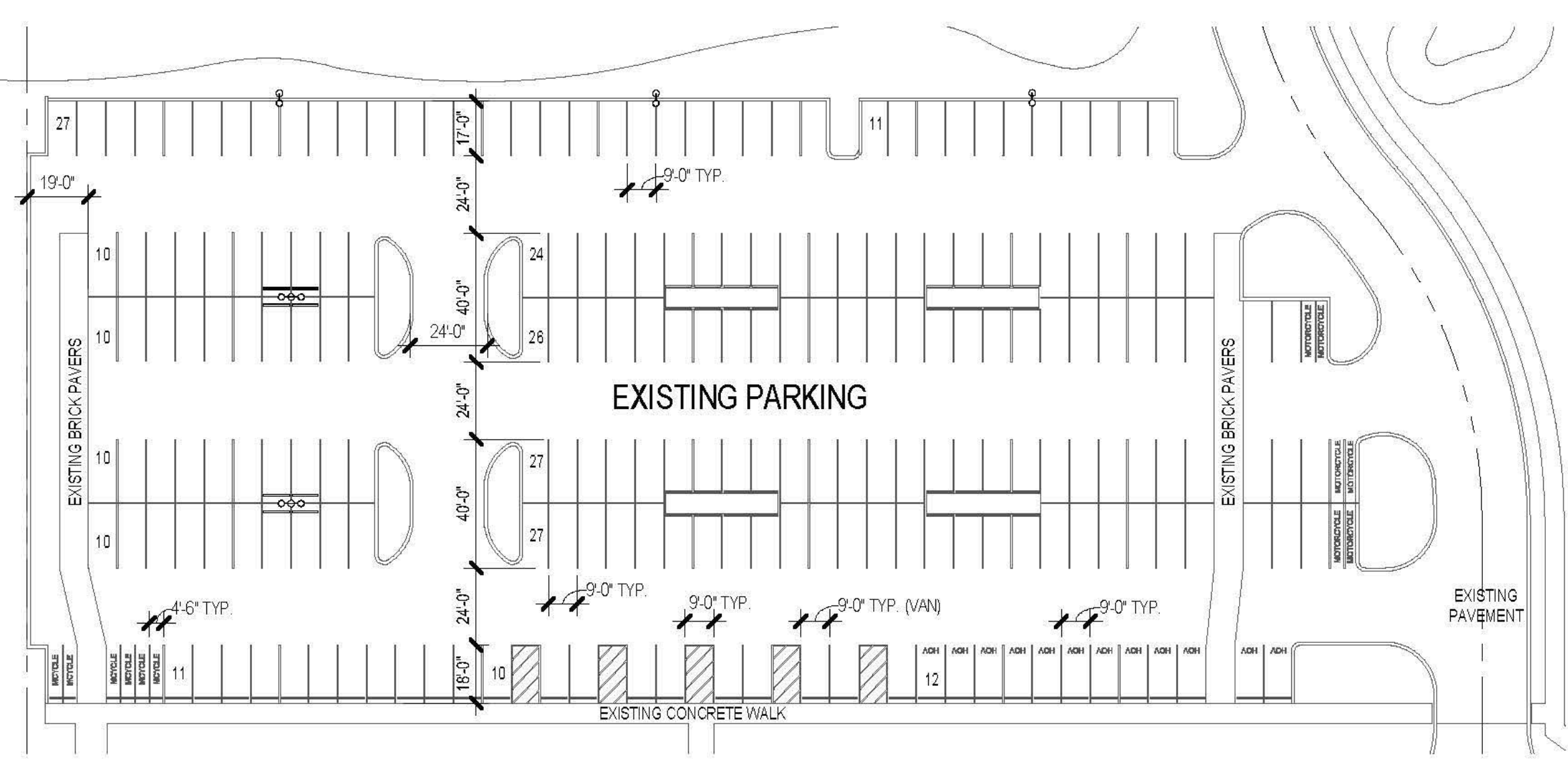


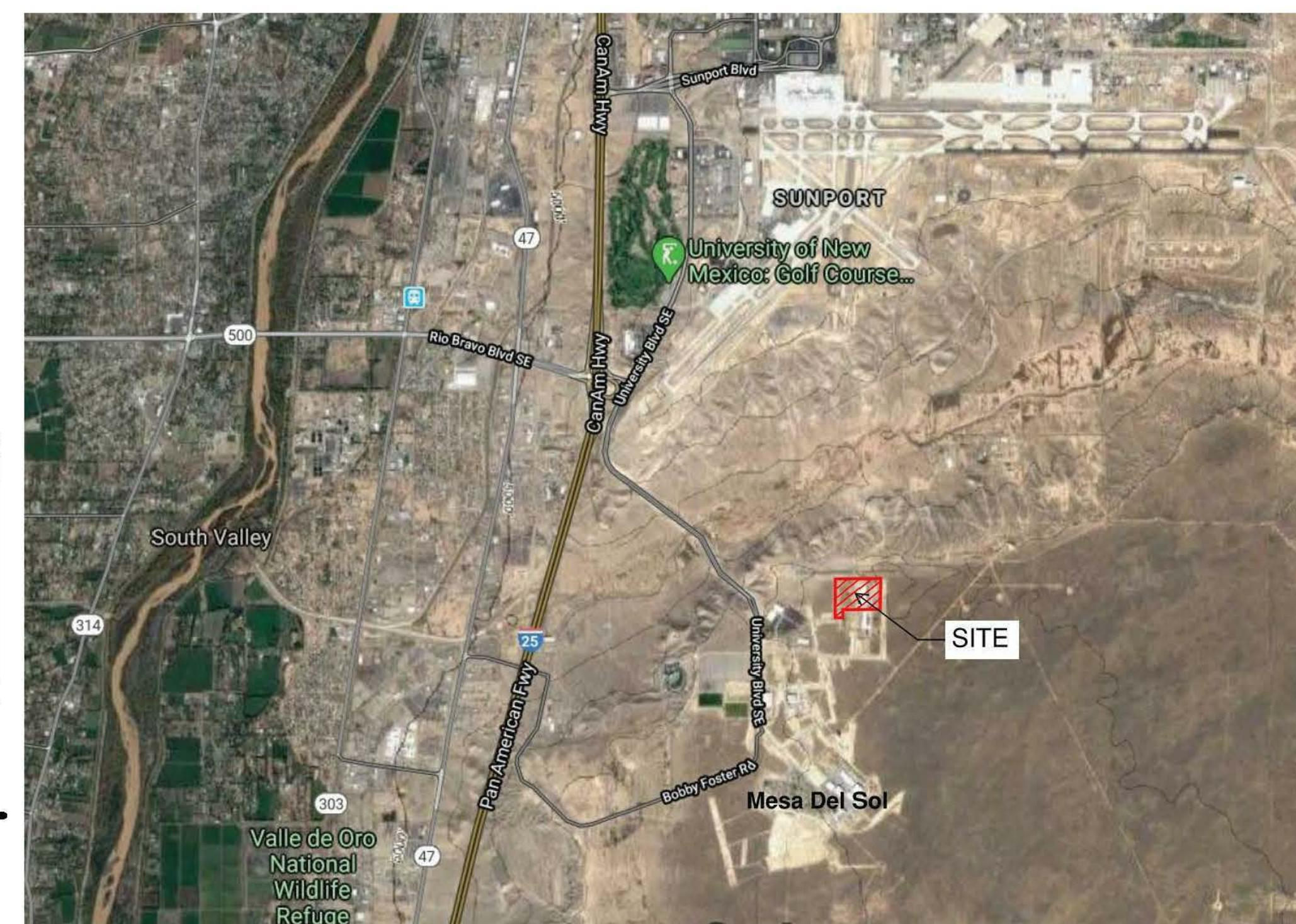
11/10/2020 5:47:01 PM

**PARKING REQUIREMENTS**

<b>Number of Parking Spaces Required</b>	<b>IDO TABLE 5-5</b>
Industrial Uses Special manufacturing	1 space / 1,000 sq. ft. Gross Floor Area
168,288 sq. ft. / 1,000sq. ft. = 168.3 spaces	
<b>Total spaces required = 169</b>	
<b>NMBC TABLE 1106.1 - NUMBER OF ACCESSIBLE PARKING SPACES</b>	
Total Parking Spaces: 101-300	Total Required Accessible Parking Spaces: 2
Number Required to be Van Accessible: 2	
<b>Motorcycle Parking Requirements</b>	<b>IDO TABLE 5-5</b>
Total Parking Spaces required by Table 5-5-1	No. of Motorcycle Spaces Required
151-300	5 spaces
<b>Number of Existing Parking Spaces Provided</b>	
193 Standard Spaces	
10 ADA Accessible Spaces (Van Accessible)	
12 H.O.V. Spaces	
12 Motorcycle Spaces	
<b>Total Parking Spaces Provided = 227 (Existing)</b>	



**D1 ENLARGED EXISTING PARKING PLAN**  
1" = 40'-0"



**VICINITY MAP/LOCATION MAP**  
NTS

**PROJECT DATA**

ADDRESS: 5201 HAWKING DRIVE SE  
 LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT:  
 TRACTS D-1 AND D-3 MESA DEL SOL INNOVATION PARK II  
 SECTION 15, TOWNSHIP 8 NORTH, RANGE 9 EAST, NMPM,  
 ALBUQUERQUE, NEW MEXICO  
 PHYSICAL ADDRESS OF SUBJECT SITE:  
 5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87105  
 SUBJECT SITE CROSS STREETS:  
 HAWKING DRIVE SE  
 OTHER SUBJECT SITE IDENTIFIERS:  
 MESA DEL SOL INNOVATION PARK  
 THIS SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE:  
 Q-16-Z

**KEYED NOTES**

- NEW 40' X 100' REINFORCED CONCRETE DRIVE PAD.
- NEW ASPHALT DRIVE.
- NEW 5' X 5' CONCRETE WALK PAD.
- NEW CONCRETE TRANSFORMER PAD.
- NEW BASE COURSE DRIVE PAD.
- FUTURE EXPANSION.
- EXISTING CONCRETE DRIVE.
- EXISTING ASPHALT DRIVE.
- EXISTING LOADING DOCK.
- EXISTING CMU & STUCCO SCREENING WALL WITH PRECAST CONCRETE CAP (COLOR DARK GRANGE) SEE BUILDING ELEVATIONS SHEET - 5 FOR HEIGHTS.
- EXISTING GENERATOR.
- EXISTING HVAC UNIT.
- EXISTING SERPENTINE BIKE RACK (9 BIKES).
- EXISTING STORM DRAINAGE POND.
- EXISTING WOOD STRUCTURE.
- EXISTING TRASH COMPACTOR.
- NEW SERPENTINE BIKE RACK (7 BIKES) LOCATED UNDER EXISTING CANOPY.

**LEGEND**

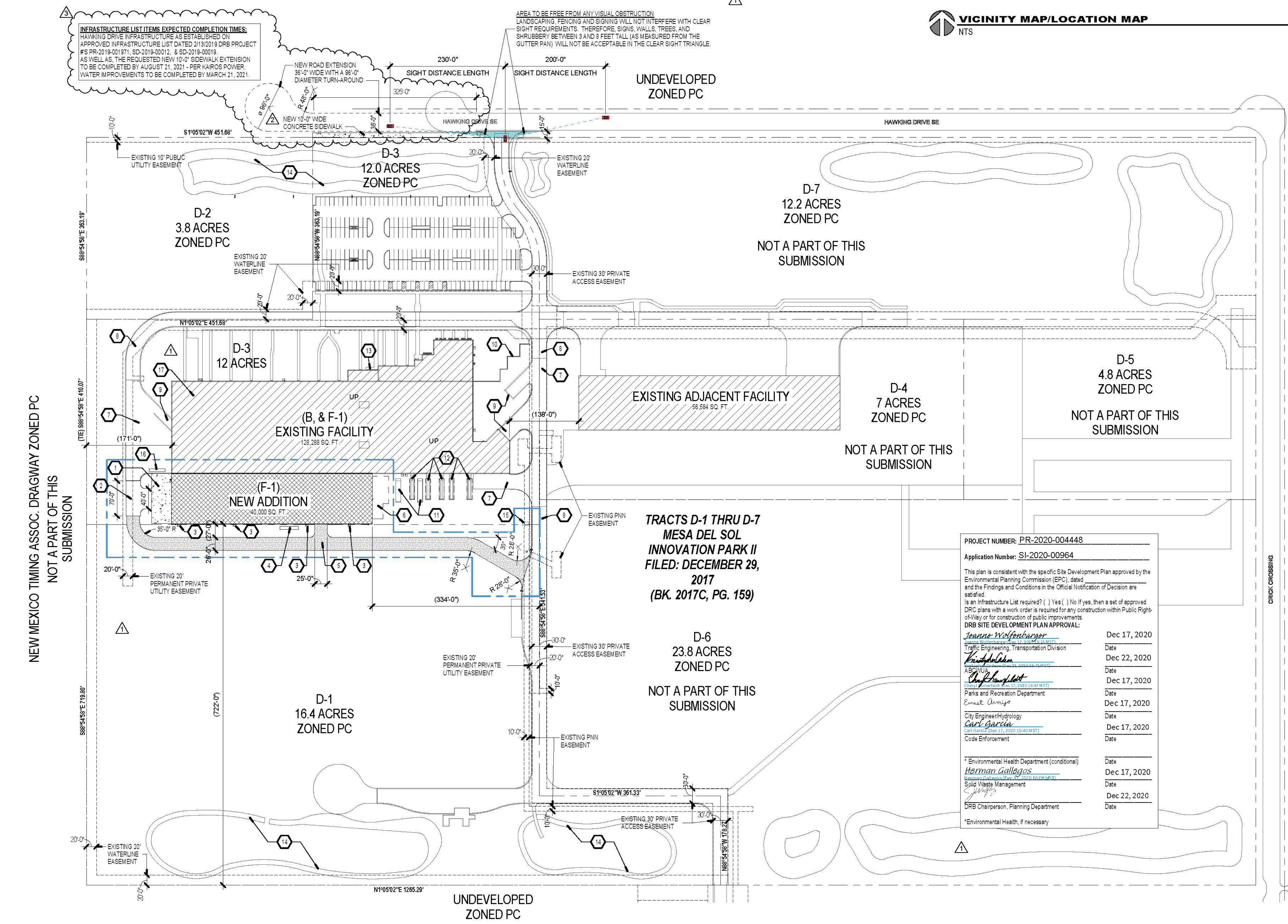
- EXISTING STRUCTURE
- NEW STRUCTURE
- NEW CONCRETE
- NEW ASPHALT PAVING
- BASE COURSE ACCESS ROAD
- PROPERTY LINE
- EASEMENT LINE
- LIMIT OF NEW WORK

**EXTERIOR LIGHTING**

ALL EXTERIOR LIGHTING SHALL BE BUILDING MOUNTED, FULL CUT-OFF TYPE FIXTURES AND DESIGNED TO MEET THE GUIDELINES AND PLAN REQUIREMENTS OF THE MESA DEL SOL EMPLOYMENT CENTER DESIGN STANDARDS SECTION 4: LIGHTING.

**EXTERIOR SIGNAGE:**

ALL EXTERIOR SIGNAGE SHALL BE DESIGNED TO MEET THE GUIDELINES AND PLAN REQUIREMENTS OF THE MESA DEL SOL EMPLOYMENT CENTER DESIGN STANDARDS SECTION 6: SIGNAGE.  
 NO ADDITIONAL SIGNAGE AT THIS TIME.



**A1 SITE PLAN**  
1" = 100'-0"

PROJECT NUMBER: PR-2020-004448  
 Application Number: SI-2020-00964

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction with Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>Josune Wolfenbarger</i>	Date	Dec 17, 2020
Traffic Engineering, Transportation Division	Date	Dec 22, 2020
<i>Andres Salazar</i>	Date	Dec 17, 2020
Public Works Director	Date	Dec 17, 2020
<i>Ernest Chavez</i>	Date	Dec 17, 2020
City Engineer/Hydrology	Date	Dec 17, 2020
<i>Carl Garcia</i>	Date	Dec 17, 2020
Code Enforcement	Date	Dec 22, 2020
<i>Herman Gallegos</i>	Date	Dec 17, 2020
Solid Waste Management	Date	Dec 22, 2020
<i>Samuel</i>	Date	Dec 22, 2020
DRB Chairperson, Planning Department	Date	

\*Environmental Health Department (conditional)  
 \*Environmental Health, if necessary

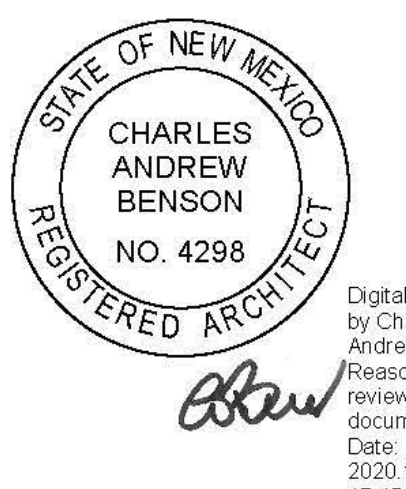


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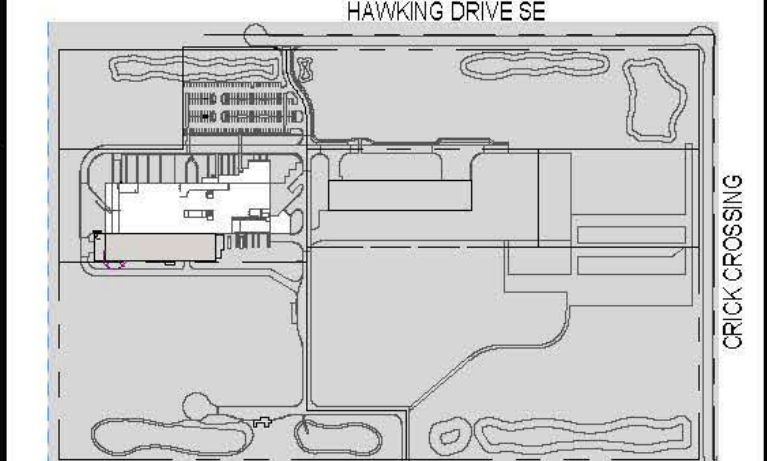
CONSULTANTS

Architect Engineer



**T-FACILITY MODIFICATIONS AND ADDITION**

5201 HAWKING DRIVE SE  
 ALBUQUERQUE, NM 87105



Key Plan  
 NTS

No	Date	Description
1	11/03/2020	CABQ COMMENTS
2	11/03/2020	CABQ COMMENTS
3	11/03/2020	CABQ COMMENTS

ISSUE: SHELL (ONLY) PERMIT  
 PROJECT NUMBER: 2018  
 FILE: Kairos Power - Arch\_Central  
 DRAWN BY: JMB  
 CHECKED BY: CAB  
 DATE: 09/30/2020

SHEET TITLE  
**SITE PLAN**

**AS-100**





**E1** EXISTING ENTRY LANDSCAPING  
N.T.S.



**A5** EXISTING LANDSCAPING  
N.T.S.



**B5** EXISTING FRONT LANDSCAPING  
N.T.S.



**C5** EXISTING LANDSCAPING  
N.T.S.

**PROJECT DATA**

ADDRESS:  
5201 HAWKING DRIVE SE  
LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT:  
TRACTS D-1 AND D-3 MESA DEL SOL, INNOVATION PARK II  
SECTION 15, TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM,  
ALBUQUERQUE, NEW MEXICO  
PHYSICAL ADDRESS OF SUBJECT SITE:  
5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87105  
SUBJECT SITE CROSS STREETS:  
HAWKING DRIVE SE  
OTHER SUBJECT SITE IDENTIFIERS:  
MESA DEL SOL, INNOVATION PARK  
THIS SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE:  
D-16-2

**KEYED NOTES**

- 1 EXISTING STORM DRAINAGE POND

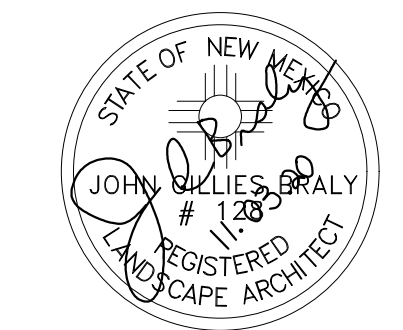


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**CONSULTANTS**

Role	Name
Architect	John G. Gally
Engineer	John G. Gally



**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION	QTY
(Green hatched)	EXISTING IRRIGATED NATIVE SEED	88,574 SF
(Yellow hatched)	PROPOSED UNIRRIGATED NATIVE SEED TEMPORARY IRRIGATION UNTIL ESTABLISHED	119,325 SF
(Red hatched)	EXISTING NATIVE AREA TO REMAIN	242,884 SF
(Grey hatched)	EXISTING ROCK MULCH	78,630 SF

**EXISTING PLANTS**

SYMBOL	QUANTITY	TYPE	COVERAGE (SF)	TOTAL COVERAGE (SF)
(Tree symbol)	10	EVERGREEN TREE	400	4000
(Tree symbol)	65	DECIDUOUS TREE	500	32,500
(Shrub symbol)	37	GROUND LEVEL PLANT - SHRUB	25	925
(Grass symbol)	152	GROUND LEVEL PLANT - ORNAMENTAL GRASS	9	1368
(Groundcover symbol)	127	GROUND LEVEL PLANT - GROUND COVER	25	3175
<b>TOTAL:</b>			<b>41,968</b>	

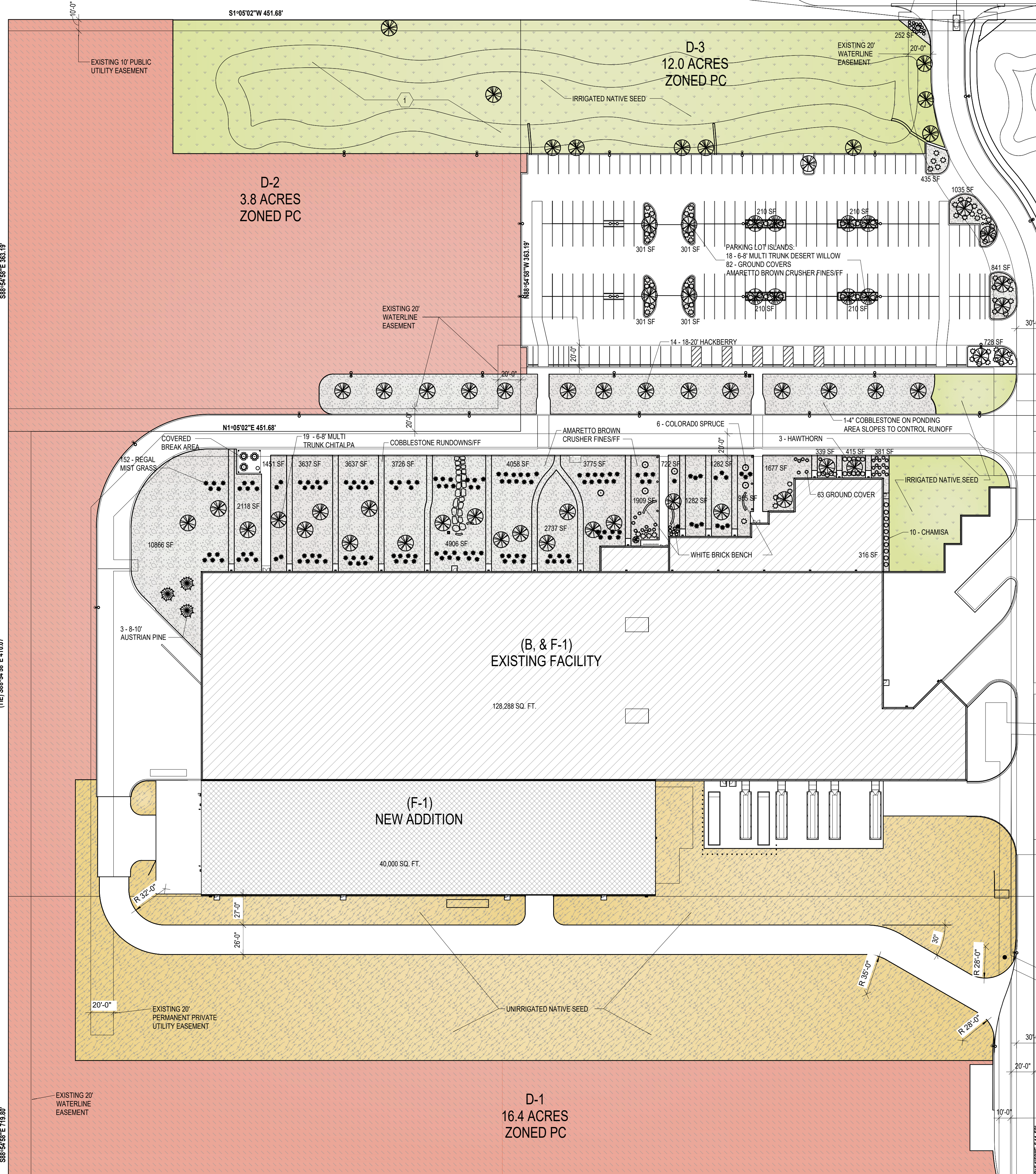
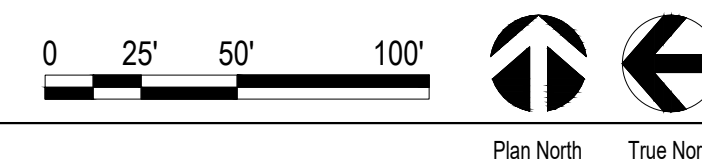
**LANDSCAPE DATA**

ADDRESS	SIZE (ACRES)	IDO UPC#	ZONING DESIGNATION
5201 HAWKING DRIVE SE	12.02	101605232916840206	PC - PLANNED COMMUNITY
"HAWKING DR SE"	3.77	101605236619840205	PC - PLANNED COMMUNITY
"HAWKING DR SE"	16.42	101605227017740201	PC - PLANNED COMMUNITY
GROSS AREA OF LOTS (AC)	32.20		
GROSS AREA OF LOTS (SF)	1402793		
LESS BUILDINGS (SF)	52288		
NET AREA OF LOTS (SF)	1,350,505		

**MINIMUM LANDSCAPE AREA - 15% OF NET LOT AREA\***

	PERCENT	REQUIRED	PROVIDED*
AREA (SF)	15%	202576	529423
TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)		151932	249,872
VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)		37983	213372
* UNLESS PARCEL IS LOCATED IN DT-UC-MS-PT AREAS, IN WHICH CASE MINIMUM IS 10% OF NET LOT AREA			
STREET TREES		REQUIRED	PROVIDED
STREET FRONTAGE (LF)		-	-
TREES (1 PER 25 LF)**		0	0
PARKING LOT SCREENING		REQUIRED	PROVIDED
AT FRONT LOT LINE (CONTINUOUS 3' HT SHRUBS)		-	34
PARKING LOT INTERIOR		REQUIRED	PROVIDED
PARKING STALLS		-	221
PARKING LOT AREA (SF)		-	72645
LANDSCAPED AREA (15% OF TOTAL)		10897	4871
TREES (1 PER 10 PARKING SPACES)		22	24
<b>TOTALS:</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
TREES		22	75
SHRUBS			316

\*\* PER IDO 5-6(D)(1)(e) TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.

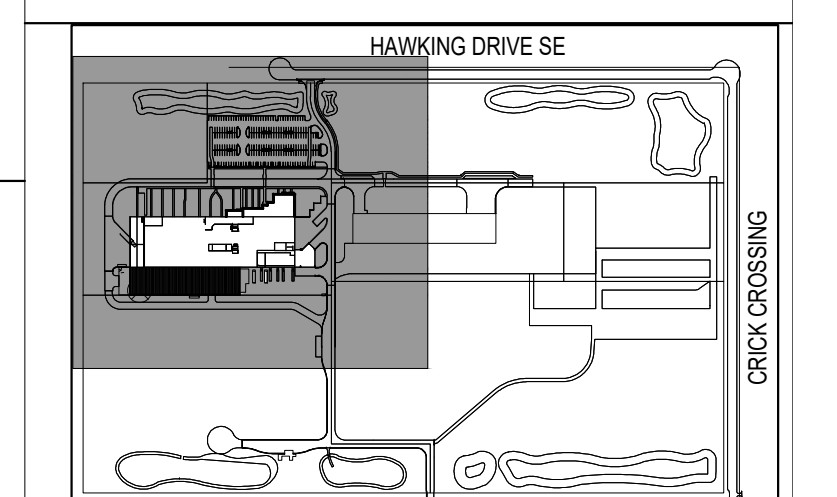


**A1** LANDSCAPE PLAN  
1" = 50'-0"



**T-FACILITY MODIFICATIONS AND ADDITION**

5201 HAWKING DRIVE SE  
ALBUQUERQUE, NM 87105



**Key Plan**  
N.T.S.

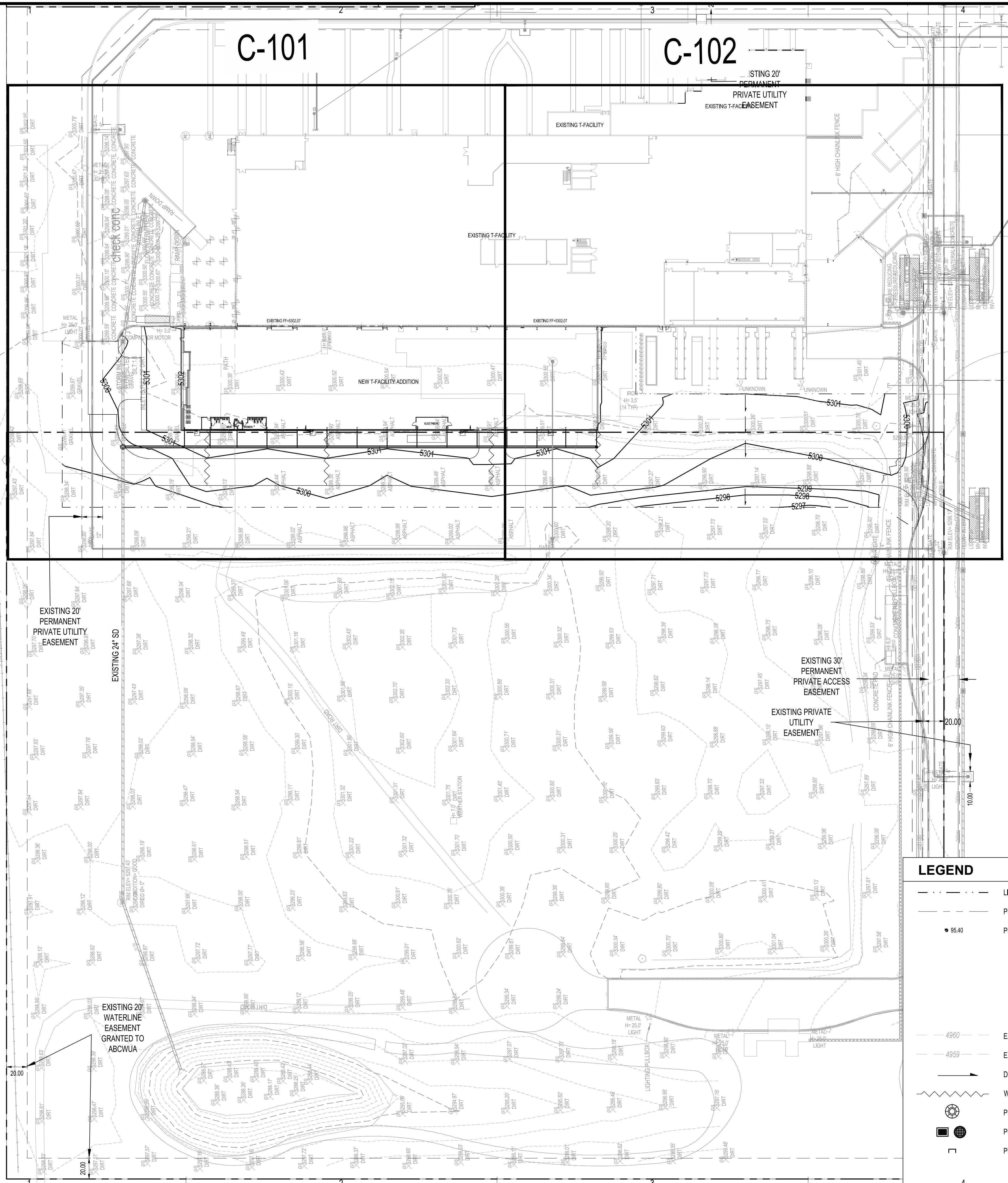
No	Date	Description
Revision Schedule		

ISSUE:	SHELL (ONLY) PERMIT
PROJECT NUMBER:	2018
FILE:	Kairos Power - Arch_Central
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	09/30/2020

**SHEET TITLE**  
**LANDSCAPING PLAN**

**LS-101**





### GRADING NOTES

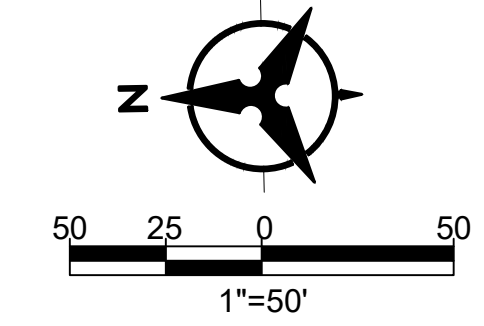
- A. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- B. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST, AND INCLUDED IN THE GMP.
- C. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- D. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- E. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- F. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE INSPECTOR. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- G. PAVING AND ROADWAY GRADES SHALL BE +0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +0.05' FROM BUILDING PLAN ELEVATION.
- H. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- I. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- J. THE CONTRACTOR SHALL PROVIDE AS-BUILTS SURVEY DATA TO ENSURE COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SURVEY SHALL BE PERFORMED BY A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF ARIZONA. THE AS-BUILT DRAWING SHALL BE CERTIFIED BY THE SURVEYOR OF RECORD.

### GENERAL NOTES

- A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS SHALL APPLY.
- B. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- C. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- D. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- E. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- F. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- G. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- H. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- I. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- J. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- K. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE BERNALILLO COUNTY, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- L. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- M. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- N. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- O. THE CONTRACTOR SHALL PROVIDE 1 HARD COPY AND 1 ELECTRONIC COPY OF THE EPA STORM WATER POLLUTION PREVENTION PLAN ALONG WITH THE APPROPRIATE SUBMITTAL FEE TO CITY OF ALBUQUERQUE TWO WEEKS PRIOR TO THE START OF SITE DISTURBANCE.

### LEGEND

- - - - - LIMITS OF GRADING
- — — — — PROPERTY LINE
- 95.40 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB
- FL=FLOW LINE
- TOC=TOP OF CONCRETE
- TS=TOP OF SIDEWALK
- TG=TOP OF GRATE
- FG=FINISHED GRADE
- FGH=FINISHED GRADE HIGH
- FGL=FINISHED GRADE LOW
- INV=INVERT
- - - - - 4960 EXISTING INDEX CONTOUR
- - - - - 4959 EXISTING INTERMEDIATE CONTOUR
- DIRECTION OF FLOW
- ~ WATER BLOCK/GRADE BREAK
- ⊙ PROPOSED STORM DRAIN MANHOLE
- ⊞ PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP



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### CONSULTANTS

Architect	Engineer
-----------	----------



**Kairos Power**  
**T-FACILITY MODIFICATIONS AND ADDITION**

5201 HAWKING DRIVE SE  
ALBUQUERQUE, NM 87105

### Key Plan

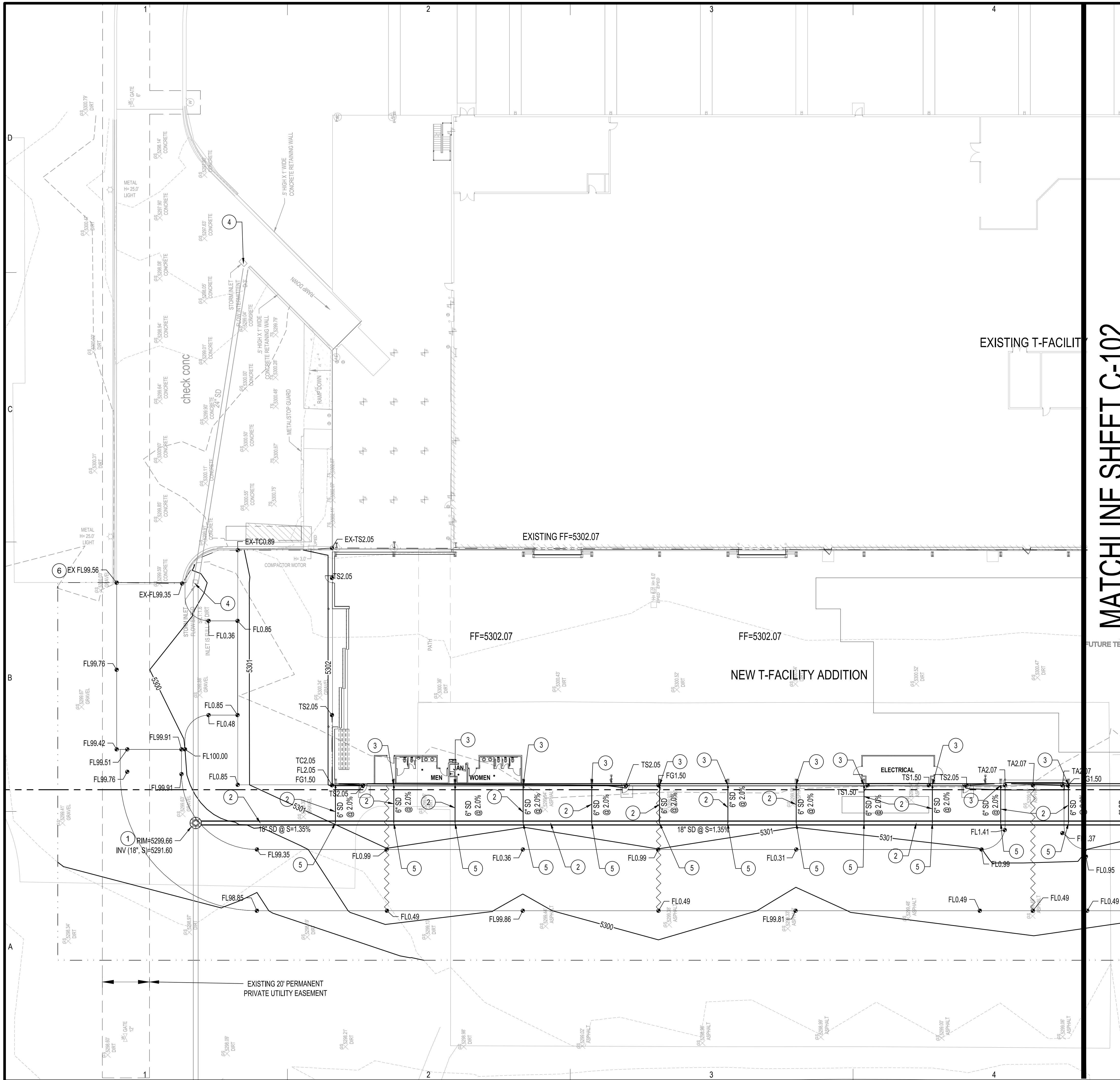
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No	Date	Description
Revision Schedule		
ISSUE:	DRB SUBMITTAL/FOUNDATION	
PROJECT NUMBER:	2018	
FILE:		
DRAWN BY:	BF	
CHECKED BY:	MS	
DATE:	09/09/2020	

### SHEET TITLE

**OVERALL GRADING PLAN**

**C-100**

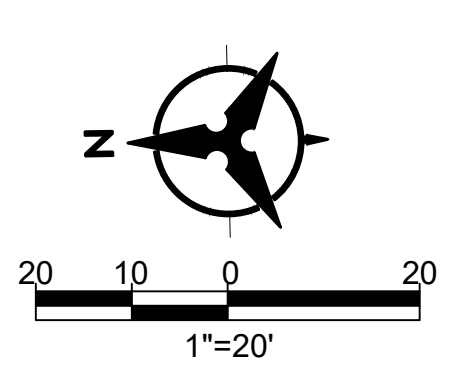




MATCHLINE SHEET C-102

- ### GRADING KEYED NOTES
- CONNECT TO EXISTING STORM DRAIN. CONSTRUCT 4" DIA TYPE "E" STORM DRAIN MANHOLE PER NMAPWA STD DWG 2102.
  - INSTALL HDPE (N12WT, OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
  - INSTALL STORM DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. INVERT OF ROOF DRAIN TO BE 3' BELOW FINISHED FLOOR MINIMUM.
  - EXISTING INLET TO REMAIN.
  - INSTALL PREFABRICATED STORM DRAIN FITTING. SEE PLAN FOR SIZE.
  - MATCH EXISTING ELEVATION.

- ### LEGEND
- LIMITS OF GRADING
  - - - PROPERTY LINE
  - 95.40 PROPOSED SPOT ELEVATION
  - TC=TOP OF CURB
  - FL=FLOW LINE
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  - ⊙ PROPOSED STORM DRAIN INLETS
  - PROPOSED STORM DRAIN CAP



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**STUDIO SW ARCHITECTS**  
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CONSULTANTS

Architect: \_\_\_\_\_ Engineer: \_\_\_\_\_

**MATTHEW H. SATCHEL**  
24572  
REGISTERED PROFESSIONAL ENGINEER

**Kairos Power**  
T-FACILITY MODIFICATIONS AND ADDITION

5201 HAWKING DRIVE SE  
ALBUQUERQUE, NM 87105

Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DRB SUBMITTAL/FOUNDATION	
PROJECT NUMBER:	2018	
FILE:		
DRAWN BY:	BF	
CHECKED BY:	MS	
DATE:	09/09/2020	

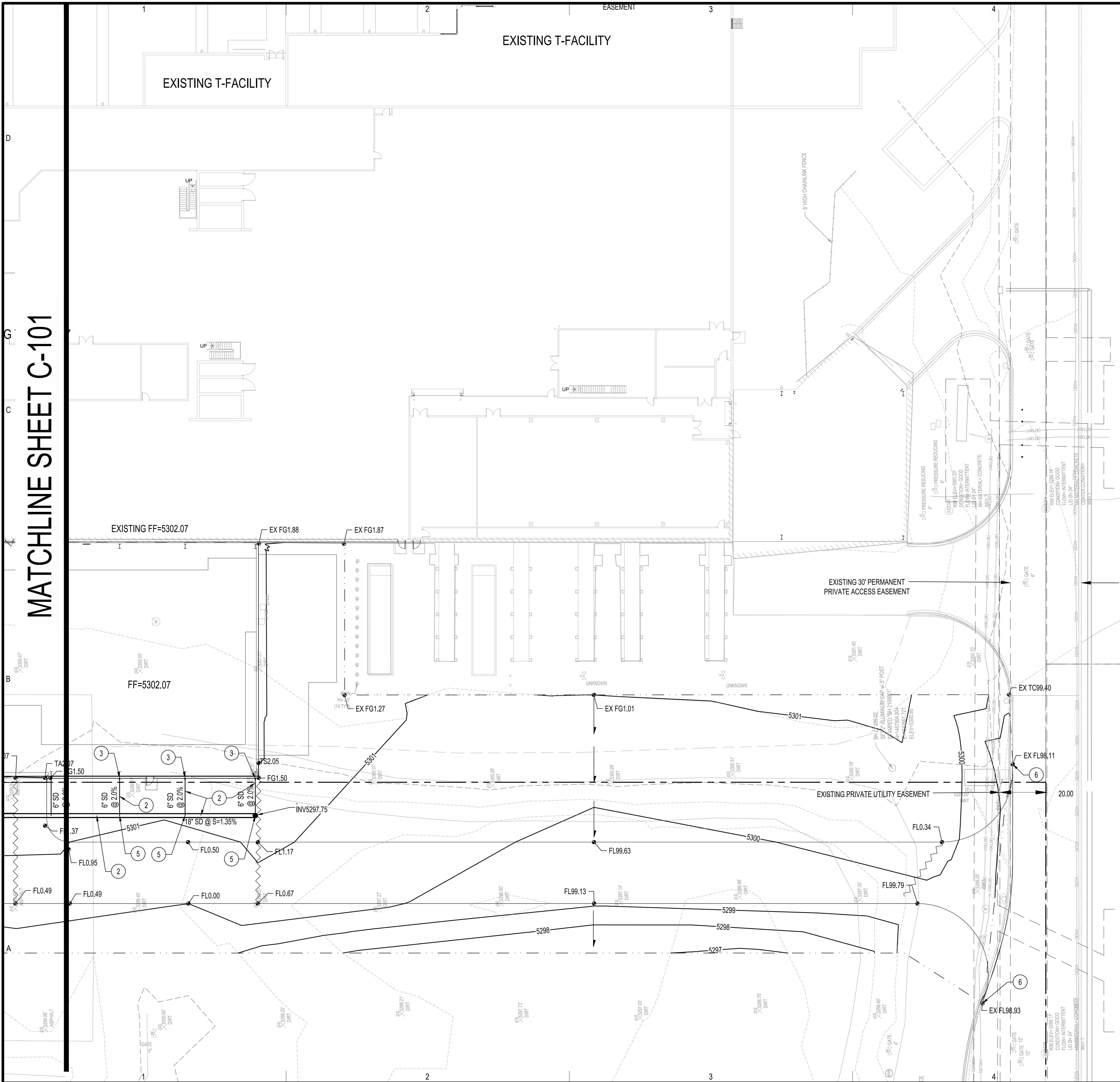
SHEET TITLE

**GRADING PLAN**

**C-101**



# MATCHLINE SHEET C-101

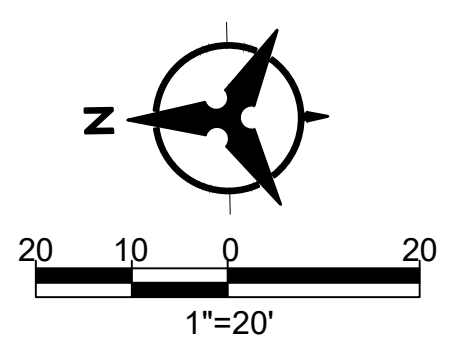


### GRADING KEYED NOTES

- CONNECT TO EXISTING STORM DRAIN. CONSTRUCT 4' DIA TYPE "E" STORM DRAIN MANHOLE PER MMAPWA STD DWG 2102.
- INSTALL HDPE (N12WT, OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
- INSTALL STORM DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. INVERT OF ROOF DRAIN TO BE 3' BELOW FINISHED FLOOR MINIMUM.
- EXISTING INLET TO REMAIN.
- INSTALL PREFABRICATED STORM DRAIN FITTING. SEE PLAN FOR SIZE.
- MATCH EXISTING ELEVATION.

### LEGEND

- LIMITS OF GRADING
- PROPERTY LINE
- 95.40 PROPOSED SPOT ELEVATION
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- 4960 EXISTING INDEX CONTOUR
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CONSULTANTS

Architect Engineer



**Kairos Power**  
T-FACILITY MODIFICATIONS AND ADDITION

5201 HAWKING DRIVE SE  
ALBUQUERQUE, NM 87105

Key Plan  
NTS

No	Date	Description
Revision Schedule		
ISSUE:	DRB SUBMITTAL/FOUNDATION	
PROJECT NUMBER:	2018	
FILE:		
DRAWN BY:	BF	
CHECKED BY:	MS	
DATE:	09/09/2020	

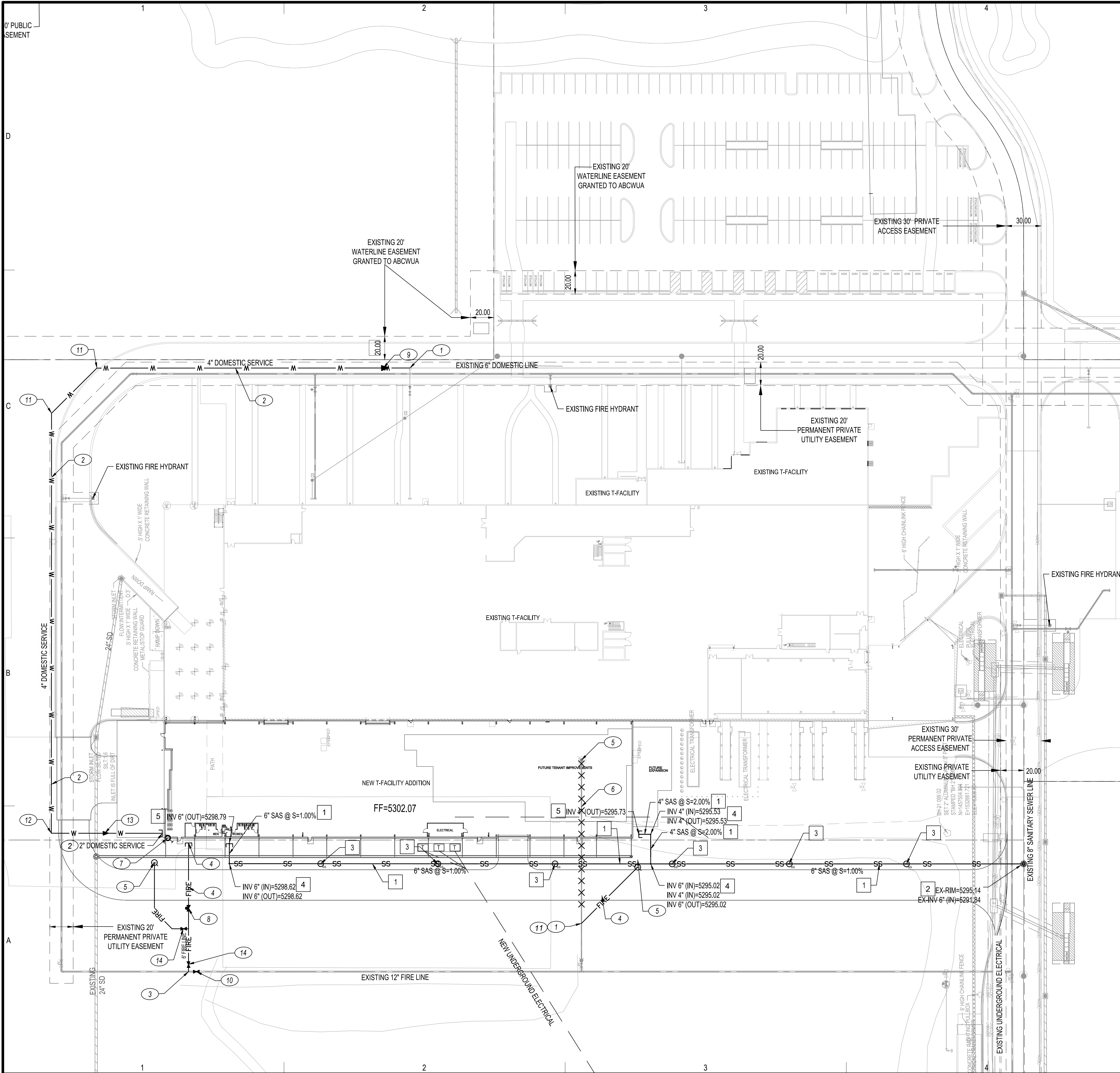
SHEET TITLE  
**GRADING PLAN**

# C-102



7/20/2020 11:54:01 AM

\\swws2\projects\0000 Misc\20XX Kairos Power\10-Drawings\BIM\Kairos Power - Arch\_Central.rvt



**WATERLINE KEYED NOTES**

- CONNECT TO EXISTING 6" DOMESTIC SERVICE. INSTALL 1-8"x6" TEE W/ RESTRAINED JOINTS AS NECESSARY. REMOVE AND DISPOSE OF EXISTING ELBOW.
  - INSTALL NEW DOMESTIC SERVICE. SEE PLAN FOR SIZE.
  - CONNECT TO EXISTING 12" FIRE LOOP. INSTALL 1-12"x6" TEE W/ RESTRAINED JOINTS AS NECESSARY.
  - INSTALL NEW 6" FIRE PROTECTION LINE.
  - INSTALL FIRE HYDRANT PER COA STD DWG 2340.
  - REMOVE AND DISPOSE OF EXISTING FIRE HYDRANT LINE AND ASSOCIATED FIRE HYDRANT.
  - WALL MOUNTED FDC.
  - INSTALL POST INDICATOR VALVE.
  - INSTALL 1-6"x4" REDUCER W/ RESTRAINED JOINTS AS NECESSARY.
  - INSTALL 1-12" GATE VALVE PER COA STD DWG 2326.
  - INSTALL 45" W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
  - INSTALL 90" W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
  - INSTALL 1-4"x2" REDUCER W/ RESTRAINED JOINTS AS NECESSARY.
  - INSTALL 1-6" GATE VALVE PER COA STD DWG 2326.
- NOTE: DOMESTIC SERVICE FOR KAIROS POWER WILL CONNECT TO EXISTING DOMESTIC SERVICE EAST OF THE FORMER SCHOTT SOLAR BUILDING. THIS EXISTING SERVICE IS CONNECTED TO AN EXISTING 4" METER LOCATED AT CRICK CROSSING.

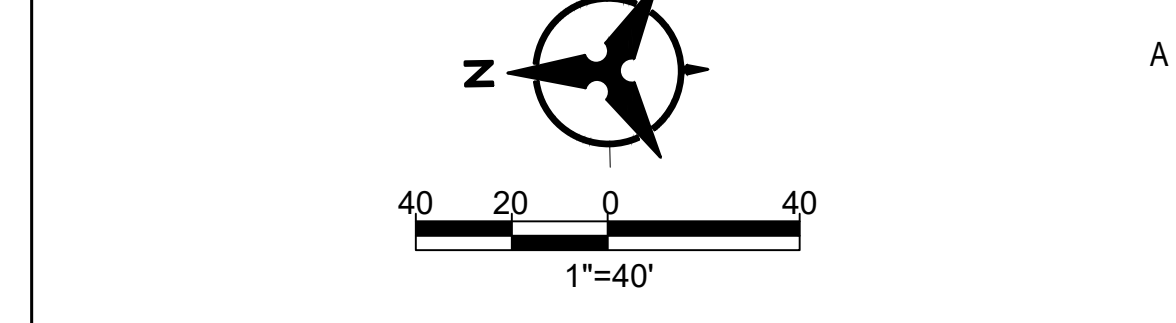
**SANITARY SEWER KEYED NOTES**

- INSTALL NEW SANITARY SEWER SERVICE. SEE PLAN FOR SIZE AND SLOPE.
- CONNECT TO EXISTING SANITARY SEWER PER COA STD 2118.
- INSTALL SANITARY SEWER CLEANOUT.
- INSTALL WATERTIGHT PRE-FABRICATED SANITARY SEWER FITTING.
- INSTALL SANITARY SEWER TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.

**LEGEND**

- EASEMENTS
- PROPERTY LINE
- W(EOBD) EXISTING WATER LINE
- SS(EOBD) EXISTING SANITARY SEWER LINE
- W — W — PROPOSED WATER LINE
- SS — PROPOSED SANITARY SEWER LINE
- FIRE — PROPOSED FIRE LINE
- ⊕ PROPOSED VALVE
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED POST INDICATOR VALVE
- ⊕ EXISTING VALVE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ PROPOSED SANITARY SEWER MANHOLE
- ⊕ EXISTING SANITARY SEWER MANHOLE
- ⊕ PROPOSED SANITARY SEWER CLEANOUT
- ⊕ PROPOSED SANITARY SEWER CAP
- ⊕ EXISTING UTILITY TO BE REMOVED

No	Date	Description
Revision Schedule		
ISSUE:		DRB SUBMITTAL/FOUNDATION
PROJECT NUMBER:		2018
FILE:		
DRAWN BY:		BF
CHECKED BY:		MS
DATE:		09/09/2020



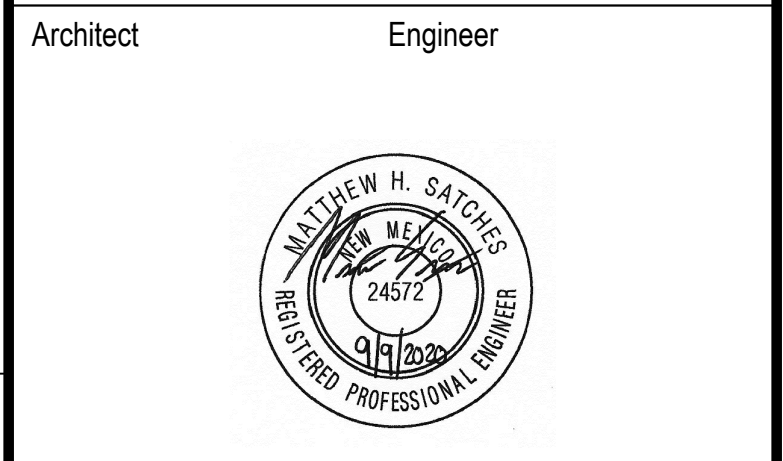
**Bohannon & Huston**  
www.bhinc.com 800.877.5332

**STUDIO SW ARCHITECTS**  
2101 Mountain Road NW Suite B | Albuquerque NM 87104  
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**CONSULTANTS**

Architect: **Matthew H. Satchel**  
Engineer: **Matthew H. Satchel**



**NOT FOR CONSTRUCTION**

**Kairos Power**  
**T-FACILITY MODIFICATIONS AND ADDITION**  
5201 HAWKING DRIVE SE  
ALBUQUERQUE, NM 87105

**Key Plan**  
NTS

**UTILITY PLAN**

**C-200**



10/28/2020 4:30:09 PM

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CONSULTANTS

Architect Engineer

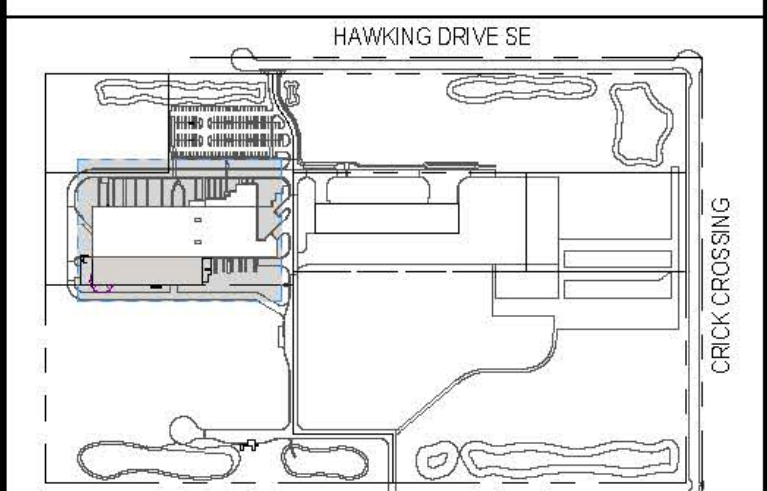


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Reason: I have reviewed this document  
Date: 2020.11.02 18:30:42-0700



**T-FACILITY MODIFICATIONS AND ADDITION**

5201 HAWKING DRIVE SE  
ALBUQUERQUE, NM 87105



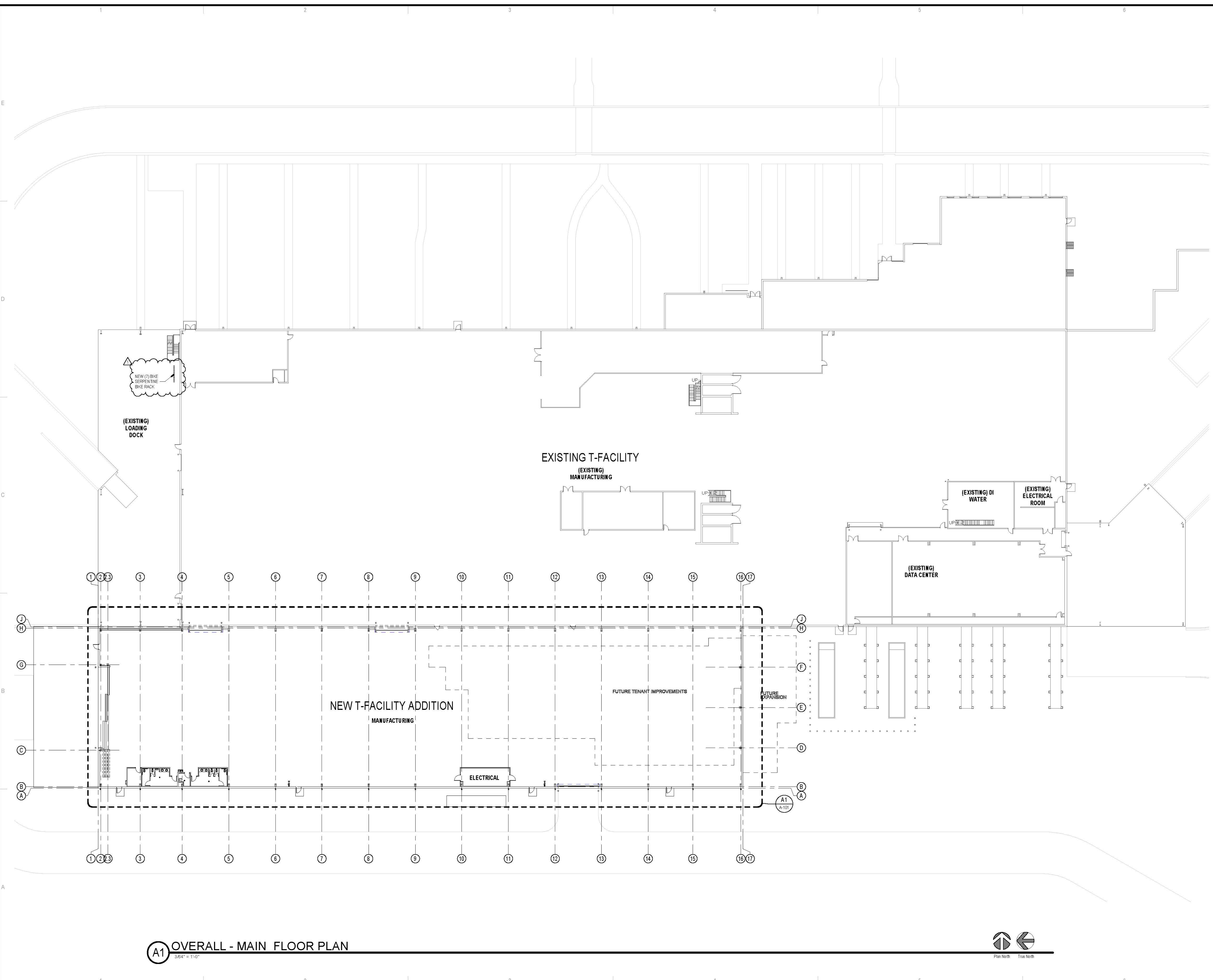
Key Plan  
NTS

No	Date	DESCRIPTION
Revision Schedule		

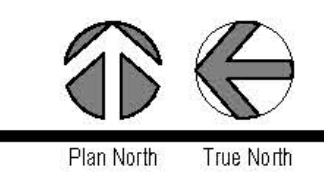
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 PROJECT NUMBER: 2018  
 FILE: Kairos Power - Arch\_Central  
 DRAWN BY: JMB  
 CHECKED BY: CAB  
 DATE: 09/30/2020

SHEET TITLE  
**OVERALL - MAIN FLOOR PLAN**

**A-100**



**A1** OVERALL - MAIN FLOOR PLAN  
3/64" = 1'-0"



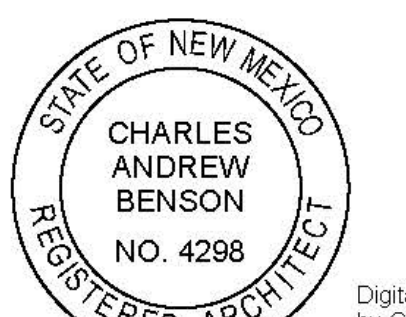


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Architect Engineer



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**T-FACILITY MODIFICATIONS AND ADDITION**

5201 HAWKING DRIVE SE  
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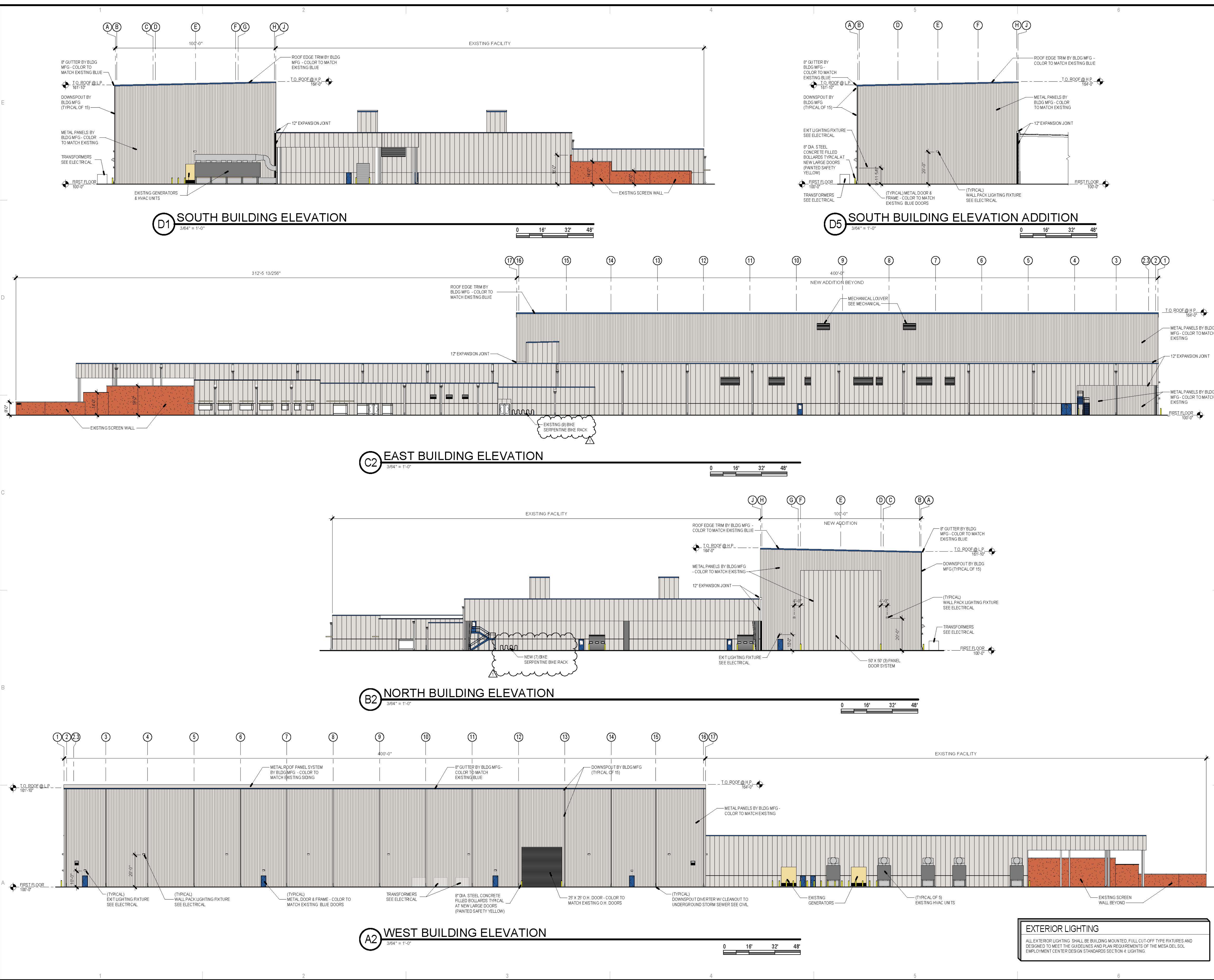
Key Plan

INTS

No	Date	DESCRIPTION
Revision Schedule		

ISSUE:	SHELL (ONLY) PERMIT
PROJECT NUMBER:	2018
FILE:	Kairos Power - Arch_Central
DRAWN BY:	JMB
CHECKED BY:	CAB
DATE:	09/30/2020

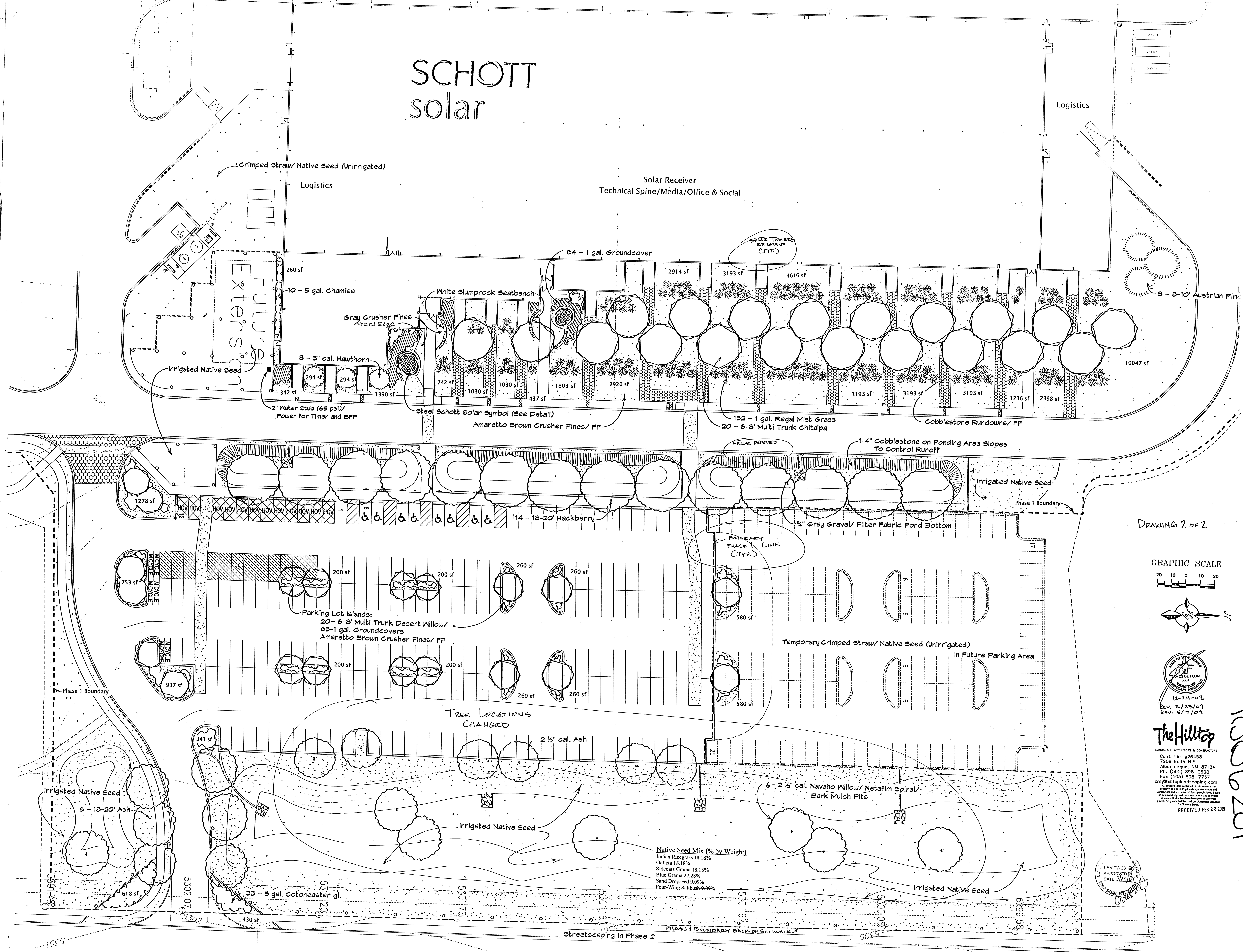
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**EXTERIOR ELEVATIONS**



**EXTERIOR LIGHTING**  
 ALL EXTERIOR LIGHTING SHALL BE BUILDING MOUNTED, FULL CUT-OFF TYPE FIXTURES AND DESIGNED TO MEET THE GUIDELINES AND PLAN REQUIREMENTS OF THE MESA DEL SOL EMPLOYMENT CENTER DESIGN STANDARDS SECTION 4. LIGHTING



# SCHOTT solar



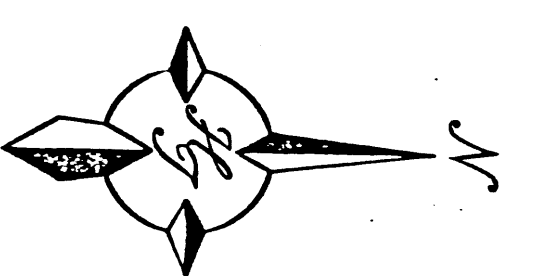
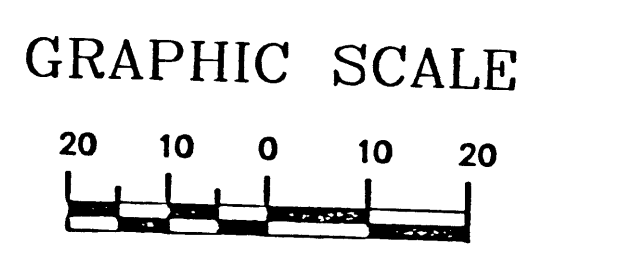
Logistics

Solar Receiver  
Technical Spine/Media/Office & Social

Future Extension

3 - 8-10' Austrian Pine

DRAWING 2 OF 2



12-24-08  
REV. 2/23/09  
REV. 5/7/09

**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith W.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

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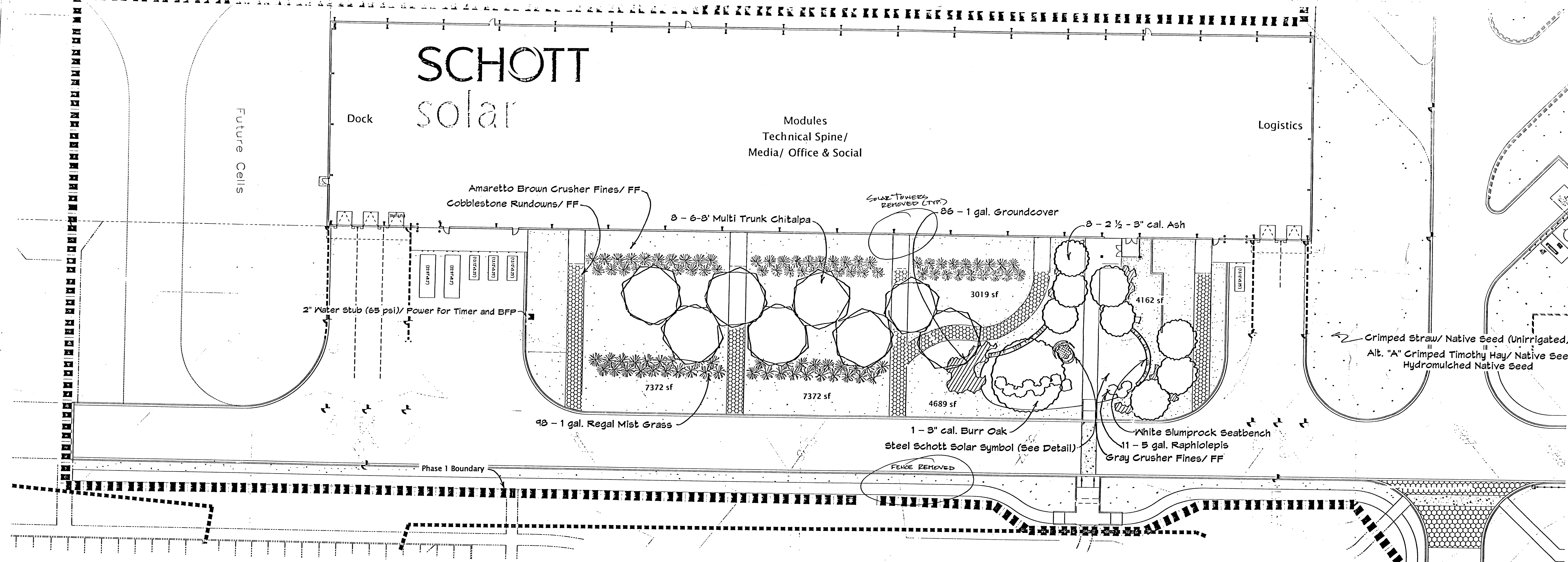
1006201

- Native Seed Mix (% by Weight)**
- Indian Ricegrass 18.18%
  - Galletta 18.18%
  - Sideoats Grama 18.18%
  - Blue Grama 27.28%
  - Sand Dropseed 9.09%
  - Four-Wing Saltbush 9.09%

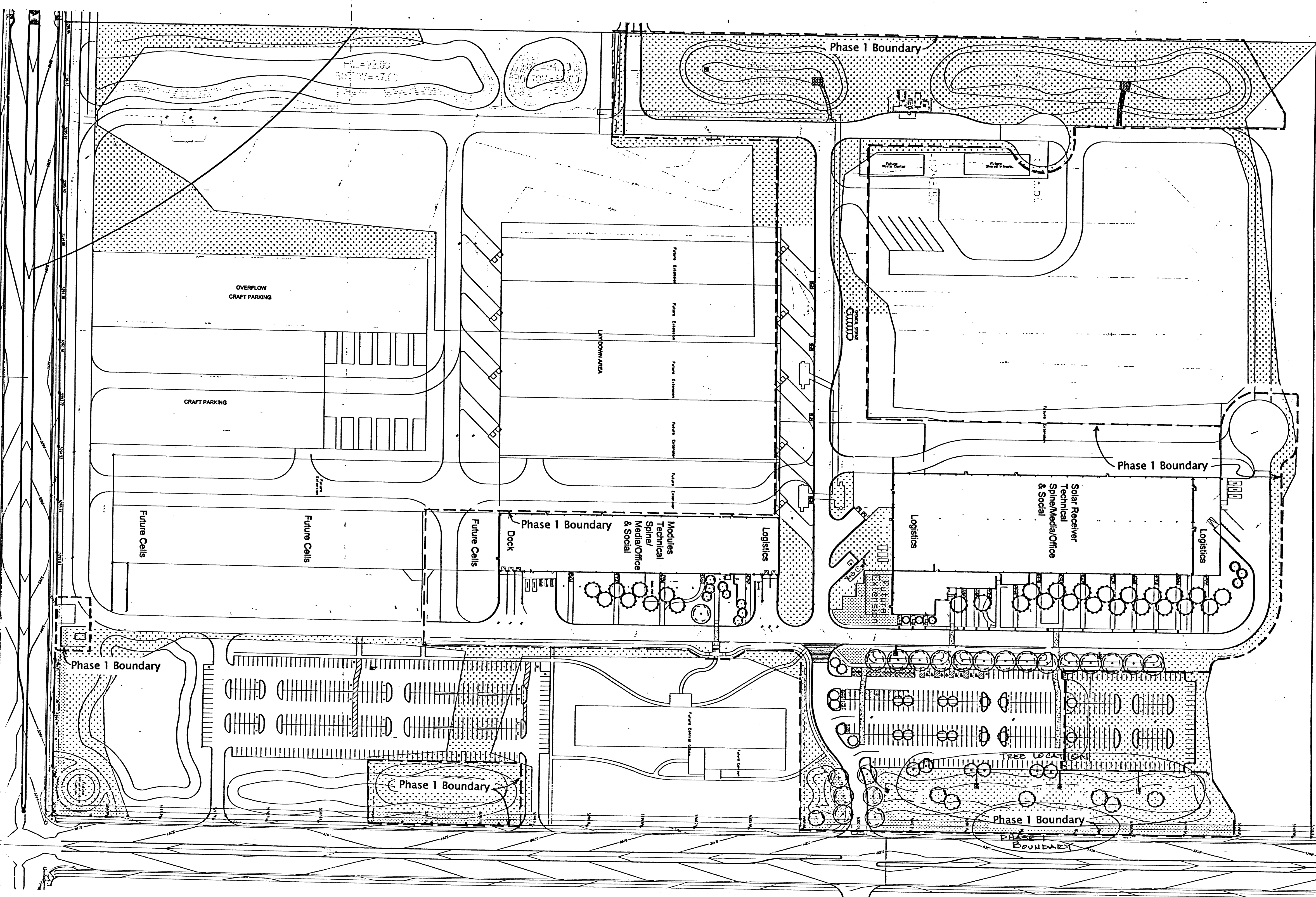
REVIEWED & APPROVED  
DATE 2/23/09

Streetscaping in Phase 2



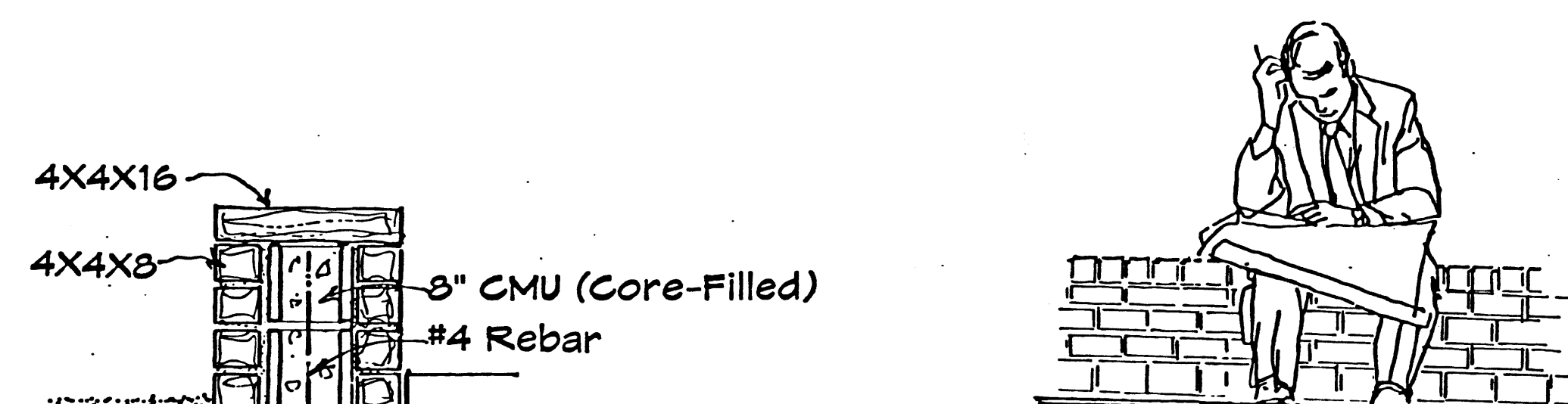


Scale: 1" = 20'

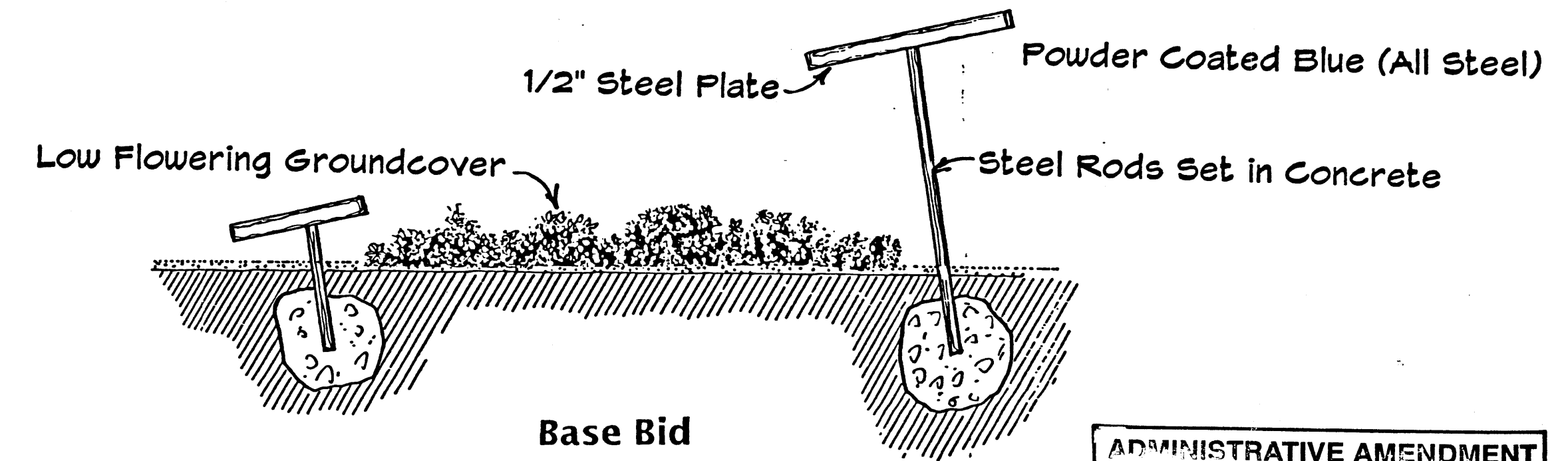


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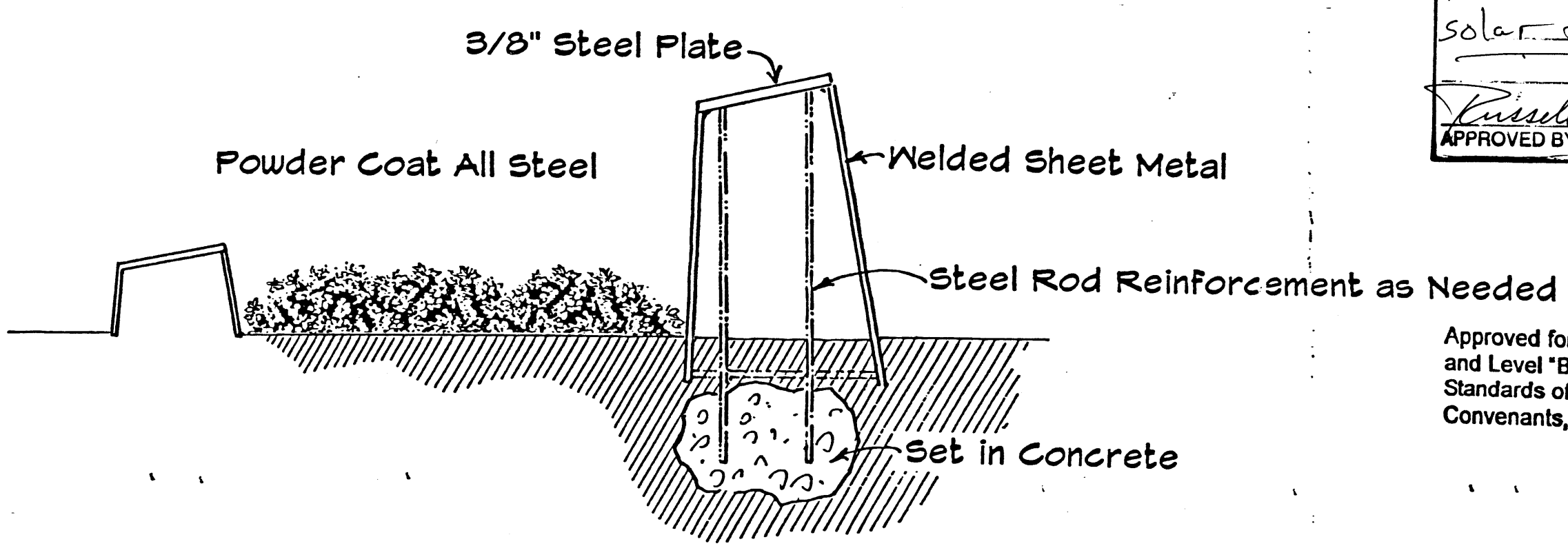
Site Plan



White Slumprock Masonry Seatbench Detail (NTS)



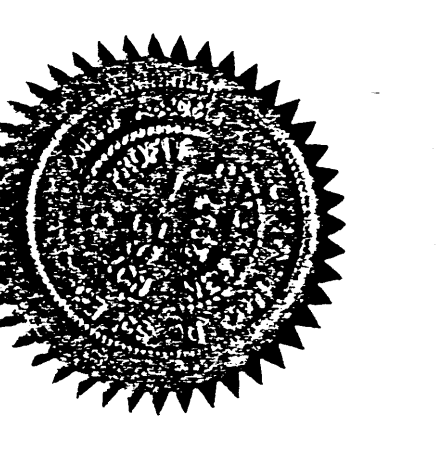
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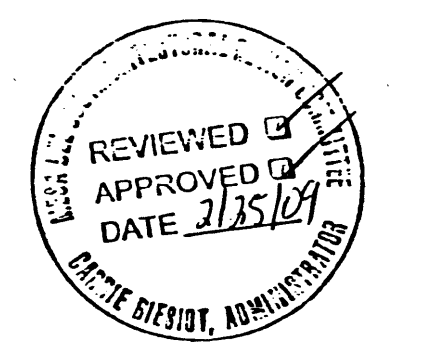
Alternate Upgrade

Section: Schott Solar Symbol (NTS)

ADMINISTRATIVE AMENDMENT  
 For CMAA/CDM/Project 1006201  
 Revised landscaping and solar tower removed  
*Carrie Bisio*  
 APPROVED BY



Approved for compliance with PC Zoning Level "A" and Level "B" Plans and compliance with the Design Standards of the Mesa del Sol Employment Center Conventions, Conditions & Restrictions.  
 Architectural Review Committee  
 Mesa del Sol Employment Center  
 By *Carrie Bisio*  
 Carrie Bisio, Administrator



**The Hilltop**  
 LANDSCAPE ARCHITECTS & CONTRACTORS

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 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 cmj@hilltoplandscaping.com  
 All work was prepared under the  
 supervision of the Licensed Landscape Architect and  
 Contractor and is provided to support back sheet  
 work and is not to be used for any other project  
 unless specifically stated on the drawing.  
 12-24-08

12-24-08  
 Rev. 2/13/09  
 Rev. 5/1/09













# PR-2020-004448\_SI-2020-00964\_Site\_Plan\_Amendment\_Approved\_12-16-20 Sheet 1

Final Audit Report

2020-12-22

Created:	2020-12-17
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAF9_V655Y6uUSRXaEGDgVDXWTgrXUnbT7

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