



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. 2020-004595  
Application No. SD-2021-0011

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 7/29/2021 HEARING DATE OF DEFERRAL: 6/30/2021

SUBMITTAL DESCRIPTION: See Attached Letter

CONTACT NAME: Juanita Garcia

TELEPHONE: (505) 362-8903 EMAIL: jagejagpandz.com



July 23, 2021

Ms. Jolene Wolfley, Chair  
Development Review Board  
City of Albuquerque, Planning Department  
600 2<sup>nd</sup> Street NW, Albuquerque NM 87102

Ms. Wolfley and members of the Development Review Board:

JAG Planning & Zoning, agent for 505 Solutions, LLC, is providing the following information as a Supplemental Submittal:

1. Updated Infrastructure List
2. Sensitive Land Survey and attachments
3. Turning Template approved by the Fire Marshall's Office
4. Response from the New Mexico Department of Transportation regarding connections and development next to the pedestrian along the west side of Tramway Blvd.
5. Response from the Solid Waste Department showing their approval of the proposed plat.
6. Response from AMAFCA regarding the proposed 10' wide pedestrian path along the south portion of the property.
7. Traffic Counts from an adjacent property owner and photos of the back portion of the main entry gate.

Thank you for your consideration on this matter. I can be reached at (505) 362-8903 or at [jag@jagpandz.com](mailto:jag@jagpandz.com).

Sincerely,

Juanita Garcia

Principal

JAG Planning and Zoning, LLC

P.O. BOX 7857, ALBUQUERQUE, NM 87194  
(505) 362-8903 & (505) 363-5613  
[JAG@JAGPANDZ.COM](mailto:JAG@JAGPANDZ.COM)

Current DRC  
Project Number: 491680

FIGURE 12

Date Submitted: 6/4/2021

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: \_\_\_\_\_

Date Preliminary Plat Expires: \_\_\_\_\_

DRB Project No.: \_\_\_\_\_

(Rev. 2-16-18)

EXHIBIT "A"

DRB Application No.: \_\_\_\_\_

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST  
ALBUQUERQUE RANCH ESTATES, UNIT II

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOTS 1-A, 2-A & 3-A, OF THE PLAT OF TRACT A-1, ALBUQUERQUE RANCH ESTATES

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		STD.	Curb & Gutter	Melloy Way NE	ROYAL OAK ST.	McKay Way	/	/	/
			Right and Left of CL (Both sides of Road)						
		24' Wide	RESIDENTIAL PAVEMENT	Melloy Way NE	ROYAL OAK ST.	McKay Way	/	/	/
		5' Wide	PCC SIDEWALK	Melloy Way NE RT of Centerline South and West of RD.	ROYAL OAK ST.	McKay Way	/	/	/
		5' Wide	PCC SIDEWALK	ROYAL OAK RT of Centerline East of Road	Walker Way	Melloy Way	/	/	/
		6" WL	PVC Pipe, fittings, gate valves	Melloy Way NE	ROYAL OAK ST.	McKay Way	/	/	/
		PATH	Natural dirt or gravel path along	10' Private Pedestrian Access Easement located on Lot 7			/	/	/
		VALLEY GUTTER	2' WIDE VALLEY GUTTER	Melloy Way NE	SOUTH SIDE OF ROAD	NORTH SIDE OF ROAD	/	/	/
		RUNDOWN	CONC. RUNDOWN TO POND	POND	Melloy way NE	POND	/	/	/
		FIRE HYDRANT	Fire Hydrant and Gate Valve	Melloy Way NE RT of Centerline East of Lot 8	STA. 4+20	STA. 4+20	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	Private P.E.	City Cnst Engineer
		LIGHT POLE	STREET LIGHT	Melloy Way	STA. 2+25 (RT)	STA. 2+25 (RT)	/	/	/
		LIGHT POLE	STREET LIGHT	Melloy Way	STA. 4+70 (RT)	STA. 4+70 (RT)	/	/	/
		POND	DETENTION POND SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED W/ AGGREGATE MULCH OR EQUAL	Tract B	All of Tract B		/	/	/
		8" SAS	72 LF OF 8" SEWER MAIN	Royal Oak	EX. M.H.	NORTH TO NEW M.H.	/	/	/
		8" SAS	262 LF OF 8" SEWER MAIN	MELLOY WAY EAST/WEST DIRECTION	NEW M.H.	NEW M.H.	/	/	/
		8" SAS	42 LF OF 8" SEWER MAIN	McKay Way N.E.	EX. M.H.	EAST TO NEW M.H.	/	/	/
		8" SAS	100 LF OF 8" SEWER MAIN	MELLOY WAY NORTH/SOUTH DIRECTION	NEW M.H. AT INTERSECTION OF McKay Way and Melloy Way	NEW M.H.	/	/	/
		4' DIA.	FOUR (4) SEWER MANHOLES	MELLOY WAY NE			/	/	/
		6" WL	50 LF OF 6" WATER MAIN	Royal Oak	EX. WATERLINE	NORTH TO MELLOY WAY	/	/	/
		6" WL	310 LF OF 6" WATER MAIN	MELLOY WAY EAST/WEST DIRECTION			/	/	/
		6" WL	193 LF OF 6" WATER MAIN	MELLOY WAY NORTH/SOUTH DIRECTION			/	/	/
		6" WL	33 LF OF 6" WATER MAIN	McKay Way N.E.			/	/	/

Title of this	
Certification	
City	Crst
Engineer	
/	
/	
able Items:	
Signature	Date





July 22, 2021

Ms. Jolene Wolfley, Chair  
 Development Review Board  
 City of Albuquerque, Planning Department  
 600 2nd Street NW, Albuquerque NM 87102

Ms. Wolfley and members of the Development Review Board:

JAG Planning & Zoning, agent for 505 Solutions, LLC, respectfully requests your review and approval of this Sensitive Land Analysis for PR-2020-004595/SD-2021-00111, Major Preliminary Subdivision Plat, in accordance with Section 14-16-5-2 (C) of the Integrated Development Ordinance (IDO). As demonstrated below, the subject application outlines only one of the sensitive land features, but is expected to still comply with the Sensitive Land requirements.

**SENSITIVE LANDS ANALYSIS FORM**

Sensitive Lands Table

FEATURE	MAP LOCATION	PHOTOS	DIMENSIONS	OTHER DETAILS
<b>Floodplains and flood hazard areas</b>	X		5-2(C)(1)(b): There are no floodplains or special flood hazard areas on the property. Utilizing the FEMA Flood Map Service Center, the subject property is located in the FEMA Flood Zone Designation "X" = Area of Minimum Flood Hazard.	<b>See Exhibit 1</b>

<p><b>Steep slopes</b></p>		<p>5-2(C)(1)(g): The subject site does contain steep slopes on the eastern portion of the property. The IDO definition of Steep Slope is "Land with 9 percent slope or more." The site contains slopes that range between 11% to 17% as demonstrated by the Grading and Drainage plan that has been submitted to Hydrology.</p>	<p>As proposed on the Grading and Drainage Plan, the property owner intends on directing all the water to Melloy Way and onto the proposed drainage pond. <b>See Exhibit 2</b></p>
<p><b>Wetlands (constant supply of water)</b></p>	<p>X</p>	<p>5-2(C)(1)(h): There are no wetlands on the property. Utilizing the U.S. Fish and Wildlife's National Wetlands Inventory Mapper (<a href="https://www.fws.gov/wetlands/data/mapper.html">https://www.fws.gov/wetlands/data/mapper.html</a>), it was determined that no wetlands exist on this property</p>	<p><b>See Exhibit 3</b></p>
<p><b>Arroyos</b></p>	<p>X</p>	<p>5-2(C)(1)(a): There are no arroyos on the property. Utilizing the AMAFCA Interactive Facilities Map (<a href="http://data.amafca.org/#">http://data.amafca.org/#</a>) the closest AMAFCA Drainage Facility is the North Tramway Channel located immediately south of the subject site.</p>	<p><b>See Exhibit 4</b></p>
<p><b>Unstable soils</b></p>	<p>X</p>	<p>A map of the area using the Natural Resources Conservation Services has been provided. The map unit symbol for the subject site is EtC and TgB. Soils will be considered during the development of the site.</p>	<p><b>See Exhibit 5</b></p>
<p><b>Irrigation facilities (acequias)</b></p>	<p>X</p>	<p>Irrigation Facilities 5-2(C)(1)(c): There are no irrigation facilities on the subject property. Utilizing the Middle Rio Grande Conservancy District (MRGCD) Maps at <a href="http://www.mrgcd.com/mapping-gis/">www.mrgcd.com/mapping-gis/</a>, there are no irrigation facilities located near the</p>	<p><b>See Exhibit 6</b></p>

			subject property and the subject property is outside of the jurisdiction of MRGCD.	
Escarpment			5-2(C)(1)(g): No escarpments exist on the subject site.	
Rock outcroppings			There are not Rock Outcroppings on the subject site, The IDO definition of Rock Cropping is a, "Bedrock or other stratum a minimum of 6 feet high on its steepest side as measured from the adjacent 10 percent slope line and in excess of 500 square feet in surface area."	
Large stands of mature trees	X	X	5-2(C)(1)(d): See Report	Exhibit 7
Archeological sites	X		5-2(C)(1)(f): There are no known archeological sites on the property. The subject property is under 5 acres and not require an archaeological certificate.	>5 acres, archeological certificate

**Conclusion**

The subject property does include elements of "Sensitive Lands" as defined by the IDO. The applicant is addressing the slopes on the site as shown on the Grading and Drainage Plan. In regards to the Large Stands of Trees, the applicant will work with the Parks and Recreation Department to determine the best solution to address this matter.

Thank you for your consideration on this matter. I can be reached at (505) 362-8903 or at jag@jagpandz.com.

Sincerely,

Juanita Garcia  
Principal  
JAG Planning and Zoning, LLC



# National Flood Hazard Layer FIRMette

106°30'14"W 35°9'13"N



## Exhibit 1 Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE)  
Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

**OTHER AREAS**

- NO SCREEN
- Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone I

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**OTHER FEATURES**

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

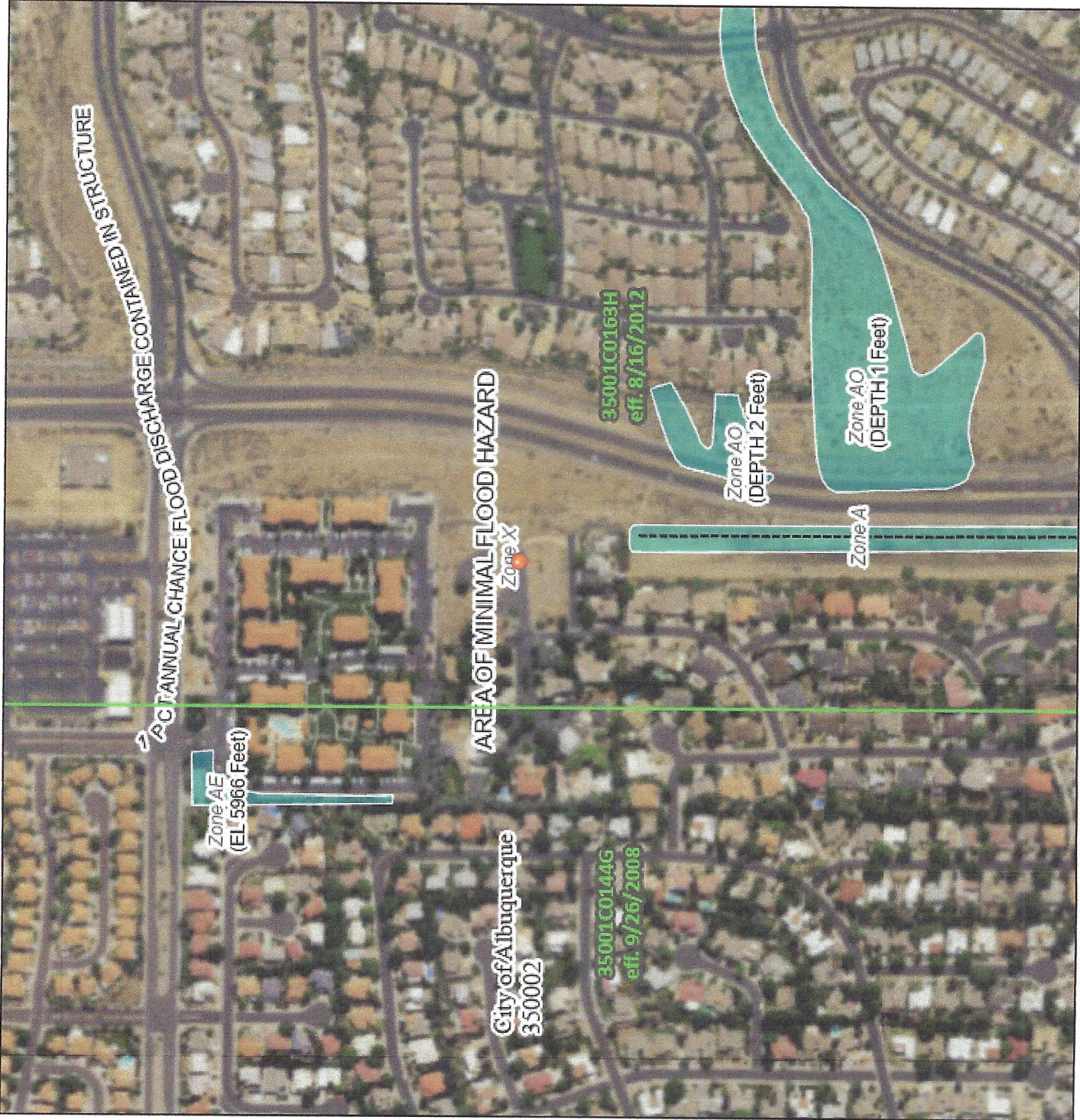
- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **1/22/2021 at 3:43 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



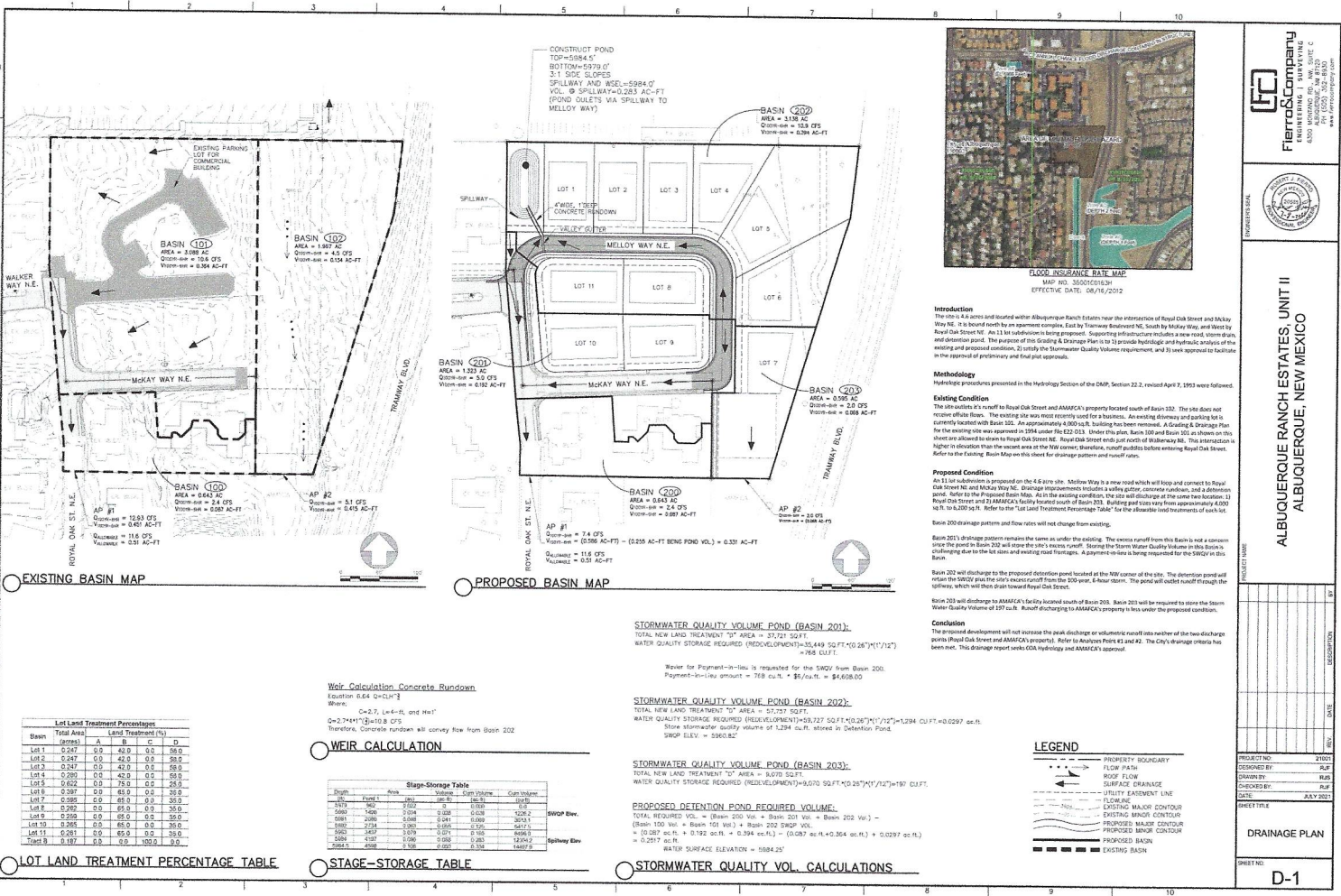
106°29'36"W 35°9'43"N

0 250 500 1,000 1,500 2,000 Feet

1:6,000

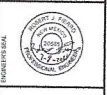
Basemap: NCEM National Map. Orthoimagery: Data refreshed October 2020

# Exhibit 2



**BLOOD INSURANCE RATE MAP**  
MAP NO. 380006163H  
EFFECTIVE DATE: 06/16/2012

**FierrosCompany**  
ENGINEERING & SURVEYING  
6500 ALBUQUERQUE BLVD., SUITE 100  
ALBUQUERQUE, NM 87113  
TEL: (505) 382-3833  
WWW.FIERROSCOMPANY.COM



## ALBUQUERQUE RANCH ESTATES, UNIT II ALBUQUERQUE, NEW MEXICO

**Introduction**  
The site is a 4.6-acre site located within Albuquerque Ranch Estates near the intersection of Royal Oak Street and McKay Way NE. It is bounded north by an apartment complex, East by Trayway Boulevard NE, South by McKay Way, and West by Royal Oak Street NE. An 11-lot subdivision is being proposed. Supporting infrastructure includes a new road, storm drains, and detention pond. The purpose of this Grading & Drainage Plan is to provide hydrologic and hydraulic analysis of the existing and proposed conditions, 1) verify the Stormwater Quality Volume requirement, and 2) seek approval to facilitate the approval of preliminary and final plan approvals.

**Methodology**  
Hydrologic procedures presented in the Hydrology Section of the DMP, Section 22.2, revised April 7, 1993 were followed.

**Existing Condition**  
The site is currently a 4.6-acre site to Royal Oak Street and AMARCA's property located south of Basin 102. The site does not receive effluent flows. The existing site was most recently used for a business. An existing driveway and parking lot is currently located with Basin 102. An approximately 4,000 sq. ft. building has been removed. A Grading & Drainage Plan for the existing site was approved in 1994 under EDCD 203. Under this plan, Basin 100 and Basin 101 on-site where they were allocated to drain to Royal Oak Street NE. Royal Oak Street ends just north of McKay Way NE. This intersection is higher in elevation than the recessed area of the NW corner, therefore runoff would be directed to Basin 100. This intersection is higher in elevation than the recessed area of the NW corner, therefore runoff would be directed to Basin 100. Refer to the Existing Basin Map on this sheet for drainage pattern and runoff rates.

**Proposed Condition**  
An 11 lot subdivision is proposed on the 4.6 acre site. McKay Way is a new road which will loop and connect to Royal Oak Street NE and McKay Way NE. Drainage improvements include a water gutter, concrete curbs, and a detention pond. Refer to the Proposed Basin Map. As in the existing condition, the site will discharge at the same two locations: 1) Royal Oak Street and 2) AMARCA's facility located south of Basin 203. Building and lots were from approximately 4,000 sq. ft. to 1,200 sq. ft. Refer to the 'Lot Land Treatment Percentage Table' for the allowable land treatments of each lot.

Basin 200 average pattern and flow rates will not change from existing.

Basin 201's drainage pattern remains the same as under the existing. The excess runoff from this Basin is not a concern since the pond in Basin 202 will store the 895 cu. ft. runoff. Storing the Storm Water Quality Volume in this Basin is challenging due to the lot size and existing road frontages. A detention on-line is being requested for the SWGV in this Basin.

Basin 202 will discharge to the proposed detention pond located at the NW corner of the site. The detention pond will retain the SWGV plus the site's excess runoff from the 100 year, 8-hour storm. The pond will outlet runoff through the upflow, which will then drain toward Royal Oak Street.

Basin 203 will discharge to AMARCA's facility located south of Basin 203. Basin 203 will be required to store the Storm Water Quality Volume of 197 cu. ft. Runoff discharging to AMARCA's property is less under the proposed condition.

**Conclusion**  
The proposed development will not increase the peak discharge or volumetric runoff into neither of the two discharge points (Royal Oak Street and AMARCA's property). Refer to Analyses Parts #1 and #2. The City's drainage criteria has been met. This drainage report meets CDA hydrology and AMARCA's approval.

EXISTING BASIN MAP

PROPOSED BASIN MAP

**Lot Land Treatment Percentage Table**

Basin	Total Area (acres)	A	B	C	D
Lot 1	0.247	0.0	49.0	0.0	50.9
Lot 2	0.247	0.0	42.0	0.0	58.0
Lot 3	0.247	0.0	42.0	0.0	58.0
Lot 4	0.285	0.0	42.0	0.0	58.0
Lot 5	0.622	0.0	75.0	0.0	25.0
Lot 6	0.292	0.0	65.0	0.0	35.0
Lot 7	0.292	0.0	65.0	0.0	35.0
Lot 8	0.292	0.0	65.0	0.0	35.0
Lot 9	0.292	0.0	65.0	0.0	35.0
Lot 10	0.285	0.0	65.0	0.0	35.0
Lot 11	0.281	0.0	65.0	0.0	35.0
Total B	0.187	0.0	0.0	100.0	0.0

**Weir Calculation Concrete Rundown**  
Equation  $0.64 Q^{1.48}$   
Where:  $Q=2.7, L=4-ft, and m=1$   
 $Q=2.74(1)^{0.48}=0.875$  CFS  
Therefore, Concrete rundown will convey flow from Basin 202

**WEIR CALCULATION**

**Stage-Storage Table**

Depth (ft)	Area (sq-ft)	Volume (cu-ft)	Depth (ft)	Capacity (cu-ft)
0.00	0.00	0.00	0.00	0.00
0.05	1008	2008	0.05	1008
0.10	2008	4008	0.10	2008
0.15	3008	6008	0.15	3008
0.20	4008	8008	0.20	4008
0.25	5008	10008	0.25	5008
0.30	6008	12008	0.30	6008
0.35	7008	14008	0.35	7008
0.40	8008	16008	0.40	8008
0.45	9008	18008	0.45	9008
0.50	10008	20008	0.50	10008
0.55	11008	22008	0.55	11008
0.60	12008	24008	0.60	12008
0.65	13008	26008	0.65	13008
0.70	14008	28008	0.70	14008
0.75	15008	30008	0.75	15008
0.80	16008	32008	0.80	16008
0.85	17008	34008	0.85	17008
0.90	18008	36008	0.90	18008
0.95	19008	38008	0.95	19008
1.00	20008	40008	1.00	20008

STAGE-STORAGE TABLE

**STORMWATER QUALITY VOLUME POND (BASIN 201):**  
TOTAL NEW LAND TREATMENT "D" AREA = 27,271 SQ.FT.  
WATER QUALITY STORAGE REQUIRED (REDUCTION)= $35,449 \text{ SQ.FT} \cdot (0.26)^{1/2} \cdot (1)^{1/2}$   
= 784 CU.FT.

Water for Payment-in-lieu is requested for the SWQV from Basin 200.  
Payment-in-lieu amount = 784 cu. ft. • \$8/ku.ft. = \$6,272.00

**STORMWATER QUALITY VOLUME POND (BASIN 202):**  
TOTAL NEW LAND TREATMENT "D" AREA = 57,757 SQ.FT.  
WATER QUALITY STORAGE REQUIRED (REDUCTION)= $60,727 \text{ SQ.FT} \cdot (0.26)^{1/2} \cdot (1)^{1/2}$  = 1,294 CU.FT. + 0.0297 ac-ft.  
Store stormwater quality volume of 1,294 cu.ft. stored in Detention Pond.  
SWQV ELEV. = 5963.82'

**STORMWATER QUALITY VOLUME POND (BASIN 203):**  
TOTAL NEW LAND TREATMENT "D" AREA = 3,070 SQ.FT.  
WATER QUALITY STORAGE REQUIRED (REDUCTION)= $3,070 \text{ SQ.FT} \cdot (0.26)^{1/2} \cdot (1)^{1/2}$  = 167 CU.FT.

**PROPOSED DETENTION POND REQUIRED VOLUME:**  
TOTAL REQUIRED VOL. = (Basin 200 Vol. + Basin 201 Vol. + Basin 202 Vol.) =  
(Basin 100 Vol. + Basin 101 Vol.) + Basin 202 SWQV Vol. =  
(0.287 ac-ft. + 0.192 ac-ft. + 0.394 ac-ft.) = (0.873 ac-ft. + 0.354 ac-ft.) + 0.0297 ac-ft.) = 0.297 ac-ft.

STORMWATER QUALITY VOL. CALCULATIONS

**LEGEND**

- PROPERTY BOUNDARY
- FLOW PATH
- ROOF DRAINAGE
- SURFACE DRAINAGE
- STREET EXISTENCE LINE
- FLOWLINE
- EXISTING MAJOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED BASIN
- EXISTING BASIN

PROJECT NO: 21001  
DESIGNED BY: RUF  
DRAWN BY: RUF  
CHECKED BY: RUF  
DATE: MAY 2012  
SHEET NO: DRAINAGE PLAN  
SHEET NO: D-1

AHWQ PROGRAM SUMMARY TABLE (AHWQ-S4) - Ver. 54.02a, R41 R2A RUN DATE (D/M/Y) - 07/09/2021  
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COMMAND	HYDROGRAPH NO.	AREA (SQ. FEET)	PEAK (CFS)	RUNOFF (AC-FT)	VOLUME (CUBIC FEET)	TIME TO PEAK (MIN)	CFR	BASE
COMPUTE BR RVD	300.00	-	0.00000	2.25	0.0007	1.43355	1.530	3.023 PER IMP = 53.50
COMPUTE NR RVD	301.00	-	0.00403	10.58	0.364	1.43455	1.530	3.427 PER IMP = 32.47
AHWQ RVD	18.7	1	0.00001	12.93	0.433	1.43370	1.530	3.466
COMPUTE NR RVD	302.00	-	0.00397	4.49	0.134	0.83473	1.560	3.780 PER IMP = 0.00

\*5 Albuquerque Ranch Estates  
 \*5 Drainage Basin Analysis  
 \*5 "Existing" CONDITION MODEL  
 \*5 COMBINED BASIN ANALYSIS

START LOCATION: DETIERS TIME= 0.00  
 \*5 RAINFALL DATA FROM NOAA ATLAS 14  
 \*5 300 YEAR GPM STORM EXISTING CONDITION  
 RAINFALL TYPE = 5 NORM 14  
 SEDIMENT RATE: 0.540 PER SF = 1.00

**HYDROLOGIC CALCULATIONS - EXISTING CONDITION**

AHWQ PROGRAM SUMMARY TABLE (AHWQ-S4) - Ver. 54.02a, R41 R2A RUN DATE (D/M/Y) - 07/09/2021  
 INPUT FILE = Z:\130103\130103\AHWQ\S4SUMR.TAT USER NO. = AHWQ\S4\130103\0001784

COMMAND	HYDROGRAPH NO.	AREA (SQ. FEET)	PEAK (CFS)	RUNOFF (AC-FT)	VOLUME (CUBIC FEET)	TIME TO PEAK (MIN)	CFR	BASE
COMPUTE BR RVD	300.00	-	0.00001	2.25	0.0007	1.43355	1.530	3.023 PER IMP = 53.50
COMPUTE NR RVD	301.00	-	0.00207	5.40	0.182	1.44353	1.530	3.792 PER IMP = 61.50
COMPUTE NR RVD	302.00	-	0.00000	10.00	0.364	1.50068	1.530	1.630 PER IMP = 0.00
ROUTE RESERVOIR	FWD 1 30	0.00000	2.39	0.233	0.00000	1.750	1.800 AC-FT	0.270
AHWQ RVD	DRAINAGE 2	2	0.00001	5.00	0.255	1.4400	1.750	2.111
COMPUTE NR RVD	303.00	-	0.00308	7.40	0.213	1.29375	1.530	1.651

\*5 Albuquerque Ranch Estates  
 \*5 Drainage Basin Analysis  
 \*5 "Proposed" CONDITION MODEL  
 \*5 COMBINED BASIN ANALYSIS

START LOCATION: DETIERS TIME= 0.00  
 \*5 RAINFALL DATA FROM NOAA ATLAS 14  
 \*5 300 YEAR GPM STORM PROPOSED CONDITION  
 RAINFALL TYPE = 5 NORM 14  
 SEDIMENT RATE: 0.540 PER SF = 1.00

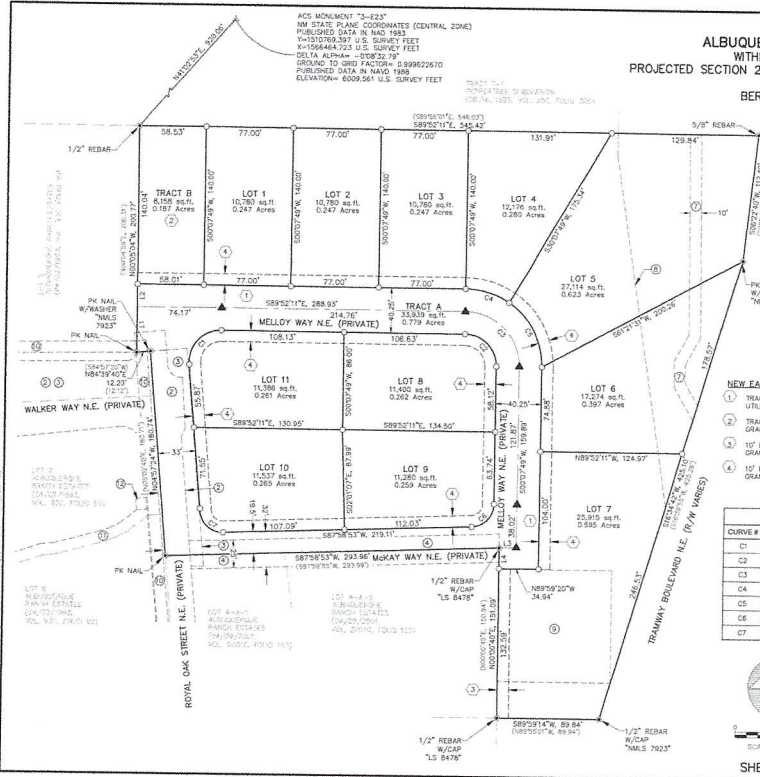
**HYDROLOGIC CALCULATIONS - PROPOSED CONDITION**



**ALBUQUERQUE RANCH ESTATES - UNIT II**  
**ALBUQUERQUE, NEW MEXICO**

PROJECT NO: 21001  
 DESIGNED BY: PLF  
 DRAWN BY: RAB  
 CHECKED BY: PLF  
 DATE: JULY 2021  
 SHEET TITLE: DRAINAGE PLAN  
 SHEET NO: D-2

PRELIMINARY PLAT OF  
**ALBUQUERQUE RANCH ESTATES, UNIT II**  
 WITHIN THE ELENA GALLEGOS GRANT  
 PROJECTED SECTION 27, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MAY 2021



**LEGEND**

- FOUND MONUMENT AS NOTED
- ▲ FOUND ASIS MONUMENT AS NOTED
- SET 1/2" REBAR WITH BLUE PLASTIC CAP MARKED "ACD PS 22909"
- △ SET 3-1/2" ALUMINUM CENTERLINE MONUMENT STAMPED "P.S. 22909"
- (DASHED) 100.00' RECORD BEARING & DISTANCE
- (DASHED) 00.00' MEASURED BEARING & DISTANCE
- - - - - EXISTING EASEMENT LINE
- (DASHED) NEW EASEMENT LINE
- (DASHED) ELIMINATED EASEMENT LINE
- (DASHED) ELIMINATED LOT LINE

**NEW EASEMENTS:**

- TRACT "A" IS A PRIVATE ACCESS & PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
- TRACT "B" IS A PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT.
- 10' PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT.
- 10' PUBLIC UTILITY EASEMENT (P.U.E.) GRANTED BY THIS PLAT.

CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	46.26	27.87	92°05'14"	N42°30'10"E	41.13
C2	43.79	27.87	90°00'00"	S44°52'10"E	39.42
C3	75.40	46.00	90°00'00"	S44°52'10"E	67.68
C4	40.78	68.13	34°17'50"	S72°43'10"E	40.17
C5	68.23	68.13	55°42'10"	S72°43'10"E	63.65
C6	30.67	20.00	87°51'04"	S44°03'21"W	27.75
C7	30.39	20.00	87°03'42"	N49°29'16"W	27.55



**Fierro & Company**  
 ENGINEERING | SURVEYING  
 6300 MONTANO ROAD, NW, SUITE C  
 ALBUQUERQUE, NM 87120  
 PH 505.352.8930  
 www.fierrocompany.com

**Fierro & Company**  
 ENGINEERING | SURVEYING  
 6300 MONTANO ROAD, NW, SUITE C  
 ALBUQUERQUE, NM 87120  
 PH 505.352.8930

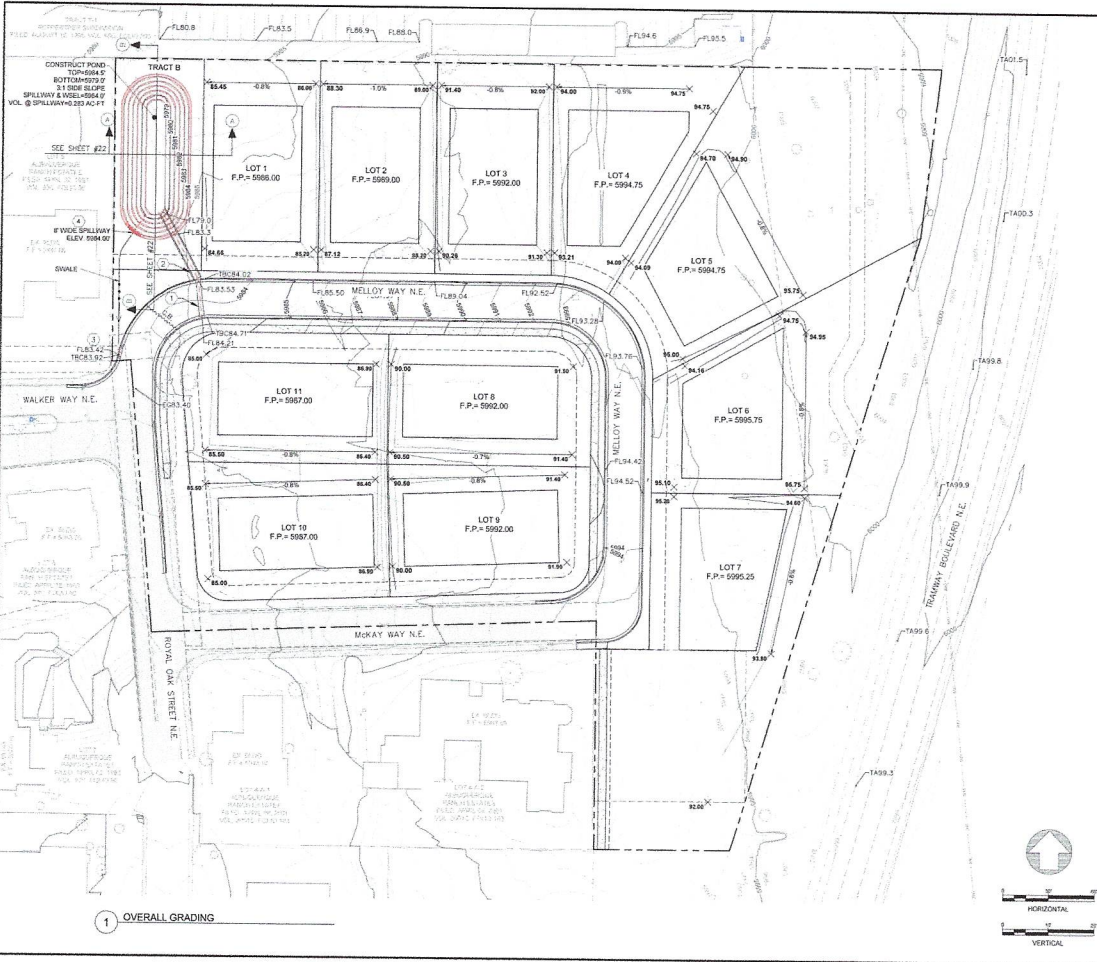
**811**  
 CALL 811 ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

DESIGNED BY: RJP  
 DRAWN BY: RJP  
 CHECKED BY: RJP  
 DATE: 5/20/21

**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
 ENGINEERING DIVISION  
**ALBUQUERQUE RANCH ESTATES**

**PRELIMINARY PLAT**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.
		E-22-Z
		CITY PROJECT NO.
		491680
		SHEET NO.
		5



- CONSTRUCTION NOTES**
1. CONSTRUCT VALLEY GUTTER.
  2. CONSTRUCT CONCRETE RANDOM PER DETAIL 011.
  3. CONCRETE CURB OPENING PER DETAIL 411.
  4. CONSTRUCT SPILLWAY PER DETAIL 011.

- LEGEND**
- PROPERTY BOUNDARY
  - FLOW PATH
  - FLOW DIRECTION
  - FENCE
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - FINISHED GRADE
  - 1426.29 TOP ASPHALT
  - 1426.29 TOP WALL
  - ASPHALT PAVEMENT
  - CONCRETE
  - BREAKLINE
  - EXISTING ASPHALT ROAD
  - RETAINING WALL

**CONSULTANTS**

**Ferro & Company**  
ENGINEERING | SURVEYING  
6500 WALKER WAY N.E.  
ALBUQUERQUE, NM 87109  
(505) 352-8950

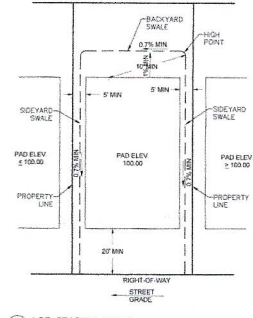
**DESIGNED BY** RLF  
**DRAWN BY** RLF  
**CHECKED BY** RLF  
**DATE** 5/20/11

**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ENGINEERING DIVISION  
**ALBUQUERQUE RANCH ESTATES**  
**OVERALL GRADING PLAN**

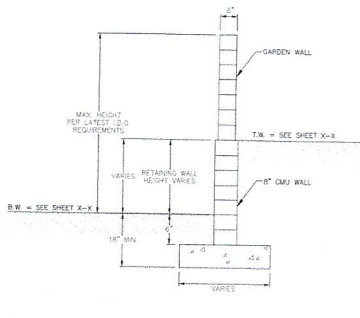
**DESIGN REVIEW COMMITTEE** CITY ENGINEER APPROVAL ZONE MAP NO. E-22-Z  
CITY PROJECT NO. 491660  
SHEET NO. 10

2011-05-20 10:00 AM  
 ALBUQUERQUE  
 1000 10TH ST. SW  
 ALBUQUERQUE, NM 87102  
 TEL: 505-352-8950  
 FAX: 505-352-8951  
 WWW.FERRO.COM

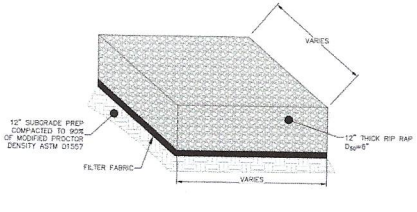
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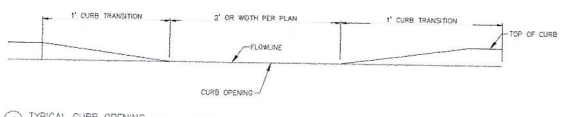
1. LOT GRADING DETAIL



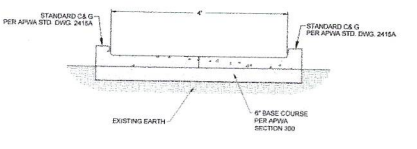
2. TYPICAL RETAINING WALL NOMENCLATURE  
SCALE: NTS



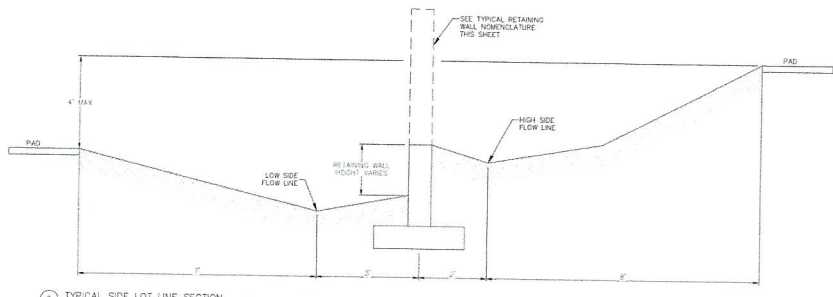
3. RIP RAP DETAIL  
SCALE: NTS



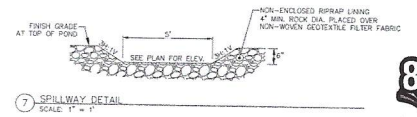
4. TYPICAL CURB OPENING  
SCALE: NTS




5. 4\"/>



6. TYPICAL SIDE LOT LINE SECTION  
SCALE: NTS




7. SPILLWAY DETAIL  
SCALE: 1\"/>




**Ferro & Company**  
ENGINEERING | 5111 VILLAGE  
BLVD., SUITE C  
ALBUQUERQUE, N.M.  
(505) 255-8993

---

THE STATION IS LOCATED 0.818 MILES NORTH-EAST AT THE INTERSECTION OF TRAMWAY ROAD AND ... CHANDLER. THE STATION MARKS IS A CITY OF ALBUQUERQUE DESIGNATED ... CONCRETE ON THE TRAFFIC LIGHT STATION BASE IN THE ... REGION AND IS STAMPED "A-E-B 1186".



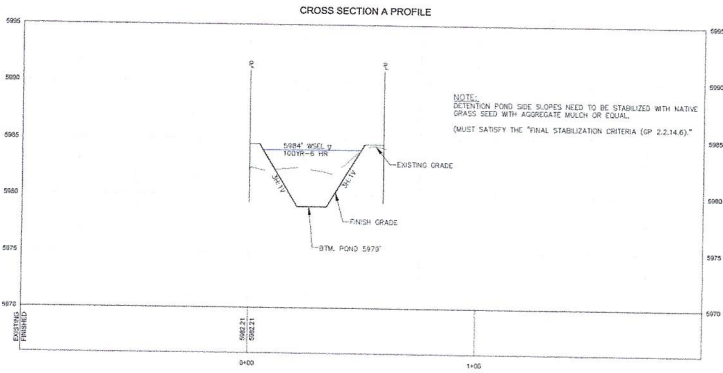
NO.	DATE	DESCRIPTION	DATE	DATE



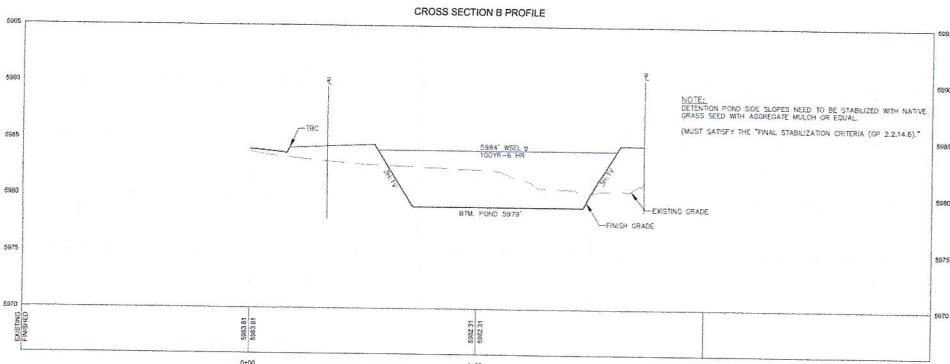
CALL 811 ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.	E-22-Z
		CITY PROJECT NO.	431680
		SHEET NO.	11

2:30 PM 10/24/2019 10:45 AM 10/24/2019 10:45 AM 10/24/2019 10:45 AM 10/24/2019 10:45 AM



SECTION A-A



SECTION B-B



CONSULTANT  
FERRO S COMPANY, INC.  
1110 UNIVERSITY  
ALBUQUERQUE, NM 87102  
(505) 252-8833



DATE	BY	FOR

**811**  
CALL OR ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION



DESIGNED BY: RJR	CHECKED BY: RJE
DATE: 5/20/21	DATE: 5/20/21
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION ALBUQUERQUE RANCH ESTATES POND CROSS-SECTIONS	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
ZONE MAP NO. E-22-Z	CITY PROJECT NO. 491680
CITY PROJECT NO. 491680	SHEET NO. 22



U.S. Fish and Wildlife Service

# National Wetlands Inventory

## Albuquerque Ranch Estates

Exhibit 3



July 22, 2021

### Wetlands

-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Other
-  Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



Exhibit 4



# Exhibit 5

Hydrologic Soil Group—Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico








































Soil Map may not be valid at this scale.

Map Scale: 1:1,420 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 13N WGS84

## MAP LEGEND

 Area of Interest (AOI)	 C
 Soils	 C/D
<b>Soil Rating Polygons</b>	 D
 A	 Not rated or not available
 A/D	<b>Water Features</b>
 B	 Streams and Canals
 B/D	<b>Transportation</b>
 C	 Rails
 C/D	 Interstate Highways
 D	 US Routes
 Not rated or not available	 Major Roads
<b>Soil Rating Lines</b>	 Local Roads
 A	<b>Background</b>
 A/D	 Aerial Photography
 B	
 B/D	
 C	
 C/D	
 D	
 Not rated or not available	
<b>Soil Rating Points</b>	
 A	
 A/D	
 B	
 B/D	
 C	
 C/D	
 D	
 Not rated or not available	

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico  
 Survey Area Data: Version 15, Jun 8, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 23, 2018—Sep 9, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
EIC	Embudo-Tijeras complex, 0 to 9 percent slopes	B	3.2	43.3%
TgB	Tijeras gravelly fine sandy loam, 1 to 5 percent slopes	B	4.2	56.7%
<b>Totals for Area of Interest</b>				
			7.4	100.0%

## Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

## Rating Options

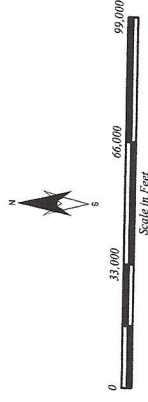
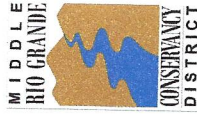
Aggregation Method: Dominant Condition  
Component Percent Cutoff: None Specified  
Tie-break Rule: Higher

# MIDDLE RIO GRANDE CONSERVANCY DISTRICT

## PROPERTY MAP ATLAS 2019

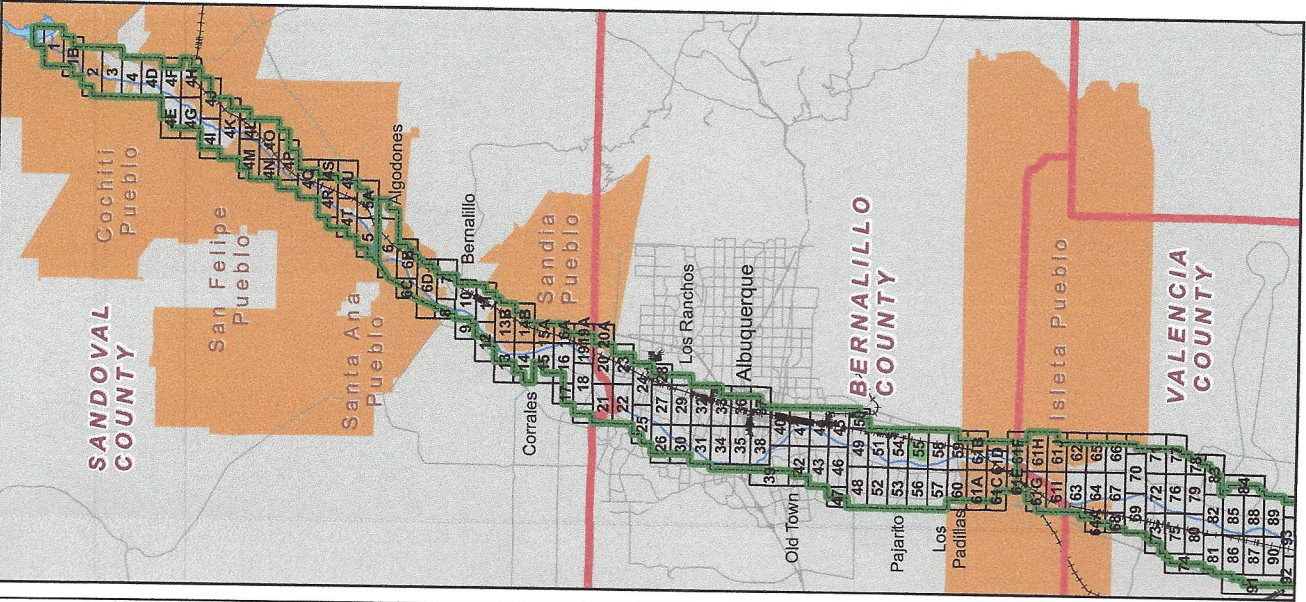
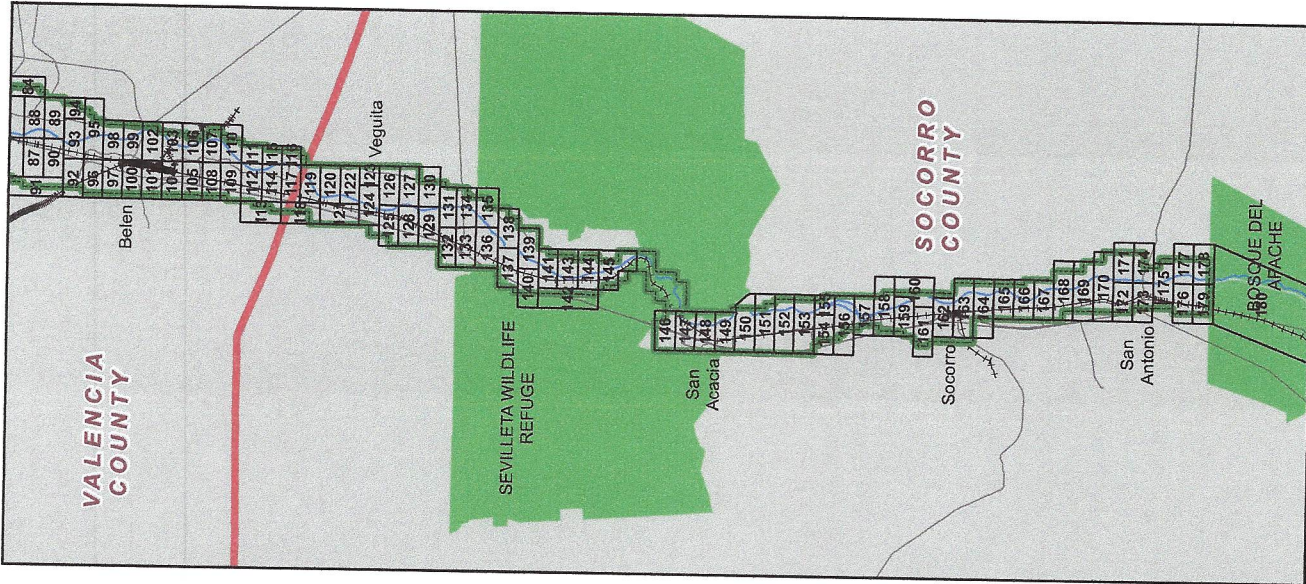
1931 SECOND ST SW \* 87102-4515  
PO BOX 581 \* 87103-0581  
ALBUQUERQUE, NEW MEXICO  
PHONE: 505.247.0234

**CHIEF ENGINEER: MIKE HAMMAN**



These maps and all underlying data have been developed for use by the Middle Rio Grande Conservancy District. The District makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or features thereon. **THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS FOR USE FOR A PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAPS OR THE UNDERLYING DATA.** Any users of these maps, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility for the use thereof, and further covenants and agrees to hold the District harmless from and against all damages, loss, or liability arising from any use of this map product, in consideration of the District's having made this information available. Any user of these maps, or the underlying data should obtain independent verification of all data contained herein. The District disclaims, and shall not be held liable for and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these maps or the use thereof by any person or entity.

Exhibit 6

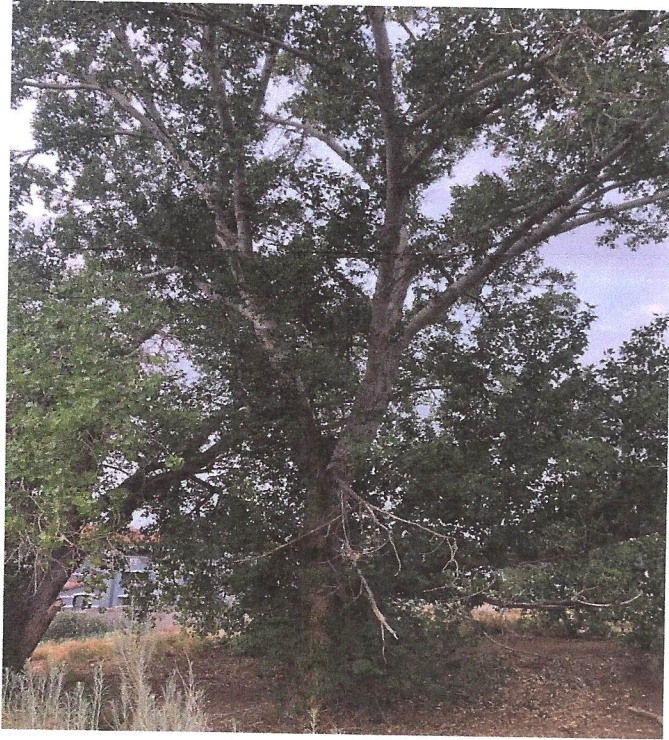


## Exhibit 7

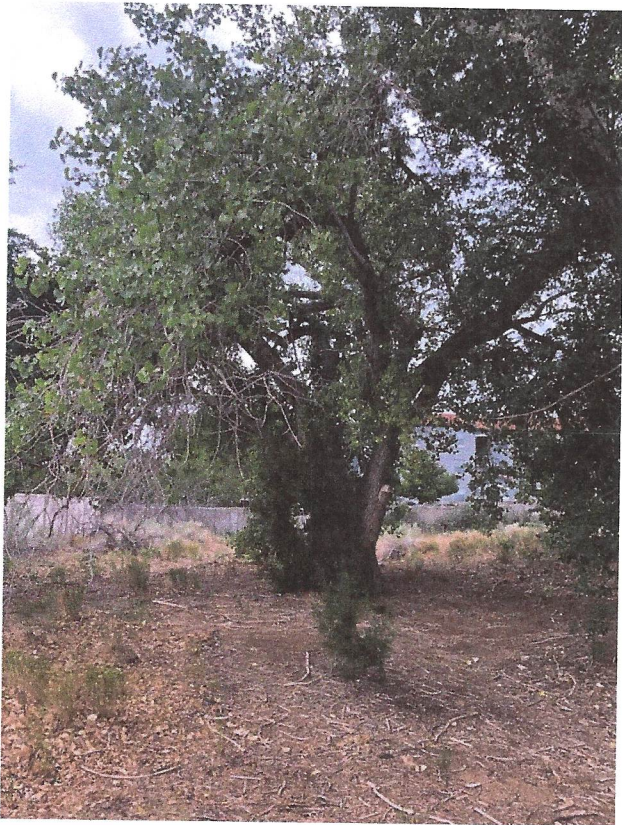
Large Stands of Mature Trees 5-2(C)(1)(d): There are mature trees on the subject site. The IDO defines this as "A collection of 5 or more trees 30 years or older or having a trunk diameter averaging at least 15 inches in diameter." The subject site has trees along the northwest portion of the site that meet the definition of Large Stands of Mature Trees. The tree diameters range between 11" (Eleven Inches) to 12' (Twelve Feet) and most are Cottonwood Trees. This area had been identified as an easement in the previously approved subdivision plat and the applicant intends on utilizing this area as a drainage pond for the Albuquerque Ranch Estates, Unit II.



Picture of the Large Stands of Mature Trees (NW corner of the subject site).

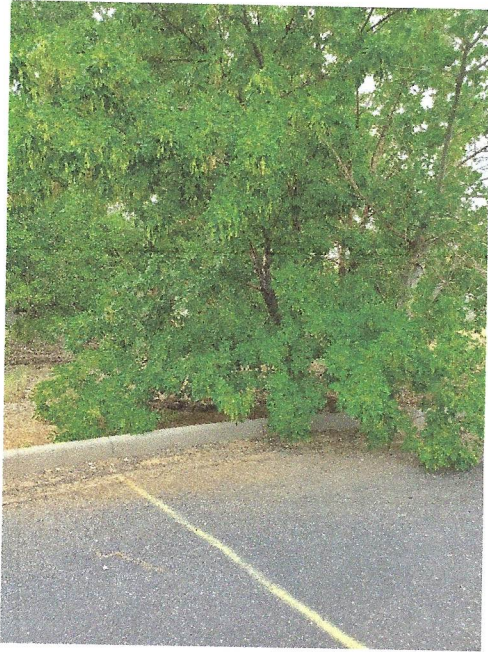


Tree Number 7



Tree Number 8

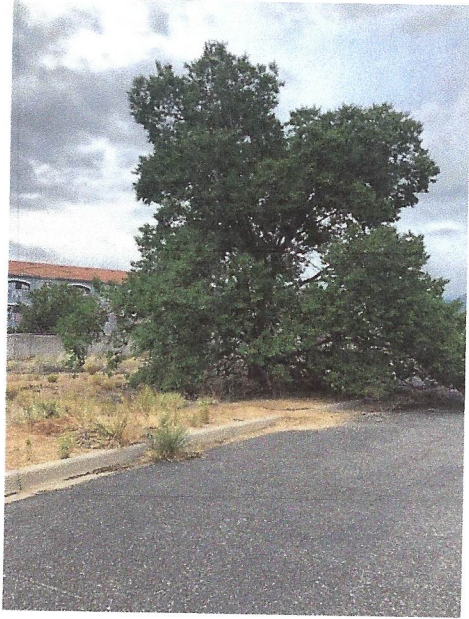




This is a collection of trees that are identified as 10, 11 and 12 on the Tree Survey. Two of the trees appear to be Ash trees and the third is a Cottonwood Tree.



The subject site contains a second collection of trees located near the entrance of the subdivision. However, this area only contains only three trees within this area that meet the definition of Large Stands of Mature Trees.

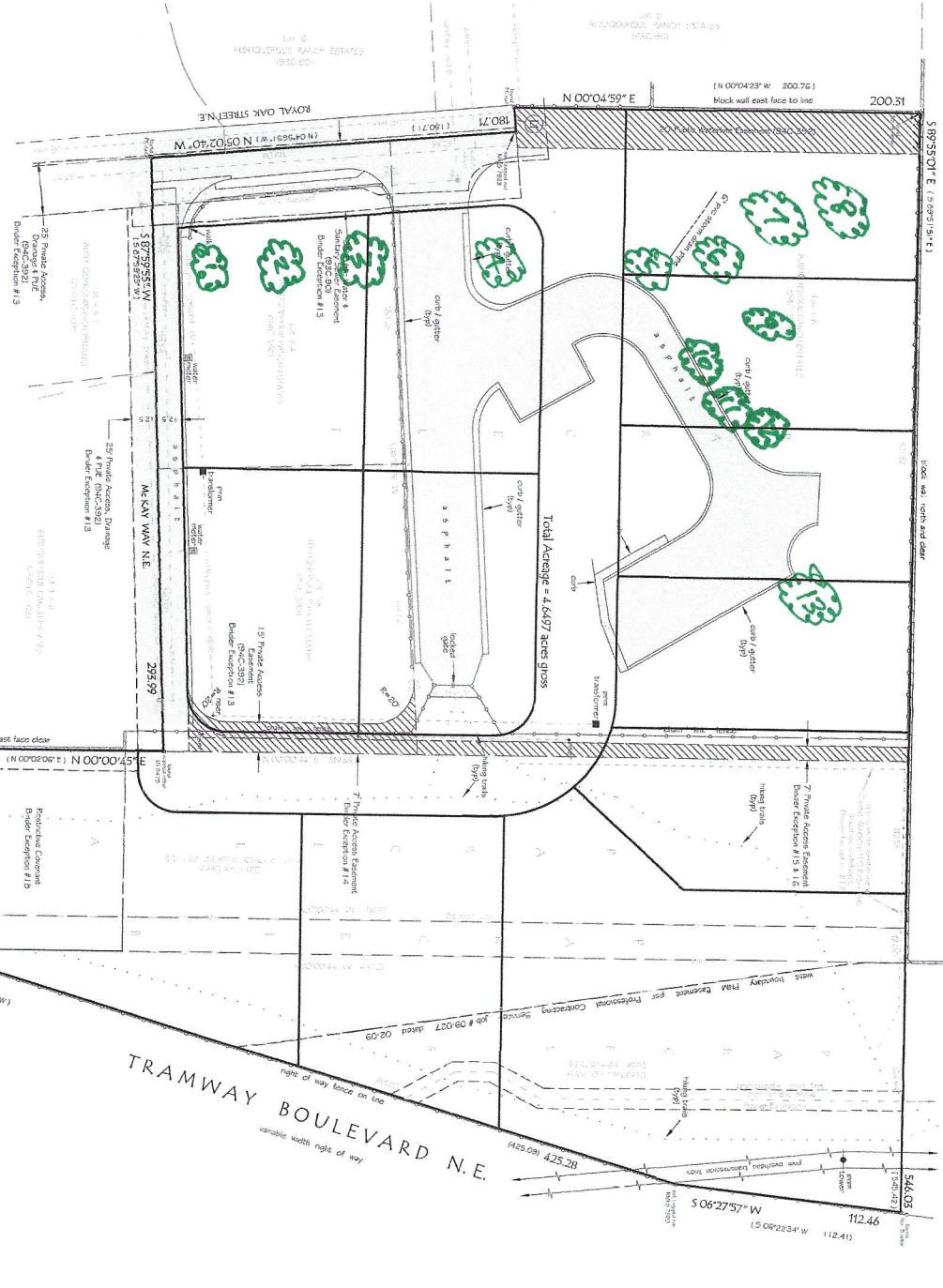


This is an Elm Tree that is identified as tree number 13 on the Tree Survey and is separated from the two collections of trees.

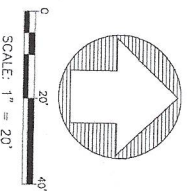
# Tree Survey

SKETCH PLAT OF  
 ALBUQUERQUE RANCH ESTATES, UNIT II  
 WITHIN THE ELENA GALLEGOS GRANT  
 PROJECTED SECTION 27, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY 2021

- 1. 6'4"
- 2. 6'
- 3. 3'11"
- 4. 2'4"
- 5. 18"
- 6. 40"
- 7. 9'3"
- 8. 10"
- 9. 18"
- 10. 32"
- 11. 32"
- 12. 28"
- 13. 82"



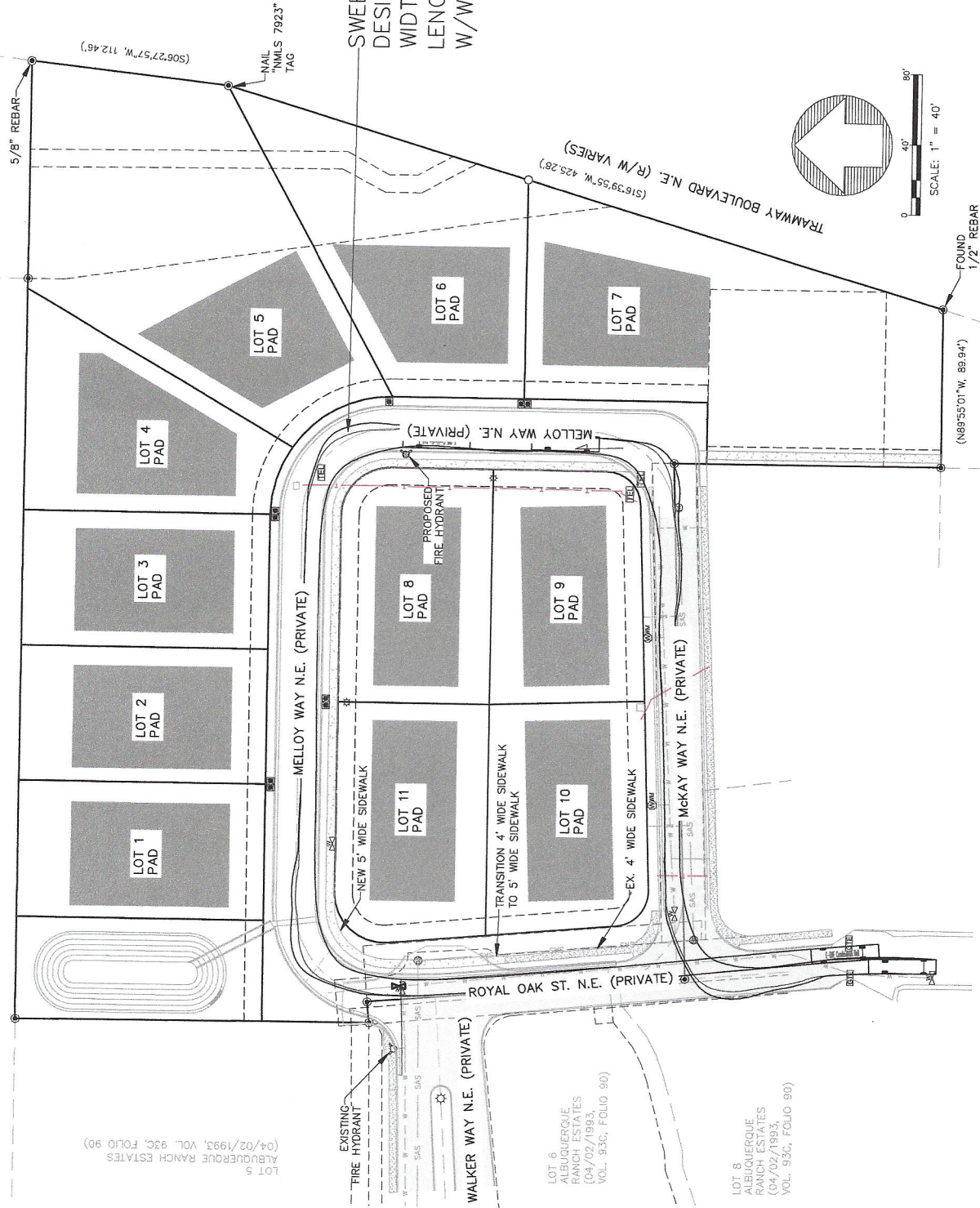
EXISTING INFRASTRUCTURE PER  
 PRELIMINARY A.L.T.A.  
 DATED SEPTEMBER 15, 2020



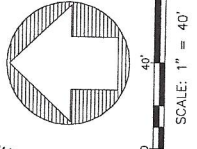

**Fierro & Company**  
 ENGINEERING | SURVEYING  
 6300 MONTANO ROAD, NW, SUITE C  
 ALBUQUERQUE, NM 87120  
 PH 505.352.8930  
 WWW.FIERROCOMPANY.COM

PRELIMINARY PLAT OF  
**ALBUQUERQUE RANCH ESTATES, UNIT II**  
 WITHIN THE ELENA GALLEGOS GRANT  
 PROJECTED SECTION 27, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MAY 2021

TRACT T-1  
 REPERTURE SUBDIVISION  
 (08/16/1995, VOL. 95C, FOLIO 306)



SWEEP PATH ANALYSIS  
 DESIGN VEHICLE  
 WIDTH=8.33'  
 LENGTH=38.25'  
 W/W RAD=41.785'



**F&C**  
**Fierro & Company**  
 ENGINEERING | SURVEYING  
 6300 MONTANO ROAD, NW, SUITE C  
 ALBUQUERQUE, NM 87120  
 PH 505.352.8930  
 www.fierrocompany.com

SITE PLAN

LOT 5  
 ALBUQUERQUE RANCH ESTATES  
 (04/02/1993, VOL. 93C, FOLIO 90)

LOT 6  
 ALBUQUERQUE RANCH ESTATES  
 (04/02/1993, VOL. 93C, FOLIO 90)

LOT 8  
 ALBUQUERQUE RANCH ESTATES  
 (04/02/1993, VOL. 93C, FOLIO 90)

(N89°55'01"W, 89.94')  
 FOUND 1/2" REBAR "NMLS 7923" CAP  
 TRACT C AMAFCA (PLAT BOOK C24, PAGE 133)



JAG JAG <jag@jagpandz.com>

---

## Albuquerque Ranch Estates

3 messages

---

**JAG JAG** <jag@jagpandz.com>  
To: "Louis III, Gilbert M." <gmlouis@cabq.gov>

Wed, Jul 21, 2021 at 10:55 AM

Juanita and Andrew Garcia  
Principals  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87194  
(505) 362-8903 and (505) 363-5613



---

 **Albuquerque Ranch Estates Unit II - Application 06-29-21 -Solid Waste Approval.pdf**  
5366K

---

**Louis III, Gilbert M.** <gmlouis@cabq.gov>  
To: JAG JAG <jag@jagpandz.com>

Wed, Jul 21, 2021 at 11:11 AM

Mrs. Garcia,

I have reviewed your plans for Albuquerque Ranch Estates and they meet the requirements for hydrant and access, thus this email shall serve as an approval for said plans. Feel free to contact me if you require any additional assistance.

Inspector Gilbert Louis III

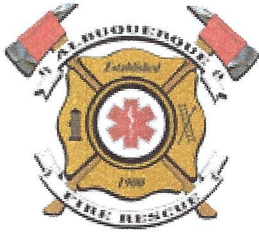
Fire Marshal's Office Plans Check Division

**Albuquerque Fire Rescue**

600 2<sup>nd</sup> Street NW Suite 410

Albuquerque NM

Tel 505-924-3611



**From:** JAG JAG <jag@jagpandz.com>  
**Sent:** Wednesday, July 21, 2021 10:56 AM  
**To:** Louis III, Gilbert M. <gmlouis@cabq.gov>  
**Subject:** Albuquerque Ranch Estates

**External**

Juanita and Andrew Garcia

Principals

JAG Planning & Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87194

(505) 362-8903 and (505) 363-5613



---

**JAG JAG** <jag@jagpandz.com>

To: "Louis III, Gilbert M." <gmlouis@cabq.gov>

Wed, Jul 21, 2021 at 11:16 AM

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>, "Fierro, Robert" <robertfierro@fierrocompany.com>

Thank you Gilbert. We appreciate your assistance.

Regards,

Juanita and Andrew Garcia

Principals

JAG Planning & Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87194

(505) 362-8903 and (505) 363-5613



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**PR-2020-004595 - Albuquerque Ranch Estates, II**

8 messages

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**JAG JAG** <jag@jagpandz.com>

Mon, Jun 28, 2021 at 7:22 PM

To: keith.thompson@state.nm.us

Cc: Rachel Bevan &lt;rachelbevan06@gmail.com&gt;, Jared Bevan &lt;jbevan41@yahoo.com&gt;, Pat Melloy &lt;pmelloy@gmail.com&gt;, "Suazo, Israel , NMDOT" &lt;Israel.Suazo@state.nm.us&gt;, "Fierro, Robert" &lt;robertfierro@fierrocompany.com&gt;

Hello Keith,

We are the agents for 505 Solutions and have a Major Subdivision Application pending with the City of Albuquerque's Development Review Board (DRB) on June 30, 2021 and received comments from you in regards to our application. We have attached the comments for your reference. We also received comments from the City's Park and Recreation Department where they have asked if we have contacted NMDOT regarding the multi-purpose trail that exists east of our proposed subdivision. We are reaching out to you to see if you have any concerns regarding our proposed subdivision in relation to the existing trail along the west side of Tramway Blvd. Can you please let us know via email or let us know when would be a good time to discuss over the phone? However, we would prefer to you have your response in writing so that we can forward any response to the City of Albuquerque, if needed. We have also attached a copy of our subdivision plat and comments from the Park and Recreation Department representative.

We thank you for your assistance regarding this matter.

Regards,

Juanita and Andrew Garcia

Principals

JAG Planning &amp; Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87194

(505) 362-8903 and (505) 363-5613



---

**3 attachments** **6-DRB-30-June\_2021\_NMDOT comments---101---2020-004595 (1).pdf**  
176K **PRD\_PR-2020-004595 (1).docx**  
84K **Albuquerque Ranch Estates, Unit II - Application.pdf**  
5343K

---

**Thompson, Keith, NMDOT** <Keith.Thompson@state.nm.us>

Tue, Jun 29, 2021 at 1:14 PM

To: JAG JAG &lt;jag@jagpandz.com&gt;

Cc: Rachel Bevan &lt;rachelbevan06@gmail.com&gt;, Jared Bevan &lt;jbevan41@yahoo.com&gt;, Pat Melloy &lt;pmelloy@gmail.com&gt;, "Suazo, Israel , NMDOT" &lt;Israel.Suazo@state.nm.us&gt;, "Fierro, Robert" &lt;robertfierro@fierrocompany.com&gt;, "Perea, Nancy, NMDOT" &lt;Nancy.Perea@state.nm.us&gt;, "Haynes, Margaret, NMDOT" &lt;Margaret.Haynes@state.nm.us&gt;

Good afternoon Juanita and Andrew.



The NMDOT comments for the June 30, 2021 DRB case **PR-2020-004595** are based on the Preliminary Plat, Site Plan, and Concrete Paving Plan.

The plans do not appear to indicate encroachment into NMDOT right-of-way.

Regarding the existing trail along the west side of Tramway Blvd. (NM 556), NMDOT would like the opportunity to review and comment on milestone plan reviews to ensure that the trail is not adversely affected by the development.

Please coordinate with Margaret Haynes (copied in this e-mail) for NMDOT distribution/review of construction plans.

Thank you.

**Keith Thompson, P.E.**

NMDOT – District 3 Engineering Support

Cell: (505) 490-3752

[Quoted text hidden]

---

**3 attachments**

 **6-DRB-30-June\_2021\_NMDOT comments---101---2020-004595 (1).pdf**  
59K

 **Albuquerque Ranch Estates Unit II - Application.pdf**  
2022K

 **PRD\_PR-2020-004595 (1).pdf**  
156K

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**JAG JAG** <jag@jagpandz.com>

Tue, Jun 29, 2021 at 1:43 PM

To: "Thompson, Keith, NMDOT" <Keith.Thompson@state.nm.us>

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>, "Suazo, Israel, NMDOT" <Israel.Suazo@state.nm.us>, "Fierro, Robert" <robertfierro@fierrocompany.com>, "Perea, Nancy, NMDOT" <Nancy.Perea@state.nm.us>, "Haynes, Margaret, NMDOT" <Margaret.Haynes@state.nm.us>

Thank you Keith for your prompt response.

You are correct, this project will not project into NMDOT right-of-way. We will gladly coordinate with Margaret Haynes and can provide Margaret the construction plans. However, for clarification, do you mean the construction plan for the subdivision or construction plan for the dwelling units? Thank you for your assistance.

Juanita and Andrew Garcia  
Principals

JAG Planning & Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87194

(505) 362-8903 and (505) 363-5613



[Quoted text hidden]

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**Thompson, Keith, NMDOT** <Keith.Thompson@state.nm.us>

Tue, Jun 29, 2021 at 4:33 PM

To: JAG JAG <jag@jagpandz.com>

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>, "Suazo, Israel , NMDOT" <Israel.Suazo@state.nm.us>, "Fierro, Robert" <robertfierro@fierrocompany.com>, "Perea, Nancy, NMDOT" <Nancy.Perea@state.nm.us>, "Haynes, Margaret, NMDOT" <Margaret.Haynes@state.nm.us>

The construction plans for the subdivision would likely be requested.

[Quoted text hidden]

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**JAG JAG** <jag@jagpandz.com>

Tue, Jun 29, 2021 at 4:39 PM

To: "Thompson, Keith, NMDOT" <Keith.Thompson@state.nm.us>

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>, "Suazo, Israel , NMDOT" <Israel.Suazo@state.nm.us>, "Fierro, Robert" <robertfierro@fierrocompany.com>, "Perea, Nancy, NMDOT" <Nancy.Perea@state.nm.us>, "Haynes, Margaret, NMDOT" <Margaret.Haynes@state.nm.us>

Thank you Keith,

We have attached a copy of the construction drawings for the subdivision. The engineer is working with the city to finalize the drawings. Please let us know if you have any questions.

Regards,

Juanita and Andrew Garcia  
Principals  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87194  
(505) 362-8903 and (505) 363-5613



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 **ALBUQUERQUE RANCH ESTATES.pdf**  
11909K

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**JAG JAG** <jag@jagpandz.com>

Tue, Jul 13, 2021 at 11:47 AM

To: "Thompson, Keith, NMDOT" <Keith.Thompson@state.nm.us>

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>, "Suazo, Israel , NMDOT" <Israel.Suazo@state.nm.us>, "Fierro, Robert" <robertfierro@fierrocompany.com>, "Perea, Nancy, NMDOT" <Nancy.Perea@state.nm.us>, "Haynes, Margaret, NMDOT" <Margaret.Haynes@state.nm.us>

Hello Keith,

Thank you for your response and hope you received the copy of the construction drawings. After attending the DRB meeting on June 30th, it was determined that the City was asking if there could be a

direct connection between our proposed subdivision and the trail that runs along the west side of Tramway that is owned and operated by NMDOT. The applicant does not believe a connection can happen since there is a substantial grade change between the proposed subdivision and the trail along Tramway. Can you please let us know if there are policies that pertain to connections to this trail and whether or not property owners are required to provide a connection?

Thank you for your assistance.

Juanita and Andrew Garcia  
Principals  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87194  
(505) 362-8903 and (505) 363-5613



On Tue, Jun 29, 2021 at 1:16 PM Thompson, Keith, NMDOT <[Keith.Thompson@state.nm.us](mailto:Keith.Thompson@state.nm.us)> wrote:  
[Quoted text hidden]

---

**Thompson, Keith, NMDOT** <[Keith.Thompson@state.nm.us](mailto:Keith.Thompson@state.nm.us)>

Wed, Jul 14, 2021 at 11:44 AM

To: JAG JAG <[jag@jagpandz.com](mailto:jag@jagpandz.com)>

Cc: Rachel Bevan <[rachelbevan06@gmail.com](mailto:rachelbevan06@gmail.com)>, Jared Bevan <[jbevan41@yahoo.com](mailto:jbevan41@yahoo.com)>, Pat Melloy <[pmelloy@gmail.com](mailto:pmelloy@gmail.com)>, "Suazo, Israel , NMDOT" <[Israel.Suazo@state.nm.us](mailto:Israel.Suazo@state.nm.us)>, "Fierro, Robert" <[robertfierro@fierrocompany.com](mailto:robertfierro@fierrocompany.com)>, "Perea, Nancy, NMDOT" <[Nancy.Perea@state.nm.us](mailto:Nancy.Perea@state.nm.us)>, "Haynes, Margaret, NMDOT" <[Margaret.Haynes@state.nm.us](mailto:Margaret.Haynes@state.nm.us)>

Juanita, Andrew,

Generally speaking, NMDOT District 3 supports pedestrian connectivity to existing trails for ease of access. This is by no means a requirement.

Connectivity to the trail would be accomplished through the use of a landscape permit for record purposes.

Any grade change determinations would be at the discretion of the Developer.

Should the City/Developer wish to continue with a proposed trail connection, the NMDOT shall review and comment on the proposed plans prior to acceptance for ADA compliance, geometry, materials, etc.

Any connectivity to the trail within NMDOT ROW shall be maintained by the City/Developer.

Please reply/respond with any concerns.

Thank you.

**Keith Thompson, P.E.**

NMDOT – District 3 Engineering Support

Cell: (505) 490-3752

---

**From:** JAG JAG <jag@jagpandz.com>

**Sent:** Tuesday, July 13, 2021 11:48 AM

**To:** Thompson, Keith, NMDOT <Keith.Thompson@state.nm.us>

**Cc:** Rachel Bevan <rachelbevan06@gmail.com>; Jared Bevan <jbevan41@yahoo.com>; Pat Melloy <pmelloy@gmail.com>; Suazo, Israel, NMDOT <Israel.Suazo@state.nm.us>; Fierro, Robert <robertfierro@fierrocompany.com>; Perea, Nancy, NMDOT <Nancy.Perea@state.nm.us>; Haynes, Margaret, NMDOT <Margaret.Haynes@state.nm.us>

**Subject:** Re: PR-2020-004595 - Albuquerque Ranch Estates, II

Hello Keith,

Thank you for your response and hope you received the copy of the construction drawings. After attending the DRB meeting on June 30th, it was determined that the City was asking if there could be a direct connection between our proposed subdivision and the trail that runs along the west side of Tramway that is owned and operated by NMDOT. The applicant does not believe a connection can happen since there is a substantial grade change between the proposed subdivision and the trail along Tramway. Can you please let us know if there are policies that pertain to connections to this trail and whether or not property owners are required to provide a connection?

Thank you for your assistance.

Juanita and Andrew Garcia

Principals

JAG Planning & Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87194

(505) 362-8903 and (505) 363-5613

[ ]

On Tue, Jun 29, 2021 at 1:16 PM Thompson, Keith, NMDOT <[Keith.Thompson@state.nm.us](mailto:Keith.Thompson@state.nm.us)> wrote:

Good afternoon Juanita and Andrew.

The NMDOT comments for the June 30, 2021 DRB case **PR-2020-004595** are based on the Preliminary Plat, Site Plan, and Concrete Paving Plan.

The plans do not appear to indicate encroachment into NMDOT right-of-way.

Regarding the existing trail along the west side of Tramway Blvd. (NM 556), NMDOT would like the opportunity to review and comment on milestone plan reviews to ensure that the trail is not adversely affected by the development.

Please coordinate with Margaret Haynes (copied in this e-mail) for NMDOT distribution/review of construction plans.

Thank you.

**Keith Thompson, P.E.**

NMDOT – District 3 Engineering Support

Cell: (505) 490-3752

---

**From:** JAG JAG <[jag@jagpandz.com](mailto:jag@jagpandz.com)>

**Sent:** Monday, June 28, 2021 7:23 PM

**To:** Thompson, Keith, NMDOT <[Keith.Thompson@state.nm.us](mailto:Keith.Thompson@state.nm.us)>

**Cc:** Rachel Bevan <[rachelbevan06@gmail.com](mailto:rachelbevan06@gmail.com)>; Jared Bevan <[jbevan41@yahoo.com](mailto:jbevan41@yahoo.com)>; Pat Melloy <[pmelloy@gmail.com](mailto:pmelloy@gmail.com)>; Suazo, Israel , NMDOT <[Israel.Suazo@state.nm.us](mailto:Israel.Suazo@state.nm.us)>; Fierro, Robert <[robertfierro@fierrocompany.com](mailto:robertfierro@fierrocompany.com)>

**Subject:** PR-2020-004595 - Albuquerque Ranch Estates, II

Hello Keith,

We are the agents for 505 Solutions and have a Major Subdivision Application pending with the City of Albuquerque's Development Review Board (DRB) on June 30, 2021 and received comments from you in regards to our application. We have attached the comments for your reference. We also received comments from the City's Park and Recreation Department where they have asked if we have contacted NMDOT regarding the multi-purpose trail that exists east of our proposed subdivision. We are reaching out to you to see if you have any concerns regarding our proposed subdivision in relation to the existing trail along the west side of Tramway Blvd. Can you please let us know via email or let us know when would be

a good time to discuss over the phone? However, we would prefer to you have your response in writing so that we can forward any response to the City of Albuquerque, if needed. We have also attached a copy of our subdivision plat and comments from the Park and Recreation Department representative.

We thank you for your assistance regarding this matter.

Regards,

Juanita and Andrew Garcia

Principals

JAG Planning & Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87194

(505) 362-8903 and (505) 363-5613

---

**JAG JAG** <jag@jagpandz.com>

Wed, Jul 14, 2021 at 6:21 PM

To: "Thompson, Keith, NMDOT" <Keith.Thompson@state.nm.us>

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>, "Suazo, Israel, NMDOT" <Israel.Suazo@state.nm.us>, "Fierro, Robert" <robertfierro@fierrocompany.com>, "Perea, Nancy, NMDOT" <Nancy.Perea@state.nm.us>, "Haynes, Margaret, NMDOT" <Margaret.Haynes@state.nm.us>

Keith,

We thank you for your prompt response. The information you have provided pertaining to the requirements to connect to the existing trail along Tramway and informing us that we are not required to connect to the trail is very helpful for facilitating our project. The applicant has chosen not to provide a connection to the trail and we just wanted to confirm from your department that we are not required to provide a connection. Since the City of Albuquerque has asked us to discuss this matter with your department, we will forward this information to the City for their records.

Thank you again for your assistance.

Kind regards,

Juanita and Andrew Garcia

Principals

JAG Planning & Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87194

(505) 362-8903 and (505) 363-5613



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JAG JAG <jag@jagpandz.com>

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## Solid Waste Review of PR-2020-004595

7 messages

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JAG JAG <jag@jagpandz.com>

Mon, Jun 28, 2021 at 7:29 PM

To: "Gallegos, Herman P." <hgallegos@cabq.gov>

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>, "Fierro, Robert" <robertfierro@fierrocompany.com>

Hello Herman,

We hope this email finds you well. We currently have a Major Subdivision Plat that is scheduled to be heard on June 30, 2021 by the Development Review Board (DRB). One of the comments we received asked us to reach out to your department to determine if your department would approve of our subdivision layout. Can you please review the attached plat and let us know if you would approve of the layout for trash collection?

We thank you for your assistance in this matter.

Regards,

Juanita and Andrew Garcia  
Principals  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87194  
(505) 362-8903 and (505) 363-5613



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 **Albuquerque Ranch Estates, Unit II - Application.pdf**  
5343K

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Gallegos, Herman P. <hgallegos@cabq.gov>

Tue, Jun 29, 2021 at 9:41 AM

To: JAG JAG <jag@jagpandz.com>

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>, "Fierro, Robert" <robertfierro@fierrocompany.com>

Good morning,

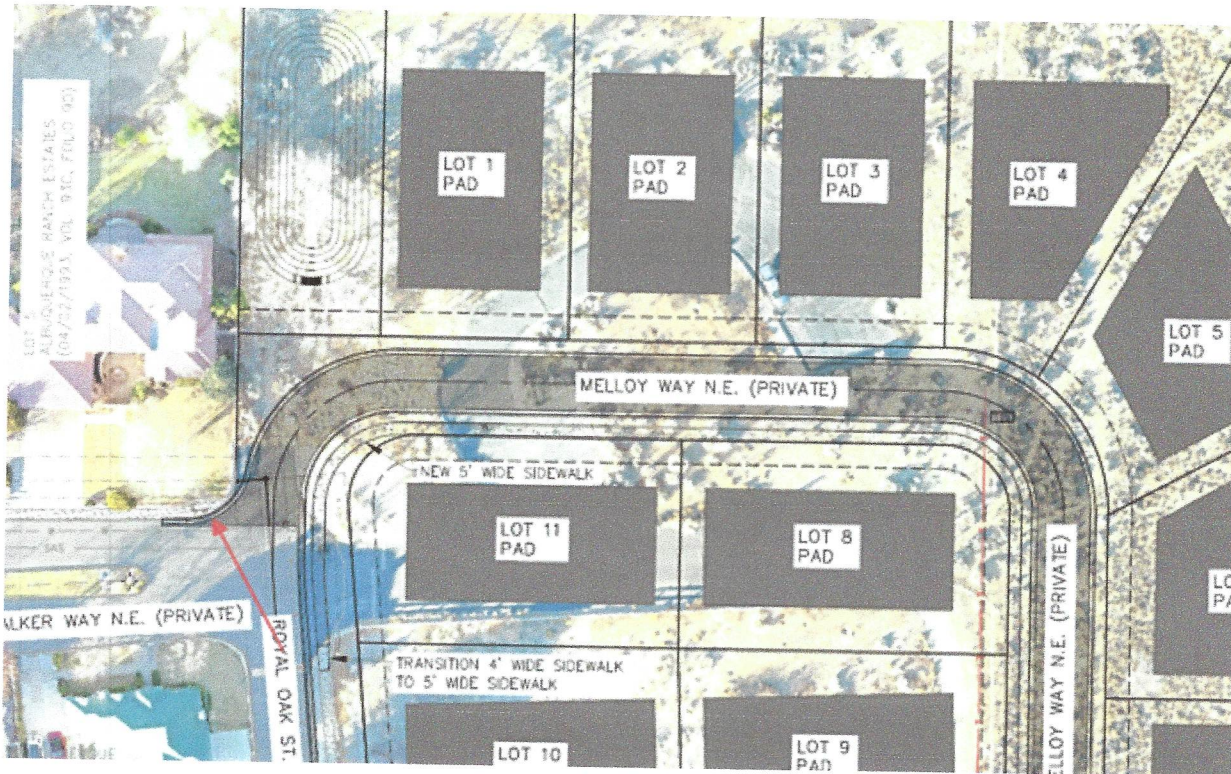
Can you remove the curb shown below?

Regards,



**HERMAN GALLEGOS**  
code enforcer/dispatch supervisor  
o 505.761.8125

m 505.681.2767  
[cabq.gov/solidwaste](http://cabq.gov/solidwaste)



**From:** JAG JAG <[jag@jagpandz.com](mailto:jag@jagpandz.com)>  
**Sent:** Monday, June 28, 2021 7:30 PM  
**To:** Gallegos, Herman P. <[hgallegos@cabq.gov](mailto:hgallegos@cabq.gov)>  
**Cc:** Rachel Bevan <[rachelbevan06@gmail.com](mailto:rachelbevan06@gmail.com)>; Jared Bevan <[jbevan41@yahoo.com](mailto:jbevan41@yahoo.com)>; Pat Melloy <[pmelloy@gmail.com](mailto:pmelloy@gmail.com)>; Fierro, Robert <[robertfierro@fierrocompany.com](mailto:robertfierro@fierrocompany.com)>  
**Subject:** Solid Waste Review of PR-2020-004595

**External**

[Quoted text hidden]

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**JAG JAG** <jag@jagpandz.com>

Tue, Jun 29, 2021 at 11:19 AM

To: "Gallegos, Herman P." <hgallegos@cabq.gov>

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>, "Fierro, Robert" <robertfierro@fierrocompany.com>

Robert,

Can you assist with answering Herman's question?

Thank you.

Juanita and Andrew Garcia

Principals

JAG Planning & Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87194

(505) 362-8903 and (505) 363-5613



[Quoted text hidden]

---

**robertfierro@fierrocompany.com** <robertfierro@fierrocompany.com>

Tue, Jun 29, 2021 at 11:58 AM

To: JAG JAG <jag@jagpandz.com>, "Gallegos, Herman P." <hgallegos@cabq.gov>

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>

The proposed curb ties into an existing curb on Walker Way. There is curb there now. I recommend keeping this curb for continuity and to help direct runoff.

Robert Fierro

---

**From:** JAG JAG <jag@jagpandz.com>

**Sent:** Tuesday, June 29, 2021 11:20 AM

**To:** Gallegos, Herman P. <hgallegos@cabq.gov>

**Cc:** Rachel Bevan <rachelbevan06@gmail.com>; Jared Bevan <jbevan41@yahoo.com>; Pat Melloy <pmelloy@gmail.com>; Fierro, Robert <robertfierro@fierrocompany.com>

**Subject:** Re: Solid Waste Review of PR-2020-004595

Robert,

Can you assist with answering Herman's question?

Thank you.

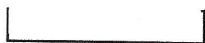
Juanita and Andrew Garcia

Principals

JAG Planning & Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87194

(505) 362-8903 and (505) 363-5613



On Tue, Jun 29, 2021 at 9:41 AM Gallegos, Herman P. <[hgallegos@cabq.gov](mailto:hgallegos@cabq.gov)> wrote:

Good morning,

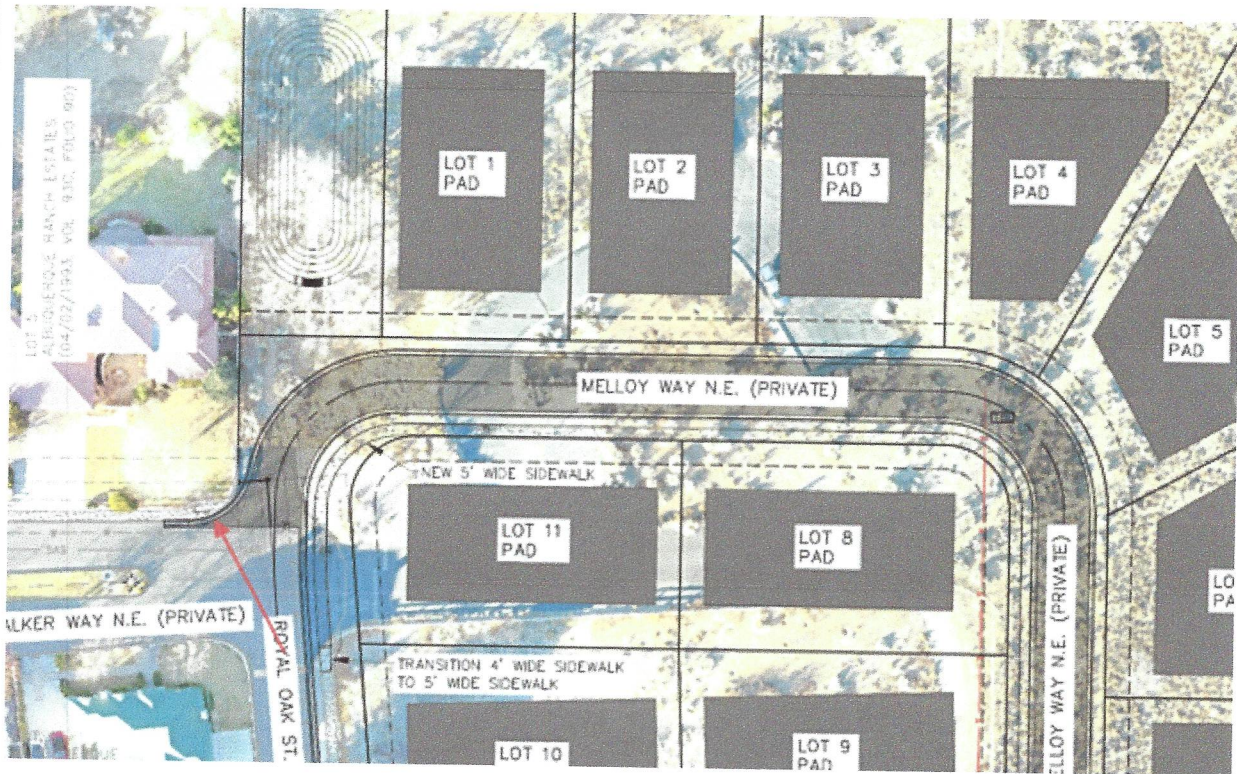
Can you remove the curb shown below?

Regards,



**HERMAN GALLEGOS**  
code enforcer/dispatch supervisor  
o 505.761.8125

m 505.681.2767  
[cabq.gov/solidwaste](http://cabq.gov/solidwaste)



**From:** JAG JAG <jag@jagpandz.com>

**Sent:** Monday, June 28, 2021 7:30 PM

**To:** Gallegos, Herman P. <hgallegos@cabq.gov>

**Cc:** Rachel Bevan <rachelbevan06@gmail.com>; Jared Bevan <jbevan41@yahoo.com>; Pat Melloy <pmelloy@gmail.com>; Fierro, Robert <robertfierro@fierrocompany.com>

**Subject:** Solid Waste Review of PR-2020-004595

**External**

Hello Herman,

We hope this email finds you well. We currently have a Major Subdivision Plat that is scheduled to be heard on June 30, 2021 by the Development Review Board (DRB). One of the comments we received asked us to reach out to your department to determine if your department would approve of our subdivision layout. Can you please review the attached plat and let us know if you would approve of the layout for trash collection?

We thank you for your assistance in this matter.

Regards,

Juanita and Andrew Garcia

Principals

JAG Planning & Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87194

(505) 362-8903 and (505) 363-5613

---

**Gallegos, Herman P.** <hgallegos@cabq.gov>

Tue, Jun 29, 2021 at 1:37 PM

To: "robertferro@fierrocompany.com" <robertferro@fierrocompany.com>, JAG JAG <jag@jagpandz.com>

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>

Good afternoon,

Attached you will find a site plan (Preliminary Plat) signed approved for access by the Solid Waste Department.

Regards,



[Quoted text hidden]

---

 **Albuquerque Ranch Estates Unit II - Application 06-29-21.pdf**  
5366K

---

**robertferro@fierrocompany.com** <robertferro@fierrocompany.com>

Tue, Jun 29, 2021 at 2:14 PM

To: "Gallegos, Herman P." <hgallegos@cabq.gov>, JAG JAG <jag@jagpandz.com>

Cc: Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>

Thank you Herman.

Robert Fierro

**From:** Gallegos, Herman P. <hgallegos@cabq.gov>  
**Sent:** Tuesday, June 29, 2021 1:37 PM  
**To:** robertfierro@fierrocompany.com; 'JAG JAG' <jag@jagpandz.com>  
**Cc:** 'Rachel Bevan' <rachelbevan06@gmail.com>; 'Jared Bevan' <jbevan41@yahoo.com>; 'Pat Melloy' <pmelloy@gmail.com>  
**Subject:** RE: Solid Waste Review of PR-2020-004595

Good afternoon,

Attached you will find a site plan (Preliminary Plat) signed approved for access by the Solid Waste Department.

Regards,



[Quoted text hidden]

---

**JAG JAG** <jag@jagpandz.com>

Tue, Jun 29, 2021 at 4:42 PM

To: "Gallegos, Herman P." <hgallegos@cabq.gov>

Cc: "robertfierro@fierrocompany.com" <robertfierro@fierrocompany.com>, Rachel Bevan <rachelbevan06@gmail.com>, Jared Bevan <jbevan41@yahoo.com>, Pat Melloy <pmelloy@gmail.com>

Thank you Herman. We appreciate your prompt response.

Regards,

Juanita and Andrew Garcia  
Principals  
JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87194  
(505) 362-8903 and (505) 363-5613



[Quoted text hidden]

**From:** Nicole Friedt  
**Sent:** Friday, July 23, 2021 6:40 AM  
**To:** JAG JAG  
**Cc:** Rachel Bevan; Jared Bevan; Pat Melloy; Fierro, Robert  
**Subject:** RE: ABQ Ranch Estates, Unit II (PR-2020-004595)

Good morning Juanita,  
AMAFCA has no comments on the subject plat.

AMAFCA is still observing our COVID19 Pandemic plat signature process (described below). Let me know if you have any questions.

Thanks,  
Nicole

Nicole M. Friedt, P.E., CFM  
Development Review Engineer  
Main: (505) 884-2215  
Cell: (505) 362-1272

*AMAFCA will be observing the following process for Plat Signatures during this COVID19 Pandemic:*

1. *I would like to review the plats electronically first.*
2. *Once approved, the plat can be dropped off on a Friday afternoon. Include a hard copy of my email approval with the plat. The plat will be signed-in with the AMAFCA Office Staff.*
3. *I will sign the plats Monday mornings. I will then notify you when signature is complete.*
4. *You can then come pick up the plat and sign-out the plat from the AMAFCA Office Staff.*

---

**From:** JAG JAG <jag@jagpandz.com>  
**Sent:** Friday, July 16, 2021 3:13 PM  
**To:** Nicole Friedt <nfriedt@amafca.org>  
**Cc:** Rachel Bevan <rachelbevan06@gmail.com>; Jared Bevan <jbevan41@yahoo.com>; Pat Melloy <pmelloy@gmail.com>; Fierro, Robert <robertfierro@fierrocompany.com>  
**Subject:** Re: ABQ Ranch Estates, Unit II (PR-2020-004595)

Hello Nicole,

Here is the document you requested. Please let us know if you need any more information.

Regards,

Juanita and Andrew Garcia  
Principals

JAG Planning & Zoning, LLC  
P.O. Box 7857, Albuquerque, NM 87194  
(505) 362-8903 and (505) 363-5613



On Fri, Jul 16, 2021 at 2:05 PM Nicole Friedt <[nfriedt@amafca.org](mailto:nfriedt@amafca.org)> wrote:

Juanita,

Can you please send me a copy Document #2009096401 that is referenced in the plat.

As to the access, I'm checking with our Field Engineer, Nolan Bennett.

Thanks,

Nicole

Nicole M. Friedt, P.E., CFM

Development Review Engineer

AMAFCA

(Office) 505-884-2215

(Cell) 505-362-1272

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**From:** JAG JAG <[jag@jagpandz.com](mailto:jag@jagpandz.com)>

**Sent:** Friday, July 16, 2021 12:39 PM

**To:** Nicole Friedt <[nfriedt@amafca.org](mailto:nfriedt@amafca.org)>

**Cc:** Rachel Bevan <[rachelbevan06@gmail.com](mailto:rachelbevan06@gmail.com)>; Jared Bevan <[jbevan41@yahoo.com](mailto:jbevan41@yahoo.com)>; Pat Melloy

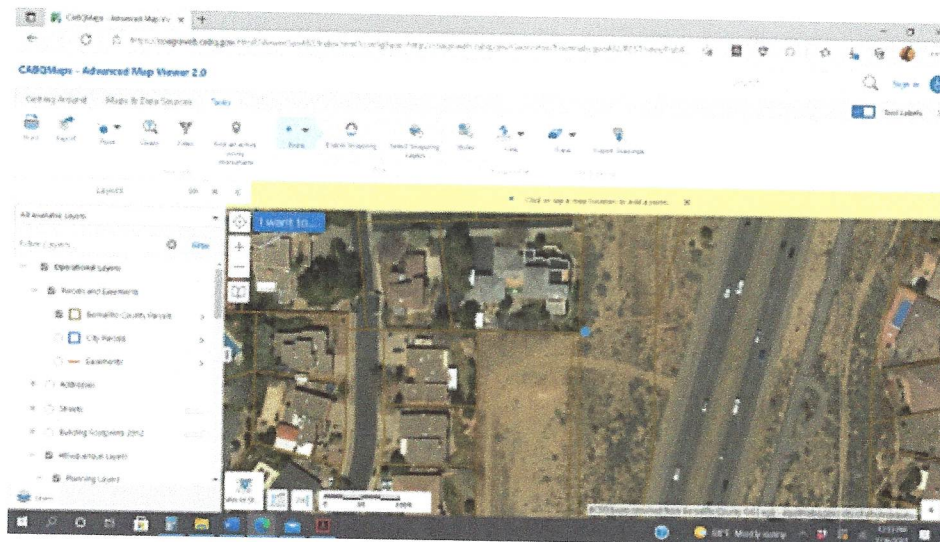


<[pmelloy@gmail.com](mailto:pmelloy@gmail.com)>; Fierro, Robert <[robertfierro@fierrocompany.com](mailto:robertfierro@fierrocompany.com)>  
**Subject:** ABQ Ranch Estates, Unit II (PR-2020-004595)

Hello Nicole,

We hope you are doing well. We are working on the above mentioned plat and have attached your comments from our June 30, 2021 meeting date. At that meeting, the DRB asked us to coordinate with your agency our proposed 10' wide trail with a pedestrian access gate that will allow for a connection to the AMAFCA facility that is located immediately to the south. We are just checking to see if you have any specific comments regarding this proposed pedestrian access and wondered if there are future plans for this facility. The screen shot of the area shows a blue dot of where the pedestrian connection is proposed. Please let us know if you need additional information.

Thank you.



Regards,

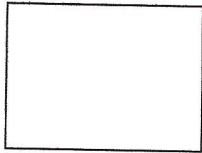
Juanita and Andrew Garcia

Principals

JAG Planning & Zoning, LLC

P.O. Box 7857, Albuquerque, NM 87194

(505) 362-8903 and (505) 363-5613



ALBUQUERQUE  
RANCH ESTATES  
GATE

Day	Date	Vehicle Entry/Exit	People	Queuing	Traffic Back-up	Y- Turns	No Access Waiting to Enter
Tuesday	6/15/21	148	13	0	0	0	0
Wednesday	6/16/21	163	9	0	0	0	2
Thursday	6/17/21	146	11	0	0	2	1
Tuesday	6/22/21	148	12	0	0	1	0
Wednesday	6/23/21	126	12	0	0	0	2
Thursday	6/24/21	135	14	0	0	0	0
Tuesday	6/29/21	98	13	0	0	0	0
Wednesday	6/30/21	120	16	0	0	0	1
Thursday	7/1/21	166	11	0	0	0	0

- Camera was set up for data regarding Traffic jamming as a result of the gate for the DRB meeting on June 30, 2021.
- Camera ran until battery died on July 17, 2021. Although no data was documented after July 1, it was reviewed. Vehicle entry/exit was actually at or less than 120 per 24 hours. No queuing, no traffic back-ups, no Y-turns, no vehicles waiting to enter except as noted below.
- Queuing: vehicles lining up to get in.
- People: Walkers outside the gate. On average 4 to 5 from inside ARE walking out or in.
- Traffic Back-up: Vehicles blocked and backed up down the street.
- Y-Turns: Vehicles that had to make a Y-Turns outside due to gate.
- No Access Waiting to Enter: Vehicles not from within ARE who did not have a code or gate clicker waiting outside gate to piggyback in.
- Vehicle Entry/Exit count: divide by 2. Only half are entering the gate the other half are exiting.



