



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
A new dental office, 4800 sf at ground level with 1000 sf meeting room at upper floor. 3800 sf of lease space is also included.		

APPLICATION INFORMATION		
Applicant: Curtis Pino		Phone: 505 822 0565
Address: 7007 Wyoming NE Suite D-1		Email: pinoperiodontics@gmail.com
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any): Joe Slagle, Architect		Phone: 505 246 0870
Address: 43 Second Street SW		Email: joe@slaglearchitect.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Architect		List all owners: Curtis and Rebecca Pino
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Lot 21, tract 2	Block: 9	Unit: 3
Subdivision/Addition: North Albuquerque Acres	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): C-19	Existing Zoning: MX-L	Proposed Zoning Same
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 1.0031 ac.
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 7413 Holly Ave NE	Between: Louisiana	and: Wyoming
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
Rezoning: project #2020-004475, Official notification of decision dated Nov. 12, 2020		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:		Date: 1-29-2021
Printed Name: Joe Slagle		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY		
Case Numbers	Action	Fees
Meeting Date:		Fee Total:
Staff Signature:	Date:	Project #

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

☒ SITE PLAN – DRB

☐ MAJOR AMENDMENT TO SITE PLAN – DRB

☐ EXTENSION OF SITE PLAN – DRB

NA Interpreter Needed for Hearing? NO if yes, indicate language: _____

X PDF of application as described above

X Zone Atlas map with the entire site clearly outlined and labeled

X Letter of authorization from the property owner if application is submitted by an agent

NA Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

X Signed Traffic Impact Study (TIS) Form

NO Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information *(not required for Extension)*

X Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)

NO Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)

Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.

X Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*

X Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) *(not required for extension)*

X Office of Neighborhood Coordination neighborhood meeting inquiry response

X Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

NO If a meeting was requested or held, copy of sign-in sheet and meeting notes

X Sign Posting Agreement

X Required notices with content per IDO Section 14-16-6-4(K)(6) *(not required for extension)*

X Office of Neighborhood Coordination notice inquiry response

X Copy of notification letter and proof of first-class mailing

X Proof of emailed notice to affected Neighborhood Association representatives

X Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first-class mailing

X Completed Site Plan Checklist

X Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)

NA Copy of the original approved Site Plan or Master Development Plan *(for amendments and extensions)* (1 copy, 24" x 36")

X Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)

NA Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

X Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

____ Interpreter Needed for Hearing? ____ if yes, indicate language: _____

____ PDF of application as described above

____ Zone Atlas map with the entire site clearly outlined and labeled

____ Letter of authorization from the property owner if application is submitted by an agent

____ Solid Waste Department signature on Site Plan

____ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information

____ Approved Grading and Drainage Plan

____ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*


____ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met

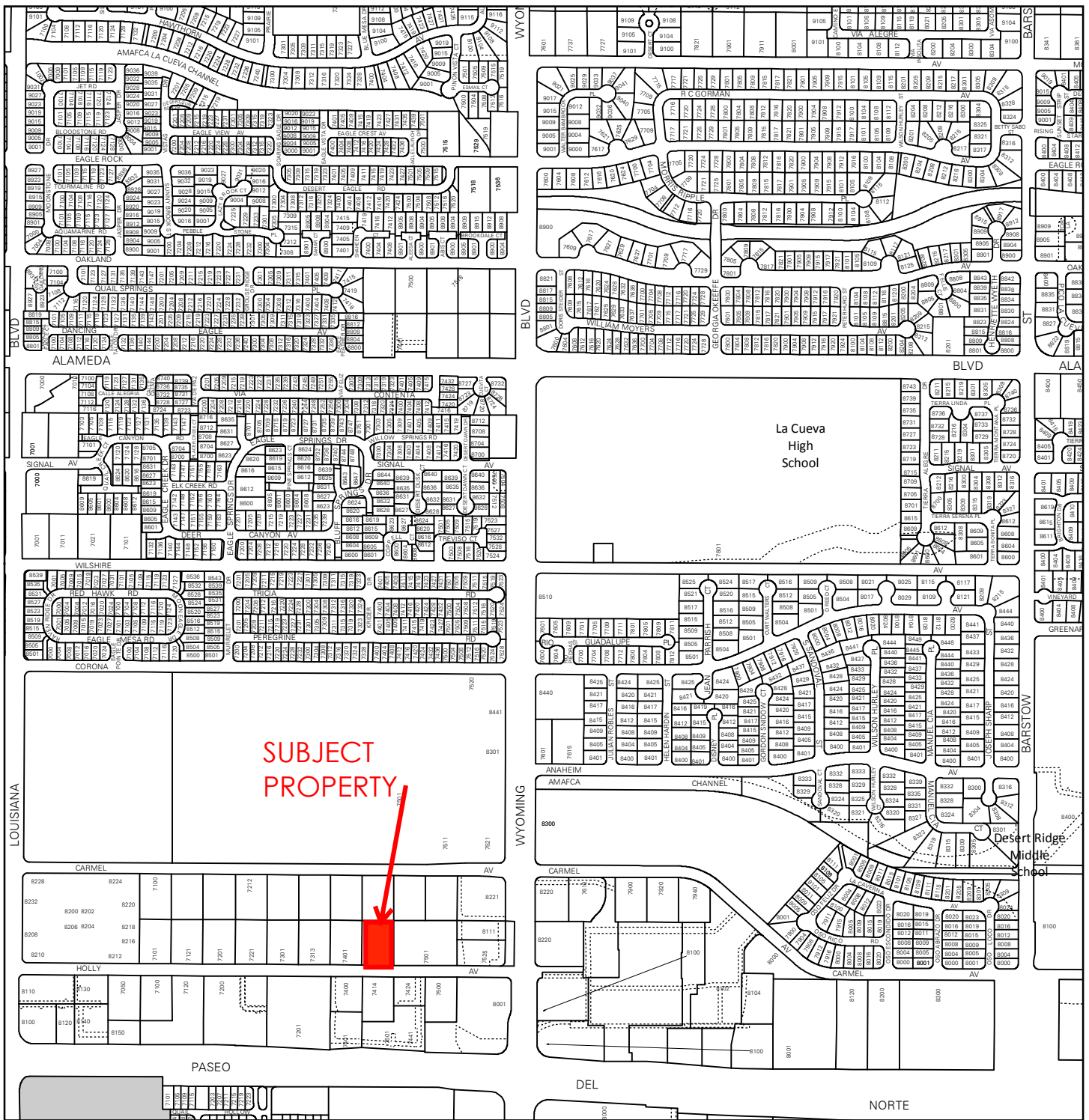
____ Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)

____ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)

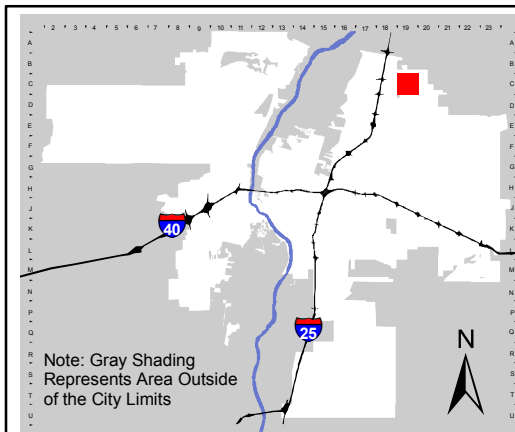
____ Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
	
Staff Signature:	
Date:	



For more current information and details visit: www.cabq.gov/gis

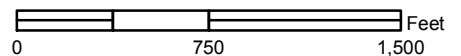


Address Map Page:

C-19-Z

Map Amended through:
3/17/2017

These addresses are for informational purposes only and are not intended for address verification.



January 26, 2021

Planning Department
City of Albuquerque
600 2nd St NW
Albuquerque, NM 87103

RE: Agency Authorization Letter for the construction of a commercial office building at 7413
Holly AVE NE 87113

Dear Planning Department:

This letter shall serve as authorization for Slagle Architects to act as agent on our behalf in
regard to obtaining Planning Department approvals for the property listed above.

Please let me know if you have any questions or need any additional information.

Thank you,

A handwritten signature in black ink, appearing to read 'C. Pino', with a stylized flourish at the end.

Curtis M Pino
Pino Periodontic s LLC
pinoperiodontics@gmail.com
5052634488



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Project Title: Pino Periodontics **Building Permit #:** _____ **Hydrology File #:** _____
Zone Atlas Page: C-19 **DRB#:** _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 21 Block 9 North Albuquerque Acres Unit 3 Tract 2
City Address: 7413 Holly Avenue Ne, Albuquerque NM

Applicant: Joe Slagle Architect **Contact:** Joe Slagle
Address: 413 Second Street SW
Phone#: 505 246 0870 **Fax#:** _____ **E-mail:** joe@slaglearchitect

Development Information

Build out/Implementation Year: 2021 **Current/Proposed Zoning:** MX-L

Project Type: New: (X) Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()

Proposed Use (mark all that apply): Residential: () Office: (X) Retail: () Mixed-Use: ()

Describe development and Uses:
5800 sf dental office with an additional 3800 sf of lease space

Days and Hours of Operation (if known): 8-5

Facility

Building Size (sq. ft.): 9600

Number of Residential Units: NA

Number of Commercial Units: 1

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* ~100

Expected Number of Employees (if known):* ~30

Expected Number of Delivery Trucks/Buses per Day (if known):* 2

Trip Generations during PM/AM Peak Hour (if known):* _____

Driveway(s) Located on: Street Name Holly Avenue NE

Adjacent Roadway(s) Posted Speed: Street Name Holly Ave Posted Speed 25

Street Name _____ Posted Speed _____

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Major collector
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Urban Center? (Map difficult to read)
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 4500/5000 Volume-to-Capacity Ratio: Web page unavailable
(if applicable)

Adjacent Transit Service(s): ABQ Ride on Wyoming Nearest Transit Stop(s): Wyoming at Holly

Is site within 660 feet of Premium Transit?: unknown

Current/Proposed Bicycle Infrastructure: Existing bike path on Carmel
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Sidewalks exist at improved properties on Holly

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [☐] No [☐] Borderline [☐]

Thresholds Met? Yes [☐] No [☐]

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: [☐]

Notes:

TRAFFIC ENGINEER

DATE

.....

Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

January 27, 2021



Development Review Board
Planning Dept.
600 2nd st. NW
Albuquerque, NM 87102

RE: Pino Periodontics dental office development at 7413 Holly Ave NE.

This development consists of a new dental office and vacant lease space. The floor area of the dental office portion will be 4800 sf at the first floor plus a 1000 sf. Meeting room at the second floor. The lease space will be 3800 sf of unfinished space. The total building area will be 9600 sf.

The property is 1.0031 ac gross, with frontage to be removed for additional ROW, for a net area of .8896 ac. The legal description is Lot 21, Block 9, Unit 3, Tract 2, North Albuquerque acres.

The project will consist of the building, all on site flatwork, parking and landscape as well as improvements in the ROW including new curb and gutter, sidewalk, and asphalt paving.

We are requesting DRB approval for site development for building permit. If you have any questions or concerns, please feel free to contact me.

Respectfully,

A handwritten signature in blue ink, consisting of a large, stylized 'J' and 'S' intertwined.

Joe Slagle
Slagle Architect, Inc.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-250 Date: updated 1/19/20 Time: N/A (sent via email to joe@slaglearnarchitect.com)

Address: 7413 Holly AVE NE

AGENCY REPRESENTATIVES

Planning: Linda Rumpf (lrumpf@cabq.gov)

Zoning/Code Enforcement: Carl Garcia (cagarcia@cabq.gov)

Fire Marshal: Bob Nevárez (rnevarez@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Hydrology: Ernest Armijo, P.E. (earmijo@cabq.gov)

Solid Waste: Herman Gallegos (hgallegos@cabq.gov)

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

Additional research may be necessary to determine the exact type of application and/or process needed.

Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: 8700 sf professional building as follows: 4800 sf dental office with 1000 sf conference room at upper floor plus 380 sf lease space for future tenant

SITE INFORMATION:

Zone: ~~MX-L~~ R-ML

Size: 0.8896 ac

Use: Low-density Residential

Overlay zone: x

Comp Plan Area of: Consistency

Comp Plan Corridor: x

Comp Plan Center: x

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-1: Residential Zone District Dimensional Standards

*Neighborhood Organization/s: District 4 Coalition of NAs, North Domingo Baca NA

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods.resources.*

PROCESS:

Type of Action: ~~6-5(G) SITE PLAN - ADMINISTRATIVE~~ 6-6(I) SITE PLAN - DRB

Review and Approval Body: STAFF Is this a PRT requirement? No

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-250 Date: updated 1/19/20 Time: N/A (sent via email)

Address: 7413 Holly AVE NE

NOTES:

QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

need to know approval process

Fire, solid waste, transportation comments on site plan

Offsite work in right of way that owner will be responsible for.

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

New Public Notice Forms

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings.

Please complete these forms for public notice:

- [Neighborhood Meeting](#) or <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>
- [Public Notice](#) or <http://www.cabq.gov/planning/urban-design-development/public-notice>

Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, lrumpf@cabq.gov

File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to PLNDRS@cabq.gov. For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at jrodenbeck@cabq.gov and/or to Maggie Gould at mgould@cabq.gov.

For other questions, please contact the Planning representative at the top of the PRT Notes.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-250 Date: updated 1/19/20 Time: N/A (sent via email)

Address: 7413 Holly AVE NE

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:
<https://www.cabq.gov/planning/building-safety-permits>

Zoning Comments

- Address: 7413 HOLLY AV NE
Lot: 21 Block: 9
Subdivision: N ABQ ACRES TR 2 UNIT 3
- La Cueva Area
- Type: Consistency
- IDO Zoning: R-ML
- Application was submitted as the MX-L zone and it's still in the process of getting changed.
- If Approved for this requested ZONE (MX-L) the following will apply
- Area of consistency next to area of change
- Medical or dental clinic – Permissive use
- Use specific Standard - 4-3(D)(25) Medical or Dental Clinic
DEFINITION
- Medical or Dental Clinic - An establishment where patients who are not lodged overnight are admitted for examination and treatment by a group of licensed health care practitioners, dentists, or licensed health care practitioners and dentists in practice together.
- Table 5-1-2 Dimensional Standards
- 5-3 ACCESS AND CONNECTIVITY
- 5-5 PARKING AND LOADING
- 5-6 LANDSCAPING, BUFFERING, AND SCREENING
- 5-7 WALLS AND FENCES
- 5-8 OUTDOOR AND SITE LIGHTING
- 5-11 BUILDING DESIGN

Process

- ~~6-5(G) SITE PLAN - ADMINISTRATIVE~~
- 6-6(I) SITE PLAN - DRB

Transportation Development comments

For additional information contact Jeanne Wolfenbarger (924-3991)

- Fill out a Traffic Scoping Form to determine if there is a Traffic Impact Study required.
- Follow all typical Traffic Circulation Layout requirements.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-250 Date: updated 1/19/20 Time: N/A (sent via email)

Address: 7413 Holly AVE NE

- Where is the proposed drive entrance located relative to any drive entrances across the street from Holly Avenue? Provide a sketch to verify that there aren't any conflicting movements.

Curb Cuts

- Follow DPM guidelines for residential and commercial curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

Traffic Studies and Traffic Signals

1. See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-250 Date: updated 1/19/20 Time: N/A (sent via email)

Address: 7413 Holly AVE NE

determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.

2. A proposed new traffic signal needs to A) follow guidelines for traffic signal spacing, B) meet the requirements for a traffic signal warrant study to be in operation and C) be approved by both Planning and by Traffic Operations.

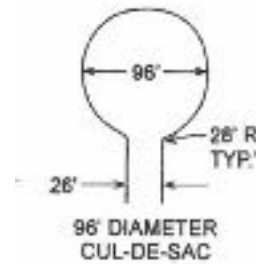
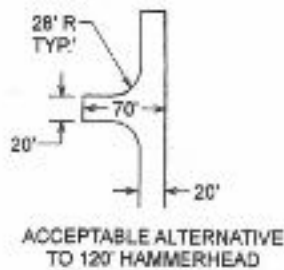
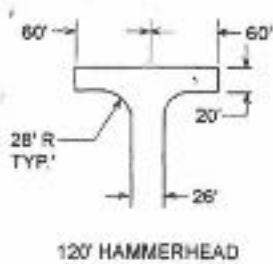
Platting and Public Infrastructure Requirements for Roadways

1. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
2. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
3. Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
4. There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.
5. Depending on site's use of an adjacent alleyway and on type of use for proposed site, alleyway improvements are required. This would include paving and/or proper right-of-way dedication to meet current width standards.
6. Follow DPM and MRCOG's Long Range Master Plan for roadway width requirements. Provide roadway cross-section. (New roadway requirements and roadway widening is also coordinated with Department of Municipal Development, depending on what plans or projects they may have on a specific roadway.)
7. If private road is over 150' long, the turnaround shall be per fire code dimensions. Fire Marshall Approval and Solid Waste Approval is required on all site layouts. For dead-ends, see options below for space dedicated to turn-arounds:

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-250 Date: updated 1/19/20 Time: N/A (sent via email)

Address: 7413 Holly AVE NE



8. For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
9. Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
10. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

If you would have additional questions or would like to schedule a follow-up conference call meeting please contact Linda Rumpf at lrumpf@cabq.gov

Subject: Pino Periodontics 7413 Holly NE
Date: Monday, February 22, 2021 at 7:18:55 PM Mountain Standard Time
From: Dan Regan
To: Joe Slagle
CC: 'Michael Pridham', 'Mildred Griffie', 'Jim Griffie', 'Peggy Neff', judiepellegrino@gmail.com, hhowerton9379@msn.com, 'Dan Regan', 'Planning Dev Help'
Priority: High
Attachments: image005.png, image006.png

Joe,

See below the feedback I received from the President of the North Domingo Baca NA. They are basically OK with the plans for this project.

District 4 Coalition will neither support nor oppose this project moving forward. Good luck with pulling it all together.

Dan Regan
District 4 Coalition
Zoning / Development Committee, Chair

From: Judie Pellegrino [mailto:judiepellegrino@gmail.com]
Sent: Monday, February 22, 2021 3:11 PM
To: Dan Regan <dlreganabq@gmail.com>
Subject: Re: FW: Pino Periodontics 7413 Holly NE

sent this to the 'hood email group...no responses either way...as long as Joe etal are aware of the overall height, lighting, signage, color palette, landscaping requirements (as used to be stated in the LC Sector Plan), we are ok...thnx...

From: Dan Regan [mailto:dlreganabq@gmail.com]
Sent: Tuesday, February 16, 2021 2:52 PM
To: 'Joe Slagle' <joe@slaglearchitect.com>
Cc: 'Michael Pridham' <michael@drpridham.com>; Mildred Griffie <sect.dist4@gmail.com>; 'Jim Griffie' <jgriffie@noreste.org>; 'Peggy Neff' <peggyd333@yahoo.com>; judiepellegrino@gmail.com; hhowerton9379@msn.com; Dan Regan <dlreganabq@gmail.com>; 'Planning Dev Help' <devhelp@cabq.gov>
Subject: FW: Pino Periodontics 7413 Holly NE

Joe, I have reviewed the attached packet of info for the Pino Periodontics dated 2/12/21. I will compare them as soon as I can with the packet you sent on 1/27/21; those drawings were dated 1/27/21.

I have been in contact with the President of the North Domingo Baca Neighborhood Association. She will get with her board and get back to you if they have any further questions or would want to have a Neighborhood Meeting (via ZOOM).

Thanks,

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 2-16-21

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: District 4 Coalition of Neighborhood associations

Name of NA Representative*: Mildred Griffiee

Email Address* or Mailing Address* of NA Representative¹: mgriffiee@noreste.org

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: Joe@slaglearchitect.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

I will entertain almost any time.

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 7413 Holly Avenue NE
Location Description Holly between Louisiana and Wyoming NE.
2. Property Owner* Curtis and Rebecca Pino
3. Agent/Applicant* [if applicable] Joe Slagle, Architect
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☒ Site Plan
 - ☐ Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
- ☐ Variance
- ☐ Waiver
- ☐ Zoning Map Amendment
- ☐ Other: _____

Summary of project/request^{3*}:

A new dental office with additional space for future tenant.

5. This type of application will be decided by^{*}: ☐ City Staff
OR at a public meeting or hearing by:
☐ Zoning Hearing Examiner (ZHE) ☒ Development Review Board (DRB)
☐ Landmarks Commission (LC) ☐ Environmental Planning Commission (EPC)
☐ City Council
6. Where more information about the project can be found^{4*}:
Contact me at joe@slaglearchitect.com

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} C-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
☐ Deviation(s) ☐ Variance(s) ☐ Waiver(s)

Explanation:

None, project is in compliance with current IDO requirements

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: ☒ Yes ☐ No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☒ a. Location of proposed buildings and landscape areas.*
- ☒ b. Access and circulation for vehicles and pedestrians.*
- ☒ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☒ e. **For non-residential development***:
 - ☒ Total gross floor area of proposed project.
 - ☒ Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:

- a. Area of Property [typically in acres] .8896 acres
- b. IDO Zone District MX-L
- c. Overlay Zone(s) [if applicable] none
- d. Center or Corridor Area [if applicable] _____

2. Current Land Use(s) [vacant, if none] vacant

Useful Links

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<https://ido.abc-zone.com/>

IDO Interactive Map

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cc: Judie Pellegrino [Other Neighborhood Associations, if any]

Dan Regan

Lorna Howerton

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Neighborhood Association (NA)*: North Domingo Baca NA

Name of NA Representative*: Lorna Howerton

Email Address* or Mailing Address* of NA Representative¹: hhowerton9379@msn.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: Joe@slaglearchitect.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

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6. Where more information about the project can be found^{4*}:
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Explanation:

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Additional Information:

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cc: Judie Pellegrino [Other Neighborhood Associations, if any]

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Neighborhood Association (NA)*: North Domingo Baca NA

Name of NA Representative*: Judie Pellegrino

Email Address* or Mailing Address* of NA Representative¹: judiepellegrino@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: Joe@slaglearchitect.com

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6. Where more information about the project can be found^{4*}:
Contact me at joe@slaglearchitect.com

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Name of NA Representative*: Dan Regan

Email Address* or Mailing Address* of NA Representative¹: dlreganabq@gmail.com

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SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



2-12-21

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- X 1. Date of drawing and/or last revision
- X 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- X 3. Bar scale
- X 4. North arrow
- X 5. Legend
- X 6. Scaled vicinity map
- X 7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- NA 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- X A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- X B. Square footage of each structure
- X C. Proposed use of each structure
- X D. Signs (freestanding) and other improvements
- X E. Walls, fences, and screening: indicate height, length, color and materials
- X F. Dimensions of all principal site elements or typical dimensions
- NA G. Loading facilities
- X H. Site lighting (indicate height & fixture type)
- X I. Indicate structures within 20 feet of site
- X J. Elevation drawing of refuse container and enclosure, if applicable.
- X K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - X 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - X 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - NA 3. On street parking spaces
- B. Bicycle parking & facilities
 - X 1. Bicycle racks – location and detail
 - NA 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - X 1. Ingress and egress locations, including width and curve radii dimensions
 - X 2. Drive aisle locations, including width and curve radii dimensions
 - X 3. End aisle locations, including width and curve radii dimensions
 - X 4. Location & orientation of refuse enclosure, with dimensions
 - NA 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - X 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- ☒ 2. Location and dimension of drive aisle crossings, including paving treatment
- ☒ 3. Location and description of amenities, including patios, benches, tables, etc.
- NA E. Off-Street Loading
 - ☐ 1. Location and dimensions of all off-street loading areas
- NA F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - ☐ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - ☐ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - ☐ 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- ☐ A. Locate and identify adjacent public and private streets and alleys.
 - ☒ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - NA 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - NA 3. Location of traffic signs and signals related to the functioning of the proposal
 - NA 4. Identify existing and proposed medians and median cuts
 - ☒ 5. Sidewalk widths and locations, existing and proposed
 - NA 6. Location of street lights
 - ☒ 7. Show and dimension clear sight triangle at each site access point
 - ☒ 8. Show location of all existing driveways fronting and near the subject site.
- NA B. Identify Alternate transportation facilities within site or adjacent to site
 - ☐ 1. Bikeways and bike-related facilities
 - ☐ 2. Pedestrian trails and linkages
 - ☐ 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- ☒ 1. Scale - must be same as scale on sheet #1 - Site plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Identify nature of ground cover materials
 - ☒ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ☒ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - ☒ C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- ☒ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ☐ A. Existing, indicating whether it is to be preserved or removed.
 - ☐ B. Proposed, to be established for general landscaping.
 - ☐ C. Proposed, to be established for screening/buffering.
- ☒ 8. Describe irrigation system – Phase I & II . . .
- ☒ 9. Planting Beds, indicating square footage of each bed
- ☒ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ☒ 11. Responsibility for Maintenance (statement)
- ☒ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ☒ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ☒ 14. Planting or tree well detail
- ☒ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ☒ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ☒ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- ☒ 1. Scale - must be same as Sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Building footprints
- ☒ 7. Location of Retaining walls

B. Grading Information

- ☒ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ☒ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ☒ 3. Identify ponding areas, erosion and sediment control facilities.
- ☒ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- ☒ A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- ☒ B. Distribution lines
- ☒ C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ☒ D. Existing water, sewer, storm drainage facilities (public and/or private).
- ☒ E. Proposed water, sewer, storm drainage facilities (public and/or private)
- ☒ F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- ☒ A. Scale
- ☒ B. Bar Scale
- ☐ C. Detailed Building Elevations for each facade
 - ☒ 1. Identify facade orientation
 - ☒ 2. Dimensions of facade elements, including overall height and width
 - ☒ 3. Location, material and colors of windows, doors and framing
 - ☒ 4. Materials and colors of all building elements and structures
 - ☒ 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- ☒ 1. Site location(s)
- ☒ 2. Sign elevations to scale
- ☒ 3. Dimensions, including height and width
- ☒ 4. Sign face area - dimensions and square footage clearly indicated
- ☒ 5. Lighting
- ☒ 6. Materials and colors for sign face and structural elements.
- ☒ 7. List the sign restrictions per the IDO



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Site development plan for building permit

Decision-making Body: DRB

Pre-Application meeting required: ☒ Yes ☐ No

Neighborhood meeting required: ☐ Yes ☐ No Review and decide

Mailed Notice required: ☐ Yes ☐ No

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☒ Yes ☐ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: 7413 Holly Avenue NE

Name of property owner: Curtis and Rebecca Pino

Name of applicant: Joe Slagle Architect, agent

Date, time, and place of public meeting or hearing, if applicable:

Address, phone number, or website for additional information:

Joe Slagle Architect, 413 Second Street SW, Abq NM 87102, 246-0870 joe@slaglearchitect.com

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☐ Zone Atlas page indicating subject property.

☐ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable.

☐ Summary of request, including explanations of deviations, variances, or waivers.

IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO [SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

(Applicant signature) 1-27-21 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☒ a. Location of proposed buildings and landscape areas.
- ☒ b. Access and circulation for vehicles and pedestrians.
- ☒ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☐ e. For non-residential development:
 - ☒ Total gross floor area of proposed project.
 - ☒ Gross floor area for each proposed use.

Subject: 7413 Holly Avenue NE Neighborhood Meeting Inquiry
Date: Tuesday, January 26, 2021 at 4:16:03 PM Mountain Standard Time
From: Carmona, Dalaina L.
To: Joe Slagle
Attachments: image001.png, image002.png, image003.png, image004.png, image006.png, APage_C-19-Z.PDF

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1
North Domingo Baca NA	Judie	Pellegrino	judiepellegrino@gmail.com	8515 Murrelet NE
North Domingo Baca NA	Lorna	Howerton	hhowerton9379@msn.com	7201 Peregrine NE
District 4 Coalition of Neighborhood Associations	Daniel	Regan	dlreganabq@gmail.com	4109 Chama Street NE
District 4 Coalition of Neighborhood Associations	Mildred	Griffiee	mgriffiee@noreste.org	PO Box 90986

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. Please use this online link to find the required template language.

<https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Tuesday, January 26, 2021 4:03 PM
To: Office of Neighborhood Coordination <joe@slaglearchitect.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Joe Slagle

Telephone Number

5052460870

Email Address

joe@slaglearchitect.com

Company Name

Slagle Architect

Company Address

413 2nd St. SW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

Lot 21, Block 9, Tract 2, Unit 3, North Albuquerque Acres

Physical address of subject site:

7413 Holly Avenue NE

Subject site cross streets:

Holly between Louisiana and Wyoming

Other subject site identifiers:

This site is located on the following zone atlas page:

C-19

=====
This message has been analyzed by Deep Discovery Email Inspector.

Subject: Pino Periodontics at 7413 Holly Avenue NE
Date: Wednesday, January 27, 2021 at 2:17:28 PM Mountain Standard Time
From: Joe Slagle
To: dlreganabq@gmail.com
Attachments: image001.png, Pino Periodontics[1].pdf

Hello Daniel, this email is to notify your neighborhood associated of a planned dental project at 7413 Holly Ave. NE. We are planning on submitting to DRB this Friday, January 29. I am attaching the information package that describes the project. Please contact me if you have any questions or concerns.
Joe Slagle, Architect.



Subject: Pino Periodontics at 7413 Holly Ave NE
Date: Wednesday, January 27, 2021 at 2:16:08 PM Mountain Standard Time
From: Joe Slagle
To: hhowerton9379@msn.com
Attachments: image001.png, Pino Periodontics.pdf

Hello Lorna, this email is to notify your neighborhood associated of a planned dental project at 7413 Holly Ave. NE. We are planning on submitting to DRB this Friday, January 29. I am attaching the information package that describes the project. Please contact me if you have any questions or concerns.
Joe Slagle, Architect.



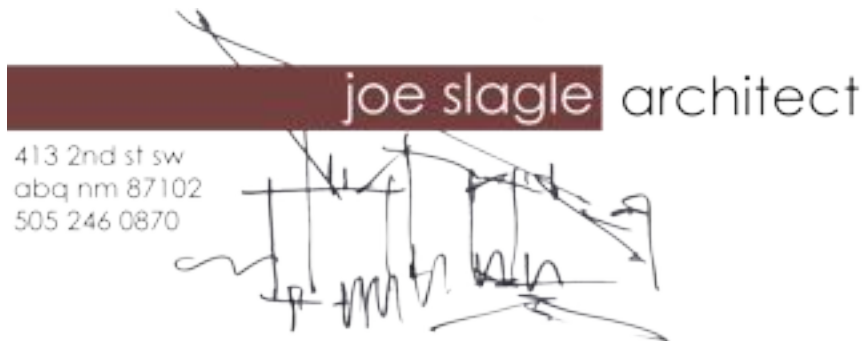
Subject: Pino Periodontics at 7413 Holly Ave NE
Date: Wednesday, January 27, 2021 at 2:13:42 PM Mountain Standard Time
From: Joe Slagle
To: judiepellegrino@gmail.com
Attachments: image001.png, Pino Periodontics.pdf

Hello Judie, this email is to notify your neighborhood associated of a planned dental project at 7413 Holly Ave. NE. We are planning on submitting to DRB this Friday, January 29. I am attaching the information package that describes the project. Please contact me if you have any questions or concerns.
Joe Slagle, Architect.



Subject: Pino Periodontics at 7413 Holly Ave NE
Date: Wednesday, January 27, 2021 at 2:18:29 PM Mountain Standard Time
From: Joe Slagle
To: mgriffie@noreste.org
Attachments: image001.png, Pino Periodontics[2].pdf

Hello Mildred, this email is to notify your neighborhood associated of a planned dental project at 7413 Holly Ave. NE. We are planning on submitting to DRB this Friday, January 29. I am attaching the information package that describes the project. Please contact me if you have any questions or concerns.
Joe Slagle, Architect.



slaglearchitect.com



Bernalillo County Parcels



Buffer: 170 Ft.
ROW Holly Ave NE: 70 Ft.

WGS_1984_Web_Mercator_Auxiliary_Sphere
2/11/2021 © City of Albuquerque

1: 5,448

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-cdata/abq-cdata-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

PULLANO PETER G TRUSTEE PULLANO
RVLT & PULLANO PETER G TRUSTEE
ETAL

PO BOX 14432

ALBUQUERQUE NM 87191-4432

PULLANO PETER G TRUSTEE PULLANO
RVLT & PULLANO PETER G TRUSTEE
ETAL

PO BOX 14432

ALBUQUERQUE NM 87191-4432

HARDIN JAMES W TRUSTEE HARDIN
RVT

11501 PRINCESS JEANNE AVE NE

ALBUQUERQUE NM 87112-4425

PL & B LLC

7424 HOLLY AVE NE

ALBUQUERQUE NM 87113-2554

PASHTOON KHALID A & NAFEESA

9423 BLACK FARM LN NW

ALBUQUERQUE NM 87114-5960

KERSCHEN PROPERTIES LLC

7400 HOLLY AVE NE

ALBUQUERQUE NM 87113-2554

NEW COVENANT CHURCH OF

ALBUQUERQUE

7201 PASEO DEL NORTE NE

ALBUQUERQUE NM 87113-1750

PULLANO PETER G TRUSTEE PULLANO
RVLT & PULLANO PETER G TRUSTEE
ETAL

PO BOX 14432

ALBUQUERQUE NM 87191-4432

PASHTOON KHALID A & NAFEESA

9423 BLACK FARM LN NW

ALBUQUERQUE NM 87114-5960

GURULE JOE H & THERESA M

3504 AMHERST PL NE

ALBUQUERQUE NM 87107

PL & B LLC

7315 BLUE MOON LN NE

ALBUQUERQUE NM 87113



Certificate Of Mailing

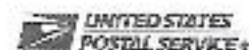
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From: Slagle Architect

To: Hardin James W Trustee
11501 Princess Jeanne Ave NE
Albq. NM 87112-4423

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From: Slagle Architect

To: New Covenant Church
7201 Paseo del Norte NE
Albq. 87113-1750

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From: Slagle Architect

To: Guardian Storage LLC
Paul Hedger
9501 Holly Ave NE
Albq. 87113-1991

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From: Slagle Architect

To: Carule Joe & Theresa
3504 Amburst Pl NE
Albq. 87107

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To pay for this stamp or
other postage fees





Certificate of Mailing

To pay fee, affix stamps or meter postage here.

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From: Slagle Architect

To: PL & B LLC

7315 Blue Pigeon NE

Albany 87113



PS Form 3817, April 2007 PSN 7530-02-000-9065



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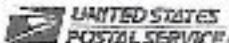
From:

Slagle Architect

To: Pashtoon Khalid & Natasha
9423 Black Farm NW
Albany 87114 5960



PS Form 3817, April 2007 PSN 7530-02-000-9065



Certificate Of Mailing

This Certificate of Mailing provides evidence that this mail has been presented to the USPS for mailing. This form may be used for domestic mail only.

From:

Slagle Architect

To: PL & B LLC
7424 Holly NE
Albany 87113-2554



PS Form 3817, April 2007 PSN 7530-02-000-9065



Certificate Of Mailing

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From:

Slagle Architect

To: Pullano Peter G Trustee
POB 14432
Albany NM 87191-4432



PS Form 3817, April 2007 PSN 7530-02-000-9065



COTTONWOOD
10701 CORRALES RD NW STE 19A
ALBUQUERQUE, NM 87114-9996
(800)275-8777

02/11/2021 00:43 PM

Product	Qty	Unit Price	Price
First-Class Mail® Letter	1		\$0.55
Albuquerque, NM 87191			
Weight: 0 lb 0.30 oz			
Estimated Delivery Date			
Tue 02/16/2021			
Cert of Mailing			
\$1.55			
Total			\$2.10
First-Class Mail® Letter	1		\$0.55
Albuquerque, NM 87112			
Weight: 0 lb 0.30 oz			
Estimated Delivery Date			
Tue 02/16/2021			
Cert of Mailing			
\$1.55			
Total			\$2.10
First-Class Mail® Letter	1		\$0.55
Albuquerque, NM 87113			
Weight: 0 lb 0.30 oz			
Estimated Delivery Date			
Tue 02/16/2021			
Cert of Mailing			
\$1.55			
Total			\$2.10
First-Class Mail® Letter	1		\$0.55
Albuquerque, NM 87107			
Weight: 0 lb 0.30 oz			
Estimated Delivery Date			
Tue 02/16/2021			
Cert of Mailing			
\$1.55			
Total			\$2.10
First-Class Mail® Letter	1		\$0.55
Albuquerque, NM 87113			
Weight: 0 lb 0.30 oz			
Estimated Delivery Date			
Tue 02/16/2021			
Cert of Mailing			
\$1.55			
Total			\$2.10
First-Class Mail® Letter	1		\$0.55
Albuquerque, NM 87114			
Weight: 0 lb 0.30 oz			
Estimated Delivery Date			
Tue 02/16/2021			
Cert of Mailing			
\$1.55			
Total			\$2.10

First-Class Mail® 1 \$0.55
Letter
Albuquerque, NM 87113
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Tue 02/16/2021
Cert of Mailing \$1.55
Total \$2.10

First-Class Mail® 1 \$0.55
Letter
Albuquerque, NM 87113
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Tue 02/16/2021
Cert of Mailing \$1.55
Total \$2.10

Grand Total: \$18.90

Credit Card Refitted \$18.90
Card Name: VISA
Account #: XXXXXXXXXX02215
Approval #: 011775
Transaction #: 116
AID: A000000037010 Chip
AL: VISA CREDIT
PIN: Not Required

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or scan this code with your mobile device.



or call 1-800-410-7420.

UFN: 340132-0127
Receipt #: 840-58700334-3-5860971-2
Clark: 02

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____



Sola Salon Studios

Aqua Organic Hair Studio

Twisters Burgers and Burritos
Takeout • Delivery

Wyoming Blvd NE

Holly Ave NE

Holly Ave NE

Albuquerque Advanced Dental Care

Smith's Fuel Center

MVD Express

Thai Spice Takeout

Kolache Factory
Takeout • Delivery

Visionworks
Paseo Village

paseo Village Shopping mall

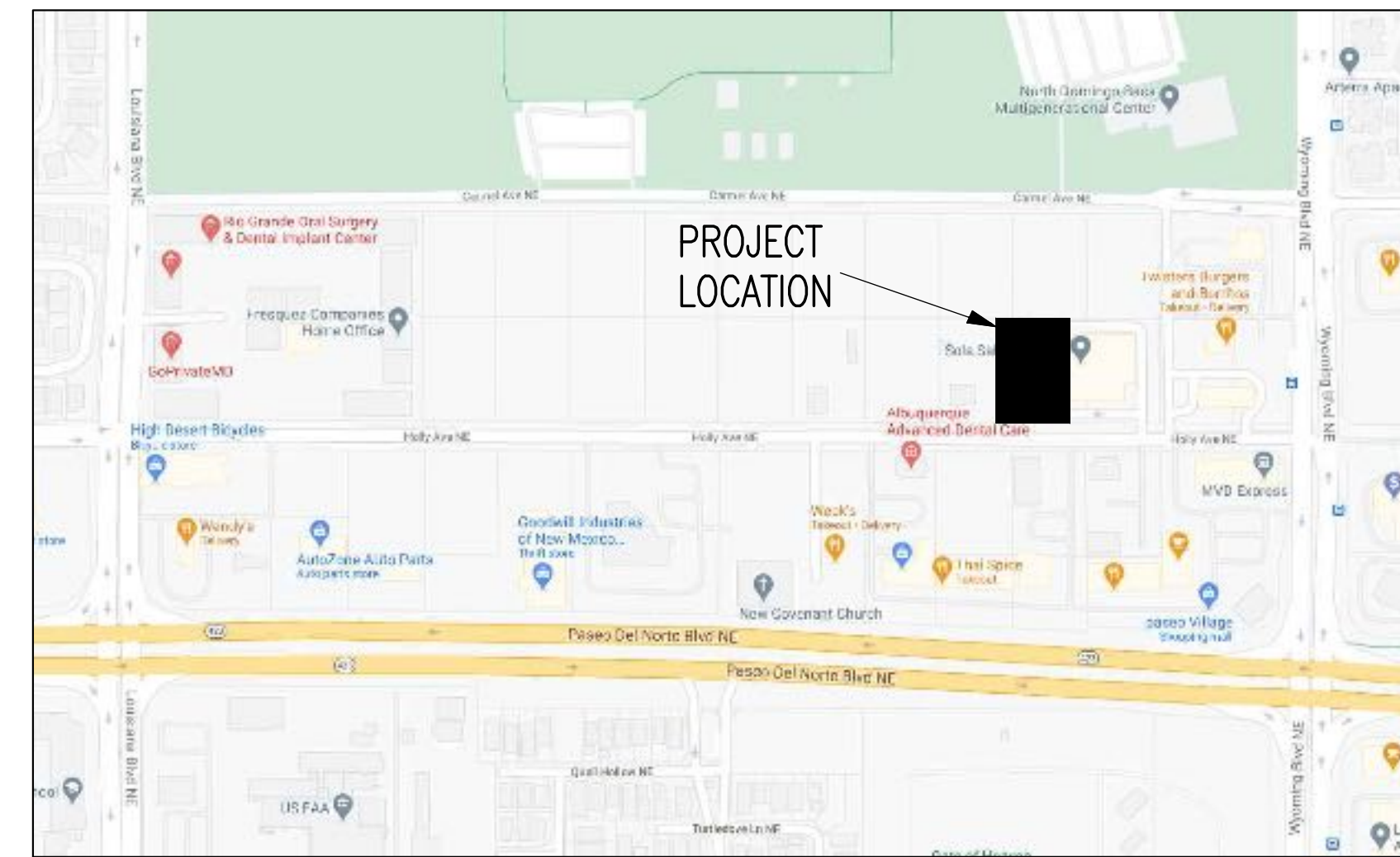
Paseo Del Norte Blvd NE

Paseo Del Norte Blvd NE

Coinstar

Wyoming Blvd

Paseo Del Norte Blvd NE



vicinity map
A001 no scale

PROJECT NUMBER: _____

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL: _____

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary

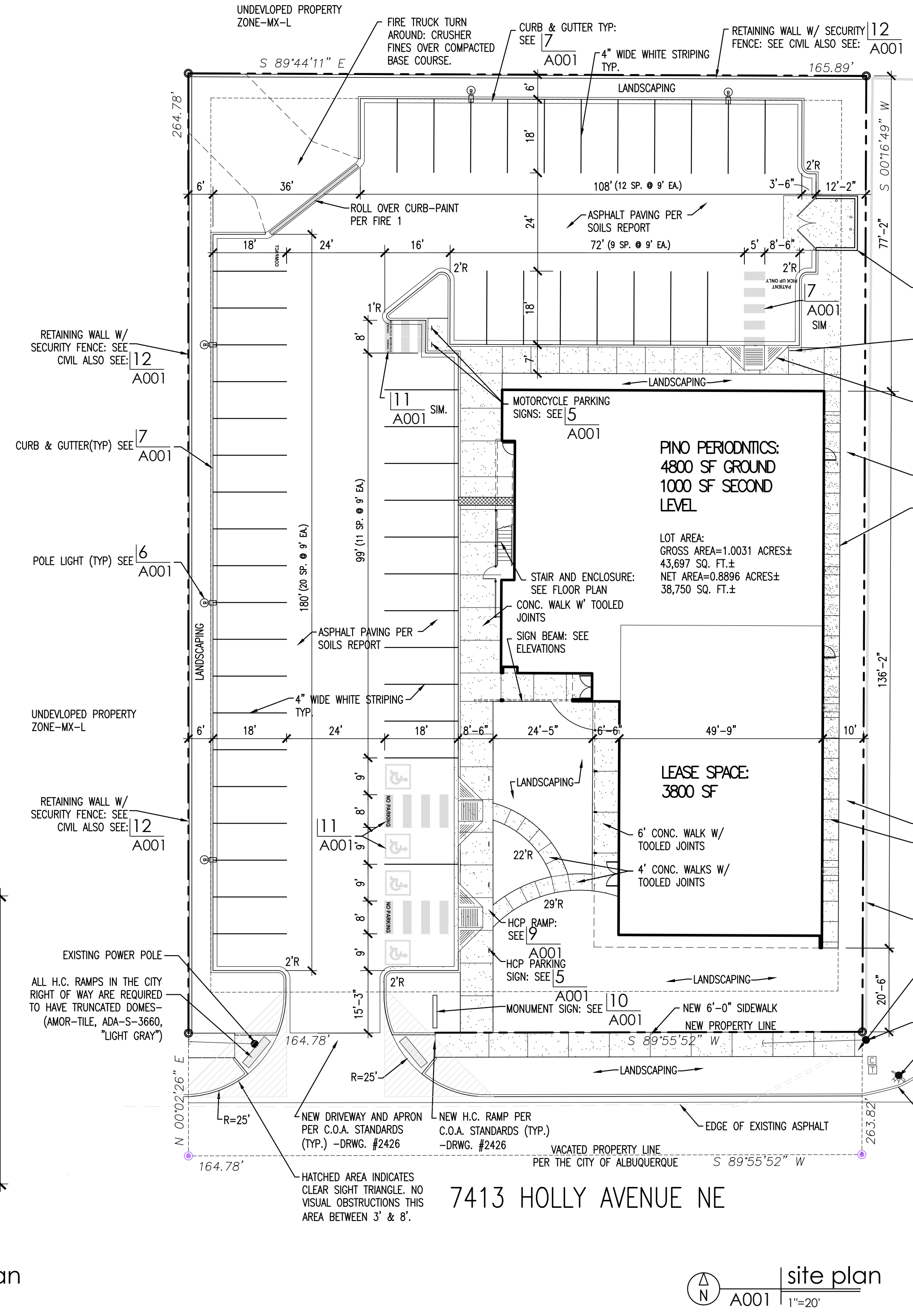
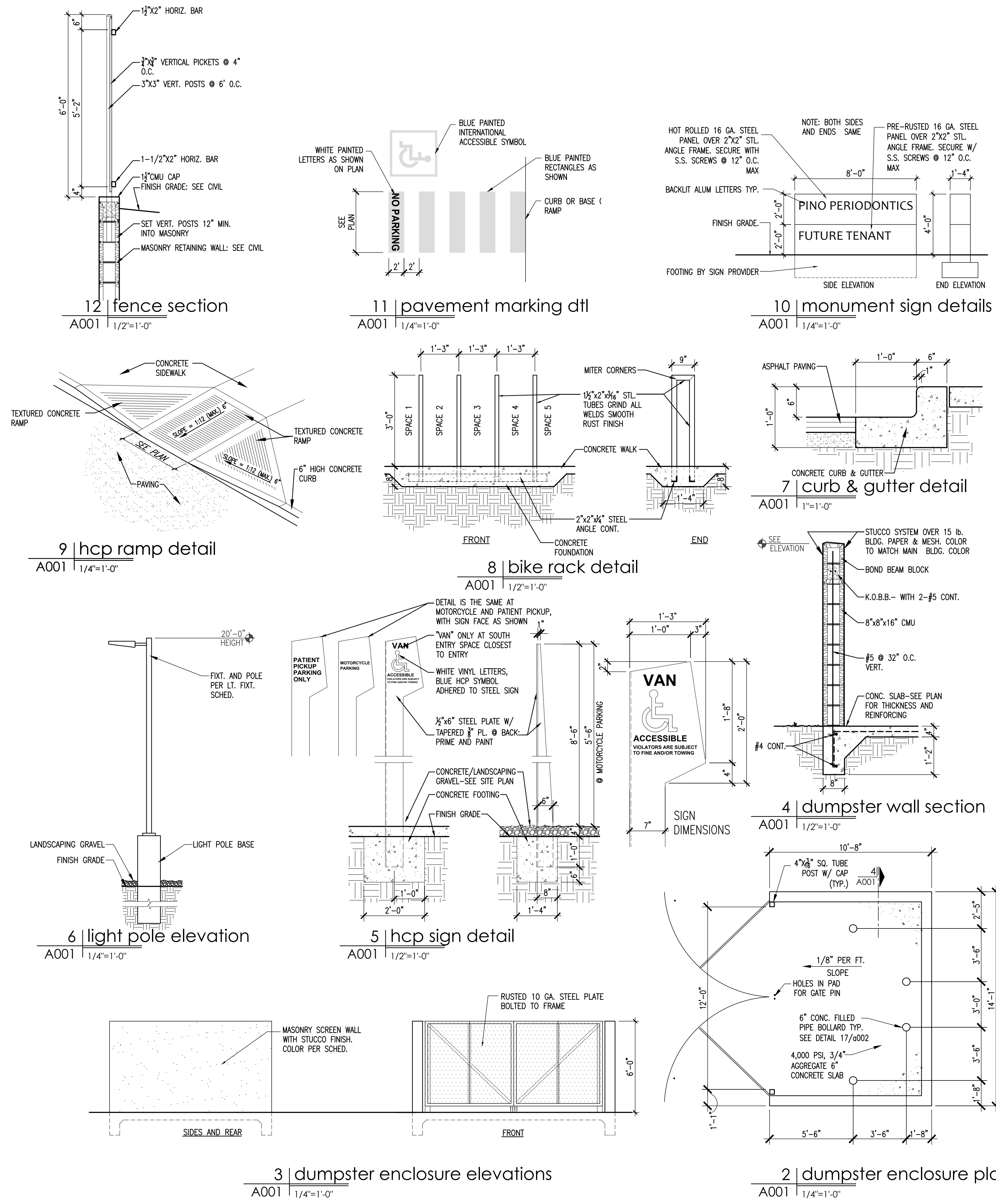
- DUMPSTER ENCLOSURE: SEE 12 A001
- PATIENT PARKING SIGN: SEE 5 A001
- HCP RAMP: SEE 7 A001

A NEW DENTAL OFFICE FOR:
PINO PERIODONTICS
CURTIS PINO, DDS, MSD
7413 HOLLY AVENUE, NE
ALBUQUERQUE, NM



SITE PLAN
SITE DETAILS
revisions

date:
2-12-21
sheet: 1



site plan
A001 1"=20'



1413 HOLLY AVENUE NE

REFERENCE NOTES

1. ALL PLANTINGS SHALL BE UNDER WARRANTY BY CONTRACTOR FOR 1 YEAR.	101	101%
2. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND-DO REQUIREMENTS.	102	102%
3. PLANT MATERIALS AND SIZES WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THUS, THE SIGN, WALK, AND TURNING BY TURN 3 AND 5 FEET TALL (AS MEASURED FROM THE GUTTER LINE) ARE NOT ACCEPTABLE IN CLEAR SIGHT AREAS.	103	103%
4. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL AND LANDSCAPING REGULATIONS (LR 28-1-6) INCLUDING PROVISION OF A MINIMUM OF 75% LVR GROUND COVERAGE, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS.	104	104%
5. AS REQUIRED BY ISO SECTION 5.6 (DESIGN) ORGANIC MULCH, SUCH AS WOOD CHIPS OR PINE NEEDLES, IS REQUIRED AS GROUND COVER FOR THE PORTION OF ANY LANDSCAPED AREA SURROUNDING THE VEGETATION ROOT BALL, AS WELL AS BENEATH THE ENTIRE TREE CANOPY OR DRIFLUS, IN EACH REQUIRED LANDSCAPE AREA.	105	105%

PLANT SCHEDULE

VEGETATION TYPE	QTY	NOTES
1. LARGESTRONG TREES / SHADE TREES	1	
2. MEDIUM TREES / SHADE TREES	2	
3. SMALL TREES / SHADE TREES	3	
4. MEDIUM TREES / SHADE TREES	4	
5. MEDIUM TREES / SHADE TREES	5	
6. MEDIUM TREES / SHADE TREES	6	
7. MEDIUM TREES / SHADE TREES	7	
8. MEDIUM TREES / SHADE TREES	8	
9. MEDIUM TREES / SHADE TREES	9	
10. MEDIUM TREES / SHADE TREES	10	
11. MEDIUM TREES / SHADE TREES	11	
12. MEDIUM TREES / SHADE TREES	12	
13. MEDIUM TREES / SHADE TREES	13	
14. MEDIUM TREES / SHADE TREES	14	
15. MEDIUM TREES / SHADE TREES	15	
16. MEDIUM TREES / SHADE TREES	16	
17. MEDIUM TREES / SHADE TREES	17	
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27. MEDIUM TREES / SHADE TREES	27	
28. MEDIUM TREES / SHADE TREES	28	
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46. MEDIUM TREES / SHADE TREES	46	
47. MEDIUM TREES / SHADE TREES	47	
48. MEDIUM TREES / SHADE TREES	48	
49. MEDIUM TREES / SHADE TREES	49	
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99. MEDIUM TREES / SHADE TREES	99	
100. MEDIUM TREES / SHADE TREES	100	

GENERAL NOTES

1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
2. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND-DO REQUIREMENTS.
3. PLANT MATERIALS AND SIZES WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THUS, THE SIGN, WALK, AND TURNING BY TURN 3 AND 5 FEET TALL (AS MEASURED FROM THE GUTTER LINE) ARE NOT ACCEPTABLE IN CLEAR SIGHT AREAS.
4. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL AND LANDSCAPING REGULATIONS (LR 28-1-6) INCLUDING PROVISION OF A MINIMUM OF 75% LVR GROUND COVERAGE, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS.
5. AS REQUIRED BY ISO SECTION 5.6 (DESIGN) ORGANIC MULCH, SUCH AS WOOD CHIPS OR PINE NEEDLES, IS REQUIRED AS GROUND COVER FOR THE PORTION OF ANY LANDSCAPED AREA SURROUNDING THE VEGETATION ROOT BALL, AS WELL AS BENEATH THE ENTIRE TREE CANOPY OR DRIFLUS, IN EACH REQUIRED LANDSCAPE AREA.

PLANTING NOTES

1. ALL PLANTINGS WILL BE UNDER WARRANTY BY CONTRACTOR FOR 1 YEAR.
2. THE LANDSCAPE DESIGNER SHALL COMPLY WITH THE CITY OF ALBUQUERQUE, WHITE WATER CONSERVATION, LANDSCAPE, ISO, AND WATER WISE ORDINANCES.
3. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.
4. THE R.O.W. (WATER DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE L.O.R. (LANDSCAPE) FOR STREET TREES UNLESS DICTATED BY UTILITY EXISTENCES.
5. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE SANDS MULCH AT 3" DEPTH OVER FILTER FABRIC.
6. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.

SITE DATA

GROSS LOT AREA 41,887 SF
NET LOT AREA (NET) 38,750 SF

LANDSCAPE AREA (LAV)

REQUIRED 5812 SF (14% OF NET)

PROPOSED 5880 SF (15.4% OF NET)

VEGETATION COVERAGE (VCS)

REQUIRED 4388 SF (11% OF LAV)

PROPOSED 4774 SF (10% OF LAV)

GROUND-LEVEL PLANTS COVERAGE

REQUIRED 1088 SF (23% OF VCS)

PROPOSED 1380 SF (126% OF VCS)

STREET TREES (1 PER 25 SF)

REQUIRED 2

PROPOSED 4

PARKING LOT TREES (1 PER 15 PARKING SPACES)

REQUIRED 6

PROPOSED 6

TOTAL

REQUIRED 10 TREES

PROPOSED 10 TREES



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



Date: 01.21.2021

Reviewed by:

Reviewed by:

Reviewed by:

Reviewed by:

Reviewed by:

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HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 4									
DESIGN STORM: (IN)									
			1hr	6hr	24hr	4day	10day		
			2.23	2.90	3.65	4.70	5.95		
EXISTING CONDITIONS									
LAND TRMT	AREA (ACRE)	AREA %	P6	Q (CF5/AC)	Q (CF5)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.80	2.20	0.00	0	0	0	0
B	0.115	60%	1.08	2.32	2.08	2,195	2,195	2,195	2,195
C	0.000	0%	1.46	3.13	0.00	0	0	0	0
D	0.113	20%	2.64	5.25	0.31	1,658	2,123	2,188	3,513
TOTALS	0.886	100%			2.39	4,453	4,453	5,584	6,369
PROPOSED CONDITIONS									
LAND TRMT	AREA (ACRE)	AREA %	P6	Q (CF5/AC)	Q (CF5)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.80	2.20	0.00	0	0	0	0
B	0.213	24%	1.08	2.32	0.62	835	835	835	835
C	0.000	0%	1.46	3.13	0.00	0	0	0	0
D	0.613	76%	2.64	5.25	3.53	6,443	8,282	10,841	13,901
TOTALS	0.886	100%			4.16	7,285	9,117	11,682	14,736

FIRST FLUSH VOLUME REQUIRED: 29,326 SF x 0.34"/12 = 831 CF			
FIRST FLUSH POND VOLUME:			
CONTOUR	AREA	VOLUME	
69	325 SF		
70	1022 SF	703 CF	
70.50	1411 SF	608 CF	
TOTAL		1311 CF	

DESIGN NARRATIVE

SUBJECT PROPERTY: PINO DENTAL OFFICE - 7413 HOLLY NE, ALBUQUERQUE, NM
AREA OF SITE: 0.886 ACRE
REFERENCE: CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM)
PROJECT DESCRIPTION: THE DEVELOPMENT IS THE CONSTRUCTION OF A NEW 8850 SF PARTIAL TWO STORY STRUCTURE WITH APPROXIMATELY 20,450 SF OF CONCRETE AND ASPHALT PAVING FOR ACCESS SIDEWALKS AND VEHICLE PARKING.
PRE-DEVELOPED CONDITIONS: THE EXISTING SITE HAS A RESIDENCE AND 2 SMALL STRUCTURES ALONG WITH SOME CONCRETE PAVING. MUCH OF THE SITE IS UNIMPROVED WITH NATURAL SLOPES OF 2% TO 5% FROM SE TO NW ACROSS THE PROPERTY. MOST OF THE SITE IS LOWER THAN HOLLY AVENUE AND THEREFORE PRE-DEVELOPED RUNOFF FLOWS TO THE ADJACENT PROPERTIES ON THE NORTH AND WEST BOUNDARIES IN A SHEET FLOW.
DEVELOPED RUNOFF: THE NEW DEVELOPMENT WILL REMOVE ALL EXISTING STRUCTURES AND RE-GRADE THE ENTIRE SITE TO PREVENT ONSITE DEVELOPED STORM RUNOFF FROM AFFECTING ADJACENT PROPERTIES. A RETAINING WALL WILL BE CONSTRUCTED AT THE NORTH AND WEST BORDERS OF THE PROPERTY IN ORDER TO RAISE THE NORTH END OF THE SITE. AN ONSITE PONDING AREA WILL BE CREATED TO CAPTURE THE FIRST FLUSH RUNOFF VOLUME ON THE SOUTH SIDE OF THE NEW STRUCTURE ON THE SITE. EXCESS RUNOFF VOLUME WILL DISCHARGE TO HOLLY AVENUE WHERE IT WILL FLOW TO THE WEST AND COLLECT IN AN AMAFCA POND ON THE NORTH SIDE OF HOLLY DESIGNED TO STORE RUNOFF FROM PROPERTIES ON THIS BLOCK.

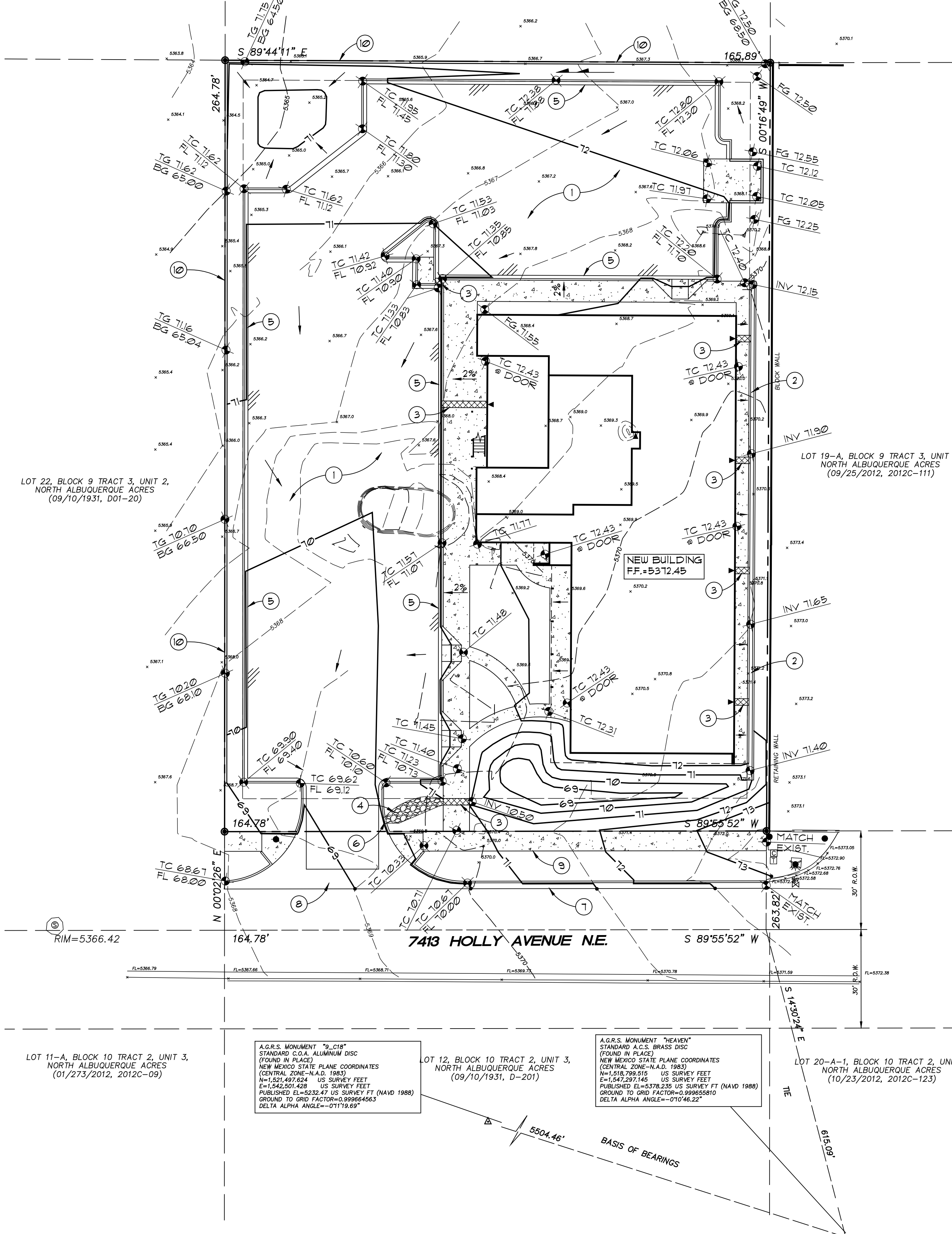
DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1930, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LOT 11, BLOCK 9 TRACT 3, UNIT 2,
NORTH ALBUQUERQUE ACRES
(09/10/1931, D01-20)

LOT 12, BLOCK 9 TRACT 3, UNIT 2,
NORTH ALBUQUERQUE ACRES
(09/10/1931, D04-20)

LOT 13, BLOCK 9 TRACT 3, UNIT 2,
NORTH ALBUQUERQUE ACRES
(09/10/1931, D01-20)



LEGAL DESCRIPTION

LOT NUMBERED TWENTY-ONE (21) IN BLOCK NUMBERED NINE (9) IN TRACT NUMBERED TWO (2), UNIT NUMBERED THREE (3), NORTH ALBUQUERQUE ACRES, A SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICT 3 AND 4, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN PLAT BOOK D1, PAGE 20.

BENCHMARK

AGRS. MONUMENT "HEAVEN"
STANDARD A.C.S. BRASS DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-NAD, 1983)
N=1518,199.515 US SURVEY FEET
E=1547,297.145 US SURVEY FEET
PUBLISHED EL=5378.235 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999655810
DELTA ALPHA ANGLE=-0°10'46.22"

GENERAL NOTES

- A ALL SIDEWALKS TO HAVE MAXIMUM 2% CROSS SLOPE

KEYED NOTES

- 1 ASPHALT PAVING
- 2 CONCRETE TRENCH
- 3 2'-0" WIDE SIDEWALK CULVERT
- 4 RIPRAP LINED OVERFLOW RUNDOWN
- 5 CONCRETE CURB AND GUTTER
- 6 2'-0" WIDE CURB BREAK FOR DRAINAGE
- 7 NEW CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DWG. #2415
- 8 PRIVATE DRIVE ENTRANCE AND VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARD DWG. #2426 AND #2420
- 9 CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DWG. #2430
- 10 RETAINING WALL

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- 5370 --- EXISTING CONTOUR
- 70 --- EXISTING CONTOUR
- x 5368.4 EXISTING SPOT ELEVATION
- 1050.4 NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- SWALE
- FF FINISH FLOOR
- TC TOP OF CONCRETE OR CURB
- TG TOP GRADE
- BG BOTTOM GRADE
- FL FLOW LINE
- ▲ ROOF DRAIN LOCATION
- [Pattern] NEW CONCRETE PAVING/SIDEWALK
- [Pattern] NEW AC PAVING

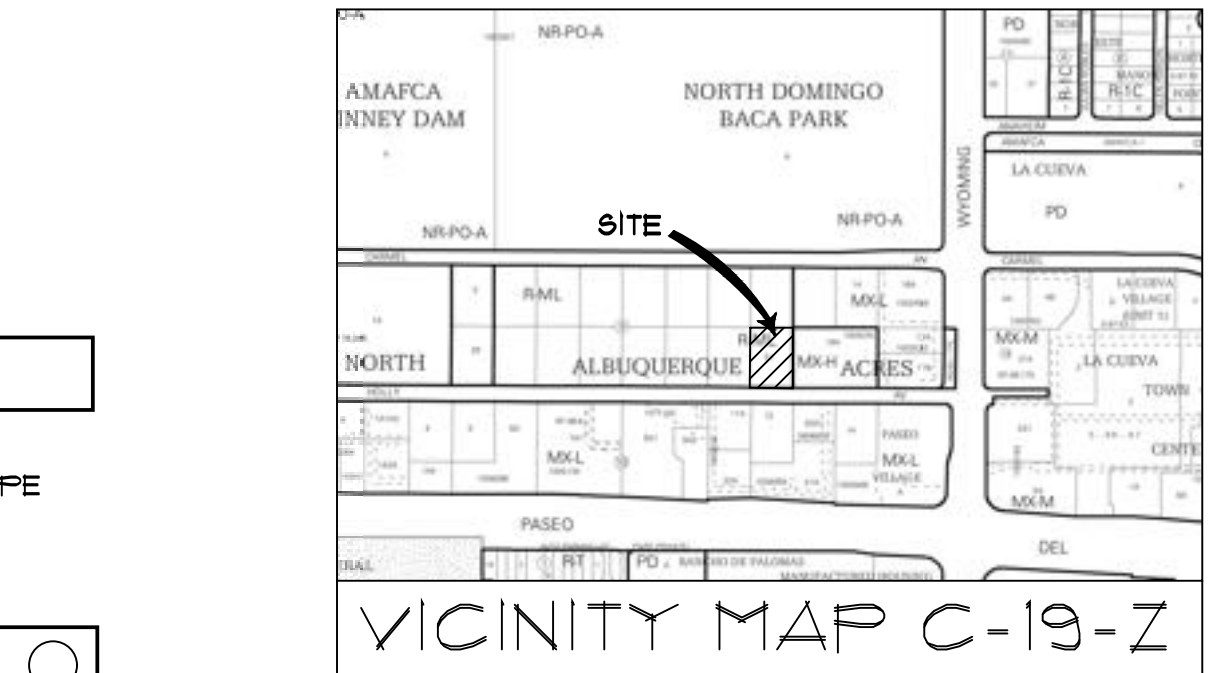
joe slagle architect

413 2nd st sw
albuquerque nm 87102
505 246 0870

Walla

Structural Engineering
Civil Engineering

6501 Americas Parkway NE • Suite 301
Albuquerque • New Mexico • 87110
881-3008 • Facsimile 881-4025



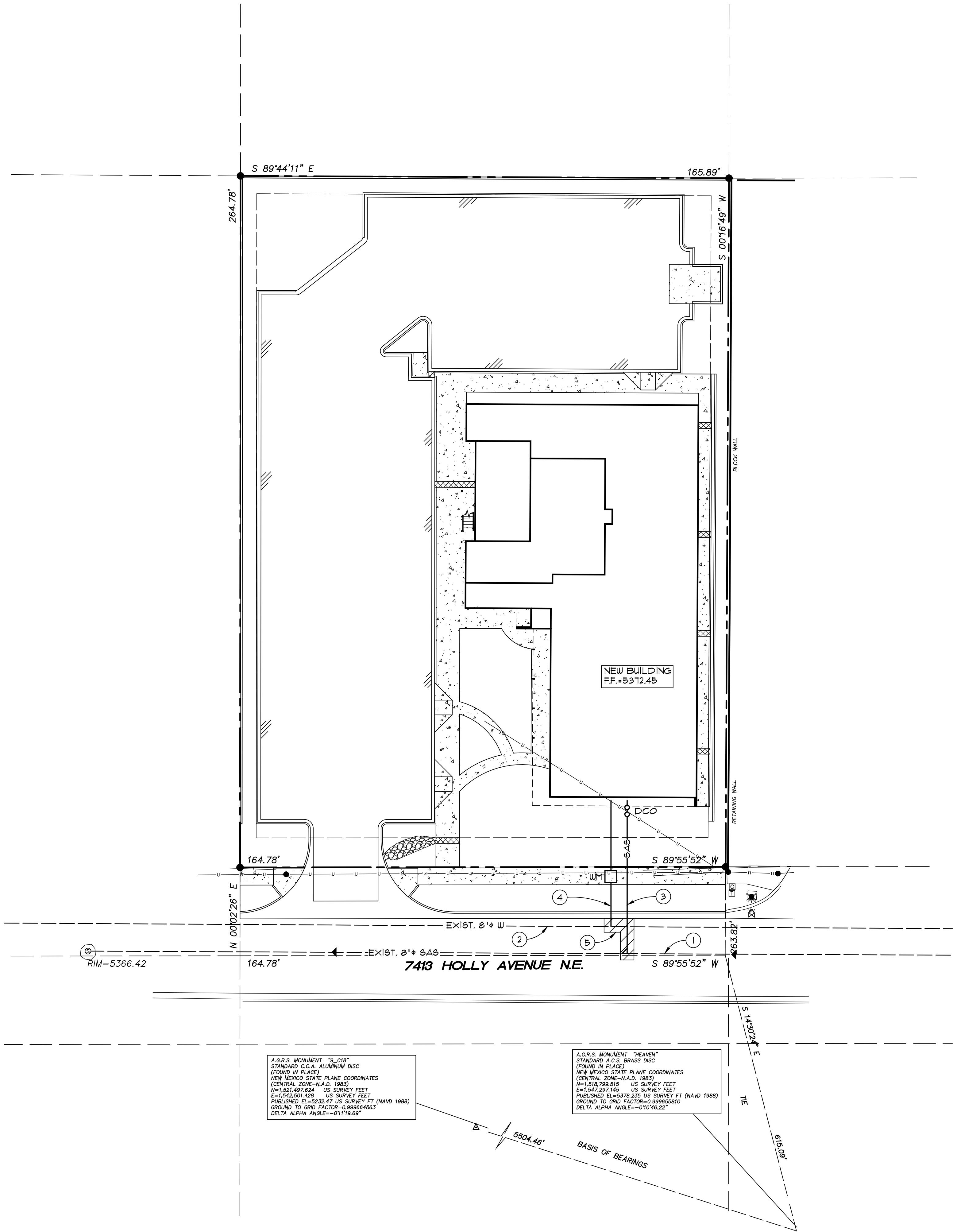
EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

A NEW DENTAL OFFICE FOR:
CURTIS PINO, DDS, MSD
7413 HOLLY AVENUE, NE
ALBUQUERQUE, NM



CONCEPTUAL
GRADING and
DRAINAGE PLAN
revisions



KEYED NOTES

- 1 EXISTING 8" Ø SANITARY SEWER
- 2 EXISTING 8" Ø WATER LINE
- 3 NEW 4" Ø SANITARY SEWER SERVICE CONNECTION
- 4 NEW 1½" Ø WATER SERVICE AND METER BOX PER ABCUWA STANDARD DRAWING #2363
- 5 SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT PAVING AT UTILITY CUT PER CITY OF ALBUQUERQUE STANDARD DWG. #2465

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- EXISTING SANITARY SEWER LINE
- W--- EXISTING WATER LINE
- W--- NEW WATER LINE
- SAS--- NEW SEWER LINE
- WM WATER METER
- Ⓢ EXISTING SAS MANHOLE
- INV INVERT ELEVATION
- DCO DOUBLE CLEANOUT
- NEW CONCRETE PAVING/SIDEWALK
- NEW AC PAVING

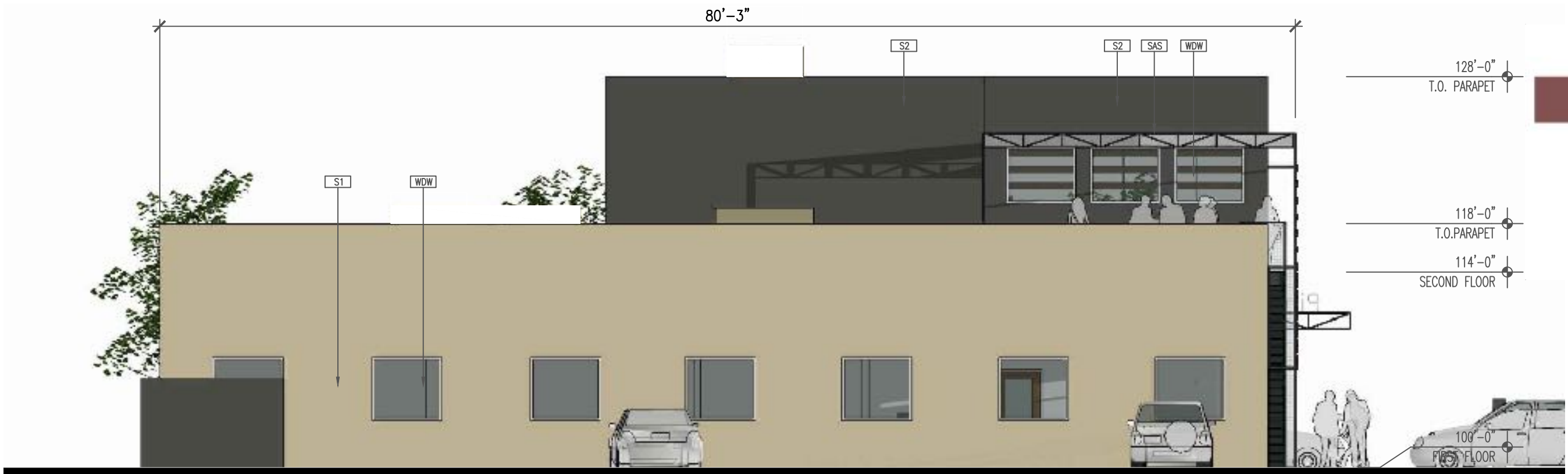
A NEW DENTAL OFFICE FOR:
CURTIS PINO, DDS, MSD
7413 HOLLY AVENUE, NE
ALBUQUERQUE, NM



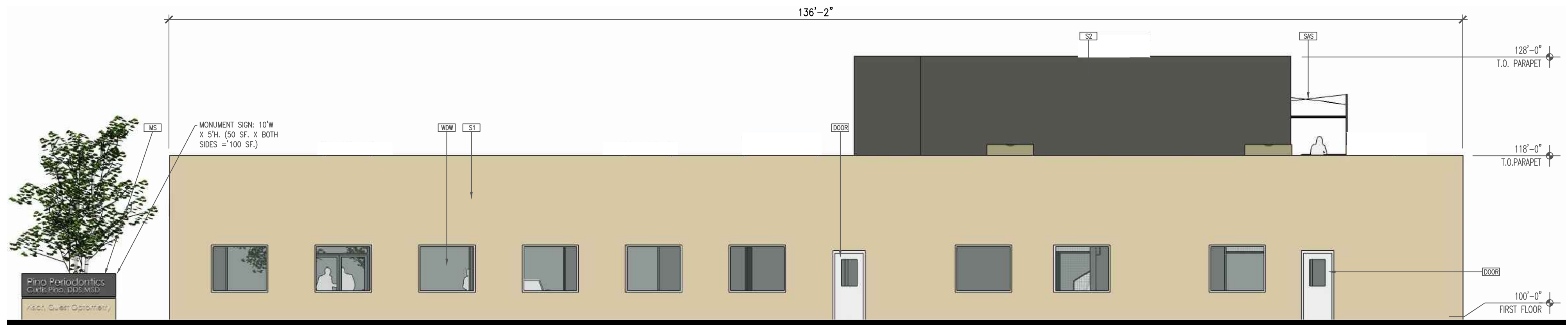
CONCEPTUAL SITE
UTILITY PLAN

revisions

date:
1-29-21
sheet: 4



1 | north elevation
A201 1/8"=1'-0"



2 | east elevation
A201 1/8"=1'-0"



3 | south elevation
A201 1/8"=1'-0"



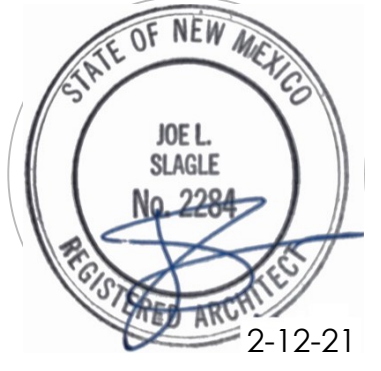
4 | west elevation
A201 1/8"=1'-0"

joe slagle architect

413 2nd st sw
albq nm 87102
505 246 0870

- KEYED NOTES:
- S1 NEW SMOOTH TEXTURE SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-MEDIUM/DARK GRAY
 - S2 NEW SMOOTH TEXTURE SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-TAN
 - S3 NEW SMOOTH TEXTURE SYNTHETIC STUCCO SYSTEM OVER LATH AND VAPOR BARRIER. COLOR-WHITE
 - MP1 CORRUGATED METAL PANELS: MBCI PBC PANEL 26 GA. GALVALUME FINISH.
 - MT1 PREFINISHED MTL. TRIM TO MATCH MTL PANEL MP1
 - WS WOOD SLATS: KEBONY WOOD S4SVEI
 - WDW WINDOW PER SCHEDULE-CLEAR GLASS, SILVER FRAMES
 - DOOR DOOR AND FRAME PER SCHEDULE
 - MS MESH SCREEN
 - SAS STEEL AWNING STRUCTURE
 - SC STEEL COLUMN: PAINT GRAY COLOR
 - SIGN BACK LIT REVERSE CHANNEL METAL SIGN LETTERS-WHITE
 - ADD ALUMINUM ADDRESS NUMBERS-27" TALL
 - SST STEEL SIGNAGE TRUSS WITH ALUMINUM LETTERS
 - MS MONUMENT SIGN

A NEW DENTAL OFFICE FOR:
PINO PERIODONTICS
CURTIS PINO, DDS, MSD
7413 HOLLY AVENUE, NE
ALBUQUERQUE, NM



ELEVATIONS

revisions

date:
2-12-21
sheet: 5



SOUTH AND EAST SIDES



LOOKING TOWARD ENTRY



VIEW TOWARD COURTYARD



WEST ELEVATION

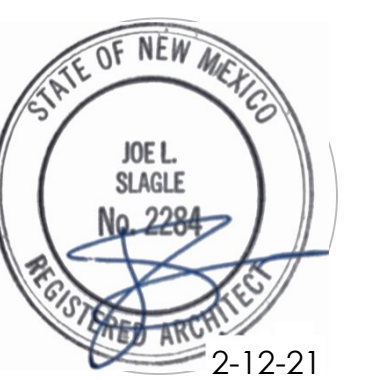
NEW DENTAL OFFICE FOR:
CORTIS PINO, DDS, MSD
7413 HOLLY AVENUE, NE
ALBUQUERQUE, NM



VIEW FROM HOLLY



AERIAL OF ROOF DECK



IMAGES

visions

date:
1-29-21
sheet: 6

FIGURE 12 INFRASTRUCTURE LIST

Project Number _____

Date Submitted February 12, 2021
 Date Site Plan Approved _____
 Date Preliminary Plat Approved _____
 Date Preliminary Plat Expires _____
 DRB Project No. _____
 DRB Application No.: _____

EXHIBIT "A" TO SUBDIVISION IMPROVEMENTS AGREEMENT DEVELOPMENT REVIEW BOARD (DRB) REQUIRED INFRASTRUCTURE IMPROVEMENTS LIST

Pino Periodontics

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 21, Block 9, Tract 2, Unit 3 of North Albuquerque Acres, City of Albuquerque, Bernalillo County, New Mexico, December, 2020

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of **PUBLIC:PRIVATE** Infrastructure required to be constructed financially guaranteed for the above development. This listing is not necessarily a complete listing. During the S/A process and/or in the review of the construction drawings if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing those items may be deleted as well on the related portions of the financial guarantee. All such revisions require approval from the DRC Chair, the User Department and agent/owner. If such approvals are obtained, those revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	P.E.
		Std C&G	Standard PCC Curb & Gutter	Holly Avenue	West P. Line	East P. Line		
		6 ft	Sidewalk with landscape buffer	Holly Avenue	West P. Line	East P. Line		
		1 ea	24' wide Drive Entrance w/VLY GTR	Holly Avenue	CL 36' from W. P Line			

FIGURE 12
INFRASTRUCTURE LIST

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Const Engineer
		1-1/2" dia	Commercial water service - 4 Ea	Holly Avenue	125' from W. P Line			
		1	Engineer's Certification of Private G&D Will be required prior to Cert of Occupancy	Subject Site		Lot		

FIGURE 12
INFRASTRUCTURE LIST

NOTES
Street lights per City requirements

1	Engineer's Certification of Private Grading and Drainage will be required prior to CD
2	
3	

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS				
NAME (print)	DRB CHAIR – date				PARKS & GENERAL RECREATION – date
FIRM		TRANSPORTATION DEVELOPMENT – date			AMAFCA – date
SIGNATURE – date		UTILITY DEVELOPMENT – date			-date
		CITY ENGINEER – date			-date
DESIGN REVIEW COMMITTEE REVISIONS					

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER