive Plan Goal and policies from Chapter 5-Land Use regarding development areas:

- A. Goal 5.6-City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request would generally direct growth to a designated Area of Change where growth is expected and, in this case, anticipated for the proposed use. The proposed development would generally reinforce the character and intensity of the surrounding area because it is a large, industrial type use connected with the adjacent airport.

- B. Policy 5.6.2-Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Subpolicy b: Encourage development that expands employment opportunities.

Subpolicy e: Encourage job creation in business and industrial parks, near freight routes, and where adequate transitions and buffers can be provided to protect abutting residential uses.

Subpolicy g: Encourage development where adequate infrastructure and community services exist.

Though not in a designated Activity Center, the request would generally direct growth and more intense development to an industrial and business park area near the airport. The request would also expand employment opportunities, create jobs in an industrial park area near a freight route that is not abutting residential uses, and generally where adequate infrastructure and community services exist.

- C. Policy 5.6.3-Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, and Major Public Open Space.

The designated Areas of Consistency abutting the subject site are a couple of lots in the business park to the west and the Sunport runway area. The request would facilitate development that is generally compatible with the existing, surrounding uses near the subject site.

13. Overall, the request is consistent with the following Comprehensive Plan Goal and policies regarding Transportation:

- A. Policy 6.1.3-Auto Demand: Reduce the need for automobile travel by increasing mixed-use development, infill development within Centers, and travel demand management (TDM) programs.

The request would facilitate development of a large employment campus that would generate a lot of automobile travel. However, the applicant has prepared a Traffic Impact Study and committed to establish a Travel Demand Management program that includes a transportation coordinator on staff; TDM information/education; transit ridership and car/vanpool incentives; priority parking; amenities for bike commuters; on-site amenities; etc. This commitment is an integral strategy incorporated into the Traffic Impact Study.

- B. Goal 6.2-Multi-Modal System: Encourage walking, biking, and transit, especially at peak hour commuting times, to enhance access and mobility for people of all ages and abilities.

The proposed development should encourage more walking, biking, and transit by offering, for example, improved pedestrian crossings and transit facilities. This is important because of the limited access points to Gibson Blvd. and the likelihood of significant automobile queuing at peak-hour commuting times. The applicant is proposing to schedule the shift changes to minimize the impact during peak hour commuting times. The applicant has also committed to providing shelters at the existing transit stops at the Gibson and Girard intersection.

14. Overall, the request is partially consistent with the following Comprehensive Plan Goal and policy pairs regarding Urban Design:

- A. Goal 7.2 Pedestrian-Accessible Design: Increase walkability in all environments, promote pedestrian-oriented development in urban contexts, and increase pedestrian safety in auto-oriented contexts.

Policy 7.2.1 Walkability: Ensure convenient and comfortable pedestrian travel.

While the proposed development is largely auto-oriented, significant efforts have been made to ensure walkability. The campus has good connectivity between buildings via sky bridges, access to on-site amenities including a food hall, workout facilities, and a hotel for site visitors. The child care facility is also conveniently located with access to the parking area for employees to drop off and pick up.

Pedestrian access to the facility will be limited for security reasons. Primary pedestrian access will be via the parking structure and sky bridges for employees and visitors and additional pedestrian access will be provided off Girard Boulevard meeting IDO Section 5-3(D)(3)(b)2.a. The access off Gibson Boulevard is not intended for pedestrians at this time.

- B. Goal 7.4-Context-Sensitive Parking: Design parking facilities to match the development context and complement the surrounding built environment.  
Policy 7.4.2 Parking Requirements: Establish off-street parking requirements based on development context.  
a) Discourage oversized parking facilities.

The proposed parking structure is designed to respond to the height and scale of the development context of the large manufacturing/assembly use, minimize the footprint and travel distance for the users, and provide convenient access to the pedestrian sky bridges. The requested parking requirement ensures that the parking is right sized for the development, while a strict compliance with standard IDO parking standards would result in a parking facility that is oversized (in number of spaces).

- C. Policy 7.4.3Off-street Parking Design: Encourage well-designed, efficient, safe, and attractive parking facilities.  
e) Discourage parking abutting the travel way to allow more active uses near the public right-of-way.  
f) Provide visual interest or screening on parking structure facades and additional visual enhancements such as landscape elements and/or public art at ground level.  
g) Encourage street-front parking structures to provide additional activity at street level, such as liner buildings or public spaces.

The proposed parking structure/facility is well-designed, efficient, safe and attractive with perforated metal over grey pre-cast concrete to provide visual interest and screening, which meets the requirements of IDO Section 14-16-5-5(G) Parking Structure Design. The parking structure is also setback away from the Girard Boulevard in order to allow more active uses (liner buildings) near the street. The location of the hotel, food hall, fitness center and related entrances and outdoor gathering areas are designed to provide visual enhancement and activity at the ground level.

15. The request is consistent with the following policies from Comprehensive Plan Chapter 8: Economic Development:  
A. Policy 8.1.2-Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.



Subpolicy d: Grow the community's economic base through recruitment, retention/expansion, and new business startups to bring additional income into the region.

Subpolicy e: Encourage livable wages and high-quality work environments.

The request constitutes economic development and would encourage synergistic economic development efforts that would grow the community's economic base. The proposed use would encourage livable wages and would foster local economic opportunities associated with it, and therefore would contribute to a more robust economy and generally improve opportunities and quality of life for new and existing residents.

B. Policy 8.1.3-Economic Base: Strengthen and diversify the economic base to help reduce reliance on government spending.

Subpolicy c: Recruit new export-based businesses to expand and diversify the economic base.

Subpolicy d: Focus economic development strategies, programs, and activities to support existing and emerging economic base industry clusters that are important to the region.

The request would strengthen and diversity the economic base by providing new manufacturing, R&D, and supporting jobs that would create multiplier effects throughout the economy and, as a private company, would help reduce reliance on government spending. The efforts would focus on the aerospace technology economic base cluster that is important to the region.

16. The request is consistent with the following policies from Comprehensive Plan Chapter 12-Infrastructure, Community Facilities, and Services:

A. Policy 12.1.6- Energy Systems: Coordinate with energy providers to safeguard essential infrastructure to serve existing development and ensure a safe, adequate, and reliable supply to support growth.

The growth the request would make possible, a large manufacturing and R&R operation would require more energy resources than are available to serve existing development. The applicant is coordinating with energy providers to ensure an adequate supply of energy to support the proposed growth. The request is consistent with Policy 12.1.6- Energy Systems.

B. Policy 12.4.5- Facility Plans: Develop, update, and implement facility plans for infrastructure systems, such as drainage, electric transmission, natural gas, and information technology that benefit from cross-agency and public-private coordination.

Because it would create additional electric energy needs, the request would necessitate coordination with the energy provider (PNM) regarding capacity and service expansion to accommodate the use according to the approval processes and standards of the Facility Plan: Electric System Transmission and Generation (2010 – 2020).

17. The proposed site plan differs from the NR-LM zone in terms of building height, wall height, building-mounted light height, building design, and parking standards, all of which can be approved in the NR-SU zone through a Site Plan – EPC. These variations from NR-LM requirements should be clearly noted on the site plan.

18. Due to the large scale of the proposed development, the standard IDO parking requirements would result in a calculation of over 6,000 parking spaces, which is excessive. A more reasonable calculation of parking for this business campus is based on anticipated employment, which will total 2,500 persons over three shifts. The provision of a minimum 2,500 parking spaces accounts for overlapping shifts, other employees, and some visitor parking is appropriate. This reduced parking requirement is met and shall be clearly noted on the site plan. If additional development occurs on the site in the future, this parking requirement should be re-evaluated at that time.
19. The applicant has adequately demonstrated, through a policy-based analysis, that the request would be consistent with the Comprehensive Plan as required pursuant to IDO 14-16-6-6(H)(3)- Review and Decision Criteria for Site Plan-EPC. The request would direct growth to where it is intended, provide economic-base jobs (manufacturing, not retail) and foster economic resiliency, and occupy an infill site earmarked for this type of use and thereby promote efficient development patterns.
20. The Orion Project TIS relies significantly vehicle trip reductions to the subject site, which would be necessary for the safe functioning of transportation near and on the subject site. Transit usage, bicycle usage, and walking should be promoted in order to make the reduction in vehicle trips a reality and help alleviate strain on the existing roadway system, which is limited in capacity.
21. Comprehensive Plan Policy 5.7.3- Updated Centers and Corridors states that Centers and Corridors should be added or deleted as needed to shape the built environment in a manner consistent with the Comprehensive Plan Vision for the future. The Planning Department should consider a future Comprehensive Plan update to adjust the boundaries of the Airport Employment Center to include the subject site.
22. This site plan and its proposed uses will require new substation capacity to serve its electricity demand, including a new transmission corridor and a substation that are interrelated to a developer-initiated project that has gone through a public involvement process and has been approved by the Environmental Planning Commission. The approval processes and standards of the Facility Plan: Electric System Transmission and Generation (2010 – 2020) will apply to these necessary electric facilities.
23. The 2018 Sunport Sustainable Master Plan mentions the Aviation Center for Excellence (ACE), which comprises a large portion of the subject site, in Chapters 5 and 6. The policy of City Aviation is to encourage aviation-related commercial activities in this location broadly. City Aviation has determined that the proposed Orion Center project is consistent with and implements the Master Plan.
24. Conditions of approval are needed to ensure that applicable IDO regulations are met and to provide clarification.
25. The applicant notified the Yale Village Neighborhood Association (NA), the Victory Hills NA, the District 6 Coalition, and property owners within 100 feet of the subject site, as required. As of this writing, Staff has not been contacted or received any comments.

26. A pre-application facilitated neighborhood meeting was held on September 2, 2020. Though neighbors had questions about the project and the company, but no one expressed opposition.
27. The Albuquerque Police Department made the following recommendations related to CPTED (Crime Prevention Through Environmental Design):
  - A. Ensure adequate lighting throughout the project, to include parking areas, pedestrian walkways and bridges, entrances, and delivery areas.
  - B. Ensure natural surveillance and clear lines of sight throughout the facility. Natural surveillance requires a space free from natural and physical barrier. Establish a clear line of sight from the parking areas to the buildings and from the buildings the parking areas. Open stairwells, balcony railing, and offset picket screening materials can all enhance natural surveillance.
  - C. Consider electronic surveillance systems such as cameras and alarm systems throughout the project to enhance surveillance.
  - D. Ensure that landscaping is installed so as not to obstruct windows, doors, entryways, or lighting.
  - E. Ensure that landscaping is maintained to provide natural surveillance, trimming trees up to create a canopy of at least six feet; and trimming shrubs and bushes down to three feet.
  - F. Limit and clearly delineate access to the property; i.e. Commercial Deliveries, Employee Parking, Drop-off Zones for both the hotel and child care center.
  - G. Provide signage that clearly directs visitors to the appropriate parking and/or entrance(s)/badging area, include a map if necessary.
  - H. Ensure adequate locking devices, including but not limited to, deadbolt, electronic keypad and keyless entry where appropriate.
  - I. Ensure that addresses are posted and clearly visible.
  - J. Clearly delineate public, semi-public, semi-private, and private space throughout the project.
  - K. Install *No Trespassing* signs that cite the City Ordinance so that they are visible immediately upon entering the property.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met.

A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are met. Upon receiving final approvals, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.
3. Airport Protection Overlay Zone:  
The building elevations shall be updated to demonstrate compliance with the Airport Protection Overlay Zone as it relates to the FAA established height limit as defined by the 5,504.9' elevation contour.
4. Overall Site Plan (Sheet 100):
  - A. A note shall be added to explain project phasing.
  - B. The uses listed on the Overall Site Plan shall be the IDO use terms (column 2).
  - C. The buildings on the overall site plan shall be dimensioned and/or their footprint size indicated.
  - D. The legal description and site size shall be verified and/or match that used in the staff report.
  - E. A note shall be added to explain what varies from IDO requirements, based on using NR-LM as a baseline.
5. Parking:
  - A. Parking calculations, including the math, shall be shown on the overall Site Plan (Sheet 100) and shall be based on the number of employees as approved by the EPC. A note shall also be added that states: If future development is proposed, the EPC shall evaluate the parking requirement to ensure adequate parking for the additional uses and employees.
  - B. The required number of accessible parking (handicap spaces) shall be listed as 45 (not 35) and the math shown.
6. Pedestrians/Connectivity:
  - A. A walkway shall be provided that leads to the abutting public transit stops serving the subject site [14-16-5-3(D)(3)(b)(2)(c)].
  - B. A pedestrian pathway from the parking garage to the childcare facility shall be provided [IDO 14-16-5-3(D)(3)(b)(1)].
  - C. Pedestrian walkways and crosswalks shall be identified to motorists and pedestrians through a change in material, patterns, or height [IDO 14-16-5-3(D)(3)(c)].
7. Motorcycle Parking:
  - A. The math for the motorcycle parking space calculation shall be shown.
  - B. The location of the motorcycle spaces on the surface lot shall be shown and be in a convenient location [IDO 14-16-5-5(D)(2)].
8. Bicycle Parking:
  - A. Bicycle parking shall be provided at the rate of 10% of required regular parking spaces and the math shown [IDO 14-16-5-5(E)(1)].

B. Bicycle parking shall be in convenient and visible locations [IDO 14-16-5-5(E)(4)(a)].

9. Alternative Transportation/TDM:

- A. The applicant shall coordinate with the Transit Department-ABQ Ride and provide bus shelters to encourage transit usage.
- B. The applicant shall provide carpool and/or vanpool parking in a convenient, preferential location as a TDM strategy.
- C. The applicant shall consider providing bicycle lockers as a TDM strategy.

10. Loading:

- A. Any off-street loading areas shall be indicated and meet the standards in IDO 14-16-5-5(H)(3).
- B. Loading spaces shall be provided as indicated in Table 5-5-7 and shown on the site plan.

11. Walls and Fences:

- A. The colors of the fence pickets and the precast concrete shall be specified on the wall and fence details.
- B. A retaining wall detail shall be provided so that compliance with IDO 14-16-5-7(F), Retaining Wall Standards, can be evaluated.

12. Lighting:

- A. A note shall be added to relevant sheets to explain the alternative wall-mounted height of exterior light fixtures [IDO 14-16-5-8-(D)(8)].
- B. A general note shall be provided to ensure compliance with 14-16-5-8(D)(3) regarding light spillover and 14-16-5-8(D)(6) regarding light intensities.

13. Outdoor Gathering Areas:

Calculations, dimensions, and totals for the outdoor gathering space shall be provided (perhaps similar to a parking table that compares required to proposed).

14. Landscaping:

- A. Landscaping shall be provided at a rate of 15% of the net lot area [IDO 14-16-5-6(C)(2)(a)].
- B. Landscaping calculations shall be made based on net lot area, which is defined the “area of the lot covered by buildings”.
- C. The landscaping calculations for the larger lot (119 acres) shall be based on the net lot area calculation.
- D. The percentage of landscaping provided for the childcare facility (on the 2.8 acre lot) shall be adjusted based on the net lot area calculation (see definition of net lot area).

15. Water Harvesting:

- A. Runoff water shall be directed to depressed landscaping beds that provide supplemental irrigation [IDO 14-16-5-6(C)(13)(b)].
- B. The grading and drainage plan shall include a note requiring that curb notches be provided into the depressed landscaping beds.

16. Signage: A note needs to be added to ensure that luminance does not exceed 200 foot lamberts at night pursuant to IDO 14-16-5-12(E)(5)(a)(2).

17. Mechanical:

- A. Notes shall be added to indicate that mechanical equipment shall be fully screened [IDO 14-16-5-6(G)(1)].
- B. The dimensions, materials, and colors of the trash compactors shall be indicated.

18. CONDITIONS FROM THE CITY ENGINEER/TRANSPORTATION DEVELOPMENT:

- A. Due to limited capacity of surrounding roadways and insufficient space for expansion, propose other modes of transportation such as transit and bicycle travel. Show cost alternatives for proposed transit even if proposing cost-sharing. Evaluate other options for mitigation as proposed in the Traffic Impact Study.
- B. Discuss future phasing as part of the Traffic Impact Study and further impact on traffic.
- C. For any transit options proposed, demonstrate sufficient space for drop-off areas and/or queuing.
- D. Show all required parking spaces including those within the parking garage.
- E. Indicate all spaces with electrical charging stations.
- F. Use trip distribution and DPM requirements to compute throat lengths.
- G. There is a gate shown at entry off of Gibson? Is this a security gate or access gate? Is it only closed during certain hours? Perform queuing analysis to ensure that there is no backup onto Gibson Boulevard, and provide a turn-around space in front of the gate.
- H. All exterior sidewalks, vehicular lanes, bus stops and bicycle paths should be labeled.
- I. Show all bikeways and pedestrian pathways to new development. Show all aisle and walkway widths and doorway entrances.
- J. All curb and curb radii should be labeled. All parking lot spaces shall be dimensioned.
- K. Any proposed public roadway vacation has to be submitted through DRB.
- L. Show all property lines clearly.
- M. Receive Fire Marshall Approval for the proposed site. Knox box should be labeled at the gates.
- N. Any required roadway infrastructure shall be placed onto an infrastructure list for DRB Approval. This shall include any required infrastructure needed from the Traffic Impact Study, any bus shelters, exterior sidewalks and bikeway facilities.

- O. Use DPM standards and designated off-site speed limits to show clear sight triangles on both the site plan and landscaping plan. Add the following note as well: "Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."
- P. Provide curb ramp and sidewalk details. Sidewalk shall show maximum 2% cross-slope.
- Q. Label all compact parking spaces as ""Compact".
- R. The ADA access aisle shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space.
- S. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**"

19. CONDITION FROM THE DEPARTMENT OF MUNICIPAL DEVELOPMENT (DMD)-TRANSPORTATION PLANNING:

DMD requests dedication of ROW for existing sidewalks not currently in ROW and that all new sidewalk and curb ramps be located within the existing ROW or the newly dedicated ROW.

20. CONDITION FROM THE SOLID WASTE MANAGEMENT REFUSE DIVISION:

A Transportation Circulation Layout (TCL) signed by the Solid Waste Department will be required, along with trash compactor enclosures that meet the C.O.A minimum requirements.

21. CONDITION FROM THE POLICE DEPARTMENT:

Due to the special security concerns for this facility, the site plan shall be designed to address the CPTED recommendations as expressed by the Police Department including lighting, surveillance, signage, and security technology. In particular, the parking structure shall incorporate the principles of CPTED so as to deter crime and to facilitate security measures as required by IDO Section 14-16-5-5(G)(1).

22. CONDITIONS FROM THE ABQ-BERNCO WATER UTILITY AUTHORITY (ABCWUA):

A. The applicant shall request an Availability Statement at the following link <https://hes32-ctp.trendmicro.com:443/wis/clicktime/v1/query?url=http%3a%2f%2fwww.abcwua.org%2fAvailability%5fStatements.aspx&umid=761d99d5-05e7-4407-a26c-8489af88e2db&auth=c5e193b2792d33bbda0d14ee5f909adbb398f028-9212f5c28b0546254ae3107745c7f21a16affe35>

B. The above request shall include a Fire Marshal approved Fire 1 Plan,

23. CONDITIONS FROM PNM:

A. The applicant shall identify all electric facilities, including structures and poles, on the property and adjacent to the property and then clearly note them on the site plan and any future site plan, including the location of a new transmission corridor near the site and the substation abutting the site.

- B. It is the applicant's obligation to determine if existing and new utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **November 30, 2020**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,



Digitally signed by James M. Aranda  
DN: cn=James M. Aranda, o=City of  
Albuquerque, ou=Planning  
Department,  
email=jmaranda@cabq.gov, c=US  
Date: 2020.11.18 11:40:28 -07'00'

for Brennon Williams  
Planning Director

BW/CL

cc: EPC file

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**From:** [Aranda, James M.](#)  
**To:** [Brito, Russel](#)  
**Cc:** [Williams, Brennon](#); [Biazar, Shahab](#); [Lehner, Catalina L.](#); [Garcia, Carl A.](#); [Maestas, Charles D.](#)  
**Subject:** [External] RE: Orion Site Plan - DRB  
**Date:** Friday, April 9, 2021 4:47:31 PM  
**Attachments:** [image003.png](#)  
**Importance:** High

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This email is from jmaranda@cabq.gov - do you know them?  
\*\*\*\*\*

Russell,  
Thank you for reaching out with a request to determine the applicability of the explicit language of PNM’s Condition #23 as detailed in the EPC site plan approval for the Orion Project.

Based upon the information you have shared, I have determined that at the time when your agency (PNM) recommended this specific language for Condition #23, the design strategy to provide electric service to the Orion campus was to develop a substation exclusive to Orion along with a Sagebrush substation and a transmission line between them. Upon review of your current submission exhibits, the final design of the Sagebrush Station and associated facilities no longer include transmissions lines, which have been replaced with distribution lines.

Upon review of the Electric Facility Plan (EFT), I have ascertained that while the plan explicitly regulates substations and transmission lines, it does not regulate distribution lines, poles, or corridors. Therefore, **it is my determination that the specific language in Condition #23 that states: “including structures and poles” is no longer applicable.** My determination is based on the following findings:

- The 2010-2020 Electric Facility Plan (EFP) has stated policies for the system of electric transmission facilities in the City of Albuquerque and County of Bernalillo which are referred to in the plan as standards.
- The 2010-2020 Electric Facility Plan (EFP) is explicit in regulating substations and transmission lines
- The 2010-2020 Electric Facility Plan (EFP) does not regulate distribution lines, poles, or corridors
- Per PNM, Condition #23 language “including structures and poles” was specifically included in the condition to account for the possibility for transmission lines/poles as part of the proposed design
- The updated design submitted by PNM incorporates distribution lines and associated improvements, not transmission lines, structures, and poles.

In regard to your request for a confirmation regarding the appropriate approval process in PNM Condition #23 language that refers to “any future site plan.” Finding #22 of the EPC’s Notice of Decision for the approved Orion Project Site Plan states: “[T]he site plan and proposed uses will require new substation capacity to serve its electricity demand, including a new transmission corridor and substation that are interrelated to a developer-initiated project that has gone through a public involvement process and has been approved by the EPC. The approval processes and standards of the 2010-2020 EFT will apply to the proposed electrical facility upgrades.”

**It is my determination that the EPC approved site plan, EPC Finding #22, corresponding EPC Condition #23, and the Orion Transmission Map Exhibit in sum satisfy the 2010-2020 EFT’s processes for the proposed electrical facilities upgrades and improvements.** Please note that pursuant to Condition #23 of the EPC’s Notice of Decision for the Orion Project Site Plan, PNM will detail vehicular access, wall design, final grading and drainage, and landscaping for the Sagebrush Substation with a follow-up site plan submission to DRB.

Please include this correspondence with all subsequent submittals. I have cc’d Senior Planner Catalina Lehner on this correspondence to make her aware of my determination regarding the “structures and poles” language in PNM Condition #23. Also cc’d are City Engineer Shahab Biazar and Zoning and Permitting Manager Carl Garcia. Please feel free to reach out if you have questions or require additional detail.

Respectfully,

JMA



**JAMES M. ARANDA, MCRP**

*él/he/him/his*

deputy director + zeo | planning department

o 505.924.3361

e [jmaranda@cabq.gov](mailto:jmaranda@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Brito, Russell <[Russell.Brito@pnm.com](mailto:Russell.Brito@pnm.com)>

**Sent:** Friday, April 9, 2021 2:39 PM

**To:** Aranda, James M. <[jmaranda@cabq.gov](mailto:jmaranda@cabq.gov)>

**Subject:** Orion Site Plan - DRB

**External**

James,

The EPC-approved site plan for the Orion project was submitted by BHI to DRB today. PNM has coordinated with BHI to address EPC Condition of Approval #23 (see attached Orion Project and Facility Plan). At the time PNM recommended this language, the design strategy to provide electric service to the Orion campus was to have an Orion substation and a Sagebrush substation with a transmission line between them. The Electric Facility Plan (EFP) regulates substations and transmission lines.

As the design process proceeded after the EPC approval of the site plan, it was determined that the Sagebrush site can accommodate all equipment within its boundaries. The Sagebrush substation, which will be located on Sunport property, will provide electric service to Orion via distribution lines (see attached Orion Distribution).

The Condition #23 language "including structures and poles" was to cover the possibility for transmission lines/poles, which the City regulates with the EFP. Now that the design has been finalized, this language is no longer applicable since the Facility Plan does not regulate distribution lines, poles, or corridors. Please confirm that this is your determination as we discussed.

Also, per Condition #23 language "and any future site plan," PNM will show vehicular access, wall design, final grading and drainage, and landscape for the Sagebrush Substation with a follow-up site plan that we will submit for DRB review. Please confirm this is your determination as we discussed.

The transmission lines needed to serve Sagebrush and the Orion campus will include the rebuild of the existing Person-Prosperity line and a new Prosperity-Sagebrush line (see attached Orion Transmission). Please confirm your determination that the EPC approved site plan, EPC Finding #22, and corresponding Condition #23, and the Orion Transmission map exhibit meet the EFP processes for the new facilities as we discussed.

We are submitting the initial Sagebrush G&D plan for the landfill remediation to DRB this month as the crucial first step because the removal of the trash will take months to complete. The site plan submittal to DRB as described above will follow soon after.

We are excited to provide electric service to this important employment and economic development addition to Albuquerque and appreciate your and City Planning staff's continued collaboration and coordination to bring the Orion project to fruition.

Thank you,

• *Russell*

Russell Brito, Land Use & Permitting Administrator

Projects and Program Management

PNM, 2401 Aztec Rd NE, MS-Z200, Albuquerque, NM 87107

505.241.2798 Office

[Russell.Brito@pnm.com](mailto:Russell.Brito@pnm.com)



**Be the Reason**  
*everyone goes home safe*

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-126 Date: 07/16/21 Time: N/A (sent via email to )

Address: 2200 Sunport Blvd. SE

### **AGENCY REPRESENTATIVES**

Planning: Catalina Lehner (clehner@cabq.gov) James Aranda (imaranda@cabq.gov)

Zoning/Code Enforcement: Carl Garcia (cagarcia@cabq.gov)

Fire Marshal: Antonio Chinchilla (achinchilla@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Hydrology: Ernest Armijo, P.E. (earmijo@cabq.gov)

Solid Waste: Herman Gallegos (hgallegos@cabq.gov)

Water Authority: David Gutierrez - dggutierrez@abcwua.org or call 505.289.3307; 505.241.9630

### **PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!**

**THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.**

*Additional research may be necessary to determine the exact type of application and/or process needed.  
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

**REQUEST:** Grading and drainage plan for remediation of Yale landfill & Sagebrush substation on CABQ property at the NE corner of University Blvd. & Sunport Blvd. SE

### **SITE INFORMATION:**

Zone: NR-SU

Size: Approx. 23 acres

Use: Sensitive Use

Overlay zone: Airport Protection Overlay Zone (3-3)

Comp Plan Area of: N/A

Comp Plan Corridor: N/A

Comp Plan Center: Sunport

MPOS or Sensitive Lands: AH, X, AO Flood zone

Parking: 14-16 5-5

MR Area: Near Heights

Landscaping: 14-16 5-6

Street Trees: 14-16 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: The PC zone dimensional standards are per the relevant Framework Plan

\*Neighborhood Organization/s: N/A

*\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods.resources](http://www.cabq.gov/neighborhoods.resources).*

### **PROCESS:**

Type of Action: SITE PLAN – EPC

Review and Approval Body: EPC Is this a PRT requirement? Yes (Table 6-1-1)

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-126 Date: 07/16/21 Time: N/A (sent via email)

Address: 2200 Sunport Blvd. SE

### **NOTES:**

See the **Integrated Development Ordinance**

<https://documents.cabq.gov/planning/IDO/IDO-2019-Effective-2020-11-02.pdf>

### **Download Forms & Applications**

<https://www.cabq.gov/planning/online-forms>

### **New Public Notice Forms**

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings.

Please complete these forms for public notice:

- Neighborhood Meeting - <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>
- Public Notice - <http://www.cabq.gov/planning/urban-design-development/public-notice>

### **Records requests**

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

### **Requests to Inspect Public Records**

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

### **File Submittal**

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov) and/or to Maggie Gould at [mgould@cabq.gov](mailto:mgould@cabq.gov).

For other questions, please contact the Planning representative at the top of the PRT Notes.

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:

<https://www.cabq.gov/planning/building-safety-permits>

# PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-126 Date: 07/16/21 Time: N/A (sent via email)

Address: 2200 Sunport Blvd. SE

## Zoning Comments

### PRT 21-126

### PROPERTY INFORMATION

- Address: 2200 SUNPORT BLVD SE
- Lot: A1 Block: 0000
- Subdivision: SUNPORT MUNICIPAL ADDN
- Landfills (5-2)
- Name: SOUTH YALE
- Status: CLOSED
- Operator: CITY OF ALBUQUERQUE
- Waste Type: MUNICIPAL
- Kirtland AFB Military Influence Area
- Airport Protection Overlay Zone (Albuquerque Int'l Sunport)
- (Airport) Air Space Protection Sub-area
- Sunport Boulevard Area
- (Airport) Runway Protection Sub-area
- (Airport) Noise Contour Sub-area 65 LdN
- Type: Change
- Calculated GIS Acres: 2287.1491
- Old Zoning Designation: SU-1
- Old Zoning Description: AIRPORT & REL FAC
- Landfill Buffers (5-2): SOUTH YALE
- Distance: 500
- IDO Zoning: **NR-SU**
- Old Zoning Description: AIRPORT & REL FAC
- Old Zoning Category: UTILITIES / TRANSPORTATION

### CASE HISTORY

- PR-2018-001575, PR-2020-004447
- 1000270
- 1000276

### DEVELOPMENT STANDARDS

- 3-3 AIRPORT PROTECTION OVERLAY ZONE
- 5-2 SITE DESIGN AND SENSITIVE LANDS
- 5-6 LANDSCAPING, BUFFERING, AND SCREENING

### APPLICANT'S QUESTIONS

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-126 Date: 07/16/21 Time: N/A (sent via email)

Address: 2200 Sunport Blvd. SE

- Contact Gary J. Schneider Kirtland's Base Civil Engineer and all projects, infrastructure, Real Property, Planning, etc. @ 505-853-2043 or [gary.schneider.2@us.af.mil](mailto:gary.schneider.2@us.af.mil)
- Abide as per the Sunport Master Plan guidelines

### **PROCESS**

- 6-6(J) SITE PLAN – EPC

*As always, if you have specific questions pertaining to zoning and/or development standards you are encouraged to reach out to the zoning counter at (505) 924-3857 option 1.*

### **Transportation Development Comments**

*If you would have additional questions or would like to schedule a follow-up Zoom meeting please contact Diego Ewell at [dewell@cabq.gov](mailto:dewell@cabq.gov)*

**From:** [Aranda, James M.](#)  
**To:** [Brito, Russel](#)  
**Cc:** [Williams, Brennon](#); [Biazar, Shahab](#); [Lehner, Catalina L.](#); [Garcia, Carl A.](#); [Maestas, Charles D.](#)  
**Subject:** [External] RE: Orion Site Plan - DRB  
**Date:** Friday, April 9, 2021 4:47:31 PM  
**Attachments:** [image003.png](#)  
**Importance:** High

\*\*\*\*\*  
**CAUTION:** This email was received from an **EXTERNAL** source, use caution when clicking links or opening attachments.  
If you believe this to be a malicious and/or phishing email, please use the **Report Phishing** button.  
\*\*\*\*\*

\*\*\*\*\*  
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This email is from jmaranda@cabq.gov - do you know them?  
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Based upon the information you have shared, I have determined that at the time when your agency (PNM) recommended this specific language for Condition #23, the design strategy to provide electric service to the Orion campus was to develop a substation exclusive to Orion along with a Sagebrush substation and a transmission line between them. Upon review of your current submission exhibits, the final design of the Sagebrush Station and associated facilities no longer include transmissions lines, which have been replaced with distribution lines.

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Please include this correspondence with all subsequent submittals. I have cc’d Senior Planner Catalina Lehner on this correspondence to make her aware of my determination regarding the “structures and poles” language in PNM Condition #23. Also cc’d are City Engineer Shahab Biazar and Zoning and Permitting Manager Carl Garcia. Please feel free to reach out if you have questions or require additional detail.

Respectfully,

JMA



**JAMES M. ARANDA, MCRP**

*él/he/him/his*

deputy director + zeo | planning department

o 505.924.3361

e [jmaranda@cabq.gov](mailto:jmaranda@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Brito, Russell <[Russell.Brito@pnm.com](mailto:Russell.Brito@pnm.com)>

**Sent:** Friday, April 9, 2021 2:39 PM

**To:** Aranda, James M. <[jmaranda@cabq.gov](mailto:jmaranda@cabq.gov)>

**Subject:** Orion Site Plan - DRB

**External**

James,

The EPC-approved site plan for the Orion project was submitted by BHI to DRB today. PNM has coordinated with BHI to address EPC Condition of Approval #23 (see attached Orion Project and Facility Plan). At the time PNM recommended this language, the design strategy to provide electric service to the Orion campus was to have an Orion substation and a Sagebrush substation with a transmission line between them. The Electric Facility Plan (EFP) regulates substations and transmission lines.

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We are excited to provide electric service to this important employment and economic development addition to Albuquerque and appreciate your and City Planning staff's continued collaboration and coordination to bring the Orion project to fruition.

Thank you,

• *Russell*

Russell Brito, Land Use & Permitting Administrator

Projects and Program Management

PNM, 2401 Aztec Rd NE, MS-Z200, Albuquerque, NM 87107

505.241.2798 Office

[Russell.Brito@pnm.com](mailto:Russell.Brito@pnm.com)



**Be the Reason**  
*everyone goes home safe*



**From:** Brito, Russell  
**To:** Brito, Russell  
**Subject:** FW: [External] 2200 Sunport Blvd SE Public Notice Inquiry  
**Date:** Thursday, October 28, 2021 4:03:47 PM  
**Attachments:** image007.png  
 image008.png  
 image009.png  
 image010.png  
 image011.png

**From:** Carmona, Dalaina L. <[dcarmona@cabq.gov](mailto:dcarmona@cabq.gov)>  
**Sent:** Monday, June 21, 2021 4:42 PM  
**To:** Moyer, Laurie <[Laurie.Moyer2@pnm.com](mailto:Laurie.Moyer2@pnm.com)>  
**Subject:** [External] 2200 Sunport Blvd SE Public Notice Inquiry

\*\*\*\*\*  
**CAUTION:** This email was received from an **EXTERNAL** source, use caution when clicking links or opening attachments.  
 If you believe this to be a malicious and/or phishing email, please use the **Report Phishing** button.  
 \*\*\*\*\*

\*\*\*\*\*  
**Is this a phishing email? - Look again!**  
 This email is from [dcarmona@cabq.gov](mailto:dcarmona@cabq.gov) - do you know them?  
 \*\*\*\*\*

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
District 6 Coalition of Neighborhood Associations	Patricia	Willson	<a href="mailto:info@willsonstudio.com">info@willsonstudio.com</a>	505 Dartmouth Drive SE	Albuquerque	NM	87106		5059808007
District 6 Coalition of Neighborhood Associations	Mandy	Warr	<a href="mailto:mandy@theremedyspa.com">mandy@theremedyspa.com</a>	119 Vassar Drive SE	Albuquerque	NM	87106		5054014367
Yale Village NA	Kim	Love	<a href="mailto:klove726@gmail.com">klove726@gmail.com</a>	2122 Cornell Drive SE	Albuquerque	NM	87106	5056882162	
Yale Village NA	Donald	Love	<a href="mailto:donaldlove08@comcast.net">donaldlove08@comcast.net</a>	2125 Stanford Drive SE	Albuquerque	NM	87106	5054807175	
Victory Hills NA	Melissa	Williams	<a href="mailto:mansdf@comcast.net">mansdf@comcast.net</a>	1010 Princeton SE	Albuquerque	NM	87106		5054636484
Victory Hills NA	Patricia	Willson	<a href="mailto:info@willsonstudio.com">info@willsonstudio.com</a>	505 Dartmouth Drive SE	Albuquerque	NM	87106		5059808007

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):  
<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:  
<https://ido.abc-zone.com/integrated-development-ordinance-ido?page=393>

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
 Office of Neighborhood Coordination  
 Council Services Department  
 1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
 Albuquerque, NM 87102  
 505-768-3334  
[dcarmona@cabq.gov](mailto:dcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
 Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



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**From:** [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [mailto:[webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org)] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)  
**Sent:** Friday, June 18, 2021 4:08 PM  
**To:** Office of Neighborhood Coordination <[Laurie.Moye2@pnm.com](mailto:Laurie.Moye2@pnm.com)>  
**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>  
**Subject:** Public Notice Inquiry Sheet Submission

**Public Notice Inquiry For:**

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

**Contact Name**

Laurie Moye

**Telephone Number**

505-241-2792

**Email Address**

[Laurie.Moye2@pnm.com](mailto:Laurie.Moye2@pnm.com)

**Company Name**

PNM

**Company Address**

2401 Aztec NE

**City**

Albuquerque

**State**

NM

**ZIP**

87107

**Legal description of the subject site for this project:**

Lot A-1

Block 0000

Support Municipal Addition

**Physical address of subject site:**

2200 Support Blvd SE

**Subject site cross streets:**

University and Support Blvd SE

**Other subject site identifiers:**

N corner of University Blvd and Support Blvd SE

**This site is located on the following zone atlas page:**

M15

## Brito, Russell

---

**From:** Moye, Laurie  
**Sent:** Tuesday, June 22, 2021 3:20 PM  
**To:** mandy@theremedyspa.com  
**Cc:** Moye, Laurie  
**Subject:** PNM Sagebrush Substation NA Notification  
**Attachments:** Zone Atlas M-15.pdf; NeighborhoodMeetingRequest-Sagebrush DRB Site Plan - Dist 6 Warr.pdf

Hello Mandy,

Attached please find the required CoA Neighborhood notification letter for and the Zone atlas page for the requested site location for District 6. Please let me know if you have any questions. Thank you , Laurie Moye

*Laurie Moye*

*PNM 2401 Aztec Rd. NE*

*Albuquerque, NM 87107*

*505-241-2792 cell: 505-259-0724*

*Laurie.Moye2@pnm.com*

## Brito, Russell

---

**From:** Moye, Laurie  
**Sent:** Tuesday, June 22, 2021 3:23 PM  
**To:** info@willsonstudio.com  
**Cc:** Moye, Laurie  
**Subject:** PNM Sagebrush Substation NA Notification  
**Attachments:** Zone Atlas M-15.pdf; NeighborhoodMeetingRequest-Sagebrush DRB Site Plan - Dist 6 Willson.pdf; NeighborhoodMeetingRequest-Sagebrush DRB Site Plan - Victory Hills Willson.pdf

Hello Patricia,

Attached please find the required CoA Neighborhood notification letter and the Zone atlas page for the requested site location. I have included both the District 6 coalition and Victory Hills Neighborhood Association notice letters. Please let me know if you have any questions. Thank you , Laurie Moye

*Laurie Moye*

*PNM 2401 Aztec Rd. NE*

*Albuquerque, NM 87107*

*505-241-2792 cell 505-259-0724*

*Laurie.Moye2@pnm.com*

## **Brito, Russell**

---

**From:** Moye, Laurie  
**Sent:** Tuesday, June 22, 2021 3:21 PM  
**To:** donaldlove08@comcast.net  
**Cc:** Moye, Laurie  
**Subject:** PNM Sagebrush Substation NA Notification  
**Attachments:** NeighborhoodMeetingRequest-Sagebrush DRB Site Plan - Yale Village DonaldLove.pdf; Zone Atlas M-15.pdf

Hello Donald,

Attached please find the required CoA Neighborhood notification letter and the Zone atlas page for the requested site location for Yale Village NA. If you have any questions please contact me. Thank you , Laurie Moye

*Laurie Moye*

*PNM 2401 Aztec Rd. NE*

*Albuquerque, NM 87107*

*505-241-2792 cell 505-259-0724*

*Laurie.Moye2@pnm.com*

## Brito, Russell

---

**From:** Moye, Laurie  
**Sent:** Tuesday, June 22, 2021 3:15 PM  
**To:** Klove726@gmail.com  
**Cc:** Moye, Laurie  
**Subject:** PNM Sagebrush Substation NA Notification  
**Attachments:** Zone Atlas M-15.pdf; NeighborhoodMeetingRequest-Sagebrush DRB Site Plan - Yale Village Love.pdf

Hello Kim,

Attached please find the required CoA Neighborhood notification letter and the Zone atlas page for the requested site location for Yale Village NA. If you have any questions please contact me. Thank you , Laurie Moye

*Laurie Moye*

*PNM 2401 Aztec Rd. NE*

*Albuquerque, NM 87107*

*505-241-2792 cell 505-259-0724*

*Laurie.Moye2@pnm.com*

## Brito, Russell

---

**From:** Moye, Laurie  
**Sent:** Tuesday, June 22, 2021 3:13 PM  
**To:** mansdf@comcast.net  
**Cc:** Moye, Laurie  
**Subject:** PNM Sagebrush Substation NA Notification  
**Attachments:** Zone Atlas M-15.pdf; NeighborhoodMeetingRequest-Sagebrush DRB Site Plan - Victory Hills Willson.pdf

Hello Melissa,

Attached please find the required CoA Neighborhood notification letter and the Zone atlas page for the requested site location for Victory Hills Neighborhood Association notice letter. Please let me know if you have any questions. Thank you , Laurie Moye

*Laurie Moye*

*PNM 2401 Aztec Rd. NE*

*Albuquerque, NM 87107*

*505-241-2792 cell 505-259-0724*

*Laurie.Moye2@pnm.com*

1. The first step in the process of creating a business plan is to conduct a market analysis. This involves identifying the target market, understanding the needs and preferences of the target audience, and assessing the competitive landscape. A thorough market analysis is essential for developing a realistic business plan and for identifying opportunities for growth and differentiation.

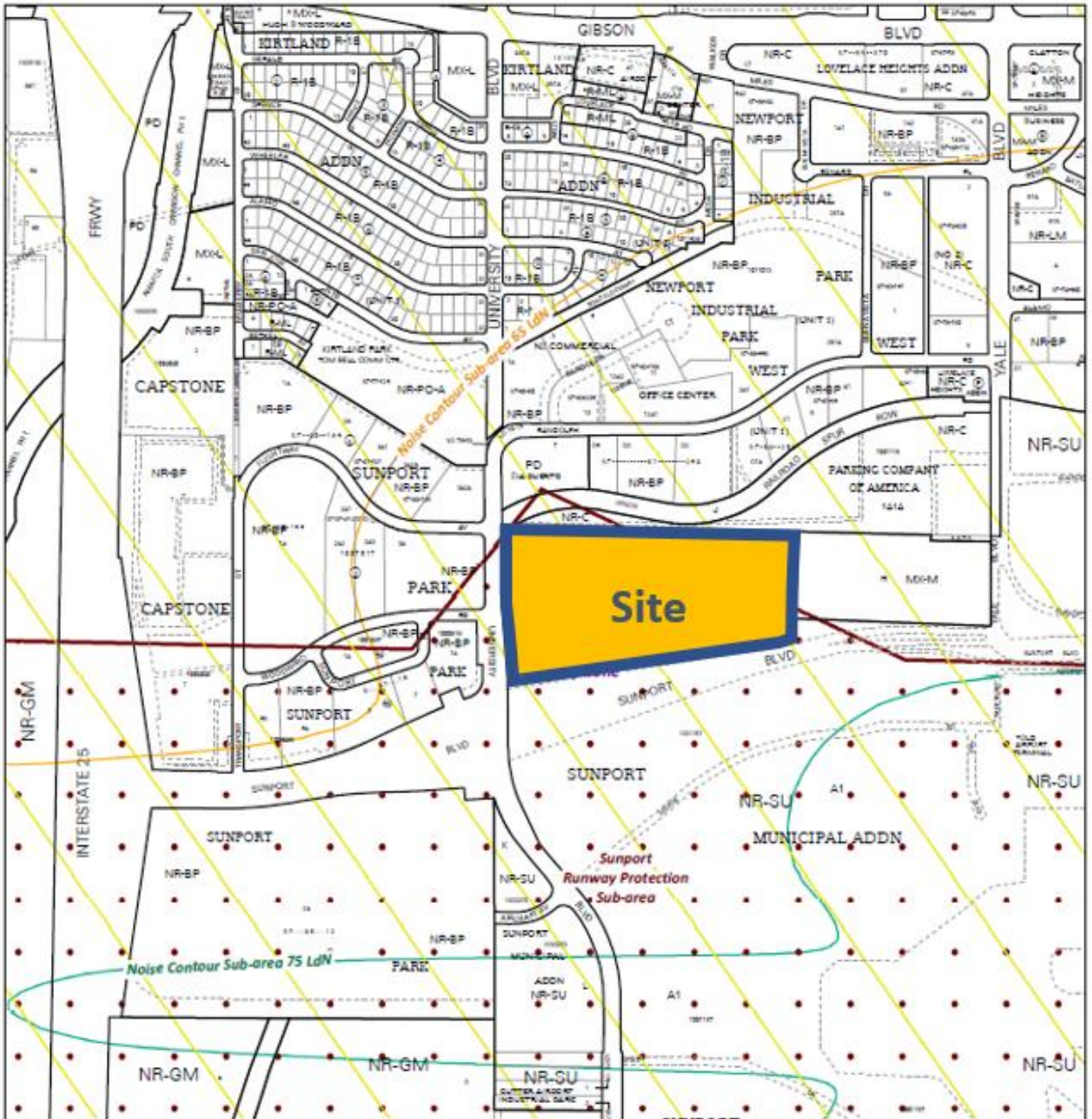
2. Once the market analysis is complete, the next step is to define the business model. This involves determining the products or services to be offered, the pricing strategy, and the distribution channels. The business model should be designed to meet the needs of the target market and to provide a sustainable source of revenue.

3. The third step is to develop a marketing and sales strategy. This involves identifying the key marketing channels, developing a promotional budget, and establishing a sales process. The marketing and sales strategy should be designed to attract and retain customers and to maximize the return on investment.

4. The fourth step is to create a financial plan. This involves estimating the costs of the business, projecting the revenue, and determining the break-even point. The financial plan should provide a clear picture of the financial viability of the business and should be used to secure financing if needed.


5. Finally, the business plan should be reviewed and updated regularly. The business environment is constantly changing, and the business plan should be updated to reflect these changes. Regular reviews of the business plan can help to identify areas for improvement and to ensure that the business remains on track.





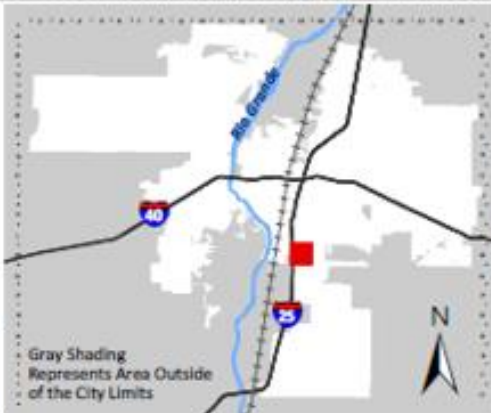
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018




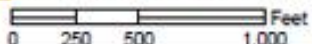
IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**M-15-Z**



- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading  
Represents Area Outside  
of the City Limits

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: June 23, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: District 6 Coalition of Neihghborhood Associations

Name of NA Representative\*: Mandy Warr

mandy@theremedyspa.com / 119 Vassar Dr SE 87106

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: \_\_\_\_\_

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Laurie.Moye2@pnm.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description NE corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Build a new Sagebrush substation to support and secure the distribution of safe and reliable electricity to the Southeast quadrant of Albuquerque.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>\*4</sup>:  
Laurie.Moye2@pnm.com

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> M-15
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)  Variance(s)  Waiver(s)  Alternative Landscaping  
Explanation:  
Alternate landscape plan: to allow the concentration of landscape on the site's west side along University Blvd where it will be visible from the public right-of-way (it will not be readily visible from the south, the east, or the north as the Randolph Road business park develops).
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***: - No buildings; electric facilities only
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] Approximately 23 acres
    - b. IDO Zone District NR-SU
    - c. Overlay Zone(s) [if applicable] Airport Proection Overlay Zone (Airspace, Runway, Noise)
    - d. Center or Corridor Area [if applicable] \_\_\_\_\_
  - 2. Current Land Use(s) [vacant, if none] Vacant
- 

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: June 23, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: District 6 Coalition of Neihghborhood Associations

Name of NA Representative\*: Patricia Willson

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: info@willsonstudio.com / 505 Dartmouth Dr SE 87106

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Laurie.Moye2@pnm.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:  
\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description NE corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Build a new Sagebrush substation to support and secure the distribution of safe and reliable electricity to the Southeast quadrant of Albuquerque.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>\*4</sup>:  
Laurie.Moye2@pnm.com

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> M-15
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)  Variance(s)  Waiver(s)  Alternative Landscaping  
Explanation:  
Alternate landscape plan: to allow the concentration of landscape on the site's west side along University Blvd where it will be visible from the public right-of-way (it will not be readily visible from the south, the east, or the north as the Randolph Road business park develops).
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***: - No buildings; electric facilities only
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] Approximately 23 acres
  - b. IDO Zone District NR-SU
  - c. Overlay Zone(s) [if applicable] Airport Proection Overlay Zone (Airspace, Runway, Noise)
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: June 23, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Victory Hills Neighbourhood Association

Name of NA Representative\*: Melissa Williams

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: mansdf@comcast.net / 1010 Princeton Dr SE 87106

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Laurie.Moye2@pnm.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:  
\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description NE corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
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  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
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<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

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[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Build a new Sagebrush substation to support and secure the distribution of safe and reliable electricity to the Southeast quadrant of Albuquerque.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>\*4</sup>:  
Laurie.Moye2@pnm.com

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> M-15
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
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Explanation:  
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4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

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<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***: - No buildings; electric facilities only
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] Approximately 23 acres
    - b. IDO Zone District NR-SU
    - c. Overlay Zone(s) [if applicable] Airport Proection Overlay Zone (Airspace, Runway, Noise)
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  - 2. Current Land Use(s) [vacant, if none] Vacant
- 

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: June 23, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Victory Hills Neighbourhood Association

Name of NA Representative\*: Patricia Willson

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: info@willsonstudio.com / 505 Dartmouth Dr SE 87106

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Laurie.Moye2@pnm.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:  
\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description NE corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

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- Waiver
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- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Build a new Sagebrush substation to support and secure the distribution of safe and reliable electricity to the Southeast quadrant of Albuquerque.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:  
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6. Where more information about the project can be found<sup>\*4</sup>:  
Laurie.Moye2@pnm.com

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> M-15
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
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Explanation:  
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4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
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    - Total gross floor area of proposed project.
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**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] Approximately 23 acres
  - b. IDO Zone District NR-SU
  - c. Overlay Zone(s) [if applicable] Airport Proection Overlay Zone (Airspace, Runway, Noise)
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

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<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: June 23, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Yale Village Neighbourhood Association

Name of NA Representative\*: Donald Love

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: donaldlove08@comcast.net / 2125 Stanford Dr SE 87106

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Laurie.Moye2@pnm.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:  
\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description NE corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Build a new Sagebrush substation to support and secure the distribution of safe and reliable electricity to the Southeast quadrant of Albuquerque.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:  
 Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)  
 Landmarks Commission (LC)  Environmental Planning Commission (EPC)  
 City Council
6. Where more information about the project can be found<sup>\*4</sup>:  
Laurie.Moye2@pnm.com

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> M-15
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)  Variance(s)  Waiver(s)  Alternative Landscaping  
Explanation:  
Alternate landscape plan: to allow the concentration of landscape on the site's west side along University Blvd where it will be visible from the public right-of-way (it will not be readily visible from the south, the east, or the north as the Randolph Road business park develops).
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***: - No buildings; electric facilities only
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] Approximately 23 acres
    - b. IDO Zone District NR-SU
    - c. Overlay Zone(s) [if applicable] Airport Proection Overlay Zone (Airspace, Runway, Noise)
    - d. Center or Corridor Area [if applicable] \_\_\_\_\_
  - 2. Current Land Use(s) [vacant, if none] Vacant
- 

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: June 23, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Yale Village Neighbourhood Association

Name of NA Representative\*: Kim Love

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: klove726@gmail.com / 2122 Cornell Dr SE 87106

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Laurie.Moye2@pnm.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description NE corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Build a new Sagebrush substation to support and secure the distribution of safe and reliable electricity to the Southeast quadrant of Albuquerque.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>\*4</sup>:  
Laurie.Moye2@pnm.com

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> M-15
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)  Variance(s)  Waiver(s)  Alternative Landscaping  
Explanation:  
Alternate landscape plan: to allow the concentration of landscape on the site's west side along University Blvd where it will be visible from the public right-of-way (it will not be readily visible from the south, the east, or the north as the Randolph Road business park develops).
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***: - No buildings; electric facilities only
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] Approximately 23 acres
    - b. IDO Zone District NR-SU
    - c. Overlay Zone(s) [if applicable] Airport Proection Overlay Zone (Airspace, Runway, Noise)
    - d. Center or Corridor Area [if applicable] \_\_\_\_\_
  - 2. Current Land Use(s) [vacant, if none] Vacant
- 

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Russell Brito  
(Applicant or Agent)

02 November 2021  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** PR-2020-004447

**From:** [Carmona, Dalaina L.](#)  
**To:** [Brito, Russell](#)  
**Subject:** [External] 2200 SUNPORT BLVD SE Public Notice Inquiry  
**Date:** Thursday, September 30, 2021 1:16:47 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[Zone Atlas M-15.pdf](#)

\*\*\*\*\*  
**CAUTION:** This email was received from an **EXTERNAL** source, use caution when clicking links or opening attachments.  
 If you believe this to be a malicious and/or phishing email, please use the **Report Phishing** button.  
 \*\*\*\*\*

\*\*\*\*\*  
**Is this a phishing email? - Look again!**  
 This email is from [dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) - do you know them?  
 \*\*\*\*\*

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
District 6 Coalition of Neighborhood Associations	Mandy	Warr	mandy@theremedaydayspa.com	119 Vassar Drive SE	Albuquerque	NM	87106		5054014367
District 6 Coalition of Neighborhood Associations	Patricia	Willson	info@willsonstudio.com	505 Dartmouth Drive SE	Albuquerque	NM	87106		5059808007
Yale Village NA	Kim	Love	klove726@gmail.com	2122 Cornell Drive SE	Albuquerque	NM	87106	5056882162	
Yale Village NA	Donald	Love	donaldlove08@comcast.net	2125 Stanford Drive SE	Albuquerque	NM	87106	5054807175	
Victory Hills NA	Melissa	Williams	mansdf@comcast.net	1010 Princeton SE	Albuquerque	NM	87106		5054636484
Victory Hills NA	Patricia	Willson	info@willsonstudio.com	505 Dartmouth Drive SE	Albuquerque	NM	87106		5059808007

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):  
<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:  
<https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Thanks,



**Dalaina L. Carmona**  
 Senior Administrative Assistant  
 Office of Neighborhood Coordination  
 Council Services Department  
 1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
 Albuquerque, NM 87102  
 505-768-3334  
[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
 Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [mailto:[webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org)] On Behalf Of [webmaster@cabq.gov](mailto:webmaster@cabq.gov)

**Sent:** Thursday, September 30, 2021 7:59 AM  
**To:** Office of Neighborhood Coordination <Russell.Brito@pnm.com>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:  
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name  
Russell Brito  
Telephone Number  
5052412798  
Email Address  
[Russell.Brito@pnm.com](mailto:Russell.Brito@pnm.com)

Company Name  
PNM  
Company Address  
2401 Aztec Rd NE

City  
Albuquerque

State  
NM

ZIP  
87107

Legal description of the subject site for this project:  
TR A-1 PLAT OF TRS A-1 & A-2 SUNPORT MUNICIPAL ADDN CONT 2286.0091 AC

Physical address of subject site:  
2200 SUNPORT BLVD SE ALBUQUERQUE NM 87106

Subject site cross streets:  
NE corner of University Blvd and Sunport Blvd

Other subject site identifiers:  
University and Sunport

This site is located on the following zone atlas page:  
M-15

**From:** [Brito, Russell](#)  
**To:** [donaldlove08@comcast.net](mailto:donaldlove08@comcast.net)  
**Subject:** IDO Public Notice - Sagebrush Substation  
**Date:** Wednesday, October 27, 2021 9:54:00 AM  
**Attachments:** [image001.png](#)  
[Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill-Sagebrush-DonaldLove.pdf](#)  
[Site and Landscape.pdf](#)  
[Zone Atlas M-15.pdf](#)

---

Mr. Love,

Please find attached the required notice per IDO Subsection 14-16-6-4(K) for a Site Plan–DRB that PNM will be submitting for the December 1, 2021 Development Review Board meeting.

If you have any questions, please feel free to contact me.

Thank you,

*Russell*

Russell Brito, Land Use & Permitting Administrator  
Projects and Program Management  
PNM, 2401 Aztec Rd NE, MS-Z200, Albuquerque, NM 87107  
505.241.2798 Office  
[Russell.Brito@pnm.com](mailto:Russell.Brito@pnm.com)



**From:** [Brito, Russell](#)  
**To:** [klove726@gmail.com](mailto:klove726@gmail.com)  
**Subject:** IDO Public Notice - Sagebrush Substation  
**Date:** Wednesday, October 27, 2021 9:43:00 AM  
**Attachments:** [Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill-Sagebrush-Love.pdf](#)  
[Site and Landscape.pdf](#)  
[Zone Atlas M-15.pdf](#)  
[image001.png](#)

---

Ms. Love,

Please find attached the required notice per IDO Subsection 14-16-6-4(K) for a Site Plan–DRB that PNM will be submitting for the December 1, 2021 Development Review Board meeting.

If you have any questions, please feel free to contact me.

Thank you,

*Russell*

Russell Brito, Land Use & Permitting Administrator  
Projects and Program Management  
PNM, 2401 Aztec Rd NE, MS-Z200, Albuquerque, NM 87107  
505.241.2798 Office  
[Russell.Brito@pnm.com](mailto:Russell.Brito@pnm.com)



**Be the Reason**  
*everyone goes home safe*



**From:** [Brito, Russell](#)  
**To:** [mandy@theremedyspa.com](mailto:mandy@theremedyspa.com)  
**Subject:** IDO Public Notice - Sagebrush Substation  
**Date:** Wednesday, October 27, 2021 9:35:00 AM  
**Attachments:** [Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill-Sagebrush-Warr.pdf](#)  
[Site and Landscape.pdf](#)  
[image001.png](#)  
[Zone Atlas M-15.pdf](#)

---

Ms. Warr,

Please find attached the required notice per IDO Subsection 14-16-6-4(K) for a Site Plan-DRB that PNM will be submitting for the December 1, 2021 Development Review Board meeting.

If you have any questions, please feel free to contact me.

Thank you,

*Russell*

Russell Brito, Land Use & Permitting Administrator  
Projects and Program Management  
PNM, 2401 Aztec Rd NE, MS-Z200, Albuquerque, NM 87107  
505.241.2798 Office  
[Russell.Brito@pnm.com](mailto:Russell.Brito@pnm.com)



**Be the Reason**  
*everyone goes home safe*

**From:** [Brito, Russell](#)  
**To:** [mansdf@comcast.net](mailto:mansdf@comcast.net)  
**Subject:** IDO Public Notice - Sagebrush Substation  
**Date:** Wednesday, October 27, 2021 9:55:00 AM  
**Attachments:** [Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill-Sagebrush-Williams.pdf](#)  
[image001.png](#)  
[Site and Landscape.pdf](#)  
[Zone Atlas M-15.pdf](#)

---

Ms. Williams,

Please find attached the required notice per IDO Subsection 14-16-6-4(K) for a Site Plan–DRB that PNM will be submitting for the December 1, 2021 Development Review Board meeting.

If you have any questions, please feel free to contact me.

Thank you,

*Russell*

Russell Brito, Land Use & Permitting Administrator  
Projects and Program Management  
PNM, 2401 Aztec Rd NE, MS-Z200, Albuquerque, NM 87107  
505.241.2798 Office  
[Russell.Brito@pnm.com](mailto:Russell.Brito@pnm.com)



**From:** [Brito, Russell](#)  
**To:** [info@willsonstudio.com](mailto:info@willsonstudio.com)  
**Subject:** IDO Public Notice - Sagebrush Substation  
**Date:** Wednesday, October 27, 2021 9:38:00 AM  
**Attachments:** [Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill-Sagebrush-WillsonD6C.pdf](#)  
[Site and Landscape.pdf](#)  
[Zone Atlas M-15.pdf](#)  
[image001.png](#)

---

Ms. Willson,

Please find attached the required notice per IDO Subsection 14-16-6-4(K) for a Site Plan–DRB that PNM will be submitting for the December 1, 2021 Development Review Board meeting.

If you have any questions, please feel free to contact me.

Thank you,

*Russell*

Russell Brito, Land Use & Permitting Administrator  
Projects and Program Management  
PNM, 2401 Aztec Rd NE, MS-Z200, Albuquerque, NM 87107  
505.241.2798 Office  
[Russell.Brito@pnm.com](mailto:Russell.Brito@pnm.com)



**Be the Reason**  
*everyone goes home safe*

**From:** [Brito, Russell](#)  
**To:** [info@willsonstudio.com](mailto:info@willsonstudio.com)  
**Subject:** IDO Public Notice - Sagebrush Substation  
**Date:** Wednesday, October 27, 2021 9:57:00 AM  
**Attachments:** [Emailed-Mailed-Notice-PublicMeetingHearing-Print&Fill-Sagebrush-WillsonVH.pdf](#)  
[image001.png](#)  
[Site and Landscape.pdf](#)  
[Zone Atlas M-15.pdf](#)

---

Ms. Willson,

Please find attached the required notice per IDO Subsection 14-16-6-4(K) for a Site Plan–DRB that PNM will be submitting for the December 1, 2021 Development Review Board meeting.

If you have any questions, please feel free to contact me.

Thank you,

*Russell*

Russell Brito, Land Use & Permitting Administrator  
Projects and Program Management  
PNM, 2401 Aztec Rd NE, MS-Z200, Albuquerque, NM 87107  
505.241.2798 Office  
[Russell.Brito@pnm.com](mailto:Russell.Brito@pnm.com)



**Be the Reason**  
*everyone goes home safe*

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: October 27, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Yale Village Neighborhood Association

Name of NA Representative\*: Donald Love

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: donaldlove08@comcast.net / 2125 Stanford Dr SE 87106

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

Site Plan for a new Electric Utility: Sagebrush Substation

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: Wednesday December 1, 2021 / 9:00am

Location\*<sup>3</sup>: Zoom Meeting: <https://cabq.zoom.us/j/83684755205>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Russell.Brito@pnm.com or 505.241.2798

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> M-15

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)                       Alternate landscape plan

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***: No buildings - electric facilities only
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

cc: District 6 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
Victory Hills Neighborhood Association

---

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: October 27, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Yale Village Neighborhood Association

Name of NA Representative\*: Kim Love

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: klove726@gmail.com / 2122 Cornell Dr SE 87106

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

Site Plan for a new Electric Utility: Sagebrush Substation

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: Wednesday December 1, 2021 / 9:00am

Location\*<sup>3</sup>: Zoom Meeting: <https://cabq.zoom.us/j/83684755205>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Russell.Brito@pnm.com or 505.241.2798

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> M-15

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)               Variance(s)               Waiver(s)     Alternate landscape plan (Administrative)

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***: No buildings - electric facilities only
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

cc: District 6 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
Victory Hills Neighborhood Association

---

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: October 27, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: District 6 Coalition of Neighborhood Associations

Name of NA Representative\*: Mandy Warr

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: mandy@theremedyspa.com / 119 Vassar Dr SE 87106

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

Site Plan for a new Electric Utility: Sagebrush Substation

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: Wednesday December 1, 2021 / 9:00am

Location\*<sup>3</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Russell.Brito@pnm.com or 505.241.2798

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> M-15

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)                       Alternate landscape plan

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***: No buildings - electric facilities only
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Victory Hills Neighborhood Association [Other Neighborhood Associations, if any]  
Yale Village Neighborhood Association

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: October 27, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Victory Hills Neighborhood Association

Name of NA Representative\*: Melissa Williams

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: mansdf@comcast.net / 1010 Princeton Dr SE 87106

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

Site Plan for a new Electric Utility: Sagebrush Substation

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: Wednesday December 1, 2021 / 9:00am

Location\*<sup>3</sup>: Zoom Meeting: <https://cabq.zoom.us/j/83684755205>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

\_\_\_\_\_

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> M-15

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)     Alternate landscape plan

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***: No buildings - electric facilities only
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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Cc: District 6 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
Yale Village Neighborhood Association

---

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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: October 27, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: District 6 Coalition of Neighborhood Associations

Name of NA Representative\*: Patricia Willson

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: info@willsonstudio.com / 505 Dartmouth Dr SE 87106

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

Site Plan for a new Electric Utility: Sagebrush Substation

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: Wednesday December 1, 2021 / 9:00am

Location\*<sup>3</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Russell.Brito@pnm.com or 505.241.2798

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> M-15

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)                       Alternate landscape plan

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***: No buildings - electric facilities only
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: Victory Hills Neighborhood Association [Other Neighborhood Associations, if any]  
Yale Village Neighborhood Association

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: October 27, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Victory Hills Neighborhood Association

Name of NA Representative\*: Patricia Willson

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: info@willsonstudio.com / 505 Dartmouth Dr SE 87106

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* [if applicable] Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

Site Plan for a new Electric Utility: Sagebrush Substation

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: Wednesday December 3, 2021 / 9:00am

Location\*<sup>3</sup>: Zoom Meeting: <https://cabq.zoom.us/j/83684755205>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Russell.Brito@pnm.com or 505.241.2798

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> M-15

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)                       Alternate landscape plan

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***: No buildings - electric facilities only
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

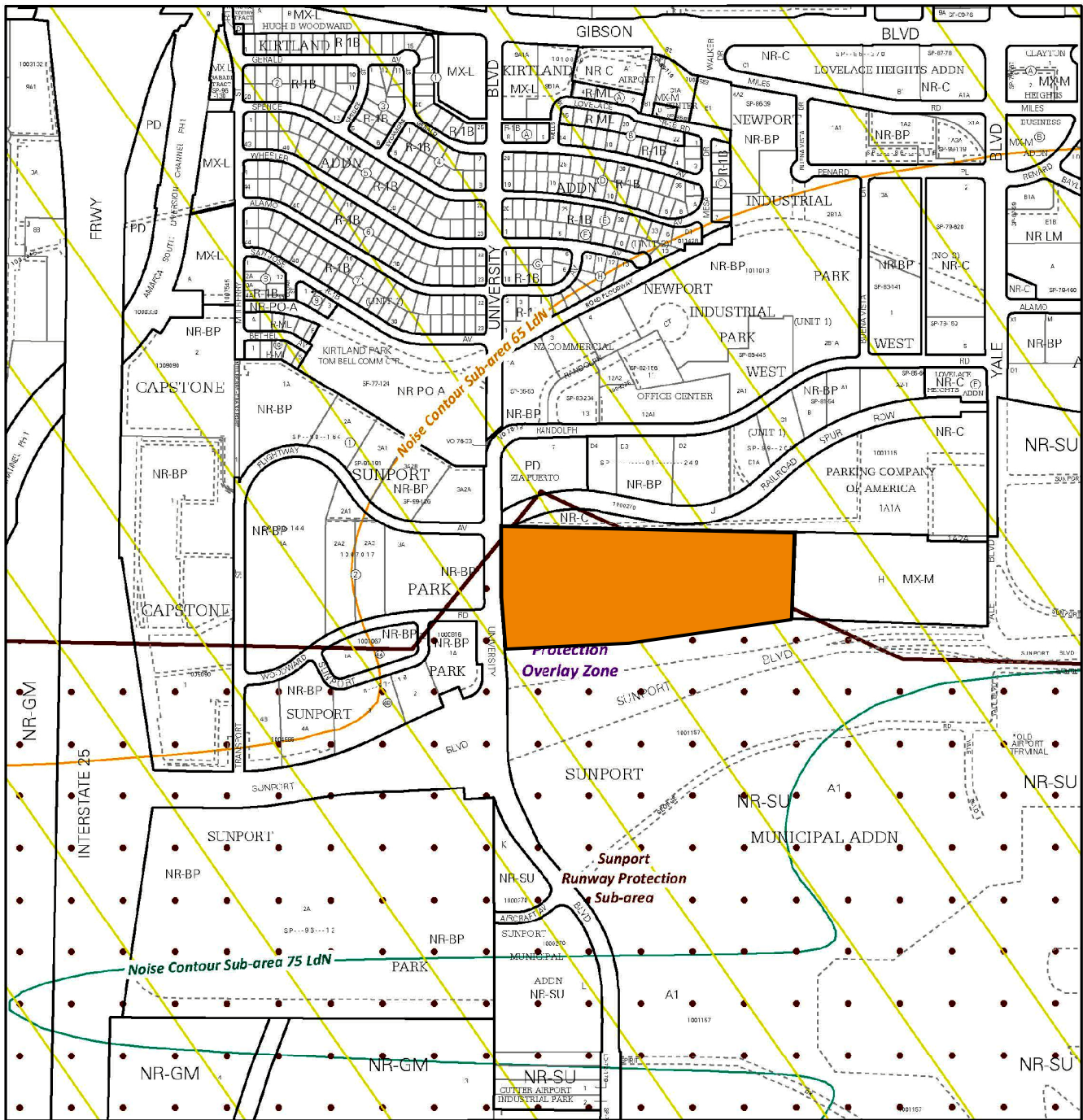
**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

cc: District 6 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
Yale Village Neighborhood Association

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

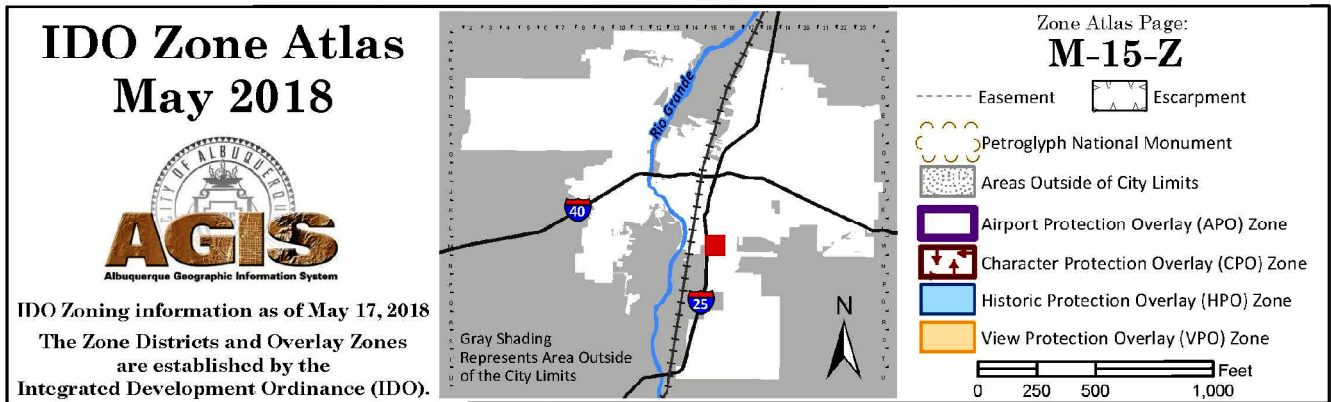
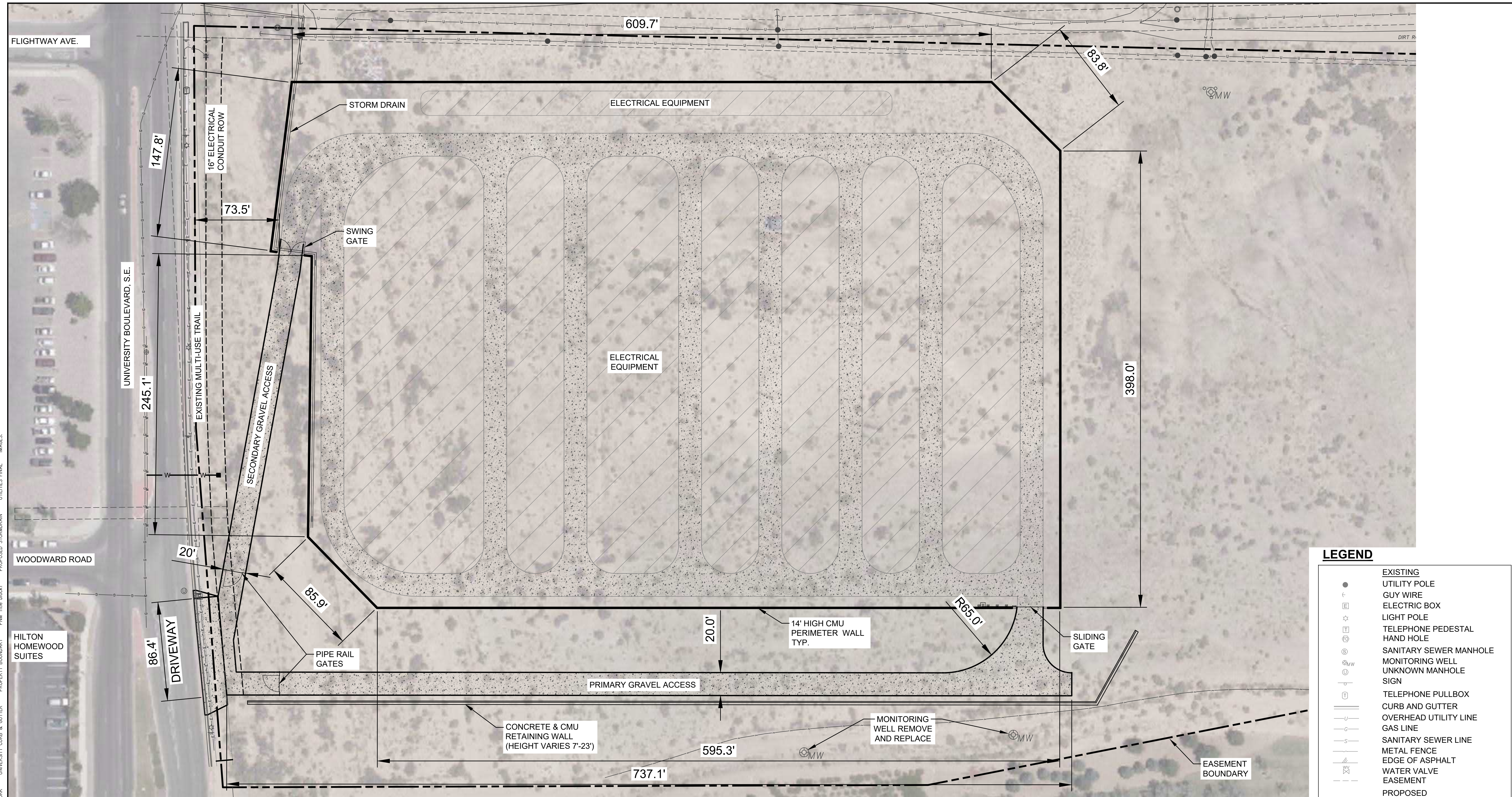


Figure  
**1**

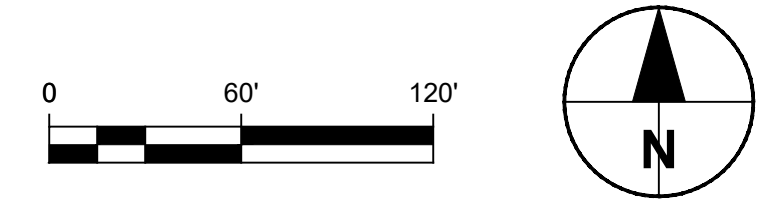
Sagebrush Substation  
**Zone Atlas Page M-15-Z**





LEGEND	
●	EXISTING UTILITY POLE
—	GUY WIRE
⊞	ELECTRIC BOX
☆	LIGHT POLE
⊞	TELEPHONE PEDESTAL
⊞	HAND HOLE
⊞	SANITARY SEWER MANHOLE
⊞	MONITORING WELL
⊞	UNKNOWN MANHOLE
⊞	SIGN
⊞	TELEPHONE PULLBOX
—	CURB AND GUTTER
—	OVERHEAD UTILITY LINE
—	GAS LINE
—	SANITARY SEWER LINE
—	METAL FENCE
—	EDGE OF ASPHALT
—	WATER VALVE
—	EASEMENT
—	PROPOSED DRIVE ACCESS
—	ELECTRICAL EQUIPMENT AREA
—	EASEMENT BOUNDARY
—	WATER LINE

**PROJECT SITE PLAN**  
Scale: 1"=60'



NO.	DATE	BY	REVISION

ENGINEER'S STAMP  
**PRELIMINARY NOT FOR CONSTRUCTION**

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<b>PNM</b> PUBLIC SERVICE COMPANY OF NEW MEXICO			
PROJECT SITE PLAN			
SAGEBRUSH SUBSTATION			
DR:	OK:	DATE:	02/01/21
CKD:	OK:	SCALE:	As Noted
APP:	SBD-7602-S2	2 OF 6	
REV. NO.			



REVISION		
NO.	DATE	BY

**CITY LANDSCAPE ORDINANCE COMPLIANCE**

LANDSCAPING RESPONSIBILITY FOR MAINTENANCE:

1. PNM WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AT THE PROPOSED SUBSTATION FACILITY.

COMPLIANCE WITH WATER CONSERVATION ORDINANCE:

1. NO SPRAY IRRIGATION IS PROPOSED
2. PLANT SPECIES WILL BE LOW OR MEDIUM USE SPECIES PER THE OFFICIAL ALBUQUERQUE PLANT PALETTE AND SIZING LIST.
3. THIS PLAN HAS NO TURF OR HIGH WATER USE LANDSCAPING.
4. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW FLOW BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN A HEATED ENCLOSURE TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.

COMPLIANCE WITH GENERAL LANDSCAPING STANDARDS (PER 14-16-5-6 OF THE COA INTEGRATED DEVELOPMENT ORDINANCE):

1. THIS PLAN PROVIDES VISUALLY ATTRACTIVE LANDSCAPING TO PROVIDE SCREENING OF THE SUBSTATION FACILITY AND CREATE A VISUALLY ATTRACTIVE STREETScape THAT PROVIDES SHADE AND OTHER ENVIRONMENTAL BENEFITS AS WELL AS IMPROVE THE OVERALL AESTHETIC APPEARANCE OF THE INDUSTRIAL DEVELOPMENT IN THE AREA.
2. GROUNDCOVER MULCH SHALL COMPRISE A COMBINATION OF CRUSHED GRAVEL (NOT TO EXCEED 75% OF TOTAL AREA) AND ORGANIC MULCH SUCH AS COMPOSTED BARK, PECAN SHELLS, ETC.
3. REFERENCE CITY OF ALBUQUERQUE STANDARD DETAILS FOR TREE AND SHRUB PLANTING.

ALTERNATIVE LANDSCAPING IS BEING PROPOSED IN ACCORDANCE WITH 14-16-5-6(C)(16) AND MEETING THE FOLLOWING CRITERIA:

- (a) PROPOSED LANDSCAPING IS CONSISTENT WITH THE PURPOSES OF SECTION 14-16-5-6.
- (b) PROPOSED LANDSCAPING DOES NOT INCLUDE INVASIVE VEGETATION INCLUDED IN THE CITY LIST OF PROHIBITED OR INVASIVE SPECIES OR LISTED AS NOXIOUS WEEDS IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
- (c) PROPOSED LANDSCAPING DOES NOT INCLUDE A REDUCTION OF TREE PLANTING REQUIREMENTS.
- (d) PROPOSED LANDSCAPING PROVIDES EQUAL OR SUPERIOR BUFFERING OF ADJACENT PROPERTIES FROM ANTICIPATED IMPACTS OF THE PROPOSED DEVELOPMENT.
- (e) PROPOSED LANDSCAPING PROVIDES EQUAL OR SUPERIOR VISUAL APPEARANCE OF THE PROPERTY WHEN VIEWED FROM THE STREET.
- (f) PROPOSED LANDSCAPING PROVIDES EQUAL OR SUPERIOR CARBON DIOXIDE ABSORPTION AND HEAT ISLAND REDUCTIONS.

DUE TO THE SECURE AND SENSITIVE NATURE OF THE FACILITY, AN OPEN BUFFER OF 15' FROM THE EDGE OF THE WALLS TO THE NEAREST TREE OR SHRUB IS REQUIRED. IN ADDITION, IT IS IMPORTANT TO MAINTAIN VISIBILITY OF THE PERIMETER OF THE SUBSTATION TO ENSURE SECURITY OF THE FACILITY.

LANDSCAPE CALCULATIONS:

TOTAL LOT AREA: 550,260 SF  
 LESS TOTAL SUBSTATION FACILITY AREA: 299,345 SF  
 LESS R.O.W. LANDSCAPING: 14,956 SF  
 NET LOT AREA: 235,959 SF

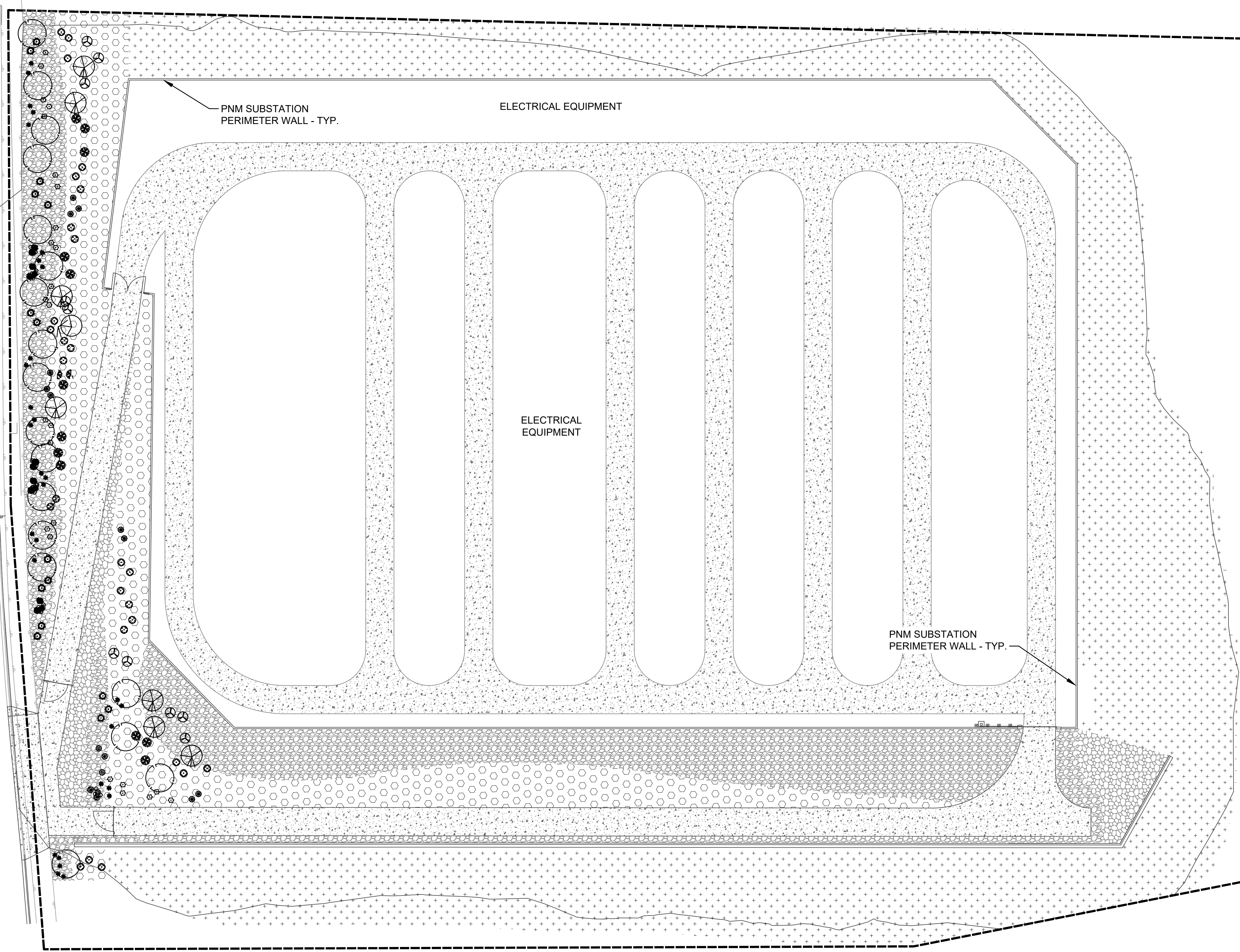
REQUIRED MINIMUM LANDSCAPE AREA (15% OF NET LOT AREA) - [5-6(C)(2)]: 35,394 SF  
 PROVIDED LANDSCAPE AREA: 165,171 SF (70% OF NET LOT AREA)

REQUIRED VEGETATIVE COVERAGE (75% OF REQUIRED LANDSCAPE AREA) - [5-6(C)(2)(C)]: 26,545 SF  
 PROVIDED VEGETATIVE COVERAGE: 32,400 SF (122% OF REQUIRED TOTAL COVERAGE)

REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF TOTAL VEGETATIVE COVERAGE) - [5-6(C)(2)(C)]: 6,636 SF  
 PROVIDED GROUND LEVEL VEGETATIVE COVERAGE: 22,146 (334% OF REQUIRED TOTAL COVERAGE)

REQUIRED STREET TREES - [5-6(D)(1)]: 15 (530 LF ALONG UNIVERSITY BLVD, TREES AVERAGE 35' O.C.)  
 PROVIDED STREET TREES: 15 TREES ALONG UNIVERSITY BLVD

UNIVERSITY BLVD.



**SCHMATIC PLANTING PLAN**  
 Scale: 1"=40'

**PLANT LEGEND**

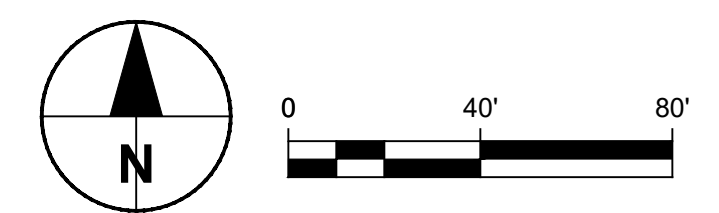
KEY	COMMON NAME	BOTANICAL NAME	QTY
<b>TREES</b>			
NMO	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	8
DW	DESERT WILLOW	CHILOPSIS LINEARIS	18

**PLANT LEGEND (CONTINUED)**

<u>SHRUBS/GROUNDCOVERS/GRASSES/PERENNIALS</u>				QTY
FWS	FOURWING SALT BUSH	ARTIPLEX CANSCENS	10	
CHAM	CHAMISA	CHYSOTHAMUS NASEOSUS 'BLUE'	11	
TB	TURPENTINE BUSH	ERICAMERIA LARICIFOLIA	25	
TLS	THREE-LEAF SUMAC	RHUS TRILOBATA	13	
KFG	KARL FOERSTER GRASS	CALAMAGROSTIS A. 'KARL FOERSTER'	16	
BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	15	
APL	APACHE PLUME	FALLUGIA PARADOXA	16	
RED	RED YUCCA	HESPERALOE PARVIFLORA	30	
BG	BEAR GRASS	NOLINA TEXANA	13	

**HATCH LEGEND**

- 6"-8" SUBANGULAR TAN ROCK MULCH
- 6"-8" SUBANGULAR GRAY ROCK MULCH
- REVEGETATION SEEDING PER NMDOT STD. SPECIFICATIONS
- ACCENT BOULDER



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 NOT FOR  
 CONSTRUCTION**

PROPRIETARY STATEMENT

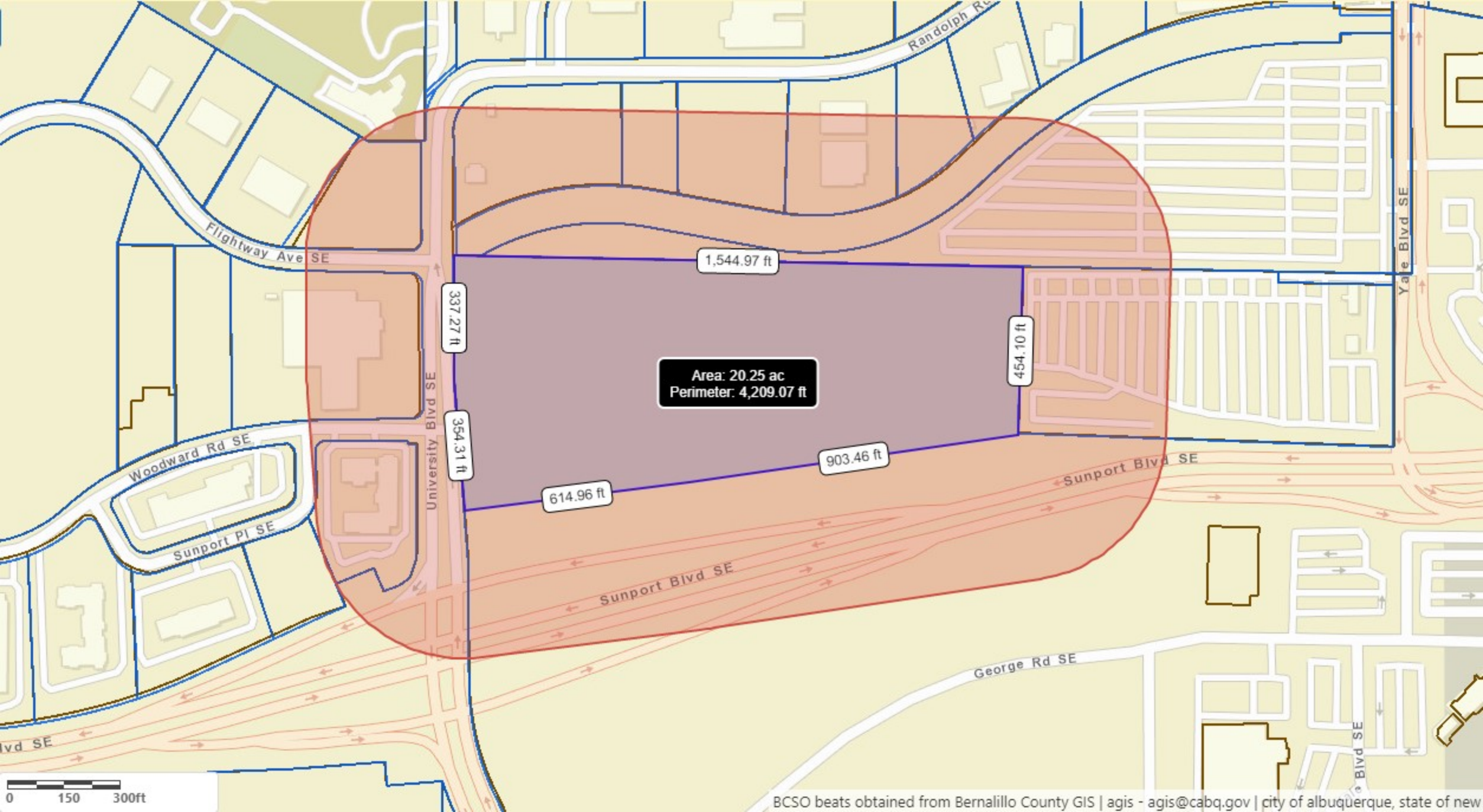
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**PNM** PUBLIC SERVICE COMPANY OF NEW MEXICO

**SCHMATIC PLANTING PLAN**  
 SAGEBRUSH SUBSTATION

DR:	CKD:	OK:	DATE: 02/01/21
APP:	REV. NO.	SBD-7602-S6	SCALE: As Noted
			6 OF 6

DWG: C:\Users\jessie.higgins\Desktop\Sagebrush Substation\14-16-5-6(C)(16)-LANDSCAPE PLAN.dwg  
 DATE: Oct 12, 2021 9:24am  
 USER: jessie.higgins  
 PROJECT: SAGEBRUSH SUBSTATION  
 PROJECT BOUNDARY: E-SP-GEN-LANDSCAPING  
 IMAGES:



Area: 20.25 ac  
Perimeter: 4,209.07 ft

337.27 ft

354.31 ft

614.96 ft

903.46 ft

454.10 ft

1,544.97 ft

0 150 300ft

geometry UPC

Geocortex.101505522

Geocortex.101505521

Geocortex.101505537

Geocortex.101505530

Geocortex.101505522

Geocortex.101505521

Geocortex.101505540

Geocortex.101505533

Geocortex.101505541

Geocortex.101505531

Geocortex.101505546

Geocortex.101505524

Geocortex.101605420

Geocortex.101505547

Geocortex.101505541

Geocortex.101505524

Owner

AIRPORT HOSPITALITY LLC C/O LEGACY HOSPITALITY LLC

CITY OF ALBUQUERQUE

UTAH STATE UNIVERSITY RESEARCH FOUNDATION C/O SPACE DYNAMICS LABORATORY

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY

BERNALILLO COUNTY C/O COUNTY MANAGER

LESARDE ENTERPRISES LTD

HOBSON RICHARD W & MITZI TRUSTEE HOBSON RVT

UTAH STATE UNIVERSITY RESEARCH FOUNDATION DBA SPACE DYNAMICS LAB

DOS AMIGOS CATENACY C/O LEE A WELSH

FACILITY MANAGEMENT DIVISION JOHN SIMMS BLDG

PARK & SHUTTLE INC

ABQ AIRPORT LODGING LLC

CITY OF ALBUQUERQUE

CHAVEZ PROPERTIES AIRPORT PARKING ALBUQ C/O MANUAL CHAVEZ

CITY OF ALBUQUERQUE

WARAMAUG ALBUQUERQUE W LLC C/O WARAMAUG HOSPITALITY

Owner Address

5051 JOURNAL CENTER BLVD NE SUITE 500  
PO BOX 1293  
1695 N RESEARCH PKWY  
PO BOX 1293  
1 CIVIC PLAZA NW  
30024 TRAIL CREEK DR  
PO BOX 2332  
1695 RESEARCH PARK WAY  
PO BOX 33048  
PO BOX 6850  
2909 YALE BLVD SE  
1212 CORPORATE DR SUITE 350  
PO BOX 1293  
250 W COURT ST SUITE 200E  
PO BOX 1293  
500 E BROWARD BLVD SUITE 1130

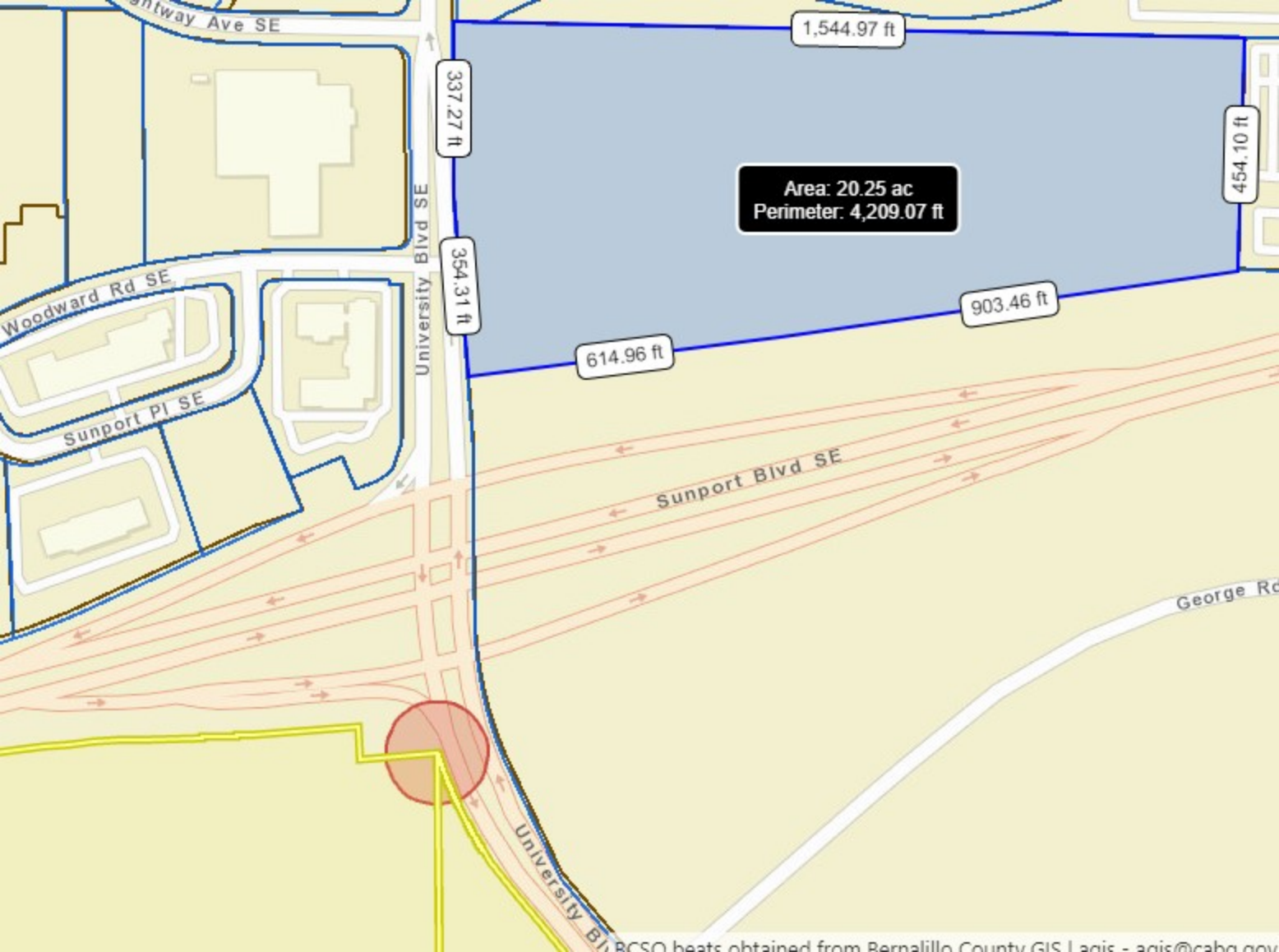
Owner Address 2

ALBUQUERQUE NM 87109-5915  
ALBUQUERQUE NM 87103-2248  
NORTH LOGAN UT 84341-1947  
ALBUQUERQUE NM 87103-1293  
ALBUQUERQUE NM 87102  
AGOURA HILLS CA 91301-4041  
CORRALES NM 87048-2332  
NORTH LOGAN UT 84341-1947  
SANTA FE NM 87594-3048  
SANTA FE NM 87502  
ALBUQUERQUE NM 87106-4232  
IRVING TX 75038-2714  
ALBUQUERQUE NM 87103-2248  
CINCINNATI OH 45202-1064  
ALBUQUERQUE NM 87103-2248  
FORT LAUDERDALE FL 33394-3036

SITUS Addr SITUSADD2

1500 SUNP ALBUQUER  
UNIVERSIT ALBUQUER  
1720 RANC ALBUQUER  
RANDOLPH ALBUQUER  
3041 UNIV ALBUQUER  
1381 FLIGH ALBUQUER  
1800 RANC ALBUQUER  
RANDOLPH ALBUQUER  
1820 RANC ALBUQUER  
RANDOLPH ALBUQUER  
2909 YALE ALBUQUER  
3021 FLIGH ALBUQUER  
2200 SUNP ALBUQUER  
2801 YALE ALBUQUER  
UNIVERITY ALBUQUER  
1540 SUNP ALBUQUER

Legal Descr	Property Cl	Acres
LT 2 BLOCK V		1.2115
KIRTLAND I C		11.56
* D-2 OF SLC		2.478
WLY PORT I C		3.08
LOT 3A BLK C		4.88
LOT 3-A-2-I C		2.2399
LOT D1A N I V		1.619
* D-3 OF SLV		2.2318
LOT C1 NE I C		1.2897
* D-4 OF SLV		1
TRACT H PL C		10.13
LOT 3-A-2-J V		1.89
TR A-1 PLA I C		2286.009
TR 1-A-1-A C		15.6466
TR J SUNPCV		6.0663
LT 1-A-1 BL C		2.2952



geometry	UPC	Owner	Owner Address
Geocortex. 101505516	R & B LLC		1501 AIRCRAFT AVE SE
Geocortex. 101505527	CITY OF ALBUQUERQUE		PO BOX 1293



Owner Address 2	SITUS Addr SITUSADD2 Legal Descr Property Cl Acres	
ALBUQUERQUE NM 87106	1501 AIRCF ALBUQUER PARCEL 2A V	48.6621
ALBUQUERQUE NM 87103-2248	UNIVERSIT ALBUQUER TR K SUNP(V	2.219

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1. Article Addressed to:  
WARAMAUG ALBUQUERQUE W LLC  
C/O WARAMAUG HOSPITALITY  
500 E BROWARD BLVD SUITE 1130  
FORT LAUDERDALE FL 33394-3036  
9590 9402 4487 8248 6796 90

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

**PNM**  
2401 Aztec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

WARAMAUG ALBUQUERQUE W LLC  
C/O WARAMAUG HOSPITALITY  
500 E BROWARD BLVD SUITE 1130  
FORT LAUDERDALE FL 33394-3036

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1. Article Addressed to:  
PARK & SHUTTLE INC  
2909 YALE BLVD SE  
ALBUQUERQUE NM 87106-4232  
9590 9402 4487 8248 6796 45

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

**PNM**  
2401 Aztec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

PARK & SHUTTLE INC  
2909 YALE BLVD SE  
ALBUQUERQUE NM 87106-4232

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1. Article Addressed to:  
ABQ AIRPORT LODGING LLC  
1212 CORPORATE DR SUITE 350  
IRVING TX 75038-2714  
9590 9402 4487 8248 6796 52

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

**PNM**  
2401 Aztec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

ABQ AIRPORT LODGING LLC  
1212 CORPORATE DR SUITE 350  
IRVING TX 75038-2714

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■ Print your name and address on the reverse so that we can return the card to you.  
■ Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:  
CHAVEZ PROPERTIES AIRPORT PARKING ALBUQ  
C/O MANUAL CHAVEZ  
250 W COURT ST SUITE 200E  
CINCINNATI OH 45202-1064  
9590 9402 4487 8248 6796 38

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

**PNM**  
2401 Aztec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

CHAVEZ PROPERTIES AIRPORT PARKING ALBUQ  
C/O MANUAL CHAVEZ  
250 W COURT ST SUITE 200E  
CINCINNATI OH 45202-1064

**SENDER: COMPLETE THIS SECTION**  
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1. Article Addressed to:  
FACILITY MANAGEMENT DIVISION JOHN SIMMS BLDG  
PO BOX 6850  
SANTA FE NM 87502  
9590 9402 4487 8248 6797 13

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

**PNM**  
2401 Aztec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

FACILITY MANAGEMENT DIVISION JOHN SIMMS BLDG  
PO BOX 6850  
SANTA FE NM 87502

**SENDER: COMPLETE THIS SECTION**  
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1. Article Addressed to:  
HOBSON RICHARD W & MITZI TRUSTEE HOBSON RVT  
PO BOX 2332  
CORRALES NM 87048-2332  
9590 9402 4487 8248 6797 20

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

**PNM**  
2401 Aztec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

HOBSON RICHARD W & MITZI TRUSTEE HOBSON RVT  
PO BOX 2332  
CORRALES NM 87048-2332

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1. Article Addressed to:  
DOS AMIGOS CATENACY  
C/O LEE A WELSH  
PO BOX 33048  
SANTA FE NM 87594-3048  
9590 9402 4487 8248 6796 69

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

**PNM**  
2401 Aztec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

DOS AMIGOS CATENACY  
C/O LEE A WELSH  
PO BOX 33048  
SANTA FE NM 87594-3048

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1. Article Addressed to:  
CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103-2248

9590 9402 4487 8248 6796 21

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

Albuquerque, NM 87107

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103-2248


**SENDER: COMPLETE THIS SECTION**  
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■ Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:  
UTAH STATE UNIVERSITY RESEARCH FOUNDATION  
C/O SPACE DYNAMICS LABORATORY  
1695 N RESEARCH PKWY  
NORTH LOGAN UT 84341-1947

9590 9402 4487 8248 6796 83

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

 2401 Artec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

UTAH STATE UNIVERSITY RESEARCH FOUNDATION  
C/O SPACE DYNAMICS LABORATORY  
1695 N RESEARCH PKWY  
NORTH LOGAN UT 84341-1947


**SENDER: COMPLETE THIS SECTION**  
■ Complete items 1, 2, and 3.  
■ Print your name and address on the reverse so that we can return the card to you.  
■ Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:  
R & B LLC  
1501 AIRCRAFT AVE SE  
ALBUQUERQUE NM 87106

9590 9402 4487 8248 6797 51

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

 2401 Artec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

R & B LLC  
1501 AIRCRAFT AVE SE  
ALBUQUERQUE NM 87106


**SENDER: COMPLETE THIS SECTION**  
■ Complete items 1, 2, and 3.  
■ Print your name and address on the reverse so that we can return the card to you.  
■ Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:  
AIRPORT HOSPITALITY LLC  
C/O LEGACY HOSPITALITY LLC  
5051 JOURNAL CENTER BLVD NE SUITE 500  
ALBUQUERQUE NM 87109-5915

9590 9402 4487 8248 6797 44

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

 2401 Artec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

AIRPORT HOSPITALITY LLC  
C/O LEGACY HOSPITALITY LLC  
5051 JOURNAL CENTER BLVD NE SUITE 500  
ALBUQUERQUE NM 87109-5915


**SENDER: COMPLETE THIS SECTION**  
■ Complete items 1, 2, and 3.  
■ Print your name and address on the reverse so that we can return the card to you.  
■ Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:  
ABQ BERNALILLO CO WATER UTILITY AUTHORITY  
PO BOX 1293  
ALBUQUERQUE NM 87103-1293

9590 9402 4487 8248 6797 37

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

 2401 Artec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

ABQ BERNALILLO CO WATER UTILITY AUTHORITY  
PO BOX 1293  
ALBUQUERQUE NM 87103-1293


**SENDER: COMPLETE THIS SECTION**  
■ Complete items 1, 2, and 3.  
■ Print your name and address on the reverse so that we can return the card to you.  
■ Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:  
BERNALILLO COUNTY  
C/O COUNTY MANAGER  
1 CIVIC PLAZA NW  
ALBUQUERQUE NM 87102

9590 9402 4487 8248 6797 06

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

 2401 Artec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

BERNALILLO COUNTY  
C/O COUNTY MANAGER  
1 CIVIC PLAZA NW  
ALBUQUERQUE NM 87102


**SENDER: COMPLETE THIS SECTION**  
■ Complete items 1, 2, and 3.  
■ Print your name and address on the reverse so that we can return the card to you.  
■ Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:  
LESARDE ENTERPRISES LTD  
30024 TRAIL CREEK DR  
AGOURA HILLS CA 91301-4041

9590 9402 4487 8248 6796 76

2. Article Number (Transfer from service label)

PS Form 3811, July 2015 PSN 7530-02-000-9053

 2401 Artec Rd. NE  
MS Z-200  
Albuquerque, NM 87107

LESARDE ENTERPRISES LTD  
30024 TRAIL CREEK DR  
AGOURA HILLS CA 91301-4041

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**OFFICIAL USE**

Cincinnati, OH 45202

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: Chavez Prop Airport Parking Abq  
250 W Court St Suite 200E  
Albuquerque, NM 87102-7064

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**OFFICIAL USE**

Corrales, NM 87048

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: Hobson Richard W & Mitzi Trustee  
PO Box 2332  
Corrales, NM 87048-2332

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**OFFICIAL USE**

Albuquerque, NM 87106

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: R & B LLC  
1501 AIRCRAFT AVE SE  
Albuquerque, NM 87106

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**OFFICIAL USE**

Aspen Hill, CA 91301

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: Lesonde Ent. Ltd.  
30241 Seal Creek Dr  
Aspen Hill, CA 91301-4041

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**OFFICIAL USE**

Irving, TX 75038

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: Abq Airport Lodging LLC  
1212 Corporate Dr Suite 350  
Irving, TX 75038-2714

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Albuquerque, NM 87109

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: Airport Hospitality LLC c/o Legacy Hospital  
5051 Journal Center NE Suite 500  
Abq, NM 87109-5915

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**OFFICIAL USE**

Albuquerque, NM 87103

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: ABC Water Utility Authority  
PO Box 1293  
Abq, NM 87103-1293

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**UNITED STATES POSTAL SERVICE.**

ALBUQUERQUE  
1135 BROADWAY BLVD NE  
ALBUQUERQUE, NM 87101-0001  
(800)275-8777

Date	Product	Qty	Unit Price	Total Price
10/21/2021	First-Class Mail® Letter	1	\$0.58	\$0.58
	Santa Fe, NM 87594			
	Weight: 0 lb 0.80 oz			
	Estimated Delivery Date Mon 10/25/2021			
	Certified Mail®	1	\$3.75	\$3.75
	Tracking #: 70182290000198958698			
	Return Receipt	1	\$3.05	\$3.05
	Tracking #: 9590 9402 4487 8248 6796			
	<b>Total</b>			<b>\$7.38</b>
	First-Class Mail® Letter	1	\$0.58	\$0.58
	Fort Lauderdale, FL 33394			
	Weight: 0 lb 0.80 oz			
	Estimated Delivery Date Tue 10/26/2021			
	Certified Mail®	1	\$3.75	\$3.75
	Tracking #: 70182290000198958742			
	Return Receipt	1	\$3.05	\$3.05
	Tracking #: 9590 9402 4487 8248 6796			
	<b>Total</b>			<b>\$7.38</b>
	First-Class Mail® Letter	1	\$0.58	\$0.58
	Corrales, NM 87048			
	Weight: 0 lb 0.80 oz			
	Estimated Delivery Date Sat 10/23/2021			
	Certified Mail®	1	\$3.75	\$3.75
	Tracking #: 70182290000198948972			
	Return Receipt	1	\$3.05	\$3.05
	Tracking #: 9590 9402 4487 8248 6796			
	<b>Total</b>			<b>\$7.38</b>
	First-Class Mail® Letter	1	\$0.58	\$0.58
	Albuquerque, NM 87106			
	Weight: 0 lb 0.80 oz			
	Estimated Delivery Date Sat 10/23/2021			
	Certified Mail®	1	\$3.75	\$3.75
	Tracking #: 70182290000198958711			
	Return Receipt	1	\$3.05	\$3.05
	Tracking #: 9590 9402 4487 8248 6796			
	<b>Total</b>			<b>\$7.38</b>
	First-Class Mail® Letter	1	\$0.58	\$0.58
	Irving, TX 75038			
	Weight: 0 lb 0.80 oz			
	Estimated Delivery Date Mon 10/25/2021			
	Certified Mail®	1	\$3.75	\$3.75
	Tracking #: 70182290000198958728			
	Return Receipt	1	\$3.05	\$3.05
	Tracking #: 9590 9402 4487 8248 6796			
	<b>Total</b>			<b>\$7.38</b>
	First-Class Mail® Letter	1	\$0.58	\$0.58
	Santa Fe, NM 87502			
	Weight: 0 lb 0.80 oz			
	Estimated Delivery Date Sat 10/23/2021			
	Certified Mail®	1	\$3.75	\$3.75
	Tracking #: 70182290000198958704			
	Return Receipt	1	\$3.05	\$3.05
	Tracking #: 9590 9402 4487 8248 6797			
	<b>Total</b>			<b>\$7.38</b>
	First-Class Mail® Letter	1	\$0.58	\$0.58
	Agoura Hills, CA 91301			
	Weight: 0 lb 0.80 oz			
	Estimated Delivery Date Mon 10/25/2021			
	Certified Mail®	1	\$3.75	\$3.75
	Tracking #: 70182290000198958674			
	Return Receipt	1	\$3.05	\$3.05
	Tracking #: 9590 9402 4487 8248 6796			
	<b>Total</b>			<b>\$7.38</b>
	First-Class Mail® Letter	1	\$0.58	\$0.58
	Cincinnati, OH 45202			
	Weight: 0 lb 0.80 oz			
	Estimated Delivery Date Mon 10/25/2021			
	Certified Mail®	1	\$3.75	\$3.75
	Tracking #: 70182290000198958735			
	Return Receipt	1	\$3.05	\$3.05
	Tracking #: 9590 9402 4487 8248 6796			
	<b>Total</b>			<b>\$7.38</b>
	First-Class Mail® Letter	1	\$0.58	\$0.58
	Albuquerque, NM 87106			
	Weight: 0 lb 0.80 oz			
	Estimated Delivery Date Sat 10/23/2021			
	Certified Mail®	1	\$3.75	\$3.75
	Tracking #: 70182290000198948958			
	Return Receipt	1	\$3.05	\$3.05
	Tracking #: 9590 9402 4487 8248 6797			
	<b>Total</b>			<b>\$7.38</b>

First-Class Mail® Letter \$0.58

Albuquerque, NM 87109  
Weight: 0 lb 0.80 oz  
Estimated Delivery Date Sat 10/23/2021

Certified Mail® \$3.75  
Tracking #: 70182290000198958636

Return Receipt \$3.05  
Tracking #: 9590 9402 4487 8248 6797

**Total \$7.38**

First-Class Mail® Letter \$0.58

Albuquerque, NM 87103  
Weight: 0 lb 0.80 oz  
Estimated Delivery Date Mon 10/25/2021

Certified Mail® \$3.75  
Tracking #: 70182290000198958643

Return Receipt \$3.05  
Tracking #: 9590 9402 4487 8248 6797

**Total \$7.38**

First-Class Mail® Letter \$0.58

Albuquerque, NM 87102  
Weight: 0 lb 0.80 oz  
Estimated Delivery Date Sat 10/23/2021

Certified Mail® \$3.75  
Tracking #: 70182290000198958650

Return Receipt \$3.05  
Tracking #: 9590 9402 4487 8248 6797

**Total \$7.38**

First-Class Mail® Letter \$0.58

Albuquerque, NM 87103  
Weight: 0 lb 0.80 oz  
Estimated Delivery Date Mon 10/25/2021

Certified Mail® \$3.75  
Tracking #: 70182290000198948972

Return Receipt \$3.05  
Tracking #: 9590 9402 4487 8248 6796

**Total \$7.38**

First-Class Mail® Letter \$0.58

Logan, UT 84341  
Weight: 0 lb 0.80 oz  
Estimated Delivery Date Mon 10/25/2021

Certified Mail® \$3.75  
Tracking #: 70182290000198948989

Return Receipt \$3.05  
Tracking #: 9590 9402 4487 8248 6796

**Total \$7.38**

Grand Total: \$103.32

Credit Card Remitted \$103.32

Card Name: VISA  
Account #: XXXXXXXXXXXX9895  
Approval #: 032168  
Transaction #: 980  
AID: A0000000031010 Chip  
AL: VISA CREDIT  
PIN: Not Required

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or call 1-800-410-7420.

UFN: 340127-0101  
Receipt #: 840-58700056-1-5517439-2  
Clerk: 16

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Logan, UT 84341

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: Utah State Research Foundation  
105 N Research Pkwy  
North Logan UT 84341-1947

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Santa Fe, NM 87594

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: Dos Amigos Catering Co Llc Wash  
PO Box 55048  
Santa Fe, NM 87594-3048

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Santa Fe, NM 87502

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: Facility Maint Div John Simms Bldg  
PO Box 6250  
Santa Fe, NM 87502

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**OFFICIAL USE**

Fort Lauderdale, FL 33394

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: Waramaug Abq W LLC  
500 E Broward Blvd Suite 1130  
Fort Lauderdale FL 33394-3030

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**OFFICIAL USE**

Albuquerque, NM 87103

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: City of Albuquerque  
PO Box 1293  
Abq NM 87103-2248

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**OFFICIAL USE**

Albuquerque, NM 87106

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: Park & Shuttle Inc  
2909 Yale Blvd SE  
Abq, NM 87106-4232

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**OFFICIAL USE**

Albuquerque, NM 87102

Certified Mail Fee \$3.75 0101 16

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.58

Total Postage and Fees \$7.38

Sent To: Bernalillo County Co County Manager  
Civic Plaza NW  
Abq, NM 87102

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Albuquerque Bernalillo County Water Utility Authority

Mailing Address\*: PO Box 1293 Albuquerque NM 87103-1293

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)    X Alternate Landscape Plan (Administrative)

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\* - No buildings
- b. Access and circulation for vehicles and pedestrians.\* - No public access
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: ABQ Airport Lodging LLC

Mailing Address\*: 1212 Corporate Dr Suite 350 Irving TX 75038-2714

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)    X Alternate Landscape Plan (Administrative)

Explanation\*:  
The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No  
 Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Airport Hospitality LLC c/o Legacy Hospitality LLC

Mailing Address\*: 5051 Journal Center Blvd NE Suite 500 Albuquerque NM 87109-5915

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)     Alternate Landscape Plan (Administrative)

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\* - No buildings
- b. Access and circulation for vehicles and pedestrians.\* - No public access
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Bernalillo County c/o County Manager

Mailing Address\*: 1 Civic Plaza NW Albuquerque NM 87102

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)    X Alternate Landscape Plan (Administrative)

Explanation\*:  
The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No  
 Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

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**IDO Interactive Map**

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>



[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: City of Albuquerque

Mailing Address\*: PO Box 1293 Albuquerque NM 87103-2248

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)     Alternate Landscape Plan (Administrative)

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\* - No buildings
- b. Access and circulation for vehicles and pedestrians.\* - No public access
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Chavez Properties Airport Parking Albuquerque c/o Manual Chavez

Mailing Address\*: 250 W Court St Suite 200E Cincinnati OH 45202-1064

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
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  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)     Alternate Landscape Plan (Administrative)

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\* - No buildings
- b. Access and circulation for vehicles and pedestrians.\* - No public access
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Dos Amigos Catenacy c/o Lee A Welsh

Mailing Address\*: PO Box 33048 Santa Fe NM 87594-3048

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)    X Alternate Landscape Plan (Administrative)

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\* - No buildings
- b. Access and circulation for vehicles and pedestrians.\* - No public access
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Facility Management Division John Simms Bldg

Mailing Address\*: PO Box 6850 Santa Fe NM 87502

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)    X Alternate Landscape Plan (Administrative)

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\* - No buildings
- b. Access and circulation for vehicles and pedestrians.\* - No public access
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Hobson Richard W & Mitzi Trustee Hobson RVT

Mailing Address\*: PO Box 2332 Corrales NM 87048-2332

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)    X Alternate Landscape Plan (Administrative)

Explanation\*:  
The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No  
 Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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**IDO Interactive Map**

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Lesarde Enterprises Ltd

Mailing Address\*: 30024 Trail Creek Dr Agoura Hills CA 91301-4041

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)    X Alternate Landscape Plan (Administrative)

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\* - No buildings
- b. Access and circulation for vehicles and pedestrians.\* - No public access
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Park & Shuttle Inc

Mailing Address\*: 2909 Yale Blvd SE Albuquerque NM 87106-4232

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)     Alternate Landscape Plan (Administrative)

Explanation\*:  
The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No  
 Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\* - No buildings
  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: R & B LLC

Mailing Address\*: 1501 Aircraft Ave SE Albuquerque NM 87106

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)    X Alternate Landscape Plan (Administrative)

Explanation\*:

The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\* - No buildings
- b. Access and circulation for vehicles and pedestrians.\* - No public access
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***: No buildings - electric facilities only
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

---

<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>



[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Utah State University Research Foundation c/o Space Dynamics Laboratory

Mailing Address\*: 1619 N Research Pkwy North Logan UT 84341-1947

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
3. Agent/Applicant\* *[if applicable]* Public Service Company of New Mexico
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a new electric utility substation on an approximately 21-acre site to be known as Sagebrush Substation. The facility will be secured and unmanned.

5. This application will be decided at a public meeting or hearing by\*:
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  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: Tuesday 01 December 2021

Location\*<sup>2</sup>: Zoom Meeting: https://cabq.zoom.us/j/83684755205

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Russell.Brito@pnm.com or 505.241.2798

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> M-15
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)     Alternate Landscape Plan (Administrative)

Explanation\*:  
The site's unique status (former landfill), location (Sunport premises), and context (light manufacturing, business park, and airport) restrict landscape coverage, especially at the edges where irrigation moisture can accelerate landfill waste decomposition.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No  
 Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
Site plan review by the DRB is required per the IDO, the site's underlying zoning, and the Condition of Approval from the Environmental Planning Commission's site plan approval in November 2020 (PR-2020-004447 / SI-2020-01023).

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
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  - b. Access and circulation for vehicles and pedestrians.\* - No public access
  - c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] Approximately 21 acres
  2. IDO Zone District NR-SU
  3. Overlay Zone(s) [if applicable] Airport Protection Overlay Zone (Airspace, Runway, Noise)
  4. Center or Corridor Area [if applicable] n/a
- Current Land Use(s) [vacant, if none] Vacant
- 

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for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 22 October 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Waramaug Albuquerque W LLC c/o Waramaug Hospitality

Mailing Address\*: 500 E Broward Blvd Suite 1130 Fort Lauderdale FL 33394-3036

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 2200 Sunport Blvd SE  
Location Description Northeast corner of University Blvd and Sunport Blvd SE
2. Property Owner\* City of Albuquerque
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4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
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  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

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**Useful Links**

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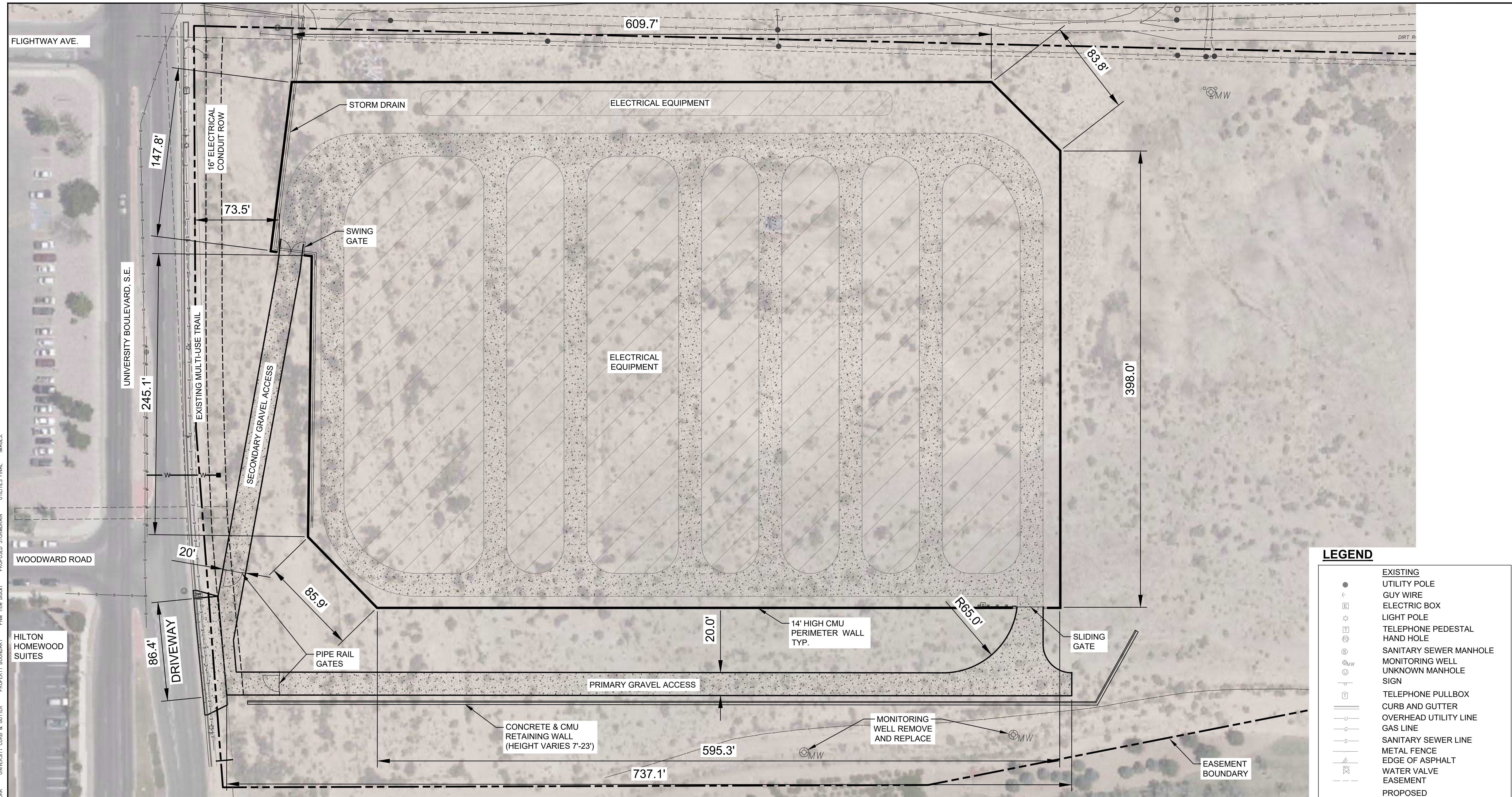
<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

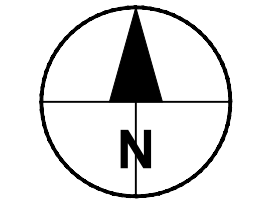
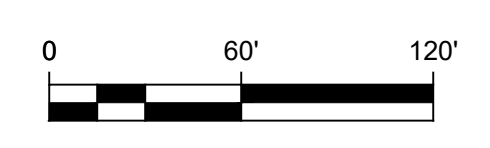
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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>



LEGEND	
●	EXISTING UTILITY POLE
—	GUY WIRE
⊞	ELECTRIC BOX
☆	LIGHT POLE
⊞	TELEPHONE PEDESTAL
⊞	HAND HOLE
⊞	SANITARY SEWER MANHOLE
⊞	MONITORING WELL
⊞	UNKNOWN MANHOLE
⊞	SIGN
⊞	TELEPHONE PULLBOX
—	CURB AND GUTTER
—	OVERHEAD UTILITY LINE
—	GAS LINE
—	SANITARY SEWER LINE
—	METAL FENCE
—	EDGE OF ASPHALT
—	WATER VALVE
---	EASEMENT
---	PROPOSED DRIVE ACCESS
---	ELECTRICAL EQUIPMENT AREA
---	EASEMENT BOUNDARY
---	WATER LINE

**PROJECT SITE PLAN**  
Scale: 1"=60'



NO.	DATE	BY	REVISION

ENGINEER'S STAMP  
**PRELIMINARY NOT FOR CONSTRUCTION**

PROPRIETARY STATEMENT  
THIS DOCUMENT AND ALL PREVIOUS ISSUES ARE THE PROPERTY OF PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM") AND NEITHER RECEIPT NOR POSSESSION THEREOF INFERS OR TRANSFERS: ANY RIGHT IN OR LICENSE TO USE THIS DOCUMENT THE SUBJECT MATTER THEREOF OR ANY DESIGN OR TECHNICAL INFORMATION SHOWN THEREON OR ANY RIGHT TO REPRODUCE THIS DOCUMENT OR ANY PART THEREOF. NEITHER THIS DOCUMENT NOR ANY INFORMATION CONTAINED THEREIN MAY BE COPIED, REPRODUCED, OR OTHERWISE USED OR DISCLOSED TO ANY OTHER PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF PNM. THIS DOCUMENT IS PROVIDED UNDER THE EXPRESS CONDITION THAT IT WILL BE HELD IN CONFIDENCE BY THE RECIPIENT, THAT IT IS SUBJECT TO RETURN UPON DEMAND, AND THAT IT WILL NOT BE USED IN ANY WAY DETRIMENTAL TO PNM.

PNM PUBLIC SERVICE COMPANY OF NEW MEXICO			
PROJECT SITE PLAN			
SAGEBRUSH SUBSTATION			
DR:	OK:	DATE:	02/01/21
CKD:	OK:	SCALE:	As Noted
APP:	SBD-7602-S2	2 OF 6	
REV. NO.			

REVISION		
NO.	DATE	BY

**CITY LANDSCAPE ORDINANCE COMPLIANCE**

LANDSCAPING RESPONSIBILITY FOR MAINTENANCE:

1. PNM WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AT THE PROPOSED SUBSTATION FACILITY.

COMPLIANCE WITH WATER CONSERVATION ORDINANCE:

1. NO SPRAY IRRIGATION IS PROPOSED
2. PLANT SPECIES WILL BE LOW OR MEDIUM USE SPECIES PER THE OFFICIAL ALBUQUERQUE PLANT PALETTE AND SIZING LIST.
3. THIS PLAN HAS NO TURF OR HIGH WATER USE LANDSCAPING.
4. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW FLOW BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN A HEATED ENCLOSURE TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.

COMPLIANCE WITH GENERAL LANDSCAPING STANDARDS (PER 14-16-5-6 OF THE COA INTEGRATED DEVELOPMENT ORDINANCE):

1. THIS PLAN PROVIDES VISUALLY ATTRACTIVE LANDSCAPING TO PROVIDE SCREENING OF THE SUBSTATION FACILITY AND CREATE A VISUALLY ATTRACTIVE STREETScape THAT PROVIDES SHADE AND OTHER ENVIRONMENTAL BENEFITS AS WELL AS IMPROVE THE OVERALL AESTHETIC APPEARANCE OF THE INDUSTRIAL DEVELOPMENT IN THE AREA.
2. GROUNDCOVER MULCH SHALL COMPRISE A COMBINATION OF CRUSHED GRAVEL (NOT TO EXCEED 75% OF TOTAL AREA) AND ORGANIC MULCH SUCH AS COMPOSTED BARK, PECAN SHELLS, ETC.
3. REFERENCE CITY OF ALBUQUERQUE STANDARD DETAILS FOR TREE AND SHRUB PLANTING.

ALTERNATIVE LANDSCAPING IS BEING PROPOSED IN ACCORDANCE WITH 14-16-5-6(C)(16) AND MEETING THE FOLLOWING CRITERIA:

- (a) PROPOSED LANDSCAPING IS CONSISTENT WITH THE PURPOSES OF SECTION 14-16-5-6.
- (b) PROPOSED LANDSCAPING DOES NOT INCLUDE INVASIVE VEGETATION INCLUDED IN THE CITY LIST OF PROHIBITED OR INVASIVE SPECIES OR LISTED AS NOXIOUS WEEDS IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
- (c) PROPOSED LANDSCAPING DOES NOT INCLUDE A REDUCTION OF TREE PLANTING REQUIREMENTS.
- (d) PROPOSED LANDSCAPING PROVIDES EQUAL OR SUPERIOR BUFFERING OF ADJACENT PROPERTIES FROM ANTICIPATED IMPACTS OF THE PROPOSED DEVELOPMENT.
- (e) PROPOSED LANDSCAPING PROVIDES EQUAL OR SUPERIOR VISUAL APPEARANCE OF THE PROPERTY WHEN VIEWED FROM THE STREET.
- (f) PROPOSED LANDSCAPING PROVIDES EQUAL OR SUPERIOR CARBON DIOXIDE ABSORPTION AND HEAT ISLAND REDUCTIONS.

DUE TO THE SECURE AND SENSITIVE NATURE OF THE FACILITY, AN OPEN BUFFER OF 15' FROM THE EDGE OF THE WALLS TO THE NEAREST TREE OR SHRUB IS REQUIRED. IN ADDITION, IT IS IMPORTANT TO MAINTAIN VISIBILITY OF THE PERIMETER OF THE SUBSTATION TO ENSURE SECURITY OF THE FACILITY.

LANDSCAPE CALCULATIONS:

TOTAL LOT AREA: 550,260 SF  
 LESS TOTAL SUBSTATION FACILITY AREA: 299,345 SF  
 LESS R.O.W. LANDSCAPING: 14,956 SF  
 NET LOT AREA: 235,959 SF

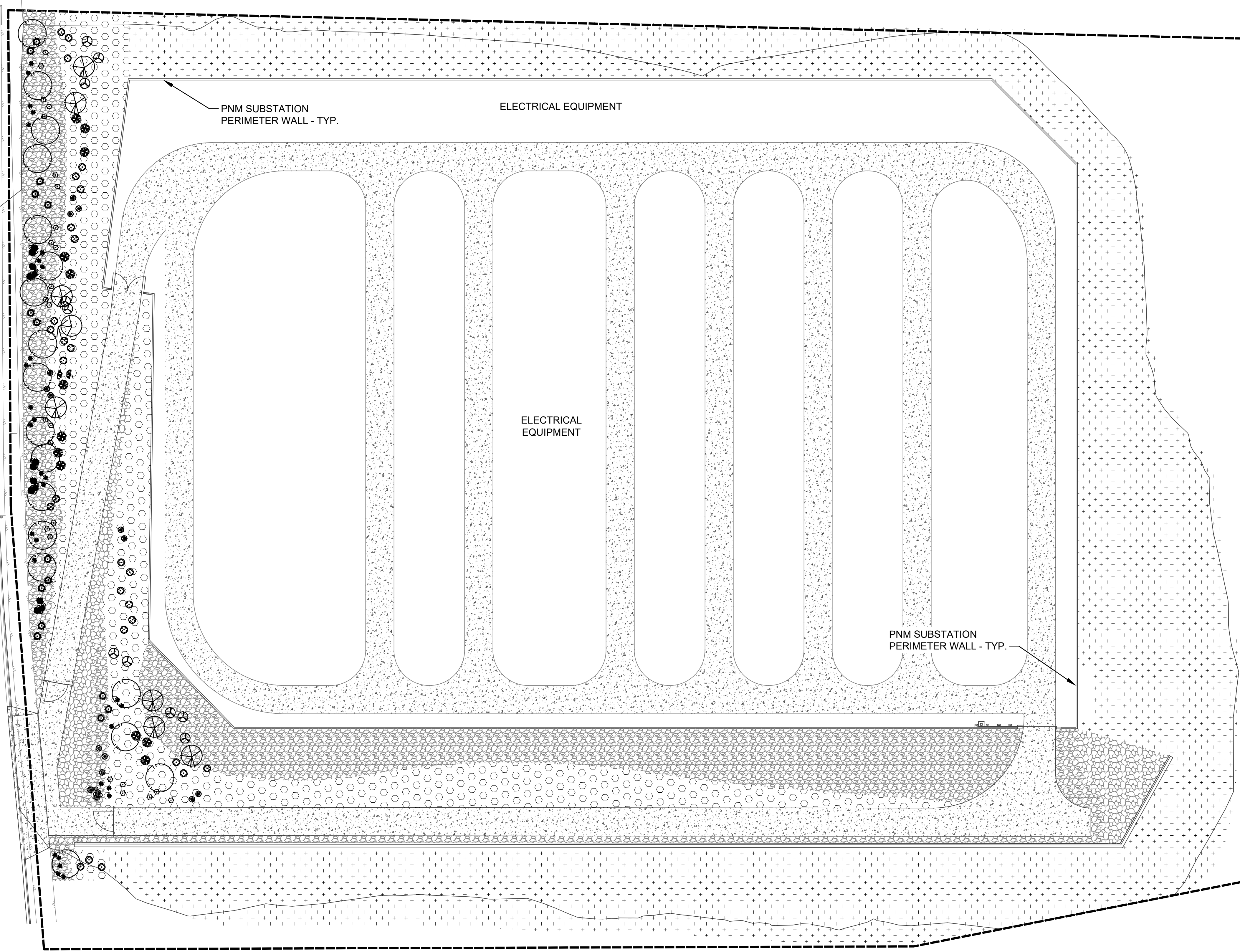
REQUIRED MINIMUM LANDSCAPE AREA (15% OF NET LOT AREA) - [5-6(C)(2)]: 35,394 SF  
 PROVIDED LANDSCAPE AREA: 165,171 SF (70% OF NET LOT AREA)

REQUIRED VEGETATIVE COVERAGE (75% OF REQUIRED LANDSCAPE AREA) - [5-6(C)(2)(C)]: 26,545 SF  
 PROVIDED VEGETATIVE COVERAGE: 32,400 SF (122% OF REQUIRED TOTAL COVERAGE)

REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF TOTAL VEGETATIVE COVERAGE) - [5-6(C)(2)(C)]: 6,636 SF  
 PROVIDED GROUND LEVEL VEGETATIVE COVERAGE: 22,146 (334% OF REQUIRED TOTAL COVERAGE)

REQUIRED STREET TREES - [5-6(D)(1)]: 15 (530 LF ALONG UNIVERSITY BLVD, TREES AVERAGE 35' O.C.)  
 PROVIDED STREET TREES: 15 TREES ALONG UNIVERSITY BLVD

UNIVERSITY BLVD.



**SCHMATIC PLANTING PLAN**  
 Scale: 1"=40'

**PLANT LEGEND**

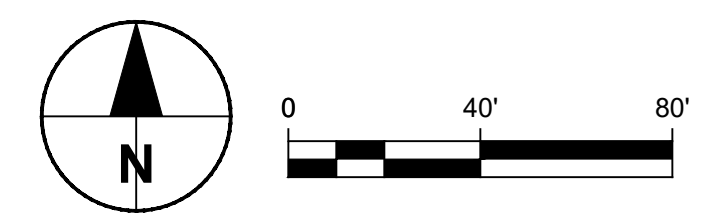
KEY	COMMON NAME	BOTANICAL NAME	QTY
<b>TREES</b>			
NMO	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	8
DW	DESERT WILLOW	CHILOPSIS LINEARIS	18

**PLANT LEGEND (CONTINUED)**

<u>SHRUBS/GROUNDCOVERS/GRASSES/PERENNIALS</u>				QTY
FWS	FOURWING SALT BUSH	ARTIPLEX CANSCENS	10	
CHAM	CHAMISA	CHYSOTHAMUS NASEOSUS 'BLUE'	11	
TB	TURPENTINE BUSH	ERICAMERIA LARICIFOLIA	25	
TLS	THREE-LEAF SUMAC	RHUS TRILOBATA	13	
KFG	KARL FOERSTER GRASS	CALAMAGROSTIS A. 'KARL FOERSTER'	16	
BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	15	
APL	APACHE PLUME	FALLUGIA PARADOXA	16	
RED	RED YUCCA	HESPERALOE PARVIFLORA	30	
BG	BEAR GRASS	NOLINA TEXANA	13	

**HATCH LEGEND**

- 6"-8" SUBANGULAR TAN ROCK MULCH
- 6"-8" SUBANGULAR GRAY ROCK MULCH
- REVEGETATION SEEDING PER NMDOT STD. SPECIFICATIONS
- ACCENT BOULDER



ENGINEER'S STAMP  
**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

PROPRIETARY STATEMENT

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**PNM** PUBLIC SERVICE COMPANY OF NEW MEXICO

SCHMATIC PLANTING PLAN

SAGEBRUSH SUBSTATION

DR:	CKD:	OK:	DATE: 02/01/21
APP:	REV. NO.	SBD-7602-S6	SCALE: As Noted
			6 OF 6

DWG: C:\Users\jessie.higgins\Desktop\Signatures\Loca\101\_CAD\WB SUBMITTAL\05-2021\05-2021\LANDSCAPING PLAN.dwg  
 DATE: Oct 12, 2021 9:24am  
 USER: jessie.higgins  
 PROJECT: SAGEBRUSH SUBSTATION  
 PROJECT BOUNDARY: E-SP-GEN-LANDSCAPING  
 IMAGES:



# SITE PLAN CHECKLIST

Project #: PR-2020-004447 Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

<p><b><i>I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.</i></b></p>	<p><u>R Brito</u> <u>02 Nov 2021</u> <small>Type text here</small></p> <p><b>Applicant or Agent Signature / Date</b></p>
---	--

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

- X 1. Date of drawing and/or last revision
- X 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

# SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure (no buildings)
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation NOTE: no public access

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

### n/a E. Off-Street Loading

- 1. Location and dimensions of all off-street loading areas

### n/a F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- 3. Striping and Sign details for one-way drive through facilities

## 3. Streets and Circulation

### X A. Locate and identify adjacent public and private streets and alleys.

- X 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- X 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- X 3. Location of traffic signs and signals related to the functioning of the proposal
- X 4. Identify existing and proposed medians and median cuts
- X 5. Sidewalk widths and locations, existing and proposed
- X 6. Location of street lights
- X 7. Show and dimension clear sight triangle at each site access point
- X 8. Show location of all existing driveways fronting and near the subject site.

### X B. Identify Alternate transportation facilities within site or adjacent to site

- X 1. Bikeways and bike-related facilities
- X 2. Pedestrian trails and linkages
- n/a 3. Transit facilities, including routes, bus bays and shelters existing or required

## 4. Phasing

- X A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

Alternate landscape plan (Administrative) per 14-16-5-6(C)(16) submitted concurrently with this

- X 1. Scale - must be same as scale on sheet #1 - Site plan Site Plan - DRB.
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

No buildings; electrical equipment cannot be shown (Homeland Security)

### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



# CONSTRUCTION DRAWINGS FOR SAGEBRUSH SUBSTATION SITE DEVELOPMENT

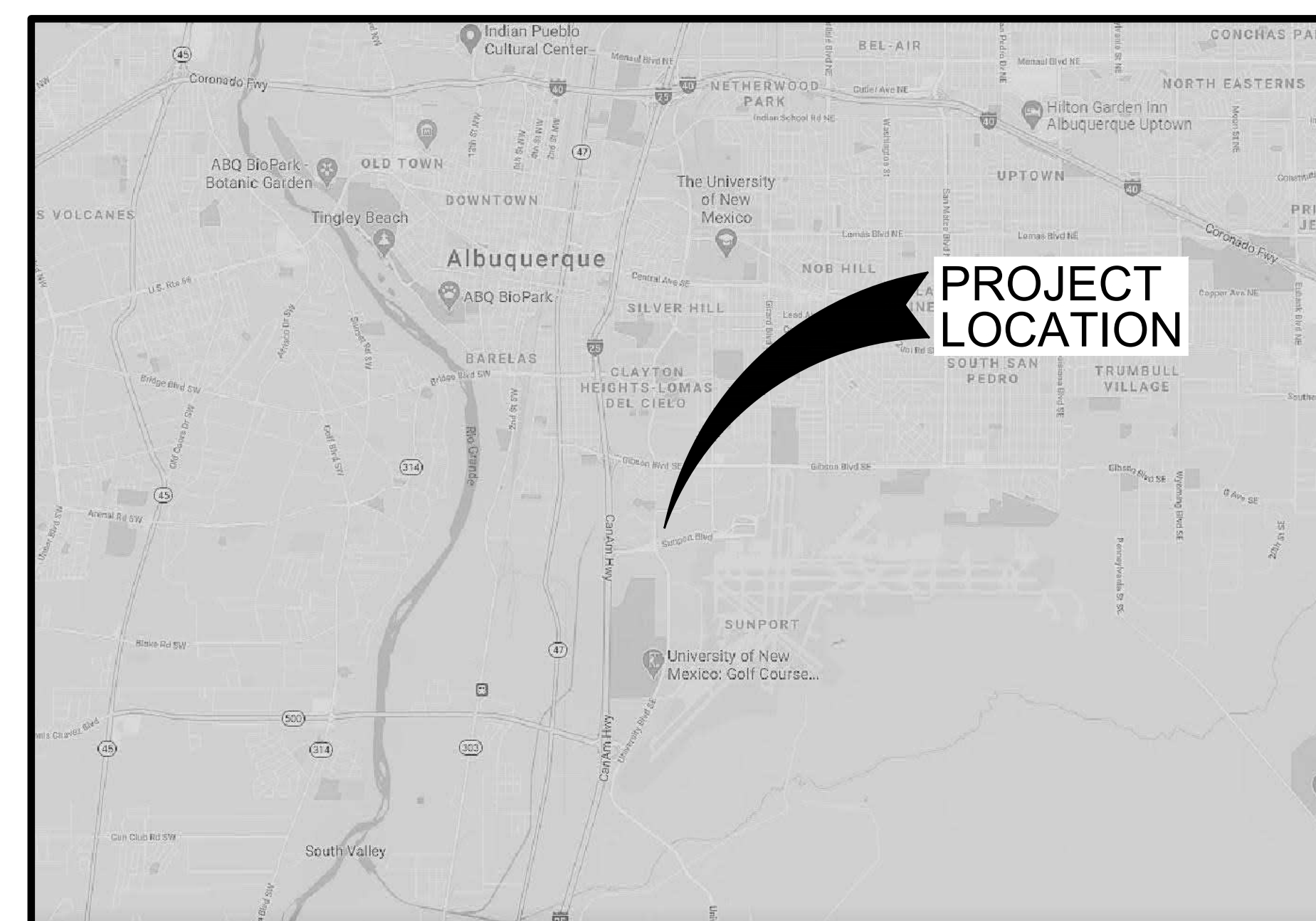
PNM PROJECT #673890

OCTOBER 2021

SHEET LIST		
NO.	TITLE	DESCRIPTION
1	SBD-7602-S1	COVER AND INDEX OF SHEETS
2	SBD-7602-S2	PROJECT SITE PLAN
3	SBD-7602-S3	DRAINAGE AND GRADING PLAN
4	SBD-7602-S4	DRAINAGE SECTIONS
5	SBD-7602-S5	PIPING PLAN AND DETAILS
6	SBD-7602-S6	SCHEMATIC PLANTING PLAN



LOCATION MAP  
(ZONE ATLAS MAP M15)  
NOT TO SCALE



VICINITY MAP  
NOT TO SCALE



**CONTACT:**  
DEREK KASTENDIECK  
505-241-2922

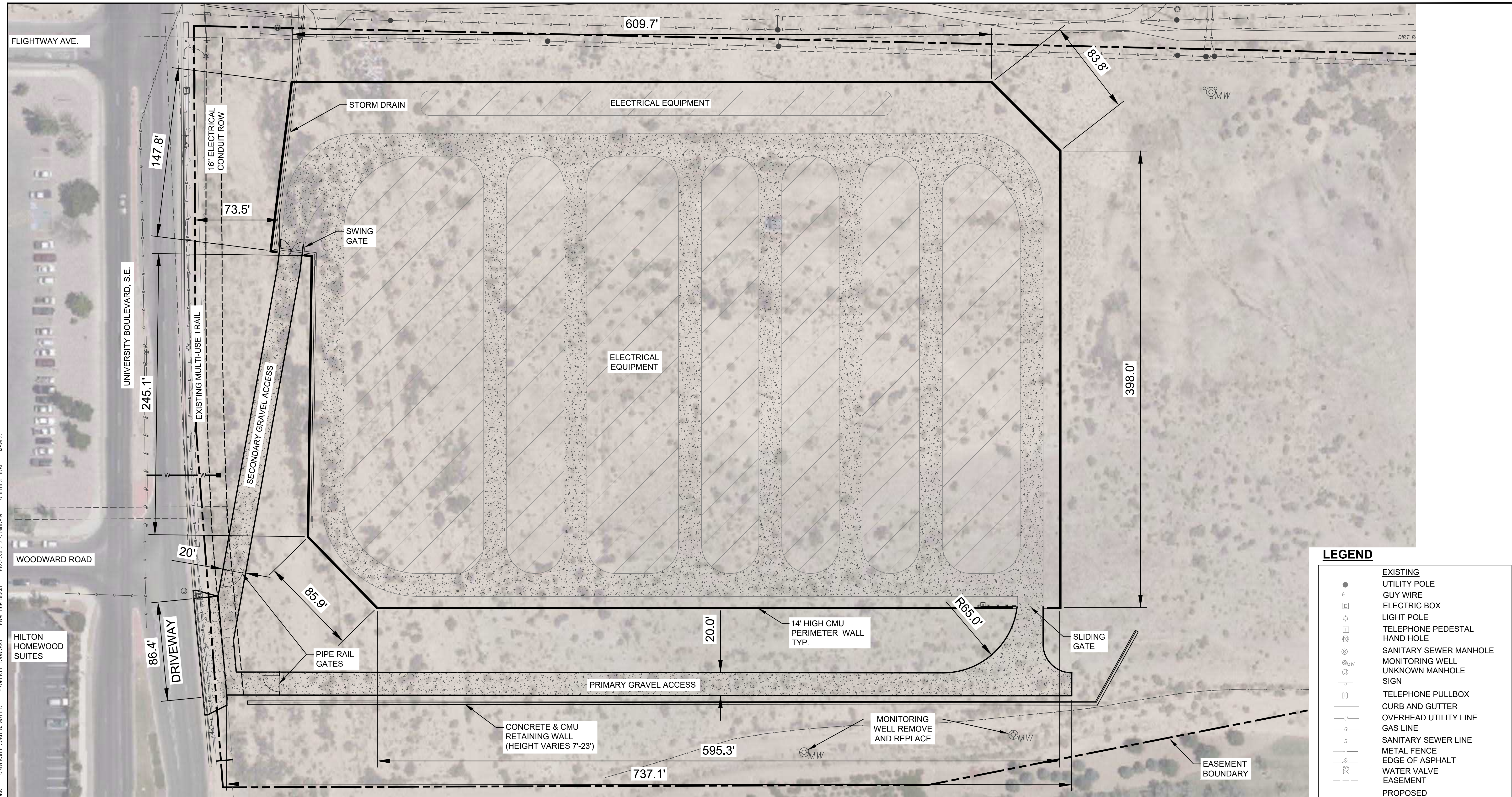
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REVISION	NO.	DATE	BY

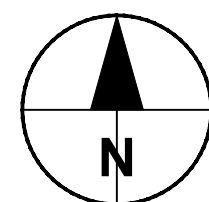
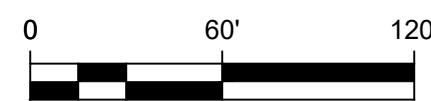
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<b>PNM</b> PUBLIC SERVICE COMPANY OF NEW MEXICO COVER AND INDEX OF SHEETS SAGEBRUSH SUBSTATION			
DR:	OK:	DATE: 02/01/21	SCALE: As Noted
CKD:			
APP:			
REV. NO.	SBD-7602-S1	1 OF 6	



**PROJECT SITE PLAN**  
Scale: 1"=60'



LEGEND	
	EXISTING UTILITY POLE
	EXISTING GUY WIRE
	EXISTING ELECTRIC BOX
	EXISTING LIGHT POLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING HAND HOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING MONITORING WELL
	EXISTING UNKNOWN MANHOLE
	EXISTING SIGN
	EXISTING TELEPHONE PULLBOX
	EXISTING CURB AND GUTTER
	EXISTING OVERHEAD UTILITY LINE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER LINE
	EXISTING METAL FENCE
	EXISTING EDGE OF ASPHALT
	EXISTING WATER VALVE
	EXISTING EASEMENT
	PROPOSED DRIVE ACCESS
	PROPOSED ELECTRICAL EQUIPMENT AREA
	PROPOSED EASEMENT BOUNDARY
	PROPOSED WATER LINE

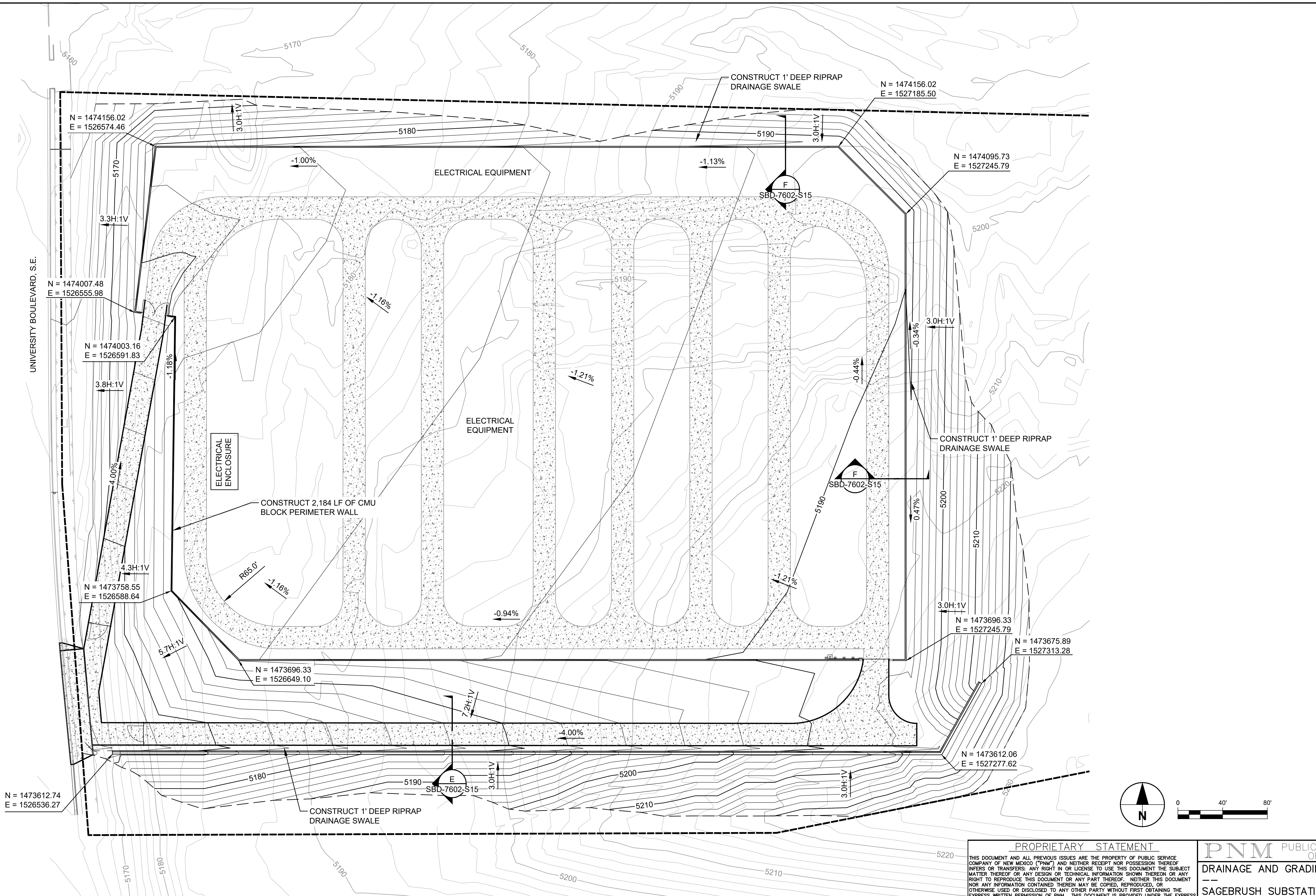
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<b>PNM</b> PUBLIC SERVICE COMPANY OF NEW MEXICO	
PROJECT SITE PLAN	
SAGEBRUSH SUBSTATION	
DR:	DATE: 02/01/21
CKD:	OK:
APP:	SCALE: As Noted
REV. NO.	SBD-7602-S2 2 OF 6

REVISION		
NO.	DATE	BY



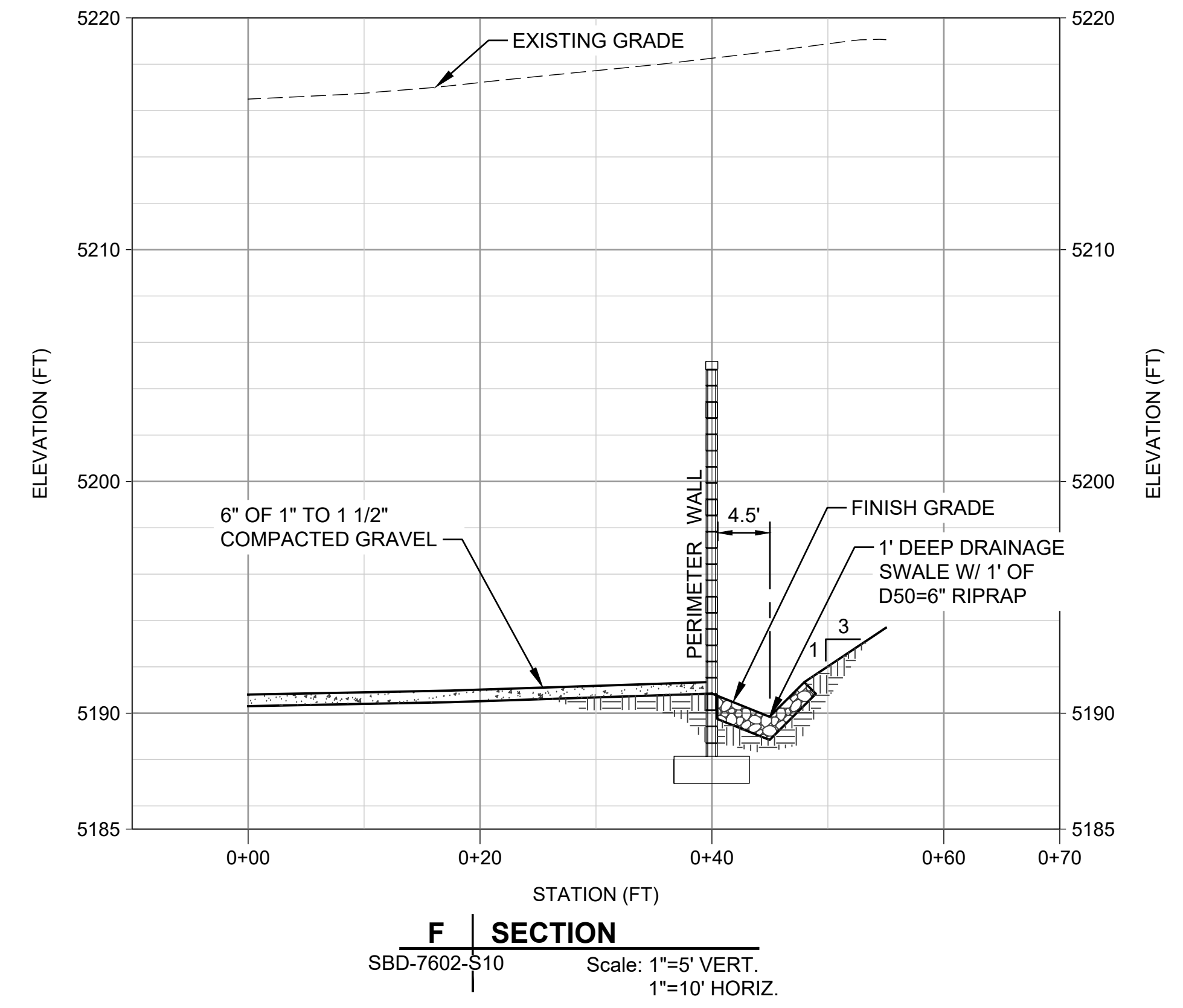
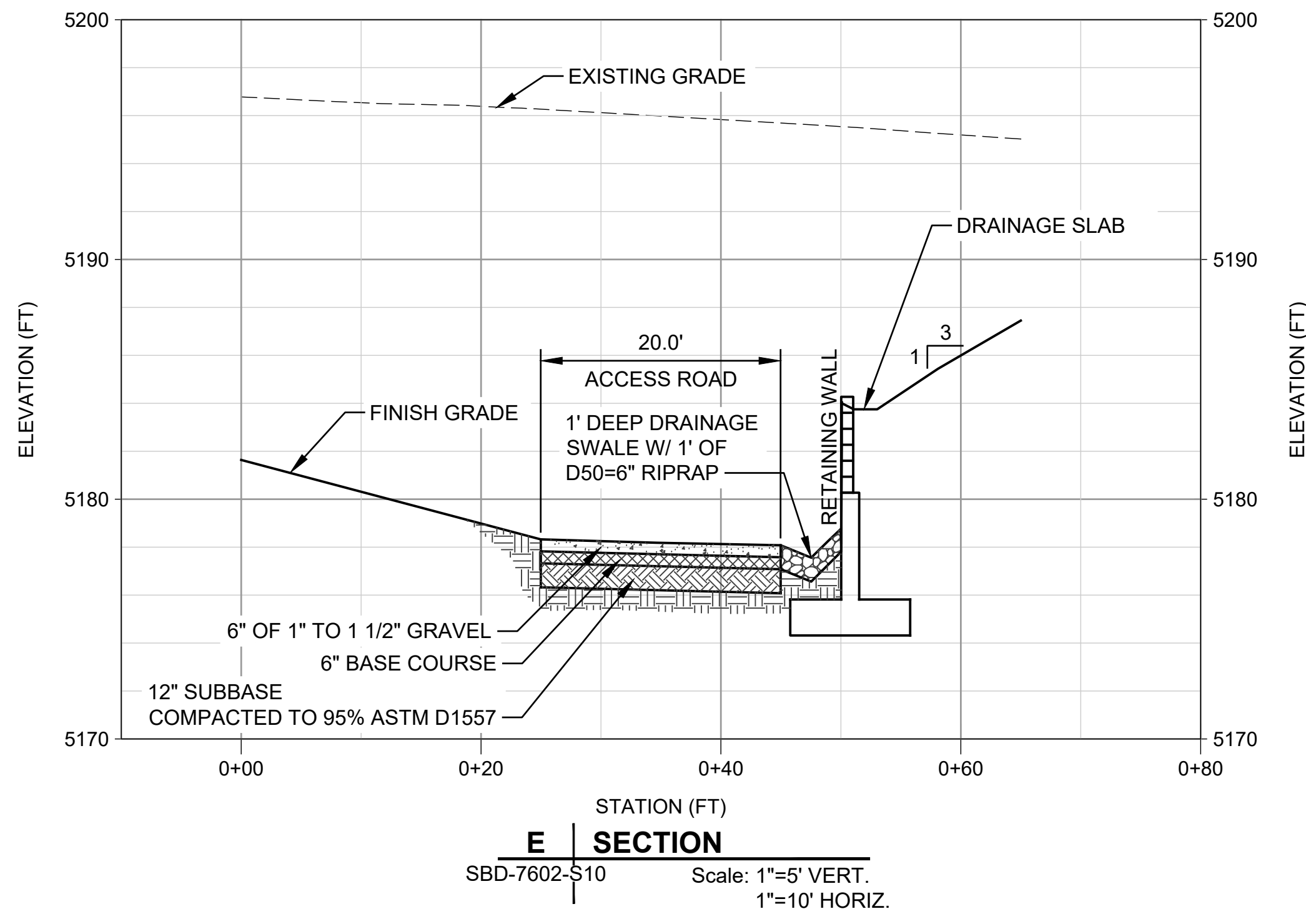
**DRAINAGE AND GRADING PLAN**  
Scale: 1"=40'

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<p><b>DRAINAGE AND GRADING PLAN</b></p>		<p><b>SAGEBRUSH SUBSTATION</b></p>
<p>DR: _____</p>	<p>CKD: _____</p>	<p>DATE: 02/01/21</p>
<p>APP: _____</p>	<p>OK: _____</p>	<p>SCALE: As Noted</p>
<p>REV. NO. _____</p>	<p>SBD-7602-S3</p>	<p>3 OF 6</p>

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 AREA: SBE STATION UNIFORM ACOP-COP-PBR-22034 UNIVERSITY CAMP & GUTTER EASEMENTS PROPERTY BOUNDARY IMAGES:





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REVISION	NO.	DATE	BY

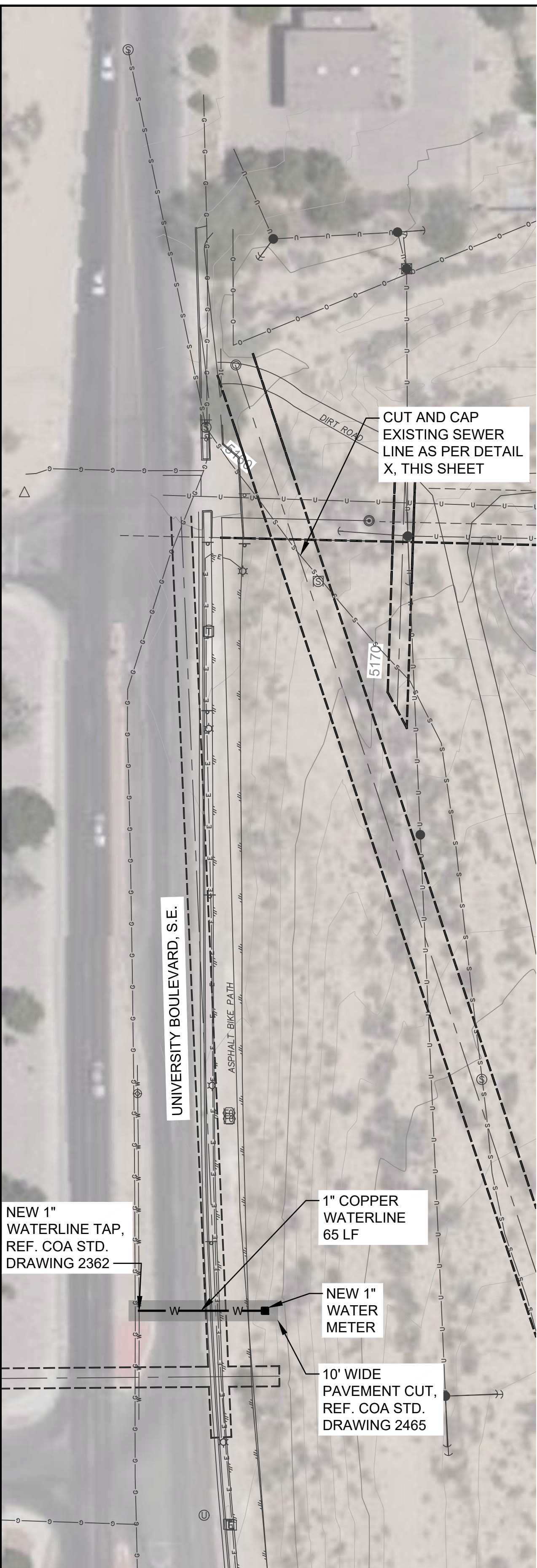
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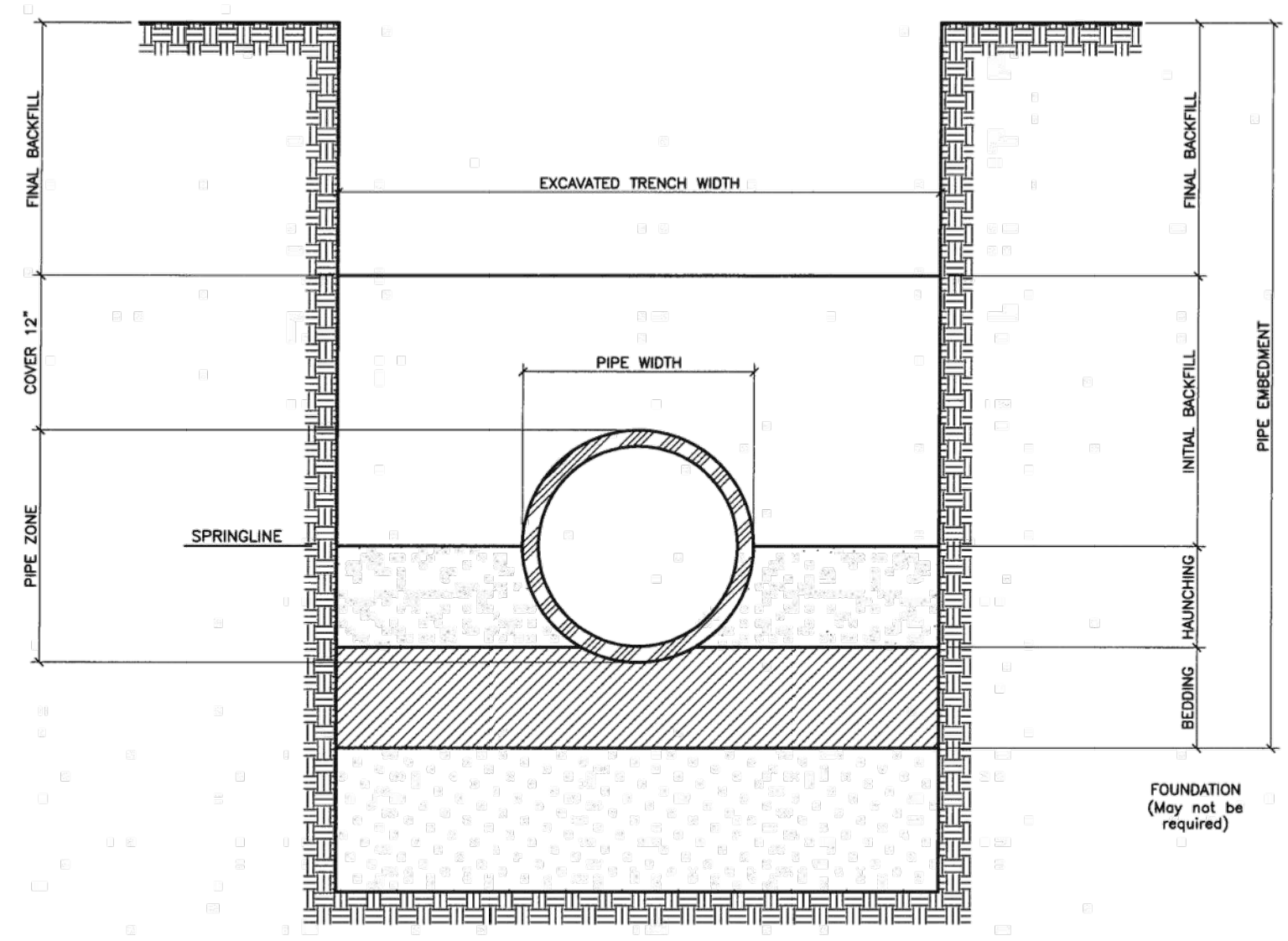
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DRAINAGE SECTIONS			
SAGEBRUSH SUBSTATION			
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APP:			
REV. NO.	SBD-7602-S4	4 OF 6	



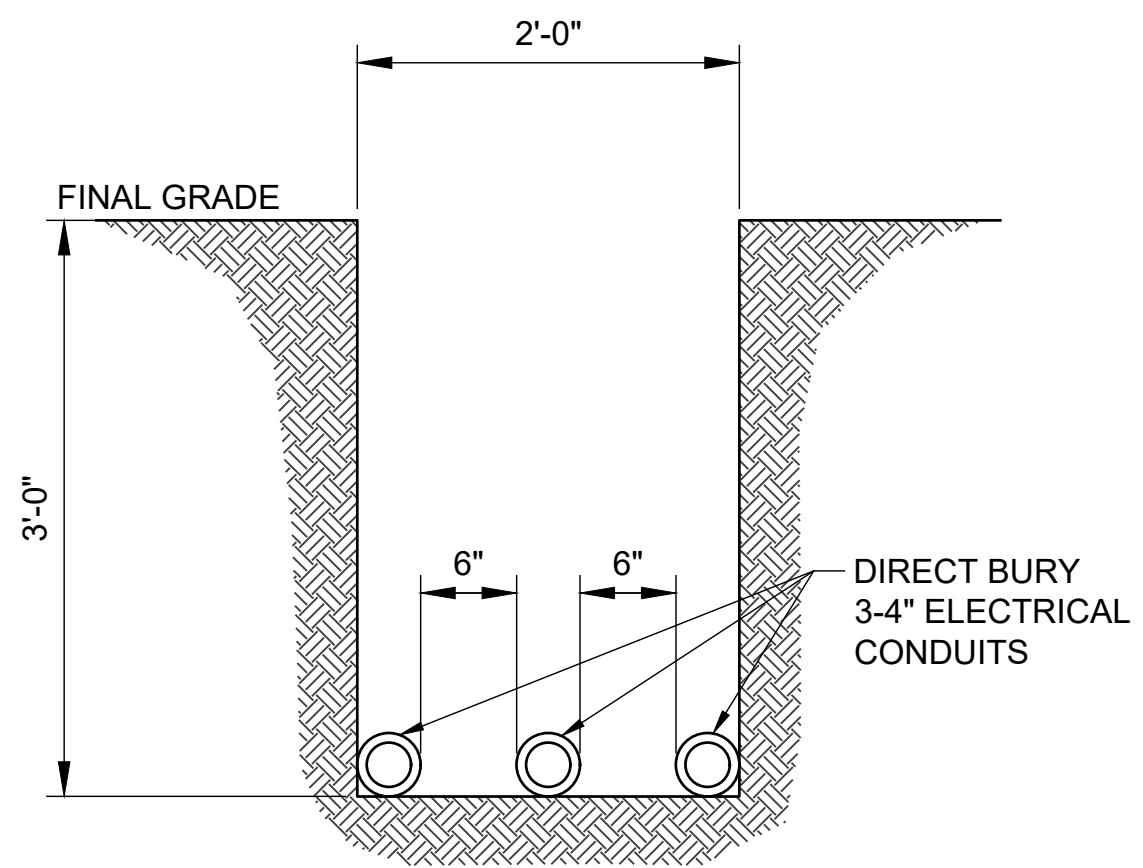
**LEGEND**

EXISTING	
●	UTILITY POLE
⊕	GUY WIRE
⊞	ELECTRIC BOX
☆	LIGHT POLE
⊞	TELEPHONE PEDESTAL
⊞	HAND HOLE
⊞	SANITARY SEWER MANHOLE
⊞	MONITORING WELL
⊞	UNKNOWN MANHOLE
⊞	SIGN
⊞	TELEPHONE PULLBOX
—	CURB AND GUTTER
—	OVERHEAD UTILITY LINE
—	GAS LINE
—	SANITARY SEWER LINE
—	CHAINLINK FENCE
—	METAL FENCE
—	METAL FENCE
—	EDGE OF ASPHALT
—	WATER VALVE

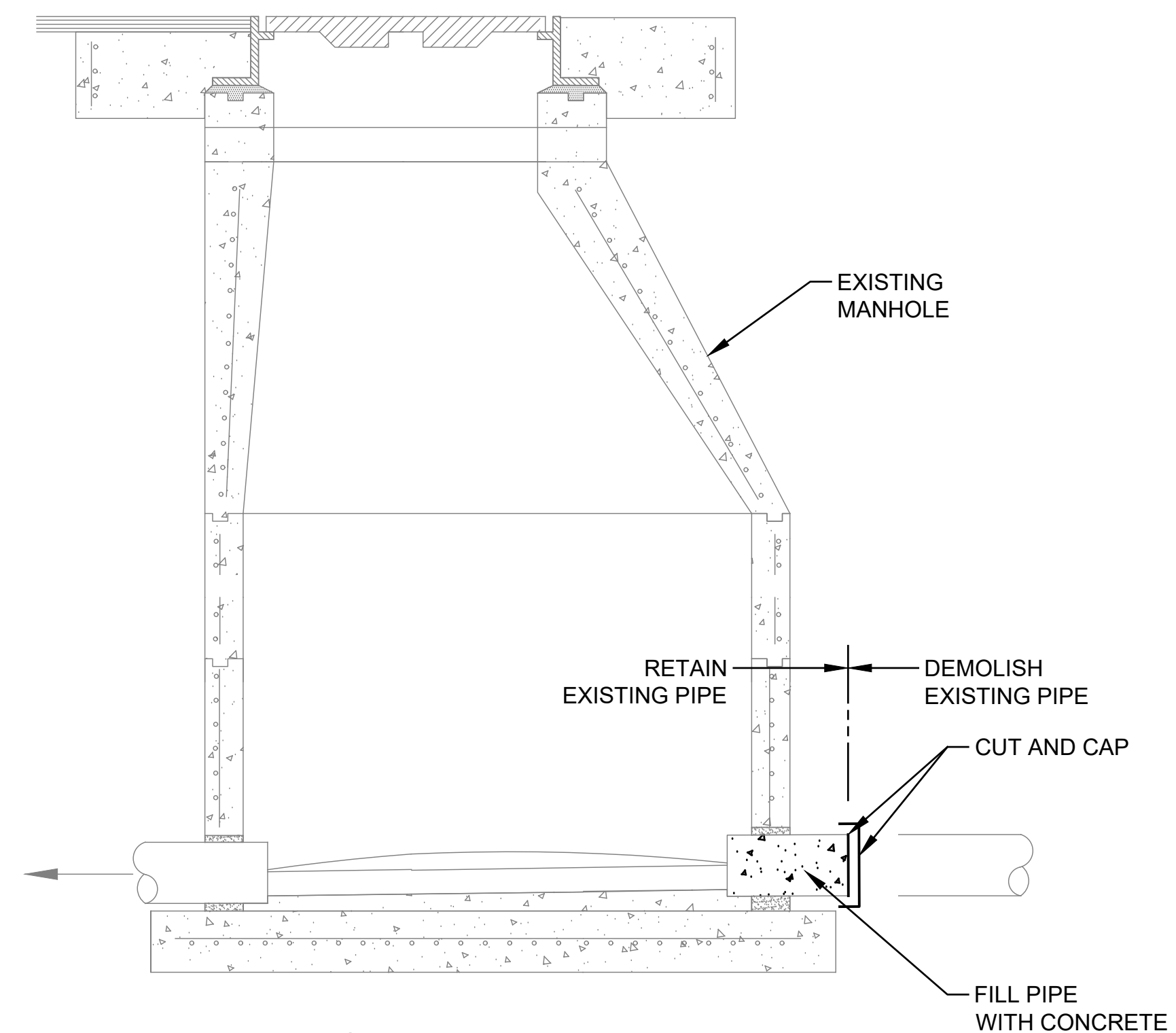


**1 | PIPE TRENCH DETAIL**  
NOT TO SCALE

- GENERAL NOTES:**
- MECHANICAL TAMPERS SHALL NOT BE USED IN THE INITIAL BACKFILL REGION FOR FLEXIBLE PIPE. WHEN FLEXIBLE PIPE IS USED, CONTRACTOR SHALL, PRIOR TO THE START OF CONSTRUCTION, PROVIDE THE PROPOSED COMPACTION METHOD IN THE INITIAL BACKFILL REGION TO THE WATER AUTHORITY FOR APPROVAL.
  - MINIMUM CLASS "C" BEDDING WILL BE USED.
  - ALL COMPACTION WILL BE TO 95% OF THE STANDARD PROCTOR.



**2 | CONDUIT TRENCH DETAIL**  
NOT TO SCALE



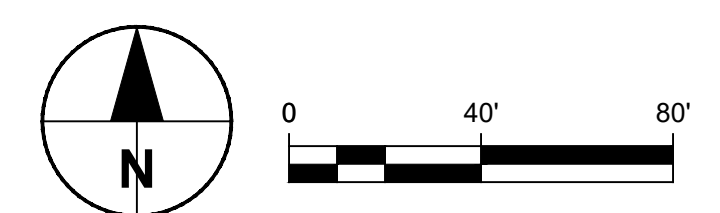
**3 | SEWER CAP DETAIL**  
NOT TO SCALE

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**PIPING PLAN**  
Scale: 1"=40'



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**PNM PUBLIC SERVICE COMPANY OF NEW MEXICO**

**PIPING PLAN AND DETAILS**

**SAGEBRUSH SUBSTATION**

DR:	OK:	DATE: 02/01/21
CKD:	OK:	SCALE: As Noted
APP:	SBD-7602-S5	5 OF 6
REV. NO.		

REVISION		
NO.	DATE	BY

**CITY LANDSCAPE ORDINANCE COMPLIANCE**

LANDSCAPING RESPONSIBILITY FOR MAINTENANCE:

1. PNM WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AT THE PROPOSED SUBSTATION FACILITY.

COMPLIANCE WITH WATER CONSERVATION ORDINANCE:

1. NO SPRAY IRRIGATION IS PROPOSED
2. PLANT SPECIES WILL BE LOW OR MEDIUM USE SPECIES PER THE OFFICIAL ALBUQUERQUE PLANT PALETTE AND SIZING LIST.
3. THIS PLAN HAS NO TURF OR HIGH WATER USE LANDSCAPING.
4. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW FLOW BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN A HEATED ENCLOSURE TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.

COMPLIANCE WITH GENERAL LANDSCAPING STANDARDS (PER 14-16-5-6 OF THE COA INTEGRATED DEVELOPMENT ORDINANCE):

1. THIS PLAN PROVIDES VISUALLY ATTRACTIVE LANDSCAPING TO PROVIDE SCREENING OF THE SUBSTATION FACILITY AND CREATE A VISUALLY ATTRACTIVE STREETScape THAT PROVIDES SHADE AND OTHER ENVIRONMENTAL BENEFITS AS WELL AS IMPROVE THE OVERALL AESTHETIC APPEARANCE OF THE INDUSTRIAL DEVELOPMENT IN THE AREA.
2. GROUNDCOVER MULCH SHALL COMPRISE A COMBINATION OF CRUSHED GRAVEL (NOT TO EXCEED 75% OF TOTAL AREA) AND ORGANIC MULCH SUCH AS COMPOSTED BARK, PECAN SHELLS, ETC.
3. REFERENCE CITY OF ALBUQUERQUE STANDARD DETAILS FOR TREE AND SHRUB PLANTING.

ALTERNATIVE LANDSCAPING IS BEING PROPOSED IN ACCORDANCE WITH 14-16-5-6(C)(16) AND MEETING THE FOLLOWING CRITERIA:

- (a) PROPOSED LANDSCAPING IS CONSISTENT WITH THE PURPOSES OF SECTION 14-16-5-6.
- (b) PROPOSED LANDSCAPING DOES NOT INCLUDE INVASIVE VEGETATION INCLUDED IN THE CITY LIST OF PROHIBITED OR INVASIVE SPECIES OR LISTED AS NOXIOUS WEEDS IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
- (c) PROPOSED LANDSCAPING DOES NOT INCLUDE A REDUCTION OF TREE PLANTING REQUIREMENTS.
- (d) PROPOSED LANDSCAPING PROVIDES EQUAL OR SUPERIOR BUFFERING OF ADJACENT PROPERTIES FROM ANTICIPATED IMPACTS OF THE PROPOSED DEVELOPMENT.
- (e) PROPOSED LANDSCAPING PROVIDES EQUAL OR SUPERIOR VISUAL APPEARANCE OF THE PROPERTY WHEN VIEWED FROM THE STREET.
- (f) PROPOSED LANDSCAPING PROVIDES EQUAL OR SUPERIOR CARBON DIOXIDE ABSORPTION AND HEAT ISLAND REDUCTIONS.

DUE TO THE SECURE AND SENSITIVE NATURE OF THE FACILITY, AN OPEN BUFFER OF 15' FROM THE EDGE OF THE WALLS TO THE NEAREST TREE OR SHRUB IS REQUIRED. IN ADDITION, IT IS IMPORTANT TO MAINTAIN VISIBILITY OF THE PERIMETER OF THE SUBSTATION TO ENSURE SECURITY OF THE FACILITY.

LANDSCAPE CALCULATIONS:

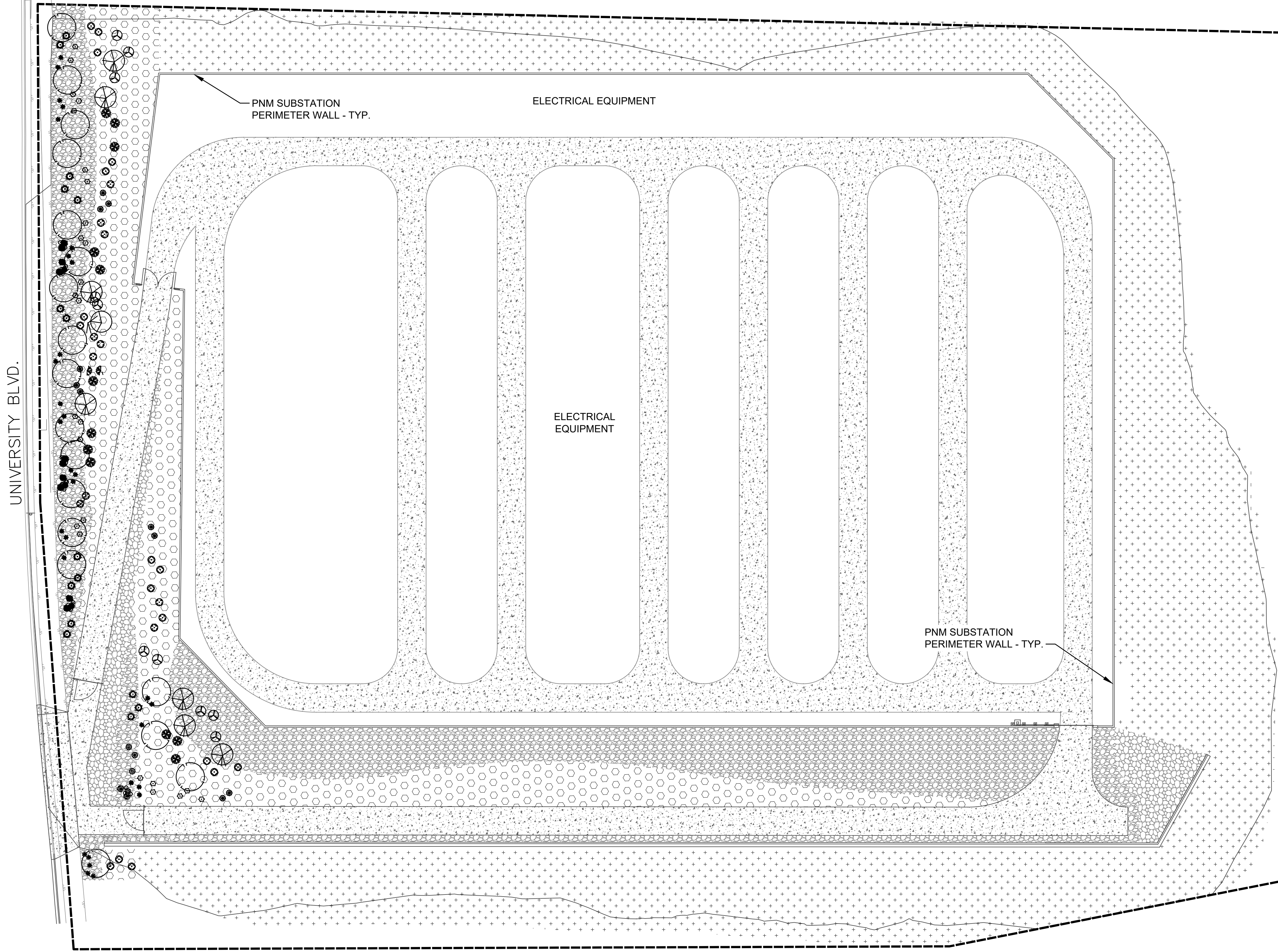
TOTAL LOT AREA: 550,260 SF  
 LESS TOTAL SUBSTATION FACILITY AREA: 299,345 SF  
 LESS R.O.W. LANDSCAPING: 14,956 SF  
 NET LOT AREA: 235,959 SF

REQUIRED MINIMUM LANDSCAPE AREA (15% OF NET LOT AREA) - [5-6(C)(2)]: 35,394 SF  
 PROVIDED LANDSCAPE AREA: 165,171 SF (70% OF NET LOT AREA)

REQUIRED VEGETATIVE COVERAGE (75% OF REQUIRED LANDSCAPE AREA) - [5-6(C)(2)(C)]: 26,545 SF  
 PROVIDED VEGETATIVE COVERAGE: 32,400 SF (122% OF REQUIRED TOTAL COVERAGE)

REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF TOTAL VEGETATIVE COVERAGE) - [5-6(C)(2)(C)]: 6,636 SF  
 PROVIDED GROUND LEVEL VEGETATIVE COVERAGE: 22,146 (334% OF REQUIRED TOTAL COVERAGE)

REQUIRED STREET TREES - [5-6(D)(1)]: 15 (530 LF ALONG UNIVERSITY BLVD, TREES AVERAGE 35' O.C.)  
 PROVIDED STREET TREES: 15 TREES ALONG UNIVERSITY BLVD



**SCHMATIC PLANTING PLAN**  
 Scale: 1"=40'

**PLANT LEGEND**

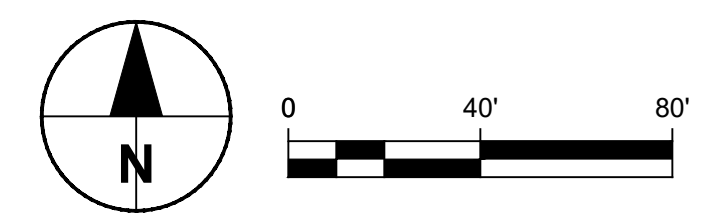
KEY	COMMON NAME	BOTANICAL NAME	QTY
<b>TREES</b>			
NMO	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	8
DW	DESERT WILLOW	CHILOPSIS LINEARIS	18

**PLANT LEGEND (CONTINUED)**

<u>SHRUBS/GROUNDCOVERS/GRASSES/PERENNIALS</u>				QTY
FWS	FOURWING SALT BUSH	ARTIPLEX CANSCENS	10	
CHAM	CHAMISA	CHYSOTHAMUS NASEOSUS 'BLUE'	11	
TB	TURPENTINE BUSH	ERICAMERIA LARICIFOLIA	25	
TLS	THREE-LEAF SUMAC	RHUS TRILOBATA	13	
KFG	KARL FOERSTER GRASS	CALAMAGROSTIS A. 'KARL FOERSTER'	16	
BJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	15	
APL	APACHE PLUME	FALLUGIA PARADOXA	16	
RED	RED YUCCA	HESPERALOE PARVIFLORA	30	
BG	BEAR GRASS	NOLINA TEXANA	13	

**HATCH LEGEND**

- 6"-8" SUBANGULAR TAN ROCK MULCH
- 6"-8" SUBANGULAR GRAY ROCK MULCH
- REVEGETATION SEEDING PER NMDOT STD. SPECIFICATIONS
- ACCENT BOULDER



ENGINEER'S STAMP  
**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

PROPRIETARY STATEMENT

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**PNM** PUBLIC SERVICE COMPANY OF NEW MEXICO  
 SCHEMATIC PLANTING PLAN

SAGEBRUSH SUBSTATION

DR:	CKD:	OK:	DATE: 02/01/21
APP:	REV. NO.	SBD-7602-S6	SCALE: As Noted
			6 OF 6

DWG: C:\Users\jessie.higgins\Desktop\Signatures\Loca\101\_CAD\DWG\SUBMITTALS\02-SHEETS\C-LANDSCAP\LANDSCAP PLAN.dwg  
 DATE: Oct 12, 2021 9:52am  
 USER: jessie.higgins  
 PROJECT: SAGEBRUSH SUBSTATION  
 PROJECT BOUNDARY: E-SP-GEN-LANDSCAPING  
 IMAGES:



## **Sagebrush Substation**

### **Site Design to Avoid Sensitive Lands - IDO Section 5-2(C)**

**DRB Meeting Date: 01 December 2021**

#### 5-2(C)(1)

The subject site is located on the former Yale Landfill. It is not part of a subdivision action. There are no sensitive lands, per the list contained in 5-2(C)(2), on or near the subject site. The City Archaeologist reviewed the site and has issued a Certificate of No Effect (see Compliance Documentation dated November 1, 2021)

#### 5-2(C)(2)

The subject property is located on a closed landfill. There are no sensitive lands on or near the subject site.

PNM is participating in the NM Environment Department's Voluntary Remediation Program and will remediate the portion of the Yale Landfill that is required to develop the subject site. PNM is coordinating and will continue to coordinate with the City's EHD on the remediation plan and activities for the former Yale Landfill.

#### 5-2(C)(3)

No streets and no street crossings of sensitive lands.

#### 5-2(C)(4)

Not applicable.

#### 5-2(C)(5)

Not applicable.

#### 5-2(C)(6)

Not applicable.



**Sagebrush Substation**  
**Landfill Disclosure Statement**  
**DRB Meeting Date: 01 December 2021**

Yale Landfill

The subject property is located on a closed landfill. Due to the subject property being on a closed landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public.

Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the Interim Guidelines for Development within City Designated Landfill Buffer Zones of the City Environmental Health Department) shall be consulted prior to development of the site.

New Mexico Environment Department Voluntary Remediation Program (VRP)

PNM is participating in the NMED's VRP and will remediate the portion of the Yale Landfill that is required to develop the subject site.

CABQ Environmental Health Department (EHD)

PNM is coordinating and will continue to coordinate with the City's EHD on the remediation plan and activities for the former Yale Landfill.