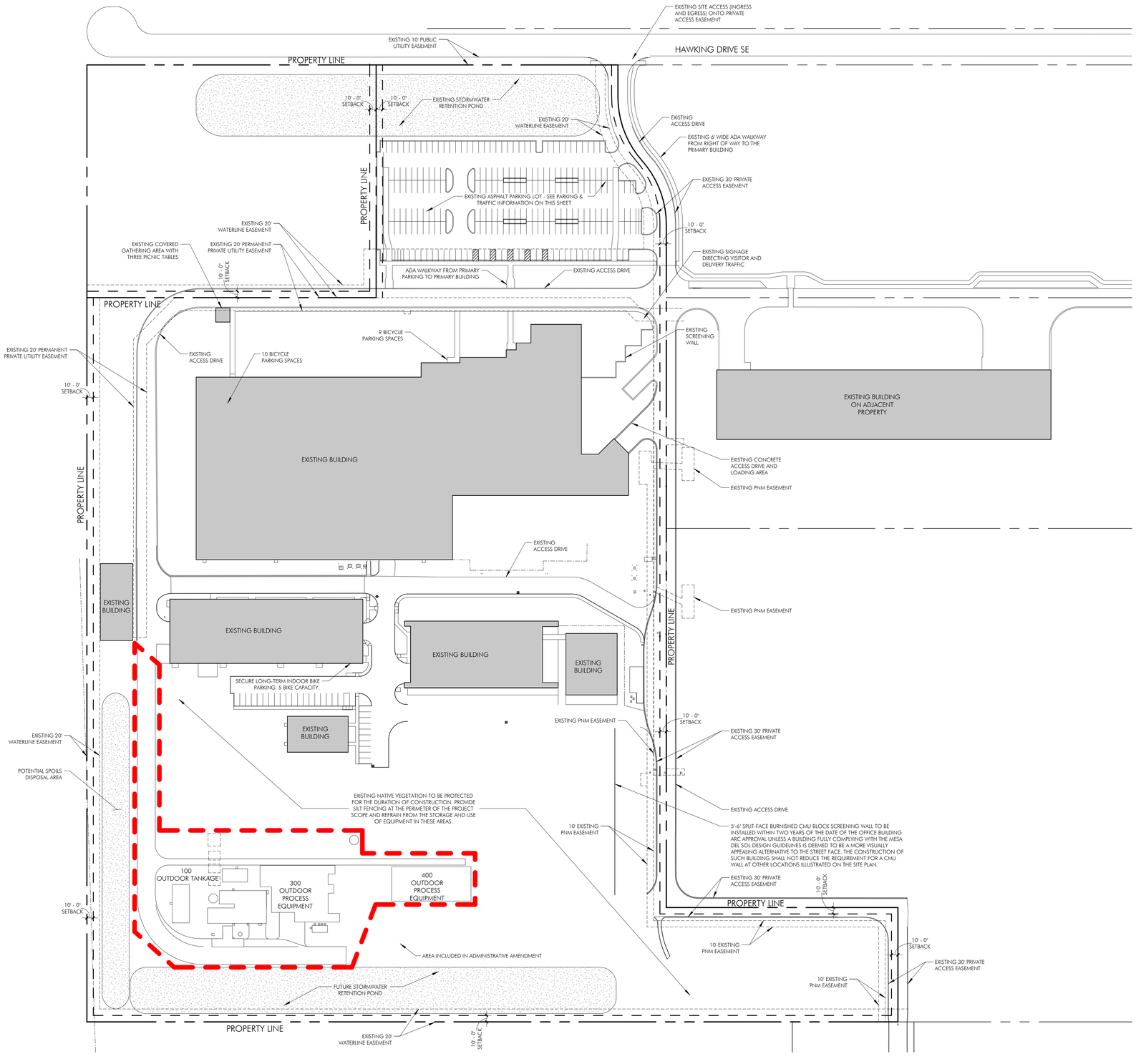


A1 SITE PLAN-ADMIN AMENDMENT

1" = 80'-0"

PROJECT INFORMATION

ADDRESS:	5201 HAWKING DRIVE SE ALBUQUERQUE, NM 87106
ZONING:	PC
UPC:	101605232916640206 & 101605227017740201
OVERLAY:	AIRPORT PROTECTION OVERLAY (APO)
PREVIOUS LAND USE ACTIONS:	PR-2020-004448, SI-2020-00964
PROPOSED OCCUPANCY:	LIGHT MANUFACTURING (F)
LOT SIZE:	1,238,746.212 SF (28.4377 ACRES)
PREVIOUSLY APPROVED BUILDING AREA:	231,452 SF
NEW COVERED AREA:	0 SF
NEW CONCRETE EQUIPMENT SLABS*:	22,820 SF*
FAR:	AS PREVIOUSLY APPROVED: 0.187 PROPOSED: 0.21

* WILL REMAIN AS UNCOVERED AREA

GENERAL NOTES - SITE

1. ALL PROPOSED CONSTRUCTION IS UNCOVERED CONCRETE PADS FOR MOUNTED EQUIPMENT AND STORAGE. NO COVERED STRUCTURES WILL BE ERECTED ON PADS.
2. PROJECT DOES NOT REQUIRE ADDITIONAL LANDSCAPING.
3. CONSTRUCTION WILL NOT REDUCE ANY PREVIOUSLY APPROVED LANDSCAPING.
4. EXISTING NATIVE VEGETATION TO BE PROTECTED FOR THE DURATION OF CONSTRUCTION. PROVIDE SILT FENCING AT THE PERIMETER OF THE PROJECT SCOPE AND REFRAIN FROM THE STORAGE AND USE OF EQUIPMENT IN THESE AREAS.
5. PER THE IDO, PROPOSED ADDITIONAL AREAS ARE CONSIDERED OUTDOOR STORAGE/WAREHOUSING AND DO NOT REQUIRE PARKING.

PARKING CALCULATIONS

REQUIRED PARKING CALCULATIONS — IDO SECTION 14-16-5-5(C)

Primary Use	Parking Requirement	Area	Required Spaces
LIGHT MANUFACTURING	1 SPACE / 1000 SF	220,188 SF	220 SPACES
OFFICE	3.5 SPACES / 1000 SF	5,264 SF	18 SPACES
TOTAL SPACES REQUIRED			238 SPACES
TOTAL SPACES PROVIDED			245 SPACES

ADA SPACES REQUIRED — PER STATE OF NM

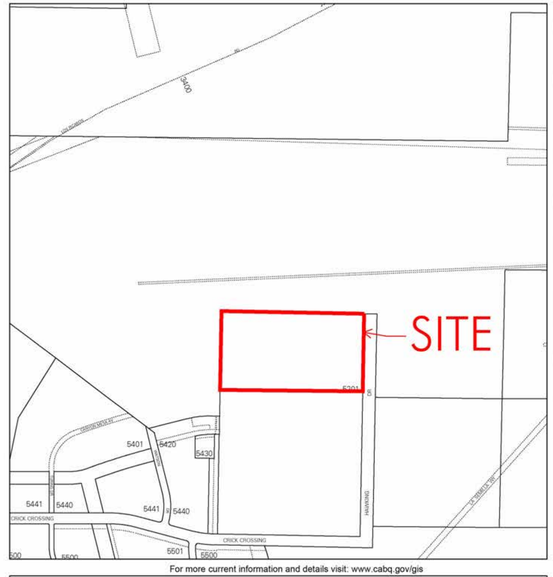
Total Parking Spaces	Total Accessible Spaces Required/Provided	Total Van Accessible Required/Provided
151-300	8/12	2/6

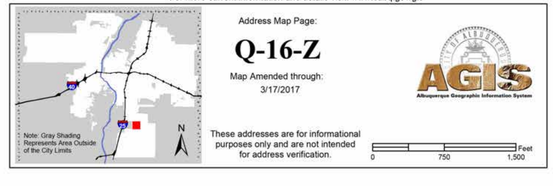
MOTORCYCLE SPACES REQUIRED — PER IDO 14-16-5-5(D)

Total Parking Spaces	Motorcycle Spaces Required/Provided
151-300	5/12

BICYCLE PARKING REQUIRED — PER IDO 14-16-5-5(E)

Use	Bicycle Space Requirement	Off-Street Parking Required	Bicycle Spaces Required/Provided
OTHER	3 spaces/10% of req'd parking	238	24/24





A4 VICINITY MAP

NTS

NOT FOR CONSTRUCTION

EQUITERRA
regenerative design
302 central ave se
albuquerque, nm 87102
ph 505.242.2851
www.equiterra.design

KAIROS SALT PRODUCTION FACILITY

KAIROS POWER, LLC

5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106

STATE OF NEW MEXICO
KENT D. BEIERLE
No. 005188
2024.04.19
REGISTERED ARCHITECT

SITE PLAN - ADMINISTRATIVE

DRAWN BY:	IG, MG
CHECKED BY:	KDB, DD
DATE :	APR 18, 2025

SITE PLAN

24014

AA101

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KAIROS POWER FACILITY EXPANSION

MS AND TDL FACILITY PERSPECTIVE - SOUTH

OFFICE PERSPECTIVE - SOUTH

PROJECT TEAM

OWNER:

KAIROS POWER
5201 HAWKING DR SE
ALBUQUERQUE, NM 87106

ARCHITECT:

GREENBOX ARCHITECTURE, LLC
502 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

P: 503.207.5537
CONTACT:
DEREK METSON, AIA, NCARB
derekm@greenboxpdx.com

OWNERS REPRESENTATIVE:

RPM TEAM

P: 408-439-3283

CONTACT:
DAVID RENARD
DAVID@RPM-TEAM.COM

GENERAL CONTRACTOR:

JT2
800 The Mark Lane, 1502
San Diego, CA 92101

P: 619.493.2210
C: 760.975.7580

CONTACT:
JOHN TOWNZEN
john@jt2cmi.com

MECHANICAL & PLUMBING ENGINEER:

ARDEBILI ENGINEERING
8100 E INDIAN ROAD, SUITE 205
SCOTTSDALE, AZ 85251

P: 480.626.1873

CONTACT:
BRENTON WARTNER
BRENTON@ARDEBILIENG.COM

ELECTRICAL ENGINEER:

ARDEBILI ENGINEERING
8100 E INDIAN ROAD, SUITE 205
SCOTTSDALE, AZ 85251

P: 480.626.1873

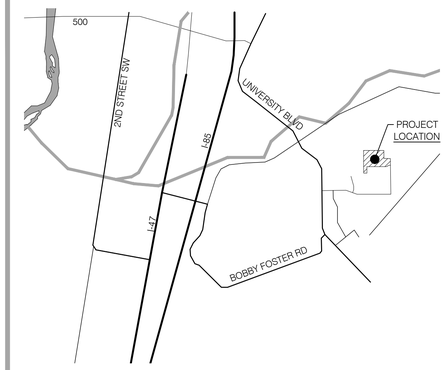
CONTACT:
JONATHAN ORTIZ
JONATHAN@ARDEBILIENG.COM

LANDSCAPE ARCHITECT:

SITES SOUTHWEST LLC
1700 CENTRAL SW, SUITE B
ALBUQUERQUE, NM 87104

P: 505.822.8200

CONTACT:
WENDI FOX
wfox@sites-sw.com



VICINITY MAP

SCALE: 1" = 4,000'-0"

N

SITE INFORMATION

SITE ADDRESS:	5201 HAWKING DR SE ALBUQUERQUE, NM 87106
ZONING:	PLANNED COMMUNITY (PC)
ZONE ATLAS PAGE:	Q-16-Z
UPC:	101605232916640206 & 101605227017740201
OVERLAY:	AIRPORT PROTECTION OVERLAY (APO) - AIR SPACE PROTECTION SUB-AREA
PREVIOUS LAND USE ACTIONS:	PR-2020-004448, SI-2020-00964
CONSTRUCTION TYPE:	II-B, V-B
PROPOSED USE:	LIGHT MANUFACTURING, OFFICE

PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT FOR KAIROS POWER INVOLVES TWO LAND USE REVIEWS. THE INFORMATION AND DRAWINGS INCLUDED IN THIS SUBMITTAL PACKAGE HAVE BEEN PROVIDED FOR A SITE PLAN, MAJOR AMENDMENT, REVIEW BY THE DEVELOPMENT FACILITATION TEAM (DFT). A SEPARATE SUBMITTAL PACKAGE HAS BEEN PROVIDED FOR A CONCURRENT SUBDIVISION - MINOR REVIEW BY THE DEVELOPMENT HEARING OFFICER (DHO). THE SCOPE OF THIS SUBMITTAL INCLUDES SITE PREPARATION, CONCRETE FOUNDATIONS, AND BASIC UTILITIES FOR TWO LIGHT MANUFACTURING BUILDINGS AND ONE OFFICE BUILDING.

THE 104'X240' TRISO DEVELOPMENT LAB (TDL) FACILITY WILL HOUSE LIGHT INDUSTRIAL ACTIVITY FOR RESEARCH AND DEVELOPMENT. THE SCOPE OF THIS PROJECT IS TO CONSTRUCT THE MOST BASIC ELEMENTS OF THE MAIN BUILDING STRUCTURE OR "SHELL" WITH THE INTERIOR BUILD OUT TO BE COMPLETED LATER BY THE OWNER, KAIROS POWER. THE BUILDING WILL CONSISTS OF A TENSIONED MEMBRANE STRUCTURE MOUNTED ON ONE LEVEL OF SHIPPING CONTAINERS.

THE 100'X300' MODULAR SYSTEMS (MS) FACILITY WILL HOUSE LIGHT INDUSTRIAL ACTIVITY AND SYSTEMS MANUFACTURING TO SUPPORT RESEARCH AND DEVELOPMENT. THE SCOPE OF THIS PROJECT IS TO CONSTRUCT THE MOST BASIC ELEMENTS OF THE MAIN BUILDING STRUCTURE OR 'SHELL' WITH THE INTERIOR BUILD OUT TO BE COMPLETED LATER BY THE OWNER, KAIROS POWER. THE BUILDING WILL CONSIST OF A TENSIONED MEMBRANE STRUCTURE MOUNTED DIRECTLY ONTO A CONCRETE FOUNDATION (NO SHIPPING CONTAINERS).

THE 56' X 96' OFFICE BUILDING WILL HOUSE OFFICE AND ADMINISTRATION SERVICES IN SUPPORT OF THE ABOVE RESEARCH AND DEVELOPMENT BUILDINGS. THE SCOPE OF THIS PROJECT IS TO INSTALL A SINGLE-STORY PRE-ENGINEERED STRUCTURE TO A STEM WALL FOUNDATION.

SHEET INDEX

TYPICAL ABBREVIATIONS

C	CENTER LINE
°	DEGREE(S)
Ø	DIAMETER
'L	INCH (ES)
'	FOOT (FEET)
#	NUMBER
P	PLATE
x	BY (i.e. 2x4)
A/C	AIR CONDITIONING
ACT	ACOUSTICAL CEILING TILE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE, ALTERNATIVE
BATT	BATT INSULATION
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BO	BOTTOM OF
BOC	BACK OF CURB
BOT	BOTTOM
CB	CATCH BASIN
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED
CFOI	CONTRACTOR FURNISHED OWNER INSTALLED
CG	CORNER GUARD
CJ	CONTROL JOINT
CL	CENTER LINE
CLR	CLEAR(ANCE)
CMU	CONCRETE MASONRY UNIT
CPT	CARPET
CTR	CENTER
DEMO	DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DW	DISHWASHER
(E)	EXISTING
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEV	ELEVATOR
EXT	EXTENSION or EXTERIOR
F&I	FURNISH & INSTALL
FA	FIRE ALARM
FE	FIRE EXTINGUISHER & BRACKET
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
FND	FOUND(ATION)
FO	FACE OF
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUD
FOW	FACE OF WALL
GYP	GYPSUM
GYP SH	GYPSUM SHEATHING
HT	HEIGHT
HVAC	HEATING, VENTILATING, & AIR CONDITIONING
JAN	JANITOR
JC	JANITORS CLOSET
LAV	LAVATORY
MAX	MAXIMUM
MI	MIRROR
MIN	MINIMUM
MO	MASONRY OPENING
MTL	METAL
(N)	NEW
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OD	OVERFLOW DRAIN
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
OH	OVERHEAD
PL	PLATE
PT	PRESSURE TREATED
PWD	PLYWOOD
QT	QUARRY TILE
QTY	QUANTITY
R	RADIUS, RISER
RD	ROOF DRAIN
REQ	REQUIRED
RF	RESILIENT FLOORING
RM	ROOM
RO	ROUGH OPENING
SYM	SYMBOL OR SYMMETRICAL
T&G	TONGUE & GROOVE
TD	TRENCH DRAIN
THK	THICK(NESS)
TO	TOP OF
TOD	TOP OF DECK
TOP	TOP OF PARAPET
TOS	TOP OF SLAB or TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VIF	VERIFY IN FIELD
WD	WOOD
WH	WATER HEATER
WWF	WELDED WIRE FABRIC

GENERAL PROJECT NOTES

A. ALL WORK SHALL BE IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES, WHICH EVER IS MOST STRICT. SPECIFICATIONS AND STANDARDS MEAN, AND ARE INTENDED TO BE, THE ADOPTED EDITION, AMENDMENT OR REVISION OF SUCH REFERENCE STANDARD(S) IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.

B. USE DIMENSIONS SHOWN. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM DRAWINGS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CROSS CHECK DETAILS AND DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND OTHER DRAWINGS AS APPLICABLE. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

C. ALL DIMENSIONS ARE TO FACE OF STUD OR GRID, UNLESS NOTED OTHERWISE.

D. CONDITIONS AND DETAILS MARKED "TYPICAL" APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR THE TYPICAL CONSTRUCTION ON THE PROJECT. VERIFY QUANTITY PRIOR TO CONSTRUCTION.

E. DISCREPANCIES IN ANY SCHEDULE OR DRAWING DO NOT RELIEVE THE CONTRACTOR FROM THE WORK INTENDED IN THE DRAWINGS OR DESCRIBED IN THE SPECIFICATIONS.

F. A COMPLETE, CURRENT SET OF THE PERMITTED CONSTRUCTION DOCUMENTS MUST BE KEPT ON THE JOB SITE AND AVAILABLE TO THE BUILDING OFFICIAL FOR THE DURATION OF THE PROJECT.

G. DO NOT NOTCH OR DRILL JOISTS, BEAMS, OR LOAD BEARING STUDS WITHOUT THE PRIOR APPROVAL OF A STRUCTURAL ENGINEER.

H. EVENLY DISTRIBUTE CONSTRUCTION MATERIALS IF PLACED ON FRAMED FLOORS OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FEET.

J. ALL SEPARATING WALLS AND FLOOR-CEILING ASSEMBLIES, INCLUDING PENETRATIONS OR OPENINGS, TO MEET OR EXCEED AIRBORNE AND IMPACT SOUND INSULATION EQUAL TO SOUND TRANSMISSION CLASS AND IMPACT INSULATION CLASS REQUIRED BY GOVERNING AUTHORITIES; PROVIDE CONSTRUCTION METHOD, ACCESSORIES, DEVICES AND APPURTENANCES AS REQUIRED FOR SAME. PROVIDE SEALANT AT ALL OPENINGS AND JOINTS MADE IN WALL AND FLOOR SURFACES AND FRAMING FOR SUPPLY AND DRAIN LINES; PROVIDE SEALANT, AIR TIGHT, AROUND ELECTRICAL OUTLETS AND JUNCTION BOXES.

K. THE 'TOP OF SLAB" DESIGNATION CORRESPONDS TO THE TOP OF CONCRETE SLAB OR CEMENTITIOUS UNDERLAYMENT AND DOES NOT ACCOUNT FOR THE THICKNESS OF THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.

L. THE FINISH FLOOR DESIGNATION CORRESPONDS TO THE "TOP OF DECK", UNLESS NOTED OTHERWISE.

M. PROVIDE ALL WORK IDENTIFIED IN THESE CONTRACT DOCUMENTS IN THE CONFIGURATION(S) SHOWN. DO NOT TO DEVIATE FROM THESE CONFIGURATION(S) WITHOUT THE SPECIFIC WRITTEN PERMISSION OF THE DESIGNER

N. PROTECT PROPERTY, ADJACENT PROPERTY AND BUILDING MATERIALS FROM DAMAGE DUE TO CONSTRUCTION.

P. CONTRACTOR TO PROVIDE ALL NECESSARY TESTING AND COORDINATE ALL REQUIRED OBSERVATIONS AND INSPECTIONS.

Q. MAINTAIN DUST CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT, AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.

R. PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES, REFER TO FINISH SCHEDULE. NOTIFY DESIGNER IN WRITING IF DAMAGE TO FRAMING OR SUPPORT ELEMENTS EXISTS.

S. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

T. REFER TO SPECIFICATIONS FOR ADDITIONAL FINISH, FIXTURE AND EQUIPMENT INFORMATION AND LOCATIONS.

U. GENERAL CONTRACTOR TO COORDINATE APPROVED STAGING AND STORAGE LOCATIONS WITH OWNER PRIOR TO COMMENCING WORK.

V. PROVIDE A 1/8" MIN (1/4" AT WALLS OF OVER 40 FEET IN LENGTH) GAP WITH METAL JOINT FLASHING AT ALL VERTICAL CEMENTITIOUS LAP SIDING JOINTS.

ENERGY CODE:

ALL NEW SYSTEMS TO COMPLY WITH COMMERCIAL ENERGY CODE, ASHRAE STANDARD 90.1 AND IECC TABLE C402.4 BERNALILLO COUNTY CLIMATE ZONE 4B

CLIMATE ZONE: BERNALILLO 4B	TABLE C301.1	
ROOFS	TABLE C402.1.3	TABLE C402.1.4
METAL BUILDING[b]	R-19 + R-11 LS	U-0.35
WALLS, ABOVE GRADE	TABLE C402.1.3	TABLE C402.1.4
MASS	R-9.5ci[g]	U-0.104[g]
METAL BUILDING	R-13 + R-13ci	U-0.052
METAL FRAMED	R-13 + R-7.5ci	U-0.064
WOOD FRAMED & OTHERS	R-13 + R-3.8ci or R-20	U-0.064[c]
WALLS, BELOW GRADE	TABLE C402.1.3	TABLE C402.1.4
BELOW GRADE WALL	R-7.5ci[d]	U-0.104[c]
FLOORS	TABLE C402.1.3	TABLE C402.1.4
MASS	R-10ci[e]	U-0.104
JOIST/FRAMING	R-30	U-0.052
SLAB-ON-GRADE FLOORS	TABLE C402.1.3	TABLE C402.1.4
UNHEATED SLABS	R-10 FOR 24" BELOW	F-0.54
OPAQUE DOORS	TABLE C402.1.3	TABLE C402.1.4
SWINGING	---	U-0.61
GARAGE DOOR < 14% GLAZING	---	U-0.31
VERTICAL FENESTRATION		TABLE C402.4
FIXED		U-0.38
OPERABLE		U-0.45
ENTRANCE DOORS		U-0.77
SHGC		
PF < 0.2		0.36
0.2 ≤ PF < 0.5		0.43
PF ≥ 0.5		0.58

TABLE C402.1.3 NOTES

ci = CONTINUOUS INSULATION
b = WHERE USING R-VALUE COMPLIANCE METHOD, A THERMAL SPACER SHALL BE PROVIDED OTHERWISE USE THE U-FACTOR COMPLIANCE METHOD IN TABLE C402.1.4.
d = WHERE HEATED SLABS ARE BELOW GRADE, BELOW GRADE WALLS SHALL COMPLY WITH EXTERIOR INSULATION REQUIREMENTS FOR HEATED SLABS.
e = "MASS FLOORS" SHALL BE IN ACCORDANCE WITH SECTION C402.2.3
g = "MASS WALLS" SHALL BE IN ACCORDANCE WITH SECTION C402.2.3
LS = LINEAR SYSTEM

TABLE C402.4 NOTES

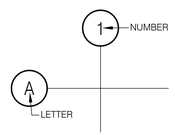
PF = PROJECTION FACTOR

TABLE C402.1.4 NOTES

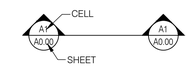
ci = CONTINUOUS INSULATION
b = WHERE USING R-VALUE COMPLIANCE METHOD, A THERMAL SPACER SHALL BE PROVIDED OTHERWISE USE THE U-FACTOR COMPLIANCE METHOD IN TABLE C402.1.4.
d = "MASS FLOORS" SHALL BE IN ACCORDANCE WITH SECTION C402.2.3
e = THESE C- F- AND U-FACTORS ARE BASE ON ASSEMBLIES THAT ARE NOT REQUIRED TO CONTAIN INSULATION.
g = "MASS WALLS" SHALL BE IN ACCORDANCE WITH SECTION C402.2.3
LS = LINEAR SYSTEM

THAT THESE INSULATION REQUIREMENTS SHALL BE MET AT NEW BUILDINGS AND WHERE EXISTING EXTERIOR ENVELOPE IS EXPOSED.

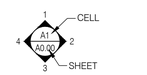
TYPICAL SYMBOLS



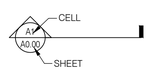
REFERENCE GRID LINES



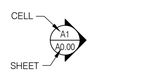
BUILDING SECTION



INTERIOR ELEVATION TAG



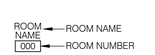
PARTIAL SECTION



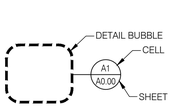
EXTERIOR ELEVATION TAG

CEILING HEIGHT TAG
(REFERENCED FROM LEVEL BELOW)

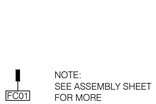
DOOR TAG



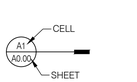
ROOM TAG



DETAIL REFERENCE BUBBLE



FLOOR/CEILING/ROOF ASSEMBLY TAG



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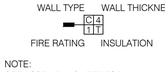


WALL ASSEMBLY TAG

Greenbox Architecture
502 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

Kairos Power

STATE OF NEW MEXICO
DEREK M METSON
NO. 6305
REGISTERED ARCHITECT

1/6/23

SITE PLAN ADMINISTRATIVE - DFT LAND USE REVIEW

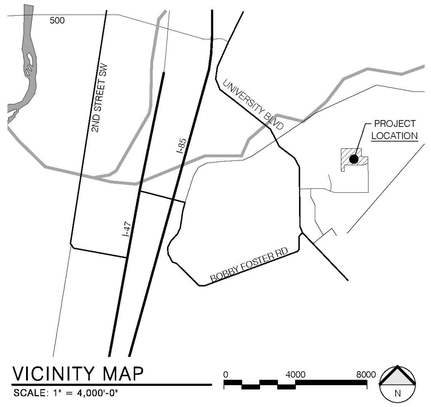
KAIROS POWER FACILITY EXPANSION

5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-4 MESA DEL SOL INNOVATION PARK III CONT 16.4161 AC

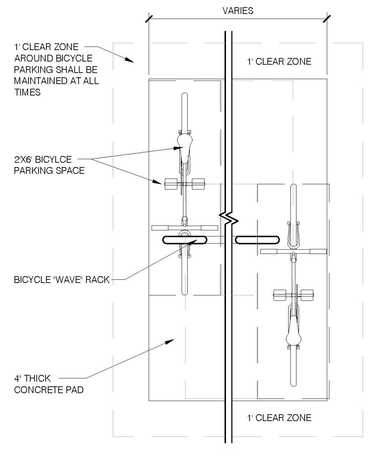
COVER SHEET

PROJECT NO.: 8000-22
DRAWN BY:
DATE: JANUARY 6, 2023

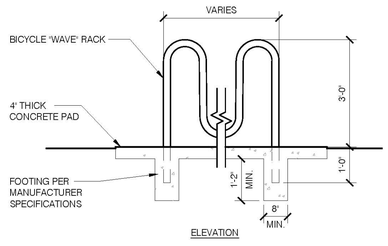
CS



VICINITY MAP
SCALE: 1" = 4,000'-0"



PLAN



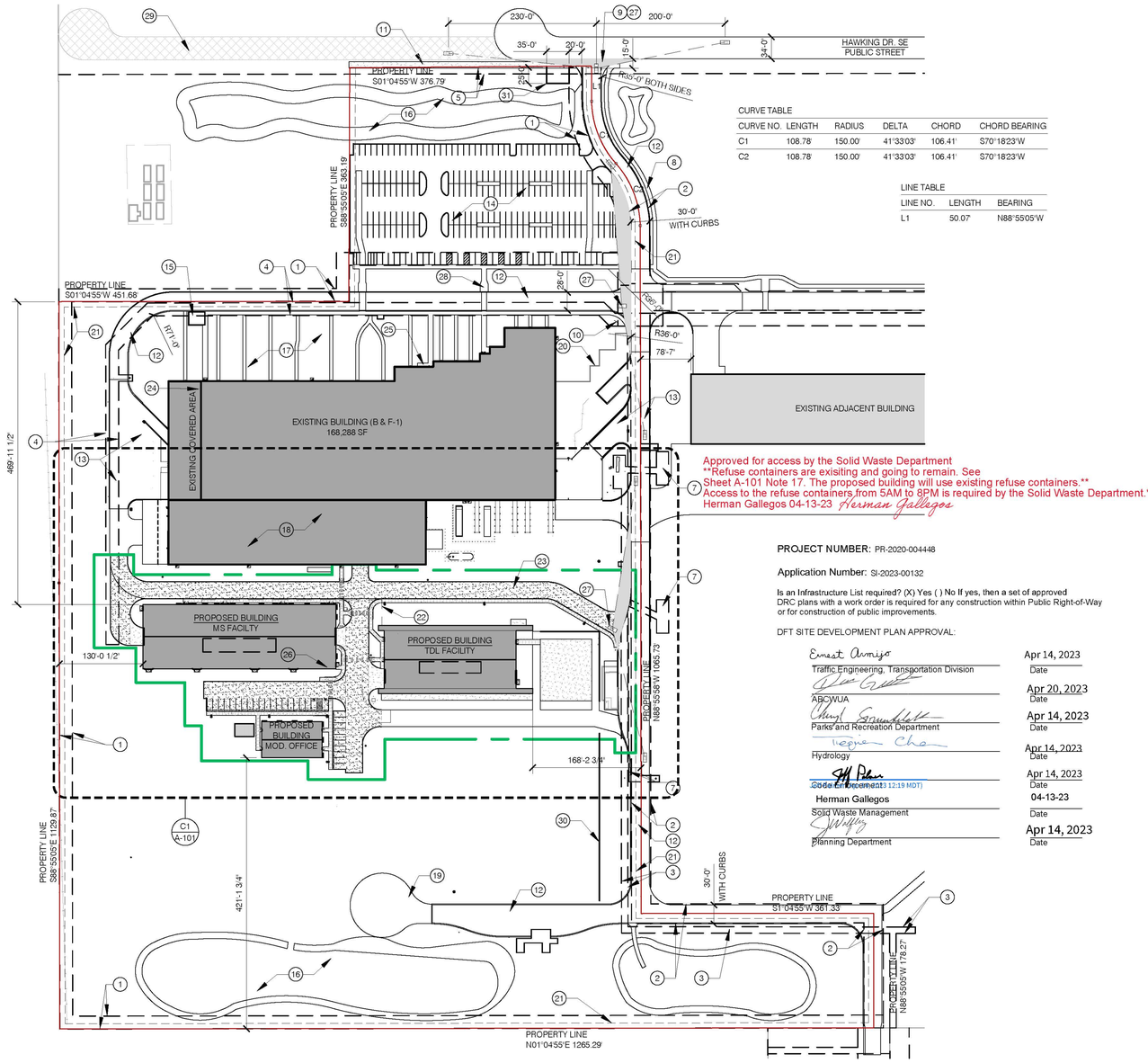
ELEVATION

NOTES:
A. BICYCLES FRAMES ARE SUPPORTED HORIZONTALLY IN TWO PLACES
B. THIS BICYCLE RACK STORES BICYCLES IN AN UPRIGHT POSITION
C. THIS RACK ALLOWS FOR VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED
D. BICYCLES ARE NOT REQUIRED TO BE LIFTED INTO THE RACK
E. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING OTHER BICYCLES
F. BICYCLE RACK TO BE INSTALLED WITH CONCRETE FOOTINGS AS SHOWN OR ANCHORED TO CONCRETE SLAB PER MANUFACTURERS SPECIFICATIONS

D1 A-100 BICYCLE RACK DETAIL
SCALE: 1/2" = 1'

LEGEND:

- CONCRETE
- ASPHALT
- GRAVEL BASE COURSE
- LIMIT OF CONSTRUCTION
- PROPERTY LINE



CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	108.78'	150.00'	41°33'03"	106.41'	S70°18'23"W
C2	108.78'	150.00'	41°33'03"	106.41'	S70°18'23"W

LINE TABLE		
LINE NO.	LENGTH	BEARING
L1	50.07'	N88°55'05"W

Approved for access by the Solid Waste Department
Refuse containers are exisiting and going to remain. See Sheet A-101 Note 17. The proposed building will use existing refuse containers.
Access to the refuse containers from 5AM to 8PM is required by the Solid Waste Department.**
Herman Gallegos 04-13-23 *Herman Gallegos*

PROJECT NUMBER: PR-2020-004448

Application Number: SI-2023-00132

Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Ernest Armijo Traffic Engineering, Transportation Division	Apr 14, 2023 Date
ABCWUA	Apr 20, 2023 Date
Parks and Recreation Department	Apr 14, 2023 Date
Hydrology	Apr 14, 2023 Date
Code Enforcement (Apr 13 12:19 MDT) Herman Gallegos Solid Waste Management	04-13-23 Date
Planning Department	Apr 14, 2023 Date

C2 A-100 SITE PLAN
SCALE: 1" = 100'

KEYED NOTES: (X)

1. EXISTING 20' WATERLINE EASEMENT
2. EXISTING 30' PRIVATE ACCESS EASEMENT
3. 10' EXISTING PNM EASEMENT
4. EXISTING 20' PERMANENT PRIVATE UTILITY EASEMENT
5. EXISTING 10' PUBLIC UTILITY EASEMENT
6. EXISTING 20' PRIVATE UTILITY EASEMENT
7. EXISTING PNM EASEMENT
8. EXISTING 6' WIDE ADA WALKWAY FROM RIGHT OF WAY TO THE PRIMARY BUILDING
9. EXISTING SITE ACCESS (INGRESS AND EGRESS) ONTO PRIVATE ACCESS EASEMENT
10. EXISTING SIGNAGE DIRECTING VISITOR AND DELIVERY TRAFFIC
11. 10' WIDE CONCRETE SIDEWALK TO BE CONSTRUCTED PER EXISTING INFRASTRUCTURE AGREEMENT FROM DRB PROJECT # 2020-004448. IMPROVEMENTS ARE PENDING THE COMPLETION OF A SEPARATE PAVING AND UTILITY PROJECT ALONG HAWKING DRIVE BY GOLD MESA INVESTMENT, LLC (PROJECT# PR-2019-001971). THESE IMPROVEMENTS ARE NOT INCLUDED IN THE SCOPE OF THIS SUBMITTAL.
12. EXISTING ASPHALT ACCESS DRIVE
13. EXISTING CONCRETE ACCESS DRIVE AND LOADING AREA
14. EXISTING ASPHALT PARKING LOT - SEE PARKING & TRAFFIC INFORMATION ON THIS SHEET
15. EXISTING COVERED GATHERING AREA WITH THREE PICNIC TABLES
16. EXISTING STORMWATER RETENTION POND
17. EXISTING WATER HARVESTING AND LANDSCAPED AREA
18. RECENT FACILITY ADDITION PER DRB PROJECT NUMBER PR-2020-004448
19. EXISTING GRAVEL AREA. VEHICULAR ACCESS RESTRICTED BY CONCRETE BARRICADES
20. EXISTING SCREENING WALL
21. 10' BUILDING SETBACKS PER MESA DEL SOL LEVEL B MASTER PLAN
22. EXISTING ASPHALT AREA TO BE REMOVED, APPROXIMATELY 15,400 SF
23. EXISTING GRAVEL ACCESS DRIVE TO BE PAVED WITH ASPHALT
24. EXISTING BIKE PARKING 7 - BIKE CAPACITY AND PROPOSED BIKE PARKING 3 - BIKE CAPACITY. COLOR TO BE SELECTED BY OWNER. BICYCLE RACKS SHALL MEET THE DESIGN CRITERIA IN SECTION 7-4(K)(2) OF THE DEVELOPMENT PROCESS MANUAL
25. EXISTING BIKE PARKING 9 - BIKE CAPACITY
26. SECURE LONG-TERM INDOOR BIKE PARKING 5 - BIKE CAPACITY
27. CLEAR SIGHT TRIANGLES AS REQUESTED BY THE TRANSPORTATION SECTION. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. SEE SHEET A-101 FOR ADDITIONAL INFORMATION AND DIMENSIONS.
28. ADA WALKWAY FROM PRIMARY PARKING TO PRIMARY BUILDING
29. PUBLIC WATER, SEWER, AND STREET EXTENSION PER INFRASTRUCTURE AGREEMENT BY OTHERS, PROJECT# PR-2019-001971. THESE IMPROVEMENTS ARE NOT INCLUDED IN THE SCOPE OF THIS SUBMITTAL, BUT ARE TO BE INCLUDED IN A NEW INFRASTRUCTURE IMPROVEMENT AGREEMENT, MORE INFORMATION PROVIDED IN THE 'UT' SHEETS
30. 5'-6" SPLIT FACE BURNISHED CMU BLOCK SCREENING WALL TO BE INSTALLED WITHIN TWO YEARS OF THE DATE OF THE OFFICE BUILDING ARC APPROVAL, UNLESS A BUILDING FULLY COMPLYING WITH THE MESA DEL SOL DESIGN GUIDELINES IS DEEMED TO BE A MORE VISUALLY APPEALING ALTERNATIVE TO THE STREET FACE. THE CONSTRUCTION OF SUCH BUILDING SHALL NOT REDUCE THE REQUIREMENT FOR A CMU WALL AT OTHER LOCATIONS ILLUSTRATED ON THE SITE PLAN.
31. NEW EASEMENT PROPOSED FOR NEW WATER METER VAULT AS REQUIRED BY ABCWUA. PAPER EASEMENT, IF REQUIRED, IS TO BE RECORDED PRIOR TO NEW WATER SERVICE CONNECTION.

PARKING AND TRAFFIC CONT'D:

PARKING STALL SIZING AND REQUIREMENTS
NEW AND EXISTING PARKING STALL SIZING:

TYPE OF PARKING	MIN. WIDTH	MIN. LENGTH	MIN. OVERHANG
STANDARD/ HOV	8.5'	18'	2'
COMPACT	7.5'	15'	1.5'
MOTORCYCLE	4'	8'	N/A
ADA	8.5'	18'	2'
ADA ACCESS AISLE	8'	18'	N/A

GENERAL NOTES:

A. TRACT D-1-A (REPLAT OF TRACT D-1 AND D-3, MESA DEL SOL INNOVATION PARK II) SHALL BE PROVIDED SEPARATE WATER AND SANITARY SEWER SERVICES THROUGH INDIVIDUAL, INDEPENDENT WATER, SEWER, AND FIRE LINES AS REQUIRED BY THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) ORDINANCES WATER AND SEWER RATE ORDINANCE, § 1-1-3 (M) AND SEWER USE AND WASTEWATER CONTROL ORDINANCE, § 3-2-7. NO PROPERTY SHALL SHARE A WATER SERVICE OR FIRE LINE WITH ANY OTHER PROPERTY.
B. FUTURE BUILDINGS OR BUILDING ADDITIONS THAT ARE SERVED BY WATER, SEWER, AND FIRE LINES WITHIN TRACT D-1-A (REPLAT OF TRACT D-1 AND D-3, MESA DEL SOL INNOVATION PARK II) SHALL CONNECT TO SERVICES THAT ARE INDIVIDUAL AND INDEPENDENT TO TRACT D-1-A (REPLAT OF TRACT D-1 AND D-3, MESA DEL SOL INNOVATION PARK II) AS REQUIRED BY THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) PER THE WATER AND SEWER RATE ORDINANCE, § 1-1-3 (M) AND SEWER USE AND WASTEWATER CONTROL ORDINANCE, § 3-2-7.
C. NO EASEMENTS ARE PROPOSED AS PART OF THIS SUBMITTAL.
D. THE PROPOSED CONSTRUCTION WILL BE COMPLETED IN A ONE PHASE.
E. ALL ADJACENT PROPERTIES ARE PLANNED COMMUNITY (PC) ZONED.
F. PARKING IS PROVIDED ON-SITE AND NO PARKING IS PROPOSED OFF-SITE.
G. NO VARIANCES ARE PROPOSED, OR NECESSARY TO IMPLEMENT THIS PLAN.
H. PROPOSED BUILDINGS ARE TO BE USED FOR LIGHT MANUFACTURING.
I. ACCESS EASEMENTS ARE NOT PROPOSED FOR THIS PROJECT.
J. ROADS ADJACENT TO THE SITE ARE PRIVATE WAYS, EXCEPT FOR THE CITY STREET - HAWKING DRIVE SE.
K. MAXIMUM GRADES SHOULD NOT EXCEED 8% IN PARKING AREAS. FOR MAJOR CIRCULATION AISLES AND ADJACENT TO MAJOR PEDESTRIAN ENTRANCES, THE GRADES SHOULD BE KEPT TO 6% OR LESS. HANDICAP ACCESS TO BUILDINGS NEEDS TO BE MAINTAINED. CONTACT CITY ZONING FOR DETAILS.
L. A NEW REFUSE FACILITY IS NOT INCLUDED IN THE SCOPE OF THIS PROJECT. PROPOSED BUILDINGS WILL UTILIZE THE EXISTING REFUSE FACILITIES.
M. OFF-SITE RIGHT-OF-WAY IMPROVEMENTS, EASEMENTS, OR HANDICAP RAMPS ARE NOT PROPOSED WITH THIS PROJECT.
N. ALL ACCESS AISLE AND ROAD DIMENSIONS EXCLUDE CURBS UNLESS OTHERWISE NOTED.
O. THERE ARE NO EXISTING STREET LIGHTS ON HAWKING DRIVE AND NONE ARE PROPOSED.
P. NO DRIVEWAYS FOR ADJACENT PROPERTIES OCCUR ON HAWKING DRIVE NEAR THE PROJECT SITE.
Q. NO ALTERNATE TRANSPORTATION FACILITIES, INCLUDING BIKEWAYS, TRAILS, OR PUBLIC TRANSIT, OCCUR NEAR THE PROJECT SITE.

GENERAL INFORMATION:

SITE INFORMATION

SITE ADDRESS:	5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106	
LEGAL DESCRIPTION:	A CERTAIN TRACT OF LAND LOCATED WITHIN SECTION 15, TOWNSHIP 9 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. BEING AND COMPRISED OF TRACT D-1 AND TRACT D-3 OF THE BULK LAND PLAT FOR MESA DEL SOL INNOVATION PARK II, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF RECORDED IN THE REAL PROPERTY RECORDS OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 29, 2017, AS DOCUMENT NUMBER 2017124120, IN BOOK: 2017C, PAGE: 159.	
PROPOSED OCCUPANCY:	LIGHT MANUFACTURING (F) & OFFICE (B)	
LOT SIZE:	1,238,746.212 S.F. / 28.4377 ACRES	
BUILDING AREA:	MS FACILITY:	30,000 SF
	TDL FACILITY:	21,900 SF
	OFFICE BUILDING:	5,264 SF
	EXISTING:	168,288 SF
	TOTAL:	225,452 SF

PARKING AND TRAFFIC:

REQUIRED PARKING SPACES PER IDO TABLE 5-5-1:

USE	PARKING REQUIREMENT	TOTAL BUILDING SQ.FT.	REQUIRED PARKING
INDUSTRIAL -			
LIGHT INDUSTRIAL (EXISTING BUILDING)	1 SPACE /1,000 SF GFA	168,288	168 SPACES*
LIGHT MANUFACTURING (MS & TDL FACILITIES)	1 SPACE /1,000 SF GFA	51,900 TOTAL	51 SPACES*
OFFICES & SERVICES -			
OFFICE (MODULAR OFFICE)	3.5 SPACES / 1,000 SF GFA	5,264	18 SPACES*
	TOTAL REQUIRED (INCLUDING ACCESSIBLE SPACES)		238 SPACES

REQUIRED ACCESSIBLE PARKING SPACES PER 2015 NMCBC TABLE 1106.1:
101-300 TOTAL PARKING SPACES = 8 ACCESSIBLE SPACES (2 VAN ACCESSIBLE)

REQUIRED MOTORCYCLE PARKING SPACES PER IDO TABLE 5-5-4:
151-300 REQUIRED OFF-STREET VEHICLE PARKING SPACES = 5 SPACES

REQUIRED BICYCLE PARKING SPACES PER IDO TABLE 5-5-5:
NON-RESIDENTIAL USES NOT LISTED IN TABLE
10% OF REQUIRED OFF-STREET PARKING 238 X 0.10 = 24

REQUIRED VS PROVIDED PARKING SPACES:

	REQUIRED:	PROVIDED:
TOTAL SPACES	238	193 + 30 NEW + 48 HOV** = 271
HOV SPACES	0	12
ACCESSIBLE PARKING	8 TOTAL / 2 VAN	12 TOTAL / 6 VAN
MOTORCYCLE SPACES	5	12
BIKE PARKING	24	24 (8 NEW)

* PARKING CALCULATIONS ARE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER PER IDO SECTION 5-5(C)(1)(D)

** 12 SPACES X 4 CARPOOL CREDIT PER IDO SECTION 5-5(C)(6)(B) = 48 SPACES TOWARD THE REQUIRED OFF-STREET PARKING REQUIREMENT

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RPM TEAM
Kairos Power

STATE OF NEW MEXICO
DEREK J. METSON
NO. 6345
REGISTERED ARCHITECT
2/11/23

1 REV1- DFT COMMENTS 2023-01-25
2 REV2- DFT COMMENTS 2023-03-01

SITE PLAN ADMINISTRATIVE - DFT LAND USE REVIEW

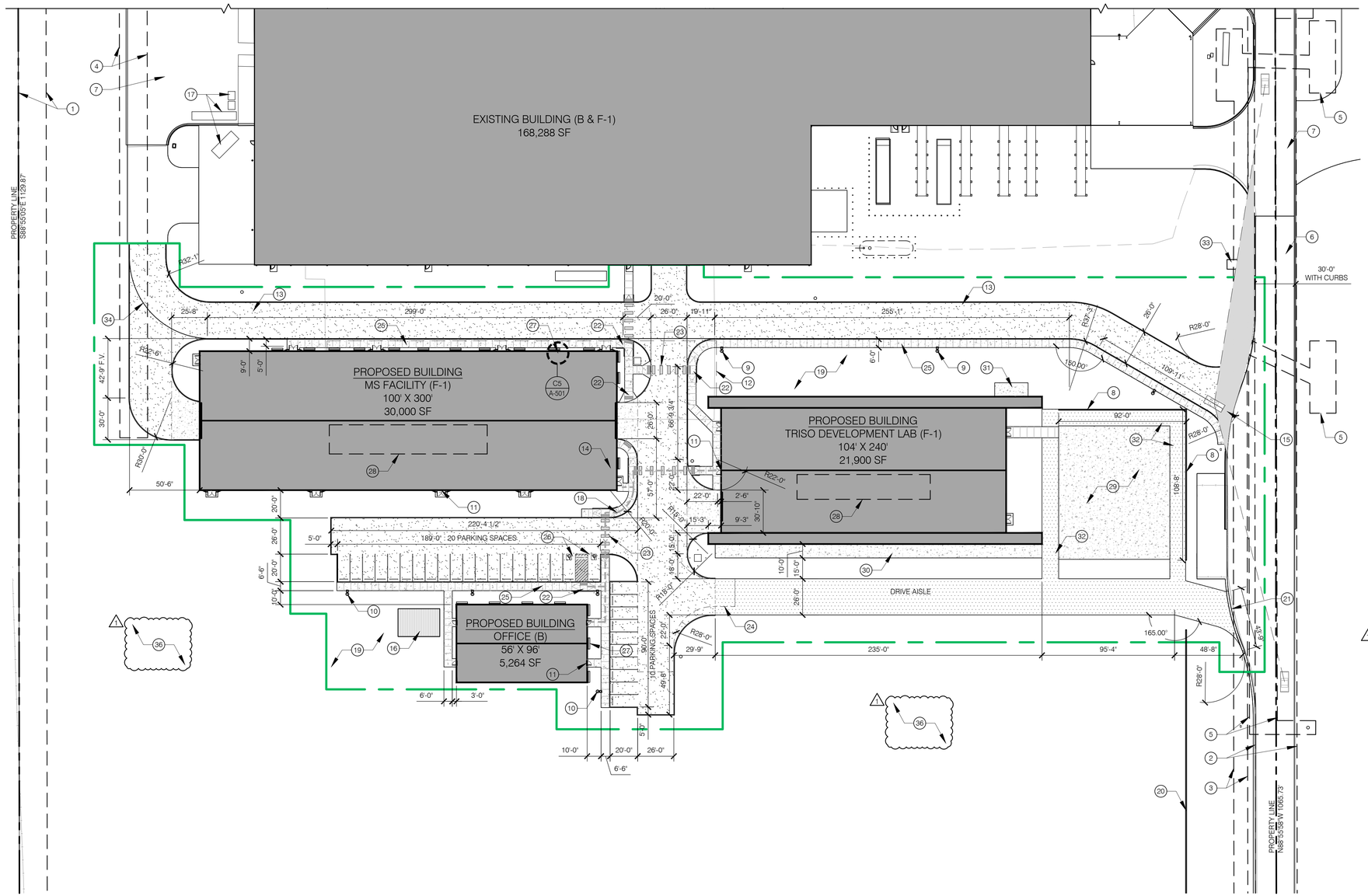
KAIROS POWER FACILITY EXPANSION

5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 19.4161 AC

SITE PLAN

PROJECT NO.: 8000-22
DRAWN BY:
DATE: MARCH 2, 2023

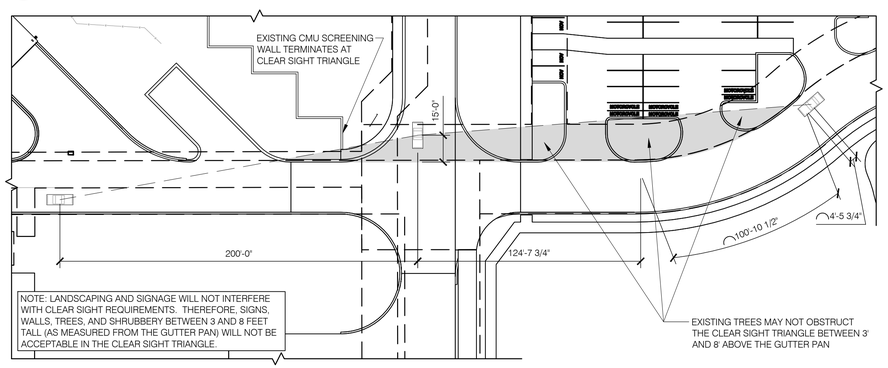
A-100



C1 A-101 ENLARGED SITE PLAN

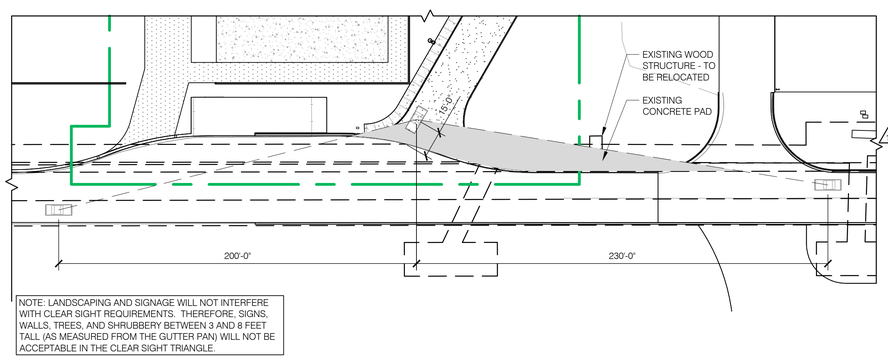
SCALE: 1" = 40'

0 50 100



D1 A-101 CLEAR SIGHT TRIANGLE - EAST OF EXISTING BUILDING

SCALE: 1" = 40'



D3 A-101 CLEAR SIGHT TRIANGLE - WEST OF EXISTING BUILDING

SCALE: 1" = 40'

GENERAL NOTES:

A. PROPOSED BUILDING ARE TO BE USED FOR LIGHT MANUFACTURING OR OFFICE USES.
B. THE PROPOSED CONSTRUCTION WILL BE COMPLETED IN A ONE PHASE.
C. NO PROPOSED REFUSE FACILITIES ARE INCLUDED IN THE SCOPE OF THIS PROJECT. NEW BUILDINGS ARE INTENDED TO USE THE EXISTING TRASH COMPACTOR TO THE NORTH OF THE EXISTING BUILDING. EXISTING ACCESS IS UNCHANGED.
D. REFER TO CIVIL DRAWINGS, SHEETS UT1 THROUGH UT6, FOR ADDITIONAL INFORMATION ON UTILITY LOCATIONS.
E. REFER TO PLUMBING DRAWING, SHEET P0.2, FOR UTILITY SIZING.
F. REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE COVERAGE AND WATER HARVESTING DESIGN LAYOUT.
G. REFER TO STORM WATER CALCULATIONS FOR WATER HARVESTING CALCULATIONS.
H. ALL ACCESS AISLE AND ROAD DIMENSIONS EXCLUDE CURBS UNLESS OTHERWISE NOTED.
I. NO TEMPORARY STRUCTURES ARE PROPOSED WITH THIS PROJECT.
J. PROPOSED EXTERIOR WALL SCONCES SHALL BE MOUNTED ABOVE EACH EXTERIOR DOOR. EXTERIOR WALL SCONCES SHALL BE LITHONIA MODEL WWDGE2 LED OR LITHONIA MODEL WDGE3 LED OVER SLIDING OR COILING DOORS. SEE SHEETS A-500 AND A-501 FOR MOUNTING HEIGHTS.
K. ALL PEDESTRIAN SIDEWALKS AND WALKWAYS OCCUR ON-SITE AND MAY BE AT LEAST 6' WIDE

KEYED NOTES: (X)

1. EXISTING 20' WATERLINE EASEMENT
2. EXISTING 30' PRIVATE ACCESS EASEMENT
3. 10' EXISTING PNM EASEMENT
4. EXISTING 20' PERMANENT PRIVATE UTILITY EASEMENT
5. EXISTING PNM EASEMENT
6. EXISTING ASPHALT ACCESS DRIVE
7. EXISTING CONCRETE ACCESS DRIVE AND LOADING AREA
8. NEW 9' CMU WALL FINISHED WITH CONCRETE OR STUCCO TO MATCH EXISTING SCREENING WALL TEXTURE. BLUE COLOR TO MATCH ADJACENT BUILDING ELEMENTS ON THE TDL FACILITY
9. NEW 25' POLE LIGHTS PER ELECTRICAL SITE AND PHOTOMETRIC PLAN - SHEETS E0.3 & E0.4
10. NEW 12' POLE LIGHTS TO ILLUMINATE NEW PARKING SPACED LESS THAN 100' APART PER PEDESTRIAN SCALE LIGHTING REQUIREMENTS - SEE ELECTRICAL SITE AND PHOTOMETRIC PLAN SHEETS E0.3 & E0.4
11. SITE LIGHTING AT PROPOSED BUILDINGS - SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
12. EXISTING ASPHALT AREA TO BE REMOVED, APPROXIMATELY 15,400 SF
13. EXISTING GRAVEL ACCESS DRIVE TO BE PAVED WITH ASPHALT
14. SECURE LONG-TERM INDOOR BIKE PARKING 5 - BIKE CAPACITY SECURED BY ACCESS CONTROL AT EXTERIOR DOORS
15. CLEAR SIGHT TRIANGLE AS REQUESTED BY THE TRANSPORTATION SECTION. EXISTING AND PROPOSED LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. SEE BOTTOM OF THIS SHEET FOR ADDITIONAL INFORMATION AND DIMENSIONS.
16. NEW 1,600 SF OUTDOOR SEATING AND GATHERING AREA WITH 500 SF SHADE STRUCTURE AND 6 PICNIC TABLES. SURROUNDING AREA TO INCLUDE 4 ADDITIONAL PICNIC TABLES - SEE LANDSCAPE SHEET LP-102 FOR ADDITIONAL INFORMATION
17. EXISTING REFUSE FACILITIES (34 YD TRASH COMPACTOR, 30 YD OPEN TOP DUMPSTER, 6 YD DUMPSTER, & 6 YD RECYCLE DUMPSTER)
18. EXISTING ADA ACCESSIBLE WALKWAY FROM PARKING TO ADJACENT BUILDINGS
19. NEW LANDSCAPE AREA, REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION
20. 5'-6" SPLIT FACE BURNISHED CMU BLOCK SCREENING WALL TO BE INSTALLED WITHIN TWO YEARS OF THE DATE OF THE 11/15/2022 ARC APPROVAL, UNLESS A BUILDING FULLY COMPLYING WITH THE MESA DEL SOL DESIGN GUIDELINES IS DEEMED TO BE A MORE VISUALLY APPEALING ALTERNATIVE TO THE STREET FACE. THE CONSTRUCTION OF SUCH BUILDING SHALL NOT REDUCE THE REQUIREMENT FOR A CMU WALL AT OTHER LOCATIONS ILLUSTRATED ON THE SITE PLAN.
21. NEW CURB CUT IN EXISTING CURB FOR 26' WIDE DRIVE AISLE
22. CURB RAMPS IN NEW SIDEWALK FOR ACCESSIBLE SITE EGRESS, TYPICAL
23. PAINTED CROSS WALK STRIPING
24. BOUNDARY OF FIRE APPARATUS TURNAROUND
25. 6' WIDE CONCRETE WALKWAY WITH CONTROL JOINTS 5'-0" O.C. AND EXPANSION JOINTS 50'-0" O.C. MAX. LIGHT BROOM FINISH, TYPICAL
26. NEW ACCESSIBLE PARKING
27. NEW 8' TALL BY 8' WIDE TRELLISES SPACE A MAXIMUM OF 25' O.C.
28. NEW SIGNAGE PRINTED ON BUILDING FACADE. SIZE IS SKEWED DUE TO ROOF SLOPE. SEE EXTERIOR ELEVATION SHEETS A-500 AND A-501 FOR ADDITIONAL INFORMATION
29. NEW 96' X 80' CONCRETE PAD FOR FUTURE EXTERIOR EQUIPMENT
30. NEW 10' X 235' CONCRETE PAD FOR FUTURE EXTERIOR EQUIPMENT
31. NEW 10' X 24' CONCRETE PAD FOR FUTURE EXTERIOR EQUIPMENT
32. NEW 12' WIDE GRAVEL FORKLIFT ACCESS AISLES
33. EXISTING WOOD STRUCTURE TO BE RELOCATED
34. EDGE OF EXISTING GRAVEL ACCESS AISLE
35. EXISTING CONCRETE PAD
36. EXISTING NATIVE VEGETATION TO BE PROTECTED FOR THE DURATION OF CONSTRUCTION. PROVIDE SILT FENCING AT THE PERIMETER OF THE PROJECT SCOPE AND REFRAIN FROM THE STORAGE AND USE OF EQUIPMENT IN THESE AREAS.

LEGEND:

- CONCRETE
- ASPHALT
- GRAVEL BASE COURSE
- LIMIT OF CONSTRUCTION

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Kairos Power

STATE OF NEW MEXICO
DEREK M. METSON
NO. 6305
REGISTERED ARCHITECT

2/10/23

1 REV1- DFT COMMENTS 2023-01-25

KAIROS POWER FACILITY EXPANSION

5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL SUBDIVISION OF TRACT D MES-A DEL SOL INNOVATIONPARK III CONT 16.4161 AC

ENLARGED SITE PLAN

SITE PLAN ADMINISTRATIVE - DFT LAND USE REVIEW

PROJECT NO.: 8000-22
DRAWN BY:
DATE: FEBRUARY 10, 2023

A-101

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.

2. ALL QUANTITIES SHOWN ARE FOR CONVENIENCE. CONTRACTOR SHALL BE RESPONSIBLE FOR QUANTITY TAKEOFFS.

3. CONTRACTOR SHALL COORDINATE WORK WITH ALL SUBCONTRACTORS.

4. CONTRACTOR SHALL BE FAMILIAR WITH PLANS, DETAILS AND SPECIFICATIONS AS THEY PERTAIN TO THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IF ANY ITEMS CONTAINED WITHIN THE SCOPE OF WORK DEFINED HEREIN, ARE IN CONFLICT WITH PROPOSED CONTRACT. A MEETING WILL BE HELD WITH THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT TO RESOLVE ANY CONFLICTS.

5. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS, DESIGNATED TRAFFIC LANES, OR PEDESTRIAN TRAFFIC. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE PUBLIC RIGHT-OF-WAY.

6. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT HORIZONTAL AND VERTICAL CONTROL SURVEY MONUMENTS (MARK) FROM DAMAGE PRIOR TO INITIATING CONSTRUCTION. IF DURING THE COURSE OF CONSTRUCTION OPERATIONS, THE CONTRACTOR DISTURBS OR DESTROYS A MARK, THE CONTRACTOR SHALL ESTABLISH A NEW MARK IN COMPLIANCE WITH THE STANDARDS AND PROCEDURES SET FORTH IN THE "GEODETIC MARK PRESERVATION GUIDEBOOK", NATIONAL GEODETIC SURVEY, MARCH 1990, CONTACT: NGS MARK PRESERVATION CENTER - NOAA, RC - 325 BROADWAY - BOULDER, CO 80303 - TELEPHONE (303) 497-6530, FTS 320-6530. NO ADDITIONAL FEES SHALL BE PAID FOR THIS WORK.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITIES AND INFRASTRUCTURE. EXISTING UTILITY LINES ARE TO BE BLUE STAKED PRIOR TO ANY EXCAVATION. CHECK AND FIELD VERIFY ALL SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO EXCAVATION. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT NEW MEXICO 881 OR (811) 260-1990 FOR LOCATION OF EXISTING UTILITIES. IF PROBLEMS ARE DISCOVERED, CONTACT OWNER'S REPRESENTATIVE TO DETERMINE COURSE OF ACTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING `FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE OWNER'S REPRESENTATIVE.

9. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.

10. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION. FEES (IF ANY) FOR ALL PERMITS SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.

11. THE CONTRACTOR IS RESPONSIBLE FOR FIELD CHECKING LOCATION, ELEVATIONS, AND DIMENSIONS OF ALL FORM WORK FOR COMPLIANCE PRIOR TO INSTALLATION OF CONCRETE. THE OWNER RESERVES THE RIGHT TO INSPECT ANY FEATURES AND APPURTENANCES AT ANY TIME BEFORE FINAL COMPLETION OF THE PROJECT AND TO HAVE THE CONTRACTOR REMOVE, REPLACE, AND/OR CORRECT ANY WORK THAT IS NOT IN COMPLIANCE AT THE CONTRACTOR'S EXPENSE, AS DETERMINED BY THE OWNER'S REPRESENTATIVE; HOWEVER, FINAL RESPONSIBILITY FOR CORRECT INSTALLATION LIES WITH THE CONTRACTOR.

12. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

13. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS INCLUDING N.P.D.E.S. REGULATIONS.

14. A SAMPLE OF ALL MATERIALS AND COLORS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

WARRANTY AND MAINTENANCE

1. CONTRACTOR SHALL FURNISH A CERTIFICATE OF WARRANTY AND A GUARANTEE OF WORK AND MATERIALS FOR A ONE-YEAR PERIOD FROM DATE OF FINAL ACCEPTANCE. FINAL PAYMENT SHALL NOT BE MADE UNLESS THIS CERTIFICATE IS PRESENTED TO THE OWNER.

2. THE CONTRACTOR IS LIABLE FOR ANY LOSS OR DAMAGE TO ANY WORK OR MATERIALS, SUPPLIES AND EQUIPMENT ON THE JOB SITE CAUSED BY THE CONTRACTOR, ITS EMPLOYEES OR ANY OTHER UNFORESEEN CAUSE UNTIL FINAL ACCEPTANCE OF PROJECT BY OWNER.

PLANTING NOTES

1. THE LANDSCPAE PLANS SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE.

2. ALL PLANTING BEDS SHALL BE MULCHED WITH A 4" LAYER OF 3/8" CRUSHER FINES GRAVEL OR BARK MULCH EXCEPT WHERE NOTED IN THE PLAN.

3. ALL GRAVEL SHALL BE UNDERLINED WITH DEWITT PRO-5 28 MIL. FILTER FABRIC OR APPROVED EQUAL.

4. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.

5. USE OF FRUIT TREES: GOODMAN REALTY GROUP HAS RECEIVED AN APPROVED DEVIATION FROM THE CITY OF ALBUQUERQUE STREET TREE ORDINANANCE 6-6-2-1 FOR PARKING LOT LANDSCAPING FOR THE USE OF FRUIT TREES ON THE WINROCK TOWN CENTER PROJECT. FRUIT TREES ARE INCLUDED ON THE PLANS.

6. PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. THE SUBSTITUTION OF MATERIALS DIFFERING IN KIND, QUALITY OR SIZE FROM THAT SPECIFIED WILL BE ALLOWED ONLY AFTER THE ARCHITECT IS CONVINCED THAT ALL MEANS OF OBTAINING THE SPECIFIED MATERIALS HAVE BEEN EXHAUSTED. CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE THAT ALL MATERIALS NECESSARY TO COMPLETE THE PROJECT AS SPECIFIED HAVE BEEN LOCATED AND ALL REQUESTS FOR SUBSTITUTIONS MUST BE SUBMITTED NO LATER THAN 2 WEEKS PRIOR TO THE INITIATION OF CONSTRUCTION.

7. PLANT MATERIAL QUALITY, SIZE AND CONDITION SHALL BE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK, MOST CURRENT EDITION, AS PUBLISHED BY AMERICAN HORT.

8. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, SUNSCALD INJURIES, PLANT DISEASES, INSECT EGGS, BORES AND ALL OTHER FORMS OF INFECTIONS.

9. UNLESS OTHERWISE STATED ON THE DRAWINGS OR APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT, ALL PLANTS SHALL BE NURSERY GROWN AND SHALL BE TAGGED WITH NURSERY LABELS INDICATING SPECIES AND VARIETY.

10. OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT SHALL INSPECT ALL PLANT MATERIAL AT THE CONTRACTOR'S YARD PRIOR TO DELIVERY, DURING PLANTING AND AFTER PLANTING AT THE JOB SITE. AT THE OPTION OF THE CONTRACTOR, THE OWNER'S REPRESENTATIVE WILL INSPECT PLANT MATERIAL AT A WHOLESALE NURSERY OF THE CONTRACTOR'S CHOICE, WITHIN 60 MILES OF THE PROJECT SITE, PRIOR TO DELIVERY OF MATERIALS TO THE CONTRACTOR'S YARD.

11. THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT SHALL BE THE JUDGE OF THE QUALITY AND ACCEPTABILITY OF ALL PLANT MATERIALS. ALL REJECTED MATERIAL SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND REPLACED WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO OWNER.

12. PLANTS NOT WATERED ON THE SAME DAY AS PLANTED WILL BE REJECTED AND NO ADDITIONAL PAYMENT MADE THEREFORE.

13. ALL TREES, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR THE PERIOD OF ONE (1) YEAR OR ONE COMPLETE GROWING SEASON, WHICHEVER COMES FIRST, BEGINNING ON THE DATE OF FINAL CONTRACT ACCEPTANCE.

14. ALL NEW PLANT MATERIALS SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEMS AS PER PLANS, DETAILS AND SPECIFICATIONS UNLESS OTHERWISE INDICATED ON THE DRAWINGS. PLANTS SHALL NOT BE INSTALLED UNTIL THE IRRIGATION SYSTEM IS INSTALLED AND FULLY OPERATIONAL.

SEEDING SCHEDULE

RECLAMATION SEED MIX
(per Section 1013 City of Abq. Seed Mix - a. Gravelly Uplands & Slopes)

Botanical	Common Name	#PLS/ AC
Bouteloua gracilis 'Hachita'	Blue Grama Bouteloua	7.0
Bouteloua curtipen dula 'Niner'	Side oats Grama	5.0
Stipa neomexicana	Needle & Thread Grass	2.0
Oryzopsis hymenoides	Indian Rice Grass	2.0
Koeleria macrantha	June Grass	1.0
Aristida purpurea	Purple Threeawn	1.0
Pleuraphis jamesii 'Viva'	Galleta	1.0
Dalea purpurea var purpurea	Purple Prairie Clover	0.25
Ratibida columnifera pulcherrima	Mexican Hat	0.25
Gaillardia aristata	Blanket Flower	0.25
Sphaeralcea parvifolia	Nelson Globemallow	0.25
Oenothera pallida	White Evening Primrose	0.25
Baileya multiradiata	Desert Marigold	0.25
Berlandiera lyrata	Chocolate Flower	0.25
Abronia fragrans or villosa	Sand Verbena	0.25

IRRIGATION PERFORMANCE SPECS.

GENERAL NOTES

1. THE WORK DESCRIBED AS "IRRIGATION" CONSISTS OF INSTALLING A COMPLETE UNDERGROUND IRRIGATION SYSTEM AS SPECIFIED IN THESE NOTES IN ADDITION TO MEETING ALL LOCAL CODES, ORDINANCES, AND REQUIREMENTS. ALL DESIGN, EQUIPMENT, INSTALLATION, AND TESTING SHALL COMPLY WITH THE STANDARDS OUTLINED IN THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS, SECTION 1001.

2. SYSTEM TO BE COMPRISED OF PVC MAINLINE, PVC LATERALS FOR TREE BUBBLERS, AND POLYETHYLENE FOR SHRUB DRIP ZONES. SYSTEM TO BE CONTROLLED BY AUTOMATIC IRRIGATION CONTROLLER, AUTOMATIC VALVES.

3. INSTALLATION FOR ALL IRRIGATION EQUIPMENT AND PIPE PER IRRIGATION DETAILS SHEET LI-501 AND LI-502.

4. PRIOR TO COMMENCING WORK CONTRACTOR SHALL PROVIDE A 30-SCALE PLAN TO THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE SHOWING COMPLETE SYSTEM LAYOUT, SCHEDULE OF VALVES, VALVE SIZES, MAINLINE AND LATERAL PIPE SIZES, SLEEVE LOCATIONS AND SIZES, AND COMPLETE LEGEND WITH A LIST OF COMPONENTS.

5. THE CONTRACTOR PERFORMING THIS WORK SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERMITS NECESSARY FOR THE COMPLETION OF THE SYSTEM, EXCEPT THOSE SPECIFIED TO BE FURNISHED BY OTHERS. UNLESS OTHERWISE SPECIFIED OR INDICATED, THE CONSTRUCTION OF THE IRRIGATION SHALL INCLUDE THE FURNISHING, INSTALLING, AND TESTING OF ALL PIPE, FITTINGS, VALVES, HEADS, CONTROLLERS, WIRES, AIR RELEASE AND VACUUM VALVES, BACKFLOW PREVENTERS, AUTOMATIC DRAIN VALVES, MANUAL DRAIN VALVES, VALVE BOXES, AND ALL OTHER COMPONENTS PERTINENT TO THE DRAWINGS AND SPECIFICATIONS OF THIS SYSTEM. THE CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BORING, BACKFILLING, COMPACTING, CONCRETE POURING, ELECTRICAL WORK, WELDING, AND ANY OTHER WORK NECESSARY FOR THE COMPLETION OF THE PROJECT.

6. CONTRACTOR SHALL TEST AVAILABLE FLOW AND STATIC PRESSURE AND BASE DESIGN OFF OF THESE CONSTRAINTS., PRIOR TO SYSTEM INSTALLATION CONTRACTOR SHALL GAIN APPROVAL FROM LANDSCAPE ARCHITECT OF SYSTEM DESIGN AND COMPONENTS THROUGH SHOP DRAWINGS AND SUBMITTALS. CONTRACTOR SHALL BE LIABLE FOR ANY REWORK REQUIRED DUE TO INADEQUATE PRESSURE AT THE LAST HEAD OF ANY ZONE THAT CAUSES UNEVEN WATERING WITHIN THAT ZONE.

BACKFLOW PREVENTION

7. THE BACKFLOW PREVENTION DEVICE SHALL BE A REDUCED PRESSURE ASSEMBLY INSTALLED TO MEET ALL LOCAL CODES, AND REQUIREMENTS. BACKFLOW DEVICE AND PLACEMENT MUST COMPLY WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE. INSTALL WITH POWER AND HEAT TAPE IN INSULATED FIBERGLASS BOX. PROVIDE BALL DRAINS ON THE VERTICAL INLET AND OUTLET PIPES. CONTRACTOR SHALL INSTALL PER DETAIL G/LI-501.

IRRIGATION CONTROLLER

8. PROVIDE COMMERCIAL TYPE CONTROLLER WITH CAPACITY FOR MORE THAN 8 STATIONS AND FLOW SENSOR MODULE. LOCATE CONTROLLER BEHIND (SOUTH OF) OFFICE BUILDING. COORDINATE EXACT LOCATION W/ OWNER'S REPRESENTATIVE.

9. PROVIDE CONTROLLER AND COMPONENTS INSIDE OF METAL PEDESTAL MOUNT ENCLOSURE AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS AND THE DETAILS.

10. GROUND CONTROLLER AS PER MANUFACTURER'S INSTRUCTIONS.

BUBBLER COMPONENTS

11. BUBBLER EMITTERS SHALL BE LOW FLOW FULL CIRCLE TYPE AND PRESSURE COMPENSATING, 1/2" FIPT. INSTALLATION AT EACH PLANT SHALL BE PER DETAIL C&E/LI-502.

12. EACH TREE SHALL BE IRRIGATED WITH TWO (2) 1.0 GPM BUBBLERS PER 2" CALIPER OR LARGER TREE, AND (2) TWO 0.5 GPM BUBBLERS PER 15 GALLON OR 24" BOX TREE.

13. TREES AND SHRUBS MUST BE ZONED SEPARATELY. PLANT MATERIALS WITH NORTHERN AND EASTERN EXPOSURES SHALL BE ZONED SEPARATELY FROM THOSE WITH SOUTH AND WESTERN EXPOSURES IF LOCATED ADJACENT TO A BUILDING OR STRUCTURE.

DRIP COMPONENTS

11. POLY DRIP SUPPLY PIPING SHALL BE LOW DENSITY 3/4" POLYETHYLENE TUBING. DEPTH OF BURY SHALL BE 6". MAXIMUM RUN OF POLY PIPE SHALL BE 150 LINEAR FEET. MAXIMUM FLOW WITHIN A SECTION OF POLY PIPE SHALL BE 5 GPM. NO POLY PIPE SHALL BE INSTALLED UNDER PAVED AREAS. DISTRIBUTION TUBING SHALL BE 1/4" FLEXIBLE POLYVINYL TUBING. MAXIMUM LENGTH OF DISTRIBUTION TUBING SHALL BE EIGHT FEET. INSTALL END CAPS AND LOCATE IN VALVE BOXES. FLUSH ALL TUBING BEFORE INSTALLING ANY EMITTERS. END CAPS FOR POLY TUBING OR MULTI EMITTIER DEVICE IF USED SHALL BE PLACED IN 6" VALVE BOX FOR EASY LOCATION IN THE FIELD.

12. PRESSURE REGULATORS SHALL BE USED THROUGHOUT EACH DRIP ZONE TO MINIMIZE PRESSURE FLUCTUATIONS WITHIN THE ZONE. ALL PRESSURE REGULATIONS SHALL BE LOCATED IN A VALVE BOX. PRESSURE REGULATOR SHALL REDUCE OPERATING PRESSURE TO 30 PSI AT THE REQUIRED FLOW FOR EACH DRIP ZONE.

13. DRIP EMITTERS SHALL BE BARB INLET TYPE AND PRESSURE COMPENSATING. ONE 1/4" TUBING STAKE SHALL BE LOCATED AT EACH EMITTER TO HOLD IT IN PLACE.

14. EACH SHRUB SHALL BE DRIP IRRIGATED WITH PRESSURE COMPENSATING 2.0 GPH EMITTERS. PROVIDE (2) TWO PER SHRUB.

IRRIGATION VALVES AND EQUIPMENT

15. INSTALLATION FOR ALL VALVES PER IRRIGATION DETAILS SHEET LI-501 AND LI-502.

16. CONTRACTOR SHALL INSTALL A TRUE-UNION-TYPE ISOLATION BALL-VALVE BETWEEN THE BACKFLOW PREVENTION DEVICE AND ANY SUBSEQUENT EQUIPMENT ALONG THE MAINLINE.

17. CONTRACTOR SHALL INSTALL A MANUAL DRAIN AT LOW POINT OF MAINLINE AND LOW POINT OF LATERAL LINE FOR EACH ZONE.

18. CONTRACTOR SHALL INSTALL AN AIR RELEASE VALVE AT HIGH POINT OF MAINLINE.

19. CONTRACTOR SHALL INSTALL A MASTER VALVE BETWEEN THE ISOLATION VALVE AND ANY SUBSEQUENT EQUIPMENT ALONG THE MAINLINE.

20. CONTRACTOR SHALL INSTALL A BRASS TYPE FLOW SENSOR AND CONNECT TO IRRIGATION CONTROLLER PER MANUFACTURER SPECIFICATIONS. FLOW SENSOR SHALL BE SIZED TO MAXIMUM AND MINIMUM FLOW OF IRRIGATION SYSTEM RATHER THAN PIPE SIZE.

21. VALVES FOR USE IN ELECTRICALLY CONTROLLED AUTOMATIC CONTROL SYSTEMS SHALL BE DIAPHRAGM ACTIVATED AND HYDRAULICALLY OPERATED SOLENOID VALVES.

22. AUTOMATIC VALVES FOR DRIP ZONES SHALL BE GLOBE VALVE TYPE WITH FILTER AND PRESSURE REGULATOR. SIZE AS ZONE DEMAND REQUIRES WITH A MAXIMUM FLOW OF 15 GPM. PLACE EACH VALVE IN A FIBERGLASS VALVE BOX. VALVE BOX SHALL BE TAN IF LOCATED IN GRAVEL OR NATURAL LANDSCAPE AREAS.

23. AUTOMATIC VALVES FOR TREE BUBBLER ZONES SHALL BE GLOBE VALVE TYPE. SIZE AS ZONE DEMAND REQUIRES WITH A MAXIMUM FLOW OF 30 GPM. PLACE EACH VALVE IN A FIBERGLASS VALVE BOX. VALVE BOX SHALL BE TAN IF LOCATED IN GRAVEL OR NATURAL LANDSCAPE AREAS. INSTALL VALVE PER DETAIL

PIPES AND FITTINGS

24. ALL LATERAL PIPING SHALL BE SCHEDULE 40 PVC. LATERAL PIPE CONFIGURATION PER APPROXIMATE LAYOUT AS SHOWN ON THE PLAN SHEET LI-104.

25. ALL MAINLINE PLASTIC PIPE WHICH IS 2" OR SMALLER, SHALL BE SCHEDULE 40 PVC AND SHALL CONFORM TO ASTM D 1785. ALL MAINLINE PIPE WHICH IS LARGER THAN 2" DIAMETER SHALL BE PVC 1120 OR 1220 (SDR-PR) PIPE, SDR-21 WITH A 200 PSI PRESSURE RATING AND CONFORMING TO ASTM D 2241, WITH FLEXIBLE JOINTS CONFORMING TO ASTM D 3139 UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT. MAINLINE PIPE CONFIGURATION PER APPROXIMATE LAYOUT AS SHOWN ON THE PLAN SHEET LI-104.

26. ALL PIPING SHALL BE PLACED A MINIMUM OF 4' AND IDEALLY 10' FROM THE ROOT BALL OF EACH TREE. PIPE LAYOUT IN THE PLAN CONSIDERS THIS SPACING.

27. CONTRACTOR SHALL FURNISH AND INSTALL SUITABLE FITTINGS BETWEEN ALL PIPE AND COMPONENT CONNECTIONS.

DEPTH OF BURY

28. THERE SHALL BE MINIMUM OF 28" AND MAXIMUM OF 30" OF COVER FOR ALL CONSTANT PRESSURE MAINLINE. THERE SHALL BE A MINIMUM OF 18" AND MAXIMUM OF 20" COVER FOR ALL MAINLINE LOCATED DOWNSTREAM OF THE MASTER VALVE. THERE SHALL BE A MINIMUM OF 18" AND MAXIMUM OF 20" COVER FOR ALL LATERAL LINES.

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RPM TEAM
Kairos Power

STATE OF NEW MEXICO
ROBERT N. OBERDORFER
167
REGISTERED LANDSCAPE ARCHITECT
2/10/2023

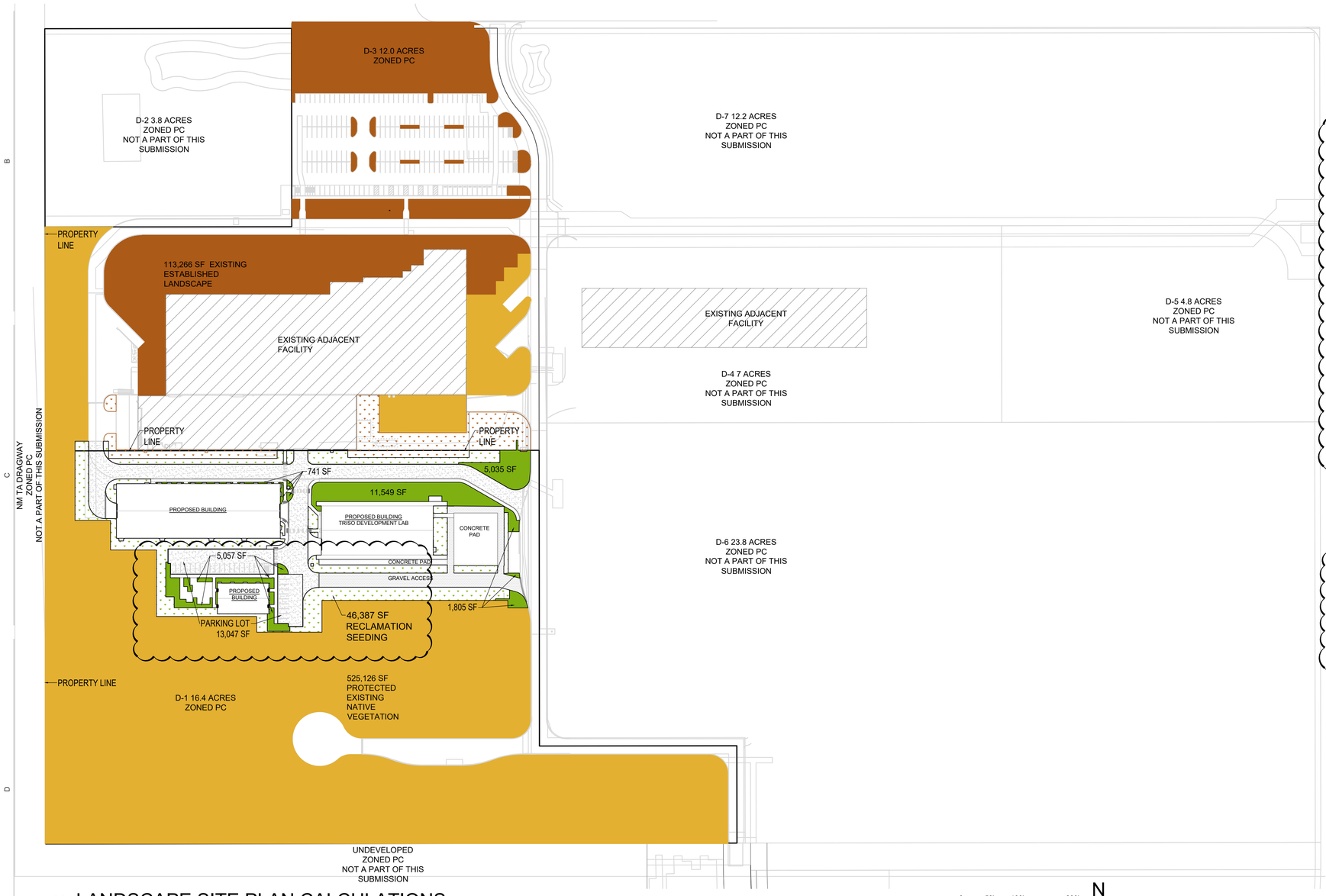
KAIROS POWER FACILITY EXPANSION

5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATION PARK II A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATION PARK #1 (CONT. 16.418 AC)

PROJECT NO.: 8000-22
DRAWN BY: WF
DATE: FEBRUARY 10, 2023

LANDSCAPE GENERAL NOTES

LP-100



A1 LANDSCAPE SITE PLAN CALCULATIONS
1" = 20'-0"

0 50' 100' 200'
SCALE: 1" = 100'

N

LEGEND LANDSCAPED AREA

- EXISTING ESTABLISHED LANDSCAPE AREAS TO REMAIN. 146,402 SQ. FT
- EXISTING RE-SEEDED AREAS TO REMAIN. 26,168 SQ. FT
- EXISTING NATIVE AREAS TO REMAIN. 515,126 SQ. FT
- NEW RE-SEEDED AREAS. 46,387 SQ. FT PROVIDED
- NEW IRRIGATED LANDSCAPE AREAS SURROUNDING THE BUILDING AND ENTRANCES. 24,188 SQ. FT PROVIDED.

COMPLIANCE WITH STANDARDS

LANDSCAPE PLAN MEETS 25' MIN SPACING REQUIREMENTS FOR STREET TREES (WITHIN 20' FROM BACK OF CURB) ALONG STREET FRONTAGES. ROAD RUNNING NORTH TO SOUTH ON THE EAST SIDE OF THE SITE IS A PRIVATE ACCESS ROAD, THEREFORE STREET TREES ARE NOT REQUIRED. LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, SECTION 6-1-1.

LANDSCAPE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE GENERAL LANDSCAPE REQUIREMENTS AND STREET TREE ORDINANCE, SECTION 14-16-3-10.

IDO 5-6 LANDSCAPING, BUFFERING AND SCREENING:
MINIMUM LANDSCAPE AREA 5-6(C)(2):
AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA. LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.
PLAN MEETS REQUIREMENTS OF IDO 5-6-G SCREENING OF MECHANICAL EQUIPMENT AND SUPPORT AREAS.

PER IDO 5-6(F) PARKING LOT REQUIREMENTS. 10% OF PARKING LOT INTERIOR IS LANDSCAPED. ONE (1) TREE PER 10 PARKING SPACES REQUIREMENT IS MET. NO MORE THAN 10 PARKING SPACES BETWEEN TREES REQUIREMENT IS MET (ONE EXCEPTION APPROVED BY REVIEWERS IS DESCRIBED IN NOTE ON SHEET LP-102). NO PARKING SPACE IS MORE THAN 100 FEET IN ANY DIRECTION FROM A TREE TRUNK. PER MDS 2.2.2(G)(V) WATER HARVESTING TRENCHES FOR SURFACE RUNOFF ARE PROVIDED TO CAPTURE WATER FROM THE PARKING LOT.

ALL PLANTING BEDS SHALL BE MULCHED WITH A 4" LAYER OF 3/4" ANGULAR GRAVEL OR ORGANIC MULCH. COLOR, TAN, AVAILABLE FROM BUILDOLOGY (PH# 505-344-6626), OR APPROVED EQUAL. ORGANIC MULCH SHALL COVER MORE THAN 25% OF MULCHED AREAS. ALL MULCH SHALL BE UNDERLINED WITH DEWITT PRO-5 28 MIL. FILTER FABRIC OR APPROVED EQUAL.
PER COA SECTION 1013 DRAINAGE PONDS SLOPE STABILIZATION AND SEEDING REQUIREMENTS HAVE BEEN MET IF APPLICABLE.

LANDSCAPE AREAS ADJACENT TO THE PUBLIC SIDEWALK SHALL BE DEPRESSED BIOSWALES AT 12"-16" BELOW ADJACENT GRADE FOR STORMWATER CATCHMENT.

ALL TREES IN THE PLAN ARE LISTED ON THE CITY OF ALBUQUERQUE OFFICIAL TREES LIST. RE-VEGETATION SEEDING PER SECTION 1030 SEED MIXES.

PLAN MEETS IDO 5-11(E)(3) REQUIREMENT TO PROVIDE AT LEAST ONE OUTDOOR SEATING AREA THAT IS A MINIMUM OF 500 S.F.

RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.

AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM HAS BEEN DESIGNED AND CONSTRUCTED FOR ALL EXISTING AND INSTALLED PLANT MATERIALS. TREES, SHRUBS, & GROUND COVERS WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM.

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167
REGISTERED LANDSCAPE ARCHITECT
2/10/2023

KAIROS POWER FACILITY
EXPANSION

5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATION PARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATION PARK II) CONT 16.4161 AC

LANDSCAPE
CONSTRUCTION DETAILS

PROJECT NO.: 8000-22
DRAWN BY: WF
DATE: FEBRUARY 10, 2023

LANDSCAPE
SITE PLAN
CALCS

LP-101

NEW DEVELOPMENT - PLANT AREA CALCULATIONS

VEGETATION - TREE	DIAMETER	AREA	QUANTITY	TOTAL AREA
Tree	70	3,847	0	0
	60	2,826	0	0
	50	1,963	0	0
	40	1,256	0	0
	30	707	0	0
	25	491	12	5888
	20	314	17	5338
	15	177	4	707
				11932

VEGETATION - SHRUB	DIAMETER	AREA	QUANTITY	TOTAL
Shrub	10	79	33	2591
	5	20	62	1216.75
	4	13	255	3202.8
	3	7	25	177
	2	3	437	1372
	1	1	0	0
				8559
TOTAL VEGETATIVE COVER				**20,491**

PARKING LOT ONLY - PLANT AREA CALCULATIONS

VEGETATION	DIAMETER	AREA	QUANTITY	TOTAL AREA
Tree	30	707	2	1413
	20	314	3	942
				2355
Shrub	10	79	4	314
	4	13	48	603
	2	3	79	248
1/2 of tree canopy counts toward understory				1177.5
				2342
TOTAL PARKING VEGETATIVE COVER				**4,697**

LANDSCAPE AREA CALCULATIONS

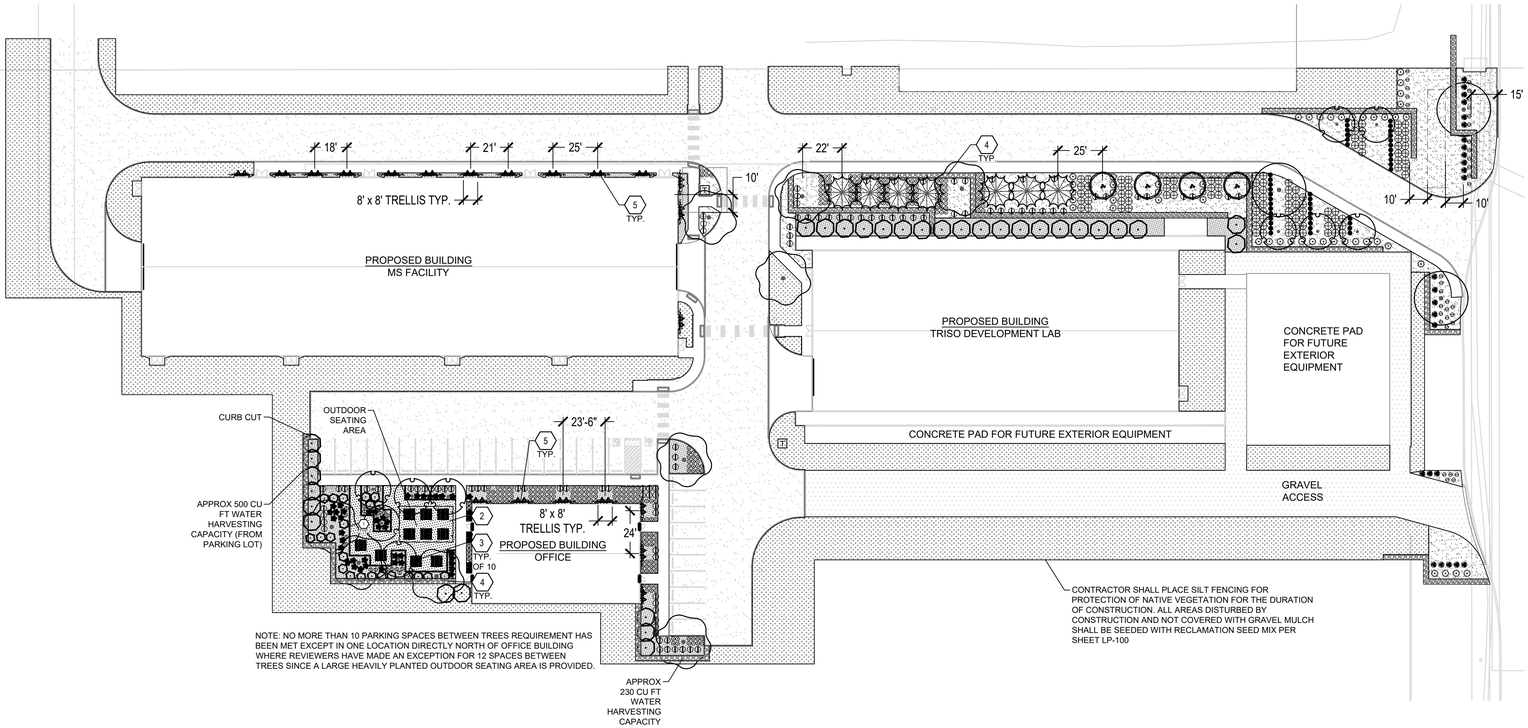
ITEM	SQFT	ACRE
Total Site Area	**1,238,750**	**28.44**
Gross Covered Area	211,435	4.85
Net Site Area	1,027,315	23.58
Landscape Area Required (15%)	154,097	3.54
Landscape Buffer Area Required	0	0.00
Total Landscape Area Required	**154,097**	**3.54**
Landscape Area Provided	170,430	3.91
Supplement seating areas (1/3)	1,981	0.05
Total Landscape Area provided	**172,411**	**3.96**
Landscaped Area Ratio to Site (Minimum of 15% required)	16.8%	
Total New Landscape Area provided Assumption: existing established landscape meets vegetative cover requirements	**24,188**	**0.56**
Total Required Vegetation Cover @ Maturity (75%)	18,141	0.42
Total Provided Vegetative Cover	**20,491**	**0.47**
Total Required Vegetation Cover with shrubs, groundcover, grasses (30%)	7,256	0.17
Total Provided Vegetative Cover shrubs etc.	**8,559**	**0.20**
Provided Cover Ratio to Proposed Landscape Area (Minimum of 75% required)	84.7%	
Parking Lot Paved Area	**13,047**	**0.30**
Total Landscape required in parking lot (15%)	1,957	0.04
Parking Lot Landscape Area provided	**2,746**	**0.06**
Landscaped Area Ratio to Parking lot (Minimum of 15% required)	21.0%	
Total Provided Vegetative Cover in parking lot	**4,697**	**0.11**
Total Required Vegetation Cover with shrubs, groundcover, grasses (60%)	1,174	0.03
Total Provided Vegetative Cover shrubs etc. Including 50% of tree canopy coverage	**2,342**	**0.05**
Provided Cover Ratio to Proposed Landscape Area in parking lot (Minimum of 75% required)	85.3%	

LEGEND

- 1" ANGULAR GRAVEL MULCH. 4" DEPTH. COLOR: AMARETTO BROWN, WITH DEWITT PRO-5 FILTER FABRIC.
- SHREDDED BARK MULCH. 4" DEPTH. 'NATIVE' BARK MULCH AVAILABLE FROM SOILUTIONS, WITH DEWITT PRO-5 FILTER FABRIC.
- STABILIZED CRUSHER FINES, COMPACTED TO 95% MOD PROCTOR DENSITY. 4" DEPTH. COLOR: TAN
- COBBLE WATER HARVESTING TRENCH. SEE DETAIL E/LP-501
- PERIPLOCA GRAECA (x2 PER PLANTER) SILK VINE (1 GAL, 20x20 (HT/SPRD) SEE DETAIL F/LP-501

KEYED NOTES

1. 6" X 6" CONCRETE EDGER CURB. SEE DETAIL C/LP-501
2. 20' X 30' STEEL MONOSLOPE SHELTER. MFR. POLIGON SLOPE @ 12/1, MULTI-RIB METAL ROOF WITH 8' MINIMUM CLEAR HEIGHT. SEE DETAIL G/LP-501
3. 6' ADA ACCESSIBLE STEEL PICNIC TABLE, RECYCLED PLASTIC.MODEL: DuMor "TABLE 298-60-2PL" INSTALLATION PER MANUFACTURER'S INSTRUCTIONS AND DETAIL D/LC-501.
4. COBBLE WATER HARVESTING TRENCH. SEE DETAIL E/LP-501
5. PLANTER AND TRELLIS PER ARCHITECT PLANS AND DETAIL F/LP-501
6. APPROXIMATE LOCATION OF EXISTING ELECTRICAL EQUIPMENT. ALL TREES AND SHRUBS SHALL BE FIELD LOCATED AT LEAST 10' FROM ALL EQUIPMENT. CONTRACTOR SHALL SHIFT PLANTING ROWS AND GROUPINGS TO KEEP WITH THE DESIGN WHERE EQUIPMENT CONFLICTS EXIST.



A1 LANDSCAPE PLANTING PLAN ENLARGEMENT
1" = 20'-0"

0 20' 40' 80'
SCALE: 1" = 40'

N

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	HT. & SPD.	CAL.
	CELTIS LAEVIGATA RETICULATA NETLEAF HACKBERRY	25` X 25`	2" CAL.
	CHILOPSIS LINEARIS DESERT WILLOW	20` X 20`	2" CAL.
	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER	30` X 20`	6` - 8` HT. B&B
	MALUS 'SPRING SNOW' SPRING SNOW CRAB APPLE	20` X 25`	2" CAL.
	VITEX AGNUS-CASTUS CHASTE TREE	15` X 15`	2" CAL.

SHRUBS	BOTANICAL / COMMON NAME	HT. & SPR.	SIZE
	ARTEMISIA FILIFOLIA SAND SAGEBRUSH	3` X 4`	5 GAL.
	CERCOCARPUS LEDIFOLIUS CURL-LEAF MOUNTAIN MAHOGANY	12` X 10`	5 GAL.
	CHAMAEBATIARIA MILLEFOLIUM FERNBUSH	5` X 5`	5 GAL.
	PENSTEMON PINIFOLIUS PINELEAF PENSTEMON	1` X 2`	1 GAL.
	SALVIA DORRII DESERT SAGE	2` X 3`	1 GAL.
	TEUCRIUM CHAMAEDRYS GERMANDER	1` X 2`	1 GAL.
	BOUTELOUA CURTIPENDULA SIDE OATS GRAMA	3` X 2`	1 GAL.
	MUHLENBERGIA RIGENS DEER GRASS	4` X 4`	1 GAL.
	NOLINA MICROCARPA SACAHUISTA	6` X 4`	1 GAL.
	NOLINA TEXANA TEXAS SACAHUISTA	2` X 2`	1 GAL.

SOD/SEED	BOTANICAL / COMMON NAME	SIZE	
	RECLAMATION SEED MIX PER CITY OF ABQ SECTION 1013, GRAVELY UPLANDS AND SLOPES SEE LP-100	SEED	46,758 SF

SEE PLANTING DETAILS A&B LP-501

SITES SOUTHWEST
1200 CENTRAL AVE. SW, STE. B
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PHONE: (505) 822-8200
MAIL: MAIL@SITES-SW.COM

RPM TEAM
Kairos Power

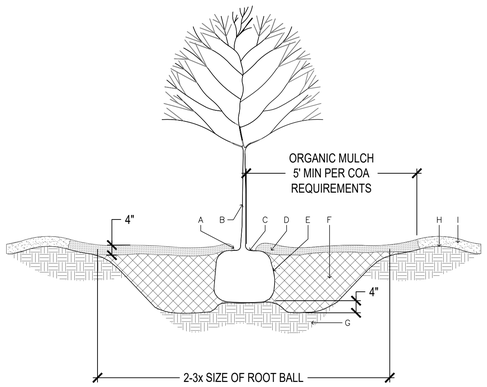
STATE OF NEW MEXICO
ROBERT N. OBERDORFER
167
REGISTERED LANDSCAPE ARCHITECT
2/10/2023

KAIROS POWER FACILITY
EXPANSION

5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATION PARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATION PARK) (CONT. 18.45 AC)

PROJECT NO.: 8000-22
DRAWN BY: WF
DATE: FEBRUARY 10, 2023

LANDSCAPE PLANTING PLAN ENLARGEMENT
LP-102



CONSTRUCTION NOTES:

A. MULCH SHALL BE HELD BACK 2" FROM TREE TRUNK.

B. TREE LOCATION AND SPECIES AS PER PLAN. A MINIMUM SETBACK OF 18" FROM THE TRUNK TO THE FACE OF CURB ALONG THE ROADWAY IS REQUIRED FOR ALL STREET TREES.

C. REMOVE EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE 2"-3" ABOVE GRADE.

D. 4" DEPTH NATIVE BARK MULCH.

E. PLACE TREE IN HOLE TO STRAIGHTEN. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.

F. BACKFILL WITH 1/4 PART (BY VOLUME) PLANTING SOIL MIXTURE (FROM WESTERN ORGANICS/GRO-WELL OR APPROVED EQUAL) AND 3/4 PART (BY VOLUME) EXISTING CLEAN SOIL. THOROUGHLY MIX BACKFILL PRIOR TO INSTALLATION.

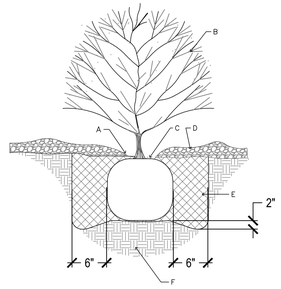
G. UNDISTURBED NATIVE SOIL.

H. 4" DEPTH WATER RETENTION BASIN AT EXCAVATION LIMIT.

I. MULCH PER PLAN

A ISOLATED TREE PLANTING

NOT TO SCALE



CONSTRUCTION NOTES:

A. MULCH SHALL BE FEATHERED TO A 2" DEPTH ON TOP OF ROOT BALL AND SHALL BE HELD BACK 2" FROM SHRUB STEM(S).

B. SHRUB LOCATION AND SPECIES AS PER PLAN

C. PLANT WITH TOP OF ROOT BALL FLUSH WITH SUB-GRADE (BOTTOM OF MULCH).

D. 4" DEPTH MULCH THROUGHOUT SHRUB BED UNLESS OTHERWISE NOTED

E. BACKFILL WITH 1/4 PART (BY VOLUME) PLANTING SOIL MIXTURE (PER STANDARD COA SPECIFICATIONS) AND 3/4 PART (BY VOLUME) EXISTING SOIL. THOROUGHLY MIX BACKFILL PRIOR TO INSTALLATION.

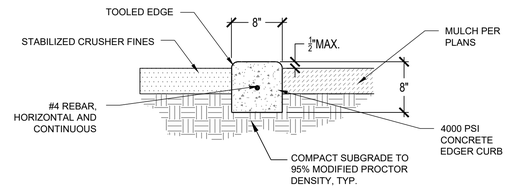
F. UNDISTURBED NATIVE SOIL.

B ISOLATED SHRUB PLANTING

NOT TO SCALE

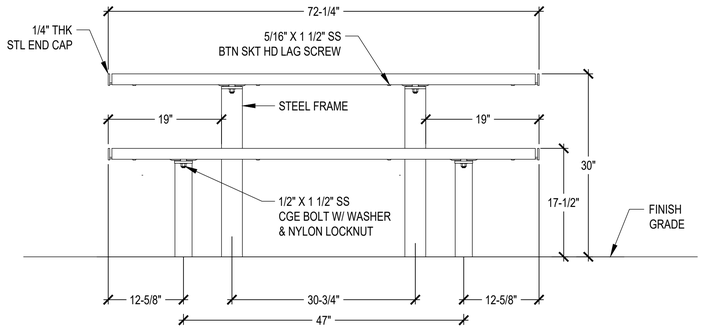
NOTE:

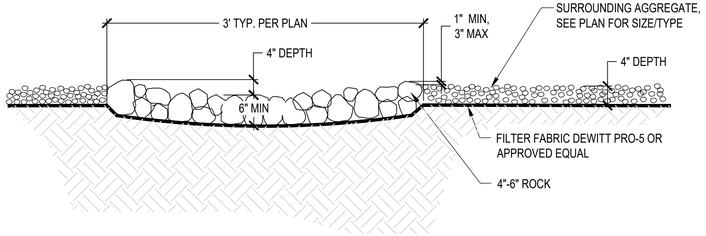
CONTROL JOINTS TO BE PLACED AT 5' O.C.
EXPANSION JOINTS TO BE PLACED AT 20' O.C.

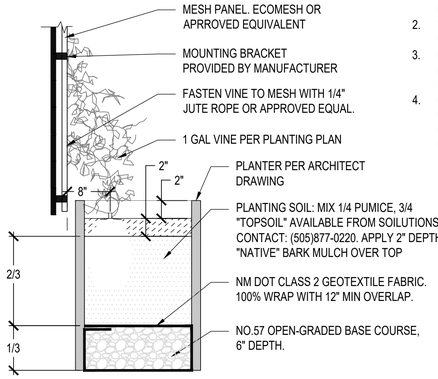


C CONCRETE EDGER CURB

NOT TO SCALE

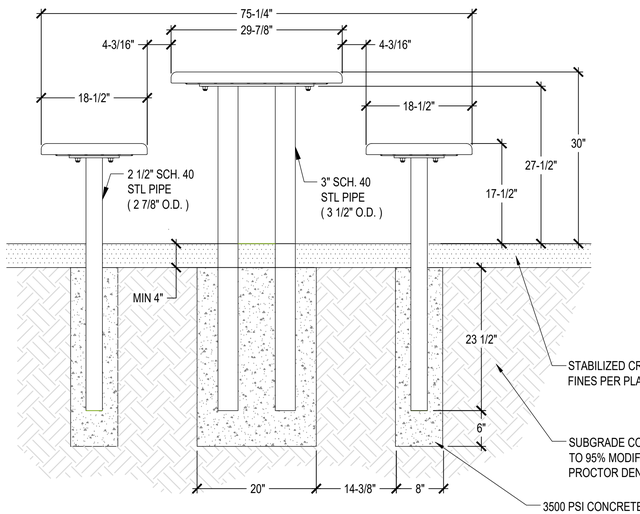






NOTE:

1. PANEL SHOULD BE CENTERED ON PLANTER.
2. WALL-MOUNTED INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.
3. MFR: McNICHOLS (WWW.MCNICHOLS.COM) MODEL: 34EM033548
4. COLOR: POWDER-COATED RAL: 8017 OR APPROVED EQUAL PROVIDE COLOR SAMPLES FOR SELECTION BY OWNER'S REPRESENTATIVE.



D PICNIC TABLE INSTALLATION

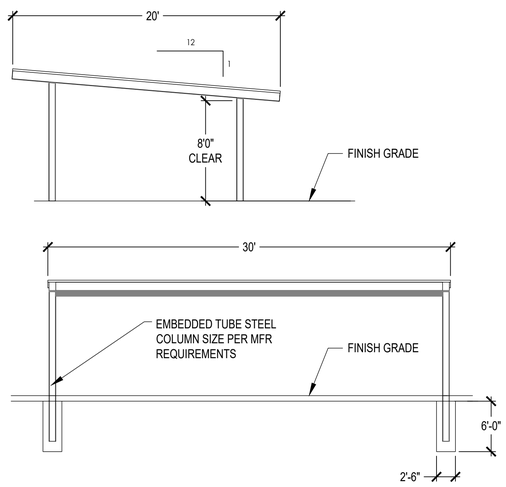
NOT TO SCALE

E LANDSCAPE COBBLE WATER HARVESTING TRENCH

NOT TO SCALE

NOTES:

1. MFR: DUMOR
2. ADA ACCESSIBLE MODEL: 298-60-2PL
3. IN GROUND MOUNT
4. RECYCLED PLASTIC SLATS, COLOR: REDWOOD
5. ALL STEEL MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POWDER COATING. COLOR: WHITE
6. 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS

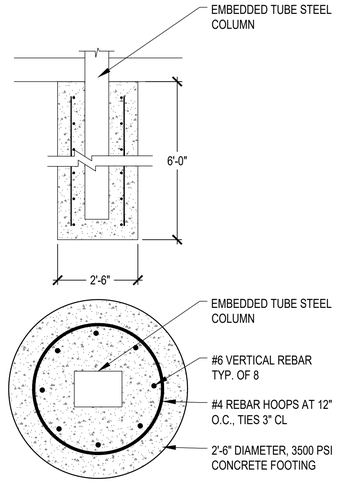


G 20' X 30' SHADE STRUCTURE INSTALLATION

NOT TO SCALE

F INSTALLATION VINES @ PLANTER AND TRELLIS

NOT TO SCALE



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602 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM
Kairos Power

STATE OF NEW MEXICO
ROBERT N. OBERDORFER
167
REGISTERED LANDSCAPE ARCHITECT
2/10/2023

SITES SOUTHWEST
1700 CENTRAL AVE. SW, STE. B
ALBUQUERQUE, NM 87104
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PERMIT REVIEW DOCUMENTS

KAIROS POWER FACILITY
EXPANSION

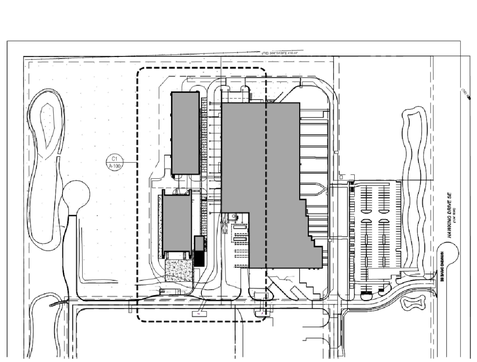
5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 16.416 AC

LANDSCAPE
CONSTRUCTION DETAILS

PROJECT NO.: 8000-22
DRAWN BY: WF
DATE: FEBRUARY 10, 2023

LP-501

KAIROS POWER FACILITY CIVIL PLANS
5201 HAWKING DR, ALBUQUERQUE, NM 87106



1 VICINITY MAP

Scale: NTS

GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF ALBUQUERQUE, NEW MEXICO STANDARD PLANS AND SPECIFICATIONS..
2. EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY THE OWNER FROM A PREVIOUS PROJECT DATED SEPTEMBER 2020. CONTRACTOR SHALL VERIFY SITE CONDITIONS.
3. LOCATION OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY LOCATION BY OBTAINING UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. EXERCISE CAUTION DURING EXCAVATION.
4. VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. RECORD LOCATION AND CHANGES TO UTILITIES IN SURVEY NOTES AND ON AS-BUILD DRAWINGS.
5. ELEVATION POINTS SHOWN ARE BASED ON NAVD88 DATUM.
6. RESTORE ALL DISTURBED PROPERTY OUTSIDE OF WORK LIMITS TO ORIGINAL CONDITIONS AND/OR IN ACCORDANCE WITH COUNTY OF SACRAMENTO STANDARDS..
7. THE CONTRACTOR SHALL FOLLOW ALL CITY OF ALBUQUERQUE REGULATION FOR NOISE HOURS OF OPERATIONS AND DUST CONTROL.
8. WATER RESULTING FROM CONTRACTOR'S DEWATERING EFFORT, IF ANY, MAY NOT BE PUMPED OF OTHERWISE DIVERTED INTO EXISTING STORM DRAINS UNLESS PERMITS ARE OBTAINED BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO, THOSE REQUIRED BY CITY STORM WATER PLAN REVIEW OFFICE. UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE ALLOWED TO DIVERT WATER FROM AN EXCAVATION ONTO ROADWAYS., CONTRACTOR SHALL PROVIDE A DISPOSAL SITE FOR EXCESS WATER AND SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL PROVIDE COPIES OF NECESSARY PERMITS AND APPROVALS TO THE MOA RIGHT OF WAY PERMIT OFFICE.
9. KEEP SITE FREE OF CLUTTER.
10. MINIMIZE OFF-SITE VEHICLE TRACKING OF SEDIMENTS. SWEEP SITE ENTRANCE AND EXIT DURING CONSTRUCTION WHEN SOILS ACCUMULATE TO DEPTHS GREATER THAN ONE-FOURTH INCH. WATER EXPOSED SOILS AS NECESSARY TO CONTROL GENERATION OF DUST. CONSTRUCTION ACTIVITIES SHALL BE MONITORED ON A DAILY BASIS TO DETERMINE IF TRACKING OF DIRT AND DEBRIS ONTO THE ADJACENT ROADWAYS HAS OCCURRED. ANY NECESSARY CLEANUP SHALL BE ACCOMPLISHED ON A DAILY BASIS.
11. REVISIONS THAT ALTER THE REVIEWED AND APPROVED DESIGN INTENT REFLECTED IN THIS SET OF SIGNED CONSTRUCTION DRAWINGS MUST BE SUBMITTED TO CITY DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. ADJUSTMENTS NECESSARY TO ACCOMMODATE FIELD CONDITIONS MAY BE MADE IF SUCH ADJUSTMENTS ARE WITHIN THE SCOPE OF THE DESIGN INTENT AND ARE APPROVED BY THE ENGINEER OF RECORD.
12. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR PRECISE LOCATIONS OF ALL STRUCTURES.
13. CONTRACTOR SHALL REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR SIZES AND TYPES OF UTILITY CONNECTIONS.
14. ALL MEANS AND METHODS OF CONSTRUCTION ARE AT THE DISCRETION OF THE CONTRACTOR.
15. ALL EARTHWORK SHORING AND STRUCTURAL SHORING IS BY CONTRACTOR.

LEGEND

TP:NAVD88	TOP OF PAVEMENT ELEVATION POINT
BW:NAVD88	BACK OF WALK ELEVATION POINT
TC:NAVD88	TOP OF CURB ELEVATION POINT
FL:NAVD88	FLOW LINE ELEVATION POINT
	NEW GRADNIG CONTOUR
	EXISTING ELEVATION POINT TO REMAIN
	EXISTING CONTOUR TO REMAIN
	ELECTRICAL CONDUIT – SEE MEP PLANS FOR SIZES
	NEW WATER LINE SEE MEP PLANS FOR ADDITIONAL INFO
	NEW SEWER LINE
	SEWER CLEANOUT
	LIGHT POLE

SHEET INDEX

Greenbox Architecture
502 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

PROFESSIONAL ENGINEER STATE OF NEW MEXICO
DMITRIY LASHKEVICH
Exp : 12.31.2023
CIVIL
NO. 028082

DIEGO A. GOMEZ
NEW MEXICO
19357
2-12-22
PROFESSIONAL ENGINEER

KAIROS POWER FACILITY EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 16.4161 AC

EXISTING CONDITIONS

PROJECT NO.: 8800-22
DRAWN BY:
DATE: 7.2.2022

COVER

MESA DEL SOL
INNOVATION PARK II
FILED: AUGUST 7, 2008
(BK. 2008C, PG. 175)

EXISTING CONDITION

SCALE: 1" = 40'

C1

NOTE: EXISTING UNDERGROUND UTILITIES ARE NOT SHOWN ON THIS SHEET. REFER TO UTILITY PLANS ON SHEETS UT1 THROUGH UT7.

SCHEMATIC DESIGN PHASE

Greenbox Architecture
502 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

DIEGO A. GOMEZ
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19357
PROFESSIONAL ENGINEER
2-12-23

DMITRIY LASHKEVICH
Exp : 12.31.2023
CIVIL
No. 028082
PROFESSIONAL ENGINEER
STATE OF NEW MEXICO

KAIROS POWER FACILITY EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATION PARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATION PARK III) CONT 16.4161 AC

EXISTING CONDITIONS

PROJECT NO.: 8800-22
DRAWN BY:
DATE: 10.8.2022

C1

EXISTING FF=5302.07

EXISTING FF=5302.07

COMPACTOR MOTOR

SILT:1.6

PROPOSED BUILDING
MS FACILITY

FF: 5300.55

PROPOSED BUILDING
TRISO DEVELOPMENT LAB

FF: 5300.90

CONCRETE PAD FOR FUTURE EXTERIOR EQUIPMENT

CONCRETE PAD FOR FUTURE EXTERIOR EQUIPMENT

FF: 5301.50

PREFAB. SD. FITTING

DRAIN INLET
TOD: 5299.60'
INV 5295.00'

DRAIN INLET
TOD: 5299.00'
INV 5297.00'

DRAIN INLET
TOD: 5299.20'
INV 5297.50'

DRAIN INLET
TOD: 5299.58'
INV 5293.00'

DRAIN INLET
TOD: 5299.90'
INV 5290.60'

8" SCH 40 PVC 1% MIN

10" PVC

12" SCH 40 PVC 1% MIN SLOPE

LIMITS OF GRADING

EXISTING RETENTION POND

3" HIGH BARBWIRE FENCE

APPROXIMATE PL

FOUND 1.25" PLASTIC CAP STAMPED "PHILLIPS PS 15517"

BH 21 099 01
SET 2" ALUMINUM CAP
STAMPED "BH 210901"
N=1458344.579
E=1455442.655
ELEV=5298.32

FOUND 1.25" NAIL WITH WASHER STAMPED "PS 15517"

EXISTING 20' PERMANENT PRIVATE UTILITY EASEMENT

EXISTING 20' WATERLINE EASEMENT GRANTED TO ABCWUA FILED: JANUARY 5, 2018 (DOC# 2018001454)

EXISTING PNM EASEMENT FILED: OCTOBER 16, 2008 (DOC #20081133431)

EXISTING 30' PERMANENT PRIVATE ACCESS EASEMENT FILED: DECEMBER 29, 2017 (BK: A50, PG: 299) SEE NOTE NO. 7

EXISTING PNM EASEMENT FILED: OCTOBER 16, 2008 (DOC #20081133431)

DIRT ROAD

PATH

LIGHTING PULL BOX

LIGHTING PULLBOX

CONC. DRIVE WAY

CONC. SIDEWALK

LANDSCAPING PER LANDSCAPE ARCHITECTURAL PLANS

N WATER HARVESTING TRENCH PER LANDSCAPE ARCHITECT

CLEARING AND GRUBBING :

A. THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION. ALL EXISTING PUBLIC IMPROVEMENTS SHALL BE PROTECTED. ANY IMPROVEMENT DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LOCAL JURISDICTION WITH NO EXTRA COMPENSATION.

B. IF APPLICABLE, ALL ABANDONED BUILDING AND FOUNDATIONS, TREE (EXCEPT THOSE SPECIFIED TO REMAIN FOR LANDSCAPING PURPOSE), FENCES, VEGETATION AND ANY SURFACES DEBRIS SHALL BE REMOVED AND DISPOSED OFF THE SITE BY THE CONTRACTOR.

C. IF APPLICABLE, ALL ABANDONED SEPTIC TANK AND ANY OTHER SUBSURFACE STRUCTURE EXISTING IN PROPOSED DEVELOPMENT AREAS SHALL BE REMOVED PRIOR TO ANY GRADING OR FILL OPERATION. ALL APPURTENANT DRAIN FIELDS AND OTHER CONNECTING LINES MUST ALSO BE TOTALLY REMOVED.

D. IF APPLICABLE, ALL ABANDONED UNDERGROUND IRRIGATION OR UTILITY LINES SHALL BE REMOVED OR DEMOUSHED. THE APPROPRIATE FINAL DISPOSITION OF SUCH LINES DEPEND UPON THEIR DEPTH AND LOCATION AND THE METHOD OF REMOVAL OR DEMOLITION SHALL BE DETERMINED BY THE SOIL ENGINEER. ONE OF THE FOLLOWING METHODS WILL BE USED;

1. EXCAVATE AND TOTALLY REMOVE UTILITY LINE FROM THE TRENCH.
2. EXCAVATE AND CRUSH THE UTILITY LINE IN THE TRENCH.
3. CAP THE ENDS OF THE UTILITY LINE WITH CONCRETE TO PREVENT THE ENTRANCE OF WATER. THE LOCATIONS AT WHICH THE UTILITY LINE WILL BE CAPPED WILL BE DETERMINED BY THE UTILITY DISTRICT ENGINEER. THE LENGTH OF THE CAP SHALL NOT BE LESS THAN FIVE FEET AND THE CONCRETE MIXED EMPLOYED SHALL HAVE MINIMUM SHRINKAGE.

EXCAVATION/TRENCHING :

A. UPON COMPLETION OF THE SITE PREPARATION, THE CONTRACTOR SHALL MAKE EXCAVATION TRENCHING FOR UTILITIES IN ACCORDANCE WITH THE CIVIL UTILITY PLANS, MEP PLANS, ALL FILL AND TRENCH RESTORATION SHALLBE IN ACCORDANCE WITH THE SOILS REPORT,BY GEOTEST INC., ROBERT D BOOTH.

SEASONAL LIMITS AND DRAINAGE CONTROL :

FILL MATERIAL SHALL NOT BE PLACED, SPREAD OR COMPACTED WHILE IT IS AT AN UNSUITABLY HIGH MOISTURE CONTENT OR DURING OTHERWISE UNFAVORABLE CONDITIONS. WHEN THE WORK IS INTERRUPTED FOR ANY REASON THE FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TEST PERFORMED BY THE SOILS ENGINEER INDICATE THAT THE MOISTURE CONDITIONS IN AREAS TO BE FILLED ARE AS PREVIOUSLY SPECIFIED. ALL EARTH MOVING AND WORKING OPERATIONS SHALL BE CONTROLLED TO PREVENT WATER FROM RUNNING INTO EXCAVATED AREAS. ALL EXCESS WATER SHALL BE PROMPTLY REMOVED AND THE SITE KEPT DRY.

DUST CONTROL :

THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY FOR THE ALLEVIATION OR PREVENTION OF ANY DUST NUISANCE ON OR ABOVE THE SITE CAUSED BY THE CONTRACTOR'S OPERATION EITHER DURING THE PERFORMANCE OF THE GRADING OR RESULTING FROM THE CONDITION IN WHICH THE CONTRACTOR LEAVES THE SITE. THE CONTRACTOR SHALL ASSUME ALL LIABILITY INCLUDING COURT COST OF CO-DEFENDANTS FOR ALL CLAIMS RELATED TO DUST OR WIND-BLOWN MATERIALS ATTRIBUTABLE TO HIS WORK. COST FOR THIS ITEMS OF WORK IS TO BE INCLUDED IN THE EXCAVATION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

INDEMNITY :

THE CONTRACTOR WILL HOLD HARMLESS, INDEMNITY AND DEFEND THE ENGINEER, THE OWNER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS,FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGE ARISING OR ALLEGED TO HEREIN, BUR NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS.

SAFETY :

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEERS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

LEGEND

- TP/TG/NAVD88 — NEW TOP OF PAVEMENT OR TOP OF GRADE ELEVATION POINT
- BW/NAVD88 — NEW BACK OF WALK ELEVATION POINT (IF E IS INDICATED WF)
- TC/NAVD88 — NEW TOP OF CURB ELEVATION POINT (IF E IS INDICATED WF)
- FL/NAVD88 — NEW FLOW LINE ELEVATION POINT (IF E IS INDICATED WF)
- NEW GRADING CONTOUR
- EXISTING ELEVATION POINT TO REMAIN
- EXISTING CONTOUR TO REMAIN
- NEW ELEVATION CONTOUR
- NEW DRAINAGE CONDUIT PVC SCH 40, SIZE PER PLAN.
- NEW DRAINAGE INLET 24"x24"x36"D.

GRADING AND DRAINAGE KEYED NOTES

1. PARKING TO ASPHALT ROAD . SEE DETAIL 1 ON SHEET C7.
2. DRAINAGE CONDUIT SEE DETAILS 12 & 13 ON C8.
3. DRAINAGE INLET DETAIL 15, C8.
4. ASPHALT ROAD DETAIL 7 ON SHEET C7
5. GRAVEL ROAD DETAIL 8 ON SHEET C7
6. CONCRETE SIDEWALK DETAIL 10 ON SHEET C7. FOR THE CURB REFER TO DETAIL 11 ON C7.

DIEGO A. GOMEZ — NEW MEXICO — 19357 — PROFESSIONAL ENGINEER — 2-12-22

GRADING AND DRAINAGE PLAN

C2

SCALE: 1" = 40'

N

SCHEMATIC DESIGN PHASE

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502 SEVENTH STREET, SUITE 203
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RPM TEAM

PROFESSIONAL ENGINEER — STATE OF NEW MEXICO — DMITRIY LASHKEVICH — Exp : 12.31.2023 — CIVIL — NO 022808

KAIROS POWER FACILITY
EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATION PARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATION PARK II) CONT 16.4161 AC

GRADING & DRAINAGE PLAN

PROJECT NO.: 8800-22
DRAWN BY:
DATE: 7.2.2022

C2

TC: 5300.45'
FL: 5299.75'

TC: 5300.45'
FL: 5299.85'

TC: 5300.40'
FL: 5299.60'

FL: 5299.70'

DRAIN INLET
TOD: 5299.60'
INV 5295.00'

TG: 5299.75'

TC: 5300.00'
FL: 5299.40'

BW: 5300.50'

BW: 5300.50'

BW: 5300.50'

BW: 5300.50'

TG: 5299.75'

TG: 5299.70'

TG: 5299.75'

PROPOSED BUILDING
MS FACILITY

DIEGO A. GOMEZ
NEW MEXICO
19357
2-12-22
PROFESSIONAL ENGINEER

FF: 5300.55

TG: 5300.55'

SEE ABBREVIATION LEGEND C2

TG: 5300.55'

CONCRETE DRIVEWAY 9/C7

CONC. DRIVEWAY 9/C7
2% SLOPE MAX

TG: 5300.00'

TG: 5300.00'

BW: 5300.35'

TG: 5300.55'
SLOPE PAD 2% AWAY FROM STR

TG: 5300.55'
SLOPE PAD 2% AWAY FROM STR

TG: 5300.55'
SLOPE PAD 2% AWAY FROM STR

TG: 5300.00'

TG: 5300.00'

TG: 5300.00'

TG: 5299.70'

TG: 5299.80'

TG: 5299.60'

TG: 5299.60'

TG: 5300.25'

TG: 5299.50'

TW: 5300.05'

TW: 5300.05'

TG: 5299.80'

TG: 5299.85'

TG: 5299.95'

TG: 5299.85'

TG: 5300.65'

NO PARKING

TC: 5300.60'
FL: 5300.10'

TC: 5300.70'
FL: 5300.20'

TC: 5300.80'
FL: 5300.50'

BW: 5300.70'

TC: 5300.80'
BW: 5300.90'

6" CURB

6" CURB

TG: 5301.00'

TG: 5300.05'

TG: 5300.80'

TG: 5300.00'

TG: 5301.70'

8" CURB

NOTE: TOPOGRAPHIC CONTOURS ARE NOT SHOWN ON THIS PLAN BECAUSE THE ELEVATION CHANGE IS SLIGHTLY OVER 1'. FOR ELEVATION CONTOURS AND LIMITS OF GRADING REFER TO C2.

R HARVESTING TRENCH PER LANDSCAPE ARCHITECT

C3 FINE GRADING PLAN 1

SCALE: 1" = 10'

N

Greenbox Architecture
502 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

PROFESSIONAL ENGINEER
OREGON
DMITRIY LASHKEVICH
Exp : 12.31.2023
CIVIL
No. 028063

KAIROS POWER FACILITY EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 16.4161 AC

FINE GRADING PLAN 1

PROJECT NO.: 8800-22
DRAWN BY:
DATE: 7.2.2022

C3

BW: 5299.60'
TC: 5299.50'
FL: 5299.00'

BW: 5299.90'
TC: 5299.81'
FL: 5299.31'

BW: 5300.35'
TC: 5300.30'
FL: 5299.80'

FL: 5300.00'

DRAIN INLET
TOD: 5299.00'
INV 5297.00'

TG: 5300.90'

TG: 5300.90'

TG: 5300.90'

TG: 5300.40'

PROPOSED BUILDING
TRISO DEVELOPMENT LAB

FF: 5300.90

NOTE: TOPOGRAPHIC CONTOURS ARE NOT SHOWN ON THIS PLAN BECAUSE THE ELEVATION CHANGE IS SLIGHTLY OVER 1'. FOR ELEVATION CONTOURS AND LIMITS OF GRADING REFER TO C2.

SEE ABBREVIATION LEGEND C2

CONC. DRIVEWAY 9/C7

DRIVEWAY 9/C7

TG: 5301.90'

TG: 5301.60'

TG: 5301.90'

CONCR
FUTUR
EQUIPI

TG: 5300.10'

TG: 5300.90'

CONCRETE PAD FOR FUTURE EXTERIOR EQUIPMENT

TG: 5300.80'

TG: 5300.90'

TG: 5299.90'

TG: 5299.50'

TG: 5299.90'

C4 FINE GRADING PLAN 2
SCALE: 1" = 10'

SCHEMATIC DESIGN PHASE

DIEGO A. GOMEZ
NEW MEXICO
19357
2-12-23
PROFESSIONAL ENGINEER

DMITRIY LASHKEVICH
PROFESSIONAL ENGINEER STATE OF NEVADA
Exp : 12.31.2023
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Greenbox Architecture
502 SEVENTH STREET, SUITE 203
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KAIROS POWER FACILITY
EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 16.4161 AC

FINE GRADING PLAN 2

PROJECT NO.: 8800-22
DRAWN BY:
DATE: 7.2.2022

C4

NOTE: TOPOGRAPHIC CONTOURS ARE NOT SHOWN ON THIS PLAN BECAUSE THE ELEVATION CHANGE IS SLIGHTLY OVER 1'. FOR ELEVATION CONTOURS AND LIMITS OF GRADING REFER TO C2.

TG: 5299.60'
TG: 5299.50'
TG: 5299.60'
TG: 5299.80'
TG: 5299.85'
TG: 5299.95'
TG: 5299.85'
TG: 5300.65'
TG: 5300.25'
TW: 5300.05'
TW: 5300.05'

TC: 5300.60'
FL: 5300.10'
BW: 5300.70'
TC: 5300.70'
FL: 5300.20'
TC: 5300.80'
FL: 5300.50'
TC: 5300.80'
BW: 5300.90'
NO PARKING
6" CURB
6" CURB
TG: 5300.80'
TG: 5301.00'
TG: 5300.05'
TG: 5300.00'
TG: 5301.70'
TG: 5301.70'
TG: 5301.50'
TG: 5301.50'
FF: 5301.50
6" CURB
TG: 5301.40'
TG: 5301.50'
BW: 5300.55
TC: 5300.50'
FL: 5300.00'
TG: 5301.30'
BW: 5300.35
TC: 5300.30'
FL: 5299.80'
LANDSCAPING PER LANDSCAPE ARCHITECTURAL PLANS
N WATER HARVESTING TRENCH PER LANDSCAPE ARCHITECT

DIEGO A. GOMEZ NEW MEXICO 19357 PROFESSIONAL ENGINEER 2-12-23

DRT
GS 5298.67' DRT
N WATER HARVESTING TRENCH PER LANDSCAPE ARCHITECT

GS 5298.54' DRT
GS 5298.08' DRT
GS 5299.30' DRT
GS 5301.86' DRT
GS 5298.54' DRT
GS 5299.11' DRT
GS 5301.32' DRT

5299
5299
5300
5300

C3 FINE GRADING PLAN 3
SCALE: 1" = 10'

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RPM TEAM

PROFESSIONAL ENGINEER STATE OF NEVADA
DMITRIY LASHKEVICH
Exp : 12.31.2023
CIVIL
No. 028092

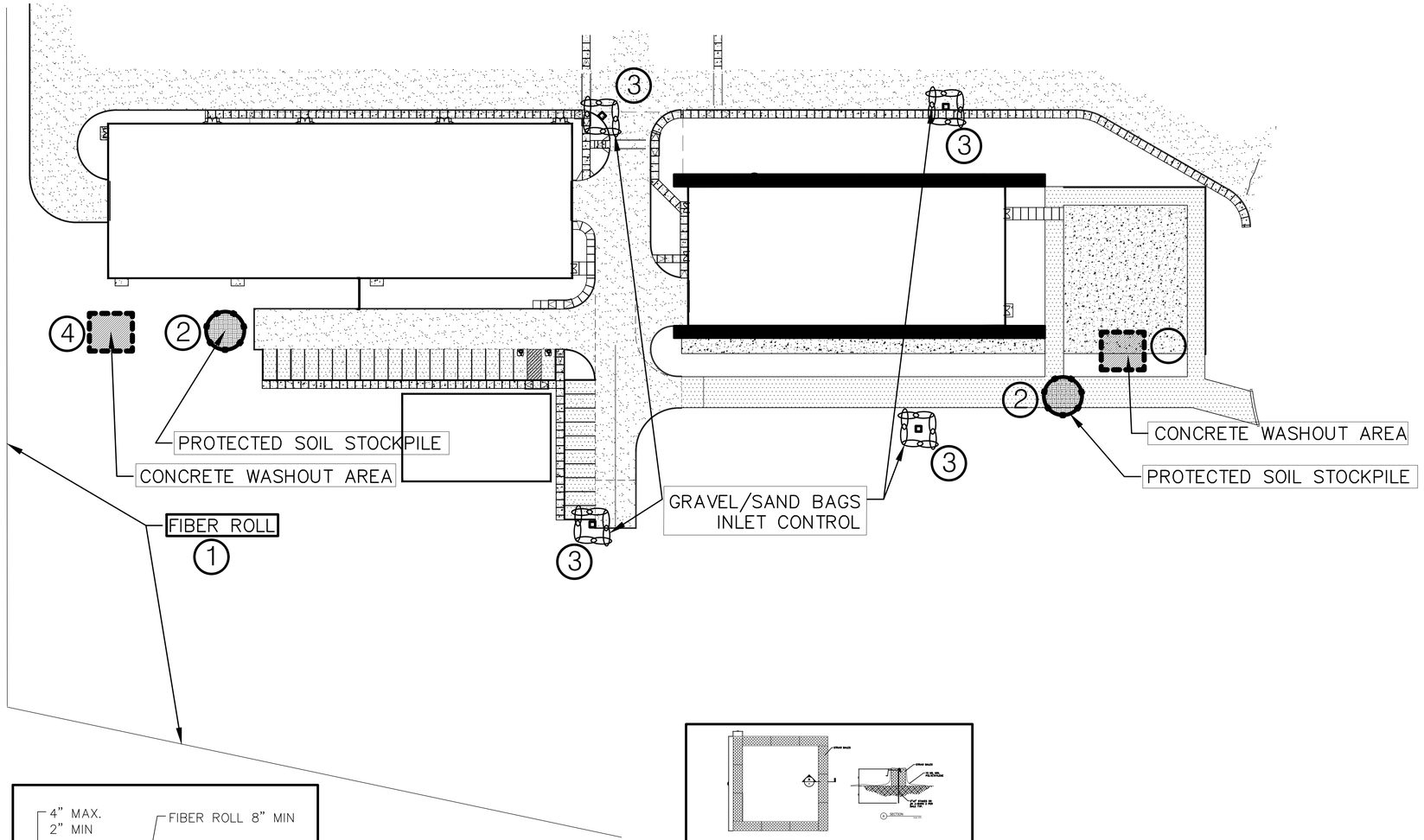
KAIROS POWER FACILITY
EXPANSION

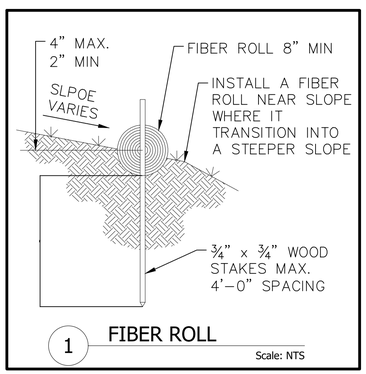
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK III) CONT 16.4161 AC

FINE GRADING PLAN 3

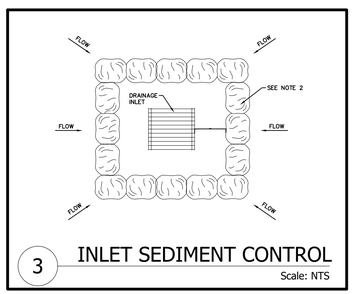
PROJECT NO.: 8800-22
DRAWN BY:
DATE: 7.2.2022

C5

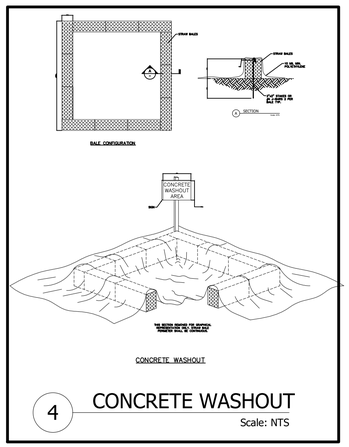




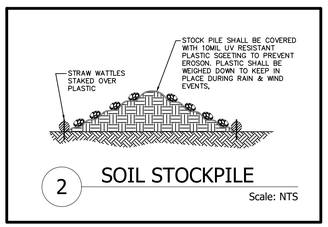
1 FIBER ROLL
Scale: NTS



3 INLET SEDIMENT CONTROL
Scale: NTS



4 CONCRETE WASHOUT
Scale: NTS



2 SOIL STOCKPILE
Scale: NTS

C6 EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 40'

N

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OREGON CITY, OREGON 97045

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STATE OF OREGON

DIEGO A. GOMEZ
NEW MEXICO
19357
PROFESSIONAL ENGINEER

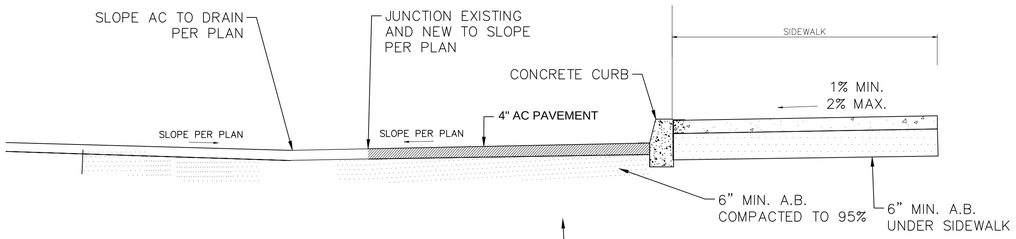
KAIROS POWER FACILITY EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK III) CONT 16.4161 AC

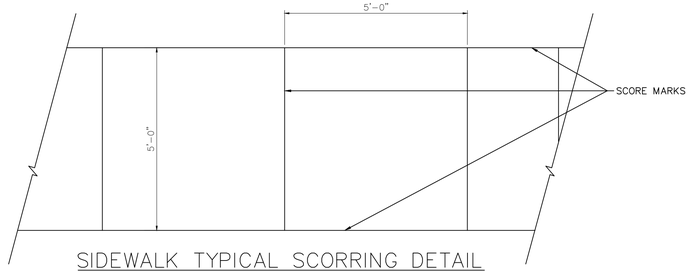
EROSION CONTROL PLAN

PROJECT NO.: 8800-22
DRAWN BY:
DATE: 7.2.2022

C6



EXISTING ROAD TO NEW PARKING TRANSITION

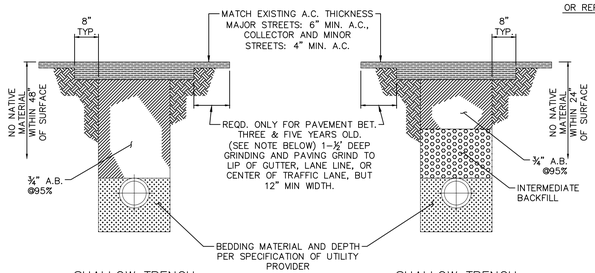


SIDEWALK TYPICAL SCORRING DETAIL

CROSS SECTION 1-1

1 NEW PARKING TO EXISTING ROAD SECTION

Scale: NTS



SHALLOW TRENCH

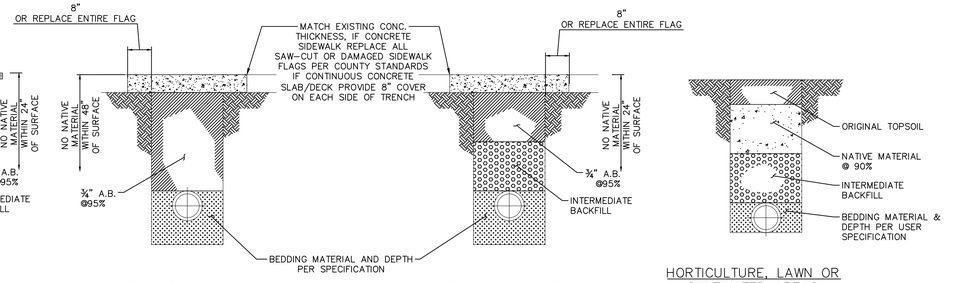
IN EXISTING PAVEMENT (LESS THAN 4' COVER)

SHALLOW TRENCH

IN EXISTING PAVED AREAS AND OTHER TREANCHING (4' OR MORE COVER)

2 SIDEWALK SCORRING TYP

Scale: NTS



SHALLOW TRENCH

IN EXISTING PAVEMENT (LESS THAN 4' COVER)

SHALLOW TRENCH

IN EXISTING PAVED AREAS AND OTHER TREANCHING (4' OR MORE COVER)

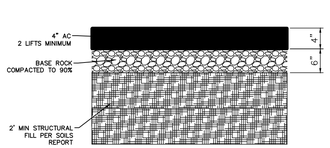
HORTICULTURE, LAWN OR CULTIVATED AREAS

NOTE"

NO PAVEMENT CUTS OR TRENCHES ARE ALLOWED IN PAVEMENT LESS THAN THREE YEARS OLD.

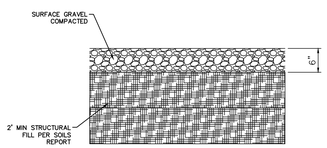
3 TRENCH RESTORATION SECTIONS

Scale: NTS



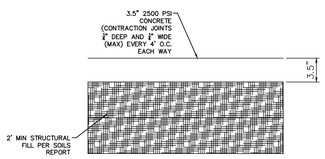
7 ASPHALT ROAD AND DRIVEWAY

Scale: NTS



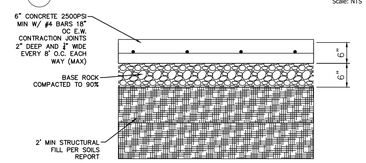
8 GRAVEL ROAD AND DRIVEWAY

Scale: NTS



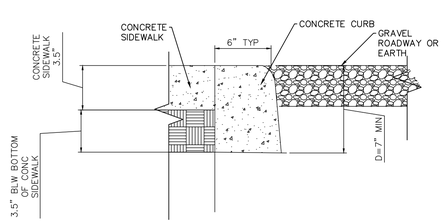
10 CONCRETE WALKWAY

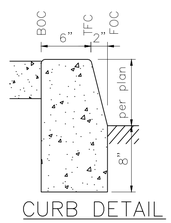
Scale: NTS



9 CONCRETE DRIVEWAY

Scale: NTS





CURB DETAIL

11 WALKWAY TO ROADWAY TRANSITION (CURBS TYP)

Scale: NTS

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RPM TEAM

PROFESSIONAL ENGINEER STATE OF NEW MEXICO DIMITRIY LASHKEVICH Exp : 12.31.2023 CIVIL NO. 028082

DIEGO A. GOMEZ NEW MEXICO 19357 PROFESSIONAL ENGINEER 2-12-22

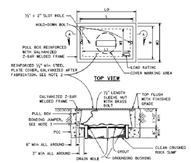
KAIROS POWER FACILITY EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK III) CONT 16.4161 AC

CIVIL DETAILS

PROJECT NO.: 8800-22
DRAWN BY:
DATE: 7.2.2022

C7



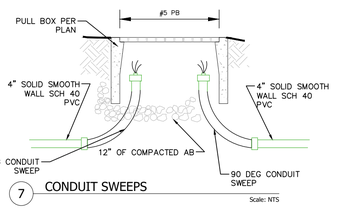
No. 3½(T), No. 5(T) AND
No. 6(T) TRAFFIC PULL BOX

DIMENSION TABLE

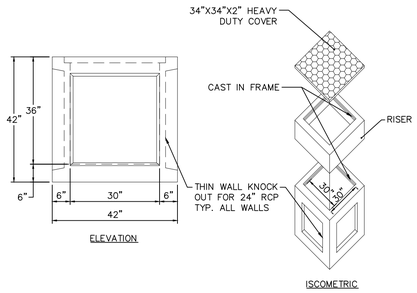
PULL BOX	PULL BOX						COVER	
	MINIMUM * THICKNESS	MINIMUM DEPTH BOX AND EXTENSION	LO	LI	WO	WI	L **	W **
No. 3½(T)	1½"	1'-0"	1'-10" - 1'-11"	1'-5" - 1'-6½"	1'-3" - 1'-4"	10" - 1'-0"	1'-8" - 1'-8½"	1'-1" - 1'-2"
No. 5(T)	1¾"	1'-0"	2'-5" - 2'-6"	2'-0" - 2'-1"	1'-6" - 1'-7"	1'-1" - 1'-2"	2'-3" - 2'-3½"	1'-4" - 1'-4½"
No. 6(T)	2"	1'-0"	2'-11" - 3'-1"	2'-6" - 2'-7"	1'-10" - 2'-0"	1'-5" - 1'-6"	2'-9" - 2'-9½"	1'-8" - 1'-8½"

* EXCLUDING CONDUIT WEB ** TOP DIMENSION

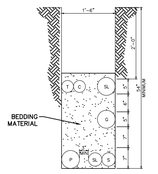
1 PULL BOX DETAIL
Scale: NTS



7 CONDUIT SWEEPS
Scale: NTS

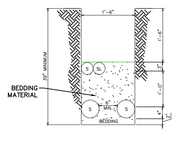


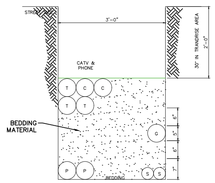
NOTE : GRADE 60 REINFORCEMENTS
4500 PSI CONCRETE H 20 LOADING

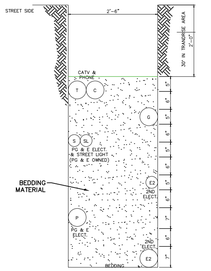


MINIMUM SEPARATION AND CLEARANCE REQUIREMENTS

		G	T	DUCT OR C	S	P
G	(GAS) SEE NOTES 4,7 & 13	---	12"	12"	12"	6"
T	(TELEPHONE) DUCT	12"	---	1"	1"	12"
T	(TELEPHONE) DIRECT BURY	12"	1"	---	1"	12"
C	(CATV)	12"	1"	1"	---	12"
S	(ELECTRIC SECONDARY)	6"	12"	12"	1"	3"
P	(ELECTRIC PRIMARY)	12"	12"	12"	3"	---
SL	(STREET LIGHT) SEE NOTE 5	6"	12"	12"	3"	3"







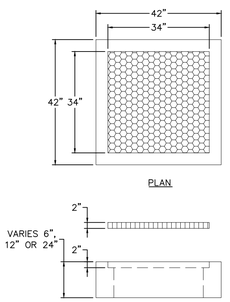
- TYPICAL DISTRIBUTION TRENCH
Scale: NTS

- TYPICAL SERVICE TRENCH
Scale: NTS

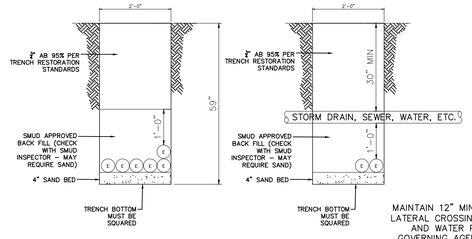
- 36" WIDE JOINT TRENCH
Scale: NTS

- 24" WIDE JOINT TRENCH
Scale: 1-1/2" :1'-0"

- JT W 2ND ELECTR LINE
Scale: NTS



16 DRAINAGE JUNCTION BOX
Scale: NTS



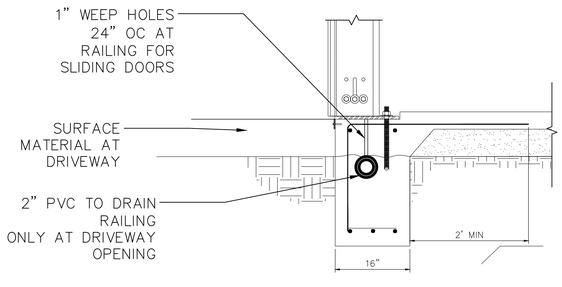
TYPE I – STANDARD TRN (24"x59")
TYPE II – STANDARD TRN (36"x59")
TYPE III – STANDARD TRN (48"x59")

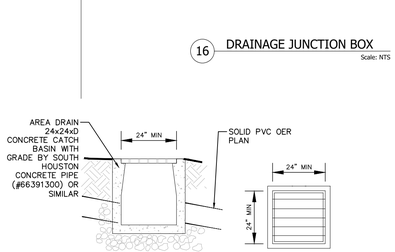
CRITICAL NOTES:

1. "NON–UTILITY FACILITIES ARE NOT PERMITTED IN THE JOINT TRENCH INSTALLATIONS WITH COMPANY FACILITIES." CPUC GENERAL ORDER 128, SECTION 111C 91).
2. NO CHANGES IN THE CONDUIT AND JT ROUTING ARE TO BE MADE WITHOUT PRIOR AUTHORIZATION FROM EACH UTILITY INVOLVED.
3. THE JT MUST MAINTAIN 3' HORIZONTAL AND 12" VERTICAL CLEARANCE FROM ANY WET UTILITY (SIDE OF TRENCH TO SIDE OF PIPE) AS PER SMUD REQUIREMENTS. THE ACTUAL DEPTH OF ANY CROSSING IS TO BE DETERMINED IN THE FIELD AND SHORING MAY BE REQUIRED.
4. DEVELOPER TO PROVIDE ALL PERMITS AND ENCROACHMENT PERMITS.

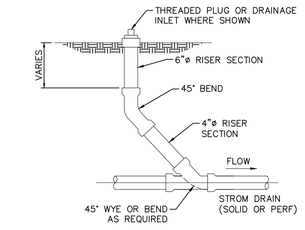
MAINTAIN 12" MINIMUM CLEARANCE AT LATERAL CROSSINGS TO STORM, SEWER AND WATER PIPES. SEE LOCAL GOVERNING AGENCIES FOR POSSIBLE REDUCTION IN 12" MIN CLEARANCE OVER OR UNDER WET PIPE. (SEE CRITICAL NOTES FOR REQUIRED DISTANCED FROM WET UTILITIES)

5 JOINT TRENCH TYPICAL DETAILS
Scale: NTS

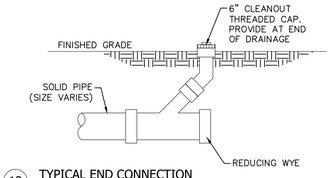




15 DRAINAGE INLET
Scale: NTS



12 TYPICAL RAISER FOR DRAIN PIPE
Scale: NTS



13 TYPICAL END CONNECTION
Scale: NTS

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PROFESSIONAL ENGINEER – STATE OF NEVADA
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CIVIL
No. 028082

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NEW MEXICO
19357
PROFESSIONAL ENGINEER

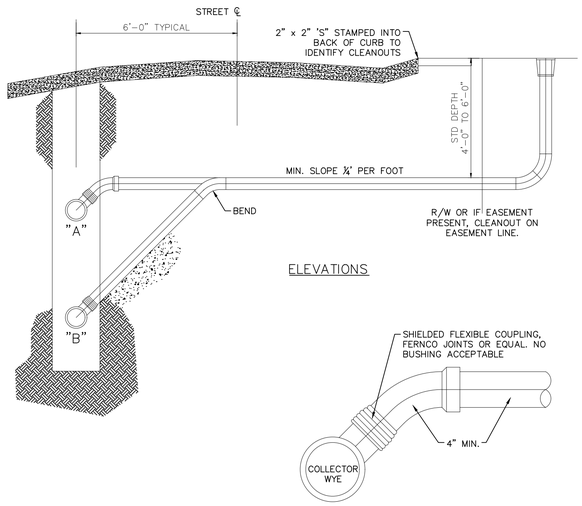
KAIROS POWER FACILITY EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATION PARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATION PARK III) CONT 16.4161 AC

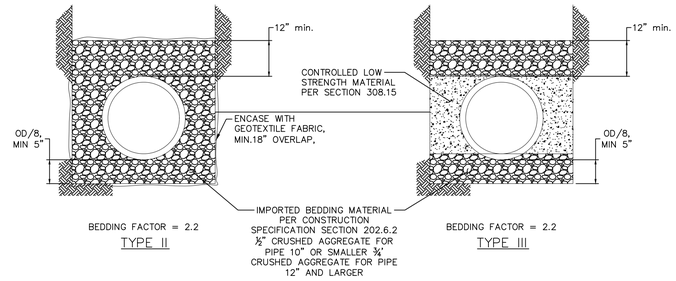
CIVIL DETAILS

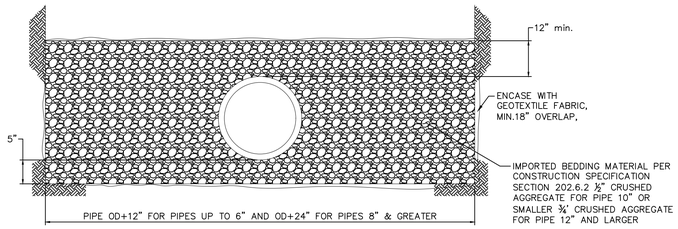
PROJECT NO.: 8800-22
DRAWN BY:
DATE: 7.2.2022

C8

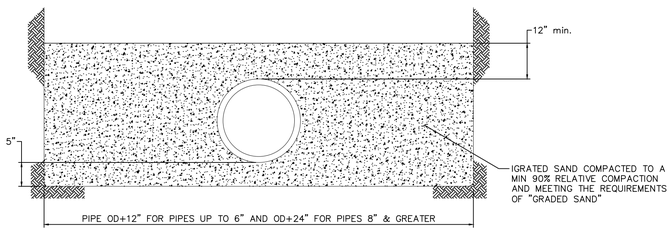


STANDARD LOWER LATERAL CONNECTION





FOR FLEXIBLE GRAVITY PIPE



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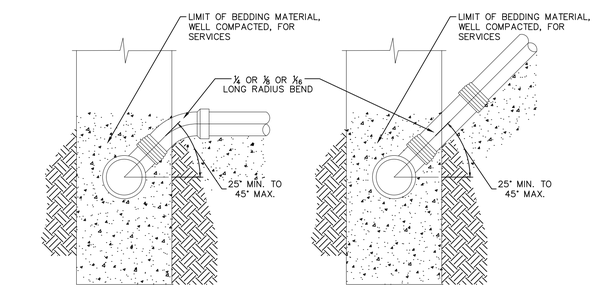
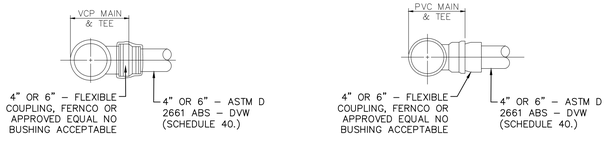
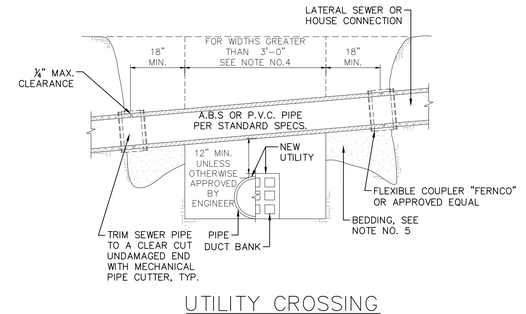




CONNECTION DETAILS



UTILITY CROSSING

Greenbox Architecture
502 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

DIMITRIY LASHKEVICH
Exp : 12.31.2023
CIVIL
NO. 028082
PROFESSIONAL ENGINEER
STATE OF NEW MEXICO

DIEGO A. GOMEZ
NEW MEXICO
19357
PROFESSIONAL ENGINEER

KAIROS POWER FACILITY EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK III) CONT 16.4161 AC

CIVIL DETAILS UTILITIES

PROJECT NO.: 8800-22
DRAWN BY:
DATE: 7.2.2022

C9

10' WIDE CONCRETE SIDEWALK TO BE CONSTRUCTED PER EXISTING INFRASTRUCTURE AGREEMENT FROM DRB PROJECT # 2020-004448.

12" PUBLIC SEWER MAIN

EXISTING PUBLIC SEWER MAIN

STREET EXTENSION PER INFRASTRUCTURE AGREEMENT

PROJECT# PR-2019-001971.

HAWKING DRIVE SE

HAWKING DRIVE SE

N ABCWUA WATER METER VAULT EASEMENT

N PRIVATE FIRE WATER LINE CONNECTING TO N PUBLIC WATER MAIN

N PRIVATE WATER LINE CONNECTING TO N PUBLIC WATER MAIN

12" PUBLIC WATER MAIN

18" PUBLIC WATER MAIN

EXISTING BUILDING

EXISTING BUILDING

EXISTING ADJACENT FACILITY

CRICK CROSSING

LEGENDS:– SEE MEP PLAN FOR UTILITY SIZES AND UTILITIY PLACEMENT WITHIN STRUCTURES.

FIRE	FIRE WATER LINE
WL	WATER LINE
SS	SEWER LINE
GL	GAS LINE
EL	ELECTRICAL LINE
IT	IT LINE

NOTE:
1.CONTRACTOR SHALL COORDINATE CONSTRUCTION SEQUENCING WITH OWNER.
2. SITE SHALL DISCONNECT FROM SHARED SERVICES UPON COMPLETION OF THE WORK ORDER AND PRIOR TO CO GIVEN BY CITY OF ALBUQUERQUE.
3. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
4. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

1 1/31/2023

UT1 UTILITY PLAN

SCALE: 1" = 80'-0"

Greenbox Architecture
602 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

PROFESSIONAL ENGINEER - STATE OF NEW MEXICO
DMITRIY LASHKEVICH
Exp : 12.31.2023
CIVIL
No. 028082

DIEGO A. GOMEZ NEW MEXICO 19357 2-12-23 PROFESSIONAL ENGINEER

1 1/31/2023

KAIROS POWER FACILITY EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 16.4181 AC

UTILITY PLAN

PROJECT NO.: 8800-22
DRAWN BY:
DATE: SEP 01, 2022

UT 1

EXISTING BUILDING

EXISTING BUILDING

PROPOSED BUILDING
MS FACILITY

DEMOLISH FIRE LINE

DEMOLISH FIRE LINE

DEMOLISH FIRE LINE

EXISTING POWER LINE

EXISTING POWER LINE

FIRE HYDRANT

FIRE HYDRANT

FIRE RISER

ELECTRICAL

INV 6" (OUT)=5298.89

6" SAS @ S=1.00%

INV = 5297.35

INV = 5296.52

INV 4" (OUT)=5295.83

4" SAS @ S=2.00%

INV 4" (IN)=5295.63
INV 4" (OUT)=5295.63

4" SAS@S=2.00%

6" SAS @ S=1.00%

6" SAS @ S=1.00%

INV 6" (IN)=5298.72
INV 6" (OUT)=5298.72

INV 6" (IN)=5295.12
INV 4" (IN)=5295.12
INV 6" (OUT)=5295.12

EX-RIM=5298.01
INV 6" (IN)=5291.94
EX-INV 8" (OUT) = 5291.94

(N) FR

(N) FH

(N) FH

(TIE) S88°54'5

137.30' of 2

540.35' of 24" SD @ S=0.50%

115.00' of 24" SD @ S=0.50%

400.00' of 8" SAS @ S=0.50%

577.76' of 24" SD @ S=0.54%

361.33' of 8" SAS @ S=0.50%

116.40' of 24" SD @ S=2.29%

54.31' of 18"

2.00' of 8" SAS @ S=0.50%

INLET
N=1457459.91, E=1532757.09
TG=5298.15
INV 24" (IN)=5292.76
INV 24" (OUT)=5292.66

INLET
N=1457454.98, E=1533863.56
TG=5297.43
INV 12" (OUT)=5294.30

INLET
N=1457418.51, E=1532808.55
TG=5298.44
INV 18" (IN)=5293.69
INV 18" (OUT)=5293.49

SAS MANHOLE
N=1457437.75, E=1533763.03
RIM=5299.39
INV 8" (IN)=5292.46
INV 8" (IN)=5292.56
INV 8" (OUT)=5292.21
INV 8" (OUT)=5292.44

INLET
N=1457427.46, E=1532652.54
TG=5297.20
INV 18" (IN)=5292.39
INV 24" (OUT)=5292.29

INLET
N=1457423.96, E=1532521.10
TG=5297.20
INV 24" (IN)=5290.91
INV 24" (OUT)=5290.81

SAS MANHOLE E
N=1457440.12, E=1532538.55
RIM=5298.13
INV 8" (IN)=5291.06
INV 8" (OUT)=5291.21

INLET
N=1457426.13, E=1532404.71
TG=5297.20
INV 24" (IN)=5288.15
INV 24" (OUT)=5288.05

SD MH
N=1458240.04, E=1532016.83
RIM=5296.09
INV 24" (IN)=5289.96
INV 24" (OUT)=5289.86

END SECTION
N=1458085.55, E=1532054.31
INV=88.00

SAS MANHOLE
N=1457449.68, E=1532139.62
RIM=5296.26
INV 8" (IN)=5291.11
INV 8" (OUT)=5291.01

STUB OUT TO BUILDING
INV 6" (OUT)=5294.83

SAS MONITORING MANHOLE
N=1457442.53, E=1532539.76
RIM=5300.39
INV 6" (IN)=5292.76
INV 6" (OUT)=5292.71

LEGENDS: – SEE MEP PLAN FOR UTILITY SIZES AND UTILITIY PLACEMENT WITHIN STRUCTURES.

FW	FIRE WATER LINE
WL	WATER LINE
	SEWER LINE
GL	GAS LINE
EL	ELECTRICAL LINE
IT	IT LINE

Greenbox Architecture
682 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

PROFESSIONAL ENGINEER – STATE OF NEVADA
DMITRIY LASHKEVICH
Exp : 12.31.2023
CIVIL
No. 028083

DIEGO A. GOMEZ
NEW MEXICO
19357
2-12-23
PROFESSIONAL ENGINEER

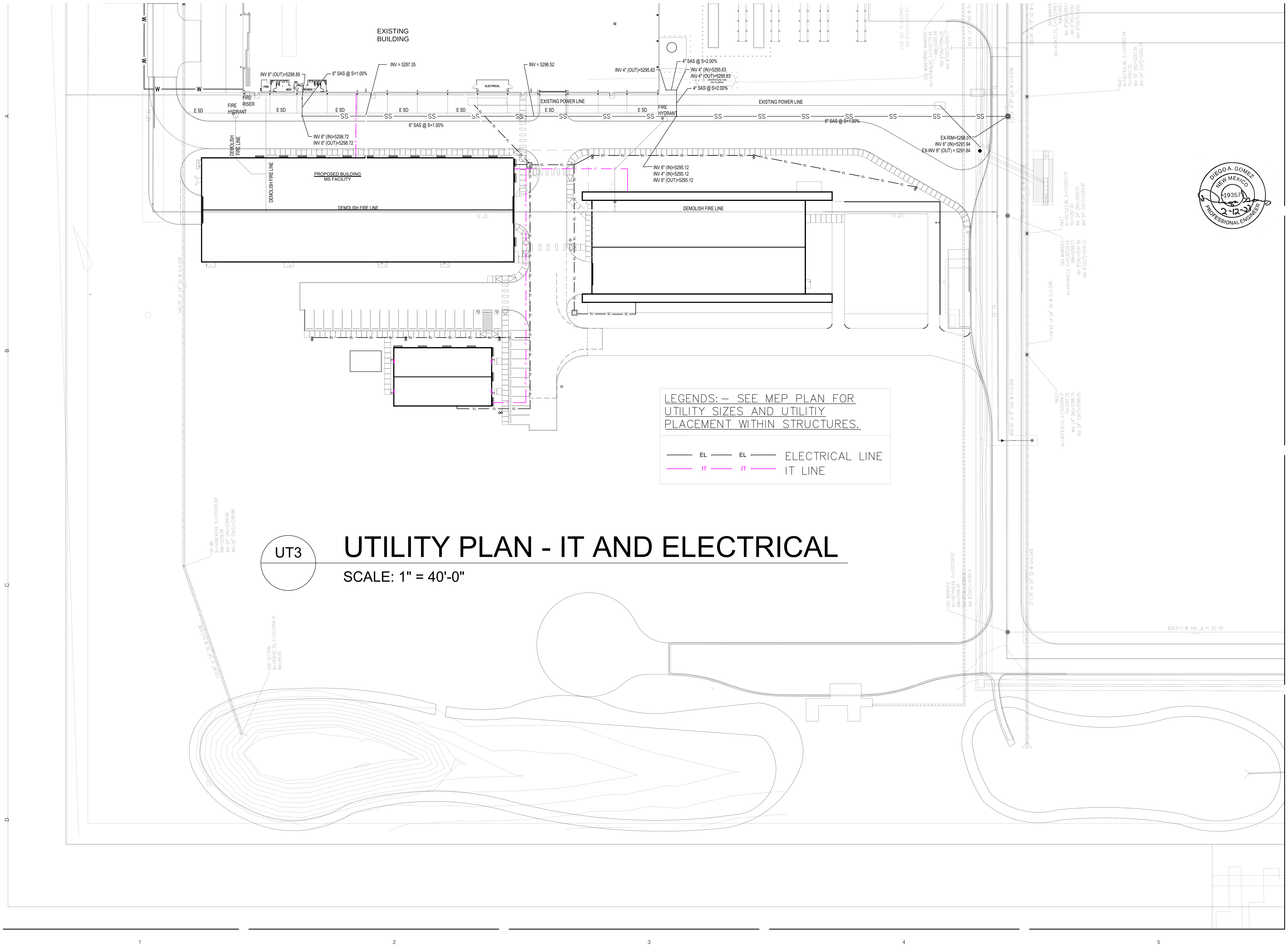
KAIROS POWER FACILITY EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK I (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK I) CONT 18.41 AC

ENLARGED UTILITY PLAN

PROJECT NO.: 8800-22
DRAWN BY:
DATE: SEP 01, 2022

UT 2



UT3

UTILITY PLAN - IT AND ELECTRICAL

SCALE: 1" = 40'-0"

Greenbox Architecture
502 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

DIEGO A. GOMEZ
NEW MEXICO
19357
PROFESSIONAL ENGINEER
2-12-23

PROFESSIONAL ENGINEER - STATE OF NEVADA
DMITRIY LASHKEVICH
Exp : 12.31.2023
CIVIL
No. 028082

KAIROS POWER FACILITY EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 16.4161 AC

UTILITY PLAN - IT AND ELECTRICAL

PROJECT NO.: 8800-22
DRAWN BY:
DATE: SEP 01, 2022

UT 3

EXISTING BUILDING

INV 6" (OUT)=5298.89

6" SAS @ S=1.00%

INV = 5297.35

INV = 5296.52

4" SAS @ S=2.00%

INV 4" (OUT)=5295.83

INV 4" (IN)=5295.63
INV 4" (OUT)=5295.63

4" SAS@S=2.00%

FIRE RISER

FIRE HYDRANT

E SD

SS

6" SAS @ S=1.00%

EXISTING POWER LINE

INV 6" (IN)=5298.72
INV 6" (OUT)=5298.72

DEMOLISH FIRE LINE

PROPOSED BUILDING
MS FACILITY

INV 6" (IN)=5295.12
INV 4" (IN)=5295.12
INV 6" (OUT)=5295.12

GL

STUB OUT TO BUILDING
INV 6"(OUT)=5292.83

SAS MONITORING MANHOLE
N=1457426.93, E=1532770.42
RIM=5295.38
INV 6"(IN)=5292.88
INV 6"(OUT)=5292.71

SAS MANHOLE
N=1457437.75, E=1532769.70
RIM=5295.38
INV 6"(IN)=5292.48
INV 8"(IN)=5292.51
INV 8"(OUT)=5292.41

INLET
N=1457421.46, E=1533052.54
TC=5297.28
INV = 18" (IN)=5292.39
INV 24" (OUT)=5292.24

EX-RIM=5293.01
INV 6" (IN)=5291.94
EX-INV 8" (OUT) = 5291.84

INLET
N=1457423.96, E=1532521.10
TC=5297.03
INV = 24" (IN)=5290.91
INV 24" (OUT)=5290.81

SAS MANHOLE
N=1457442.12, E=1532521.15
RIM=5288.13
INV 8"(IN)=5291.26
INV 8"(OUT)=5291.21

INLET
N=1457426.13, E=1532404.71
TC=5287.23
INV 24" (IN)=5288.15
INV 24" (OUT)=5288.05

SD MH
N=1457434.04, E=1532216.83
RIM=5286.09
INV 24" (IN)=5283.96
INV 24" (OUT)=5283.86

END SECTION
N=1458187.35, E=1532054.31
INV=5281.00

SAS MANHOLE
N=1457449.69, E=1532138.62
RIM=5288.38
INV 24"(IN)=5285.21
INV 8"(OUT)=5285.11

LEGENDS:- SEE MEP PLAN FOR UTILITY SIZES AND UTILITIY PLACEMENT WITHIN STRUCTURES.

SEWER LINE

GL GL GAS LINE

UT4

UTILITY PLAN - SEWER & GAS

SCALE: 1" = 40'-0"

DIEGO A. GOMEZ
NEW MEXICO
19357
12-12-22
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DMITRIY LASHKEVICH
Exp : 12.31.2023
CIVIL
NO. 022002
PROFESSIONAL ENGINEER - STATE OF NEVADA

Greenbox Architecture
662 SEVENTH STREET, SUITE 200
OREGON CITY, OREGON 97045

RPM TEAM

KAIROS POWER FACILITY
EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 16.4161 AC

UTILITY PLAN SEWER AND GAS

PROJECT NO.: 8800-22
DRAWN BY:
DATE:

UT4

NOTE: CONTRACTOR SHALL COORDINATE CONSTRUCTION SEQUENCING WITH OWNER.

EXISTING BUILDING

EXISTING BUILDING

PROPOSED BUILDING
MS FACILITY

DEMOLISH FIRE LINE

DEMOLISH FIRE LINE

DEMOLISH FIRE LINE

DEMOLISH FIRE LINE

FIRE RISER

FIRE HYDRANT

FIRE HYDRANT

EXISTING POWER LINE

EXISTING POWER LINE

INV = 5297.35

INV = 5296.52

INV 6" (OUT)=5298.89

6" SAS @ S=1.00%

4" SAS @ S=2.00%

INV 4" (OUT)=5295.83

INV 4" (IN)=5295.63
INV 4" (OUT)=5295.63

4" SAS @ S=2.00%

6" SAS @ S=17.00%

6" SAS @ S=1.00%

INV 6" (IN)=5298.72
INV 6" (OUT)=5298.72

INV 6" (IN)=5295.12
INV 4" (IN)=5295.12
INV 6" (OUT)=5295.12

EX-RIM=5298.01
INV 6" (IN)=5291.94
EX-INV 8" (OUT) = 5291.84

(N) FR

(N) FH

(N) FH

N FL

W

WL

E SD

SS

LEGENDS:– SEE MEP PLAN FOR UTILITY SIZES AND UTILITIY PLACEMENT WITHIN STRUCTURES.

FIRE WATER LINE

WL WL WATER LINE

INLET
N=1458229.81, E=1532757.09
RIM=5297.76
INV 24" (IN)=5292.76
INV 24" (OUT)=5292.66

137.30' of 24" SD @ S=0.50%

16.11' of 6" SAS @ S=1.00%
N=1458304.56
E=1532967.09

INV=5298.56
N=1458311.57
E=1532967.09

INV=11' of 6" SAS @ S=17.00%

STUB OUT TO BUILDING
INV 6"(OUT)=5300.53

90.99' of 6" SAS @ S=2.00%

INLET
N=1457454.98, E=1532863.56
TG=5297.40
INV 12" (OUT)=5294.53

297.84' of 8" SAS @ S=0.50%

INLET
N=1457417.49, E=1532862.85
INV 12" (IN)=5294.11
INV 18" (OUT)=5293.93

54.31' of 18" SD @ S=0.62%

SAS MANHOLE
N=1457418.51, E=1532805.55
RIM=5298.24
INV 8"(IN)=5292.46
INV 8"(IN)=5292.31
INV 18" (IN)=5293.39
INV 18" (OUT)=5293.49

STUB OUT TO BUILDING
INV 6"(OUT)=5292.83

SAS MONITORING MANHOLE
N=1457428.93, E=1532700.99
RIM=5299.76
INV 6"(IN)=5292.76
INV 6"(OUT)=5292.71

39.19' of 6" SAS @ S=0.50%

158.04' of 8" SD @ S=0.71%

INLET
N=1457421.46, E=1532652.54
TG=5297.20
INV 18" (IN)=5292.39
INV 24" (OUT)=5292.24

540.35' of 24" SD @ S=0.50%

INLET
N=1457423.96, E=1532521.10
TG=5297.20
INV 18" (IN)=5290.91
INV 24" (OUT)=5290.81

SAS MANHOLE
N=1457412.12, E=1532538.55
RIM=5298.13
INV 8"(IN)=5291.38
INV 8"(OUT)=5291.24

116.40' of 24" SD @ S=2.29%

INLET
N=1457436.13, E=1532464.70
TG=5297.20
INV 24" (IN)=5288.15
INV 24" (OUT)=5288.05

600.00' of 8" SAS @ S=0.50%

SD MH
N=1458240.04, E=1532216.83
RIM=5298.09
INV 24" (IN)=5289.96
INV 24" (OUT)=5289.86

SAS MANHOLE
N=1457440.63, E=1532138.62
RIM=5298.28
INV 8"(IN)=5288.61
INV 8"(OUT)=5288.51

577.76' of 24" SD @ S=0.34%

UT5

UTILITY PLAN - WATER AND FIRE

SCALE: 1" = 40'-0"

Greenbox Architecture
682 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

PROFESSIONAL ENGINEER · STATE OF NEW MEXICO
DMITRIY LASHKEVICH
Exp : 12.31.2023
CIVIL
No. 028082

DIEGO A. GOMEZ
NEW MEXICO
19357
2-12-23
PROFESSIONAL ENGINEER

KAIROS POWER FACILITY
EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK I (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 18.4181 AC

UTILITY PLAN - WATER AND FIRE LINES

PROJECT NO.: 8800-22
DRAWN BY:
DATE: SEP 01, 2022

UT 5

LEGENDS: – SEE MEP PLAN FOR UTILITY SIZES AND UTILITIY PLACEMENT WITHIN STRUCTURES.

FIRE WATER LINE

WL — WL WATER LINE

UT6 UTILITY PLAN - WATER AND FIRE

SCALE: 1" = 40'-0"

NOTE:
1.CONTRACTOR SHALL COORDINATE CONSTRUCTION SEQUENCING WITH OWNER.
2. SITE SHALL DISCONNECT FROM SHARED SERVICES UPON COMPLETION OF THE WORK ORDER AND PRIOR TO CO GIVEN BY CITY OF ALBUQUERQUE.

1 1/31/2023

CONNECT EXISTING TRACT D-3 WATER AND FIRE LINES TO PROPOSED SERVICES ONCE WATER SERVICE IS ESTABLISHED BY THE 12-INCH DISTRIBUTION LINE IN HAWKING DRIVE.

NOTE: EXISTING WATER AND FIRE LINES SERVING TRACT D-4 FROM CRICK CROSSING ARE TO REMAIN. CONTRACTOR TO INSTALL END CAPS ON TRACT D-4 WATER AND FIRE LINES WHEN KAIROS POWER TRANSFERS SERVICE TO THE 12-INCH DISTRIBUTION LINE IN HAWKING DRIVE. THE EXISTING WATER AND FIRE LINES SERVING TRACT D-4 WILL NOT CONNECT TO THE PROPOSED SERVICESERVING TRACT D-3 FROM HAWKING DRIVE.

EXISTING BUILDING

EXISTING BUILDING

PROPOSED BUILDING
MS FACILITY

EXISTING POWER LINE

EXISTING POWER LINE

FIRE RISER

FIRE HYDRANT

FIRE HYDRANT

FIRE RISER

DEMOLISH FIRE LINE

INV = 5297.35

INV 6" (OUT)=5298.89

6" SAS @ S=1.00%

INV = 5296.52

INV 4" (OUT)=5295.83

4" SAS @ S=2.00%

INV 4" (IN)=5296.83

INV 4" (OUT)=5295.83

4" SAS @ S=2.00%

INV 6" (IN)=5298.72

INV 6" (OUT)=5298.72

INV 6" (IN)=5295.12

INV 4" (IN)=5295.12

INV 6" (OUT)=5295.12

EX-RIM=5298.01

INV 6" (IN)=5291.94

EX-INV 8" (OUT) = 5291.84

6" SAS @ S=1.00%

DIEGO A. GOMEZ
NEW MEXICO
19357
2-2-23
PROFESSIONAL ENGINEER

Greenbox Architecture
602 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

PROFESSIONAL ENGINEER - STATE OF NEVADA
DMITRIY LASHKEVICH
Exp : 12.31.2023
CIVIL
NO. 028082

1 1/31/2023

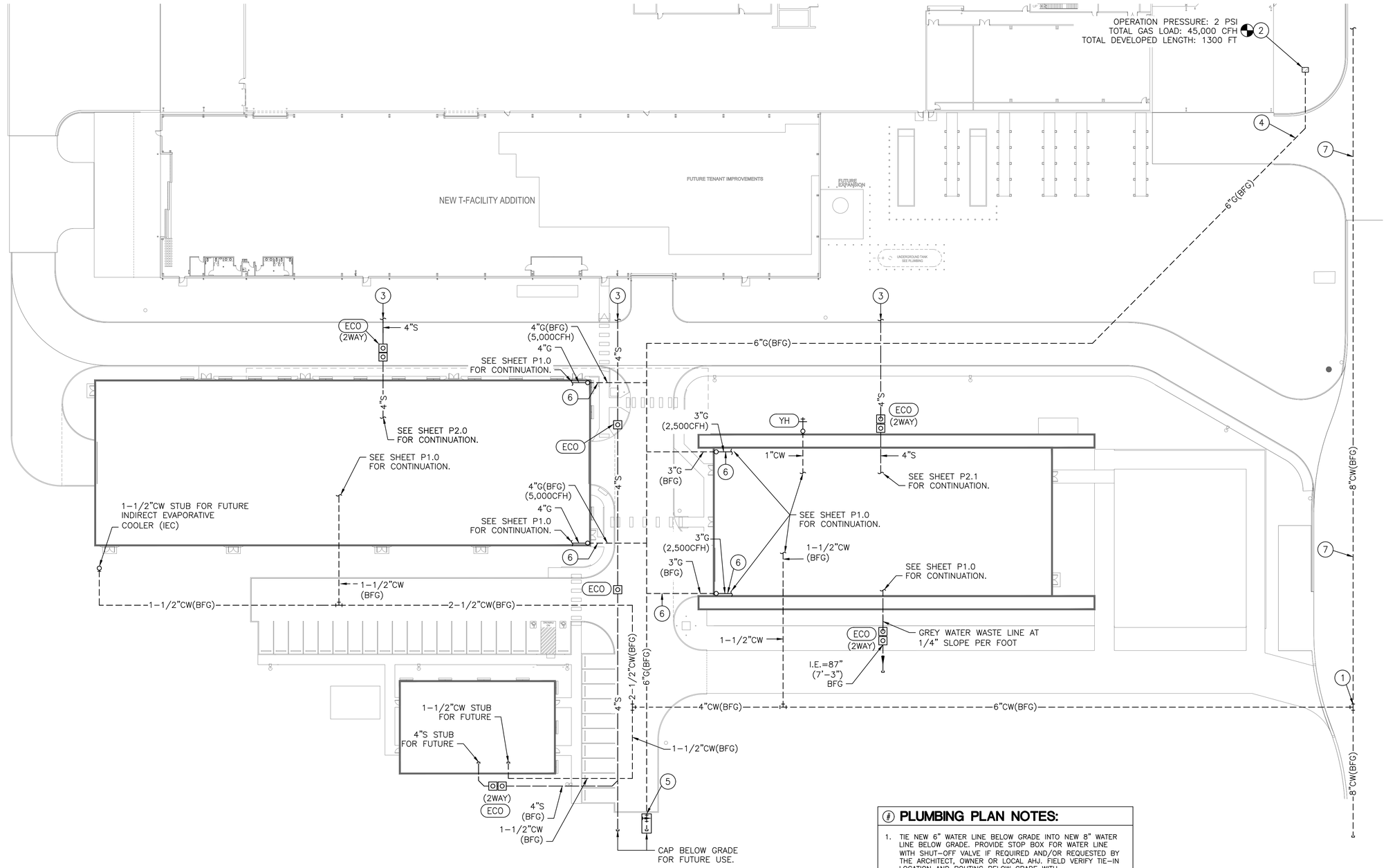
KAIROS POWER FACILITY
EXPANSION

TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK I (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK I) CONT 18.4181 AC

UTILITY PLAN - WATER AND FIRE LINES

PROJECT NO.: 8800-22
DRAWN BY:
DATE: SEP 01, 2022

UT 6



1 PLUMBING SITE PLAN
SCALE: 1"=30'-0"

GENERAL NOTES:

A. PROVIDE AN IN-GROUND STOP BOX, WITH WATER-SHUTOFF VALVE, FOR EACH WATER LINE TO A BUILDING OR STUB IF REQUESTED BY THE ARCHITECT/OWNER OR REQUIRED BY THE LOCAL AHJ. VERIFY PRIOR TO ANY DEMO AND INSTALLATION.

(#) PLUMBING PLAN NOTES:

1. TIE NEW 6" WATER LINE BELOW GRADE INTO NEW 8" WATER LINE BELOW GRADE. PROVIDE STOP BOX FOR WATER LINE WITH SHUT-OFF VALVE IF REQUIRED AND/OR REQUESTED BY THE ARCHITECT, OWNER OR LOCAL AHJ. FIELD VERIFY TIE-IN LOCATION AND ROUTING BELOW GRADE WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.
2. ROUTE NEW 6" GAS LINE UP FROM BELOW GRADE AND TO TIE INTO THE EXISTING GAS METER. TIE EXISTING GAS LINE INTO NEW 6" GAS LINE INTO METER, PROVIDE SHUT-OFF VALVES ON ALL GAS LINES AT METER. FIELD VERIFY METER LOCATION PRIOR TO DEMO AND INSTALLATION.
3. SEE CIVIL PLAN FOR CONTINUATION OF WASTE ROUTING.
4. PROVIDE NEW 6" PE UNDERGROUND RATED GAS PIPING, SMOOTH WALL, BELOW GRADE. NEW 6" GAS LINE SIZED FOR 45,000 CFH TOTAL GAS LOAD, 1300 FEET LONGEST RUN AND 2 PSI GAS PRESSURE WITH A 1 PSI PRESSURE DROP. 0.60 SPECIFIC GRAVITY.
5. PROVIDE STUB BOX WITH SHUT-OFF VALVE FOR GAS LINE BELOW GRADE.
6. CONTRACTOR FIELD VERIFY THE ROUTING INTO THE BUILDING PRIOR TO INSTALLATION.
7. THE NEW 8" WATER LINE ALONG THE SOUTHERN PROPERTY LINE MAY NOT BE REDUCED, UNLESS APPROVED BY THE OWNER. FIELD VERIFY AND COORDINATE WITH ARCHITECT, CIVIL & OWNER PRIOR TO INSTALLATION.

Greenbox Architecture
502 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM
Kairos Power

FAISAL ALTHALIS
NEW MEXICO
23799
PROFESSIONAL ENGINEER
11/04/23

KAIROS POWER FACILITY EXPANSION

5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 15.4181 AC

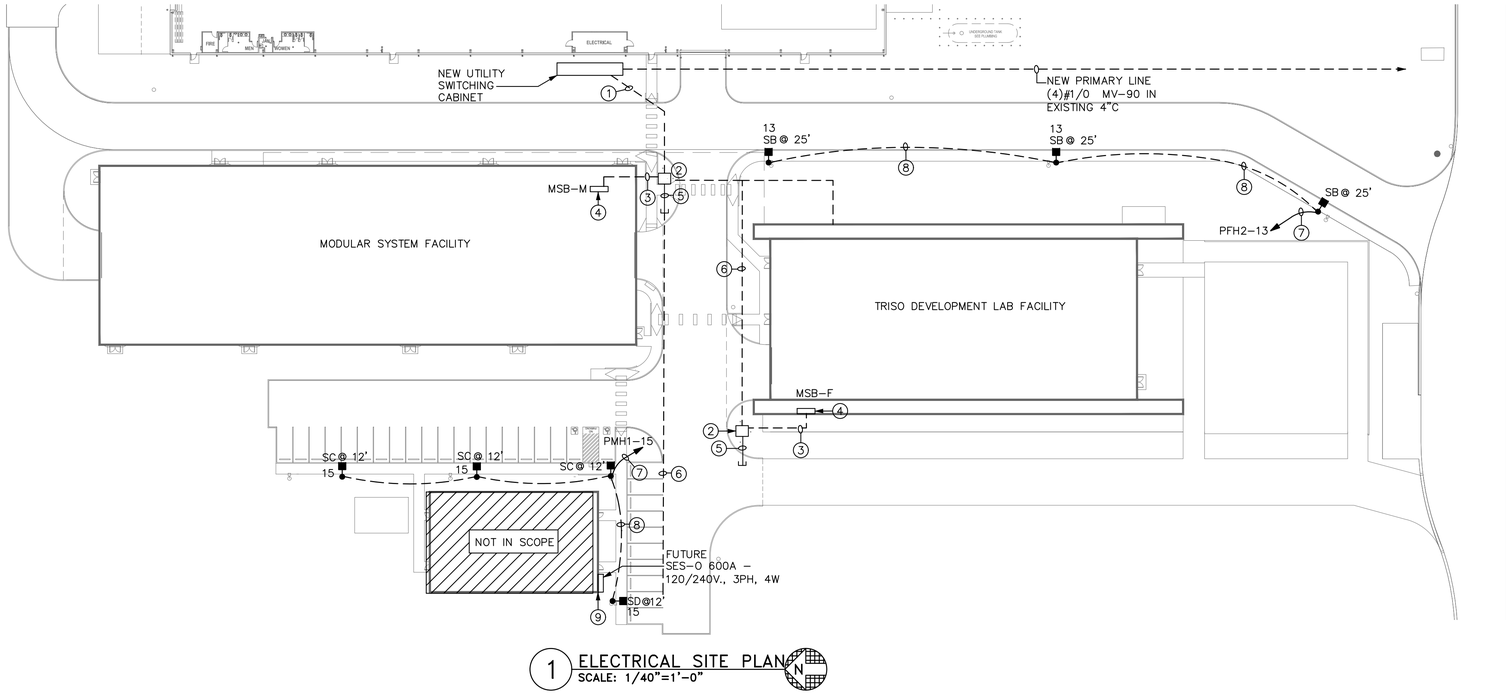
PERMIT REVIEW DOCUMENTS

PLUMBING SITE PLAN

PROJECT NO.: 8000-22
DRAWN BY: CK
DATE: OCTOBER 14, 2022

P0.2

ARDEBILI Engineering
Project Number: 22292 | Project Manager: BW
7328 E Stetson Dr. Scottsdale, AZ 85251
P: 480.626.7072 | ardebilieng.com



1 ELECTRICAL SITE PLAN
SCALE: 1/40"=1'-0"

GENERAL NOTES

A. ALL EXTERIOR LIGHT FIXTURES TO COMPLY WITH LOCAL NIGHT SKY ORDINANCE.

B. ALL EXTERIOR LIGHTING AND SIGNAGE TO BE FED WITH #10 CU. U.N.O.

C. ALL EXTERIOR ELECTRICAL EQUIPMENT TO BE NEMA-3R RATED.

D. CONTRACTOR TO COORDINATE EXACT SITE LIGHTING FIXTURE LOCATIONS WITH LANDSCAPE DRAWINGS.

E. ALL FIXTURES INSTALLED OUTDOORS SHALL BE RATED FOR DAMP/WET LOCATIONS AS REQUIRED. THE CONTRACTOR SHALL COORDINATE DAMP/WET LOCATION RATING PER NEC ARTICLE 410-4. ALL INSTALLATIONS SHALL CONFORM TO NEC ARTICLE 410, ALL SUB ARTICLES.

F. FIRE ALARM EQUIPMENT SHALL BE COORDINATED FOR EXACT LOCATION AND REQUIREMENTS WITH FIRE MARSHALL.

G. ALL PVC CONDUIT MUST HAVE A MINIMUM OF #12 CU. GROUND CONDUCTOR.

H. ELECTRICAL CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL EXTERIOR LIGHT FIXTURES WITH ARCHITECTURAL DRAWINGS.

KEYED NOTES

1. PROVIDE (2) 4" PVC SCH-40 CONDUIT WITH MEDIUM VOLTAGE CIRCUITS FOR MV XFMR TRN-F AND TRN-M. AND (2)2" CONDUIT WITH SWEEPING BENDS FOR FIBER OPTIC. REFER TO ONE-LINE DIAGRAM.
2. PAD MOUNTED 15KV TO 480V POWER COMPANY MEDIUM VOLTAGE CUSTOMER OWNED TRANSFORMER. PROVIDE PAD PER LOCAL UTILITY POWER COMPANY REQUIREMENTS. MAINTAIN 10'-0" FRONT CLEARANCE, 3'-0" SIDES AND REAR CLEARANCE.
3. SECONDARY FEEDERS. REFER TO ONE-LINE DIAGRAM.
4. SERVICE ENTRANCE SECTION IN NEMA 1 ENCLOSURE. REFER TO ONE-LINE DIAGRAM AND LOAD CALCULATIONS.
5. PROVIDE (1) 4" PVC CONDUIT W/MV CABLE TO NEW 1500KVA MV XFMR LOCATION AND (1) 2" CONDUIT FOR FIBER OPTIC TO TERMINATION LOCATION FOR NEW MODULAR BUILDING.
6. PROVIDE (1) 2" PVC CONDUIT FOR FIBER OPTIC TO TERMINATION LOCATION FOR NEW TDL BUILDING.
7. CIRCUIT THROUGH LIGHTING CONTACTOR. SEE DETAIL ON E1.0 SHEET.
8. ROUTE ¾" PVC CONDUIT BACK TO LIGHTING CONTACTOR W/ (2)#10, (1) #10 GND. CONDUCTORS. VERIFY EXACT ROUTING PRIOR TO INSTALLATION. TRENCH, BACKFILL, AND REPAIR LANDSCAPE/HARDSCAPE AS REQUIRED. ADHERE TO NEC 300.5 FOR BURIAL DEPTHS.
9. FUTURE SERVICE ENTRANCE SECTION IN NEMA 3R ENCLOSURE.

COMcheck Software Version 4.1.5.4
Interior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
Project Title: KARIOS POWER
Project Type: New Construction

Construction Site: 5201 HAWKING DRIVE SE Albuquerque, NM 87106
Owner/Agent:
Designer/Contractor:

Additional Efficiency Package(s)

Credits: 1.0 Required 1.0 Proposed
Enhanced Interior Lighting Controls, 1.0 credit

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft2)	C Allowed Watts / ft2	D Allowed Watts (B X C)
1-F FACILITY (Common Space Types:Laboratory For Medical/Industrial/Research)	29865	1.45	43304
2-TRISO DEVELOPMENT LAB. (Common Space Types:Laboratory For Medical/Industrial/Research)	21841	1.45	31670
		Total Allowed Watts =	74974

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
1-F FACILITY (Common Space Types:Laboratory For Medical/Industrial/Research)				
LED 1: P1/P1E: PENDANT LIGHT: Other:	1	108	355	38340
LED 4: S2/S2E: 4' STRIP LED: Other:	1	8	54	432
2-TRISO DEVELOPMENT LAB. (Common Space Types:Laboratory For Medical/Industrial/Research)				
LED 2: P1/P1E: PENDANT LIGHT: Other:	1	75	355	26625
LED 3: S1/S1E: 4' STRIP LED: Other:	1	19	54	1026
LED 5: S2/S2E: 4' STRIP LED: Other:	1	5	54	270
		Total Proposed Watts =		66693

Interior Lighting PASSES: Design 11% better than code

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.4 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

HICHAM KHACHANE, PM. — Name - Title
Signature
09/30/22 — Date

Project Title: KARIOS POWER
Data filename: Z:\shared\01_Projects\2022\22292_GNBX_Karios Power\01_Construction Documents\ENERGY\22292_IECC.cck
Report date: 10/10/22
Page 1 of 9

COMcheck Software Version 4.1.5.1
Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
Project Title: KARIOS POWER
Project Type: New Construction
Exterior Lighting Zone: 2 (Residential mixed use area)

Construction Site: 5201 HAWKING DRIVE SE Albuquerque, NM 87106
Owner/Agent:
Designer/Contractor:

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B X C)
F-EXTERIOR WALL LIGHTING (Illuminated area of facade wall or surface)	7990 ft2	0.07	No	599
TRISO-EXTERIOR WALL LIGHTING (Illuminated area of facade wall or surface)	1760 ft2	0.07	No	132
Parking Area (Parking area)	7483 ft2	0.04	Yes	299
Sidewalk/Drive (Pedestrian and vehicular entrances and exits)	2231 ft of	14	Yes	31234
		Total Tradable Watts (a) =		31533
		Total Allowed Watts =		32265
		Total Allowed Supplemental Watts (b) =		400

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.
(b) A supplemental allowance equal to 400 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Proposed Exterior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
F-EXTERIOR WALL LIGHTING (Illuminated area of facade wall or surface 7990 ft2): Non-tradable Wattage				
LED 1: L1AE: WALL SCONCE: Other:	1	10	48	484
TRISO-EXTERIOR WALL LIGHTING (Illuminated area of facade wall or surface 1760 ft2): Non-tradable Wattage				
LED 2: L2: WALL SCONCE: Other:	1	3	72	215
Parking Area (Parking area 7483 ft2): Tradable Wattage				
LED 5: SC: SITE POLE: LED Roadway-Parking Unit 67W:	1	3	69	207
LED 6: SD: SITE POLE: LED Roadway-Parking Unit 67W:	1	1	69	69
Sidewalk/Drive (Pedestrian and vehicular entrances and exits 2231 ft of door width): Tradable Wattage				
LED 4: SB: SITE POLE: LED Roadway-Parking Unit 220W:	1	3	216	648
		Total Tradable Proposed Watts =		924

Exterior Lighting PASSES: Design 97% better than code

Exterior Lighting Compliance Statement

Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.1 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

HICHAM KHACHANE, PM. — Name - Title
Signature
09/30/22 — Date

Greenbox Architecture
602 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM
Kairos Power

OMID ARDEBILI
NEW MEXICO
21313
12/09/22
PROFESSIONAL ENGINEER

PERMIT REVIEW DOCUMENTS

KAIROS POWER FACILITY EXPANSION

5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATION/PARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATION/PARK II) CONT 16.4161 AC

ELECTRICAL SITE PLAN & COMCHECK

PROJECT NO.: 8000-22
DRAWN BY:
DATE: OCTOBER 14, 2022

E0.3

ARDEBILI Engineering
Project Number: 22292 | Project Manager: HK
7328 E Stetson Dr. Scottsdale, AZ 85251
P: 480.626.7072 | ardebilieng.com

WDGE2 LED
Architectural Wall Sconce
Precision Refractive Optic

Buy American

Catalog Number

Notes

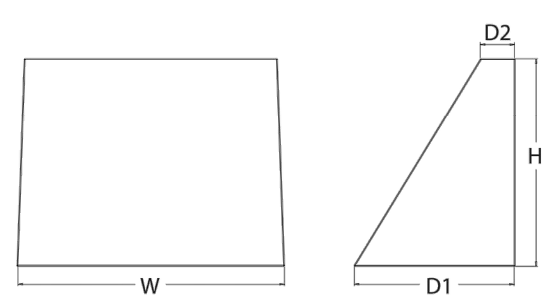
Type **L1AE**

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction
The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Specifications
Depth (D1):	7"
Depth (D2):	1.5"
Height:	9"
Width:	11.5"
Weight: (without options)	13.5 lbs



WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information
EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting – Shipped included	Mounting – Shipped separately
WDGE2 LED	P0 [1] P1 [2] P2 [2] P3 [2] P4 [2]	27K 2700K 30K 3000K 40K 4000K 50K 5000K AMB [3] Amber	70CRI [4] 80CRI LW [3] Limited Wavelength	T1S Type I Short T2M Type II Medium T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT 347 [5] 480 [5]	SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) [6]	AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.

Options
- E10WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)
- E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)
- PE [7] Photocell, Button Type
- DMG [8] 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)
- BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.
- BAA Buy America(n) Act Compliant

Standalone Sensors/Controls
- PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.
- PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching
- PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.
- PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.

Networked Sensors/Controls
- NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.
- NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.

See page 4 for out of box functionality

Finish
- DDBXD Dark bronze
- DBLXD Black
- DNAXD Natural aluminum
- DWHXD White
- DSSXD Sandstone
- DDBTXD Textured dark bronze
- DBLBXD Textured black
- DNATXD Textured natural aluminum
- DWHGXD Textured white
- DSSTXD Textured sandstone

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WDGE3 LED
Architectural Wall Sconce

Buy American

Catalog Number

Notes

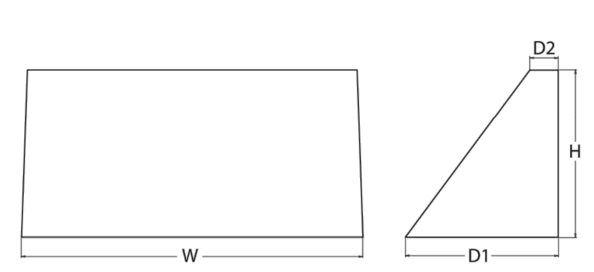
Type **L2**

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction
The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.

Specifications
Depth (D1):	8"
Depth (D2):	1.5"
Height:	9"
Width:	18"
Weight: (without options)	19.5 lbs



WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information
EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting – Shipped included	Mounting – Shipped separately
WDGE3 LED	P1 P2 P3 P4	30K 3000K 40K 4000K 50K 5000K	70CRI 80CRI	R2 Type 2 R3 Type 3 R4 Type 4 RFT Forward Throw	MVOLT 347 [1] 480 [1]	SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) [4]	AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.

Options
- E15WH Emergency battery backup, Certified in CA Title 20 MAEDBS (15W, 5°C min)
- E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)
- PE [2] Photocell, Button Type
- DMG [3] 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)
- BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.
- SPD10KV 10kV Surge pack
- BAA Buy America(n) Act Compliant

Standalone Sensors/Controls
- PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.
- PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching
- PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.
- PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.

Networked Sensors/Controls
- NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.
- NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.

See page 4 for out of box functionality

Finish
- DDBXD Dark bronze
- DBLXD Black
- DNAXD Natural aluminum
- DWHXD White
- DSSXD Sandstone
- DDBTXD Textured dark bronze
- DBLBXD Textured black
- DNATXD Textured natural aluminum
- DWHGXD Textured white
- DSSTXD Textured sandstone

Accessories
Ordered and shipped separately.
- WDGEAWS DDBXD WDGE 3/8inch Architectural Wall Spacer (specify finish)
- WDGE3PBBW DDBXD U WDGE3 surface-mounted back box (specify finish)

NOTES
1. 347V and 480V not available with E15WH and E20WC.
2. PE not available in 480V and with sensors/controls.
3. DMG option not available with sensors/controls.
4. Not qualified for DLC. Not available with emergency battery backup or sensors/controls

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KAD LED
LED Area Luminaire

NIGHTTIME FRIENDLY   Buy American

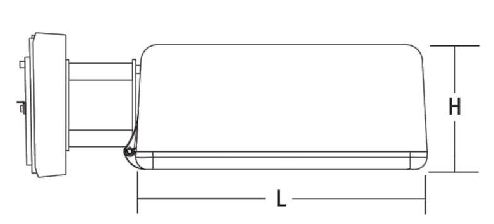
Catalog Number

Notes

Type **SB/SC/SD**

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications
EPA:	1.2 ft² (0.11 m²)
Length:	17-1/2" (44.5 cm)
Width:	17-1/2" (44.5 cm)
Height:	7-1/8" (18.1 cm)
Weight (max):	36 lbs. (16.4 kg)



A+ Capable Luminaire
This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.
- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM®2 or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background[1]

To learn more about A+, visit www.acuitybrands.com/aplus.
1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

A+ Capable options indicated by this color background.

Ordering Information
EXAMPLE: KAD LED 40C 1000 40K R5 MVOLT SPD04 DDBXD

KAD LED

Series	LEDs	Drive current	CCT	Distribution	Voltage	Mounting [1] – Shipped included		Mounting – Shipped separately
KAD LED	20C [1] 20 LEDs 30C [1] 30 LEDs 40C 40 LEDs 60C 60 LEDs	530 530 mA [1] 700 700 mA 1000 1000 mA	30K 3000 K 40K 4000 K 50K 5000 K	R2 Type II R3 Type III R4 Type IV R5 Type V [2]	MVOLT [3] 120 [4] 208 [4,5] 240 [4,5] 277 [4] 347 [1,3] 480 [1,3]	SPUMBAK__ Square pole universal mounting adaptor [6] RPUMBAK__ Round pole universal mounting adaptor [6] SPD__ Square pole RPD__ Round pole WBD__ Wall bracket [2] WWD__ Wood pole or wall	04 4" arm 06 6" arm 09 9" arm [5] 12 12" arm [6]	DAD12P Degree arm (pole) DAD12WB Degree arm (wall) KMA Mast arm external fitter

Options

Shipped installed
- PER5 NEMA twist-lock five-wire receptacle only (no controls) [7,8,9]
- PER7 Seven-wire receptacle only (no controls) [7,8,9]
- SF Single fuse (120, 277, 347V) [4]
- DF Double fuse (208, 240, 480V) [4]
- PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc [3,10,11,12,13]
- PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc [3,10,11,12,13]
- PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc [3,10,11,12,13]
- PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc [3,10,11,12,13]
- BL30 Bi-level switched dimming, 30% [3,9,10,11]
- BL50 Bi-level switched dimming, 50% [3,9,10,11]
- PNMTDD3 Part night, dim till dawn [3,11,16]
- PNMT5D3 Part night, dim 5 hrs [3,11,16]
- PNMT6D3 Part night, dim 6 hrs [3,11,16]
- PNMT7D3 Part night, dim 7 hrs [3,11,16]
- HS Houseside shield [17]

Shipped separately [17]
- WG Wire guard

Finish *(required)*
- DDBXD Dark bronze
- DBLXD Black
- DNAXD Natural aluminum
- DWHXD White
- DDBTXD Textured dark bronze
- DBLBXD Textured black
- DNATXD Textured natural aluminum
- DWHGXD Textured white

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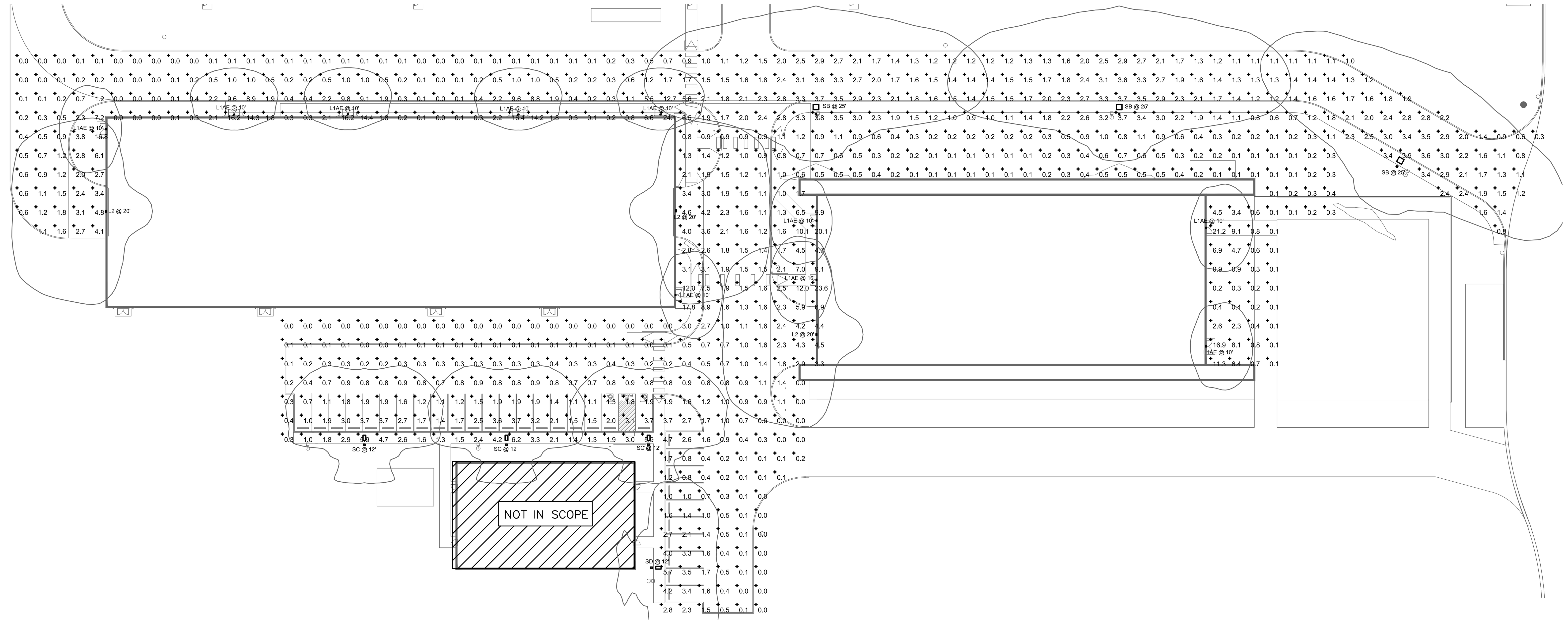

1 PHOTOMETRIC SITE PLAN
SCALE: 1/40"=1'-0"

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE - FC @ GRADE	+	1.7 fc	24.1 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	L1AE	10	Lithonia Lighting	WDGE2 LED P5 40K 80CRI VW MVOLT E20WC (FINISH)	WDGE2 LED WITH P5 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT WIDE OPTIC W/EM BATTERY PACK	LED - 4000K	WDGE2_LED_P5_40K_80CRI_VW.ies	6151	0.91	48.44
	L2	3	Lithonia Lighting	WDGE3 LED P3 80CRI R4 40K MVOLT (FINISH)	WDGE3 LED WITH P3 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 4 OPTIC	LED - 4000K	WDGE3_LED_P3_70CRI_R4_40K.ies	10360	0.91	71.6952
	SB	3	Lithonia Lighting	KAD LED 60C 1000 40K R2 MVOLT SPD04 (FINISH) / SSS 22.5' W/2.5' BASE	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 4000K, TYPE 2 OPTICS.	LED - 4000K	KAD_LED_60C_1000_40K_R2_MVOLT.ies	20753	0.91	216
	SC	3	Lithonia Lighting	KAD LED 30C 700 40K R4 MVOLT SPD04 (FINISH) / SSS 9.5' W/2.5' BASE	KAD LED, 30 LED, 700mA MVOLT DRIVER, 4000K, TYPE 4 OPTICS.	LED - 4000K	KAD_LED_30C_700_40K_R4_MVOLT.ies	8369	0.91	69
	SD	1	Lithonia Lighting	KAD LED 30C 700 40K R3 MVOLT SPD04 (FINISH) / SSS 9.5' W/2.5' BASE	KAD LED, 30 LED, 700mA MVOLT DRIVER, 4000K, TYPE 3 OPTICS.	LED - 4000K	KAD_LED_30C_700_40K_R3_MVOLT.ies	8360	0.91	69

ARDEBILI Engineering
Project Number: 22292 | Project Manager: HK
7328 E Stetson Dr. Scottsdale, AZ 85251
P: 480.626.7072 | ardebilieng.com

PERMIT REVIEW DOCUMENTS

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OREGON CITY, OREGON 97045

RPM TEAM

Kairos Power

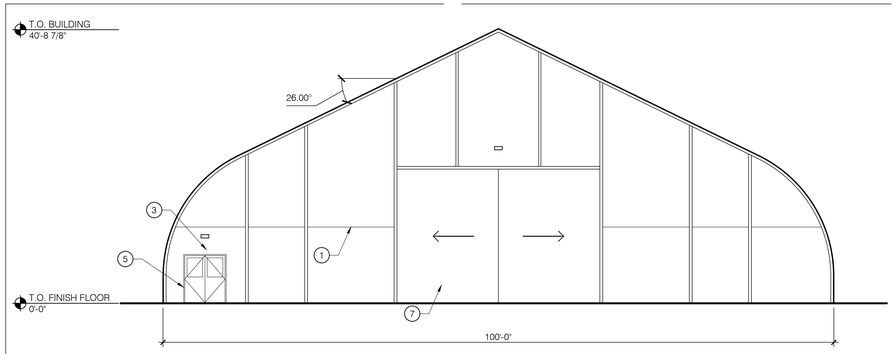
KAIROS POWER FACILITY EXPANSION

5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATIONPARK II (A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATIONPARK II) CONT 16.4161 AC

PHOTOMETRIC SITE PLAN & CUT-SHEET

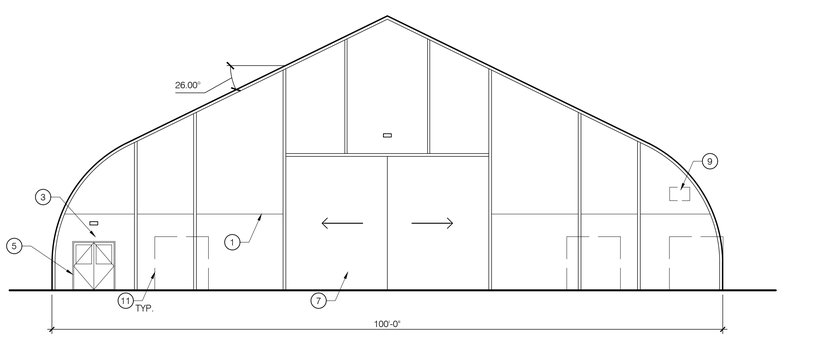
PROJECT NO.: 8000-22
DRAWN BY:
DATE: OCTOBER 14, 2022

E0.4



A1 / A-500 NORTH ELEVATION - MS

SCALE: 3/32" = 1'-0"



A3 / A-500 SOUTH ELEVATION - MS

SCALE: 3/32" = 1'-0"

GENERAL NOTES:

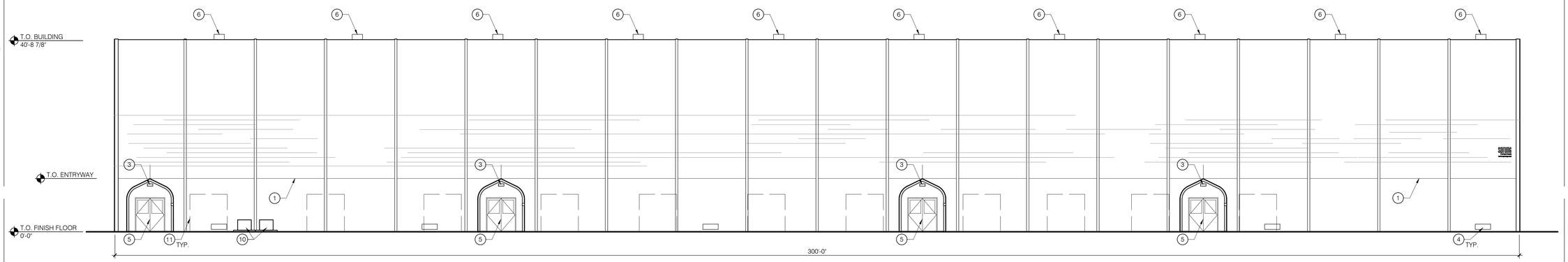
A. EXTERIOR WALL SCONCES SHALL BE MOUNTED ABOVE EACH EXTERIOR DOOR. EXTERIOR WALL SCONCES SHALL BE LSI INDUSTRIES MODEL WPSLL-LED

B. IDO SIGN RESTRICTIONS FOR ON-PREMISES SIGNS: DUE TO THE ZONING DESIGNATION OF PLANNED COMMUNITY (PC) SIGN RESTRICTIONS SHALL BE SET FORTH BY THE APPROVE PLAN. PROPOSED SIGNS HAVE BEEN REVIEWED AND APPROVED BY THE ARC.

C. SIGN PERMITS TO BE EXECUTED BY OTHERS VIA A SEPARATE PERMIT - NOT PART OF THIS SUBMITTAL.

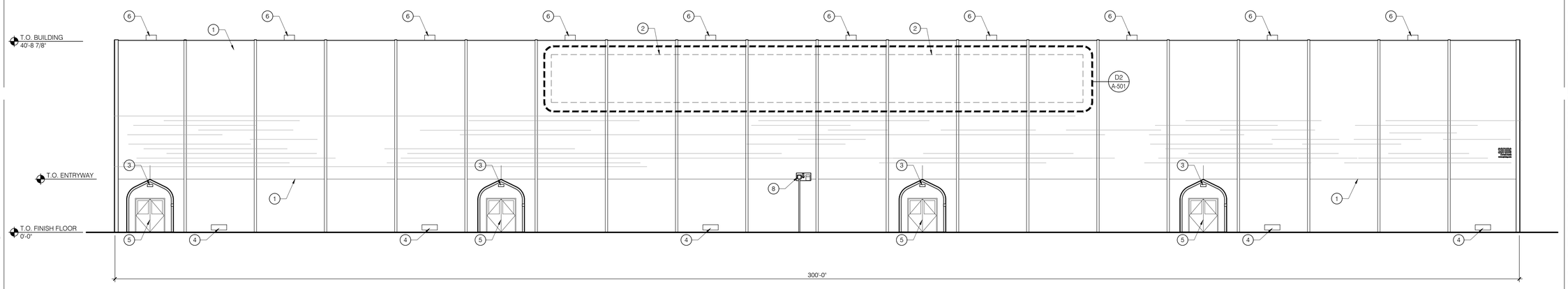
KEYED NOTES: (X)

1. TEDLAR MEMBRANE WITH SANDSTONE AT UPPER AND DESERT SAND AT LOWER. REFERENCE COLOR RENDERING ON SHEET CS
2. SIGNAGE WITH OWNER NAME AND LOGO - GRAPHIC PRINTED DIRECTLY ON SPRUNG TEDLAR MEMBRANE. GRAPHIC SIZE IS SKEWED DUE TO ROOF SLOPE.
3. LIGHT FIXTURE - SEE ELECTRICAL PHOTOMETRIC PLAN ON SHEET E0.4LIGHT FIXTURE - SEE ELECTRICAL PHOTOMETRIC PLAN ON SHEET E0.4
4. LOUVERED VENTILATION INTAKE
5. HOLLOW METAL DOOR AND FRAME - WHITE
6. ROOF EXHAUST FAN
7. OVERSIZED SLIDING DOOR IN SANDSTONE
8. EXHAUST DUCT PENETRATION
9. ALPHABETICAL BUILDING IDENTIFICATION AND ADDRESS NUMBERS. EACH CHARACTER SHALL BE GREATER THAN 4" TALL WITH A MINIMUM STROKE WIDTH OF 1" IN A CONTRASTING COLOR. VIEW FROM FIRE ACCESS APPARATUS ROAD NOT TO BE OBSTRUCTED BY ANY MEANS. MOUNTING HEIGHT SHALL BE GREATER THAN THAT OF ANY SURROUNDING OBSTRUCTIONS. FINAL LOCATION TO BE COORDINATED WITH THE ALBUQUERQUE FIRE MARSHALL
10. MECHANICAL OUTDOOR CONDENSING UNIT SCREENED FROM PUBLIC VIEW AT HAWKING DRIVE BY THE EXISTING BUILDING - 35" WIDE, 26 1/2" TALL, 13 1/2" DEEP
11. 8'X8' TRELLISES SPACED NO GREATER THAN 25' O.C.



C1 / A-500 EAST ELEVATION - MS

SCALE: 3/32" = 1'-0"



D1 / A-500 WEST ELEVATION - MS

SCALE: 3/32" = 1'-0"

SITE PLAN ADMINISTRATIVE - DFT LAND USE REVIEW

Greenbox Architecture
502 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

Kairos Power

STATE OF NEW MEXICO
DEREK M. METSON
NO. 6305
REGISTERED ARCHITECT

1/6/23

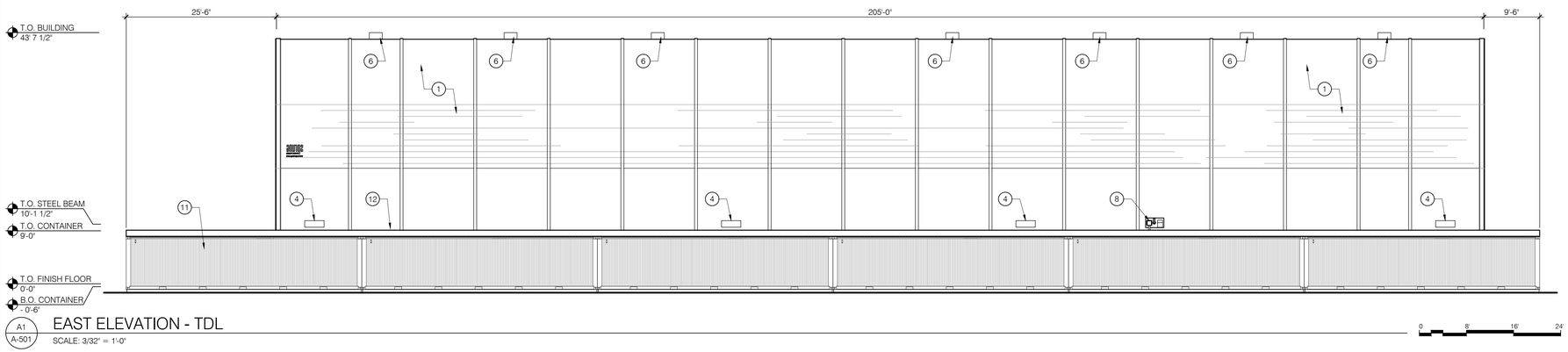
KAIROS POWER FACILITY EXPANSION

6201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATION PARK III SUBDIVISION OF TRACT D MESA DEL SOL INNOVATION PARK III CONT 16.4161 AC

EXTERIOR ELEVATIONS - MS FACILITY

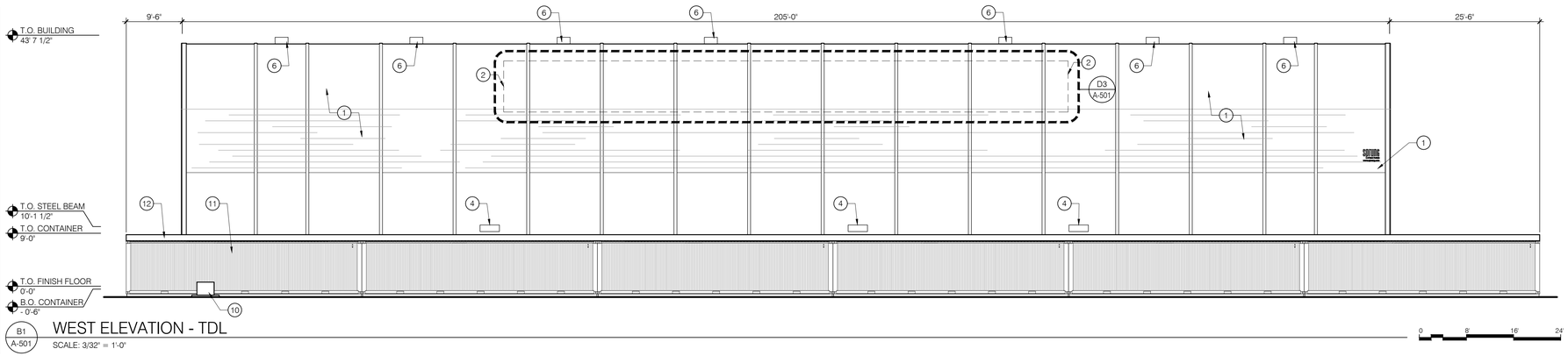
PROJECT NO.: 8000-22
DRAWN BY:
DATE: JANUARY 6, 2023

A-500



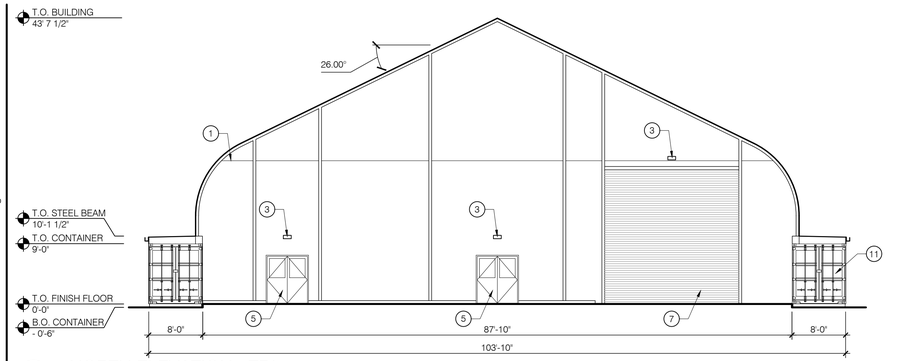
A1 / A-501 EAST ELEVATION - TDL

SCALE: 3/32" = 1'-0"



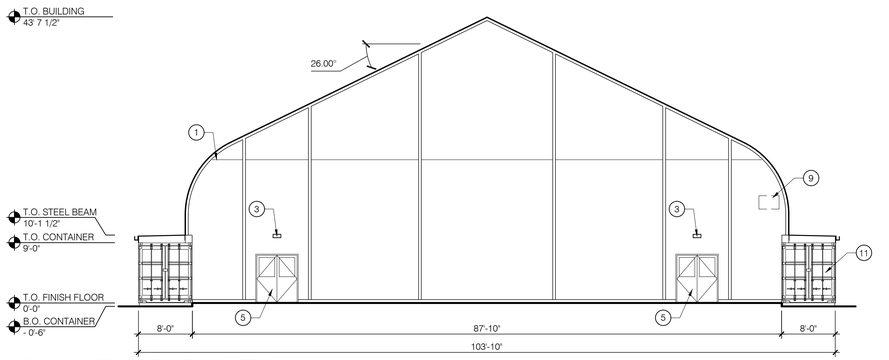
B1 / A-501 WEST ELEVATION - TDL

SCALE: 3/32" = 1'-0"



C1 / A-501 NORTH ELEVATION - TDL

SCALE: 3/32" = 1'-0"



C3 / A-501 SOUTH ELEVATION - TDL

SCALE: 3/32" = 1'-0"

APPROXIMATE AREA: 2,650 SF

COLORS*: C:100 M:76 Y:25 K:9 / C:85 M:39 Y:0 K:0 / C:75 M:21 Y:0 K:0 *COLORS MAY VARY

LIGHTING/POWER: NONE PROVIDED

APPROXIMATE AREA: 1,900 SF

COLORS*: C:100 M:76 Y:25 K:9 / C:85 M:39 Y:0 K:0 / C:75 M:21 Y:0 K:0 *COLORS MAY VARY

LIGHTING/POWER: NONE PROVIDED

APPLICABLE IDO SIGN RESTRICTIONS*:

5-12(E)(2)(A)
NO SIGN OR PART OF A SIGN SHALL BE LOCATED ON ANY PROPERTY WITHOUT THE CONSENT OF THE OWNER, HOLDER, LESSEE, AGENT, TRUSTEE, OR OTHER PARTY CONTROLLING THE USE OF SUCH PROPERTY.
5-12(E)(2)(B)
SIGNS SHALL NOT BE LOCATED WITHIN PUBLIC WATERLINE OR SANITARY SEWER EASEMENTS.
5-12(E)(4)(A)
ALL SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIAL AND MAINTAINED IN GOOD CONDITION AND REPAIR, SHALL BE SECURELY ANCHORED AND CONSTRUCTED TO PREVENT LATERAL MOVEMENT THAT WOULD CAUSE WEAR ON SUPPORTING CONNECTIONS, AND SHALL BE CONSTRUCTED TO WITHSTAND EXPECTED WIND LOADS APPROPRIATE TO DESIGN AND INSTALLATION.

*IN A PC ZONE, SIGN RESTRICTIONS ARE ESTABLISHED BY THE APPROVED PLAN, MESA DEL SOL LEVEL B MASTER PLAN (MDS MASTER PLAN). THE ARC HAS REVIEWED AND DEEMED THE PROPOSED SIGNAGE AS COMPLIANT WITH THE MDS MASTER PLAN BY THE ARC. THE ARC APPROVAL LETTER IS INCLUDED IN THE OVERALL SUBMITTAL.

D2 / A-501 MS FACILITY SIGNAGE

SCALE: 1" = 20'-0"

APPLICABLE IDO SIGN RESTRICTIONS*:

5-12(E)(2)(A)
NO SIGN OR PART OF A SIGN SHALL BE LOCATED ON ANY PROPERTY WITHOUT THE CONSENT OF THE OWNER, HOLDER, LESSEE, AGENT, TRUSTEE, OR OTHER PARTY CONTROLLING THE USE OF SUCH PROPERTY.
5-12(E)(2)(B)
SIGNS SHALL NOT BE LOCATED WITHIN PUBLIC WATERLINE OR SANITARY SEWER EASEMENTS.
5-12(E)(4)(A)
ALL SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIAL AND MAINTAINED IN GOOD CONDITION AND REPAIR, SHALL BE SECURELY ANCHORED AND CONSTRUCTED TO PREVENT LATERAL MOVEMENT THAT WOULD CAUSE WEAR ON SUPPORTING CONNECTIONS, AND SHALL BE CONSTRUCTED TO WITHSTAND EXPECTED WIND LOADS APPROPRIATE TO DESIGN AND INSTALLATION.

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D3 / A-501 TDL FACILITY SIGNAGE

SCALE: 1" = 20'-0"

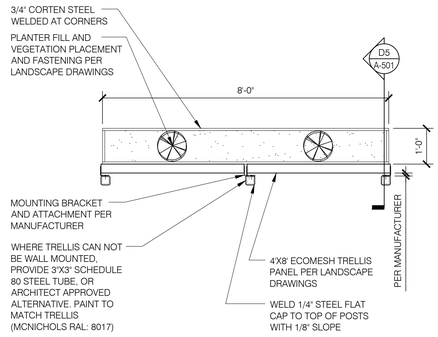
GENERAL NOTES:

1. EXTERIOR WALL SCONCES SHALL BE MOUNTED ABOVE EACH EXTERIOR DOOR. EXTERIOR WALL SCONCES SHALL BE LSI INDUSTRIES MODEL WPSLL-LED.

2. IDO SIGN RESTRICTIONS FOR ON-PREMISES SIGNS: DUE TO THE ZONING DESIGNATION PLANNED COMMUNITY (PC) SIGN RESTRICTIONS SHALL BE SET FORTH BY THE APPROVE PLAN. PROPOSED SIGNS HAVE BEEN REVIEWED AND APPROVED BY THE ARC.

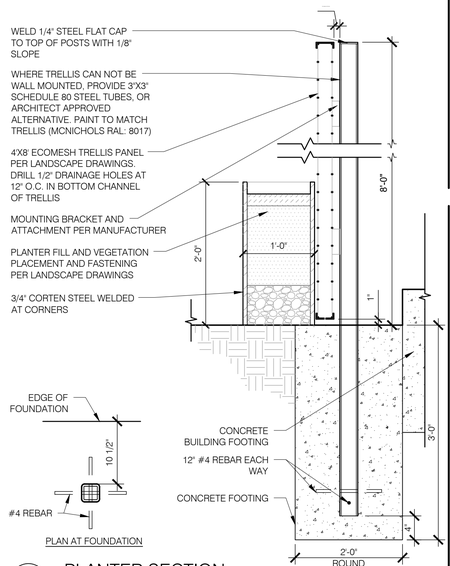
KEYED NOTES: (X)

1. TEDLAR MEMBRANE WITH SANDSTONE AT UPPER AND DESERT SAND AT LOWER. REFERENCE COLOR RENDERING ON SHEET CS
2. SIGNAGE WITH OWNER NAME AND LOGO - GRAPHIC PRINTED DIRECTLY ON SPRUNG TEDLAR MEMBRANE. GRAPHIC SIZE IS SKEWED DUE TO ROOF SLOPE.
3. LIGHT FIXTURE - SEE ELECTRICAL PHOTOMETRIC PLAN ON SHEET E0.4
4. LOUVERED VENTILATION INTAKE
5. HOLLOW METAL DOOR AND FRAME - WHITE
6. ROOF EXHAUST FAN
7. OVERHEAD ROLLING SERVICE DOOR IN WHITE
8. EXHAUST DUCT PENETRATION
9. ALPHABETICAL BUILDING IDENTIFICATION AND ADDRESS NUMBERS. EACH CHARACTER SHALL BE GREATER THAN 4" TALL WITH A MINIMUM STROKE WIDTH OF 1" IN A CONTRASTING COLOR. VIEW FROM FIRE ACCESS APPARATUS ROAD NOT TO BE OBSTRUCTED BY ANY MEANS. MOUNTING HEIGHT SHALL BE GREATER THAN THAT OF ANY SURROUNDING OBSTRUCTIONS. FINAL LOCATION TO BE COORDINATED WITH THE ALBUQUERQUE FIRE MARSHALL
10. MECHANICAL OUTDOOR CONDENSING UNIT SCREENED FROM PUBLIC VIEW AT HAWKING DRIVE BY THIS PROPOSED FACILITY - 35' WIDE, 26 1/2" TALL, 13 1/2" DEEP
11. SHIPPING CONTAINER - PAINTED RAL 5012 LIGHT BLUE. REFERENCE COLOR RENDERING ON SHEET CS
12. STEEL "**W**" BEAM



C5 / A-501 PLANTER WITH TRELLIS

SCALE: 1/2" = 1'-0"



D5 / A-501 PLANTER SECTION

SCALE: 1" = 1'-0"

Greenbox Architecture
502 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

Kairos Power

STATE OF NEW MEXICO
DEREK M. METSON
NO. 6305
REGISTERED ARCHITECT

1/6/23

KAIROS POWER FACILITY EXPANSION

6201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL SUBDIVISION OF TRACT D MESA DEL SOL INNOVATION PARK III CONT 16.4161 AC

EXTERIOR ELEVATIONS - TDL FACILITY

PROJECT NO.: 8000-22
DRAWN BY:
DATE: JANUARY 6, 2023

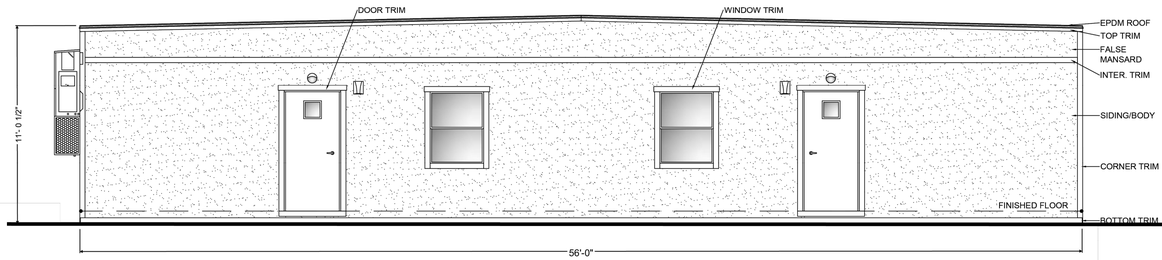
A-501

SITE PLAN ADMINISTRATIVE - DFT LAND USE REVIEW

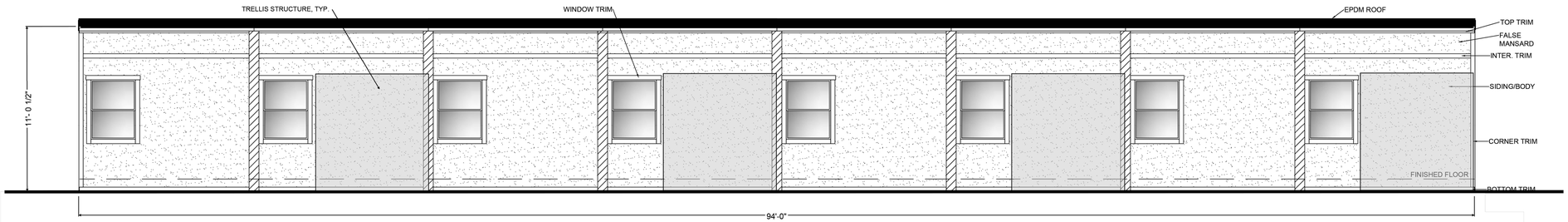
ELEVATION NOTES:

A. TRELLISES ARE 8' TALL AND 8' WIDE, TO BE SPACED LESS THAN OR EQUAL TO 25' O.C.

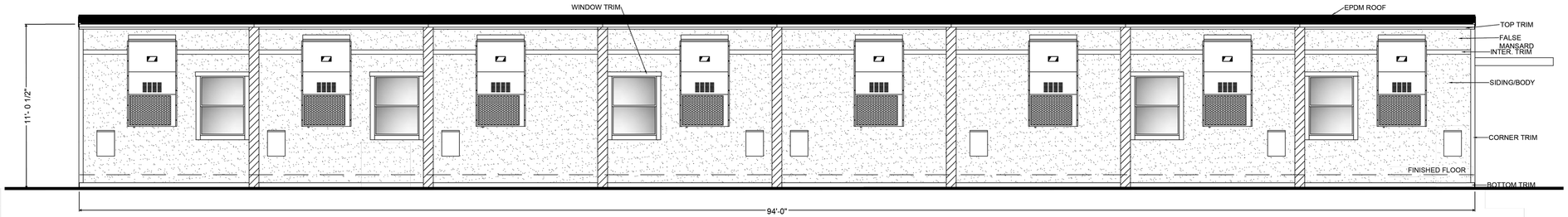
B. MECHANICAL HVAC UNITS ARE SCREENED FROM PUBLIC VIEW AT HAWKING DRIVE BY THIS BUILDING. UNITS ARE APPROXIMATELY 74" H, 38" W, 17" D



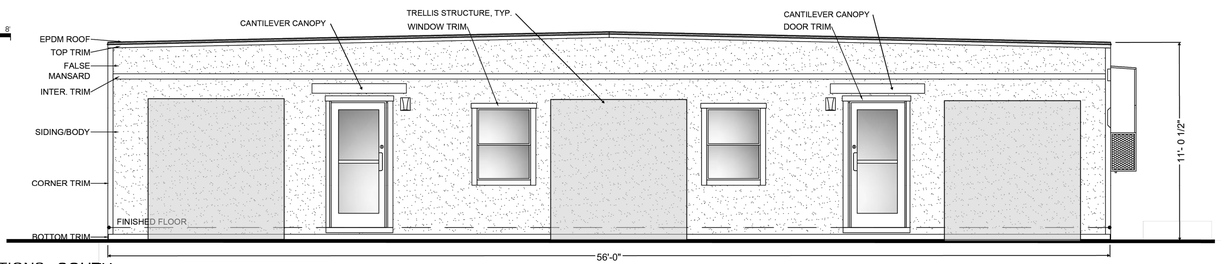
B ELEVATIONS - NORTH
SCALE: 1/4" = 1'-0" 0 2' 4' 8'



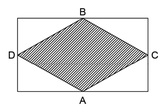
D ELEVATIONS - EAST
SCALE: 1/4" = 1'-0" 0 2' 4' 8'



C ELEVATIONS - WEST
SCALE: 1/4" = 1'-0" 0 2' 4' 8'



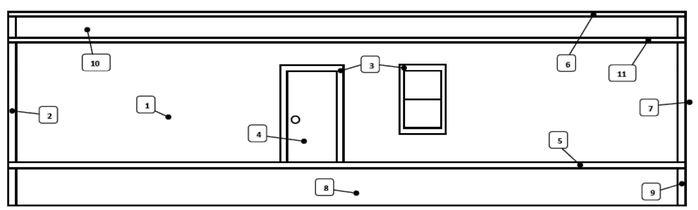
A ELEVATIONS - SOUTH
SCALE: 1/4" = 1'-0" 0 2' 4' 8'



HATCHING DENOTES SHIPLOOSE TRIM

SIGN — DEALER SIGN (PROVIDED BY DEALER & INSTALLED @ FACTORY)

FINISH INFORMATION:



NOTE: Not all color selection fields below may apply and actual color(s) may vary.

(1) Body:	Olympus White SW 6253
(2) Corner Trim (Body):	Blue Chip SW 6959
(3) Door & Window Trim:	Blue Chip SW 6959
*** (4) Exterior Door/Frame:**	see Telstar below
(5) Bottom Horiz. Trim:	Blue Chip SW 6959
(6) Top Horiz. Trim:	Blue Chip SW 6959

Telstar ✓

** Telstar Door/Frames has 3 standard color options (see below).*

(7) Mateline Trim:	Blue Chip SW 6959
(8) Skirting:	N/A
(9) Corner Trim (Skirting):	N/A
(10) Mansard:	Olympus White SW 6253
(11) Intermediate Horiz Trim:	Blue Chip SW 6959

Roof: 45 mil White EPDM

Vinyl Windows:
- ☐ Clay
- ✓ White

HVAC Unit:
- ✓ Gray
- ☐ Beige

Telstar Exterior Door/Frame:
- ✓ Bright White

Exterior Body & Trim:
- ✓ Olympus White SW 6253
- ✓ Blue Chip SW 6959

AMTEX CORP.
832 EAST WALNUT ST - GARLAND, TX 75040
PH (972)-276-7626 FAX (972)-276-0407
SUNBELT MODULAR, INC.

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DEALER: SUSTAINABLE MODULAR MANAGEMENT

PROJECT: KAIROS OFFICE - 2022 (8-PLEX)

PROJECT #: SMM9660-1

STATES: NM, TX

SERIAL NUMBERS: #17444-51

DRAWN BY: ELV

PLOT DATE: 8/25/2022

REV # / DATE:
8/25: STOREFRONT

ROGER DE CHAVEZ, P.E.
ENGINEER
SUNBELT MODULAR, INC.
5301 W. MADISON ST.
PHOENIX, AZ. 85043
(602) 447-6460

SHEET: 9 *OF* 11

Greenbox Architecture
502 SEVENTH STREET, SUITE 203
OREGON CITY, OREGON 97045

RPM TEAM

Kairos Power

STATE OF NEW MEXICO
DEREK M. METSON
NO. 6305
REGISTERED ARCHITECT
1/6/23

SITE PLAN ADMINISTRATIVE - DFT LAND USE REVIEW

KAIROS POWER FACILITY
EXPANSION

5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87106
TR D-1 PLAT OF TRACTS D-1 THRU D-4 BEING A SUBDIVISION OF TRACT D MESA DEL SOL INNOVATION PARK III) CONT 16.4161 AC

EXTERIOR ELEVATIONS - OFFICE BUILDING PER MANUFACTURER

PROJECT NO.: 8000-22
DRAWN BY:
DATE: JANUARY 6, 2023

A-502

11/10/2020 5:47:01 PM
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PARKING REQUIREMENTS

Number of Parking Spaces Required	**IDO TABLE 5-5**
Industrial Uses Special manufacturing	1 space / 1,000 sq. ft. Gross Floor Area
168,288 sq. ft. / 1,000sq. ft. = 168.3 spaces	

Total spaces required = 169

NMBC TABEL 1106.1 – NUMBER OF ACCESSIBLE PARKING SPACES

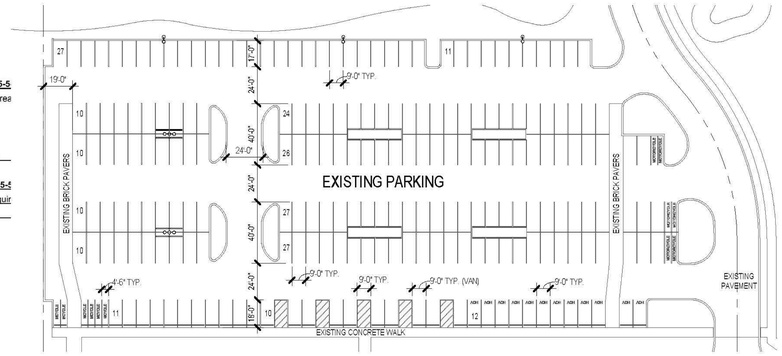
Total Parking Spaces:	Total Required Accessible Parking Spaces:
101-300	
Number Required to be Van Accessible:	2

Motorcycle Parking Requirements	**IDO TABLE 5-5**
Total Parking Spaces required by Table 5-5-1	No. of Motorcycle Spaces Requir
151-300	5 spaces

Number of Existing Parking Spaces Provided

193 Standard Spaces
10 ADA Accessible Spaces (Van Accessible)
12 H.O.V. Spaces
12 Motorcycle Spaces

Total Parking Spaces Provided = 227 (Existing)

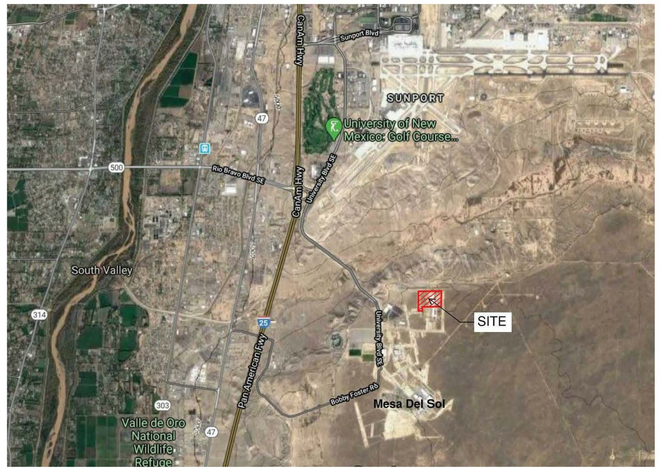


D1 ENLARGED EXISTING PARKING PLAN

1" = 40'-0"

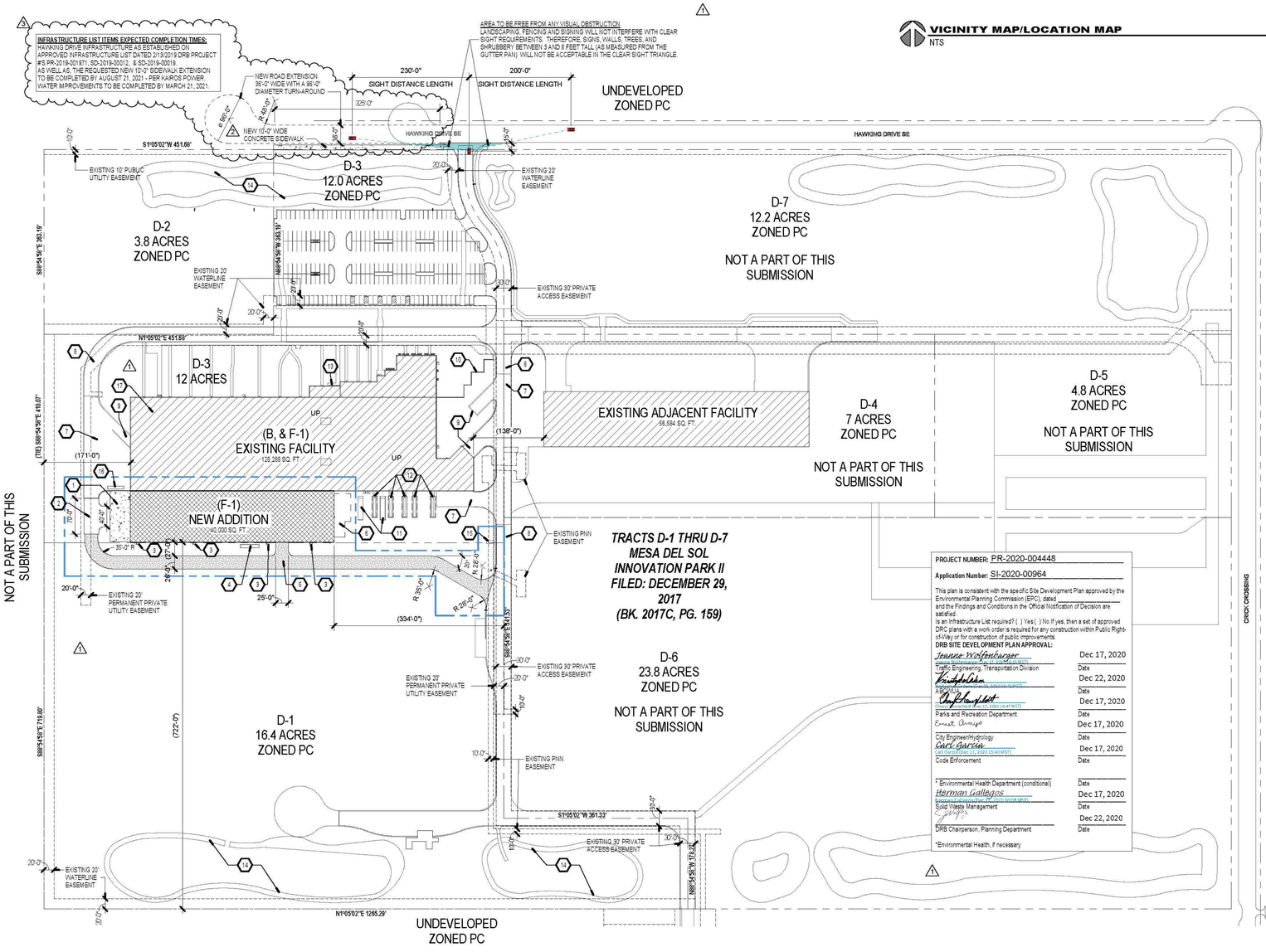
0 20' 40' 80'

Plan North True North



VICINITY MAP/LOCATION MAP

NTS



PROJECT NUMBER: PR-2020-004448
Application Number: SI-2020-00964

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Jennie Wolfenbarger	Dec 17, 2020
Traffic Engineering, Transportation Division	Date
Kristal Metzo	Dec 22, 2020
ABCWUA	Date
Chip Pamplin	Dec 17, 2020
Parks and Recreation Department	Date
Ernest Armijo	Dec 17, 2020
City Engineer/Hydrology	Date
Carl Garcia	Dec 17, 2020
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Herman Gallegos	Dec 17, 2020
Solid Waste Management	Date
	Dec 22, 2020
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary

A1 SITE PLAN

1" = 100'-0"

0 50' 100' 200'

Plan North True North

PROJECT DATA

ADDRESS:
5201 HAWKING DRIVE SE

LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT:
TRACTS D-1 AND D-3 MESA DEL SOL INNOVATION PARK II
SECTION 15, TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM.,
ALBUQUERQUE, NEW MEXICO
PHYSICAL ADDRESS OF SUBJECT SITE:
5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87105
SUBJECT SITE CROSS STREETS:
HAWKING DRIVE SE
OTHER SUBJECT SITE IDENTIFIERS:
MESA DEL SOL, INNOVATION PARK
THIS SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE:
Q-16-Z

KEYED NOTES

1 NEW 40' X 100' REINFORCED CONCRETE DRIVE PAD.
2 NEW ASPHALT DRIVE.
3 NEW 5' X 5' CONCRETE WALK PAD.
4 NEW CONCRETE TRANSFORMER PAD.
5 NEW BASE COURSE DRIVE PAD.
6 FUTURE EXPANSION.
7 EXISTING CONCRETE DRIVE.
8 EXISTING ASPHALT DRIVE.
9 EXISTING LOADING DOCK
10 EXISTING CMU & STUCCO SCREENING WALL WITH PRECAST CONCRETE CAP (COLOR DARK ORANGE) SEE BUILDING ELEVATIONS SHEET - 5 FOR HEIGHTS.
11 EXISTING GENERATOR
12 EXISTING HVAC UNIT ⚠1
13 EXISTING SEPENTINE BIKE RACK (9 BIKES)
14 EXISTING STORM DRAINAGE POND
15 EXISTING WOOD STRUCTURE.
16 EXISTING TRASH COMPACTOR.
17 NEW SEPENTINE BIKE RACK (7 BIKES) LOCATED UNDER EXISTING CANOPY.

⚠1

LEGEND

- EXISTING STRUCTURE
- NEW STRUCTURE
- NEW CONCRETE
- NEW ASPHALT PAVING
- BASE COURSE ACCESS ROAD
- PROPERTY LINE
- EASEMENT LINE
- LIMIT OF NEW WORK

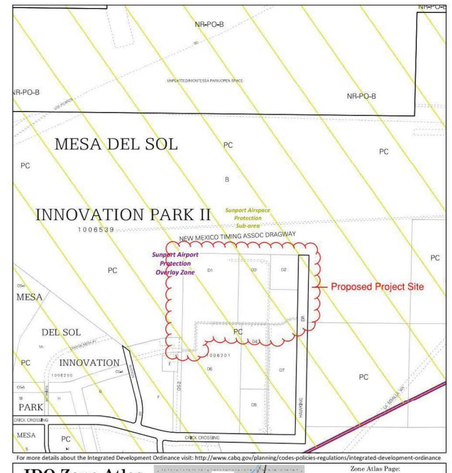
EXTERIOR LIGHTING

ALL EXTERIOR LIGHTING SHALL BE BUILDING MOUNTED, FULL CUT-OFF TYPE FIXTURES AND DESIGNED TO MEET THE GUIDELINES AND PLAN REQUIREMENTS OF THE MESA DEL SOL EMPLOYMENT CENTER DESIGN STANDARDS SECTION 4: LIGHTING.

EXTERIOR SIGNAGE:

ALL EXTERIOR SIGNAGE SHALL BE DESIGNED TO MEET THE GUIDELINES AND PLAN REQUIREMENTS OF THE MESA DEL SOL EMPLOYMENT CENTER DESIGN STANDARDS SECTION 5: SIGNAGE.

NO ADDITIONAL SIGNAGE AT THIS TIME.



For more details about the Integrated Development Ordinance visit: http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance

IDO Zone Atlas May 2018

AGIS Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page: **Q-16-Z**

Gray Shading Represents Area Outside of the City Limits

Easement Escarpment
Petroglyph National Monument
Areas Outside of City Limits
Airport Protection Overlay (APO) Zone
Character Protection Overlay (CPO) Zone
Historic Protection Overlay (HPO) Zone
View Protection Overlay (VPO) Zone
0 250 500 1,000 Feet

STUDIO SW ARCHITECTS
2101 Mountain Road NW Suite B | Albuquerque NM 87104
505-843-9639 | www.studioswarch.com

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CONSULTANTS

Architect Engineer

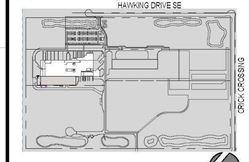
STATE OF NEW MEXICO
CHARLES ANDREW BENSON
NO. 4298
REGISTERED ARCHITECT

Digitally signed by Charles Andrew Benson
Reason: I have reviewed this document
Date: 2020.11.17 17:45:47 -07'00'

Kairos Power

T-FACILITY MODIFICATIONS AND ADDITION

5201 HAWKING DRIVE SE
ALBUQUERQUE, NM 87105



Key Plan
NTS

No	Date	Description
1	10/20/2020	CABQ COMMENTS
2	11/03/2020	CABQ COMMENTS
3	11/10/2020	CABQ COMMENTS

Revision Schedule

ISSUE:	SHELL (ONLY) PERMIT
PROJECT NUMBER:	2018
FILE:	Kairos Power - Arch_Central
DRAWN BY:	JMB
CHECKED BY:	CAB
DATE:	09/30/2020

SHEET TITLE
SITE PLAN

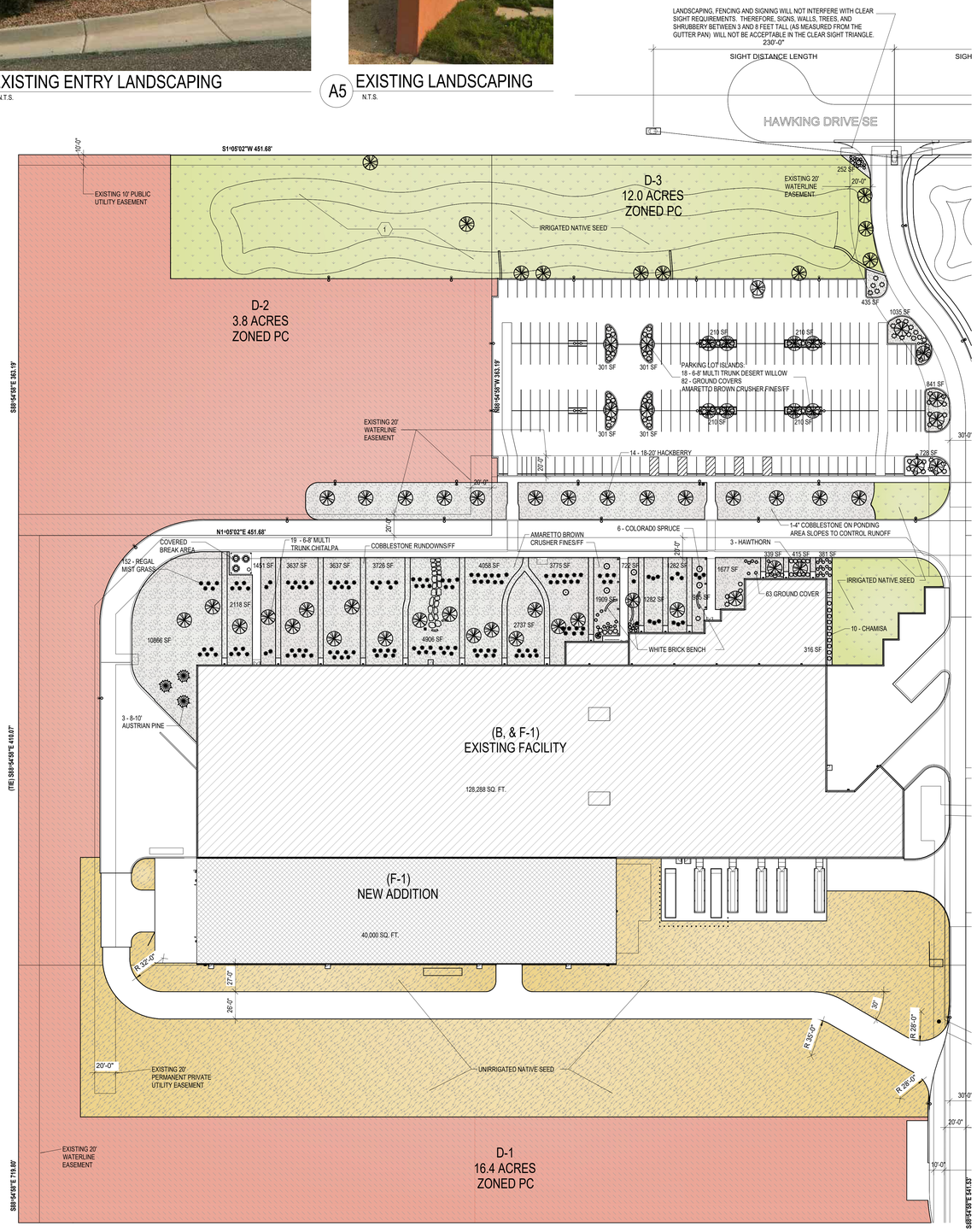
AS-100

E1 EXISTING ENTRY LANDSCAPING
N.T.S.

A5 EXISTING LANDSCAPING
N.T.S.

B5 EXISTING FRONT LANDSCAPING
N.T.S.

C5 EXISTING LANDSCAPING
N.T.S.



A1 LANDSCAPE PLAN
1" = 50'-0"

NEW MEXICO TIMING ASSOC. DRAGWAY ZONED PC
NOT A PART OF THIS SUBMISSION

PROJECT DATA

ADDRESS:
5201 HAWKING DRIVE SE

LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT:
TRACTS D-1 AND D-3 MESA DEL SOL INNOVATION PARK II
SECTION 15, TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM,
ALBUQUERQUE, NEW MEXICO
PHYSICAL ADDRESS OF SUBJECT SITE:
5201 HAWKING DRIVE SE, ALBUQUERQUE, NM 87105
SUBJECT SITE CROSS STREETS:
HAWKING DRIVE SE
OTHER SUBJECT SITE IDENTIFIERS:
MESA DEL SOL, INNOVATION PARK
THIS SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE:
Q-16-Z

KEYED NOTES

1 EXISTING STORM DRAINAGE POND

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
	EXISTING IRRIGATED NATIVE SEED	88,574 SF
	PROPOSED UNIRRIGATED NATIVE SEED TEMPORARY IRRIGATION UNTIL ESTABLISHED	119,925 SF
	EXISTING NATIVE AREA TO REMAIN	242,884 SF
	EXISTING ROCK MULCH	78,630 SF

EXISTING PLANTS

SYMBOL	QUANTITY	TYPE	COVERAGE (SF)	TOTAL COVERAGE (SF)
	10	EVERGREEN TREE	400	4000
	65	DECIDUOUS TREE	500	32,500
○	37	GROUND LEVEL PLANT - SHRUB	25	925
•	152	GROUND LEVEL PLANT - ORNAMENTAL GRASS	9	1368
◦	127	GROUND LEVEL PLANT - GROUNDCOVER	25	3175
			TOTAL:	41,968

LANDSCAPE DATA

ADDRESS	SIZE (ACRES)	IDO UPC#	ZONING DESIGNATION
5201 HAWKING DRIVE SE	12.02	101605232916640206	PC - PLANNED COMMUNITY
"HAWKING DR SE"	3.77	101605236619840205	PC - PLANNED COMMUNITY
"HAWKING DR SE"	16.42	101605227017740201	PC - PLANNED COMMUNITY
GROSS AREA OF LOTS (AC)	32.20		
GROSS AREA OF LOTS (SF)	1402793		
LESS BUILDINGS (SF)	52288		
NET AREA OF LOTS (SF)	1,350,505		

MINIMUM LANDSCAPE AREA - 15 % OF NET LOT AREA*

	REQUIRED	PROVIDED*
PERCENT	15%	39%
AREA (SF)	202576	529423
TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	151932	249,872
VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	37983	213372

* UNLESS PARCEL IS LOCATED IN DT-UC-MS-PT AREAS, IN WHICH CASE MINIMUM IS 10% OF NET LOT AREA

STREET TREES

	REQUIRED	PROVIDED
STREET FRONTAGE (LF)	-	-
TREES (1 PER 25 LF)**	0	0

PARKING LOT SCREENING

AT FRONT LOT LINE (CONTINUOUS 3' HT SHRUBS)	-	34

PARKING LOT INTERIOR

	REQUIRED	PROVIDED
PARKING STALLS	-	221
PARKING LOT AREA (SF)		72645
LANDSCAPED AREA (15% OF TOTAL)	10897	4871
TREES (1 PER 10 PARKING SPACES)	22	24

TOTALS:

	REQUIRED	PROVIDED
TREES	22	75
SHRUBS		316

** PER IDO 5-6(D)(1)(e) TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.

0 25' 50' 100'
Plan North True North

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Architect Engineer

STATE OF NEW MEXICO
JOHN MILLER GRALY
1370
REGISTERED LANDSCAPE ARCHITECT

Kairos Power

T-FACILITY MODIFICATIONS AND ADDITION

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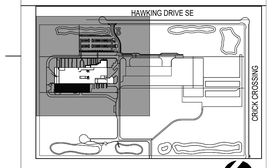
ALBUQUERQUE, NM 87105



Key Plan
NTS

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CHECKED BY:	Checker
DATE:	09/30/2020

SHEET TITLE
LANDSCAPING PLAN

LS-101

Z:\SHARED\HULC\DESIGN - TRANSFER\1 - ACTIVE JOBS\Kairos Power\CAD\Kairos Power - LS-101 - LANDSCAPING PLAN WITH CALCULATIONS_2020.11.03.dwg, Layout1, 11/3/2020 5:14:26 PM

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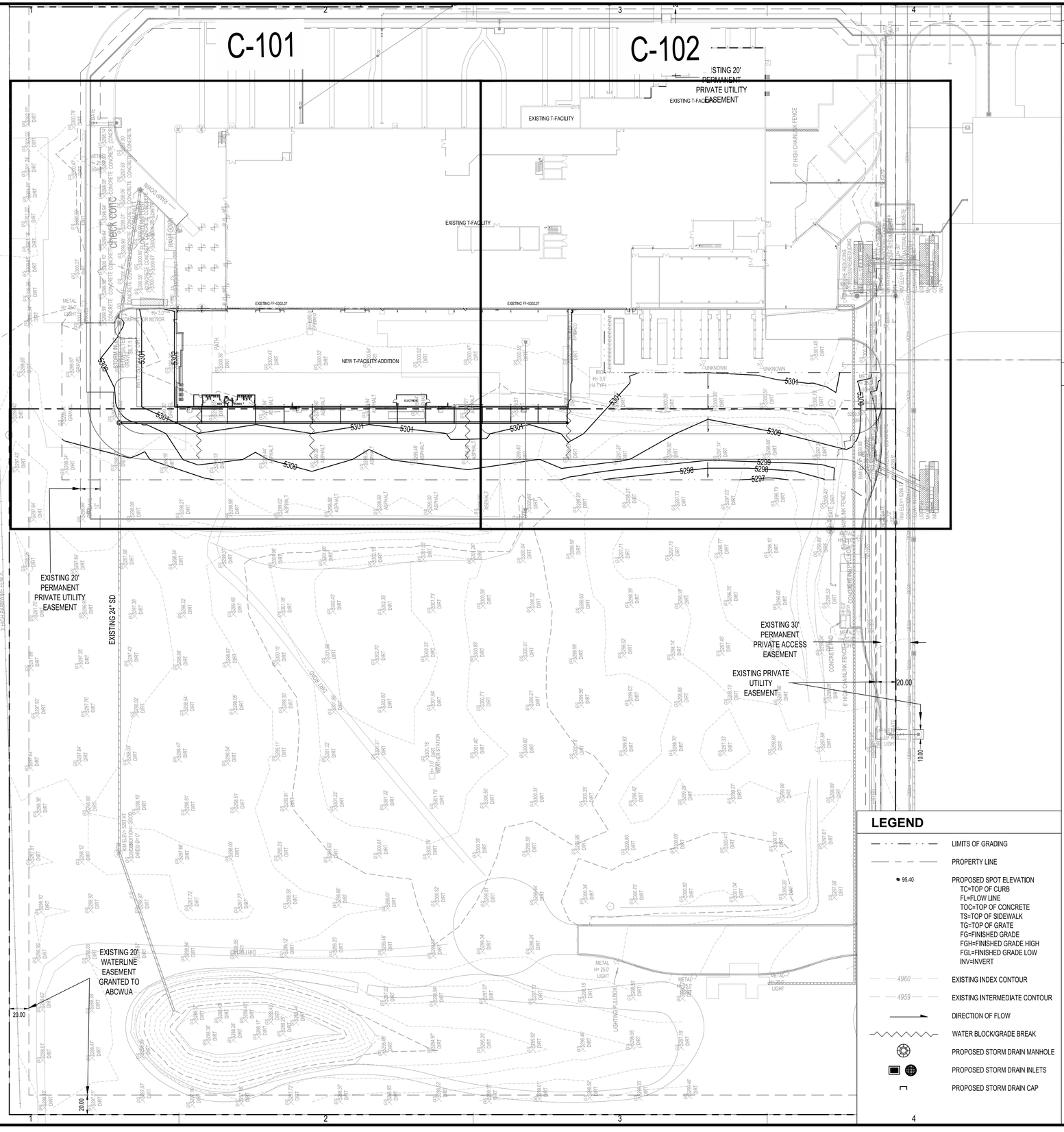

LEGEND

- LIMITS OF GRADING
- PROPERTY LINE
- 95.40 — PROPOSED SPOT ELEVATION
  - TC=TOP OF CURB
  - FL=FLOW LINE
  - TOC=TOP OF CONCRETE
  - TS=TOP OF SIDEWALK
  - TG=TOP OF GRATE
  - FG=FINISHED GRADE
  - FGH=FINISHED GRADE HIGH
  - FGL=FINISHED GRADE LOW
  - INV=INVERT
- 4960 — EXISTING INDEX CONTOUR
- 4959 — EXISTING INTERMEDIATE CONTOUR
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP

GRADING NOTES

A. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

B. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST, AND INCLUDED IN THE GMP.

C. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

D. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.

E. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.

F. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE INSPECTOR. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

G. PAVING AND ROADWAY GRADES SHALL BE +/-0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/-0.05' FROM BUILDING PLAN ELEVATION.

H. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.

I. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

J. THE CONTRACTOR SHALL PROVIDE AS-BUILTS SURVEY DATA TO ENSURE COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SURVEY SHALL BE PERFORMED BY A PROFESSIONAL SURVEYOR LICENSED IN THE THE STATE OF ARIZONA. THE AS-BUILT DRAWING SHALL BE CERTIFIED BY THE SURVEYOR OF RECORD.

GENERAL NOTES

A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS SHALL APPLY.

B. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

C. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

D. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.

E. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.

F. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.

G. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

H. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

I. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).

J. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.

K. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE BERNALILLO COUNTY, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

L. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.

M. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

N. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

O. THE CONTRACTOR SHALL PROVIDE 1 HARD COPY AND 1 ELECTRONIC COPY OF THE EPA STORM WATER POLLUTION PREVENTION PLAN ALONG WITH THE APPROPRIATE SUBMITTAL FEE TO CITY OF ALBUQUERQUE TWO WEEKS PRIOR TO THE START OF SITE DISTURBANCE.

N
50 25 0 50
1"=50'

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7/20/2020

Kairos Power

T-FACILITY MODIFICATIONS AND ADDITION

5201 HAWKING DRIVE SE
ALBUQUERQUE, NM 87105

Key Plan
NTS

No	Date	Description
Revision Schedule		

ISSUE:	DRB SUBMITTAL/FOUNDATION
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FILE:	
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SHEET TITLE
OVERALL GRADING PLAN

C-100

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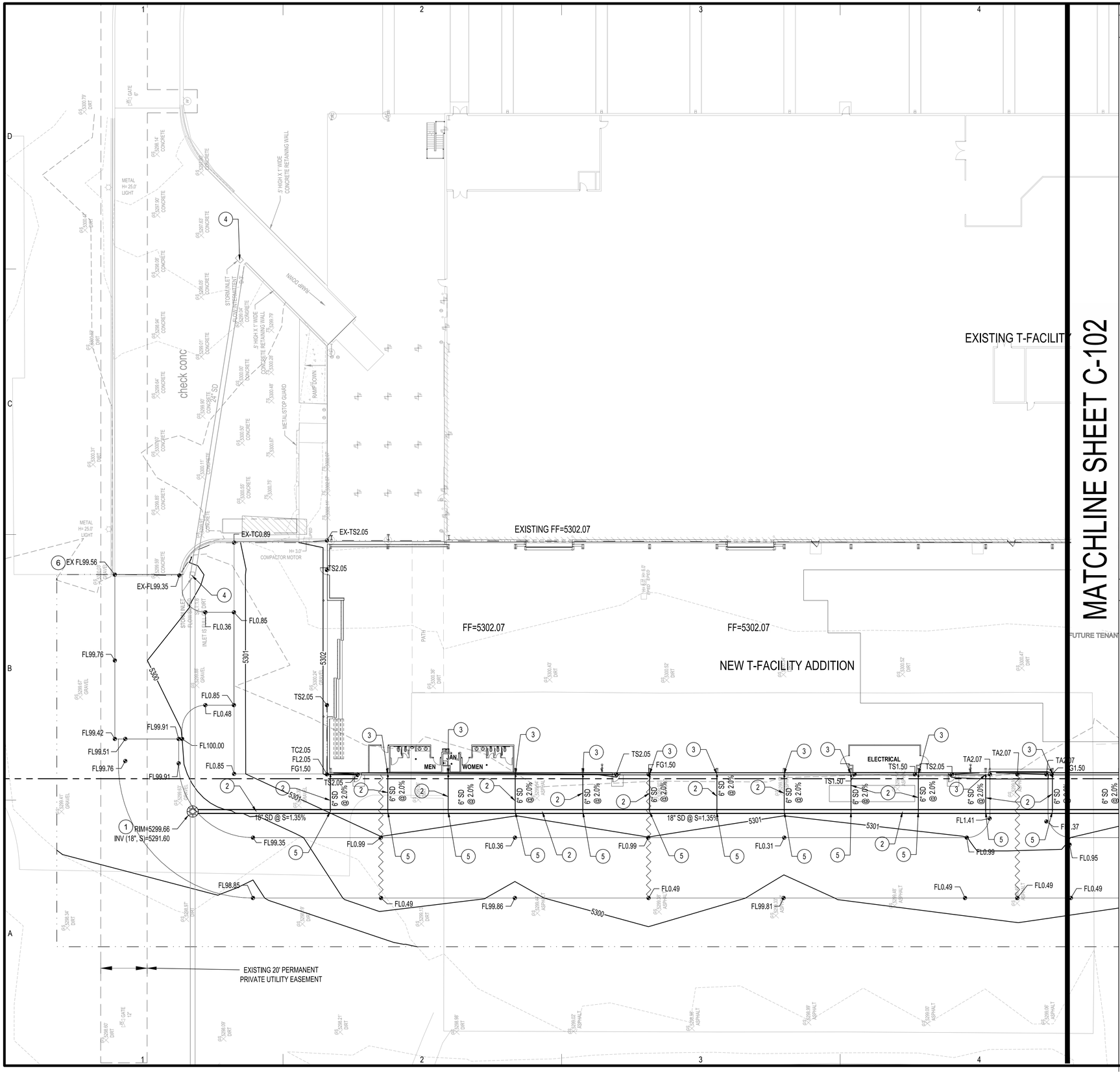

GRADING KEYED NOTES

1. CONNECT TO EXISTING STORM DRAIN. CONSTRUCT 4' DIA TYPE "E" STORM DRAIN MANHOLE PER NMAPWA STD DWG 2102.
2. INSTALL HDPE (N12WT, OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
3. INSTALL STORM DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. INVERT OF ROOF DRAIN TO BE 3' BELOW FINISHED FLOOR MINIMUM.
4. EXISTING INLET TO REMAIN.
5. INSTALL PREFABRICATED STORM DRAIN FITTING. SEE PLAN FOR SIZE.
6. MATCH EXISTING ELEVATION.

LEGEND

- LIMITS OF GRADING
- PROPERTY LINE
- 95.40 PROPOSED SPOT ELEVATION
  - TC=TOP OF CURB
  - FL=FLOW LINE
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  - FGH=FINISHED GRADE HIGH
  - FGL=FINISHED GRADE LOW
  - INV=INVERT
- 4960 EXISTING INDEX CONTOUR
- 4959 EXISTING INTERMEDIATE CONTOUR
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP

N
20 10 0 20
1"=20'

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07/20/2020

Kairos Power

T-FACILITY MODIFICATIONS AND ADDITION

5201 HAWKING DRIVE SE
ALBUQUERQUE, NM 87105

Key Plan
NTS

No	Date	Description

Revision Schedule

ISSUE:	DRB SUBMITTAL/FOUNDATION
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SHEET TITLE
GRADING PLAN

C-101

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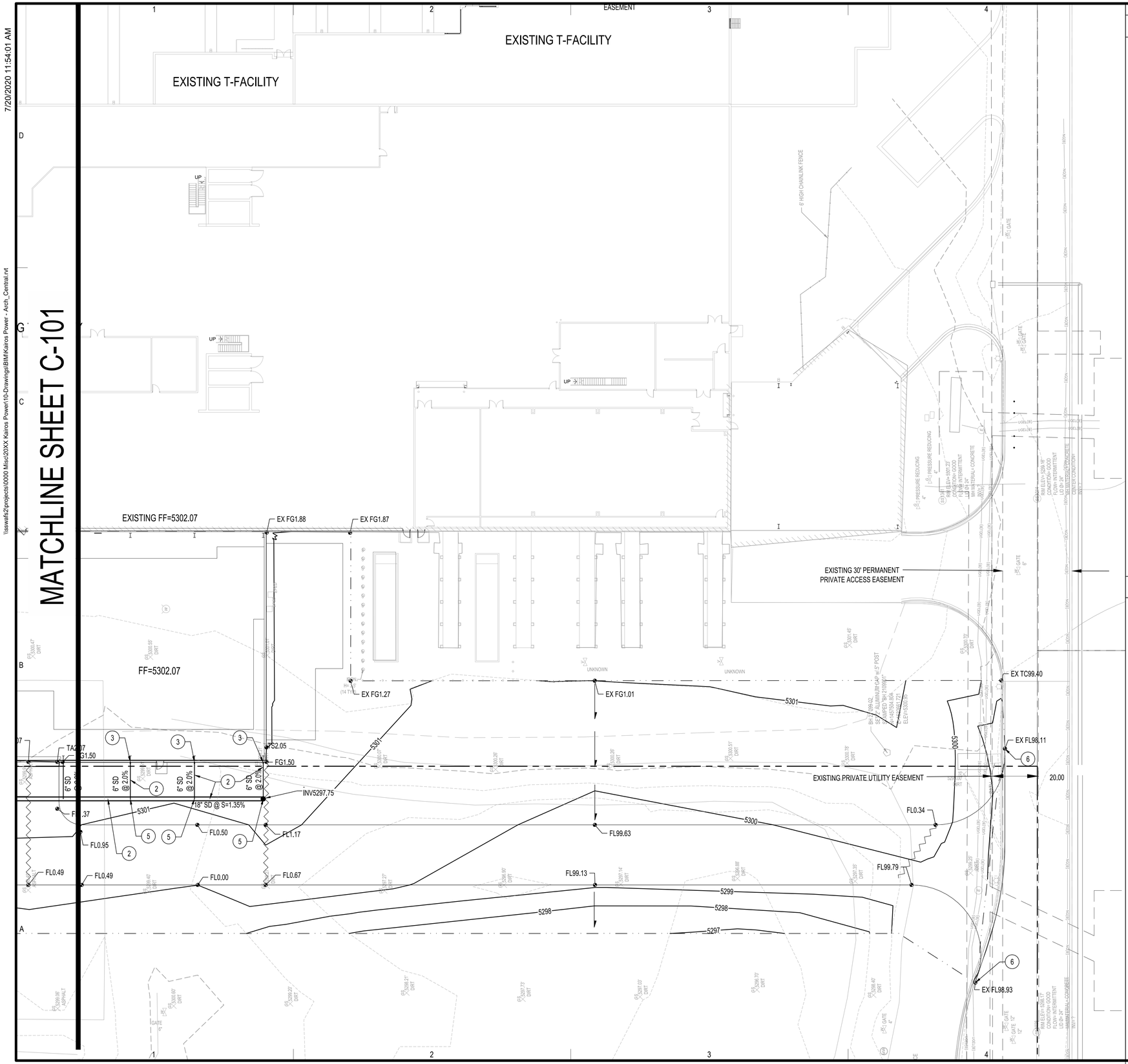

GRADING KEYED NOTES

1. CONNECT TO EXISTING STORM DRAIN. CONSTRUCT 4' DIA TYPE "E" STORM DRAIN MANHOLE PER NMAPWA STD DWG 2102.
2. INSTALL HDPE (N12WT, OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
3. INSTALL STORM DRAIN PIPE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. INVERT OF ROOF DRAIN TO BE 3' BELOW FINISHED FLOOR MINIMUM.
4. EXISTING INLET TO REMAIN.
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- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP

N

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1"=20'

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Kairos Power

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SHEET TITLE

GRADING PLAN

C-102

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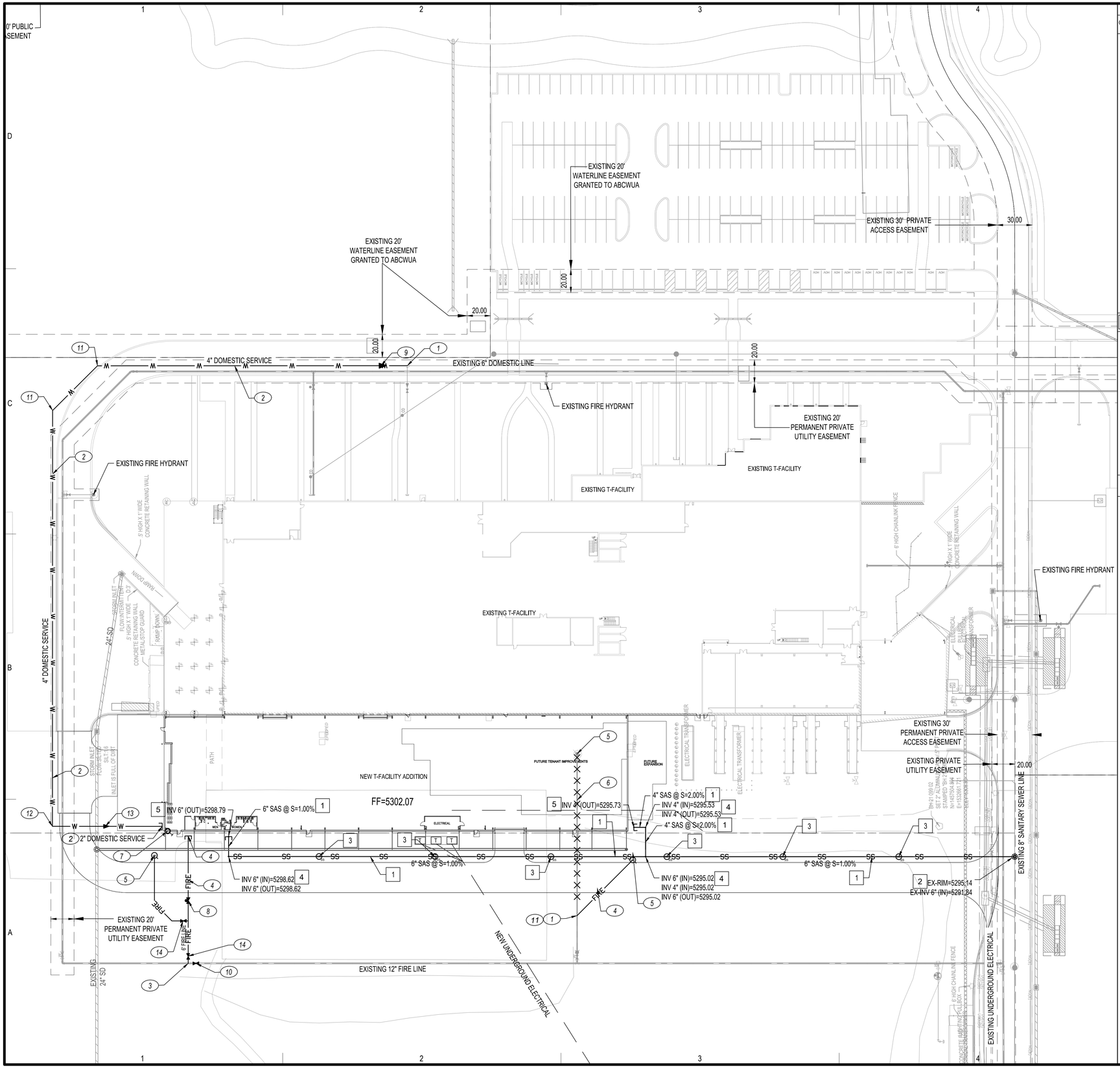

WATERLINE KEYED NOTES

1. CONNECT TO EXISTING 6" DOMESTIC SERVICE. INSTALL 1-6"X6" TEE W/ RESTRAINED JOINTS AS NECESSARY. REMOVE AND DISPOSE OF EXISTING ELBOW.
2. INSTALL NEW DOMESTIC SERVICE. SEE PLAN FOR SIZE.
3. CONNECT TO EXISTING 12" FIRE LOOP. INSTALL 1-12"X6" TEE W/ RESTRAINED JOINTS AS NECESSARY.
4. INSTALL NEW 6" FIRE PROTECTION LINE.
5. INSTALL FIRE HYDRANT PER COA STD DWG 2340.
6. REMOVE AND DISPOSE OF EXISTING FIRE HYDRANT LINE AND ASSOCIATED FIRE HYDRANT.
7. WALL MOUNTED FDC.
8. INSTALL POST INDICATOR VALVE.
9. INSTALL 1-6"X4" REDUCER W/ RESTRAINED JOINTS AS NECESSARY.
10. INSTALL 1-12" GATE VALVE PER COA STD DWG 2326.
11. INSTALL 45° W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
12. INSTALL 90° W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
13. INSTALL 1-4"X2" REDUCER W/ RESTRAINED JOINTS AS NECESSARY.
14. INSTALL 1-6" GATE VALE PER COA STD DWG 2326.

NOTE: DOMESTIC SERVICE FOR KAIROS POWER WILL CONNECT TO EXISTING DOMESTIC SERVICE EAST OF THE FORMER SCHOTT SOLAR BUILDING. THIS EXISTING SERVICE IS CONNECTED TO AN EXISTING 4" METER LOCATED AT CRICK CROSSING.

SANITARY SEWER KEYED NOTES

1. INSTALL NEW SANITARY SEWER SERVICE. SEE PLAN FOR SIZE AND SLOPE.
2. CONNECT TO EXISTING SANITARY SEWER PER COA STD 2118.
3. INSTALL SANITARY SEWER CLEANOUT.
4. INSTALL WATERTIGHT PRE-FABRICATED SANITARY SEWER FITTING.
5. INSTALL SANITARY SEWER TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.

LEGEND

- EASEMENTS
- PROPERTY LINE
- W(EOBD) — EXISTING WATER LINE
- SS(EOBD) — EXISTING SANITARY SEWER LINE
- W — PROPOSED WATER LINE
- SS — PROPOSED SANITARY SEWER LINE
- FIRE — PROPOSED FIRE LINE
- PROPOSED VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED POST INDICATOR VALVE
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED SANITARY SEWER CAP
- W(EXIS) — EXISTING UTILITY TO BE REMOVED

N

40 20 0 40
1"=40'

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9/9/2020

NOT FOR CONSTRUCTION

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SHEET TITLE
UTILITY PLAN

C-200

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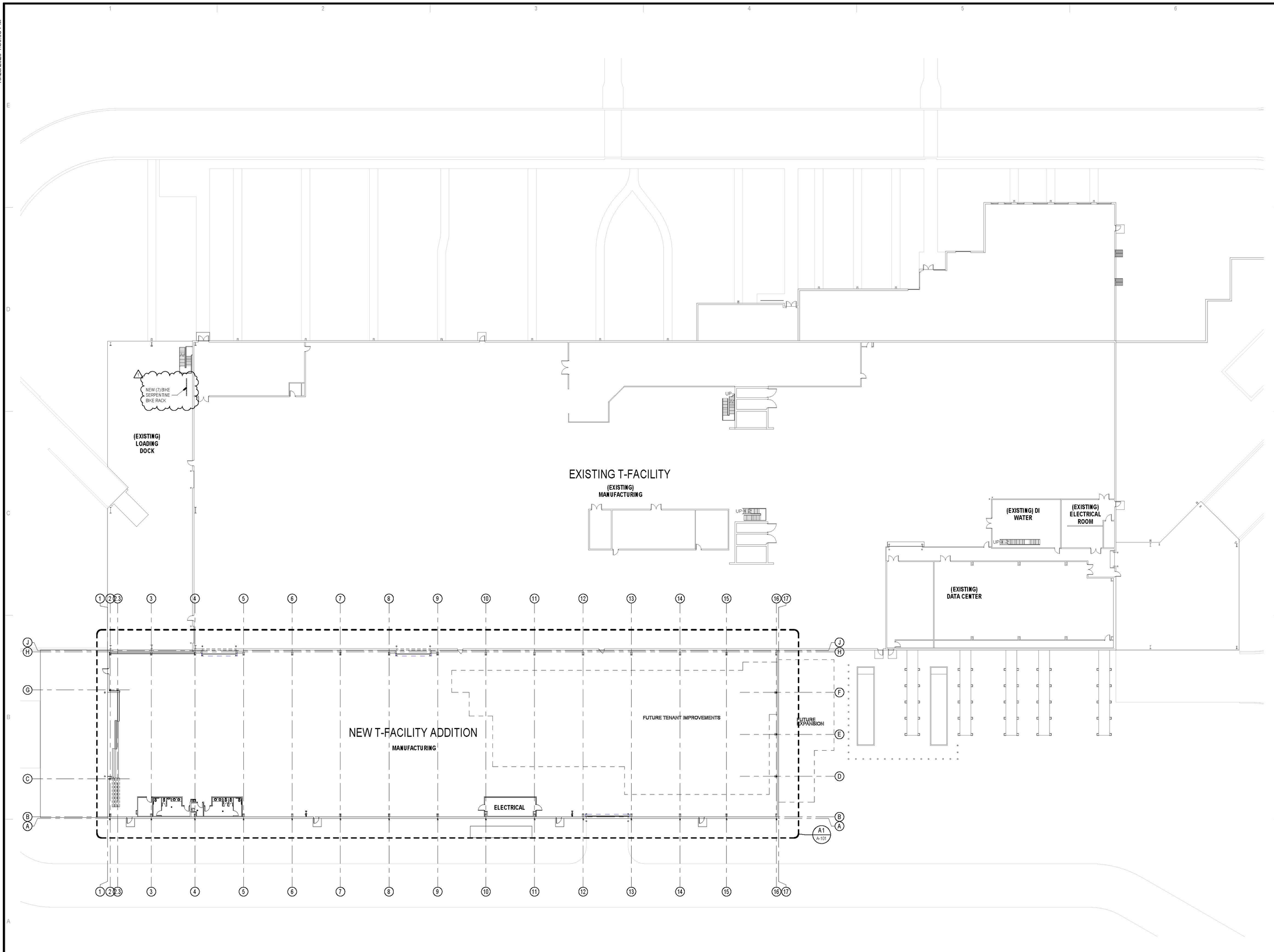

A1 OVERALL - MAIN FLOOR PLAN
3/64" = 1'-0"

Plan North True North

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CONSULTANTS

Architect Engineer

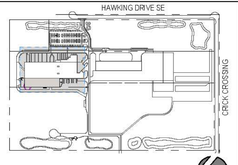
STATE OF NEW MEXICO
CHARLES ANDREW BENSON
NO. 4298
REGISTERED ARCHITECT

Digitally signed by Charles Andrew Benson
Reason: I have reviewed this document
Date: 2020.11.02 18:30:42-07'00'

Kairos Power

T-FACILITY MODIFICATIONS AND ADDITION

5201 HAWKING DRIVE SE
ALBUQUERQUE, NM 87105



Key Plan
NTS

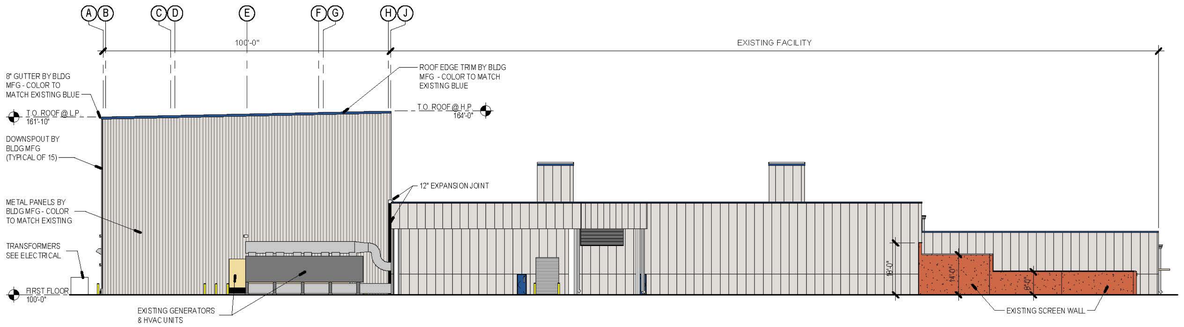
No	Date	Description
1	10/20/2020	CABQ COMMENTS

Revision Schedule

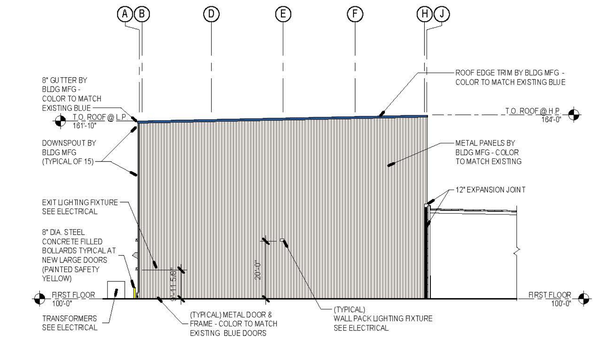
ISSUE:	SHELL (ONLY) PERMIT
PROJECT NUMBER:	2018
FILE:	Kairos Power - Arch_Central
DRAWN BY:	JMB
CHECKED BY:	CAB
DATE:	09/30/2020

SHEET TITLE
OVERALL - MAIN FLOOR PLAN

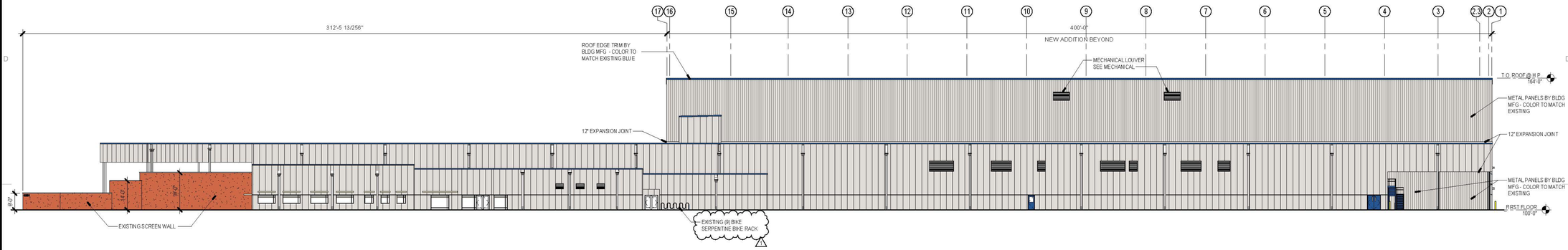
A-100



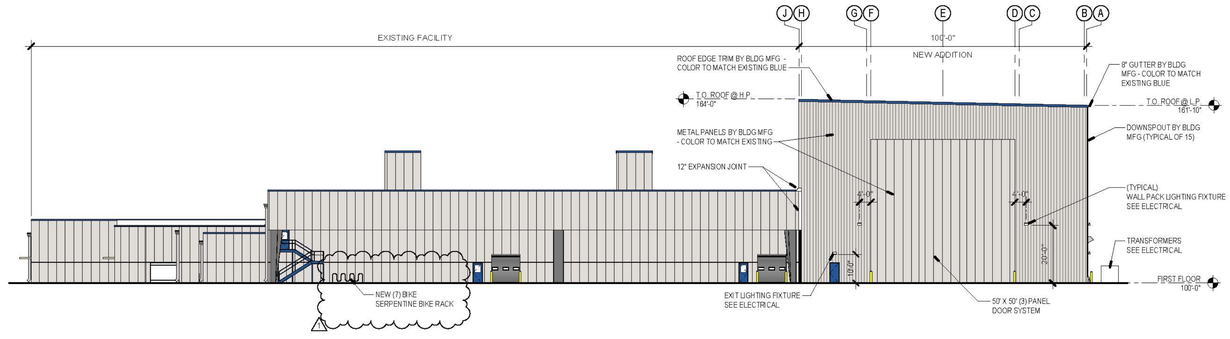
D1 SOUTH BUILDING ELEVATION
3/64" = 1'-0"
0 16' 32' 48'



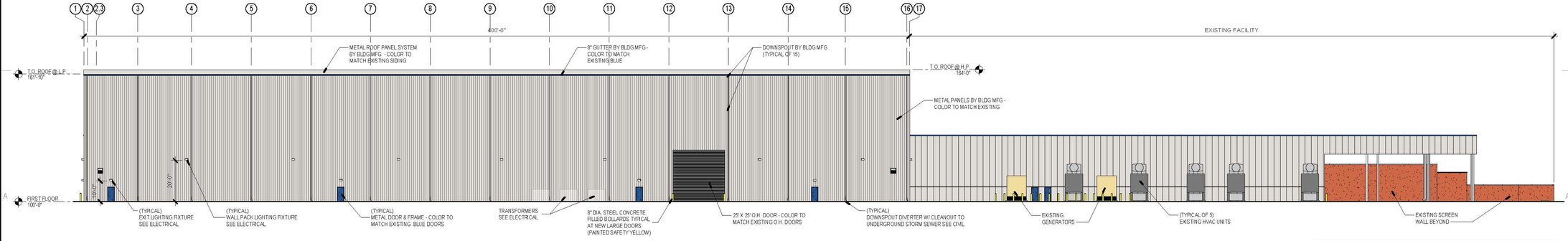
D5 SOUTH BUILDING ELEVATION ADDITION
3/64" = 1'-0"
0 16' 32' 48'



C2 EAST BUILDING ELEVATION
3/64" = 1'-0"
0 16' 32' 48'



B2 NORTH BUILDING ELEVATION
3/64" = 1'-0"
0 16' 32' 48'



A2 WEST BUILDING ELEVATION
3/64" = 1'-0"
0 16' 32' 48'

EXTERIOR LIGHTING

ALL EXTERIOR LIGHTING SHALL BE BUILDING MOUNTED, FULL CUT-OFF TYPE FIXTURES AND DESIGNED TO MEET THE GUIDELINES AND PLAN REQUIREMENTS OF THE MESA DEL SOL EMPLOYMENT CENTER DESIGN STANDARDS SECTION 4: LIGHTING.

STUDIO SW ARCHITECTS
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Kairos Power

T-FACILITY MODIFICATIONS AND ADDITION

5201 HAWKING DRIVE SE
ALBUQUERQUE, NM 87105

Key Plan
NTS

No	Date	Description
1	10/20/2020	CABQ COMMENTS

Revision Schedule

ISSUE:	SHELL (ONLY) PERMIT
PROJECT NUMBER:	2018
FILE:	Kairos Power - Arch_Central
DRAWN BY:	JMB
CHECKED BY:	CAB
DATE:	09/30/2020

SHEET TITLE
EXTERIOR ELEVATIONS

A-200

10/28/2020 4:17:06 PM
\\sswarb.2\projects\2018 Kairos Power\10-Drawings\BIM\Kairos Power - Arch_Central.rvt

SCHOTT solar

Logistics

Crimped Straw/ Native Seed (Unirrigated)

Logistics

Solar Receiver
Technical Spine/Media/Office & Social

Future Extension

260 sf

10 – 5 gal. Chamisa

84 – 1 gal. Groundcover

White Slumprock Seatbench

Gray Crusher Fines
Steel Edge

3 – 3" cal. Hawthorn

Irrigated Native Seed

294 sf

294 sf

342 sf

1390 sf

742 sf

1030 sf

1030 sf

437 sf

1803 sf

2926 sf

2914 sf

3193 sf

4616 sf

3193 sf

3193 sf

3193 sf

1236 sf

2398 sf

10047 sf

SOLAR TOWERS REMOVED (TYP.)

3 – 8-10' Austrian Pine

2" Water Stub (65 psi)/
Power for Timer and BFP

Steel Schott Solar Symbol (See Detail)

Amaretto Brown Crusher Fines/ FF

152 – 1 gal. Regal Mist Grass

20 – 6-8' Multi Trunk Chitalpa

Cobblestone Rundowns/ FF

FENCE REMOVED

1-4" Cobblestone on Ponding Area Slopes
To Control Runoff

Irrigated Native Seed

Phase 1 Boundary

1278 sf

HOV HOV HOV HOV HOV HOV HOV HOV HOV HOV HOV

14 – 18-20' Hackberry

¾" Gray Gravel/ Filter Fabric Pond Bottom

BOUNDARY PHASE LINE (TYP.)

753 sf

MOVCLE MOVCLE MOVCLE MOVCLE

200 sf

200 sf

260 sf

260 sf

580 sf

Parking Lot Islands:
20– 6-8' Multi Trunk Desert Willow/
65-1 gal. Groundcovers
Amaretto Brown Crusher Fines/ FF

MOVCLE MOVCLE

937 sf

200 sf

200 sf

260 sf

260 sf

580 sf

Temporary Crimped Straw/ Native Seed (Unirrigated)
In Future Parking Area

Phase 1 Boundary

TREE LOCATIONS CHANGED

341 sf

2 ½" cal. Ash

Irrigated Native Seed

6 – 18-20' Ash

618 sf

33 – 5 gal. Cotoneaster gl.

430 sf

6 – 2 ½" cal. Navaho Willow/ Netafim Spiral/
Bark Mulch Pits

Irrigated Native Seed

Native Seed Mix (% by Weight)
Indian Ricegrass 18.18%
Galleta 18.18%
Sideoats Grama 18.18%
Blue Grama 27.28%
Sand Dropseed 9.09%
Four-Wing Saltbush 9.09%

Irrigated Native Seed

5302107.6N

5302

5301702.6N

5301613.1N

5300008.5N

5299958.1N

PHASE 1 BOUNDARY PARK OR SIDEWALK

Streetscaping in Phase 2

DRAWING 2 OF 2

GRAPHIC SCALE

20 10 0 10 20

JAMES FLON 0007 REGISTERED LANDSCAPE ARCHITECT

12-29-08
REV. 2/23/09
REV. 5/7/09

RECEIVED
APPROVED
DATE 7/15/09
ENVIRONMENTAL PLANNING COMMISSION

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
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cm@hilltoplandscaping.com

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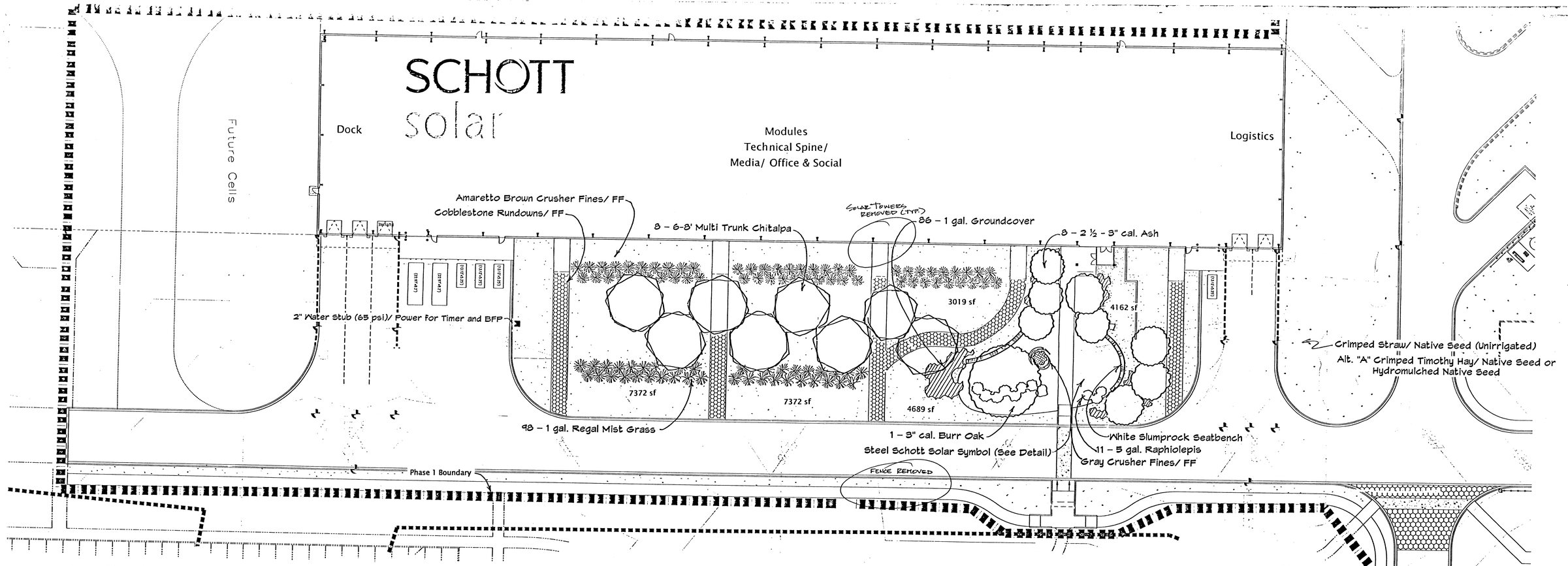
RECEIVED FEB 23 2009

1006201



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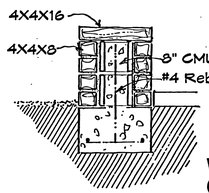
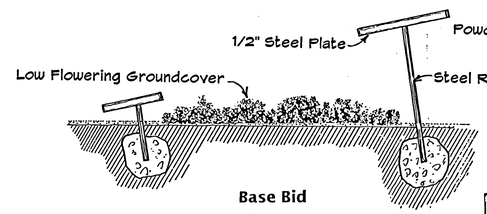
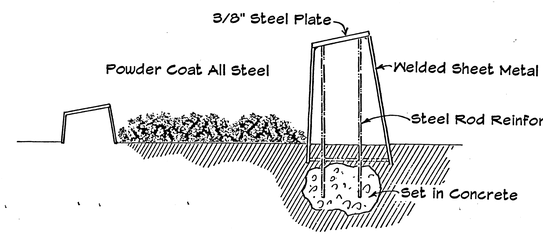


White Slumprock Masonry Seatbench Detail (NTS)

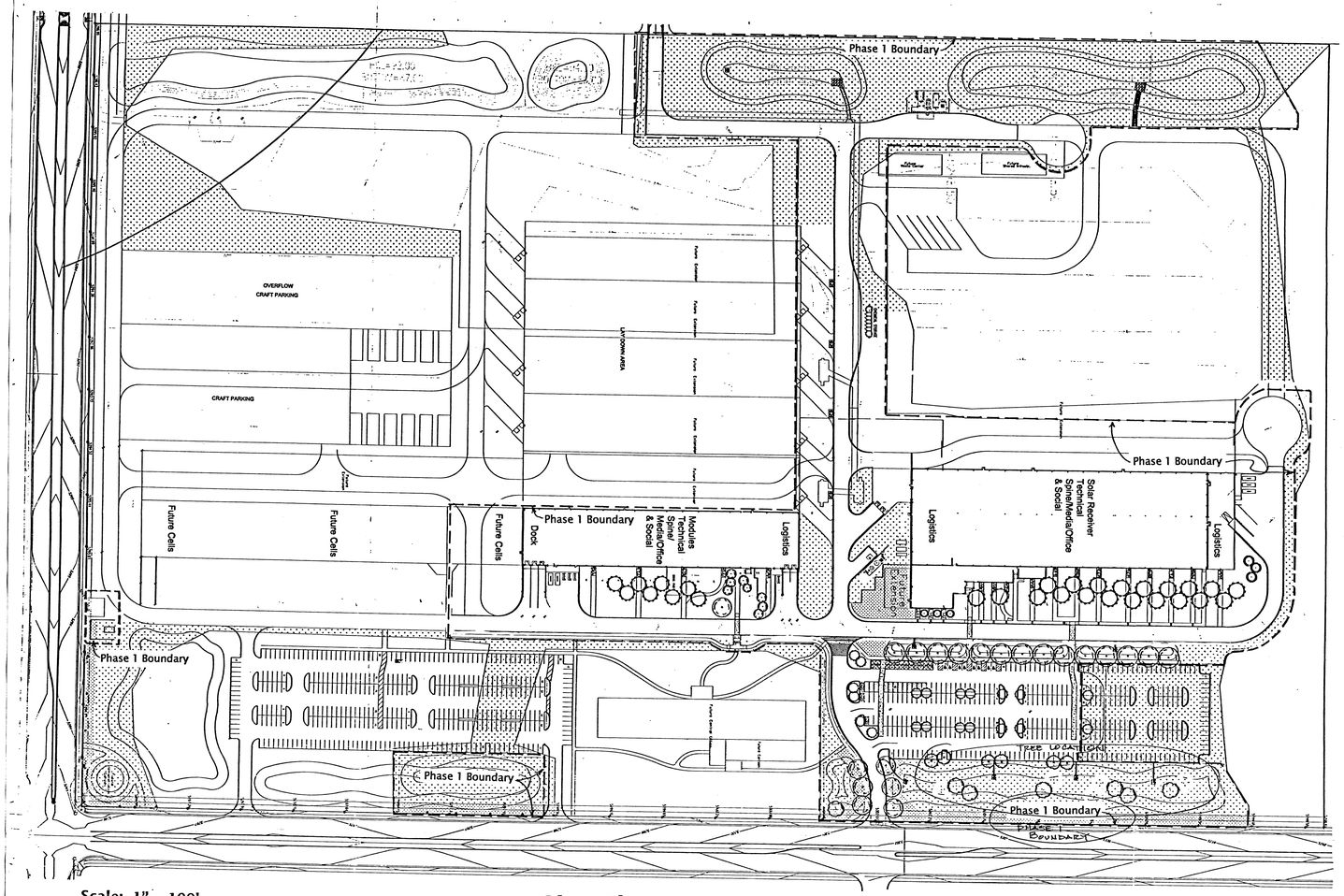


Base Bid



Alternate Upgrade

Section: Schott Solar Symbol (NTS)



Scale: 1" = 100'

Site Plan

ADMINISTRATIVE AMENDMENT
F: 09AA-10049 Project # 1006201
Revised landscaping and solar towers removed
Russell Brito 08 May 2009
APPROVED BY DATE

Approved for compliance with PC Zoning Level "A" and Level "B" Plans and compliance with the Design Standards of the Mesa del Sol Employment Center Convenants, Conditions & Restrictions.

Architectural Review Committee
Mesa del Sol Employment Center
By: Carrie Biesiot
Carrie Biesiot, Administrator

REVIEWED & APPROVED DATE 2/25/09
DESIGN REVIEW, ADMINISTRATOR

The Hilltop
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STATE OF NEW MEXICO
CHRIS DE FLON
0007
REGISTERED LANDSCAPE ARCHITECT

12-24-08
Rev. 2/23/09
Rev. 5/7/09

DRAWING 1 OF 2

PR-2020-004448_SI-2020-00964_Site_Plan_Amendment_Approved_12-16-20 Sheet 1

Final Audit Report 2020-12-22

Created:	2020-12-17
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAF9_V655Y6uUSRXaEGDgVDXWTgrXUnbT7

"PR-2020-004448_SI-2020-00964_Site_Plan_Amendment_Approved_12-16-20 Sheet 1" History

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Final Audit Report 2023-04-20

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