



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input checked="" type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
SITE PLANS		<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
BRIEF DESCRIPTION OF REQUEST			
DRB FINAL SIGN OFF OF EPC APPROVED SITE PLAN			

APPLICATION INFORMATION			
Applicant: Barbara Mueller		Phone: 505.321.9099	
Address: 9913 Greene Street NW		Email: j.soule@comcast.net	
City: albuquerque	State: nm	Zip: 87114	
Professional/Agent (if any): Rio Grande Engineering		Phone: 505.321.909	
Address: PO BOX 93924		Email: david@riograndeengineering.com	
City: albuquerque	State: nm	Zip: 87199	
Proprietary Interest in Site: owner		List all owners: sole	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: 22		Block:	Unit:
Subdivision/Addition: VOLCANO CLIFFS UNIT 6		MRGCD Map No.:	UPC Code: 100906317105030106
Zone Atlas Page(s): D09	Existing Zoning: RA	Proposed Zoning RA	
# of Existing Lots: 2	# of Proposed Lots: 22	Total Area of Site (Acres): 6.0	
LOCATION OF PROPERTY BY STREETS			
Site Address/Street: QUIVIRA DRIVE		Between: VISTA VIEJA AVE	and: RETABLO ROAD
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			

Signature: <i>David Soule</i>	Date: 9/7/21
Printed Name: DAVID SOULE	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:			Fee Total:		
Staff Signature:			Date:		Project #


FORM P2A: FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC

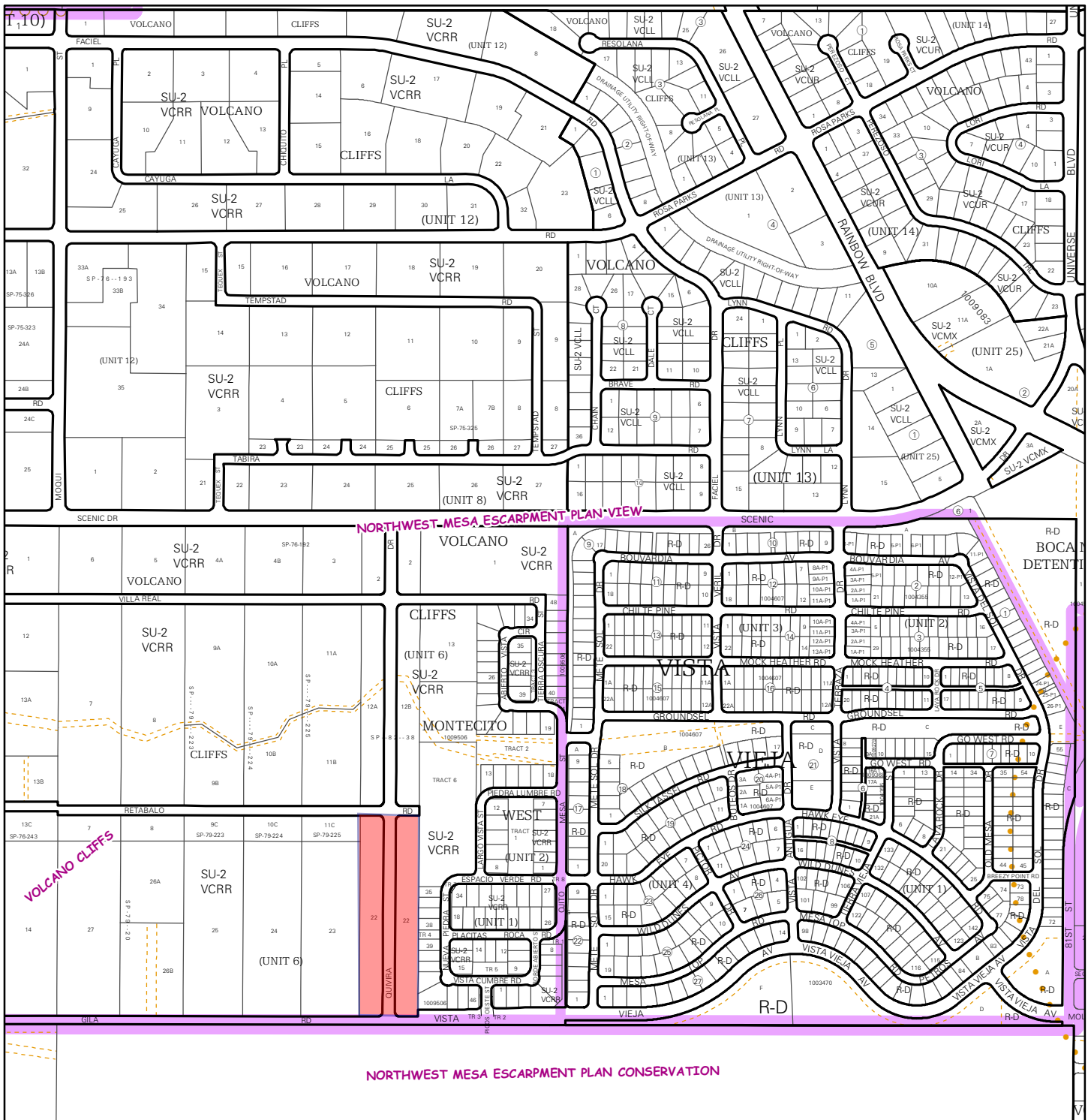
Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

- Interpreter Needed for Hearing? _____if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings
- Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.	
Signature: <i>MS</i>	Date: 9/14/21
Printed Name: DAVID SOULE	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 1/28/2016

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-09-Z

Selected Symbols

- SECTOR PLANS
- Escarpment
- Design Overlay Zones
- 2 Mile Airport Zone
- City Historic Zones
- Airport Noise Contours
- H-1 Buffer Zone
- Wall Overlay Zone
- Petroglyph Mon.

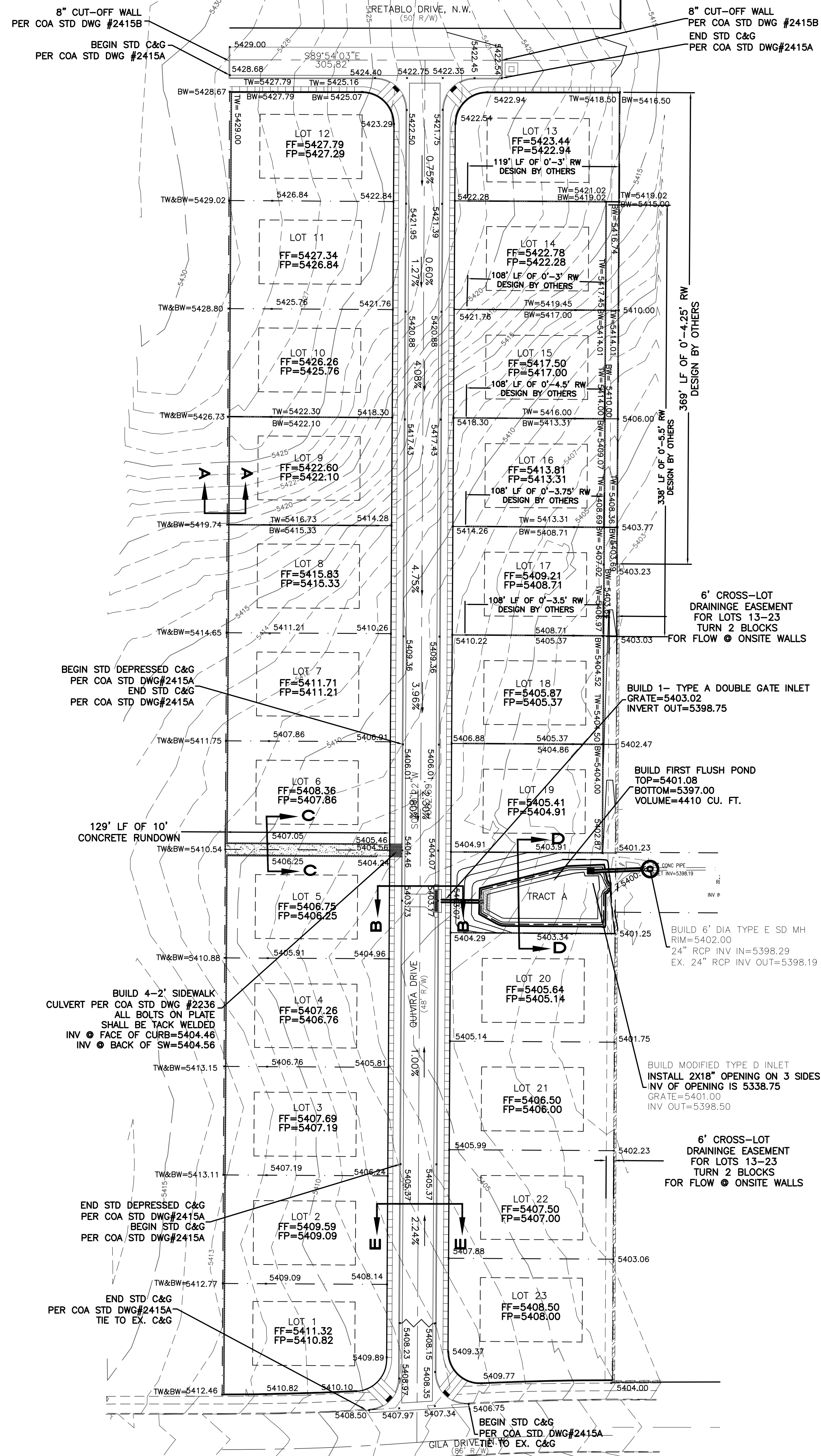
0 750 1,500 Feet

Letter of Authorization

I, Barbara Mueller, owner of Tract 22, Unit 6 Volcano Cliffs, hereby authorize David Soule and Rio Grande Engineering of New Mexico, LLC to act as our agent regarding the submittal and approval process for the vacation of a Right of Way and subsequent preliminary plat approval for the referenced lot within the city of Albuquerque, included EPC hearing.

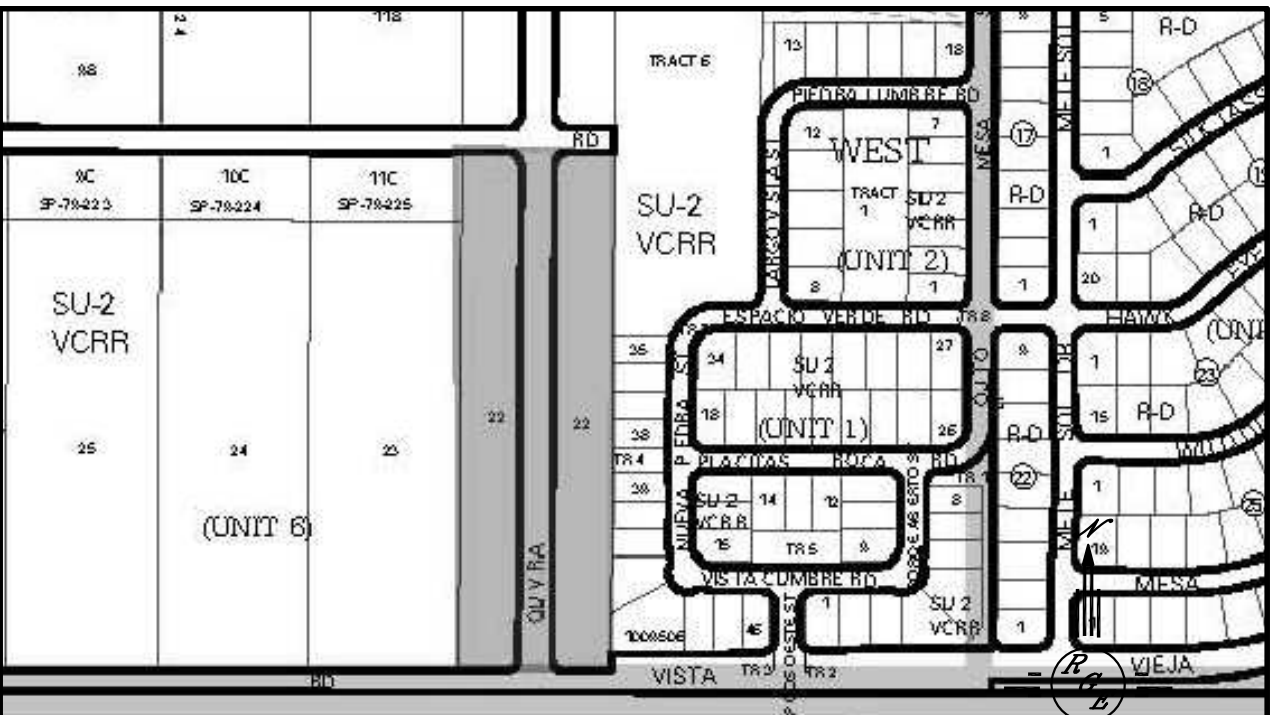
Property Owners: Barbara Mueller

5/20/21



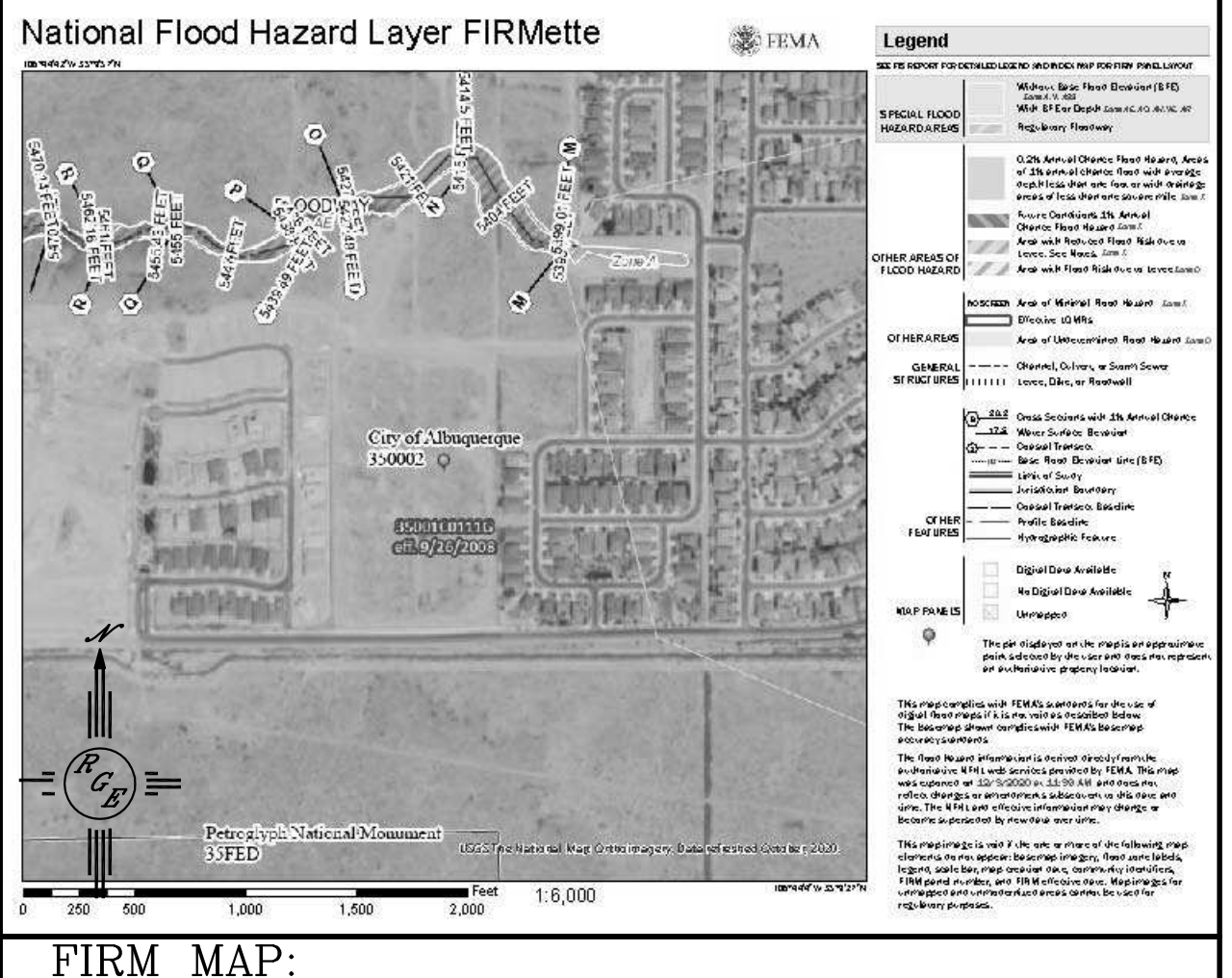
EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



NORTHWEST MESA ESCARPMENT PLAN CONSERVATION

VICINITY MAP: D-09-Z



FIRM MAP:

LEGAL DESCRIPTION:

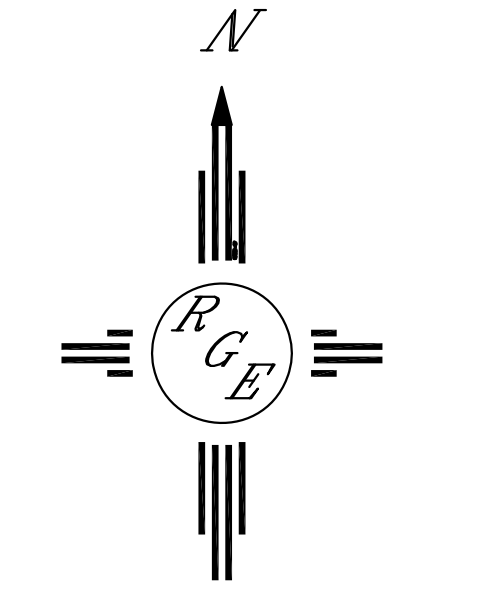
LOTS 1-23, AND TRACT A, QUIVIRA ESTATES

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL NEW PAVING SHALL BE 6" PCC OVER 8" SUBGRADE PREPARATION IN CONFORMANCE TO ACI 330R-08. UNLESS OTHERWISE NOTED.
5. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
6. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9

LEGEND

---	EXISTING CONTOUR
- - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
▲	SLOPE TIE
×	EXISTING SPOT ELEVATION
×	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB
---	EXISTING CURB AND GUTTER
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	3' ADA PATH-2% MAX SLOPE



GRAPHIC SCALE

SCALE: 1"=50'

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

	QUIVIRA ESTATES	DRAWN BY WCIJ
	GRADING AND DRAINAGE PLAN	DATE 12-02-20
1/4/21		SHEET #
DAVID SOULE P.E. #14522	1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	JOB # 2102059-LAYOUT-8-06-20

September 3, 2020

Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Vice Chair

Debbie O'Malley
County of Bernalillo
Commissioner, District 1

Pat Davis

City of Albuquerque
Councilor, District 6

Trudy E. Jones

City of Albuquerque
Councilor, District 8

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City of Albuquerque
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Charlene Pyskoty

County of Bernalillo
Commissioner, District 5

Steven Michael Quezada

County of Bernalillo
Commissioner, District 2

Ex-Officio Member

Pablo R. Rael
Village of Los Ranchos
Board Trustee

Executive Director

Mark S. Sanchez

Website

www.abcwua.org

David Soule
Rio Grande Engineering Of New Mexico LLC
9171 Glendale Ave. NE
Albuquerque, New Mexico 87122

RE: Water and Sanitary Sewer Serviceability Letter #200603

Project Name: Quivira Height

Project Address: Unaddressed lot on Vista Viejo and Quivira NW

Legal Description: TRACT 22 VOLCANO CLIFFS SUBD UNIT 6

UPC: 100906317105030106

Zone Atlas Map: D-09

Dear Mr. Soule:

Project Description: The subject site is located between Retablo Rd. and Vista Vieja Ave. along Quivira Dr. within the City of Albuquerque, but is outside the service area. The property consists of approximately 7.8 acres and is currently zoned R-A for Rural and Agricultural use. The property lies within the Pressure Zone 4W in the Volcano trunk. The request for information indicates plans to subdivide into 22 proposed lots.

Development Agreement: Pursuant to the System Expansion Ordinance, this property is outside of the Water Authority service area and the Water Authority Board must approve a Development Agreement to serve this property and establish requirements as a condition of service. Contact Utility Development in regards to Development Agreements.

Water Resource Charge: All developments located outside of the Water Authority's Adopted Service Area will be assessed a Water Resource Charge (WRC) as provided in the Water Authority's Water and Sewer Rate Ordinance for the development of new water resources, rights and supplies necessary to serve the development. The WRC shall not be used for reimbursement of master planned facilities.

Existing Conditions: Water infrastructure in the area consists of the following:

- Eight inch PVC distribution main stub (project #26-7639.83-17) along the south end of Quivira Dr.
- 12 inch PVC distribution main (project #26-7639.83-17) along Vista Vieja Ave.
- Ten inch PVC distribution main (project #26-6561.03-06) along Vista Vieja Ave.
- Eight inch PVC distribution main stub (project #26-7639.83-17) along the north end of Quivira Dr.
- Eight inch PVC distribution main (project #26-7639.83-17) along Retablo Rd.

Sanitary sewer infrastructure in the area consists of the following:

- Eight inch PVC collector line stub (project #26-7639.83-17) along the south end of Quivira Dr.
- Eight inch PVC collector line (project #26-7639.83-17) along Vista Vieja Ave.
- Eight inch PVC force main (project #26-6561.03-06) along Vista Vieja Ave.

Water Service: New metered water service to the property can be provided contingent upon a developer funded project to extend and loop the two existing eight inch stub-outs along the north and south ends of Quivira Dr.

Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted, and collar removed. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

Sanitary Sewer Service: Sanitary sewer service can be provided contingent upon a developer funded project to extend the existing eight inch collector stub-out to the north of Quivira Dr. and shall terminate with a manhole.

Fire Protection: A standard fire hydrant flow of 1,500 gallons-per-minute has been applied to the proposed infrastructure. As modeled using InfoWater™ computer software, the fire flow can be met. An analysis test was analyzed at a representative node along the proposed eight inch waterline along Quivira Dr.

All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

Cross Connection Prevention: Any residential premises having existing private wells and who desire to connect to the public water system shall have two options as follows: 1) Customers shall permanently abandon the use of private wells by plugging the wells as accepted by the Water Authority prior to connecting to the public water system; or 2) Customers who choose to maintain their private wells shall completely sever the private well from the premises' potable plumbing system and shall install a reduced pressure principle backflow prevention assembly approved by the Water Authority at the terminal end of the water service from the public water system (e.g., service connection). Contact Cross Connection at 289-3454 for more information.

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Side yard easements are not acceptable for either water or sanitary sewer. Acceptable easements must be documented prior to approval of service.

Pro Rata: Pro Rata has been assessed for this property in the amount of \$24,940.92 for water infrastructure and \$10,642.80 for Sewer infrastructure under project #763983 for a total amount of \$35,583.72. These charges are assessed to the property due to its ability to benefit from and/or take service from the previously installed infrastructure. Payment will be required as a condition of approvals from the Water Authority.

Design and Construction of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be by a licensed, New Mexico registered professional engineer. Construction must be by a licensed, bonded, public utility contractor.

Costs and Fees: In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Water Use: All new development shall be required to meet the standard water usage of 180 gallons per household per day which is equivalent to 75 gallons per capita per day. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This serviceability letter does not provide a commitment from the Water Authority to provide services to the development. It only provides details of infrastructure that is available and potential precursors for the proposed development. For service to be provided, a Board approved (development agreement) must be supplemented by this serviceability letter. The serviceability letter will remain in effect for a period of one (1) year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

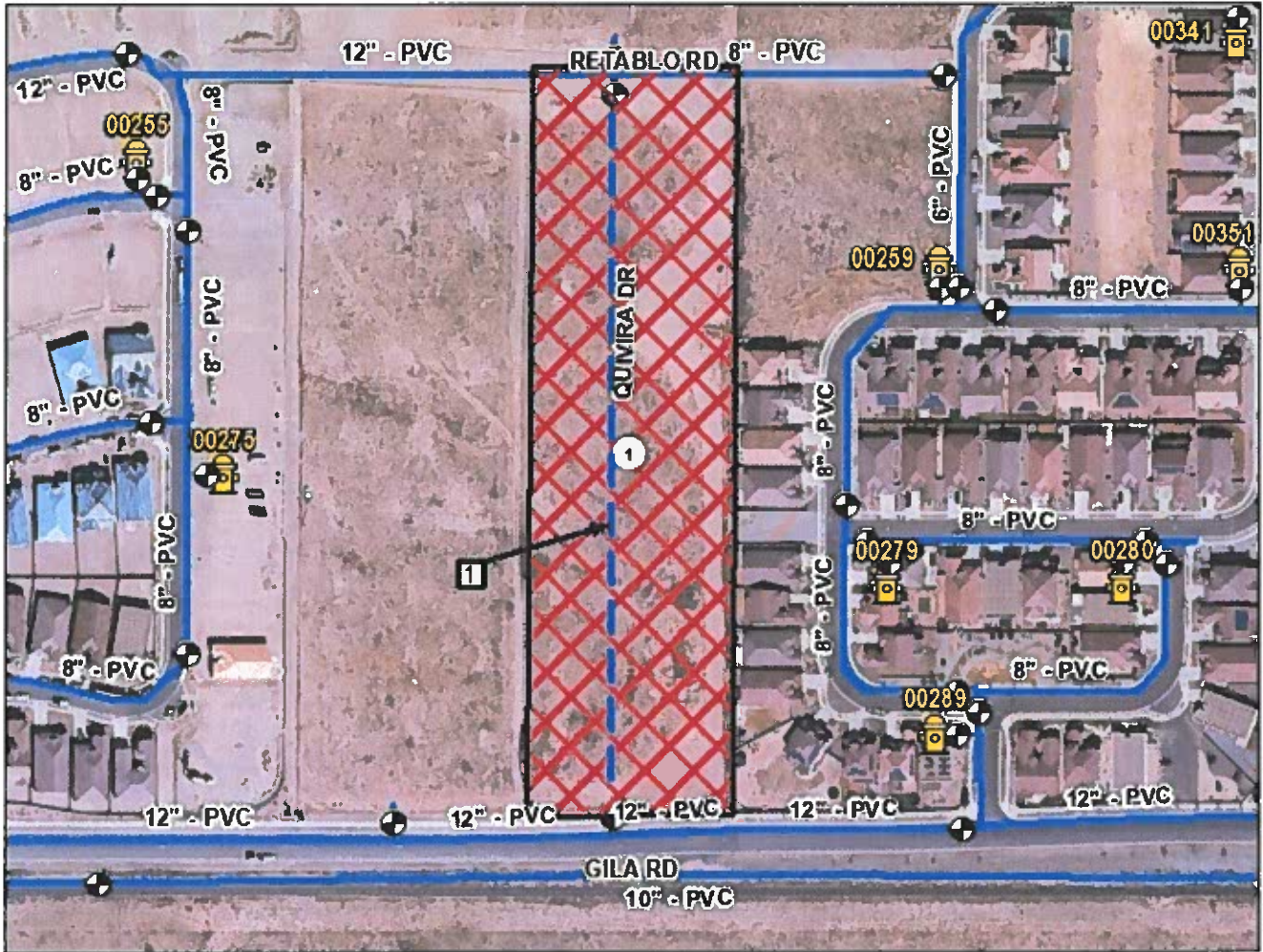
Sincerely,



Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps (2)
f/ Serviceability Letter 200603

200603 - Water



Legend

-  Project Location
-  Valve
-  Hydrant

Pipe

- SUBTYPE**
-  Distribution Line
 -  Hydrant Leg

0 450 900 Feet



 --- General Map Keyed Notes

1 --- Proposed Distribution Main 

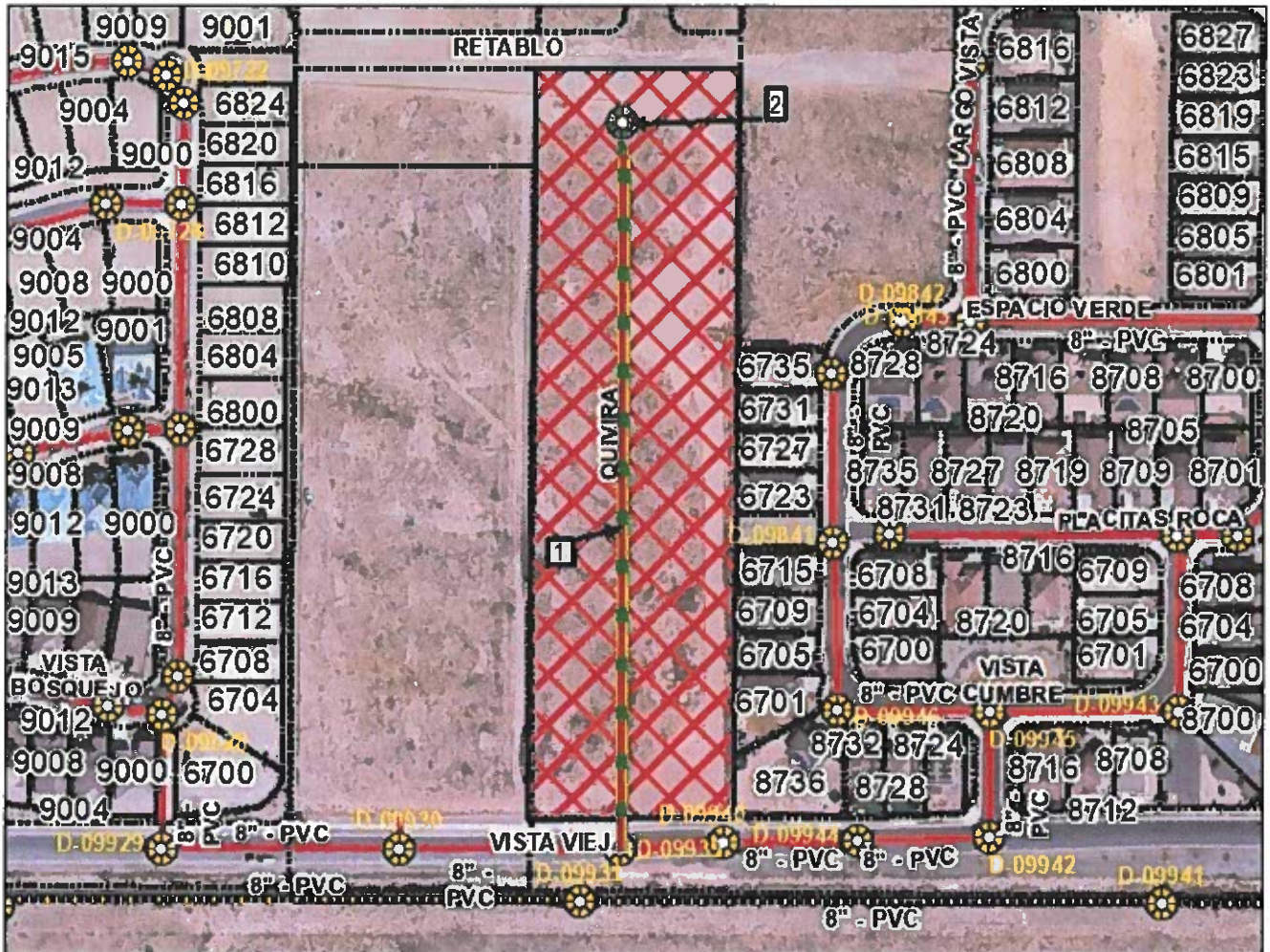
 --- Fire Flow Analysis Points

1 --- Analysis Point



Water Utility Authority

200603 - Sanitary Sewer



Legend



Project Location



Sewer Manhole

Sewer Pipe

SUBTYPE

COLLECTOR

FORCE MAIN

0 450 900 Feet



--- General Map Keyed Notes

1 --- Proposed Sewer Extension

2 --- Proposed Sewer Manhole

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

July 15, 2021

Barbra Mueller
PO BOX 93924
Albuquerque NM, 87117

Project #2020-004457
SI-2021- 00651 - Site Plan-EPC
VA-2021-00145 - Variance-EPC

LEGAL DESCRIPTION:

Rio Grande Engineering, agent for Barbara Mueller, requests the above action for all or a portion of Tract 22, Volcano Cliffs Subdivision Unit 6, zoned R-A, located on Quivira Dr., between Vista Vieja Ave. NW and Retablo Rd. NW, approximately 8.0 acres (D-09-Z)

Staff Planner: Sergio Lozoya

On July 15, 2021, the Environmental Planning Commission (EPC) voted to Withdraw Project # 2020-004457/VA-2021-00145, a Variance – EPC, based on Finding # 5, and to Approve Project # 2020-004457/SI-2021-00651, based on the following findings, and subject to the following Conditions of Approval:

1. The request is for a Site Plan – EPC for a property legally described as described as Tract 22, Volcano Cliffs Subdivision Unit 6, located on Quivira Drive NW, between Vista Vieja Ave NW, and Retablo Rd NW, approximately 8.0-acres.

2. The request consists of the following:

Create a site plan for the undeveloped lot, to include subdivision of the site for 23 lots and one drainage tract. No homes are proposed at this time (Site Plan – EPC). To vary the required 45-foot buffer for properties adjacent to open space pursuant to IDO 14-16-5-2(J) Major Public Open Space Edges (Variance – EPC).

3. The subject site is zoned R-A (Residential - Rural and Agricultural, IDO 14-16-2-4(A)) which was assigned upon the adoption of the Integrated Development Ordinance (IDO) based upon prior zoning and land use designations SU-2 VCRR (Volcano Cliffs Rural Residential). The purpose of the R-A zone is to provide for lower density single-family residential and limited agricultural uses, generally on lots of ¼ acre or larger, as well as

limited civic and institutional uses to serve the surrounding residential area. Allowable uses are shown in Table 4-2-1.

4. The Environmental Planning Commission (EPC) is hearing this case pursuant to the IDO subsection 14-16-6-6(J)(1)(a), a Site Plan – EPC for development on a site 5 acres or greater adjacent to Major Public Open Space, in which case a Site Plan approval is required prior to any platting action.
5. The applicant has requested to withdraw the Variance – EPC request.
6. The subject site is located in an Area of Consistency as designated by the Comprehensive Plan and is not within the boundaries of any designated Corridor or Activity Center.
7. The subject site is part of the Northwest Mesa Community Planning Area (CPA).
8. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
9. The request is generally consistent with the following Comprehensive Plan Goals and Policies from Chapter 4: Community Identity.

A. Goal 4.1 – Character: Enhance, protect, and preserve distinct communities.

The subject site is located within an Area of Consistency, the Volcano Mesa Protection Overlay (CPO-13), the Northwest Mesa Escarpment View Protection Overlay (VPO-2), and is regulated by IDO subsection 14-16-5-2(J) Major Public Open Space Edges. These protections ensure that the subdivision would be designed in a way that protects, enhances, and preserves the surrounding properties and general neighborhood.

B. Policy 4.1.4 Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term vitality.

The proposal would enhance the surrounding neighborhood by providing single-family residential development within an Area of Consistency, where it is desired. The surrounding neighborhood would be generally protected as the subject site is developed. The subject site is adjacent to MPOS and provides a design that is context sensitive by providing an appropriate 45-foot landscape buffer.

10. The request is generally consistent with the following Comprehensive Plan Goals and Policies from Chapter 5: Land Use that pertain to communities.
 - A. Policy 5.2.1 – Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would not contribute to creating a healthy, sustainable and distinct community with a mix of uses because it would reinforce a similar type of housing found east and west of the subject site.

Subpolicy 5.2.1(c): Maintain the characteristics of distinct communities through zoning and design standards that are consistent with long-established residential development patterns.

The request maintains the characteristics of the Volcano Mesa area through zoning and design standards because the subject site is zoned R-A, is located within Volcano Mesa CPO-13, and Northwest Mesa Escarpment VPO-2. These protections would help ensure that the request will be consistent with the long-established residential development patterns existing in the Volcano Mesa CPO.

11. The request is generally consistent with the following Comprehensive Plan Goals and Policies from Chapter 5: Land Use pertaining to efficient development patterns and infill development.

A. Goal 5.3 – Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The subject site is already served by existing infrastructure and public facilities, so the development made possible by the request would generally promote efficient development patterns and use of land.

B. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The request will facilitate development of the subject site and is considered infill development as it is surrounded by existing City infrastructure and public facilities. The proposed single-family use would be infill development on a vacant site within an area of existing single-family residential subdivisions, public facilities, Major Public Open Space and would be consistent with the surrounding areas of the subject site.

C. Goal 5.6- City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request is consistent with this Goal because the subject site is in an Area of Consistency and the request generally directs single-family residential development where it is expected and desired as well as reinforce the character and intensity of the area.

D. Policy 5.6.3 – Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The subject site is located outside of designated Centers or Corridors and would protect and enhance the character of the surrounding existing single-family neighborhoods by

reinforcing the scale, intensity, and setbacks of the immediately surrounding context. The request would achieve this because the subject site is located within the Volcano Mesa CPO, and the Northwest Mesa Escarpment VPO, both of which provide context/character sensitive design regulations.

12. The request is generally consistent with the following Comprehensive Plan Goals and Policies from Chapter 7: Urban Design.

A. Goal 7.3 – Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

The request would reinforce the sense of place through context-sensitive design because it would facilitate the development of single-family homes in an area largely consisting of residential development. The subject site is located within Volcano Mesa CPO-13, and Northwest Mesa Escarpment VPO-2, which provide context-sensitive design regulations. The subject site is abutting Major Public Open Space boundaries and the context-sensitive design provides the appropriate landscape, buffers, lighting, etc. in response to the abutting MPOS.

13. The request is generally consistent with the following Comprehensive Plan Goals and Policies from Chapter 9: Housing.

A. Goal 9.2 – Sustainable Design: Promote housing design that is sustainable and compatible with the natural and built environment.

The request generally promotes housing design that is sustainable and compatible with the natural and built environment by providing the appropriate landscape, buffers, lighting, etc. in response to the abutting MPOS edges. The request minimizes impact on the abutting natural and built environment area by providing an on-site drainage pond for stormwater management, and uses native plants for the landscape design. The request is also compatible with the built environment, which consists mostly of single-family residential development.

B. Policy 9.2.1 – Compatibility: Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding land uses, and responds to its development context - i.e. urban, suburban, or rural – with appropriate densities, site design, and relationship with the street.

The request would generally encourage the development of single-family dwellings that enhance the existing neighborhoods character by using the appropriate setbacks, building heights, density, and relationship to the street. The request also maintains compatibility with, and responds to the surrounding Major Public Open Space boundaries by providing the appropriate buffers, plant species, and wall design, among other context sensitive design requirements.

14. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:
 - A. 14-16-6-6(J)(3)(a) As demonstrated by the policy analysis of the site plan, the request is generally consistent with applicable Comprehensive Goals and Policies.
 - B. 14-16-6-6(J)(3)(b) The subject site is zoned R-A; therefore, this criterion does not apply.
 - C. 14-16-6-6(J)(3)(c) With the application of conditions of approval, the site plan will comply with all applicable provisions of the IDO. The request will need to be reviewed by the Development Review Board (DRB) to ensure compliance with applicable provisions of the Development Process Manual (DPM).
 - D. 14-16-6-6(J)(3)(d) The request will be reviewed by the Development Review Board (DRB), which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems has sufficient capacity to serve the future development.
 - E. 14-16-6-6(J)(3)(e) The future, proposed development will be required to comply with the decisions made by two bodies- the EPC and the DRB. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate impacts to surrounding areas. The DRB's conditions will ensure infrastructure is adequately addressed so that a proposed development will not burden the surrounding area.
 - F. 14-16-6-6(J)(3)(f) The subject property is not within an approved Master Development Plan; therefore, this criterion does not apply.
 - G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, this criterion does not apply.
15. The 45-foot landscape buffer required at the southern portion of the subject site is measured from the public right of way boundary. The exact location of the public right of way boundary will be determined by Transportation Development Staff, based upon their requirements, as part of the DRB process.
16. Specifics regarding the usage of walls, and any encroachments into the buffer areas will be determined through the DRB process, and in conjunction with any subdivision action to create the lots.
17. The affected, registered neighborhood organizations are the Westside Coalition of Neighborhood Associations, and the Montecito West HOA Inc. Property owners within 100 feet were also notified as required.
18. A pre-application meeting was held online with members of the Montecito West HOA during the DRB process, where concerns about drainage, and existing western wall, and construction methods were discussed and addressed. A second meeting was offered to both neighborhood organizations 15-days prior to the upcoming EPC hearing.

19. As of this writing, Staff has not been contacted by members of the community or NA representatives.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is also responsible for ensuring that the EPC Conditions of Approval have been satisfied and that other applicable City requirements have been met.
2. A letter shall accompany the submittal, specifying all revisions that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
3. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DRB, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.
4. Dimensional Standards:
 - A. Lot 22 is shown at 10,378 square feet. The minimum lot size in R-A is 10,890 square feet. The site plan shall be revised to comply with Table 5-1-1 Dimensional Standards. **we have corrected this typo**
 - B. The dimension across lot 16 is not placed properly, the site plan shall be revised to show accurate lot length. **revised**
 - C. Add “typical” to the lot width dimensions, if not all lots are 85’ in width, dimension at least one lot per typical width. **added (typ) and actual dimensions on not typical lots**
 - D. Dimension both Major Public Open Space buffers to demonstrate that they are 45-feet in length. The buffer at the northwest corner of the lot appears to have a radius of only 40-feet, the site plan shall be dimensioned and/or revised for compliance. **revised**
 - E. Provide typical dimensions for building setbacks pursuant to IDO subsection 14-16-3-4(N)3 Setback Standards. **see note 1 of epc conditions on sheet1**
5. Landscaping - General:
 - A. A note shall be added to state: landscaping requirements pursuant to IDO subsection 5-6 Landscaping, Buffering, and Screening only apply to the 45-foot landscape buffer (required by MPOS Edges 5-2(J)). **added note**

B. The landscaping plan shall remove all notes referring to the 15% minimum landscape requirement, as it is not required in single-family residential development. **removed**

C. The note “Landscape plan shall adhere to IDO subsection 5-6(C)(4) through IDO subsection 5-6(C) (10)” shall be removed. **removed**

6. Landscape Buffers [5-2(J)]:

A. A 45-foot landscape buffer shall be added to the southern portion of the subject site as required by Open Space of the Parks and Recreation division, to begin at the location determined by Transportation Development Staff at DRB. **proposed back of curb**

B. The 45-foot landscape buffer shall be shown on the landscape plan, to include proposed landscaping. **added note and highlighted**

C. A note shall be added to indicate that coordination with Open Space regarding plant selection and location is required. **added**

7. Walls:

Detail for perimeter walls abutting MPOS shall be revised to correct conflicting heights. A keyed note reads “6-foot high screen wall”, but the dimension shows a maximum height of 3-feet. **corrected**

8. Site Plan – Clean Up:

A. The site plan shall be revised to fix spelling errors throughout document. **we have corrected spelling**

B. The site plan shall revise general note 13 to change “Volcano Cliffs” to “Volcano Mesa”. **corrected**

C. The site plan shall be revised to add general note 14: A single loaded street exists at southern boundary of lot adjacent to Major Public Open Space, therefore 45-foot buffer is not required. **I believe the city position changed on this,**

D. Keyed note F: One of the keyed notes does not have a leader attached, the site plan shall be revised to show what the keyed note was intended to call out. **corrected**

E. The site plan shall be revised to identify existing Major Public Open Space Boundaries abutting the subject site. **identified**

F. The site plan shall be revised to use a current vicinity map.

added

9. CONDITIONS FROM THE CITY ENGINEER/TRANSPORTATION:

- A. All proposed new roadway improvements shall be placed onto an infrastructure list; this includes sidewalk along entire frontage of the site. **Inf list is attached**
- B. New sidewalk shall be 5-feet wide per new DPM requirements.

10. CONDITION FROM PNM:

revised

The applicant shall contact PNM's New Service Delivery Department to coordinate electric service regarding the project. Please Submit a service application at www.pnm.com/erequest for PNM to review. **we have already submitted**

11. CONDITIONS FROM SOLID WASTE MANAGEMENT DEPARTMENT:

- A. The site plan shall provide measurement for curb space for each of the 23 lots. **added note 14 to address**
- B. Clarification shall be provided regarding access to Retablo Dr NW, and Quivira Dr NW. **we feel it is clear**
- C. Clarification shall be provided regarding access to the subdivision west of the proposed development. **no access, we feel it is clear**

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **July 30 2021**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,

for Brennon Williams
Planning Director

OFFICIAL NOTICE OF DECISION

Project #2020-004457

July 15, 2021

Page 9 of 9

BW/SL

cc: Barbara Mueller, PO BOX 93924, Albuquerque NM, 87117
Rio Grande Engineering, david@riograndeenigineering.com
Westside Coalition of NAs, Elizabeth Haley, ekhaley@comcast.net
Westside Coalition of NAs, Rene Horvath, aboard111@gmail.com
Montecito West Community Association Incorporated, Glenn Tegtmeier, glenn@tegtmeyer.us
Legal, kmorrow@cabq.gov
EPC file

SITE DATA

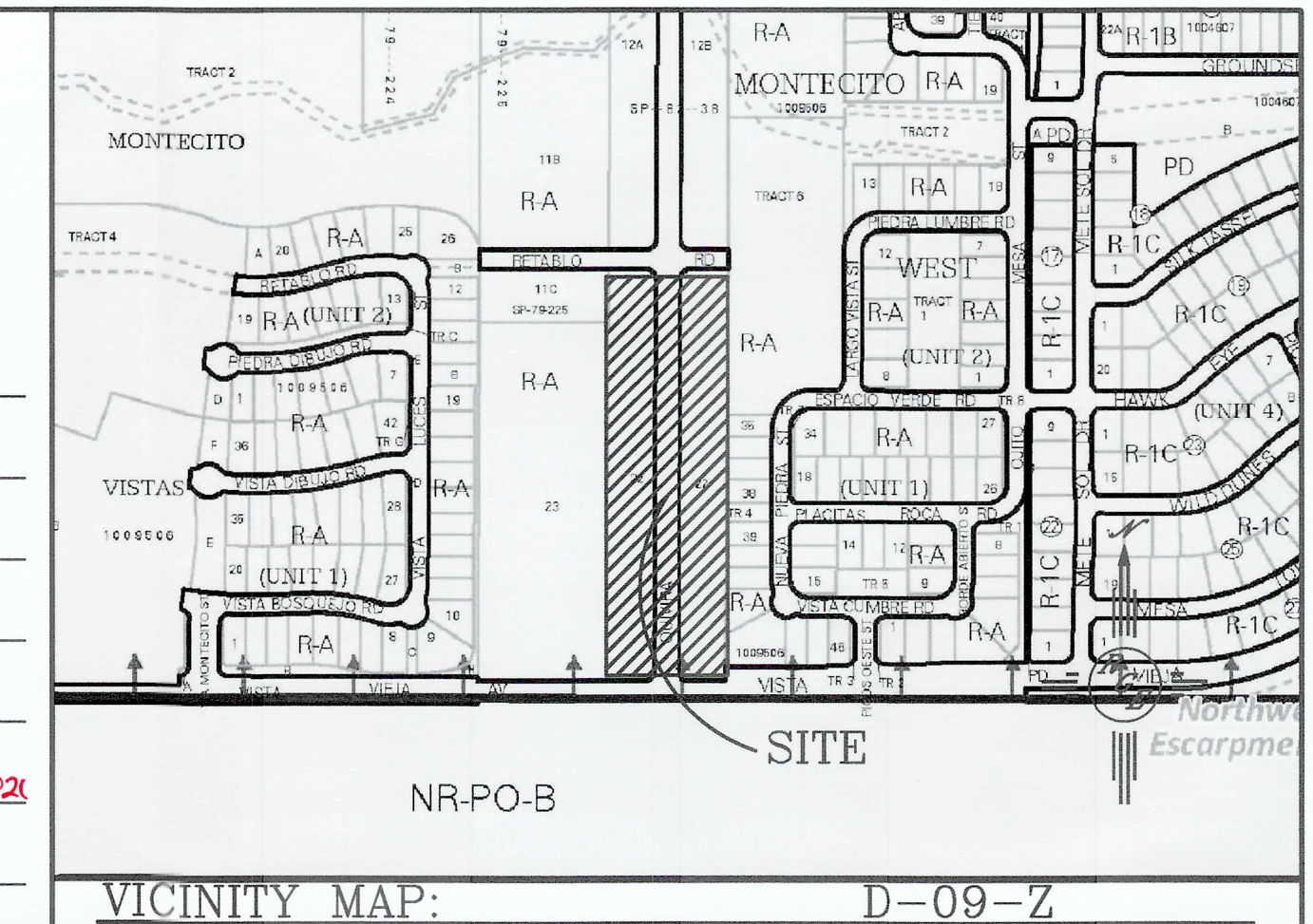
TOTAL ACREAGE: 7.1256 AC±
 DENSITY UNITS: 3.23 DU'S (AT MAXIMUM BUILD OUT)
 EXISTING ZONING: RA
 PROPOSED ZONING: RA
 PROPOSED USE: INDIVIDUAL RESIDENTIAL
 PARKING CALCULATIONS: DWELLING, SINGLE-FAMILY DETACHED
 REQUIRED-2 SPACES /DU
 PROVIDED-2 SPACES EXTERIOR, 2 SPACES IN GARAGE 4 TOTAL

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	09-13-2021 Date
DRB Chairperson, Planning Department	Date



LEGAL DESCRIPTION:
 LOTS 1-23, AND TRACT A, QUIVIRA ESTATES

SHEET INDEX

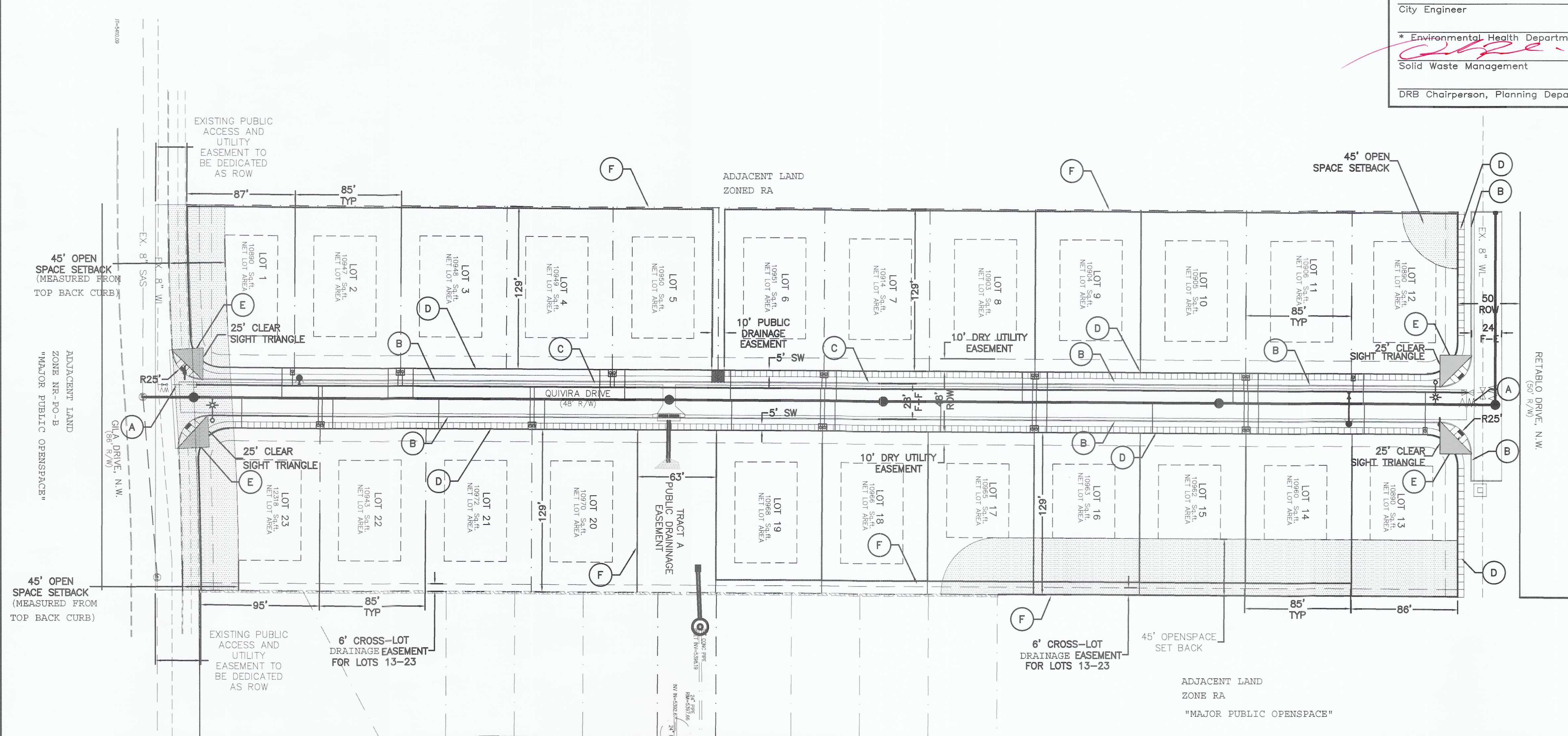
1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPE PLAN
3. GRADING AND DRAINAGE PLAN
- 3A. GRADING AND DRAINAGE DETAILS
4. MASTER UTILITY PLAN

GENERAL NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
3. INDIVIDUAL LOT SET BACKS 25' FRONT, 15' SIDE YARD, 15' REAR
4. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM STREET
5. COLORS SHALL CONFORM TO IDO 14-16-5-2(J)(1)(D)
6. NO SIGNAGE ALLOWED
7. NO LUMINARIES EXCEEDING 20'. ANY BUILDING LIGHTING SHALL COMPLY WITH IDO 14-16-5-2(J)(2)(B)
8. ALL WALLS ADJACENT TO MAJOR PUBLIC OPEN SPACE SHALL COMPLY WITH IDO 14-16-5-7(E)(4)
9. MAXIMUM BUILDING HEIGHT SHALL BE 18' EXCEPT 50% OF FOOT PRINT MAY BE 25'
10. ALL FUTURE DEVELOPMENT SHALL ADHERE TO CPO-13 VOLCANO MESA CHARACTER PROTECTION OVERLAY PURSUANT TO IDO SUBSECTION 14-16-3-4 (M)
11. ALL FUTURE DEVELOPMENT SHALL ADHERE TO VPO-2 NORTHWEST MESA ESCARPMENT PURSUANT TO IDO SUBSECTION 14-16-3-6 (E)
12. ALL FUTURE DEVELOPMENT SHALL ADHERE TO IDO SUBSECTION 5-2 (J) MAJOR PUBLIC OPEN SPACE EDGES.
13. ALL DRIVEWAY ACCESSED FROM FRONT OR SIDE STREET SHALL BE 20 FOOT LAND AND CONFORM TO IDO 5-3 (C) (3) (B)
14. EACH LOT SHALL HAVE MINIMUM OF 50' OF CURB SPACE FOR SOLID WASTE BIN PLACEMENT FOR PICKUP

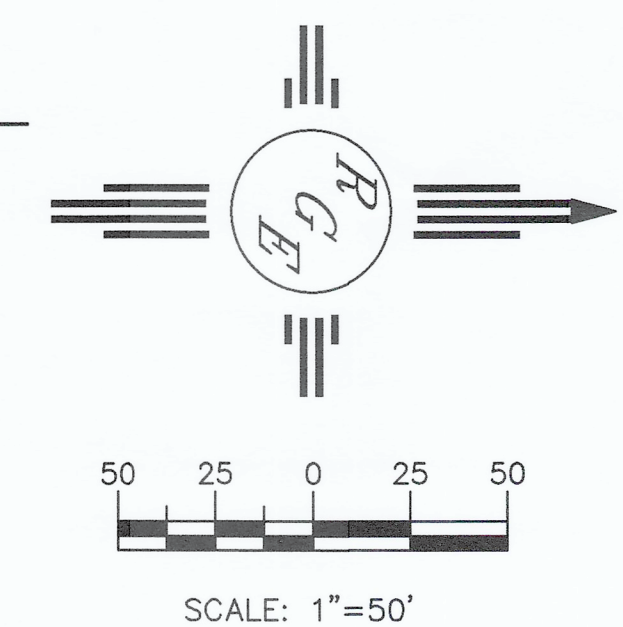
LEGEND

-----	EXISTING CURB & GUTTER
-----	PROPOSED CURB
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	PROPOSED 5' SIDEWALK
-----	EXISTING SIDEWALK
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	PROPOSED LOT LINE
-----	EXISTING BUILDING
-----	EXISTING RETAINING WALL
-----	PROPOSED RETAINING WALL
-----	45' OPEN SPACE SETBACK
-----	PROPOSED STREET LIGHT

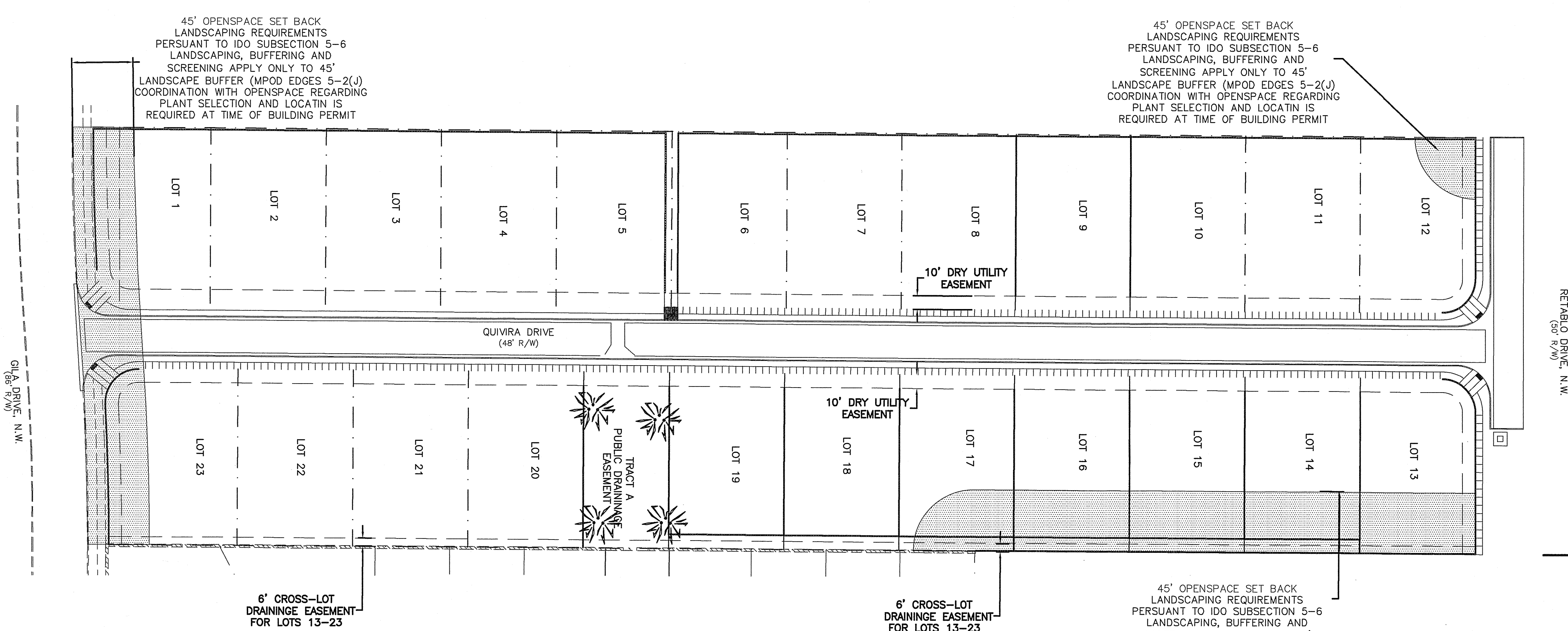


KEYED NOTE:

- 6" VALLEY GUTTER PER C.O.A. STD DWG #2420 MODIFY CROSS SLOPE @ SEC A-A TO PROVIDE 2.00% CROSS SLOPE MAX
- STANDARD C&G PER COA STD DWG #2415A
- STANDARD DEPRESSED C&G PER COA STD DWG #2415A
- 5' SIDEWALK TO BE BUILT W/THIS PROJECT PER COA STD DWG #2430
- HANDICAP RAMP SEE DETAIL
- PROPOSED WALL



ENGINEER'S SEAL DAVID SOULE P.E. #14522	QUIVIRA ESTATES SITE PLAN FOR BUILDING PERMIT	DRAWN BY: WCW/J DATE: 8-21-21 2102059-LAYOUT-8-06-20
	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 1 JOB # 2102059



LANDSCAPE NOTES

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION OF FROM WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

ALL ROCK MULCH SHALL HAVE A MIN. DEPTH OF 3".

PURSUANT TO IDO SUBSECTION 14-16-5-2(J)(2)(A), A LANDSCAPE BUFFER WITH A MINIMUM WIDTH OF 45 FEET WILL BE PROVIDED ALONG ALL EDGES OF THE SUBJECT SITE THAT ARE ADJACENT TO OPEN SPACE BOUNDARIES

ALL LANDSCAPING IN THE 45-FOOT OPEN SPACE BUFFER SHALL BE APPROVED BY THE OPEN SPACE SUPERINTENDENT, PURSUANT TO IDO SUBSECTION 14-16-5-2(J)(2)(A)

IRRIGATION NOTES

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE 2 (1.0) GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

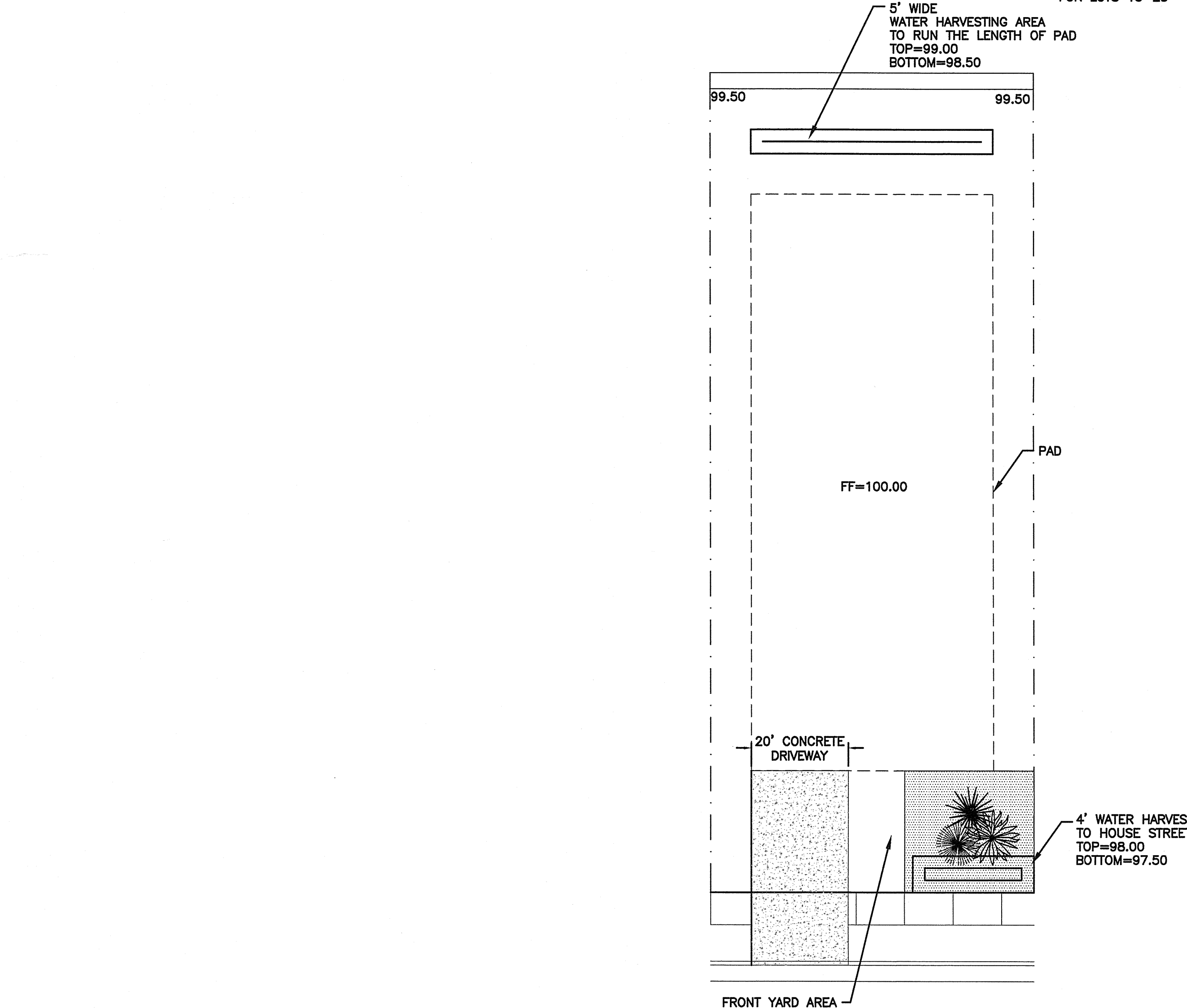
POINT OF CONNECTION FOR IRRIGATION SYSTEM IS IN THE NORTHWEST CORNER OF THE SIGHT AS INDICATED ON THE IRRIGATION PLAN.

IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE IN THE MECHANICAL ROOM OF OF THE NORTH BUILDING AS INDICATED ON THE IRRIGATION PLAN.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

DRIP IRRIGATION MUST COMPLY WITH CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE.

STREET TREES SHALL BE CONNECTED TO SITE IRRIGATION SYSTEM AND MAINTAINED BY THE PROPERTY OWNER.

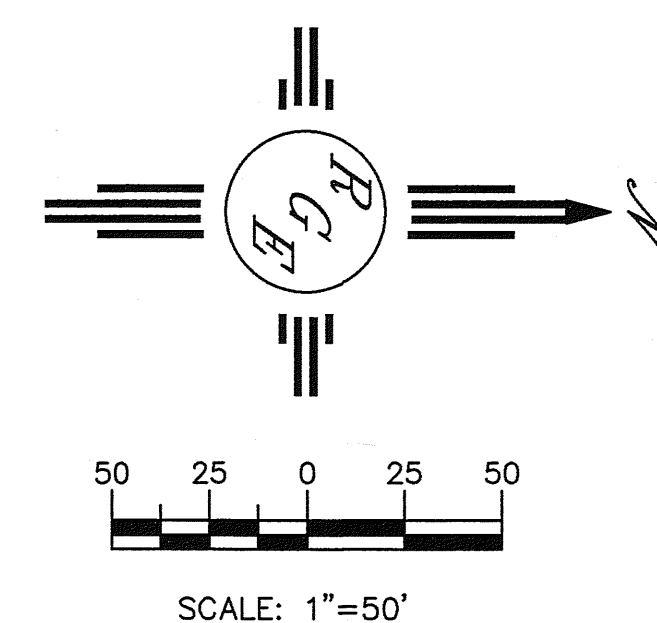


LANDSCAPE CALCULATIONS

TOTAL ACREAGE:	7.1256 AC±
# OF LOTS	23 LOTS
IMPERMEABLE SURFACE AREA	3.4321 AC±
PERMEABLE SURFACE AREA	3.6935 AC±
PONDING AREA	6595 SF

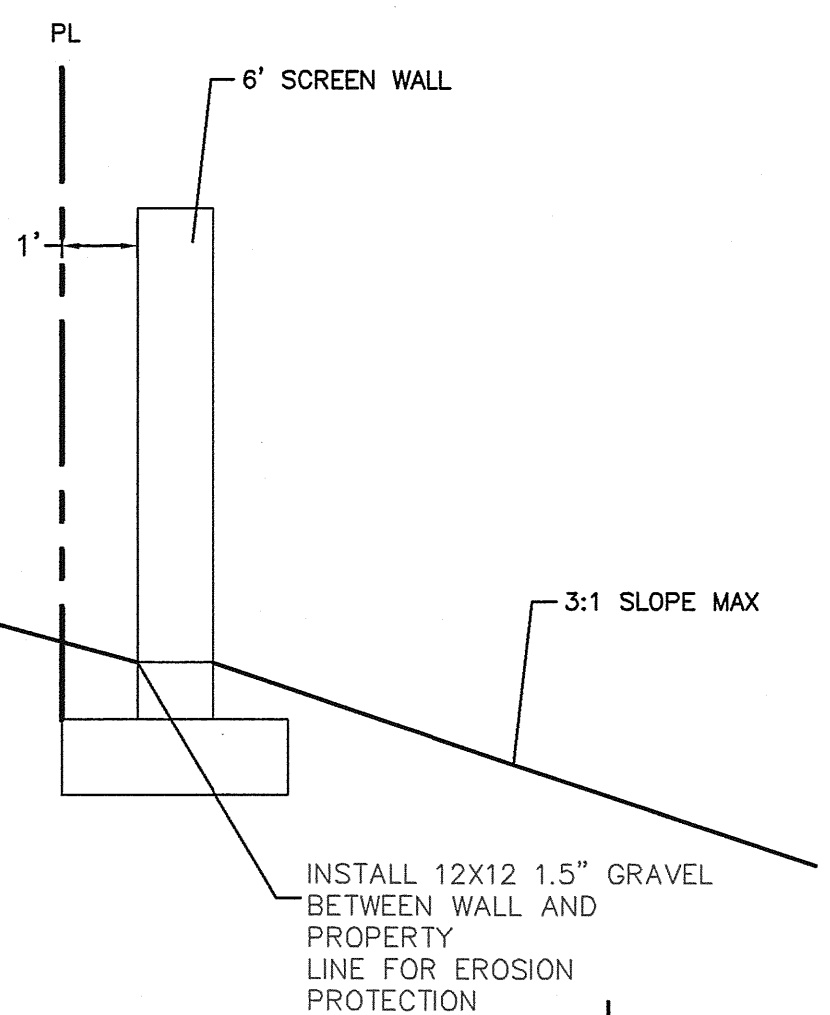
PLANT LEGEND

- MODESTO ASH
- BLUE SAGE
- DESERT WILLOW
- NATURAL GRASS
- TEXAS RED YUCCA
- CONCRETE
-

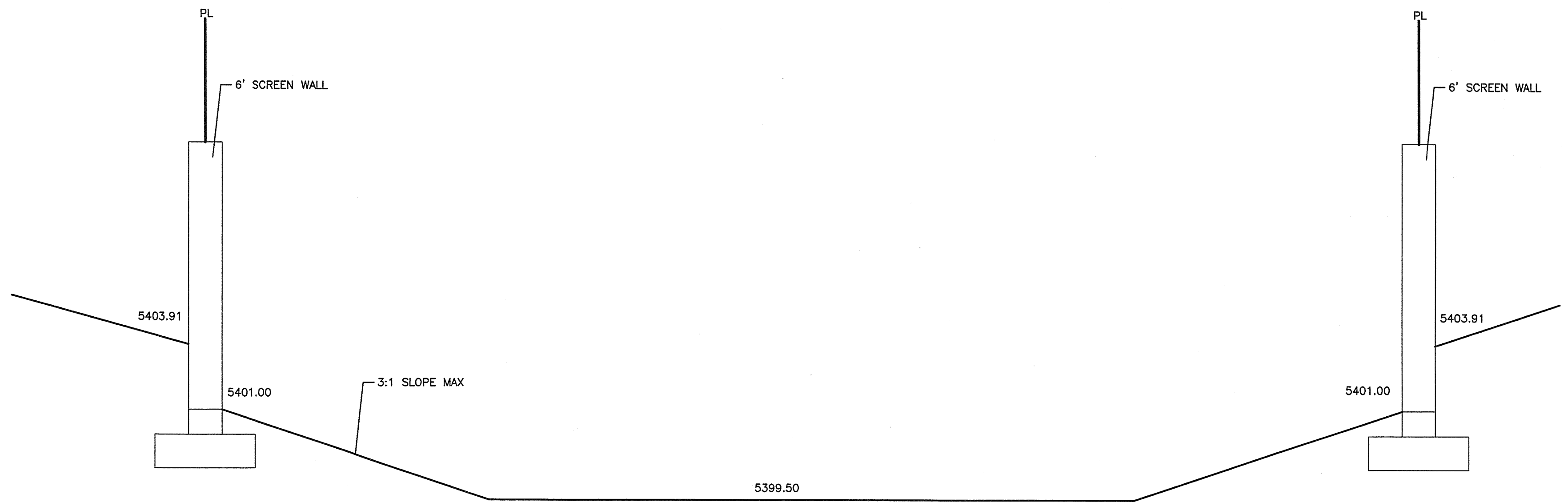


TYPICAL LOT LANDSCAPING PLAN

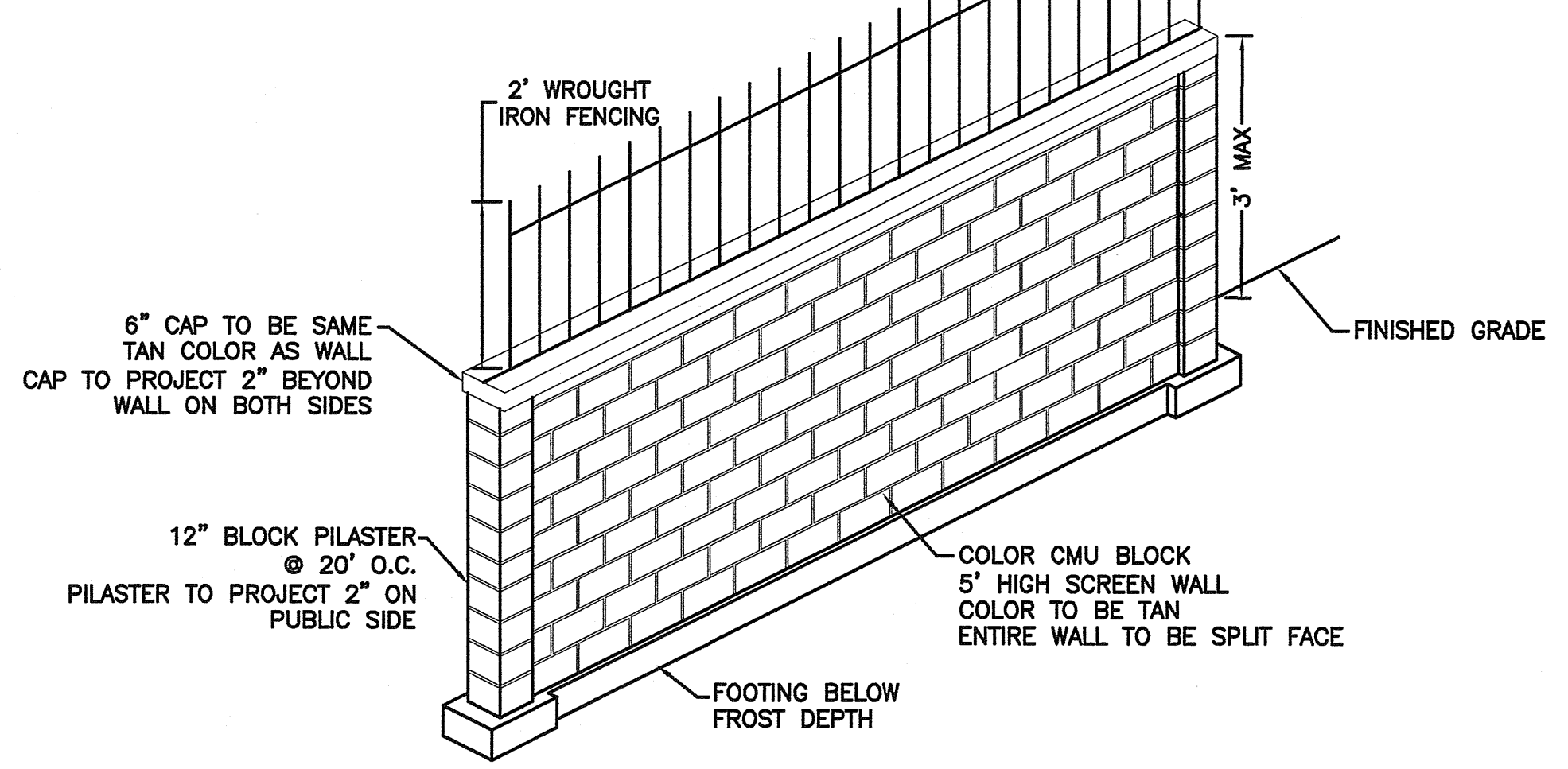
	<p>ENGINEER'S SEAL</p> <p>QUIVIRA ESTATES</p>	<p>DRAWN BY</p> <p>WCWJ</p>
	<p>LANDSCAPE PLAN</p>	<p>DATE</p> <p>8-21-21</p>
<p>8/24/21</p>	<p>Rio Grande Engineering</p> <p>1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (805) 872-0998</p>	<p>2102059-LAYOUT-8-08-20</p>
<p>DAVID SOULE P.E. #14522</p>		<p>SHEET #</p> <p>2</p>
		<p>JOB #</p> <p>2102059</p>



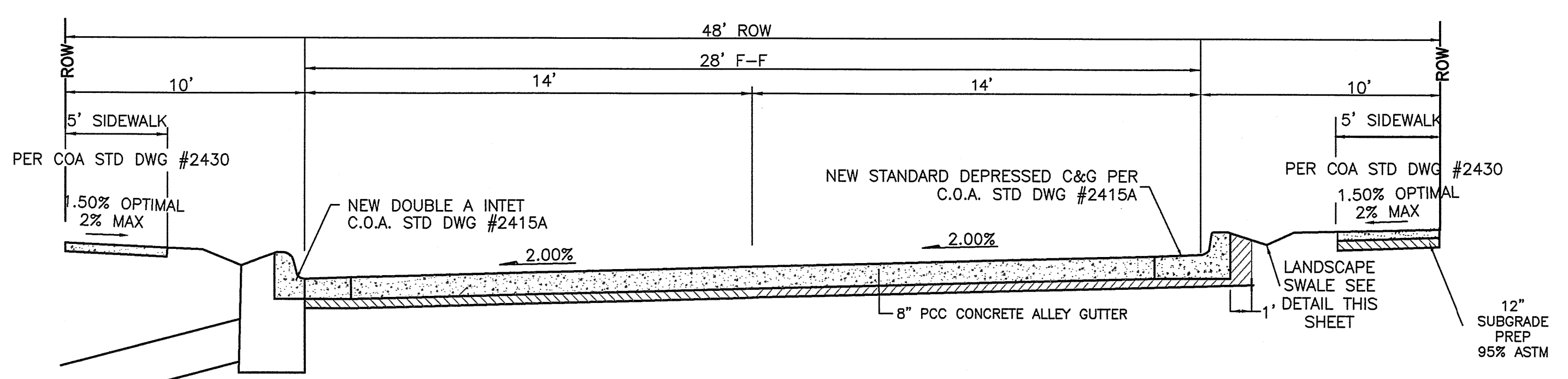
SECTION A-A
NTS



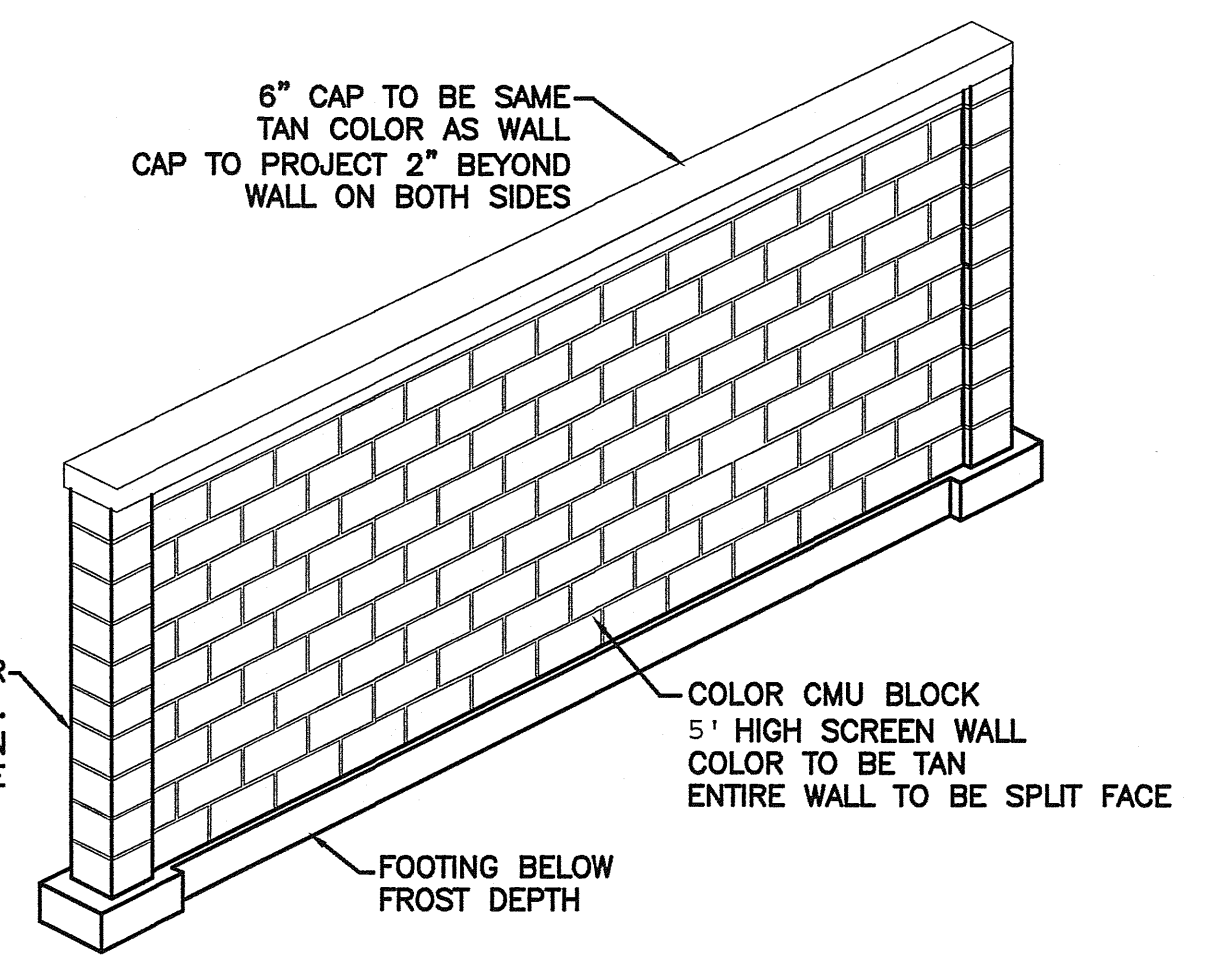
SECTION D-D
NTS



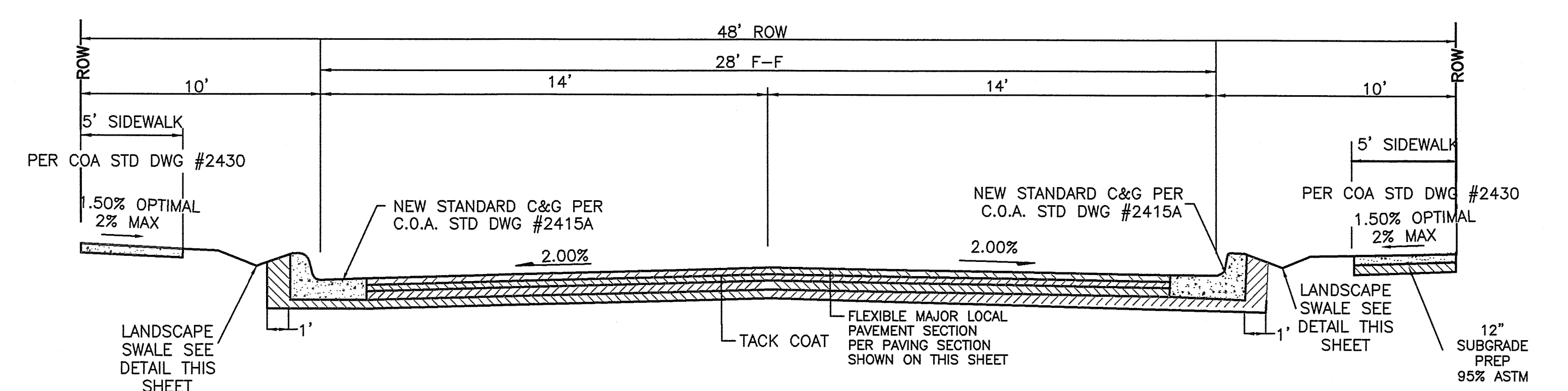
PERIMETER SCREEN WALL DETAIL WHICH ABUTS MAJOR PUBLIC OPEN SPACE
NTS—Walls shall comply with 3-4(N)(5)(b) Building Design and Standards



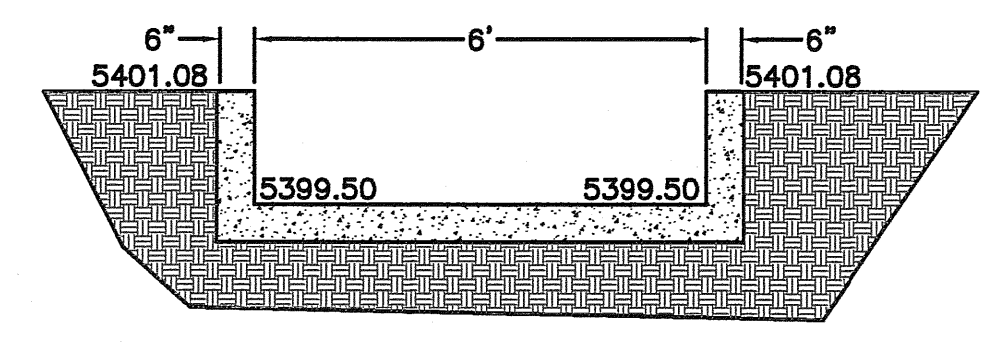
SECTION B-B
NTS



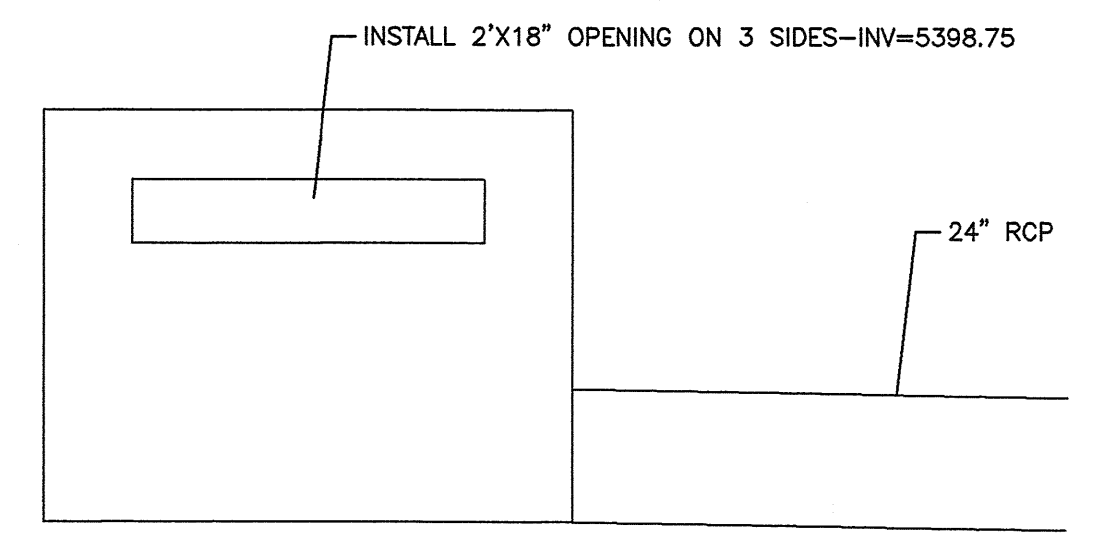
6' PERIMETER SCREEN WALL DETAIL
NTS—Walls shall comply with 3-4(N)(5)(b) Building Design and Standards



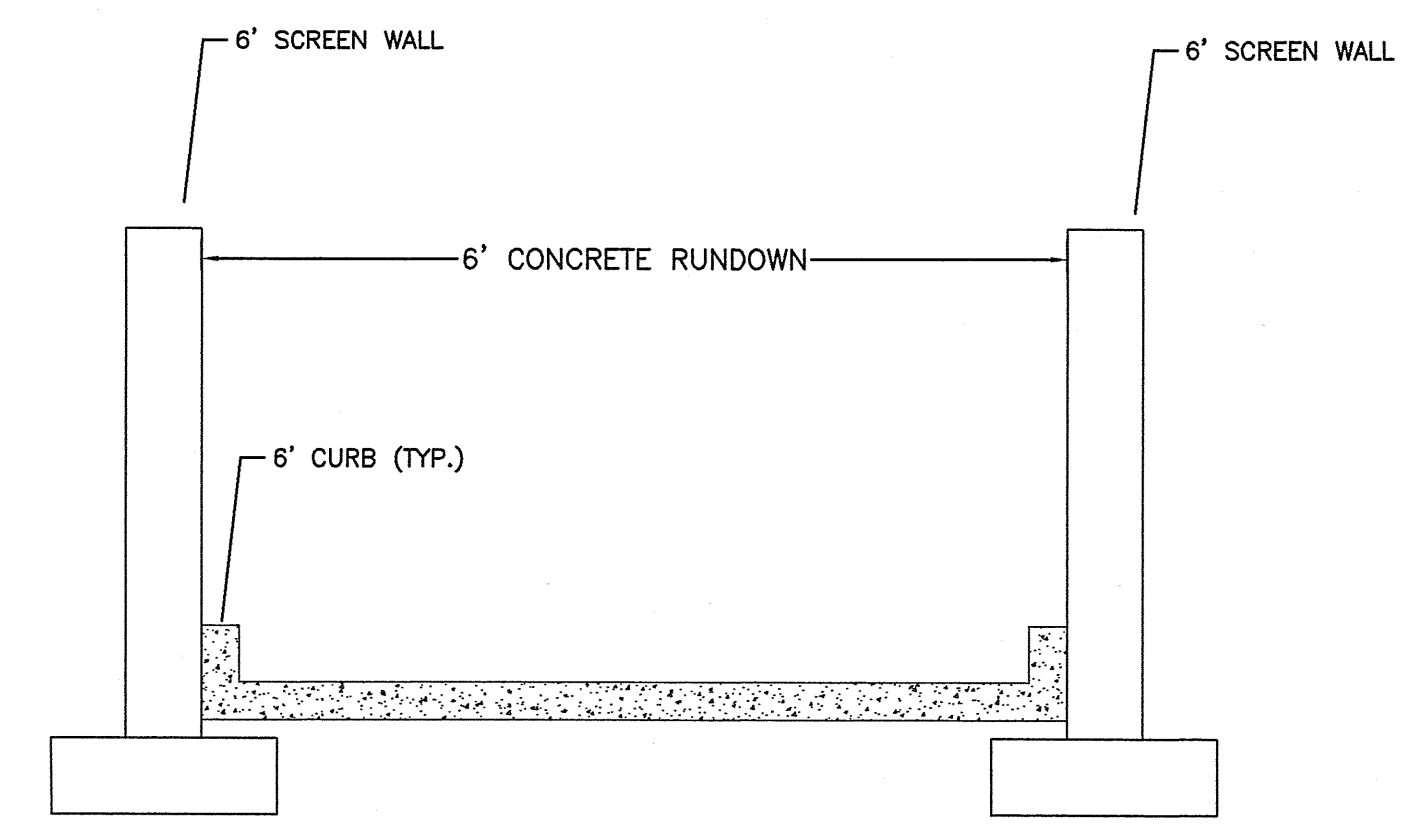
SECTION E-E
NTS



CONCRETE OVERFLOW DETAIL
NTS

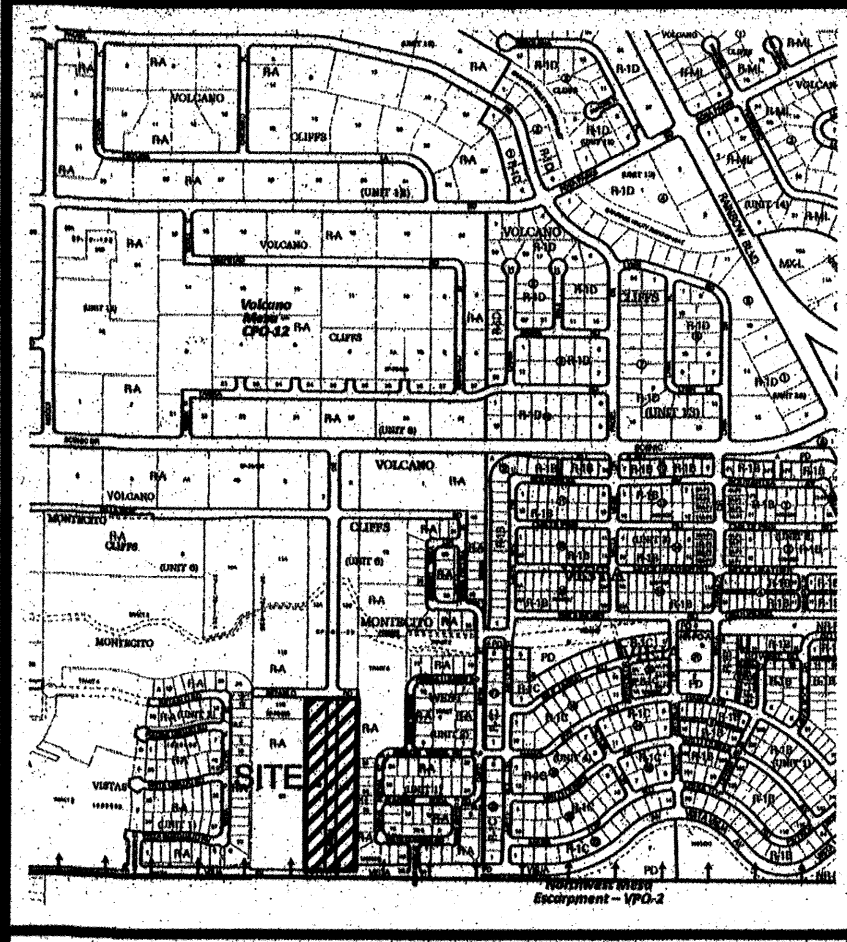


MODIFIED D INLET DETAIL
NTS



SECTION C-C
NTS

	ENGINEER'S SEAL	QUIVIRA ESTATES	DRAWN BY WCWJ
	DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 12-02-20
8/24/21		2102059-LAYOUT-8-08-20	SHEET # 3A
DAVID SOULE P.E. #14522	1608 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999		JOB # 2102059



VICINITY MAP ZONE ATLAS MAP
NOT TO SCALE D-9-2

NOTES:

- RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS () ARE PER THE PLAT OF VOLCANO CLIFFS UNIT 6, FILED ON JUNE 18, 1970, IN BOOK D4 PAGE 81.
- BASIS OF BEARINGS IS THE EASTERLY LINE OF LOT 22 AS MEASURED WITH THE "TRIMBLE VRS NOW" GNSS VIRTUAL REFERENCE SYSTEM. BEARINGS ARE NEW MEXICO STATE PLANE BEARINGS, CENTRAL ZONE NAD 83. DISTANCES ARE GROUND DISTANCES. ELEVATION DATUM IS NAVD 88.
- 15' SIDE YARD SETBACKS MAY BE REDUCED OR ELIMINATED BY VARIANCE APPLICATION TO VOLCANO CLIFFS PROPERTY OWNERS ASSOCIATION, INC. PER ARCHITECTURAL CONTROL COMMITTEE RULES, REGULATIONS AND BY-LAWS, ARTICLE II, SECTION 2.0.1.
- THIS PROPERTY LIES WITHIN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN (AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR THIS AREA SATED SEPTEMBER 26, 2008, MAP NO. 35001C0111 G).
- ALL PORTIONS OF EXISTING QUIVIRA DRIVE RIGHT-OF-WAY (D4-81) LYING OUTSIDE OF NEW AND REMAINING QUIVIRA DRIVE ARE HEREBY VACATED BY THIS PLAT.
- ALL EASEMENTS OF RECORD ARE SHOWN HEREON.

DOCUMENTS USED:

- PLAT OF VOLCANO CLIFFS UNIT 6, FILED ON JUNE 18, 1970, IN BOOK D4 PAGE 81.
- CORRECTION PLAT OF MONTECITO WEST UNIT 1, FILED ON DECEMBER 12, 2014, IN BOOK 2014C, PAGE 134.
- E'LY PORTION AND W'LY PORTION FOR PERMANENT EASEMENT FOR PUBLIC ROADWAY, PUBLIC WATER & SEWER, FILED OCTOBER 6, 2016, DOC NO. 2016095007

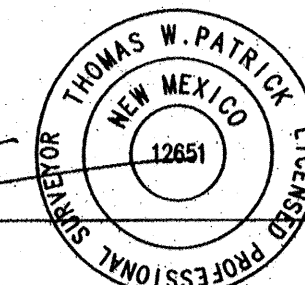
SOLAR NOTE:

No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat. The foregoing requirement shall be a condition to approval of this plat for subdivision.

SURVEYOR'S CERTIFICATION

I, Thomas W. Patrick, New Mexico Professional Surveyor no. 12651, hereby certify that this plat was prepared from an actual ground survey performed by me or under my supervision, that I am responsible for this plat and that this plat is true and correct to the best of my knowledge and belief. This plat conforms to the Minimum Standards for surveying in New Mexico as adopted by the New Mexico Board of Registration for Professional Engineers and Surveyors and conforms to the City of Albuquerque Subdivision Ordinance.

Thomas W. Patrick
New Mexico Professional Surveyor No. 12651



01-25-2021
Date



LEGAL DESCRIPTION
Tract 22, and Quivira Drive NW, of the plat of Volcano Cliffs Unit 6, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk Bernalillo County, New Mexico on June 18, 1970 in Plat Book D4, Page 81.

Contains 7.8190 acres, more or less.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a title search of the properties shown hereon. Consequently, PNM and NMGC DO NOT waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE

The purpose of this plat is to divide Tract 22 into twenty-three (23) new lots and 1 new tract, to grant public utility easements, to dedicate new public right-of-way, and to vacate existing public right-of-way and utility easements.

FREE CONSENT:

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned owners thereof. Said owners do hereby certify that this replat is of their free act and deed, and do hereby grant public utility easements, dedicate new public right-of-way in fee simple with warranty covenants, vacate existing public right-of-way, and vacate existing public utility easements and warrant that they hold complete and indefeasible title in fee simple to the lands being replatted as shown hereon.

by Barbara Mueller 01/25/2021
BARBARA MUELLER (OWNER) Date

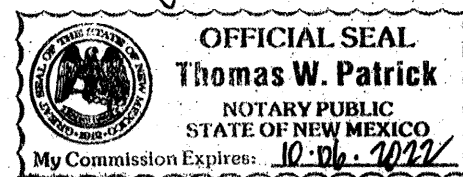
ACKNOWLEDGEMENT

State of New Mexico) SS
County of Bernalillo)

Acknowledged before me this 25th day of January, 2021 by

BARBARA MUELLER (OWNER)

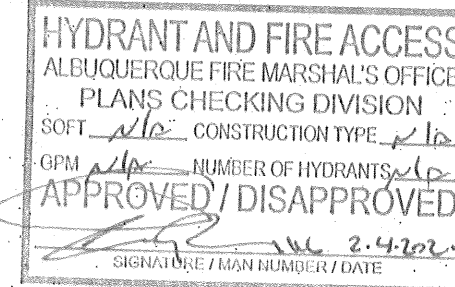
Thomas W. Patrick
Notary Public
My Commission Expires: 10-06-2022



PUBLIC UTILITY EASEMENTS

- Public Utility Easements shown on this plat are granted for the common and joint use of:
- Public Service Company of New Mexico (PNM), a New Mexico Corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
 - New Mexico Gas Company (NMGC) for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
 - Qwest Corporation dba Century Link QC (Qwest) for the installation, maintenance and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
 - Comcast for the installation, maintenance and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate within the easement, change, remove replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric, transformers/switchgears, as installed, shall extend ten (10) feet in front of transformers/switchgear doors and five (5) feet on each side.



**PRELIMINARY PLAT
QUIVIRA ESTATES**

BEING A REPLAT OF TRACT 22, VOLCANO CLIFFS UNIT 6
AND QUIVIRA DRIVE NW
SITUATE WITHIN
SECTION 21, T. 11 N., R. 2 E., N.M.P.M.,
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

SITE DATA:

FEMA Map Number	35001C0111G
Zoning	RA
Miles of Full Width Streets Created	0 Miles
No. of Existing Lots	0
No. of Existing Tracts	1
No. of Lots Created	23
No. of Tracts Created	1
Total Area	7.8190 Acres
Acres of Dedicated Right-of-Way	0.1626 Acres

Project Number: _____

Subdivision Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS

PNM Electric Services	date
New Mexico Gas Company	date
Qwest Corporation dba Century Link QC	date
Comcast	date

CITY APPROVALS

<u>Loren N. Risenhoover</u>	1/25/2021
City Surveyor	date
Parks & Recreation Department	date
City Engineer	date
AMAFCA	date
ABCWUA	date
Traffic Engineer, Transportation Department	date
Environmental Health Department	date
Code Enforcement	date
DRB Chair, Planning Department	date

INFO FOR COUNTY CLERK:

OWNER: BARBARA MUELLER
PROPERTY: TRACT 22 VOLCANO CLIFFS UNIT 6 SUBDIVISION
UPC # 100906317105030106

TREASURER'S CERTIFICATION:

This is to certify that all taxes due and payable have been paid in full pursuant to New Mexico statute 78-38-44.1

Tract 22, VOLCANO CLIFF UNIT 6
UPC #: 100906317105030106

Bernalillo County Treasurer's Office: by: _____ Date: _____

NO.	DATE	BY	REVISIONS	DESCRIPTION	COMMENTS
1	01/25/21				

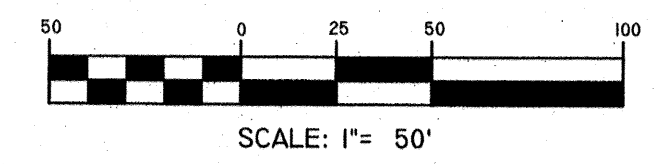
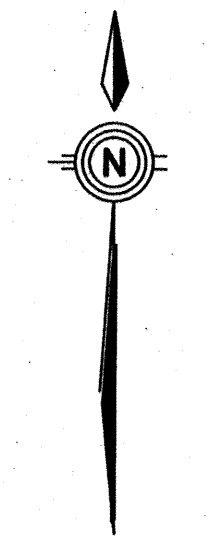
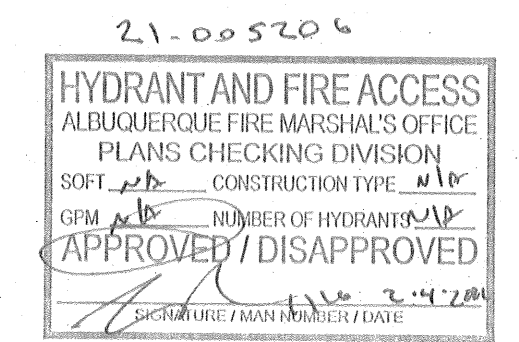
**PRELIMINARY PLAT
QUIVIRA ESTATES**

DWG PATH:	P:\GIS\DATA\BND\Volcano Cliffs\UNIT 6\LOT 22 BNDY-TOP-REPLAT\QUIVIRA PLAT update.dwg
DATE:	JR/T10
DATE:	08/26/20
SCALE:	1"=50'
CREW:	LRC/CFS
DRAWN:	SLN
JOB NO.:	N942-03-930



1 of 3

PRELIMINARY PLAT
QUIVIRA ESTATES
 BEING A REPLAT OF TRACT 22, VOLCANO CLIFFS UNIT 6
 AND QUIVIRA DRIVE NW
 SITUATE WITHIN
 SECTION 21, T. 11 N., R. 2 E., N.M.P.M.,
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO



NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	3'04'07"	105.30'	1966.00'	N88°31'48"E	105.29'
C2	86°39'22"	37.81'	25.00'	N43°40'03"E	34.31'
C3	90°15'44"	39.38'	25.00'	N44°47'30"W	35.44'
C4	89°44'16"	39.16'	25.00'	S45°12'30"W	35.27'
C5	93°05'54"	40.62'	25.00'	S46°12'35"E	36.30'
C6	2°53'47"	102.83'	2034.00'	S88°41'22"W	102.82'

MONUMENT LEGEND

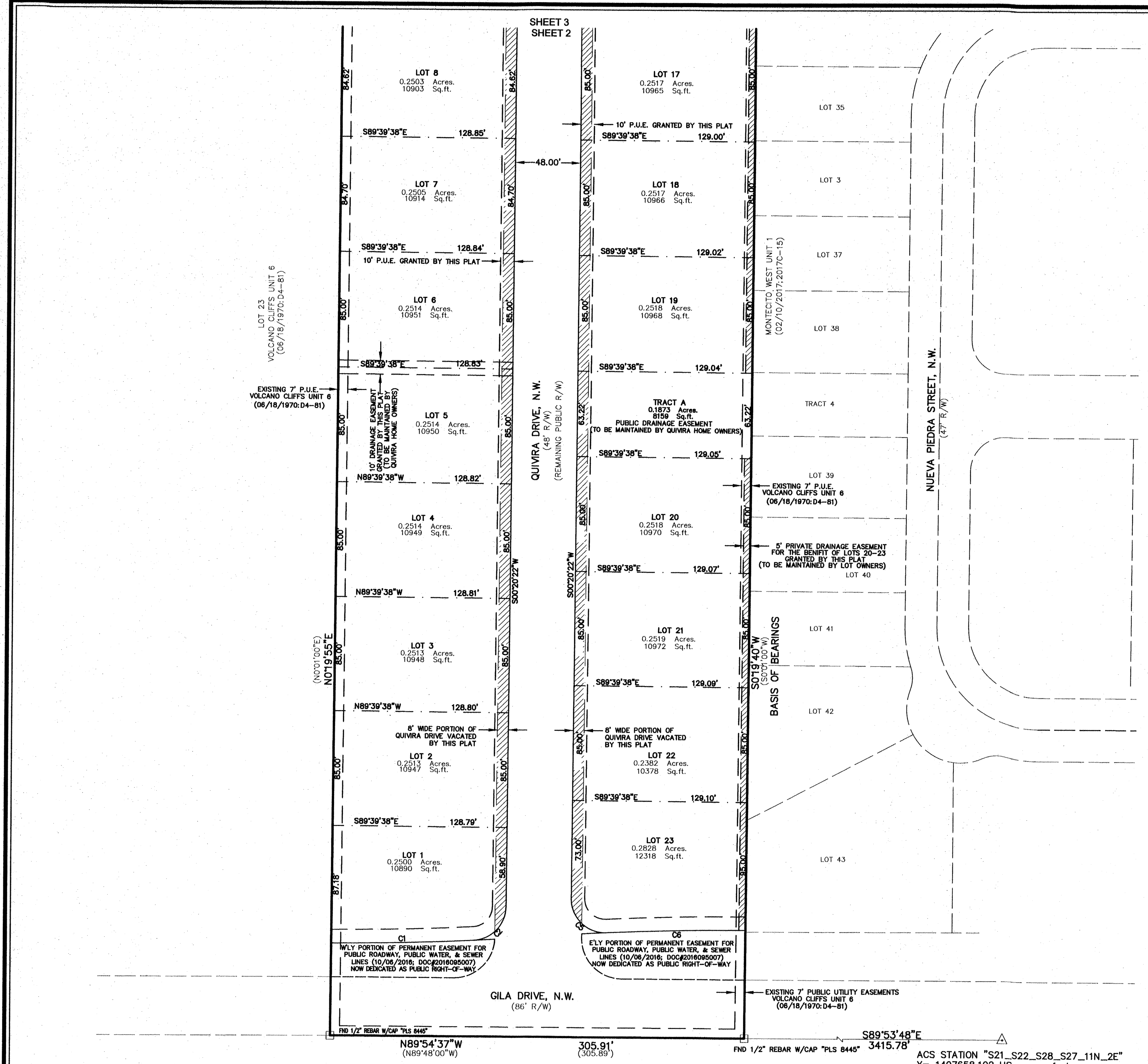
- FOUND MONUMENT AS NOTED
- △ ACS CONTROL STATION
- SET 5/8" REBAR WITH YELLOW CAP STAMPED "PATRICK PS12651" UNLESS OTHERWISE NOTED

PRELIMINARY PLAT
QUIVIRA ESTATES

DWG PATH: C:\GEO\2018\Volcano Cliffs Unit 6\LOT 22 BNOY-TOPO-REPLAT\QUIVIRA PLAT update.dwg
 DATE: 08/26/20
 SCALE: 1"=50'
 CREW: LRC/CFS
 DRAWN: SLN
 JOB NO: N942-03-930



2
of
3



ALL SEC. 28, T. 11 N., R. 2 E.
 CITY OF ALBUQUERQUE
 UPC #100906226426410164
 FILING INFO UNAVAILABLE

ACS STATION "S21_S22_S28_S27_11N_2E"
 X= 1497658.102 US survey feet
 Y= 1513840.436 US survey feet
 GROUND TO GRID= 0.999671770
 MAPPING ANGLE= -00°16'30.19"
 CENTRAL ZONE NAD 1983

ACS STATION "2-D9 2007"
 X= 1493615.357 US survey feet
 Y= 1515761.743 US survey feet
 GROUND TO GRID= 0.999667790
 MAPPING ANGLE= -00°16'58.43"
 CENTRAL ZONE NAD 1983

PRELIMINARY PLAT
 QUIVIRA ESTATES
 BEING A REPLAT OF TRACT 22, VOLCANO CLIFFS UNIT 6
 AND QUIVIRA DRIVE NW
 SITUATE WITHIN
 SECTION 21, T. 11 N., R. 2 E., N.M.P.M.,
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

LOT 11
 VOLCANO CLIFFS UNIT 6
 (06/18/1970:D4-81)

LOT 12
 VOLCANO CLIFFS UNIT 6
 (06/18/1970:D4-81)

LOT 13
 0.2500 Acres.
 10890 Sq.ft.

LOT 14
 0.2516 Acres.
 10960 Sq.ft.

LOT 15
 0.2516 Acres.
 10962 Sq.ft.

LOT 16
 0.2517 Acres.
 10963 Sq.ft.

LOT 17
 0.2517 Acres.
 10965 Sq.ft.

LOT 18
 0.2517 Acres.
 10966 Sq.ft.

LOT 19
 0.2518 Acres.
 10968 Sq.ft.

TRACT A
 0.1873 Acres.
 8159 Sq.ft.

EXISTING 7' P.U.E.
 VOLCANO CLIFFS UNIT 6
 (06/18/1970:D4-81)

EXISTING 7' P.U.E.
 VOLCANO CLIFFS UNIT 6
 (06/18/1970:D4-81)

5' PRIVATE DRAINAGE EASEMENT
 FOR THE BENEFIT OF LOTS 13-19
 GRANTED BY THIS PLAT
 (TO BE MAINTAINED BY LOT OWNERS)

TRACT 6
 MONTECITO WEST UNIT 1
 (02/10/2017:2017C-15)

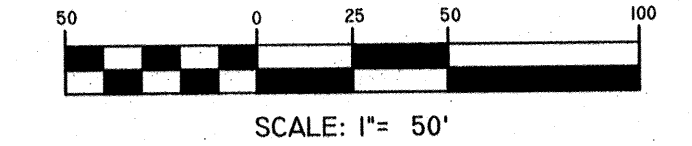
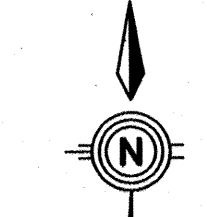
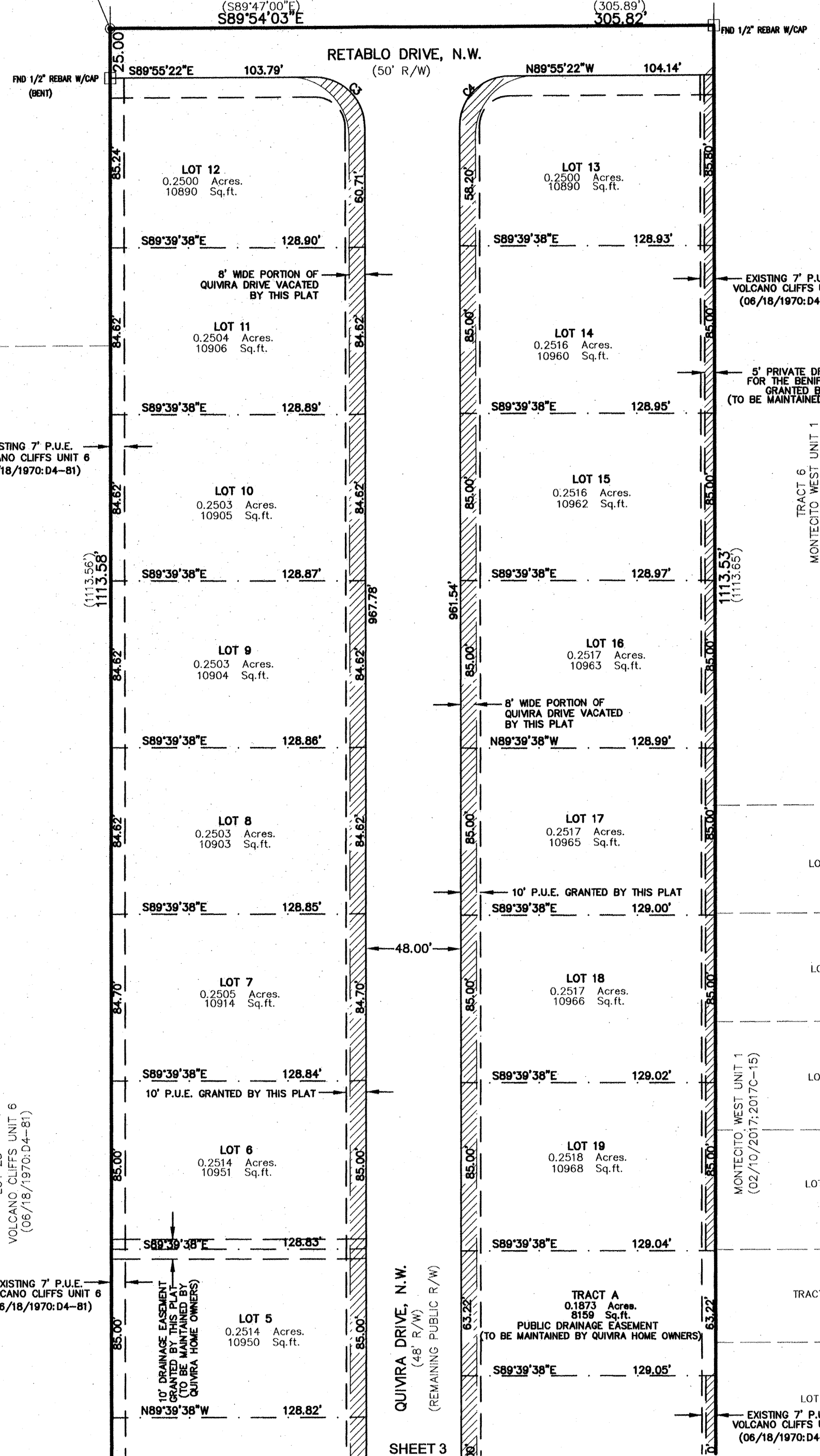
LOT 23
 VOLCANO CLIFFS UNIT 6
 (06/18/1970:D4-81)

EXISTING 7' P.U.E.
 VOLCANO CLIFFS UNIT 6
 (06/18/1970:D4-81)

10' DRAINAGE EASEMENT
 GRANTED BY THIS PLAT
 TO QUIVIRA HOME OWNERS

TRACT A
 PUBLIC DRAINAGE EASEMENT
 (TO BE MAINTAINED BY QUIVIRA HOME OWNERS)

EXISTING 7' P.U.E.
 VOLCANO CLIFFS UNIT 6
 (06/18/1970:D4-81)



21-00566
 HYDRANT AND FIRE ACCESS
 ALBUQUERQUE FIRE MARSHAL'S OFFICE
 PLANS CHECKING DIVISION
 SOFT NO. CONSTRUCTION TYPE N/A
 GEM NO. NUMBER OF HYDRANTS 2
 APPROVED / DISAPPROVED
 SIGNATURE: [Signature]
 DATE: [Date]

MONUMENT LEGEND

- FOUND MONUMENT AS NOTED
- △ ACS CONTROL STATION
- SET 5/8" REBAR WITH YELLOW CAP STAMPED "PATRICK PS12651" UNLESS OTHERWISE NOTED

PRELIMINARY PLAT
 QUIVIRA ESTATES

DWG PATH: C:\CENTS\BLD\Volcano Cliffs Unit 6\LOT 22 BNDY-TRPO-REPLAT\QUIVIRA PLAT update.dwg
 DPC: JR/TIO
 DATE: 08/26/20
 SCALE: 1"=50'
 CREW: LRC/CFS
 DRAWN: SLN
 JOB NO: N942-03-930



3 of 3

WATER & SEWER

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER BUT RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER COA STANDARD DRAWINGS 2460 AND 2461.
- MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://abcwua.org/water_shut_off_and_turn_on_procedures.aspx)
- PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (8" - 12") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (8" - 48").
- ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE JOINT RESTRAINT REQUIREMENTS SHOULD BE DELINEATED WITHIN A JOINT RESTRAINT TABLE.
- ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING. EXCEPT WHEN PROFILED WITHIN A PROPOSED OR EXISTING STREET, WHERE STREET STATIONING SHALL GOVERN.
- ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
- ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #9. THE CONTRACTOR SHALL INSTALL A 4" X 4" X 5" POST AND EMS AT THE END OF EACH SANITARY SEWER SERVICE.
- TRACER WIRE SHALL BE INCLUDED FOR ALL PUBLIC WATER AND SEWER MAINS AND FOR WATER SERVICES IN ACCORDANCE WITH WATER AUTHORITY DETAILS.
- CONTRACTOR SHALL PROVIDE THE PROPOSED HYDRO TESTING PLANS TO THE WUA INSPECTORS FOR APPROVAL PRIOR TO BEGINNING TESTING OPERATIONS.
- AT UTILITY CROSSINGS, WHERE LESS THAN 18" OF VERTICAL SEPARATION FROM STORM DRAIN PIPING OR STRUCTURES IS PROPOSED, LEAN FILL CONSTRUCTION (PER SECTION 207 OF THE STANDARD SPECIFICATIONS) SHALL BE USED TO PROTECT THE WATER OR SEWER LINE. LEAN FILL SHALL EXTEND A PERPENDICULAR DISTANCE OF 5 FEET ON EACH SIDE OF THE STORM PIPE OR STRUCTURE.
- ALL DESIGNS AND CONSTRUCTION OF ANY UNDERGROUND UTILITIES SHALL COMPLY WITH ADMINISTRATIVE INSTRUCTION NO. 9 FOR WORK NEARBY OR AFFECTING SAN JUAN CHAMA TRANSMISSION LINES AND APPURTENANCES. INFORMATION SHALL BE PROVIDED TO THE WATER AUTHORITY ONE (1) MONTH IN ADVANCE OF THE CONSTRUCTION START DATE. INFORMATION CAN BE FOUND AT [HTTP://WWW.ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://www.abcwua.org/water_shut_off_and_turn_on_procedures.aspx) [HTTP://WWW.ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://www.abcwua.org/water_shut_off_and_turn_on_procedures.aspx)

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

DEPTH OF BURY: 3.0' MINIMUM
 SAFETY FACTOR: 1.5 TO 1
 PIPE MATERIAL: PVC
 SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
 TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL OR CRUSHED STONE TO 1/8 PIPE DIAMETER, 4" MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

SIZE	LENGTH ALONG RUN**					
	5'	4'	3'	2'	1'	0'
12x12x12	75	80	86	91	97	102
12x12x10	54	61	67	74	80	87
12x12x8	32	40	48	56	64	72
12x12x6	2	12	23	34	45	55
12x12x4	1	1	1	1	8	24
10x10x10	60	65	74	76	81	87
10x10x8	39	45	52	59	66	72
10x10x6	11	20	29	38	46	55
10x10x4	1	1	1	1	14	26
8x8x8	46	51	57	62	67	72
8x8x6	21	28	34	41	48	55
8x8x4	1	1	1	1	19	29
6x6x6	29	34	40	45	50	55
8x8x4	1	9	16	24	32	39

*RESTRAINTS ONLY PLACED ON THE BRANCH
 **LENGTH ALONG RUN REFERS TO THE LENGTH OF PIPE ON EITHER SIDE OF THE TEE BEFORE THE NEXT JOINT.

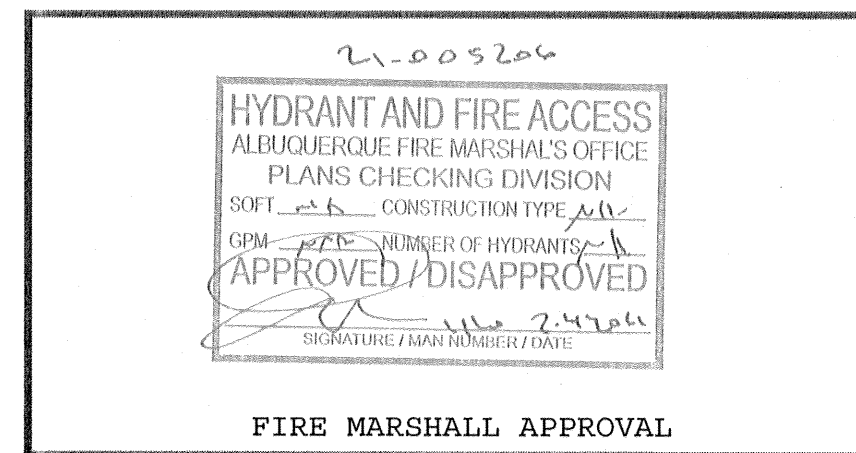
SIZE	RESTRAINED JOINT LENGTHS FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS (EACH SIDE)				
	90'	45'	22-1/2'	11-1/4'	DEAD END
12	37	15	8	4	102
10	31	13	7	4	87
8	27	11	6	3	72
6	20	9	4	2	55
4	15	6	3	2	39

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

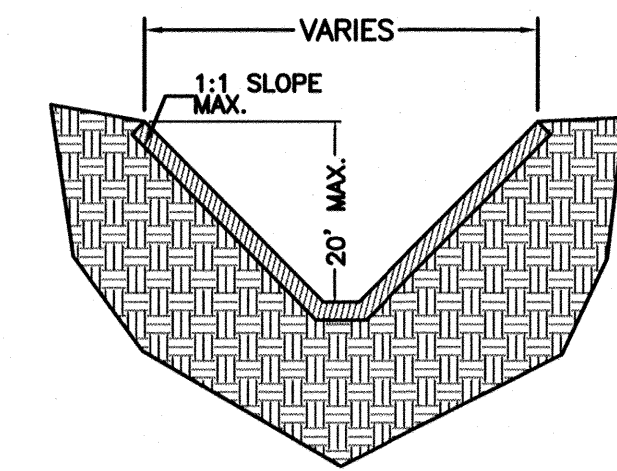
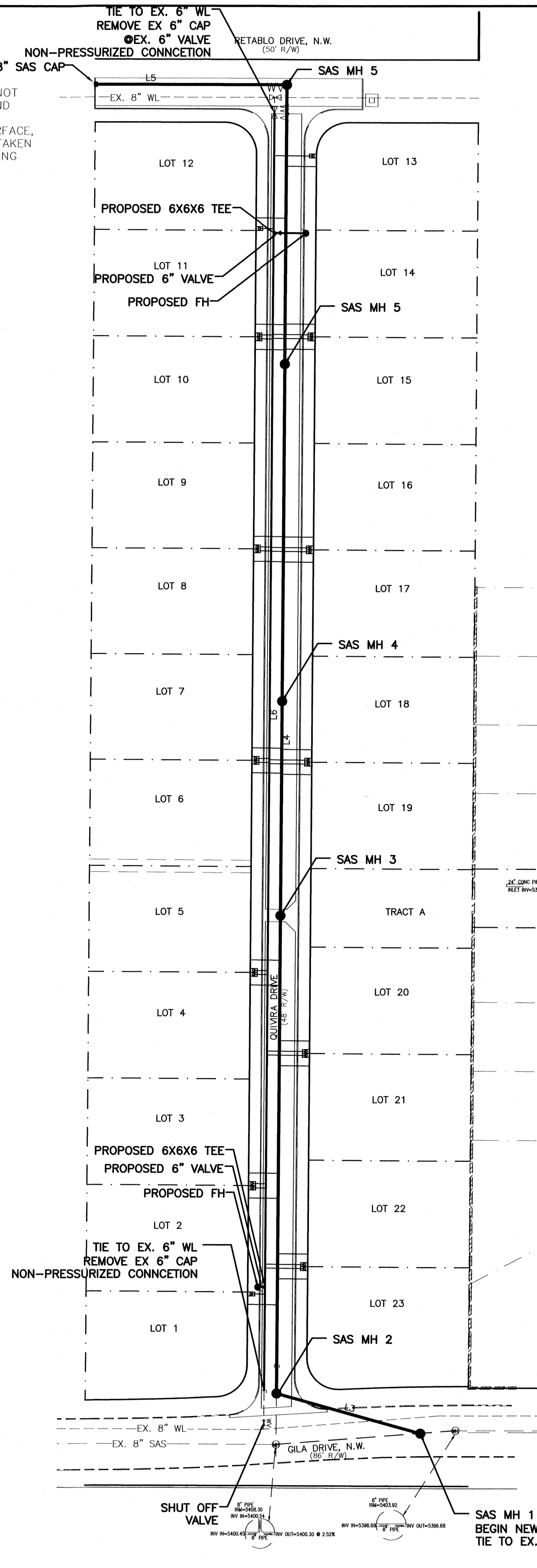
DEPTH OF BURY: 3.0' MINIMUM
 SAFETY FACTOR: 1.5 TO 1
 PIPE MATERIAL: PVC
 SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
 TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL OR CRUSHED STONE TO 1/8 PIPE DIAMETER, 4" MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

SIZE	RESTRAINED JOINT LENGTHS FOR VERTICAL OFFSETS/BENDS (EACH SIDE)			
	90'	45'	22-1/2'	11-1/4'
12 UPPER	42	21	11	11
12 LOWER	10	5	3	3
10 UPPER	36	14	9	9
10 LOWER	9	8	2	2
8 UPPER	30	15	8	8
8 LOWER	7	4	2	2
6 UPPER	23	11	6	6
6 LOWER	6	3	2	2
4 UPPER	17	8	4	4
4 LOWER	4	2	1	1

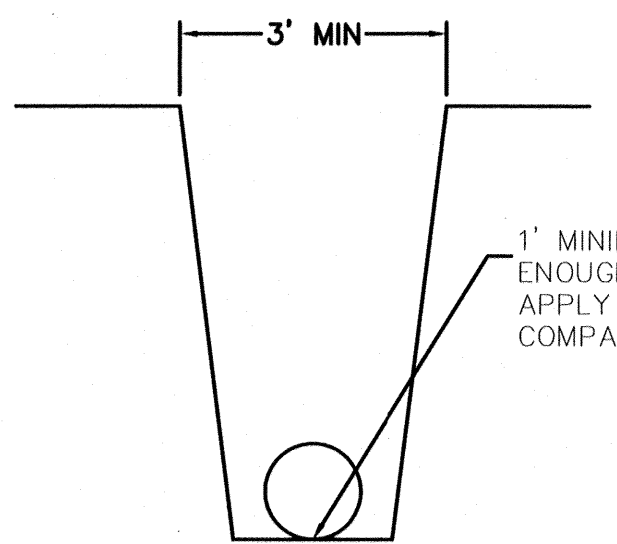


FIRE MARSHALL APPROVAL



SUPPLEMENTAL TRENCH DETAIL

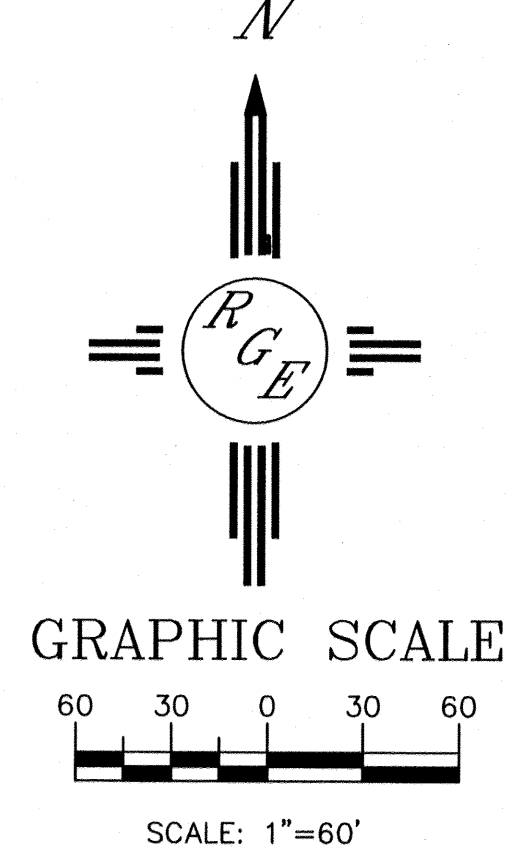
NTS-PER FIGURE V-2-13 OSHA STANDARD SPECIFICATIONS
 NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.



WATER AND SEWER TRENCH DETAIL

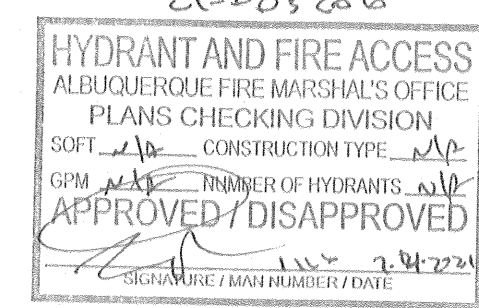
LEGEND

- EX. 12" SD --- EXISTING STORM SEWER LINE
 - EX. 8" SAS --- EXISTING SAS
 - EX. 8" WL --- EXISTING WATER LINE
 - EX. 8" SAS --- PROPOSED SAS
 - EX. 8" WL --- PROPOSED WATER LINE
 - PROPOSED STORM SEWER LINE
 - PROPOSED FIRE HYDRANT
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - CENTERLINE
 - RIGHT-OF-WAY
 - LOT LINES
 - EASEMENT
 - STREET LIGHTS
- CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG 2465 (LOCAL). CONTRACTOR SHALL REMOVE AND REPLACE STD C&G PER COA STD 2415A. CONTRACTOR SHALL REMOVE AND REPLACE SW PER COA STD SWG 2430. REMOVE TO THE NEAREST JOINT



WATER SHUTOFF NOTES—SHUT OFF VALVE

WATER SHUTOFF NOTES:
 1. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUEST MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://abcwua.org/water_shut_off_and_turn_on_procedures.aspx).
 2. VALVES SHALL BE OPERATED BY ABCWUA EMPLOYEES ONLY.



FIRE MARSHALL APPROVAL

CONTRACTOR		DATE	
DESIGNED BY: WCUJ		DATE: 8-06-20	
DRAWN BY: WCUJ		DATE: 8-06-20	
CHECKED BY: DS		DATE: 8-06-20	
JOB NO.: 2102059-LAYOUT-8-06-20.DWG		JOB NO.: 2102059	
CITY PROJECT NO.		ZONE MAP NO.	
SHEET 7		OF 10	

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

QUIVIRA SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT 22 VOLCANO CLIFFS UNIT 6

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	28' F-F	Residential Road w/ Curb and Gutter including 5' wide Sidewalk both sides*	QUIVIRA ROAD	VISTA VIEJA	RETABLO DRIVE	/	/	/
<input type="text"/>	<input type="text"/>	24' F-E	1/2 Residential Road w/ Curb and Gutter including 5' wide Sidewalk south side	RETABLO DRIVE	WEST PROPERTY LINE	50' EAST OF QUIVIRA ROAD	/	/	/
<input type="text"/>	<input type="text"/>	8"	Waterline	QUIVIRA ROAD	VISTA VIEJA	RETABLO DRIVE	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sewerline	QUIVIRA ROAD	VISTA VIEJA	RETABLO DRIVE	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sewerline	RETABLO DRIVE	QUIVIRA ROAD	WEST PROPERTY LINE	/	/	/
<input type="text"/>	<input type="text"/>	10'	Concrete Drainage Channel	DRAINAGE EASEMENT LOTS 5,6	WEST PROPERTY LINE	QUIVIRA ROAD	/	/	/
<input type="text"/>	<input type="text"/>	VARIES	WATER QUALITY POND	DRAINAGE EASEMENT TRACT A			/	/	/
<input type="text"/>	<input type="text"/>	24"	RCP STORM DRAIN WITH INLET	DRAINAGE EASEMENT TRACT A	POND	EXISTING STORM DRAIN	/	/	/
<input type="text"/>	<input type="text"/>	1	DOUBLE A INLET WITH 24" OUTLET PIPE	RETABLO DRIVE	ROADWAY	DRAINAGE POND	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 Engineers Certification of Grading required for release of SIA and Financial Guarantee
- 2 *SIDEWALKS TEMPORARYILY DEFERRED PER APPROVED EXHIBIT
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DAVID SOULE
NAME (print)

RIO GRANDE ENGINEERING
FIRM

SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

CODE ENFORCEMENT - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER