



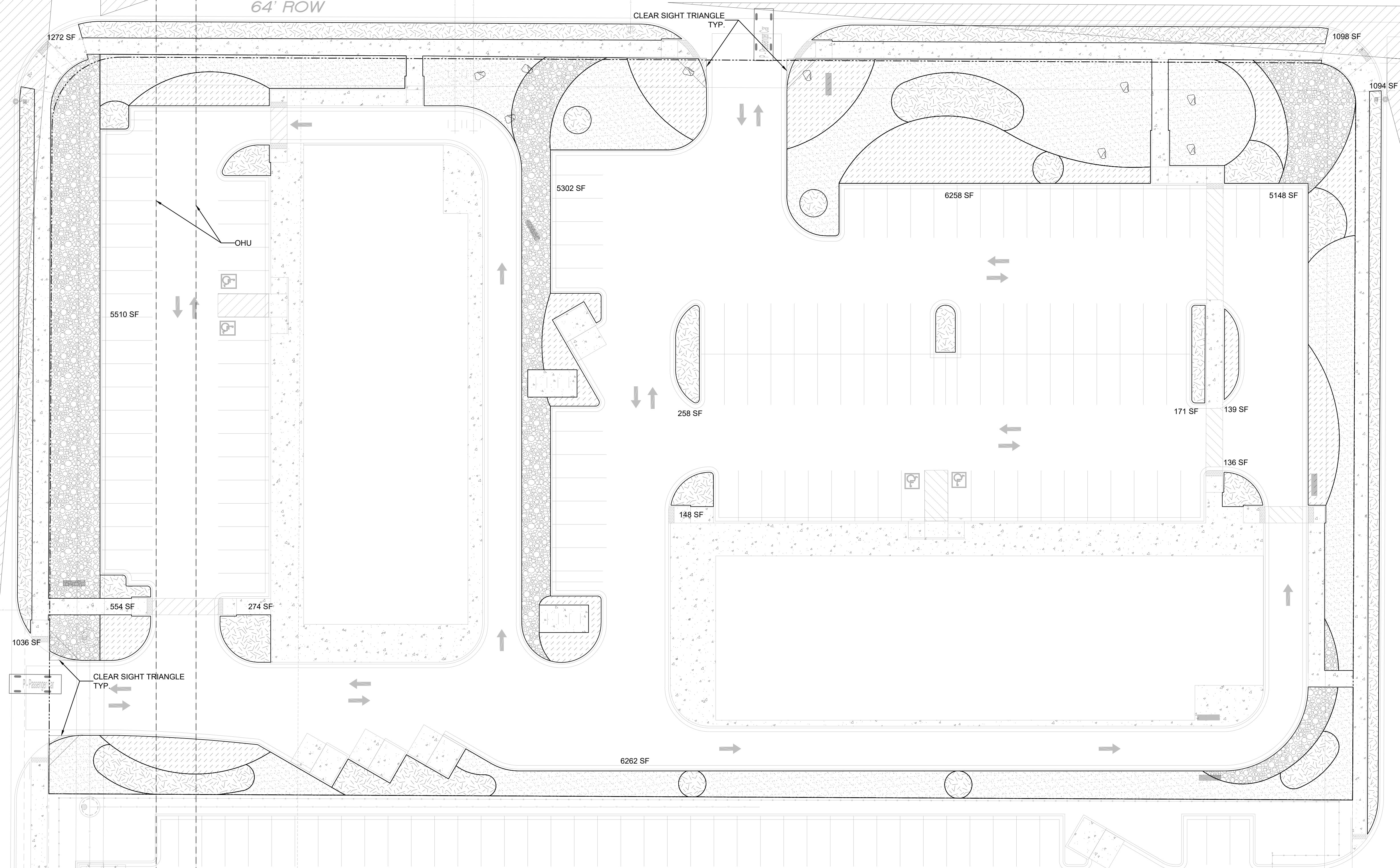


ROSA PARKS RD. NW

64' ROW

UNIVERSE BOULEVARD NW

64' ROW



GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
- PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
  - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
  - ARE NOT HAZARDOUS.
  - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
  - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
  - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3, SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES), 5-6(C)(4)(i) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE, SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE. PER 5-6(C)(14)(a), IRRIGATION SYSTEMS SHALL COMPLY WITH SECTION 8 OF THE ABCWA LEGISLATION AND ORDINANCES (CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE)
- PER 5-6(C)(14)(b), ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- PER 5-6(C)(14)(c), ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING.
- PER 5-6(C)(14)(d), THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVE AISLES, STREETS, AND PARKING AND LOADING AREAS.

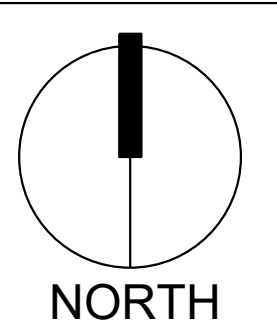


**YELLOWSTONE**  
LANDSCAPE  
www.yellowstonelandscape.com  
PO Box 10597  
Albuquerque, NM 87184  
505.898.9615  
design@yellowstonelandscape.com



Date: 04/08/2024  
Revisions:  
△ 04/29/2024  
△ 05/02/2024  
△ \_\_\_\_\_  
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Drawn by: PL  
Reviewed by: CM

Universe View  
Commercial  
Albuquerque, New Mexico



Scale: 1" = 20'  
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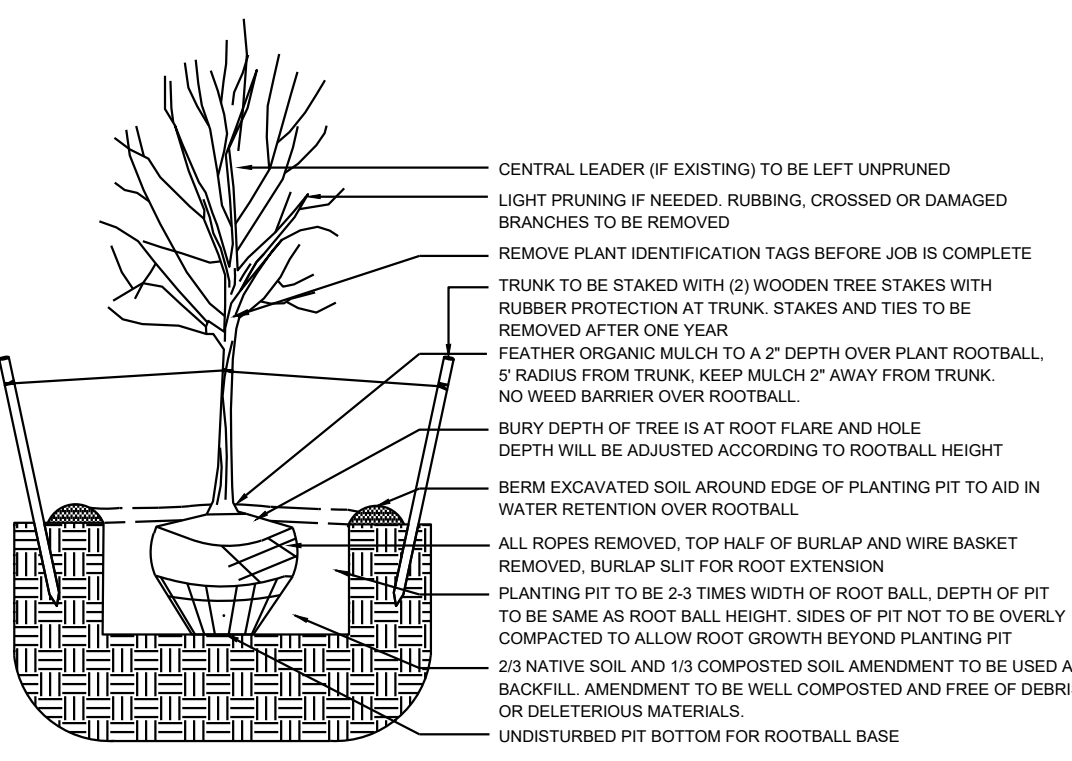
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**Material Plan**

Sheet Number:  
**LS-01**

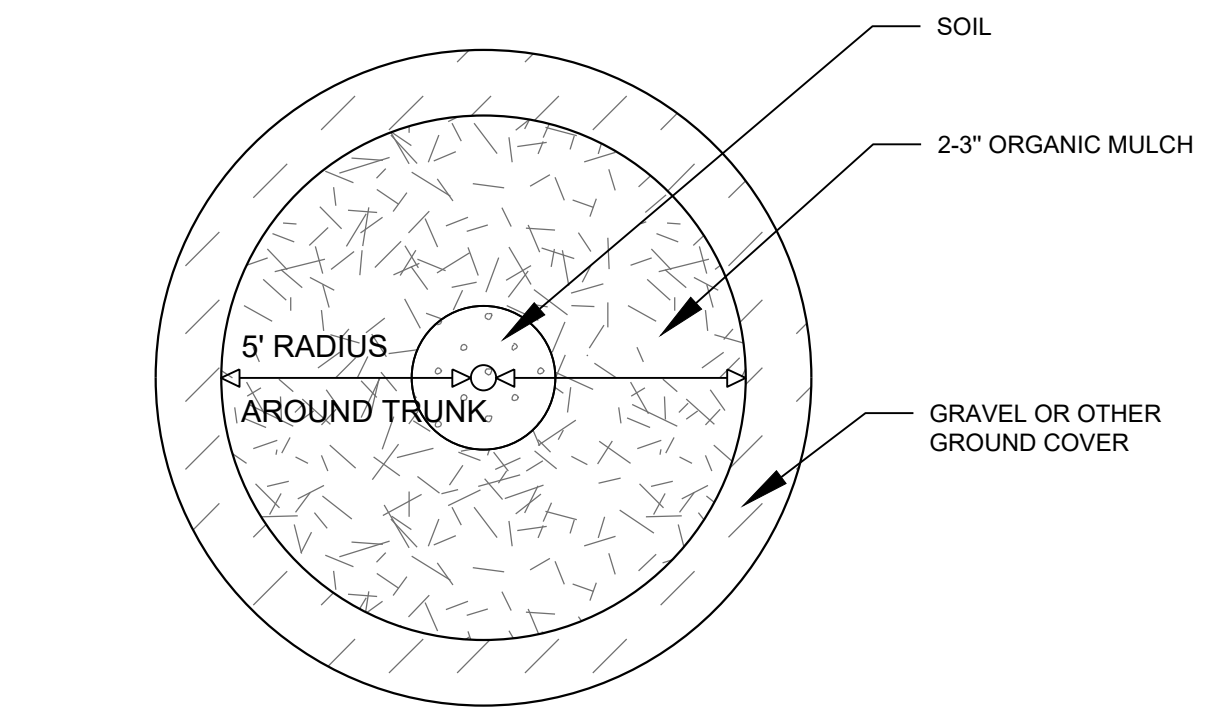
LANDSCAPE DATA		ZONING DESIGNATION	
IDO UPC#	101006305745520820	MX-L	
GROSS LOT AREA (SF)	285,999		
BUILDING AREA (SF)	31,561		
NET LOT AREA (SF)	193,585		
MINIMUM LANDSCAPE AREA (SF) - MINIMUM 15% OF NET LOT AREA*	29,038	REQUIRED	PROVIDED
TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	21,778	35,454	18%
VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	5,445	30,840	106%
* PER IDO 14-16-5-6(C)(5) The use of gravel or crusher fines as ground cover is limited to a maximum 50 percent in DT-UC-MS areas.			
PLANTING AREA MULCH		REQUIRED	PROVIDED
GRAVEL OR CRUSHER FINES (SF)	MAX. 75%	26,548	75%
* PER IDO 14-15-5-6(C)(5) The use of gravel or crusher fines as ground cover is limited to a maximum 50 percent in DT-UC-MS areas.			
STREET TREES - 1 PER 25 LF		REQUIRED	PROVIDED
STREET FRONTAGE (LF)		885	
STREET TREES		36	36
* PER IDO 14-15-5-6(D)(1)(b) TREES THAT ARE PLANTED WITHIN 20 FEET OF THE BACK OF CURB OF THE ABUTTING STREET MAY FULFILL THIS REQUIREMENT.			
PARKING LOT INTERIOR		REQUIRED	PROVIDED
PARKING STALLS		111	
PARKING LOT AREA (SF)		38,049	
LANDSCAPED AREA (10% OF PARKING LOT AREA)*		3,805	28,753
TREES (1 PER 10 PARKING SPACES)		11	14
* PER IDO 14-16-5-6(F)(2), FOR PARKING LOTS CONTAINING 50 OR FEWER SPACES, MINIMUM IS 10% OF PARKING LOT AREA.			
TOTALS		REQUIRED	PROVIDED
TREES		47	67

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY
	LARGE BOULDER	9
	MOUNTAINAIR SUNRISE GOLD 1" GRAVEL 3" DEPTH OVER FILTER FABRIC	
	MOUNTAINAIR BLUSH 1" GRAVEL 3" DEPTH OVER FILTER FABRIC	
	NATIVE MULCH SHREDDED WOOD MULCH 3" DEPTH NOT OVER FILTER FABRIC	
	BLUE SAIS 2-4" ANGULAR COBBLE 4" DEPTH OVER FILTER FABRIC	

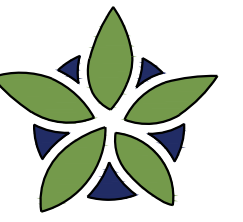


1 TREE PLANTING DETAIL



2 TREE DETAIL





**YELLOWSTONE**  
LANDSCAPE

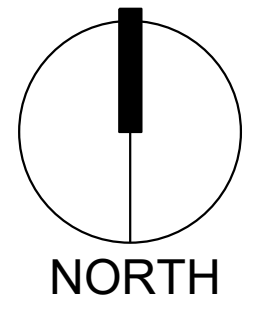
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PO Box 10597  
Albuquerque, NM 87184  
505.898.9615  
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Drawn by: PL  
Reviewed by: CM

Universe View  
Apartment  
Albuquerque, New Mexico



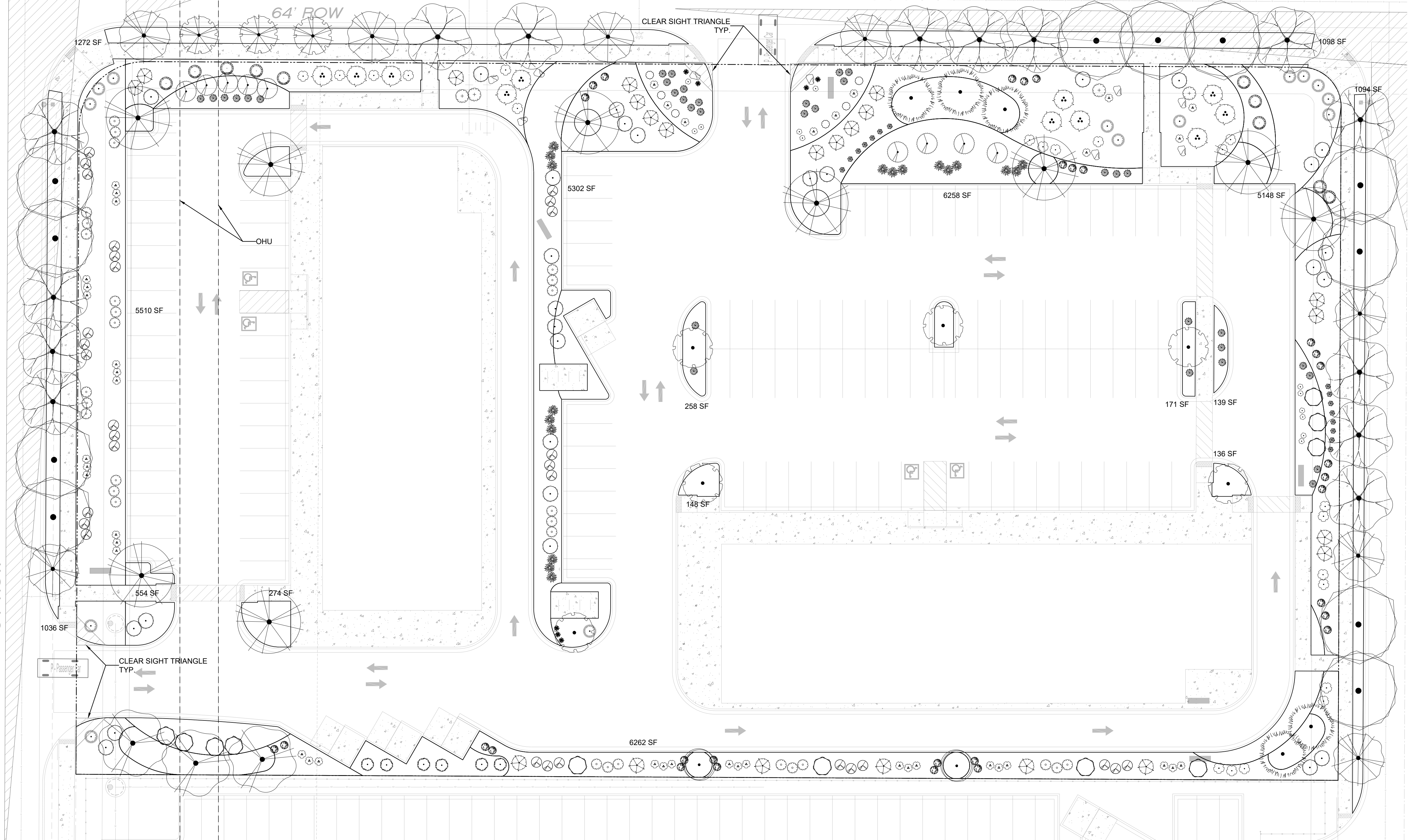
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Sheet Title:  
**Planting Plan**

Sheet Number:  
**LP-01**

UNIVERSE BOULEVARD NW  
64' ROW

ROSA PARKS RD. NW  
64' ROW



**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	H X W
<b>DECIDUOUS TREE</b>					
	11	ACER NEGUNDO 'SENSATION' SENSATION BOX ELDER MAPLE	2" B&B	40' X 30'	600
	3	CHILOPSIS LINEARIS DESERT WILLOW	25 GAL	20' X 25'	491
	3	CRATAEGUS AMBIGUA RUSSIAN HAWTHORN	2" B&B	20' X 15'	177
	9	KOELREUTERIA PANICULATA GOLDEN RAIN TREE	1 1/2" B&B	25' X 25'	491
	6	PYRUS CALLERYANA 'CLEVELAND SELECT' CLEVELAND SELECT PEAR	2" B&B	25' X 15'	177
	2	QUERCUS ROBUR 'FASTIGIATA' SKYROCKET® ENGLISH OAK	2" B&B	50' X 15'	177
	14	ULMUS PROPINQUA 'EMERALD SUNSHINE' EMERALD SUNSHINE ELM	2" B&B	35' X 25'	491

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	H X W
<b>EVERGREEN TREE</b>					
	6	JUNIPERUS CHINENSIS 'SPARTAN' SPARTAN JUNIPER	15 GAL	20' X 5'	20
	5	PINUS ELДАРICA AFGHAN PINE	6"	40' X 18'	254
	8	QUERCUS FUSIFORMIS ESCARPMENT LIVE OAK	2" B&B	20' X 20'	314
<b>DESERT ACCENT</b>					
	11	FOUQUIERIA SPLENDENS OCOTILLO	5 GAL	12' X 8'	50
	43	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	3' X 3'	7
<b>PERENNIAL</b>					
	7	ACHILLEA X 'MOONSHINE' MOONSHINE YARROW	1 GAL	2' X 2'	3
	6	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' WHIRLING BUTTERFLIES GAURA	1 GAL	3' X 3'	7
	12	NEPETA X FAASSENII 'SELECT BLUE' CATMINT	1 GAL	1' X 2'	3

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	H X W
<b>ORNAMENTAL GRASS</b>					
	35	BOUTELLOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7
	15	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	1 GAL	30" X 2'	3
<b>DECIDUOUS SHRUBS</b>					
	11	BUDDLEJA DAVIDII BUTTERFLY BUSH	5 GAL	5' X 7'	38
	30	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' BLUE MIST SPIREA	5 GAL	3' X 3'	7
	28	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	5 GAL	2' X 6'	28
	9	ROSA WOODSII MOUNTAIN ROSE	5 GAL	6' X 8'	50
<b>EVERGREEN SHRUBS</b>					
	21	ARTEMISIA FILIFOLIA SAND SAGEBRUSH	5 GAL	4' X 4'	13
	22	CYTISUS SCOPARIUS 'ALL GOLD' SCOTCH BROOM	5 GAL	4' X 6'	28
	30	ERICAMERIA LARICIFOLIA TURPENTINE BUSH	5 GAL	3' X 4'	13
	4	ERICAMERIA NAUSEOSA CHAMISA	5 GAL	5' X 5'	20

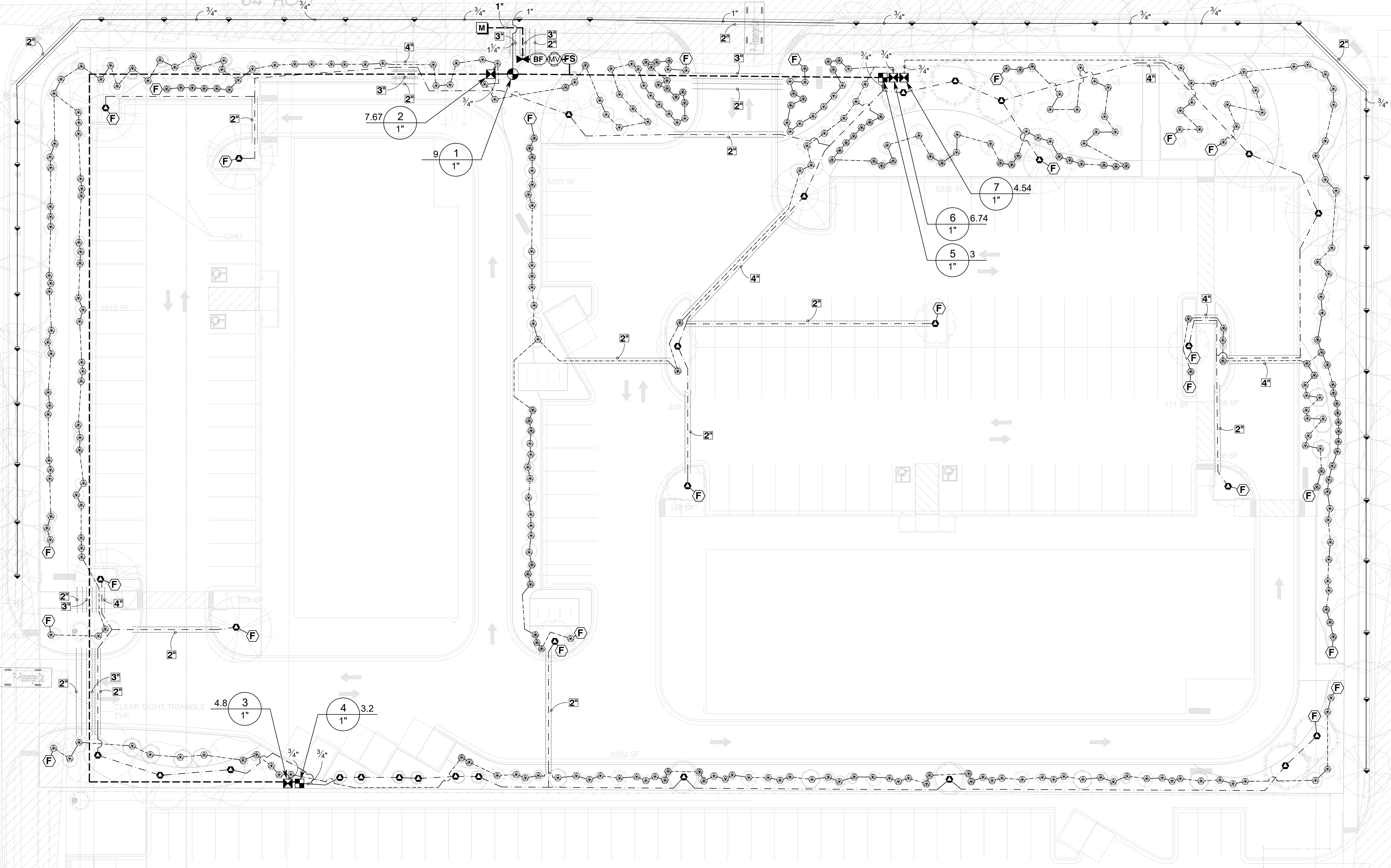
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	H X W
	14	JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER	5 GAL	2' X 5'	20
	10	PINUS MUGO MUGO PINE	5 GAL	4' X 5'	20
	30	RHAPHIOLEPIS INDICA INDIAN HAWTHORN	5 GAL	3' X 4'	13
	18	ROSMARINUS OFFICINALIS 'ARP' ARP ROSEMARY	5 GAL	6' X 4'	13



# ROSA PARKS RD. NW

64' ROW

UNIVERSE BOULEVARD NW  
64' ROW



## IRRIGATION NOTES

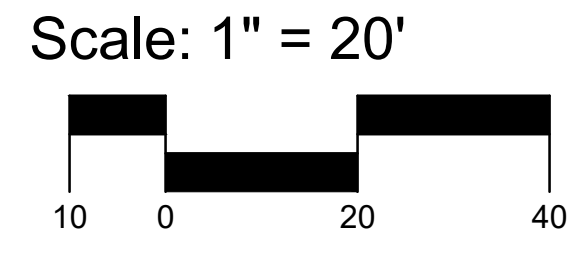
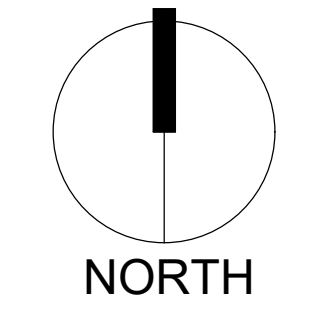
1. THE LANDSCAPE CONTRACTOR SHALL FURNISH LABOR, MATERIALS AND EQUIPMENT TO INSTALL PROPOSED IRRIGATION SYSTEM AS SHOWN PER PLAN AND DETAILS.
2. IF ANY ERRORS OR DISCREPANCIES APPEAR ON THE PLAN, THEY MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION OF THE IRRIGATION SYSTEM BEGINS.
3. LANDSCAPE INSTALLER SHALL PERFORM PRESSURE/GPM TEST AT POINT OF CONNECTION BEFORE INSTALLING IRRIGATION SYSTEM TO VERIFY PSI AND GPM FOR THE SITE.
4. IRRIGATION SYSTEM HAS BEEN DESIGNED TO A MINIMUM DYNAMIC PRESSURE OF 75 PSI AT 50 GPM. IF THE PSI/GPM ARE LOWER THAN 75/50 THE LANDSCAPE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.
5. THE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS AND MAKE ANY NECESSARY FIELD ADJUSTMENTS WITH GENERAL CONTRACTOR.
6. THE LOCATION OF IRRIGATION EQUIPMENT IS APPROXIMATE AND SHALL BE LOCATED IN THE LANDSCAPE AREAS. ANY IRRIGATION EQUIPMENT AND PIPING SHOWN OUTSIDE OF LANDSCAPE AREAS ARE FOR GRAPHIC CLARITY ONLY.
7. THE LANDSCAPE CONTRACTOR SHALL PROVIDE TO OWNER AN ACCURATE AS-BUILT IRRIGATION PLAN WHEN THE WORK IS COMPLETED. AS-BUILT DOCUMENTS SHOULD BE UPDATED WEEKLY FOR ACCURATE RECORDING OF IRRIGATION SYSTEM.
8. VALVE LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT. VALVE BOX LIDS TO BE TAN IN GRAVEL AREAS AND GREEN IN SOD/SEED AREAS.
9. ALL PLANTS WITHIN THE PROPERTY LINE SHALL BE IRRIGATED BY LOW FLOW POINT-SOURCE DRIP IRRIGATION SYSTEM.
10. ALL PLANTS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY BUBBLER IRRIGATION SYSTEM PER COA SPEC. ALL PLANTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE ZONED SEPARATELY FROM THE PLANTS WITHIN THE PROPERTY LINE.
11. POWER FOR IRRIGATION SYSTEM TO BE PROVIDED BY THE GENERAL CONTRACTOR. 110V POWER IS REQUIRED AT THE LOCATIONS OF THE IRRIGATION CONTROLLER AND BACKFLOW PREVENTER.
12. BACKFLOW PREVENTER MUST BE TESTED AND CERTIFIED BEFORE FINAL ACCEPTANCE OF THE JOB.
13. CONTROLLER LOCATION IS APPROXIMATE AND THE FINAL LOCATION WILL BE DETERMINED IN THE FIELD.
14. SLEEVES TO BE INSTALLED, AS SHOWN PER PLAN, BEFORE HARDSCAPE IS INSTALLED. THE LANDSCAPE CONTRACTOR MUST BE GIVEN A MINIMUM OF 72 HOUR NOTICE BEFORE SLEEVE LOCATIONS ARE PAVED OVER.
15. WATER METER TO BE PROVIDED BY OTHERS.

**YELLOWSTONE**  
LANDSCAPE  
www.yellowstonelandscape.com  
PO Box 10597  
Albuquerque, NM 87184  
505.898.9615  
design@yellowstonelandscape.com



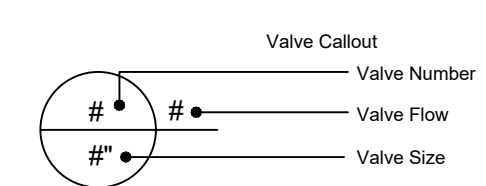
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 Reviewed by: CM

**Universe View**  
**Commercial**  
 Albuquerque, New Mexico



## IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
1401 1402 1404 1406	RAIN BIRD 1800-1400 FLOOD FIXED FLOW RATE 0.25 GPM - 2.0 GPM, FULL CIRCLE BUBBLER, 1/2IN. FIPT.	⊗	CONTROL VALVE RAIN BIRD PEB, 1IN., 1-1/2IN., 2IN. PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	FS	FLOW SENSOR CREATIVE SENSOR TECHNOLOGY FSI-T10-001 1IN. PVC TEE TYPE FLOW SENSOR W/SOCKET ENDS. CUSTOM MOUNTING TEE AND ULTRA-LIGHTWEIGHT IMPELLER ENHANCES LOW FLOW MEASUREMENT. 2 WIRE DIGITAL OUTPUT COMPATIBLE WALL IRRIGATION CONTROLLERS. FLOW RANGE: .88 GPM - 52 GPM.
⊗	DRIP CONTROL VALVE - SHRUB RAIN BIRD XCZ-100-PRF, MEDIUM FLOW DRIP CONTROL KIT, 1IN. DV VALVE, 1IN. PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 5 GPM-20 GPM.	⊗	MAIN SHUT OFF VALVE SPEARS SCH80 PVC COMPACT BALL VALVE	M	WATER METER 1" IRRIGATION WATER METER
⊗	DRIP CONTROL VALVE - TREE RAIN BIRD XCZ-100-PRF, MEDIUM FLOW DRIP CONTROL KIT, 1IN. DV VALVE, 1IN. PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3 GPM-15 GPM.	⊗	MASTER VALVE 1" RAIN BIRD PEB, 1IN., 1-1/2IN., 2IN. PLASTIC INDUSTRIAL MASTER VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40
⊗	FLUSH CAP NDS CEP900	⊗	REDUCED PRESSURE BACKFLOW PREVENTER 1" FEBCO 825Y	---	IRRIGATION LATERAL LINE: A940 DRIP POLYLINE - SHRUBS
⊗	DRIP EMITTER - SHRUB (2) NDS TAE 20 DRIP EMITTERS	⊗	CONTROLLER - RAIN BIRD ESP-LXD 50-200 STATION, 2-WIRE DECODER BASED CONTROLLER. (1) ESP-LXD 50-STATION, INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE. SYSTEM REQUIREMENTS: RAIN BIRD FD-XXX-TURF FIELD DECODERS, PAIGE ELECTRIC CABLE P7072D & RAIN BIRD WC20 DRY SPLICES ONLY. GROUND SYSTEM W/ (X) LSP-TURF LINE SURGE PROTECTORS IN RAIN BIRD ROUND VALVE BOXES. INSTALL PER MANUFACTURERS RECOMMENDATIONS. TO BE LOCATED ON SITE.	---	IRRIGATION LATERAL LINE: A940RDS DRIP POLYLINE - TREES
⊗	DRIP EMITTER - TREE (6) NDS TAE 20 DRIP EMITTERS	C		---	IRRIGATION MAINLINE: PVC SCHEDULE 40
				---	PIPE SLEEVE: PVC CLASS 200 SDR 21

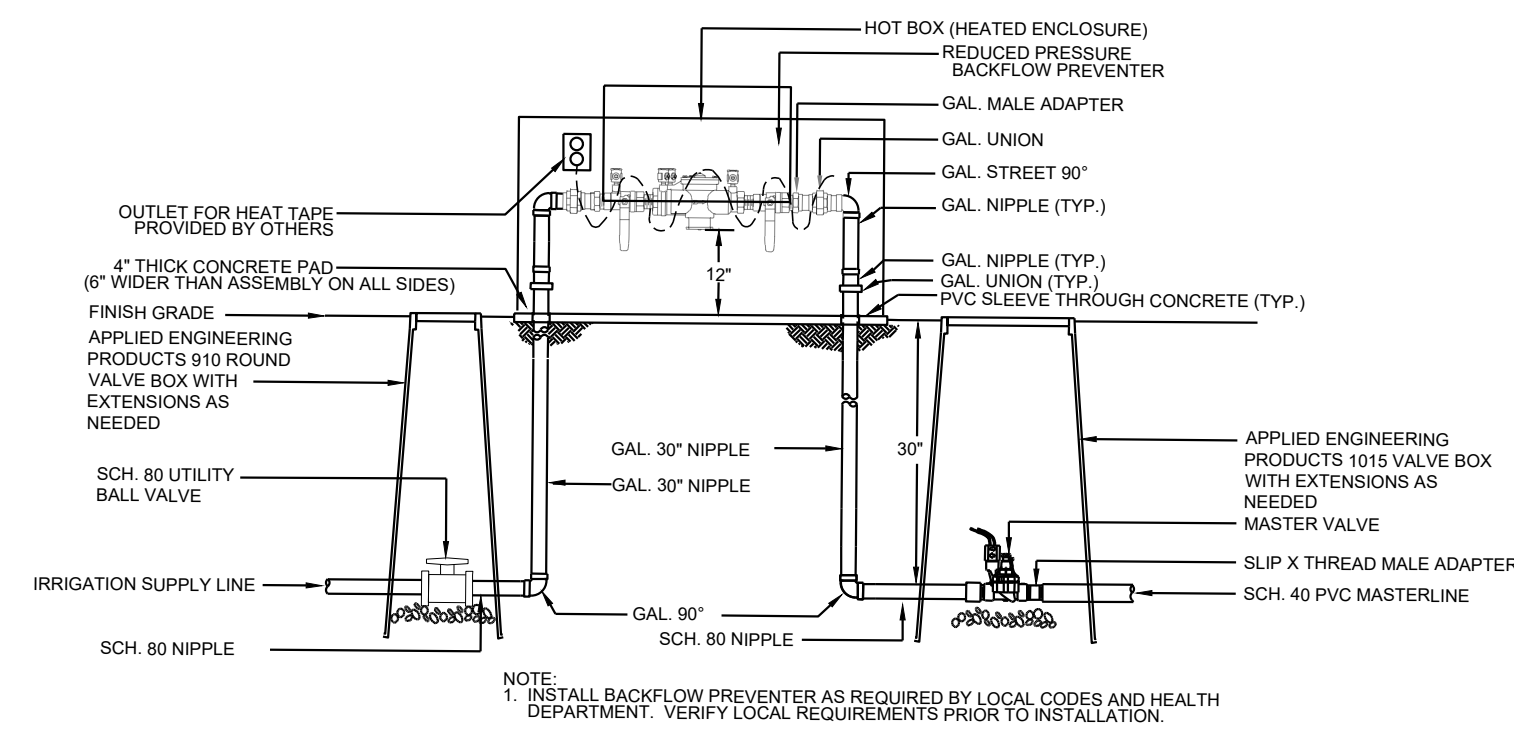


Sheet Title:  
**Irrigation**  
**Plan**

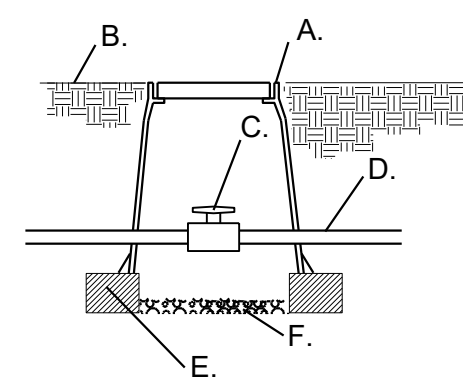
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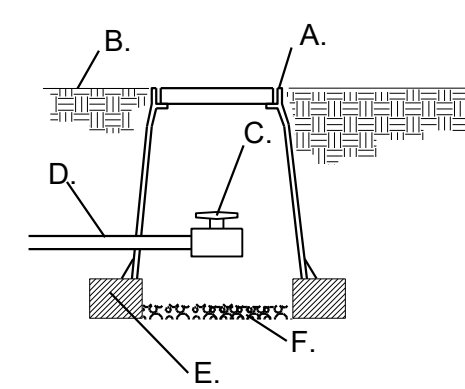




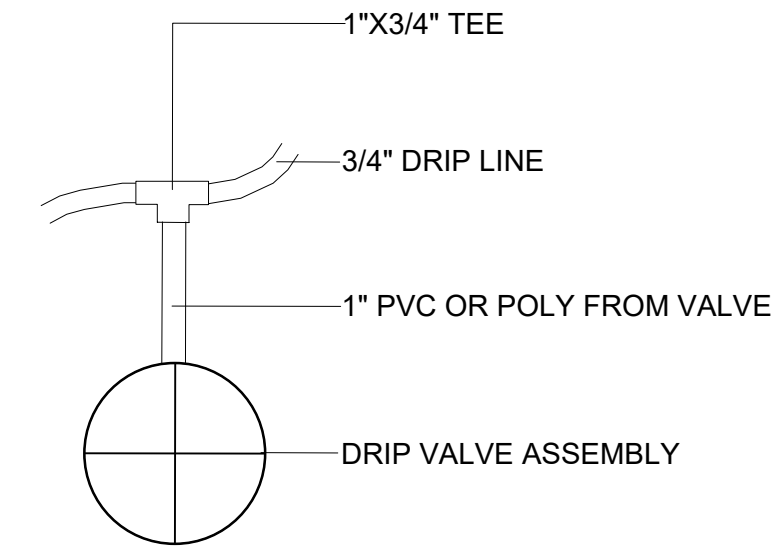
1 RP BACKFLOW/MASTER VALVE DETAIL N.T.S.



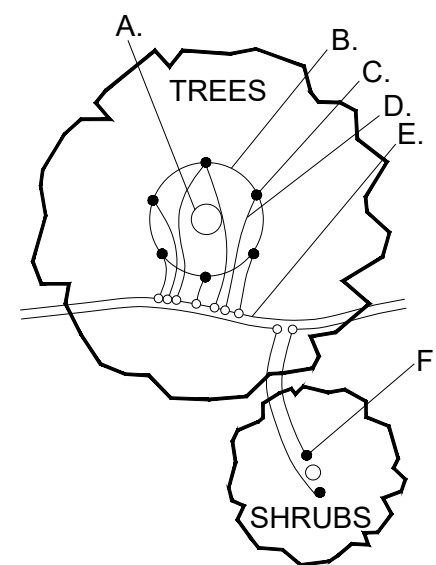
2 MAINLINE ISOLATION VALVE DETAIL N.T.S.



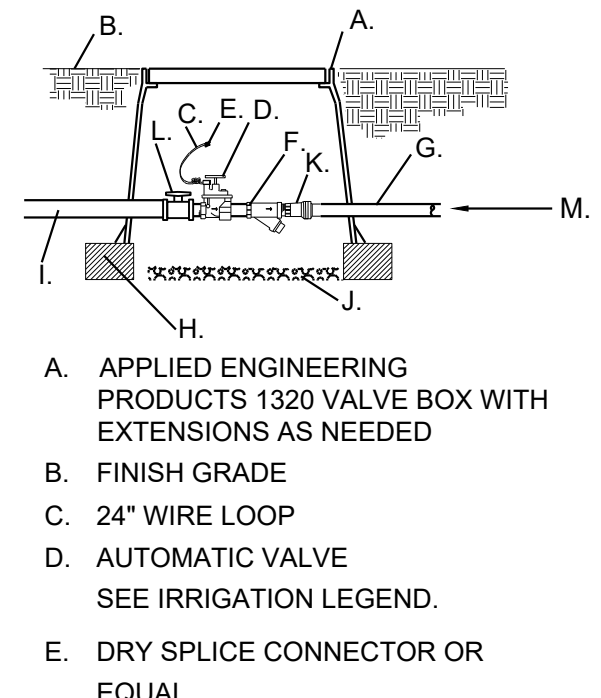
3 MANUAL DRAIN VALVE DETAIL N.T.S.



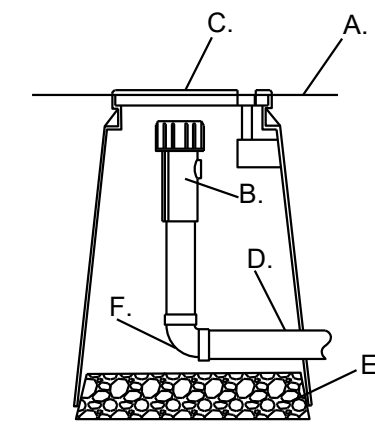
4 DRIP VALVE DETAIL N.T.S.



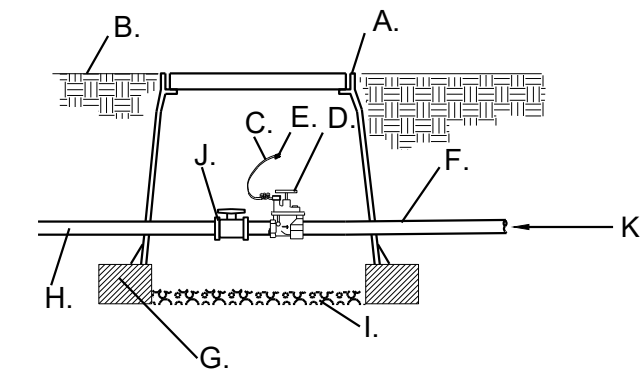
5 EMITTER PLACEMENT DETAIL N.T.S.



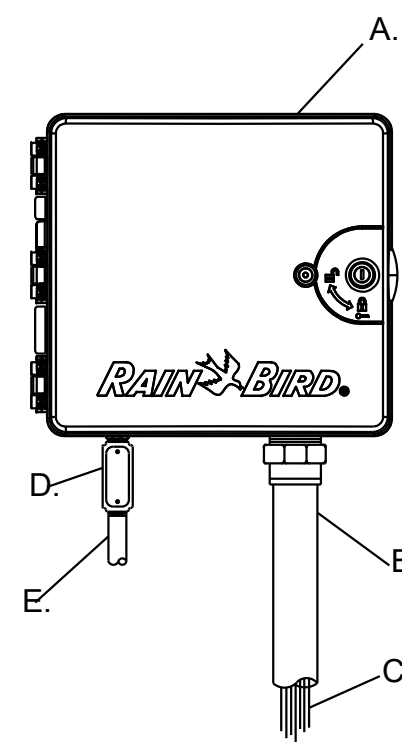
6 DRIP VALVE WITH FILTER & PRESSURE REGULATOR N.T.S.



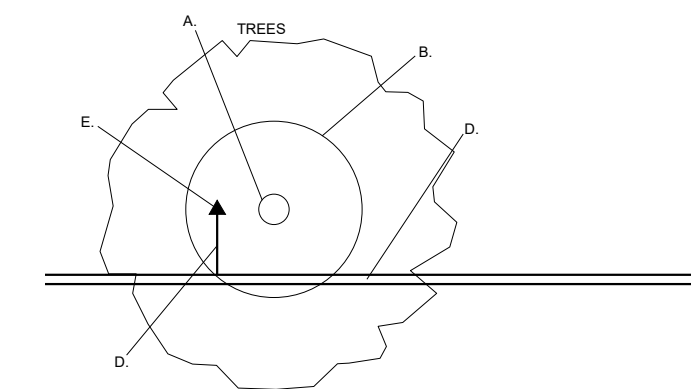
7 END FLUSH CAP N.T.S.



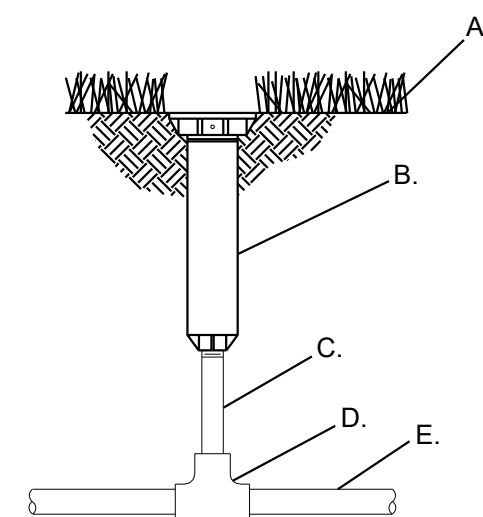
8 AUTOMATIC VALVE N.T.S.



9 WALL MOUNTED AUTOMATIC CONTROLLER N.T.S.



10 BUBBLER PLACEMENT DETAIL N.T.S.



11 ROTATOR SPRINKLER N.T.S.

- A. APPLIED ENGINEERING PRODUCTS 910 ROUND VALVE BOX WITH EXTENSIONS AS NEEDED
- B. FINISH GRADE
- C. SCH. 80 UTILITY BALL VALVE
- D. MAINLINE/24" BURY
- E. 8" X 8" X 16" CMU CONCRETE BLOCK
- F. 4" LAYER OF 3/4" GRAVEL

- A. APPLIED ENGINEERING PRODUCTS 910 ROUND VALVE BOX WITH EXTENSIONS AS NEEDED
- B. FINISH GRADE
- C. SCH. 80 UTILITY BALL VALVE
- D. MAINLINE/24" BURY
- E. 8" X 8" X 16" CMU CONCRETE BLOCK
- F. 3/4" GRAVEL SUMP UNDER MANUAL DRAIN TO BE A MINIMUM OF 12" DEEP

- A. TREE TRUNK/ ROOT CROWN
  - B. 24" CIRCLE FROM TRUNK
  - C. EMITTERS
  - D. 1/4" DISTRIBUTION LINE
  - E. PE DRILINE
  - F. EMITTER PLACED WITHIN 6" OF PLANT STEM
- NOTE: INSTALL EMITTERS ABOVE THE ROOT BALL IF PLANT IS INSTALLED ON A SLOPE.

- F. "WYE" STRAINER STRAINER SHALL BE INSTALLED TO PROVIDE ACCESS FOR MAINTENANCE AND REPLACEMENT OF FILTER
- G. LATERAL LINE/24" BURY
- H. 8" X 8" X 16" CMU CONCRETE BLOCK
- I. MASTERLINE/24" BURY
- J. 4" LAYER OF 3/4" GRAVEL
- K. PRESSURE REGULATOR
- L. SCH. 80 TRUE UNION BALL VALVE
- M. SCH. 40 PVC LATERAL LINE

- A. FINISH GRADE
- B. END FLUSH CAP
- C. 6" ROUND BOX WITH LID
- D. 3/4" POLY DRIP PIPE
- E. 2" DEPTH OF GRAVEL
- F. 90° FITTING

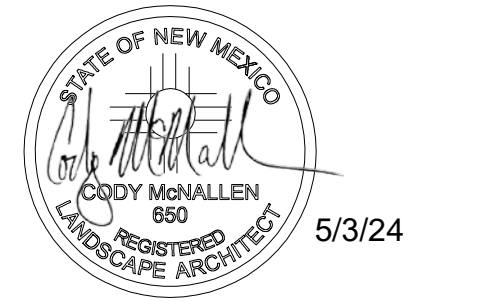
- A. CONTROLLER (see plan for model)
- B. 2" PVC SCH. 40 CONDUIT AND FITTINGS
- C. WIRES TO REMOTE CONTROL VALVES
- D. JUNCTION BOX
- E. 1" PVC SCH. 40 CONDUIT AND FITTINGS TO POWER SUPPLY

- A. TREE TRUNK/ ROOT CROWN
  - B. 36" DIA BERM AROUND TREE
  - C. 24" DIA BERM AROUND SHRUB
  - D. PVC LATERAL PIPE (SIZE VARIES)
  - E. BUBBLER PLACED 6" INSIDE BERM
- NOTE: INSTALL BUBBLER(S) ABOVE THE ROOT BALL IF PLANT IS INSTALLED ON A SLOPE.

- A. FINISH GRADE
- B. POP-UP SPRAY SPRINKLER: RAIN BIRD 1804-SAM-PRS BODY WITH RAINBIRD R-VAN NOZZLE
- C. PVC SCH.40 NIPPLE
- D. PVC SCH.40 TEE
- E. PVC LATERAL LINE

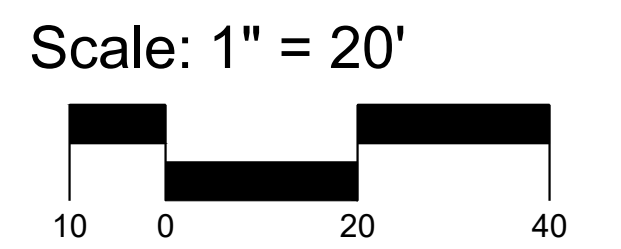
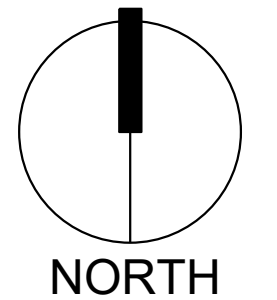
**IRRIGATION NOTES**

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH LABOR, MATERIALS AND EQUIPMENT TO INSTALL PROPOSED IRRIGATION SYSTEM AS SHOWN PER PLAN AND DETAILS.
2. IF ANY ERRORS OR DISCREPANCIES APPEAR ON THE PLAN, THEY MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION OF THE IRRIGATION SYSTEM BEGINS.
3. LANDSCAPE INSTALLER SHALL PERFORM PRESSURE/GPM TEST AT POINT OF CONNECTION BEFORE INSTALLING IRRIGATION SYSTEM TO VERIFY PSI AND GPM FOR THE SITE.
4. IRRIGATION SYSTEM HAS BEEN DESIGNED TO A MINIMUM DYNAMIC PRESSURE OF 75 PSI AT 50 GPM. IF THE PSI/GPM ARE LOWER THAN 75/50 THE LANDSCAPE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.
5. THE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS AND MAKE ANY NECESSARY FIELD ADJUSTMENTS WITH GENERAL CONTRACTOR.
6. THE LOCATION OF IRRIGATION EQUIPMENT IS APPROXIMATE AND SHALL BE LOCATED IN THE LANDSCAPE AREAS. ANY IRRIGATION EQUIPMENT AND PIPING SHOWN OUTSIDE OF LANDSCAPE AREAS ARE FOR GRAPHIC CLARITY ONLY.
7. THE LANDSCAPE CONTRACTOR SHALL PROVIDE TO OWNER AN ACCURATE AS-BUILT IRRIGATION PLAN WHEN THE WORK IS COMPLETED. AS-BUILT DOCUMENTS SHOULD BE UPDATED WEEKLY FOR ACCURATE RECORDING OF IRRIGATION SYSTEM.
8. VALVE LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT. VALVE BOX LIDS TO BE TAN IN GRAVEL AREAS AND GREEN IN SOI/SEED AREAS.
9. ALL PLANTS WITHIN THE PROPERTY LINE SHALL BE IRRIGATED BY LOW FLOW POINT-SOURCE DRIP IRRIGATION SYSTEM.
10. ALL PLANTS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY BUBBLER IRRIGATION SYSTEM PER COA SPEC. ALL PLANTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE ZONED SEPARATELY FROM THE PLANTS WITHIN THE PROPERTY LINE.
11. POWER FOR IRRIGATION SYSTEM TO BE PROVIDED BY THE GENERAL CONTRACTOR. 110V POWER IS REQUIRED AT THE LOCATIONS OF THE IRRIGATION CONTROLLER AND BACKFLOW PREVENTER.
12. BACKFLOW PREVENTER MUST BE TESTED AND CERTIFIED BEFORE FINAL ACCEPTANCE OF THE JOB.
13. CONTROLLER LOCATION IS APPROXIMATE AND THE FINAL LOCATION WILL BE DETERMINED IN THE FIELD.
14. SLEEVES TO BE INSTALLED, AS SHOWN PER PLAN, BEFORE HARDSCAPE IS INSTALLED. THE LANDSCAPE CONTRACTOR MUST BE GIVEN A MINIMUM OF 72 HOUR NOTICE BEFORE SLEEVE LOCATIONS ARE PAVED OVER.
15. WATER METER TO BE PROVIDED BY OTHERS.



Date: 04/08/2024  
Revisions:  
△ 04/29/2024  
△ \_\_\_\_\_  
△ \_\_\_\_\_  
△ \_\_\_\_\_  
△ \_\_\_\_\_  
Drawn by: PL  
Reviewed by: CM

**Universe View Commercial**  
Albuquerque, New Mexico



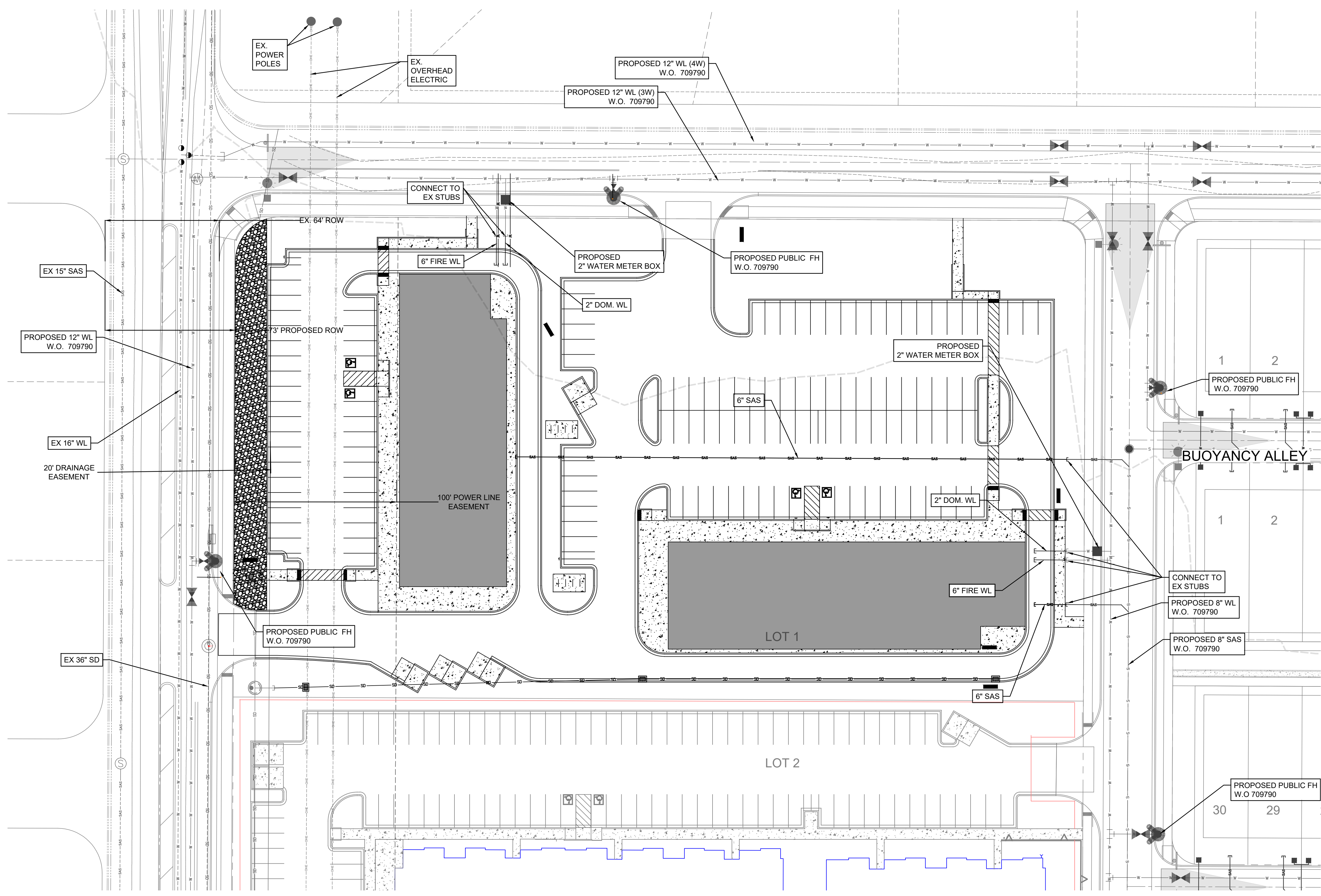
Sheet Title:  
**Irrigation Plan**

Sheet Number:

**LI-02**



Plotted: 4/22/2024 10:34:56 AM. By: Duneman, Donnie  
 Hydro(R)314494.01 - Volcano Cills Subdivision U17 B9 L1110 CADD & BIM10.1 AutoCAD/Sheet  
 S:\COMERCIAL\314494 - Utility Plan Commercial.dwg  
 User: dave@pr.com Date: 4/22/2024 10:34:56 AM



- GENERAL NOTES**
- SD/SAS MANHOLES SHALL BE INSTALLED PER CORR STD DWG S-03-01, MH FRAME & COVER PER CORR STD DWG S-02 AND MH CONC. COLLAR PER CORR STD DWG S-01.
  - SD/SAS DROP MANHOLES SHALL BE INSTALLED PER CORR STD DWG S-10 & S-03-01, MH FRAME & COVER PER CORR STD DWG S-02 AND MH CONC. COLLAR PER CORR STD DWG S-01.
  - FIRE HYDRANT ASSEMBLIES SHALL BE FULLY RESTRAINED PER CORR STD DWG W-15.
  - GATE VALVES SHALL BE FULLY RESTRAINED WITH CONCRETE COLLARS PER CORR STD DWG W-05. GATE VALVES WILL BE OPERATED BY THE CITY ONLY.
  - FITTINGS SHALL BE FULLY RESTRAINED MARKER BALL PER CORR STD DWG GU-01.
  - SD PIPE MATERIAL PER NMDOT SECTION 570
  - ALL CONCRETE PADS FOR UTILITY WORK MUST BE PLACED 3" ABOVE FINISHED GRADE.
  - WORK WITHIN CITY OF RIO RANCHO RIGHT OF WAY IS BY A SEPARATE PERMIT.

- NOTE:**
- WORK ORDER 709790 INFRASTRUCTURE MUST BE COMPLETED PRIOR TO ACQUIRING SERVICE FOR THIS COMMERCIAL DEVELOPMENT PROJECT.
  - INFRASTRUCTURE INCLUDED IN WORK ORDER 709790 INCLUDES ALL PAVING, SANITARY SEWER, WATER LINE, AND DRAINAGE IMPROVEMENTS WITHIN UNIVERSE BOULEVARD, SPINNING BALL AVENUE AND CURVED WATER DRIVE. ALL INFRASTRUCTURE WITHIN PUBLIC RIGHT-OF-WAY IS PUBLIC.
  - ALL IMPROVEMENTS WITHIN LOT 1 ARE PRIVATE UNLESS OTHERWISE NOTED.
  - COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
  - COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

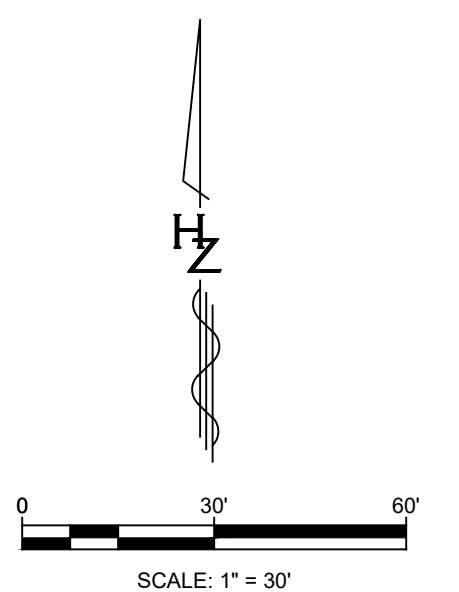
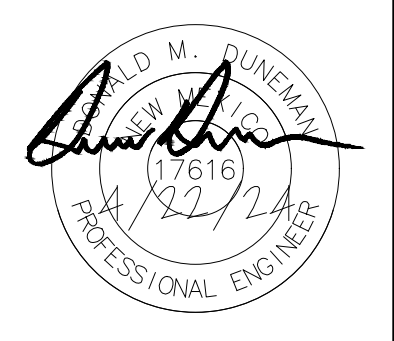
Designed By:  
**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc. Rio Rancho  
 333 Rio Rancho Drive, Suite 100  
 Rio Rancho, New Mexico 87124  
 Phone (505) 892-5141 Fax (505) 892-3259

**UNIVERSE VIEW SUBDIVISION  
 COMMERCIAL PROPERTY**

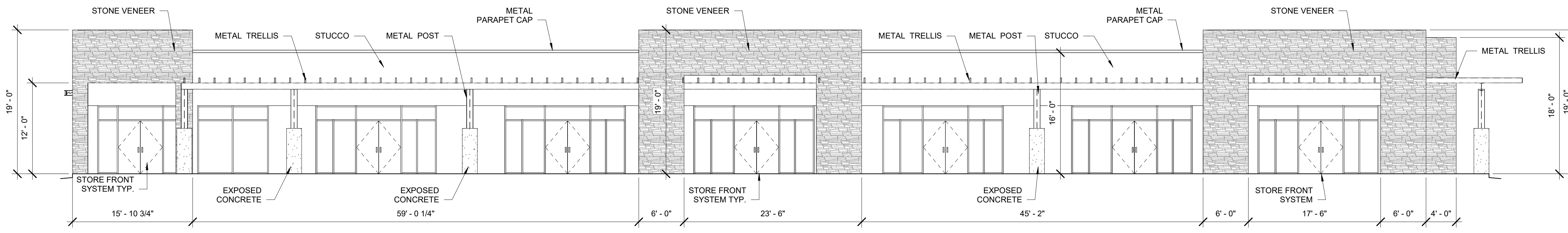
TITLE: **CONCEPTUAL UTILITY PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. <b>709790</b>	Zone Map No. <b>D - 10</b>	Sheet <b>4</b>	Of <b>5</b>
PROJECT NO. <b>PR-2020-004596</b>		SHEET	

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	FOUND MONUMENT	DATE	FIELD NOTES	DATE
STANBY	-	STANDARD 3 1/4" ALUMINUM DISC	-	BY	-
FIELD ACCEPTANCE BY	-	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE N.A.D. 1983)	-	NO.	-
FIELD REVISION BY	-	N=157,627,946	-		
DRAWINGS BY	-	E=1,499,059,808	-		
CORRECTED BY	-	PUBLISHED EL=5318.888 (NAVD 1988)	-		
	-	GROUND TO GRID FACTOR=0.99672416	-		
	-	MAPPING ANGLE=-0°16'20.35"	-		

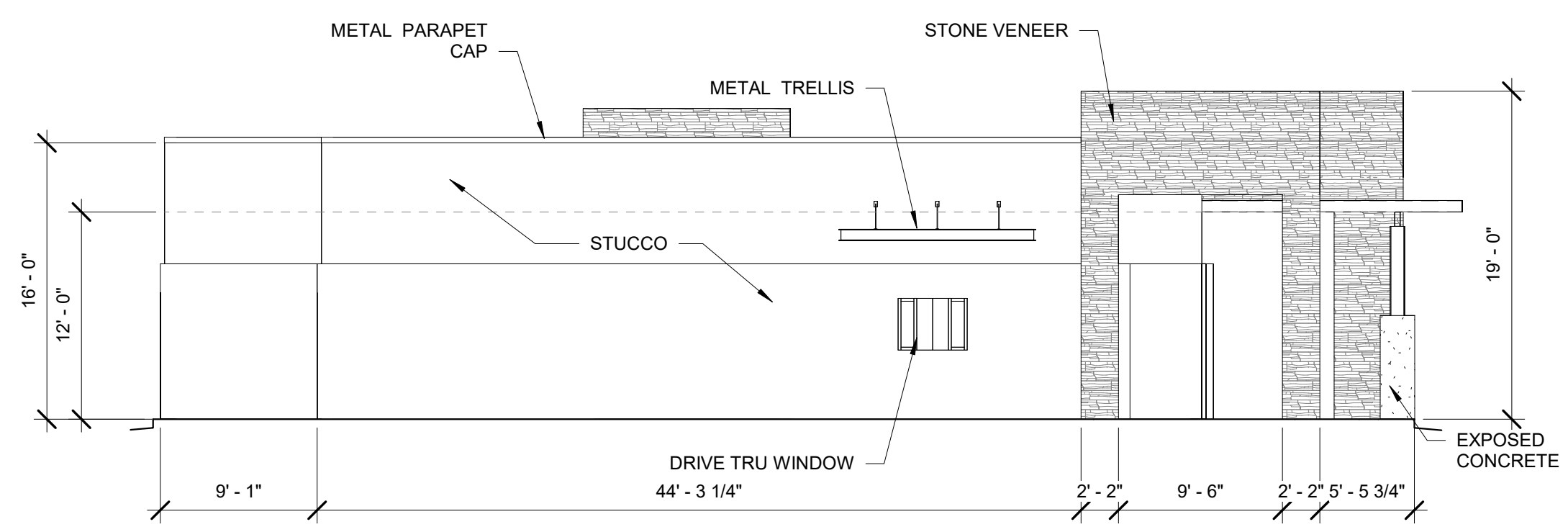






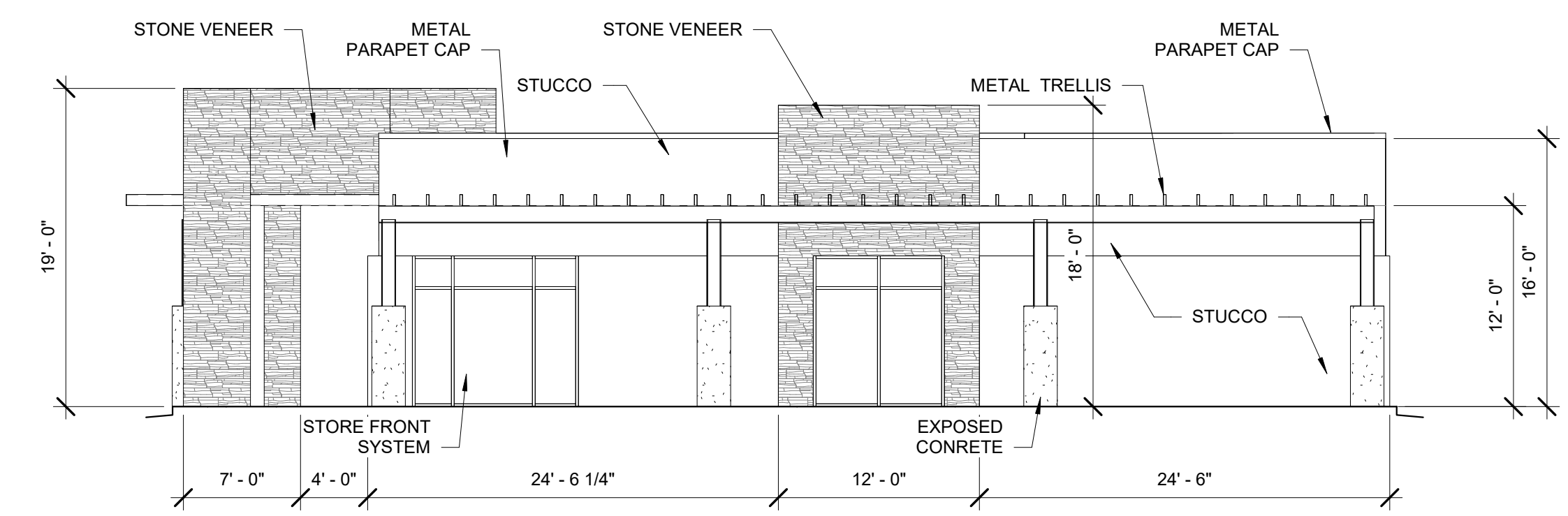
**WEST BUILDING WEST ELEVATION**

1/8" = 1'-0" TOTAL GROUND FLOOR FACADE = 2,197.10 SF  
GLAZING = 1,047 SF  
1047/2197.1 = 47%



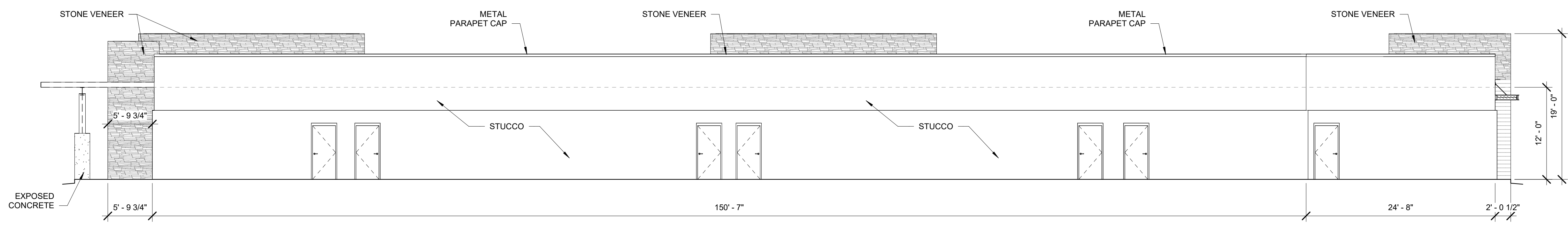
**WEST BUILDING NORTH ELEVATION**

1/8" = 1'-0" TOTAL GROUND FLOOR FACADE = 861.17 SF  
GLAZING = 11.50 SF  
11.50/861.17 = 01%



**WEST BUILDING SOUTH ELEVATION**

1/8" = 1'-0" TOTAL GROUND FLOOR FACADE = 724.17 SF  
GLAZING = 159.75 SF  
159.75/724.17 = 22 %



**WEST BUILDING EAST ELEVATION**

1/8" = 1'-0" TOTAL GROUND FLOOR FACADE = 2,197.10 SF  
GLAZING = 0 SF  
0/2197.1 = 0%

WINDOWS SHALL BE RECESSED 2 INCHES AS PER 14-16-5-11(C)(2)  
PROVIDE LOW-E GLAZING AT ALL WEST FACING FACADES PER IDO 14-16-5-11 (D)(2)(a)(3)  
PROVIDE FULL SHEILDS AT ALL WALL MOUNTED LIGHT FIXTURES

**SCOTT C. ANDERSON & associates architects**  
7604 rio penasco n.w.  
albuquerque, nm 87120  
scott@scottcanderson.com  
505.401.7575

**UNIVERSE VIEW**

**WEST BUILDING ELEVATIONS**

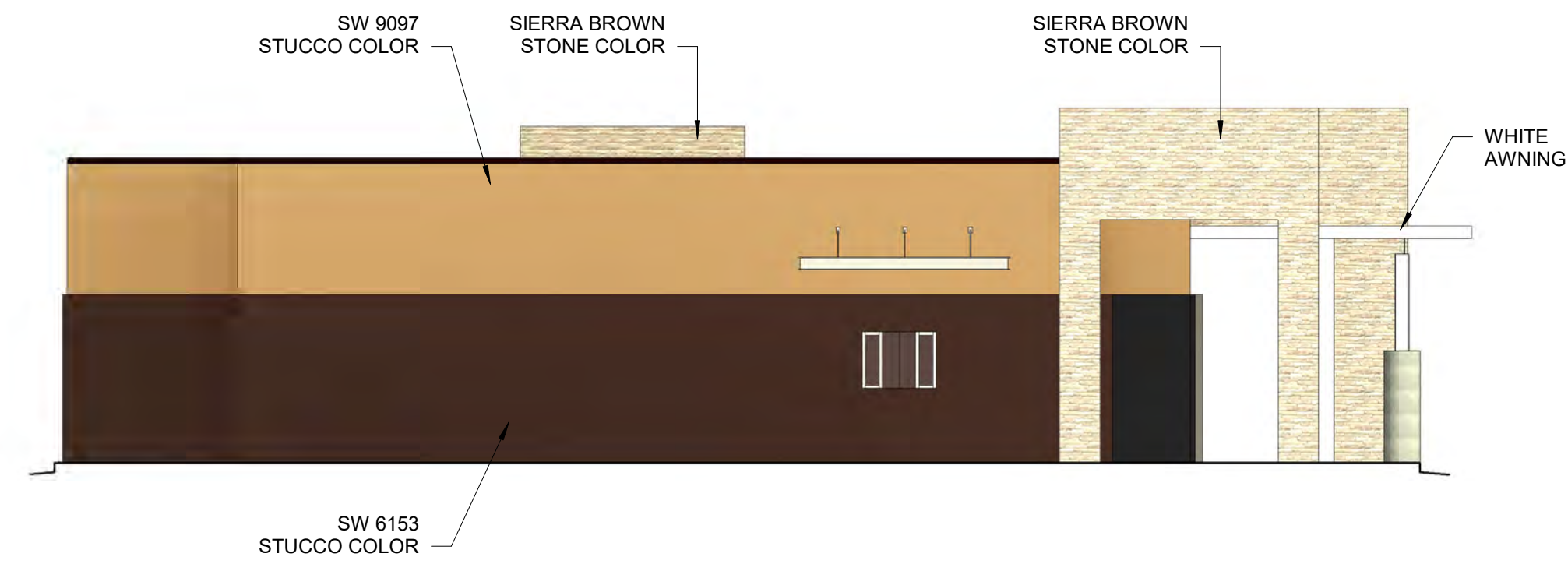
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	CHECKED	Checker	DRAWING NO	
	REVIEWED	Checker		<b>A-201</b>
	DATE	05/15/2024		





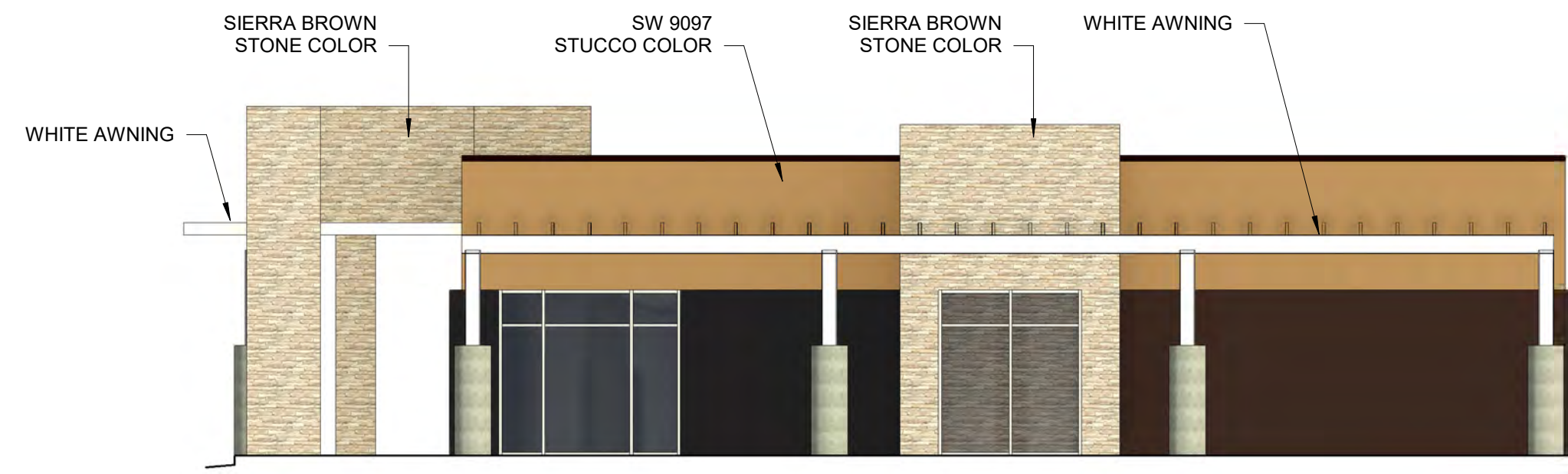
**WEST BUILDING WEST COLOR ELEVATION**

1/8" = 1'-0"



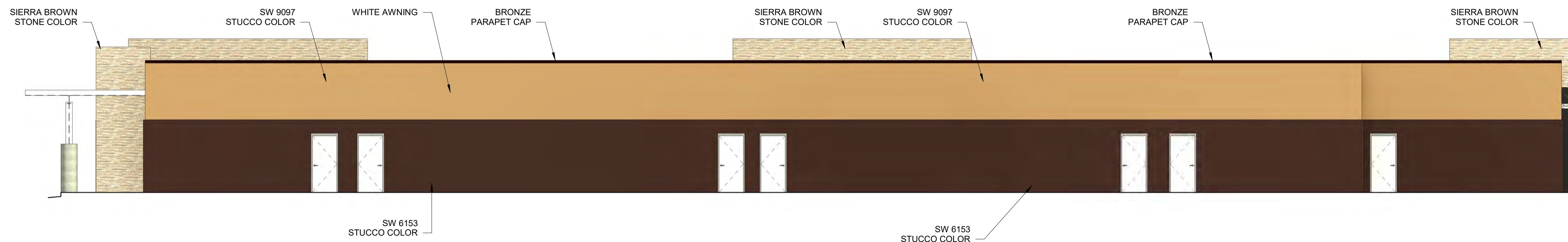
**WEST BUILDING NORTH COLOR ELEVATION**

1/8" = 1'-0"



**WEST BUILDING SOUTH COLOR ELEVATION**

1/8" = 1'-0"



**WEST BUILDING EAST COLOR ELEVATION**

1/8" = 1'-0"

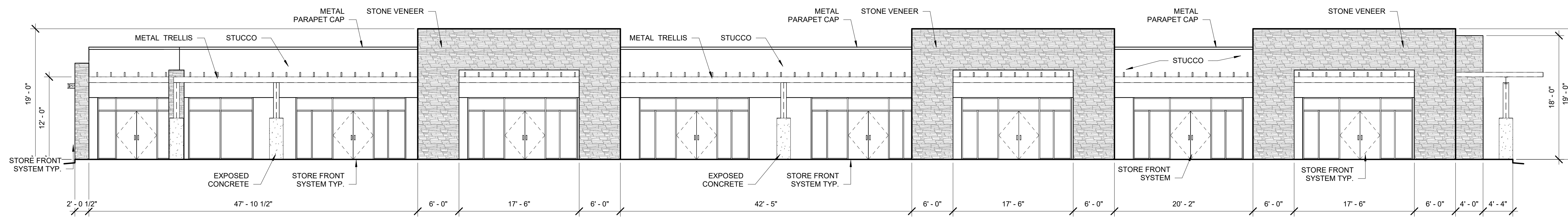
**SCOTT C. ANDERSON**  
 & associates architects  
 7604 rio penasco n.w.  
 albuquerque, nm 87120  
 scott@scottcanderson.com 505.401.7575

**UNIVERSE VIEW**

DRAWING TITLE  
**WEST BUILDING COLOR ELEVATIONS**

	DESIGNED	Designer	PROJECT NO	23-019
	DRAWN	Designer	SCALE	1/8" = 1'-0"
	CHECKED	Checker	DRAWING NO	
	REVIEWED	Checker		<b>A-202</b>
	DATE	05/15/2024		

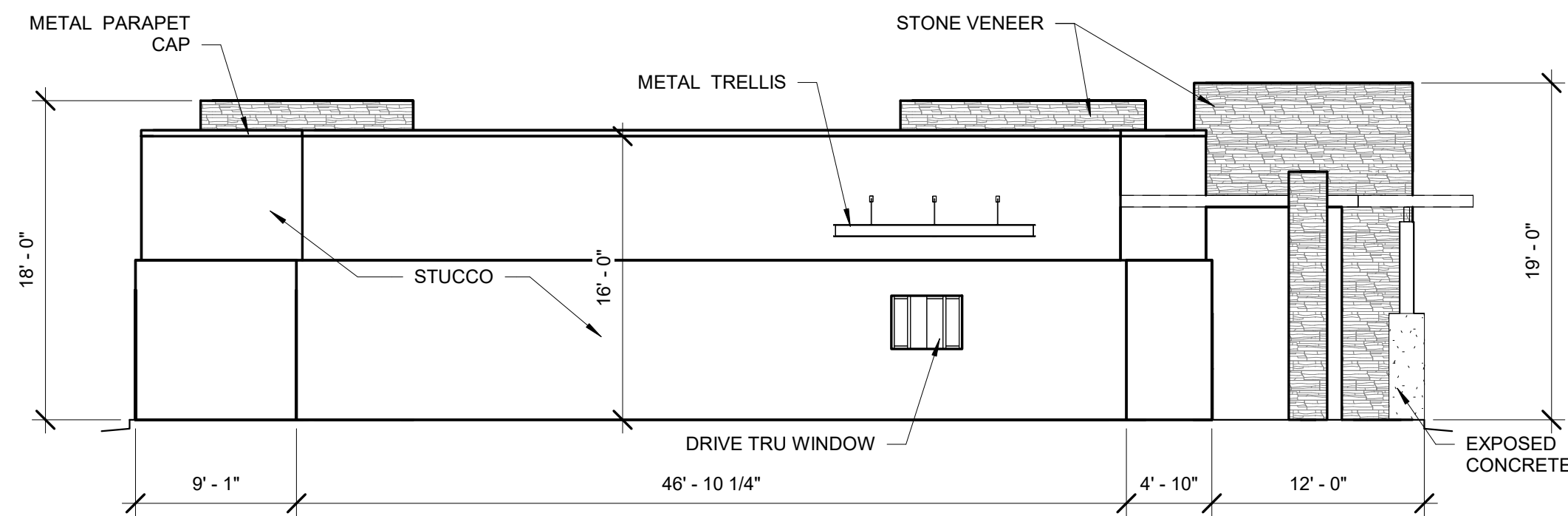




**EAST BUILDING NORTH ELEVATION**

1/8" = 1'-0"

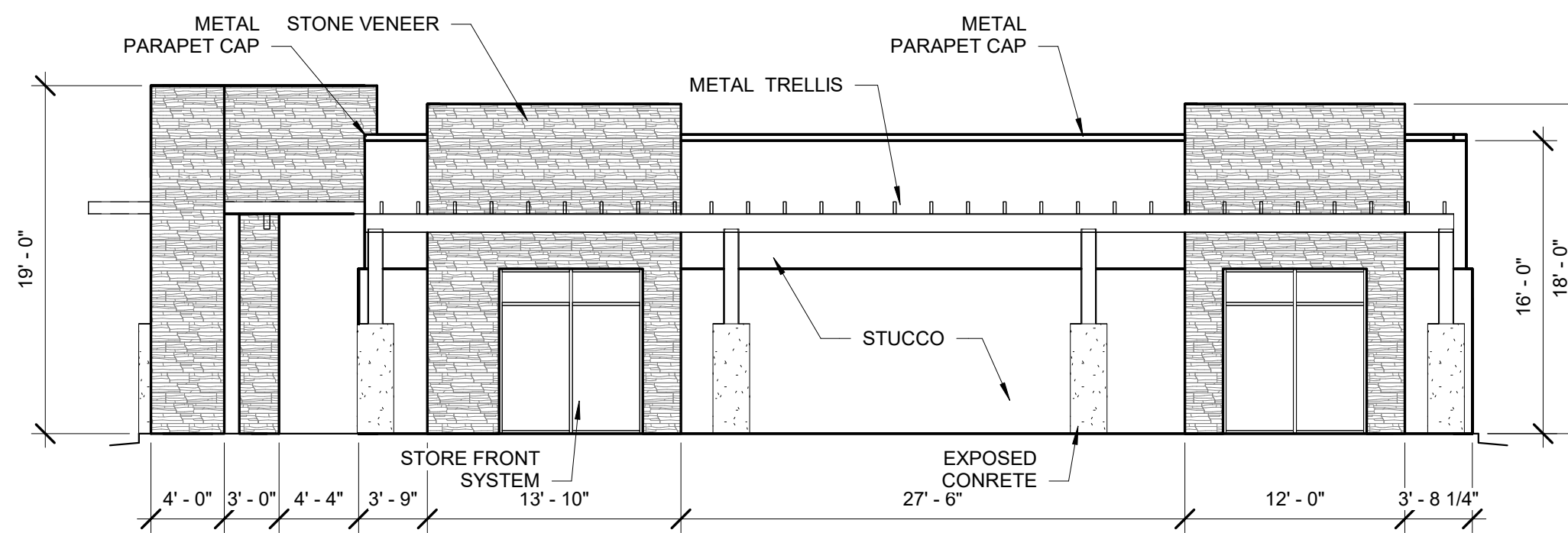
TOTAL GROUND FLOOR FACADE = 2,262.99 SF  
 GLAZING = 1,180.33 SF  
 1180.33/2262.99 = 52%



**EAST BUILDING WEST ELEVATION**

1/8" = 1'-0"

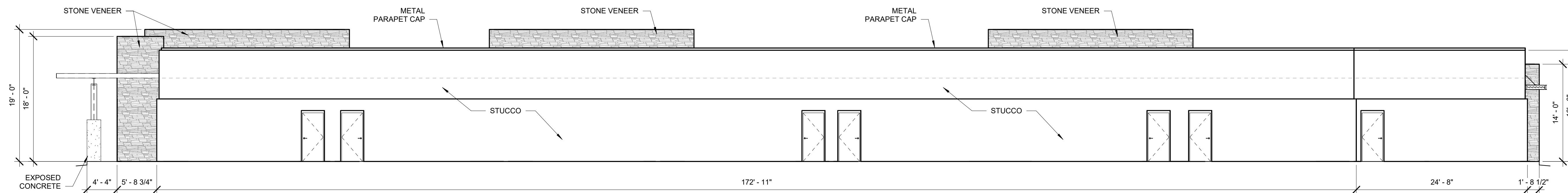
TOTAL GROUND FLOOR FACADE = 800.89 SF  
 GLAZING = 12.00 SF  
 12.00/800.89 = 01%



**EAST BUILDING EAST ELEVATION**

1/8" = 1'-0"

TOTAL GROUND FLOOR FACADE = 789.17 SF  
 GLAZING = 141.00 SF  
 141.00/789.17 = 17%



**EAST BUILDING SOUTH ELEVATION**

1/8" = 1'-0"

TOTAL GROUND FLOOR FACADE = 2,262.99 SF  
 GLAZING = 0.00.33 SF  
 0.00/2262.99 = 0%

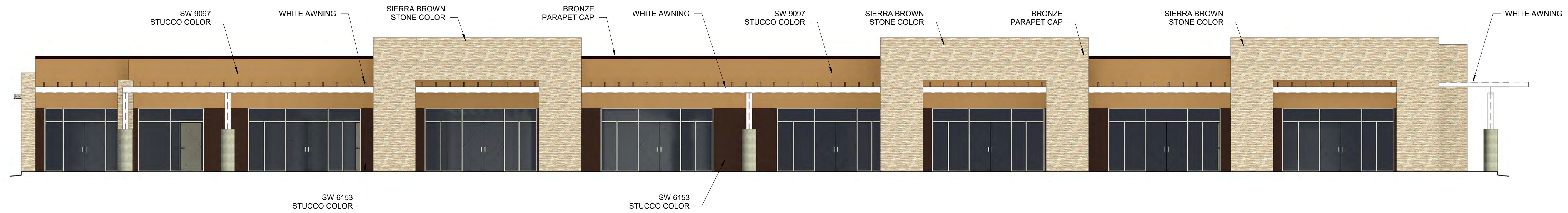


**UNIVERSE VIEW**

**EAST BUILDING ELEVATIONS**

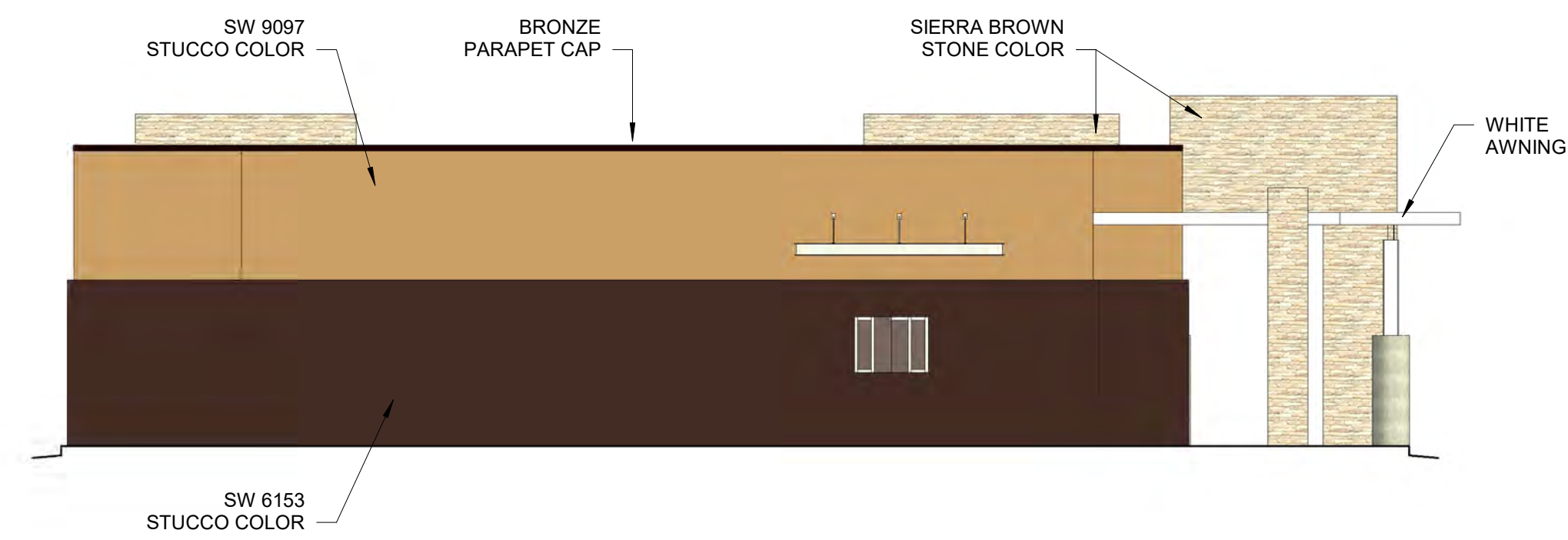
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	REVIEWED	Designer		<b>A-203</b>
	DATE	05/15/2024		





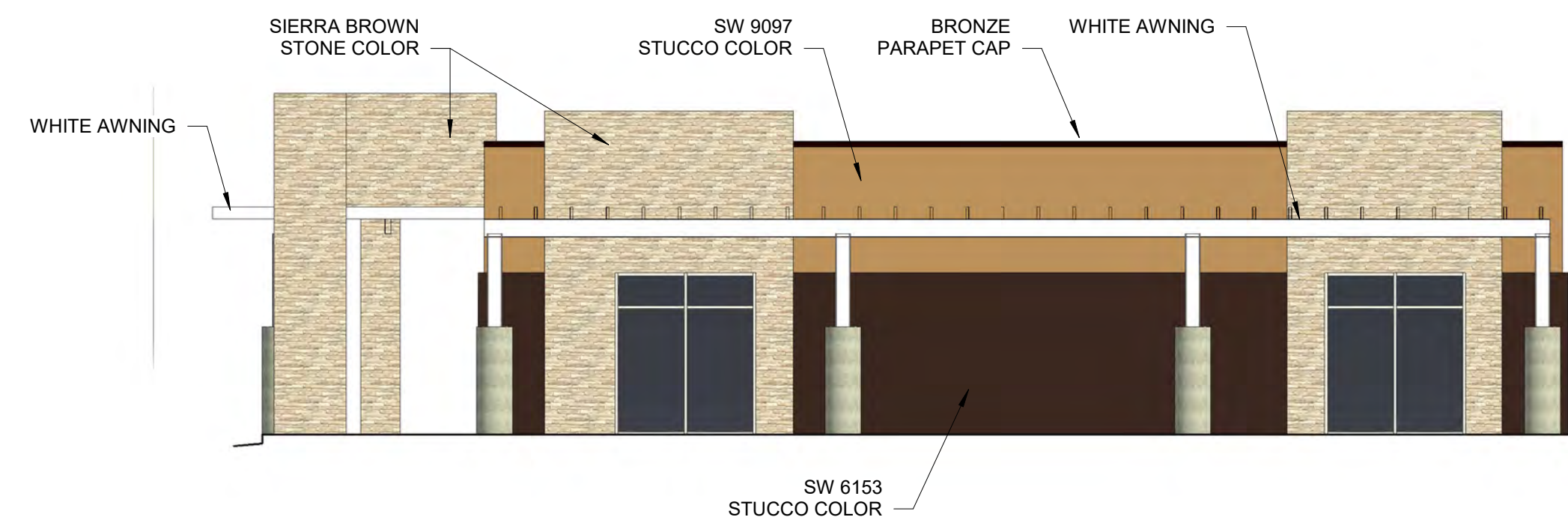
**EAST BUILDING NORTH COLOR ELEVATION**

1/8" = 1'-0"



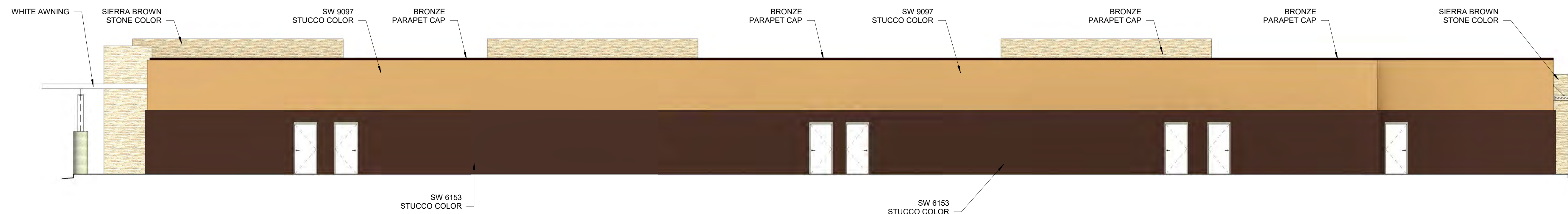
**EAST BUILDING WEST COLOR ELEVATION**

1/8" = 1'-0"



**EAST BUILDING EAST COLOR ELEVATION**

1/8" = 1'-0"



**EAST BUILDING SOUTH COLOR ELEVATION**

1/8" = 1'-0"

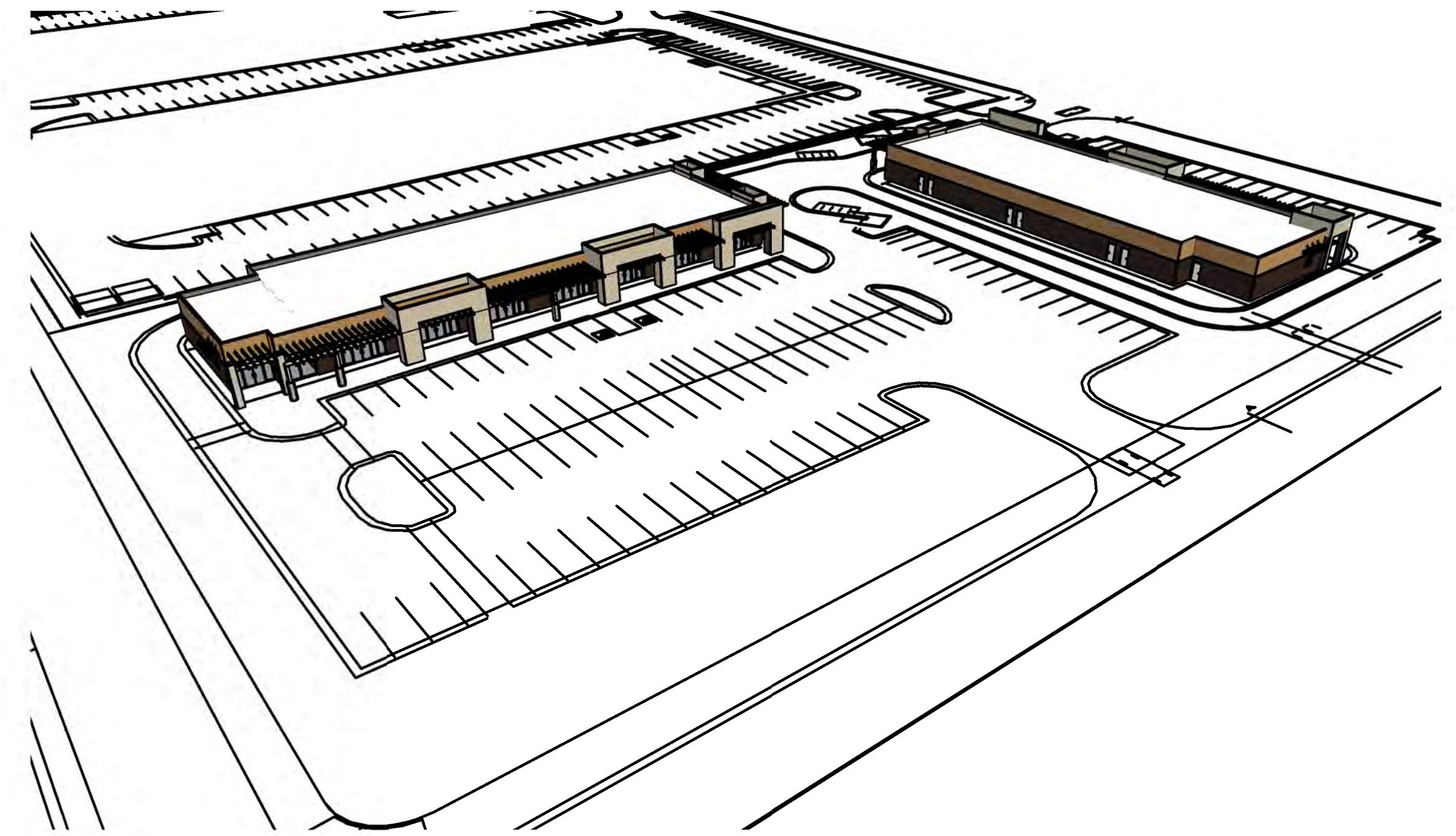
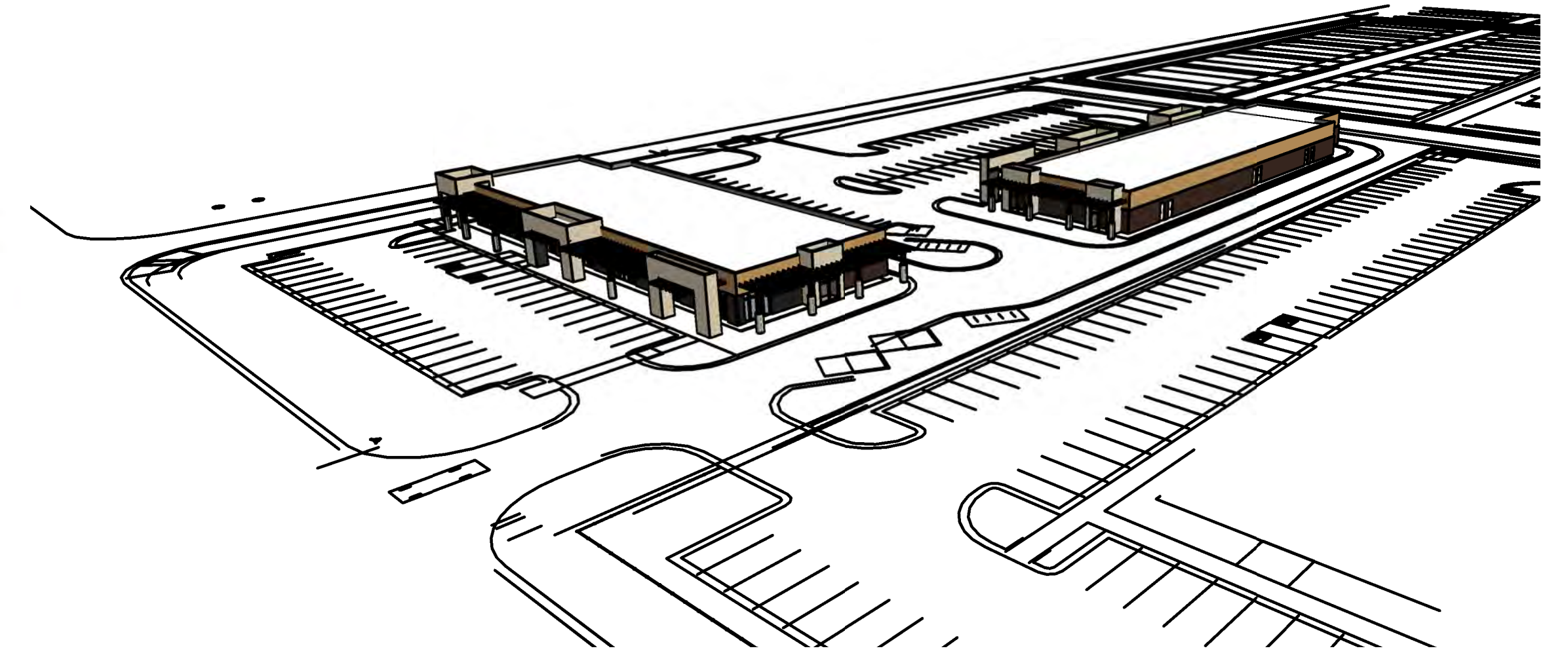
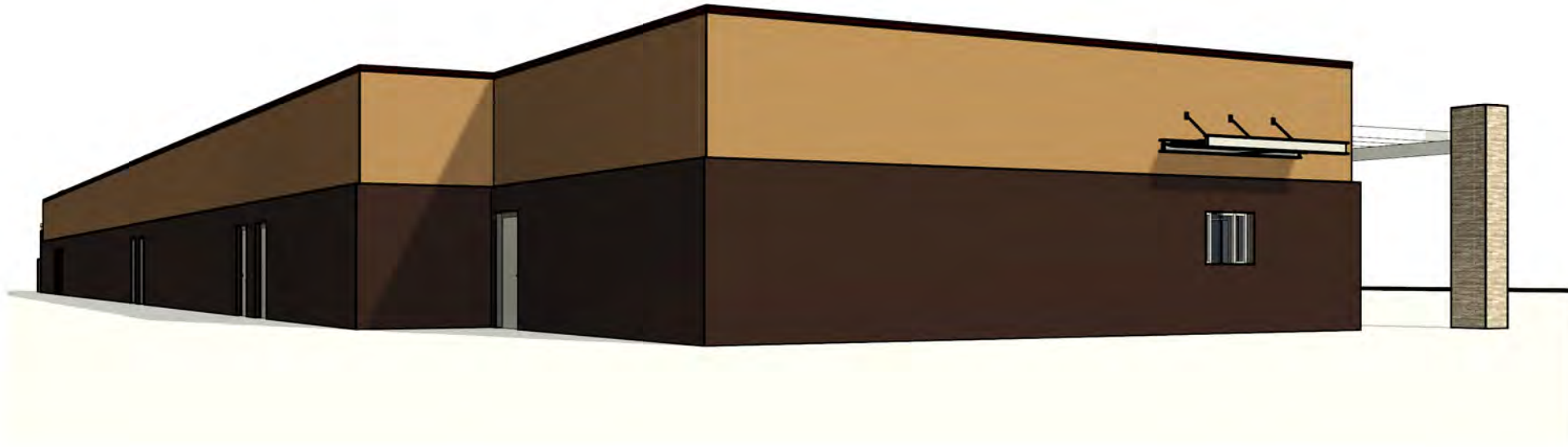
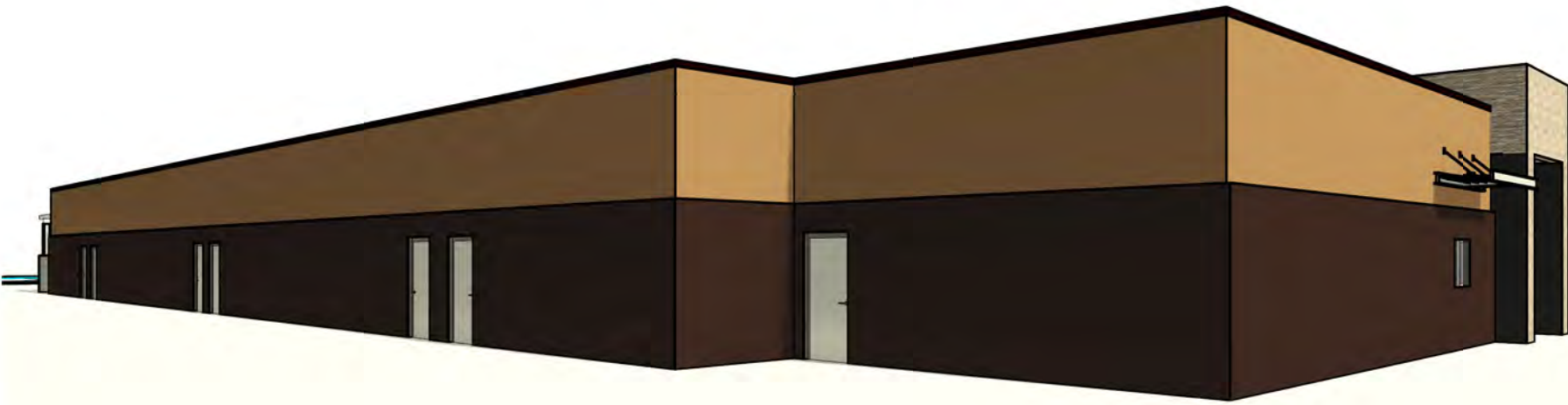
**SCOTT C. ANDERSON**  
 & associates architects  
 7604 rio penasco n.w.  
 albuquerque, nm 87120  
 scott@scottcanderson.com  
 505.401.7575

**UNIVERSE VIEW**

DRAWING TITLE  
**EAST BUILDING COLOR ELEVATIONS**

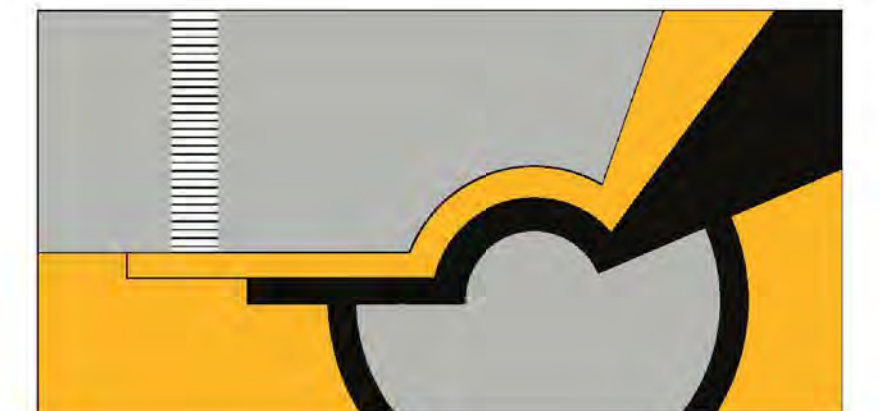
SEAL STATE OF NEW MEXICO SCOTT C. ANDERSON No. 4341 05/15/2024 REGISTERED ARCHITECT	DESIGNED Designer	PROJECT NO 23-019
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	REVIEWED Checker	<b>A-204</b>
DATE 05/15/2024		





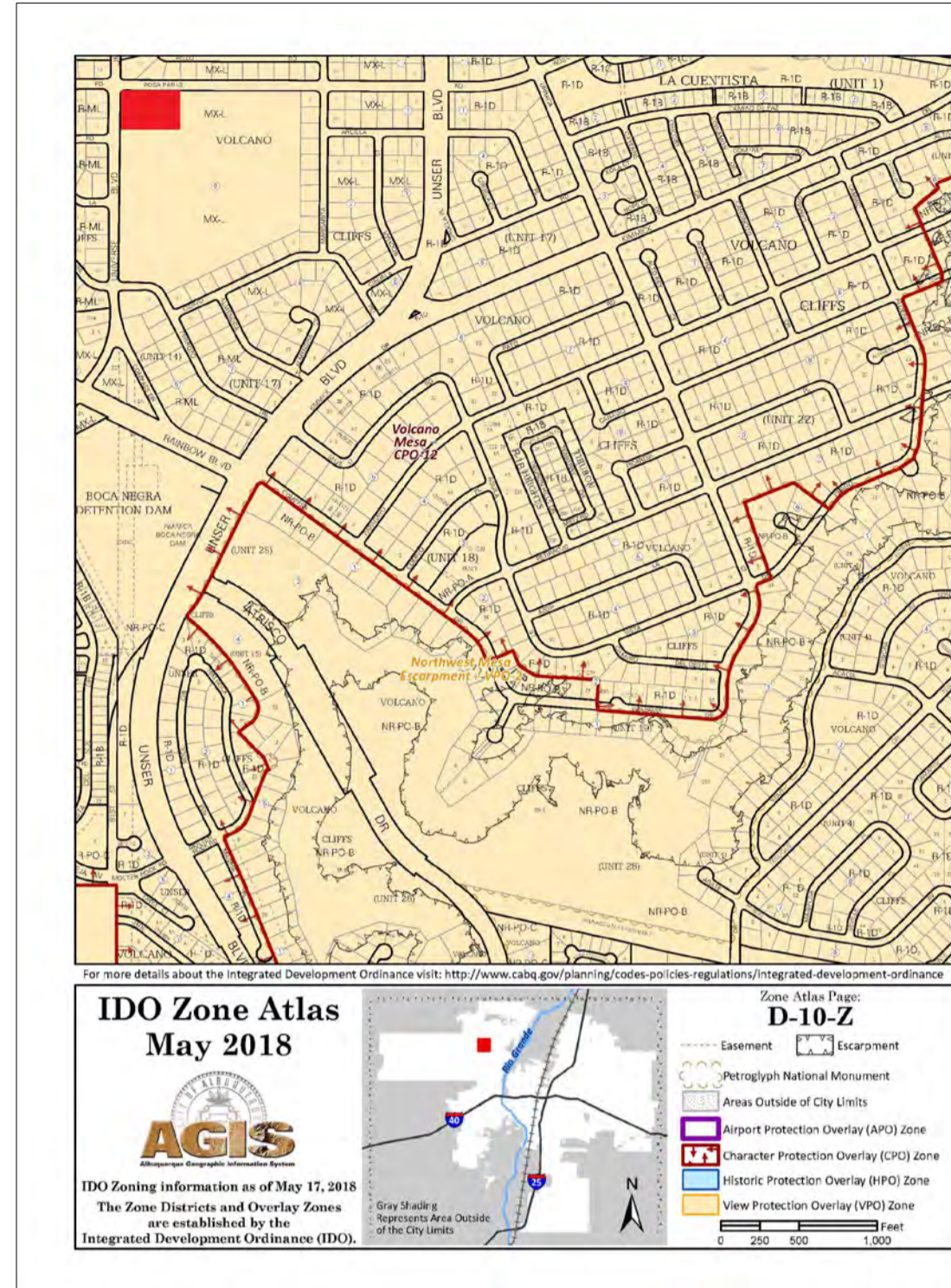
WEST BUILDING

EAST BUILDING

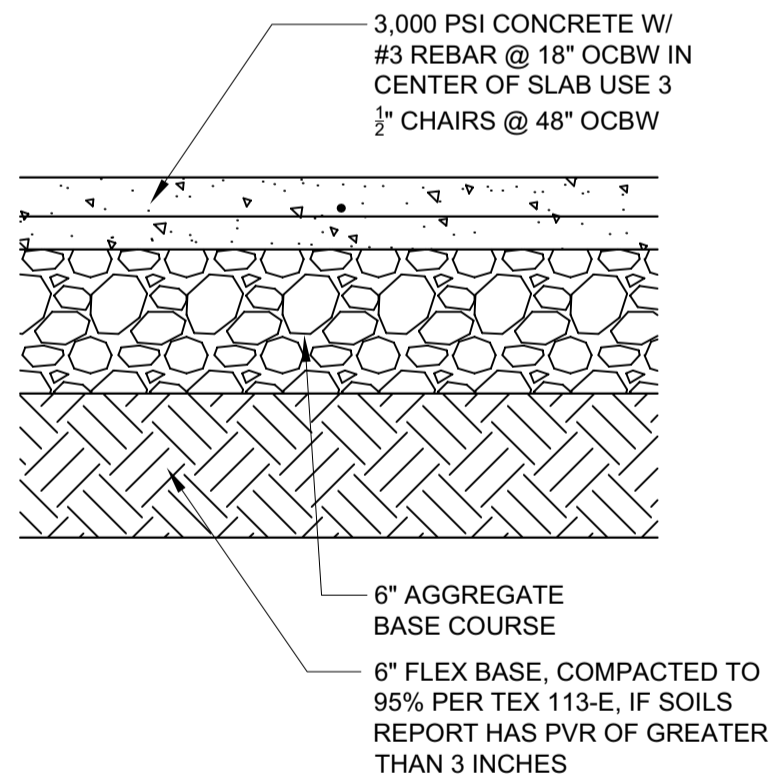


**SCOTT C. ANDERSON**  
& associates architects  
7604 rio penasco nw albuquerque, nm 87120  
andersonscottc@comcast.net  
505.401.7575

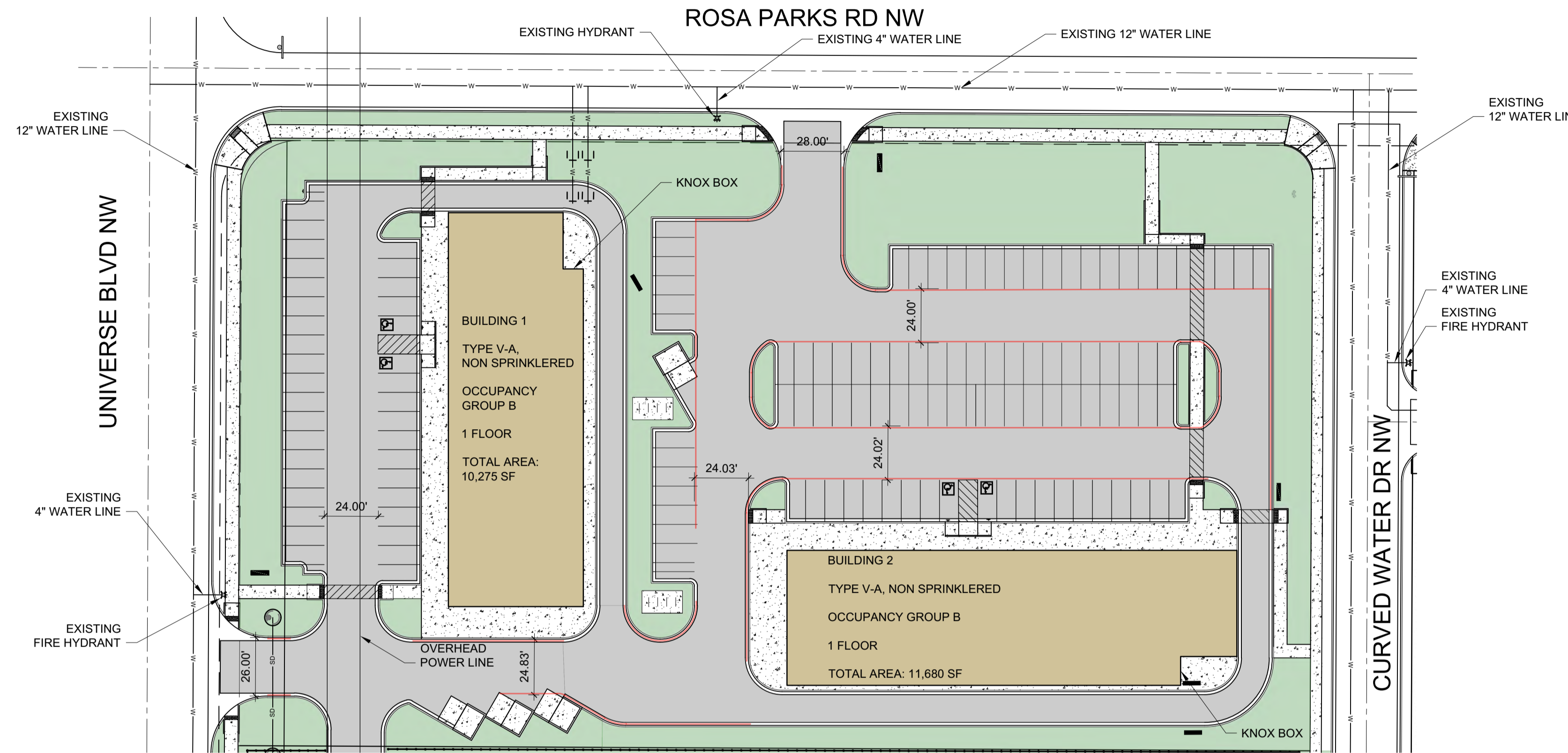




**AREA MAP**  
SCALE: NTS



**PAVING SECTION**  
SCALE: NTS



**SITE PLAN**  
SCALE: 1" = 40'-0"



**ALBUQUERQUE FIRE SITE PLAN CHECKLIST**  
**DIVISION OFFICE PLANS CHECKING DIVISION**  
**PERMIT**  
**APPROVED DATE: 7/5/2023**  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

**FIRE FLOW: FF 2000GPM 2HYDRANTS VA**

- NO PARKING 15FT FROM THE HYDRANT
- ACCESS PROVIDED TO 150FT
- BUILDING HT 20FT, 2 MEANS OF APPARATUS ACCESS
- TOTAL BUILDING AREA LESS THAN 62,000 SF, 2 MEANS OF APPARATUS ACCESS
- THIS IS NOT MULTI-FAMILY PROJECT
- THIS IS NOT A ONE OR TWO FAMILY RESIDENTIAL PROJECT
- 3 MEANS OF ACCESS PROVIDED, ONLY 2 ARE REQUIRED
- BUILDING LESS THAN 30 FT IN HT, 24 FT ROAD WIDTH PROVIDED
- ACCESS ROAD 24 FT WIDE
- ACCESS ROAD 24 FT WIDE
- ACCESS ROADS ARE PUBLIC STREETS
- TURNING RADIUS = 28 FT
- DEAD END IS LESS THAN 150 FT
- ACCESS ROAD IS CONCRETE CAPABLE OF SUPPORTING 75,000LBS
- REFERENCE DETAIL THIS SHEET AND CIVIL SHEETS FOR CONCRETE PAVING DATA
- ACCESS ROAD GRADE LESS THAN 10%
- THERE ARE NO GATES ON THIS PROJECT
- REFER TO G SHEETS FOR FIRE RATINGS, 1HR EXTERIOR WALL PROVIDED
- SPRINKLER SYSTEM NOT PROVIDED
- FDC NOT REQUIRED
- FDC NOT REQUIRED
- PIV NOT REQUIRED
- STANDPIPE NOT REQUIRED
- STANDPIPE NOT REQUIRED
- REMISE ID SHALL BE 12" BRONZE LETTERS MOUNTED TO WEST FACADES (UNIVERSE BLVD NW) AND TO NORTH FACADES (ROSA PARKS RD NW)
- MULTIPLE BUILDINGS WITH SINGLE ADDRESS
- KNOX BOX PROVIDED AT AT EACH BUILDING, SEE PLAN

**FIRE CALCULATIONS**

BUILDING HEIGHT = 20'-0", 1 STORY

TYPE V-A, SPRINKLERED CONSTRUCTION

HYDRANTS REQUIRED PER IFC TABLE C105.1 = 2 HYDRANT @ 450FT MAX

CONCRETE PAVING SHALL SUPPORT 75,000 LBS.

FIRE FLOW CALCULATION IFC 2015 APPENDIX B TABLE B105.1:

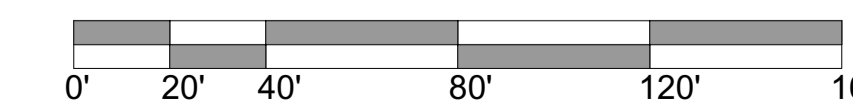
IFC B105.1 CONSTRUCTION TYPE V-A SPRINKLERED  
11,680 SF: FLOW @ 2,000 GPM FOR 2 HR

**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**  
 4419 4th St. NW, Ste. B  
 ALBUQUERQUE, NM 87107  
 505.401.7575

UNIVERSE VIEW STRIP CENTER  
 UNIVERSE BLVD NW  
 ALBUQUERQUE, NM 87114

DRAWING TITLE: **FIRE 1 PLAN**

SEAL STATE OF NEW MEXICO SCOTT C. ANDERSON No. 4341 7/5/2023 REGISTERED ARCHITECT	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>FIRE 1</b>
DATE	7/5/2023	OF





**SOLID WASTE NOTES:**

THE DEVELOPMENT HAS NO GATES

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS FOOD SERVICE FOR THIS PROJECT. ALL REFUSE ENCLOSURES SHALL HAVE GREASE DRAINS AND GREASE INTERCEPTORS

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.

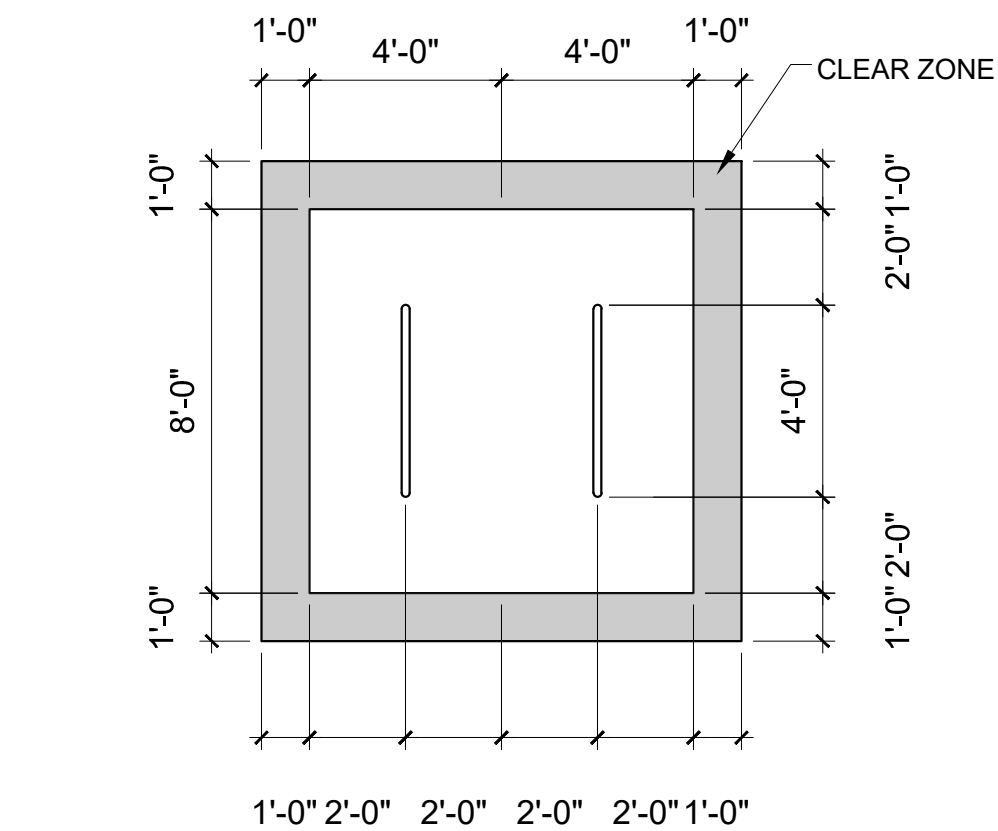
THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

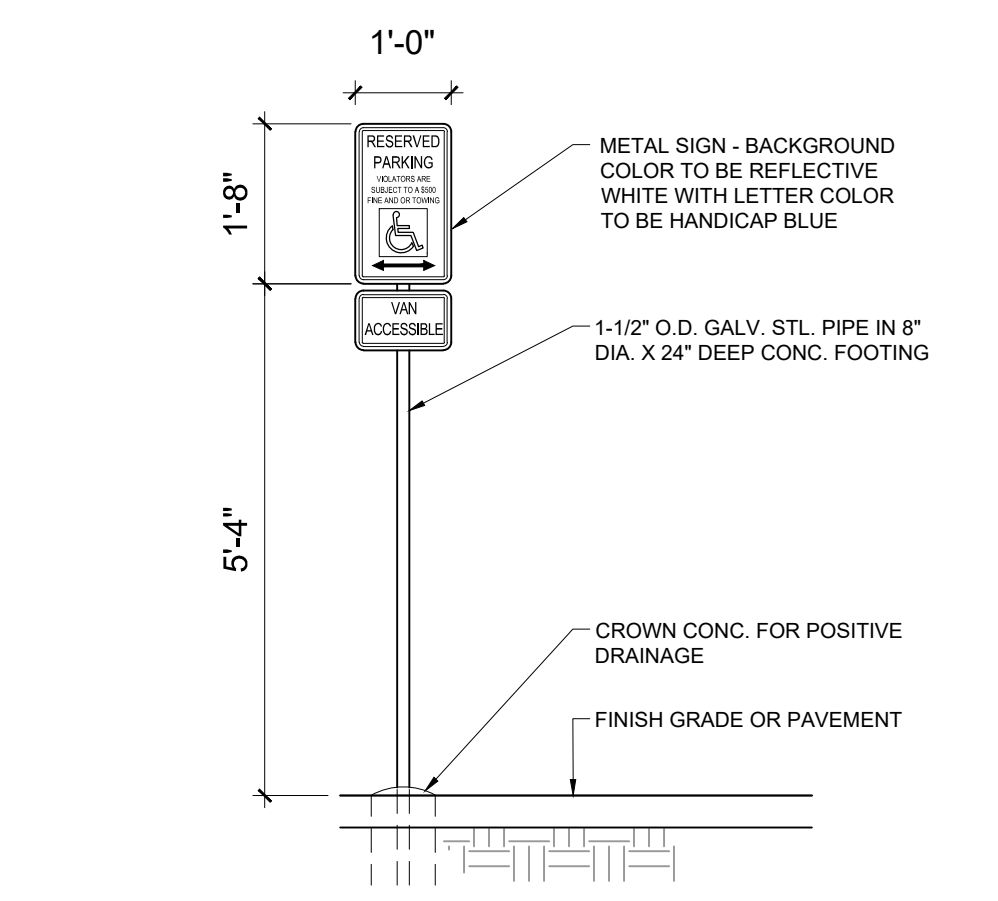
OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.

Approved for access by the Solid Waste Department for 2 trash enclosures\*\*which are required to have sanitary drains, and 1 recycle dumpster enclosure. All containers are to be accessible between the hours of 5AM to 8PM.\*\*  
*Herman Gallegos 07-07-23/Herman Gallegos*



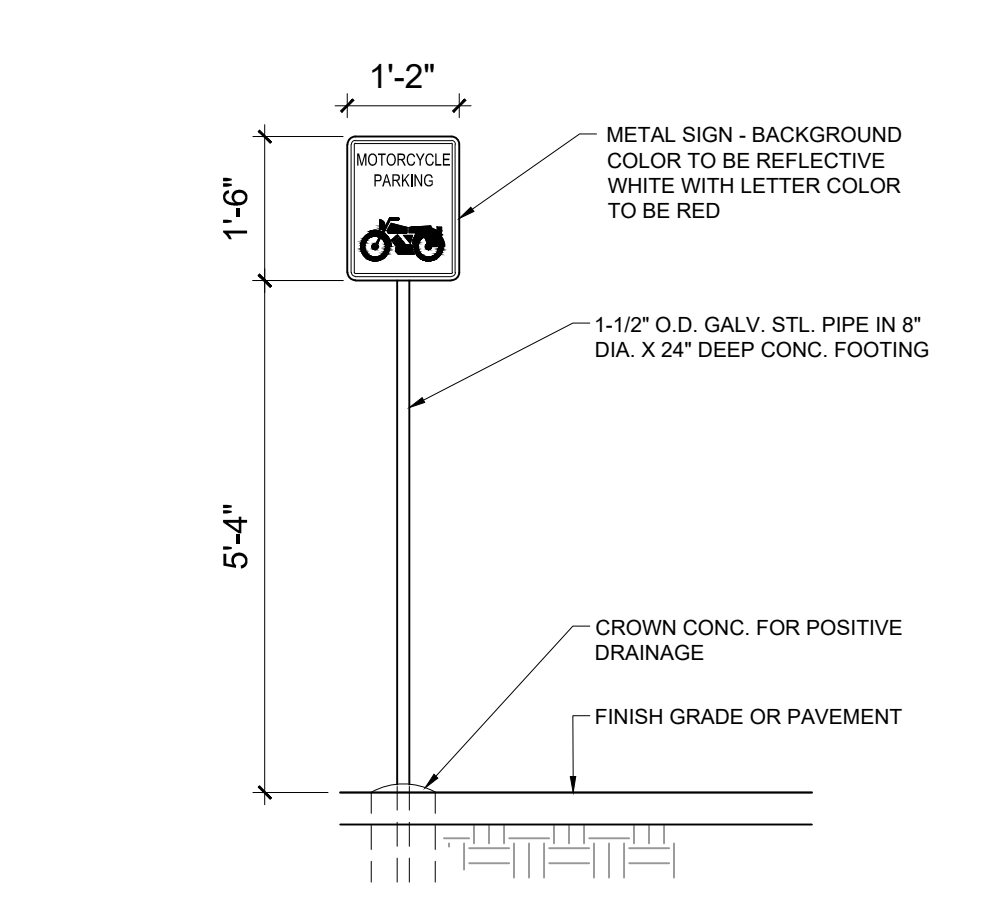
**BIKE PARKING**

SCALE: 1/4" = 1'-0"



**HC SIGN**

SCALE: NTS



**MOTORCYCLE SIGN**

SCALE: 1/2" = 1'-0"



UPC: 101006305745520820  
 LEGAL: LOT 001 BLOCK 8 VOLCANO CLIFFS SUBDIVISION  
 ZONING: MX-L  
 ZONE ATLAS PAGE: D-10

GROSS LOT AREA = 6.5656 AC = 285,999.06 SF  
 BUILDING FOOTPRINT = 31,561 SF  
 NET LOT AREA = 30 SF  
 REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF ; 74,520 SF PROVIDED

PARKING:  
 OFFICE

BUILDING 1 : 10,000 SF X 3.5 SPACES = 35 SPACES  
 BUILDING 2 : 11,680 X 3.5 SPACE = 41 SPACES

TOTAL SPACES REQUIRED = 76 SPACES  
 TOTAL SPACES PROVIDED = 109 SPACES

HC REQUIRED: 4 STANDARD, 3 VAN  
 MOTORCYCLE PARKING 151-300 SPACES: 5 SPACES REQUIRED / 6 PROVIDED  
 BIKE PARKING 10% OF 246: 25 REQUIRED, 32 SPACES PROVIDED

NOTE:  
 ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

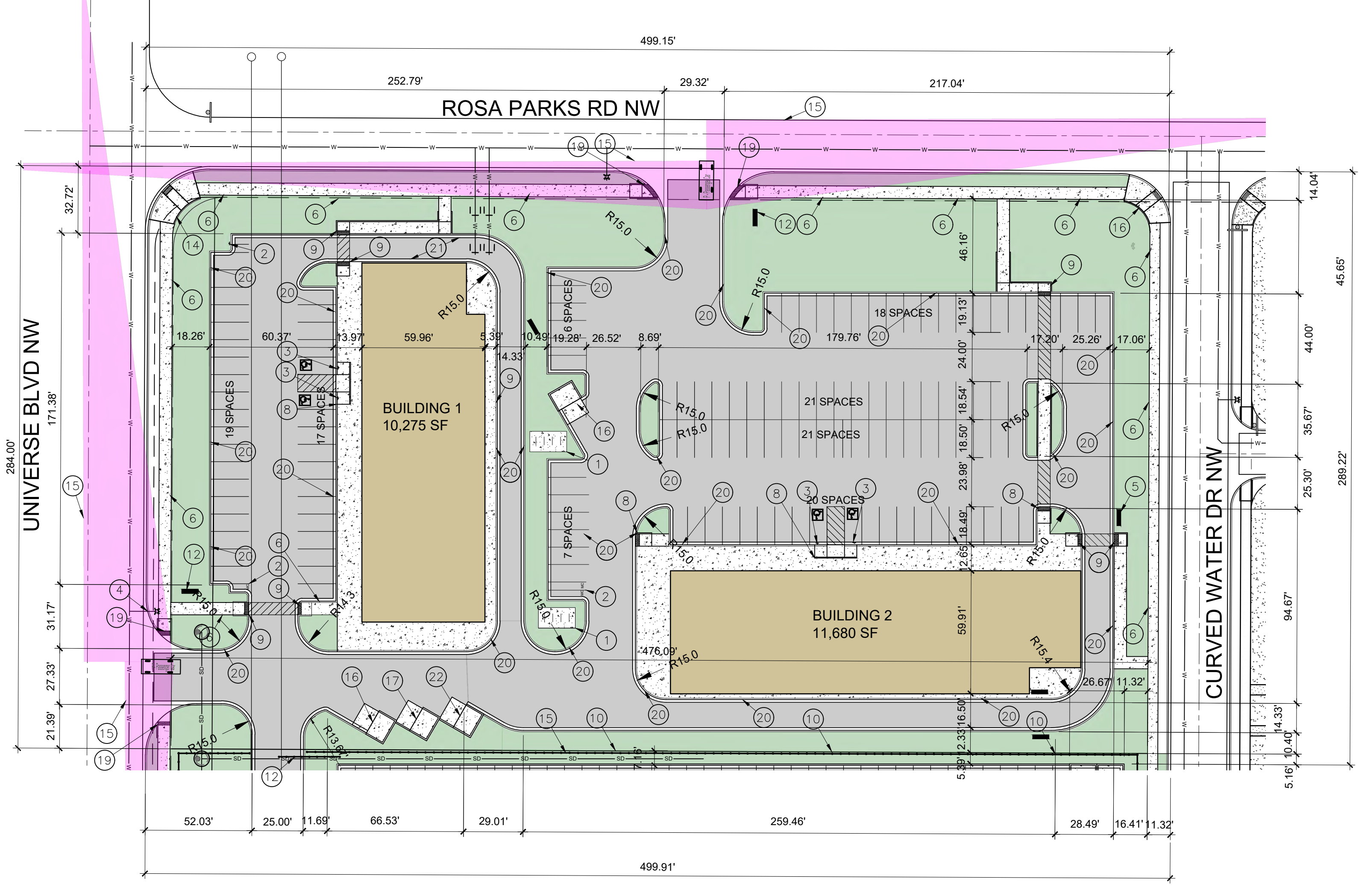
ALL PAVING SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

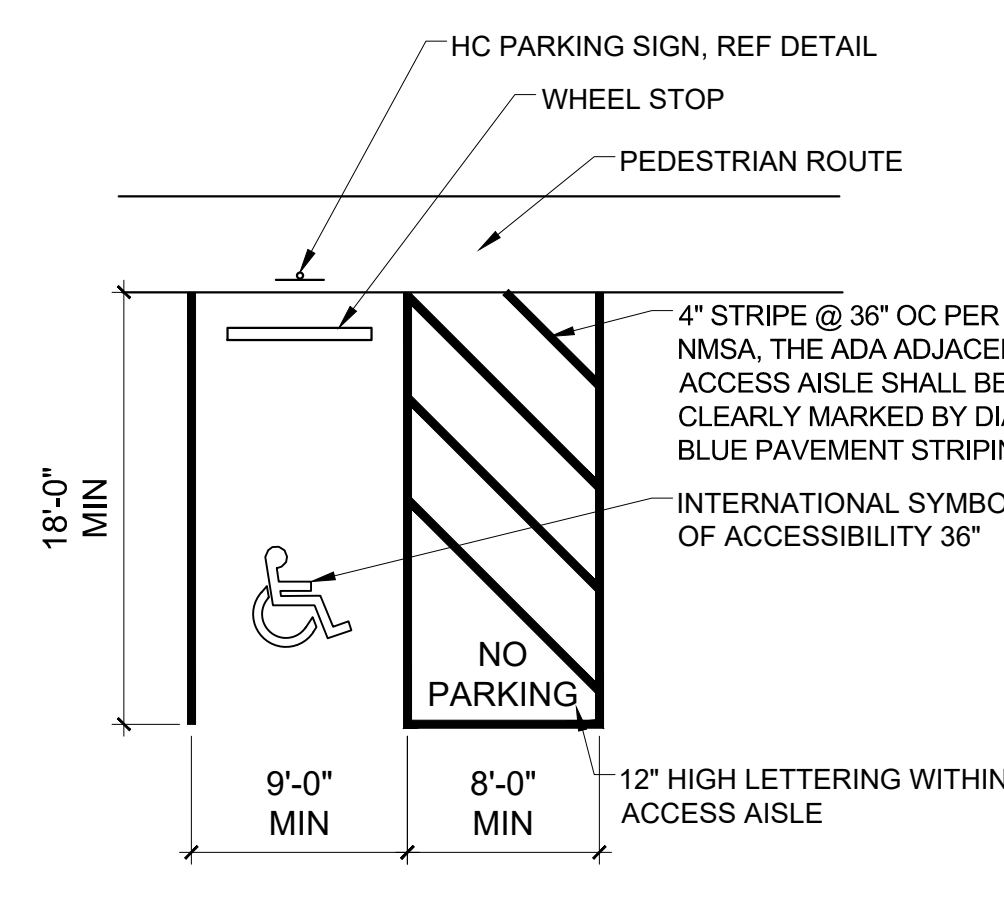


**SITE PLAN**

SCALE: 1" = 40'-0"

**REFUSE ENCLOSURE**

SCALE: 1/8" = 1'-0"



**ADA PARKING**

SCALE: 3/8" = 1'-0"



- KEYED NOTES**
- 8 SPACE BIKE RACK, REF DETAIL THIS SHEET
  - MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
  - H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
  - NEW FIRE HYDRANT
  - IRRIGATION BOX
  - NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
  - GREASE CONTAINER ENCLOSURE SIM TO DETAIL THIS SHEET
  - PARALLEL CURB RAMP, REF DETAIL A, COA STANDARD DETAIL 2443
  - PERPENDICULAR CURB RAMP, REF DETAIL COA STANDARD DETAIL 2447
  - PROPERTY LINE
  - EXISTING POWER POLE
  - MONUMENT SIGN
  - CLEAR SIGHT TRIANGLE, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
  - CORNER ACCESS RAMP, REF COA STANDARD DETAIL 2441
  - 6" WROUGHT IRON FENCE
  - REFUSE CONTAINER, REF DETAIL THIS SHEET
  - RECYCLING CONTAINER, REF DETAIL THIS SHEET
  - FIRE DEPARTMENT CONNECTION
  - DRIVE PAD REF. COA STANDARD DETAIL 2425B
  - CURB AND GUTTER REF. COA STANDARD DETAIL 2415B
  - EXISTING POWER POLE
  - GREASE WASTE ENCLOSURE

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER

**IDO Zone Atlas May 2018**

Zone Atlas Page: D-10-Z

Legend:  
 - Location  
 - Escarpment  
 - Precincts of City Limits  
 - Hazard Protection Overlay (HPO) Zone  
 - Character Protection Overlay (CPO) Zone  
 - Historic Protection Overlay (HPO) Zone  
 - View Protection Overlay (VPO) Zone

Scale: 0' 20' 40' 80' 120' 160'

**AREA MAP**

SCALE: NTS

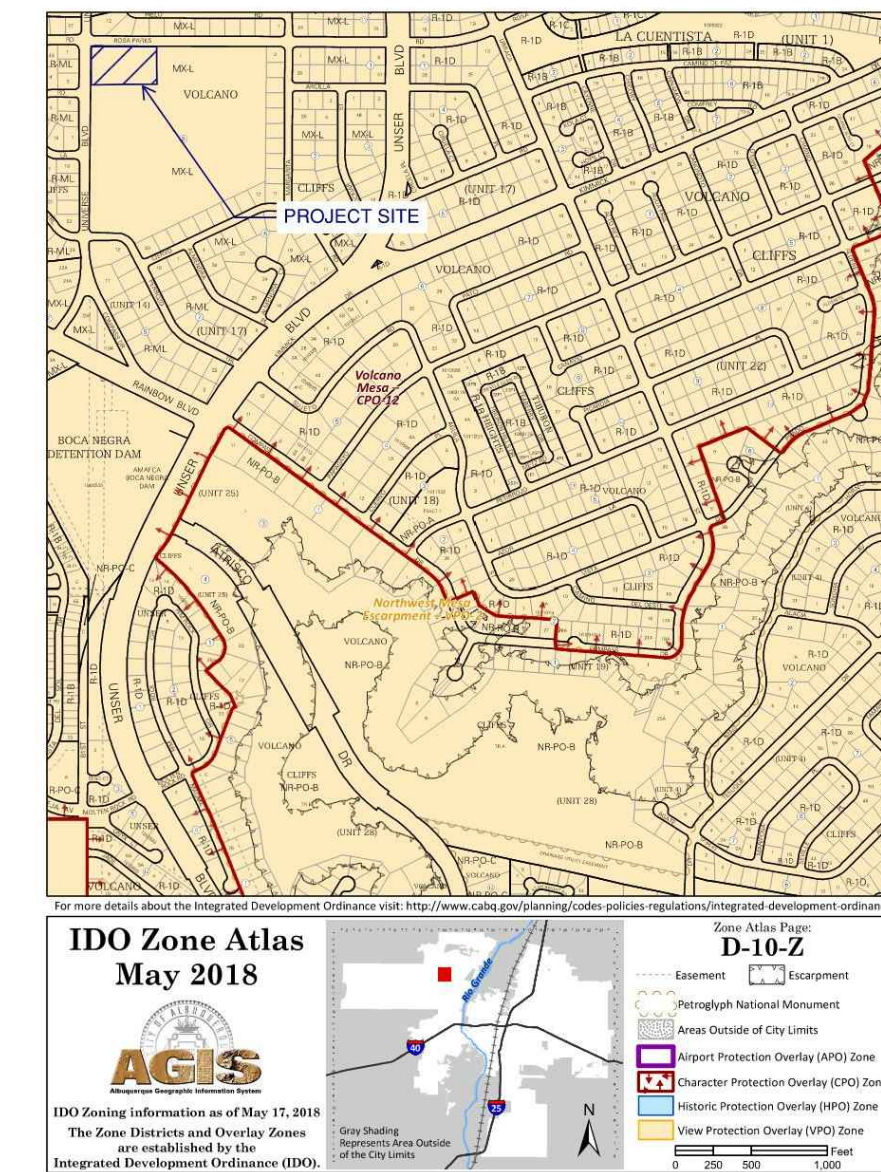
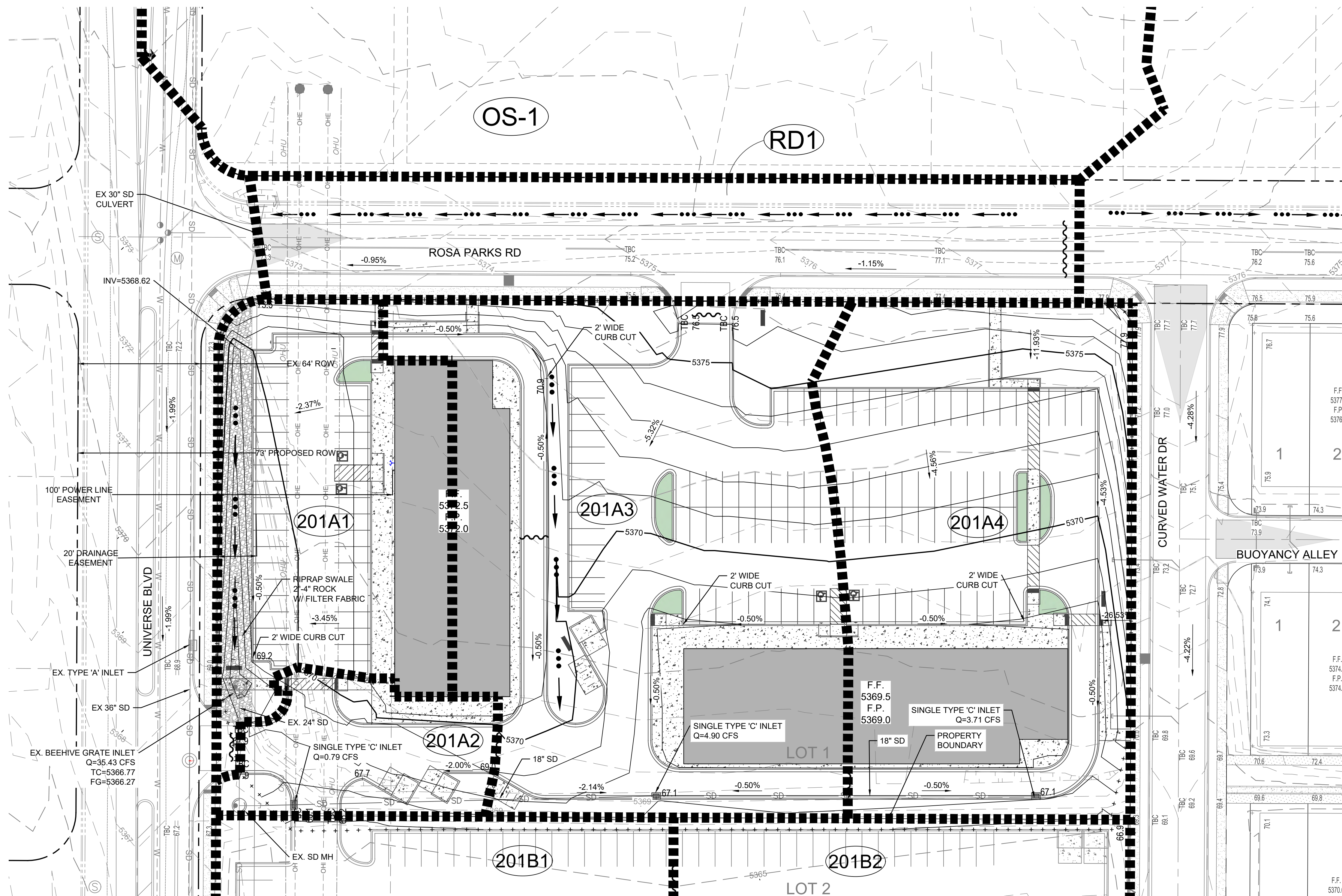
**SCOTT C. ANDERSON & associates architects**  
 4419 4th St. NW, Ste. B  
 Albuquerque, NM 87117  
 505.401.7575

UNIVERSE VIEW STRIP CENTER  
 UNIVERSE BLVD NW  
 ALBUQUERQUE, NM 87114

**DRAWING TITLE**  
**SITE PLAN**

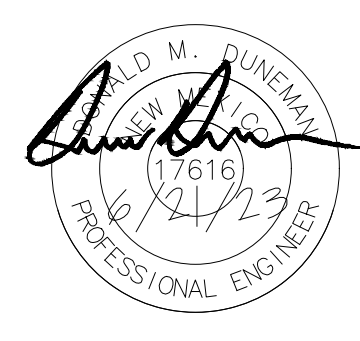
SEAL STATE OF NEW MEXICO SCOTT C. ANDERSON No. 4341 07/06/2023 REGISTERED ARCHITECT	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-100</b>
DATE	07/06/2023	OF





- LEGEND**
- EXISTING (INDEX) CONTOUR
  - EXISTING (INTERMED.) CONTOUR
  - PROPOSED (INDEX) CONTOUR
  - PROPOSED (INTERMED.) CONTOUR
  - GRADING LIMITS
  - NATIVE SEEDING PER SECTION 1013
  - GRAVEL MULCH PER SECTION 1013
  - 2' - 4' LANDSCAPE ROCK (DEFERRED)
  - 2' - 4' LANDSCAPE ROCK
  - 6' - 8' LANDSCAPE ROCK
  - 12' - 18' LANDSCAPE ROCK
  - 12' SUBGRADE PREP
  - CONCRETE
  - BASE COURSE ACCESS ROAD
  - WATERBLOCK (HIGH POINT)
  - SWALE
  - PROPOSED RETAINING WALL
  - DRAINAGE BASIN BOUNDARY
  - DRAINAGE BASIN NUMBER

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	FOUND MONUMENT	DATE	FIELD NOTES	DATE
WORK	DATE	STANDARD 3 1/4" ALUMINUM DISC	DATE	NO.	BY
STARTED BY	DATE	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE N.A.D. 1983)	DATE		
FIELD ACCEPTANCE BY	DATE	N=157,622,846	DATE		
FIELD DRAWN BY	DATE	E=1,489,059,808	DATE		
DRAWINGS BY	DATE	PUBLISHED EL-5318.888 (N.A.D. 1983)	DATE		
CORRECTED BY	DATE	GROUND TO GRID FACTOR=0.99872416	DATE		
MICRO-FILM INFORMATION	DATE	MAPPING ANGLE=0°16'20.35"	DATE		
	DATE		DATE		



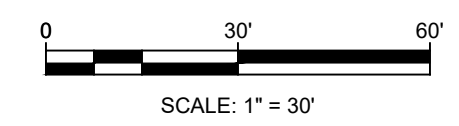
**DRAINAGE PLAN:**  
 LOCATION: LOT 1 OF UNIVERSE VIEW SUBDIVISION (A REPLAT OF LOT 1, BLOCK 8, UNIT 17, VOLCANO CLIFFS SUBDIVISION)  
 SITE AREA: APPROX. 2.9 ACRES  
 FLOOD HAZARD STATEMENT: THE SITE IS NOT ENCUMBERED BY A FLOOD HAZARD AREA ACCORDING TO F.E.M.A. FIRM MAP DATED SEPTEMBER 26, 2008 (MAP NUMBER 35001C01116).  
 EXISTING DRAINAGE CONDITIONS: THE PROJECT SITE IS LOT 1 OF UNIVERSE VIEW SUBDIVISION, WHICH HAS BEEN APPROVED WITH CONDITIONS FOR PRELIMINARY PLAT. THE AREA IS UNDEVELOPED AND CONSISTS OF ONE DRAINAGE BASIN DRAINING TO THE SOUTHWEST TO EXISTING "PLAYA" OR DEPRESSION TO THE WEST OF THE SITE WHICH PREVENTS STORM-WATER RUNOFF FROM DRAINING INTO THE UNIVERSE BOULEVARD RIGHT-OF-WAY. STORM-WATER RUNOFF IN EXCESS OF THE "PLAYA" STORAGE VOLUME DRAINS SOUTH TO AN EXISTING DETENTION POND (POND 4A) LOCATED AT THE NORTHWEST CORNER OF UNSER BOULEVARD AND RAINBOW BOULEVARD. THE SITE IS BOUND BY UNIVERSE BOULEVARD TO THE WEST, AN APARTMENT DEVELOPMENT LOT TO THE SOUTH, ROSA PARKS ROAD TO THE NORTH AND CURVED WATER DRIVE TO THE EAST.  
 DEVELOPED DRAINAGE CONDITIONS: THE AMENDED DRAINAGE STUDY FOR UNIVERSE VIEW SUBDIVISION DATED MARCH 8, 2023 WAS APPROVED BY CITY HYDROLOGY ON MARCH 16, 2023 AND SERVES AS THE BASIS FOR DESIGN OF THE PROJECT SITE. DEVELOPED CONDITIONS STORM-WATER RUNOFF WILL DRAIN ON THE SURFACE TO 4 INLETS LOCATED ALONG THE SOUTH SIDE OF THE PROPERTY, THEN CONVEYED SOUTH VIA STORM DRAIN THRU THE APARTMENT SITE TO THE DETENTION POND 1 TO BE CONSTRUCTED WITH COA WORK ORDER PROJECT #709790. OFFSITE RUNOFF (BASIN OS-1) FROM THE NORTH OF ROSA PARKS ROAD IS CONVEYED THROUGH THE COMMERCIAL LOT VIA RIPRAP CHANNEL TO AN EXISTING BEEHIVE GRATE INLET TO BE CONSTRUCTED WITH THE APARTMENT DEVELOPMENT. BASIN RD1 DOES NOT IMPACT THE PROJECT SITE, AS IT DRAINS DIRECTLY TO UNIVERSE BLVD. A BASIN SUMMARY TABLE WITH LAND TREATMENTS AND RESULTS OF THE HYDROLOGIC ANALYSIS IS SHOWN TO THE RIGHT. THE APPROVED DRAINAGE REPORT AND THIS ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL.



**Universe View Commercial**  
Basin Summary - Developed Conditions

Basin	Area (Acre)	%A	%B	%C	%D	100-Year V (AC-FT)	100-Year Q (CFS)
OS-1	27.96	98	0	0	2	1.35	33.26
201A1	0.55	0	5	5	90	0.08	2.17
201A2	0.20	0	5	5	90	0.03	0.79
201A3	1.24	0	5	5	90	0.19	4.90
201A4	0.94	0	5	5	90	0.14	3.71
<b>TOTAL</b>	<b>30.9</b>					<b>1.80</b>	<b>44.8</b>

- GENERAL NOTES**
- SEE SWPPP (BY OTHERS) FOR STABILIZATION MEASURES.
  - SEE PLAT FOR LOT DIMENSIONS.
  - RETAINING WALL DESIGN WILL BE SUBMITTED SEPARATELY FOR BUILDING PERMIT.
  - EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT.
  - THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROJECT.
  - CONTRACTOR SHALL OBTAIN PERMISSION TO GRADE ON PRIVATE PROPERTY. CITY SHALL NOT BE RESPONSIBLE FOR CONTRACTOR TRESPASSING ON PRIVATE PROPERTY



Designed By:  
**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc. Rio Rancho  
 333 Rio Rancho Drive, Suite 100  
 Rio Rancho, New Mexico 87124  
 Phone (505) 892-5141 Fax (505) 892-3259

**UNIVERSE VIEW SUBDIVISION**  
**COMMERCIAL PROPERTY**

**TITLE: CONCEPTUAL GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. <b>709790</b>	Zone Map No. <b>D - 10</b>	Sheet <b>3A</b>	Of <b>5</b>
PROJECT NO. <b>PR-2020-004596</b>		SHEET	

Printed: 9/5/2023 3:03:29 PM. By: Dunean, Dianne  
 Hydro/RS14494.01 - Volcano Cliffs Subdivision U17 B8 L110 CADD & BIM10.1 AutoCAD/Sheet  
 SAICOMERCADAL13 14494 - Grading Plan Commercial.dwg  
 Last Saved: 9/5/2023 2:44:26 PM. Dunean



**SOLID WASTE NOTES:**

THE DEVELOPMENT HAS NO GATES

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS FOOD SERVICE FOR THIS PROJECT. ALL REFUSE ENCLOSURES SHALL HAVE GREASE DRAINS AND GREASE INTERCEPTORS

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.

THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.

UPC: 101006305745520820  
 LEGAL: LOT 001 BLOCK 8 VOLCANO CLIFFS SUBDIVISION  
 ZONING: MX-L  
 ZONE ATLAS PAGE: D-10

GROSS LOT AREA = 6.5656 AC = 285,999.06 SF  
 BUILDING FOOTPRINT = 31,561 SF  
 NET LOT AREA = 30 SF  
 REQUIRED LANDSCAPE AREA @ 15% = 29,203 SF ; 74,520 SF PROVIDED

PARKING:  
 OFFICE  
 BUILDING 1 : 10,000 SF X 3.5 SPACES = 35 SPACES  
 BUILDING 2 : 11,680 X 3.5 SPACE = 41 SPACES

TOTAL SPACES REQUIRED = 76 SPACES  
 TOTAL SPACES PROVIDED = 109 SPACES

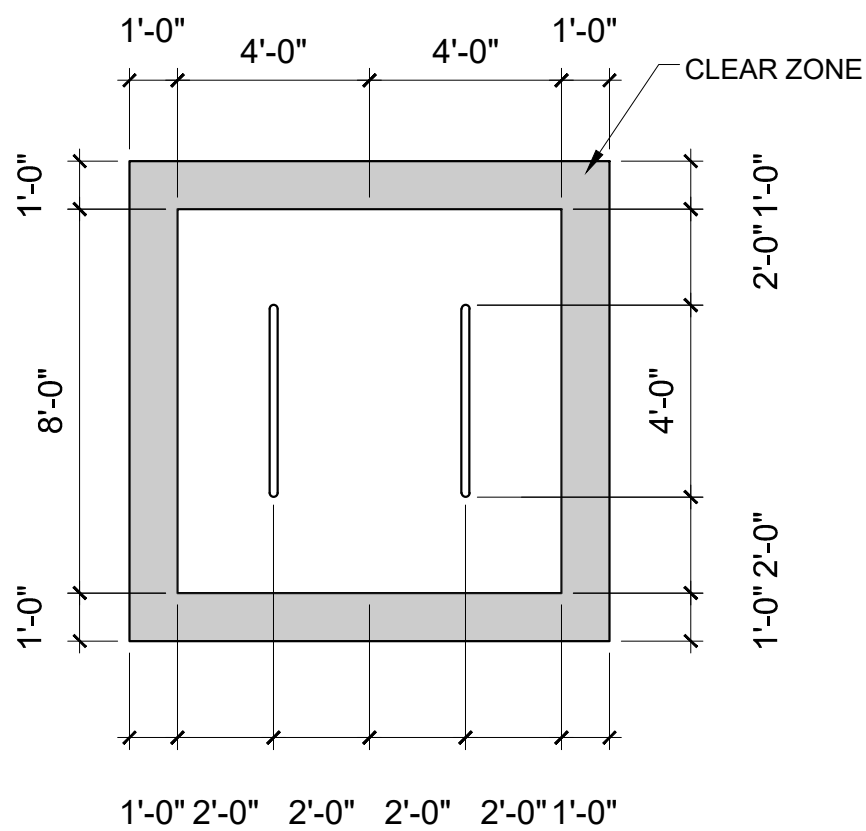
HC REQUIRED: 4 STANDARD, 3 VAN  
 MOTORCYCLE PARKING 151-300 SPACES: 5 SPACES REQUIRED / 6 PROVIDED  
 BIKE PARKING 10% OF 246: 25 REQUIRED, 32 SPACES PROVIDED

**TRAFFIC CIRCULATION LAYOUT APPROVED**

*Ernest Arriaga* 12/27/2023  
 Signed Date

- LEGEND**
- BUILDING
  - CONCRETE
  - ASPHALT PAVING
  - LANDSCAPE
  - CLEAR SIGHT TRIANGLE

- KEYED NOTES**
1. 8 SPACE BIKE RACK, REF DETAIL THIS SHEET
  2. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
  3. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
  4. NEW FIRE HYDRANT
  5. IRRIGATION BOX
  6. NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
  7. GREASE CONTAINER ENCLOSURE SIM TO DETAIL THIS SHEET
  8. PARALLEL CURB RAMP, REF DETAIL A, COA STANDARD DETAIL 2443
  9. PERPENDICULAR CURB RAMP, REF DETAIL. COA STANDARD DETAIL 2447
  10. PROPERTY LINE
  11. EXISTING POWER POLE
  12. MONUMENT SIGN
  13. CLEAR SIGHT TRIANGLE, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
  14. CORNER ACCESS RAMP, REF COA STANDARD DETAIL 2441
  15. 6" WROUGHT IRON FENCE
  16. REFUSE CONTAINER, REF DETAIL THIS SHEET
  17. RECYCLING CONTAINER, REF DETAIL THIS SHEET
  18. FIRE DEPARTMENT CONNECTION
  19. PARALLEL RAMP AT DRIVE REF. COA STANDARD DETAIL 2426
  20. CURB AND GUTTER REF. COA STANDARD DETAIL 2415B
  21. EXISTING POWER POLE
  22. GREASE WASTE ENCLOSURE
  23. 10" PUBLIC UTILITY EASEMENT
  24. DO NOT ENTER SIGN, REF DETAIL THIS SHEET
  25. "ONE WAY" SIGN



NOTE:  
 ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

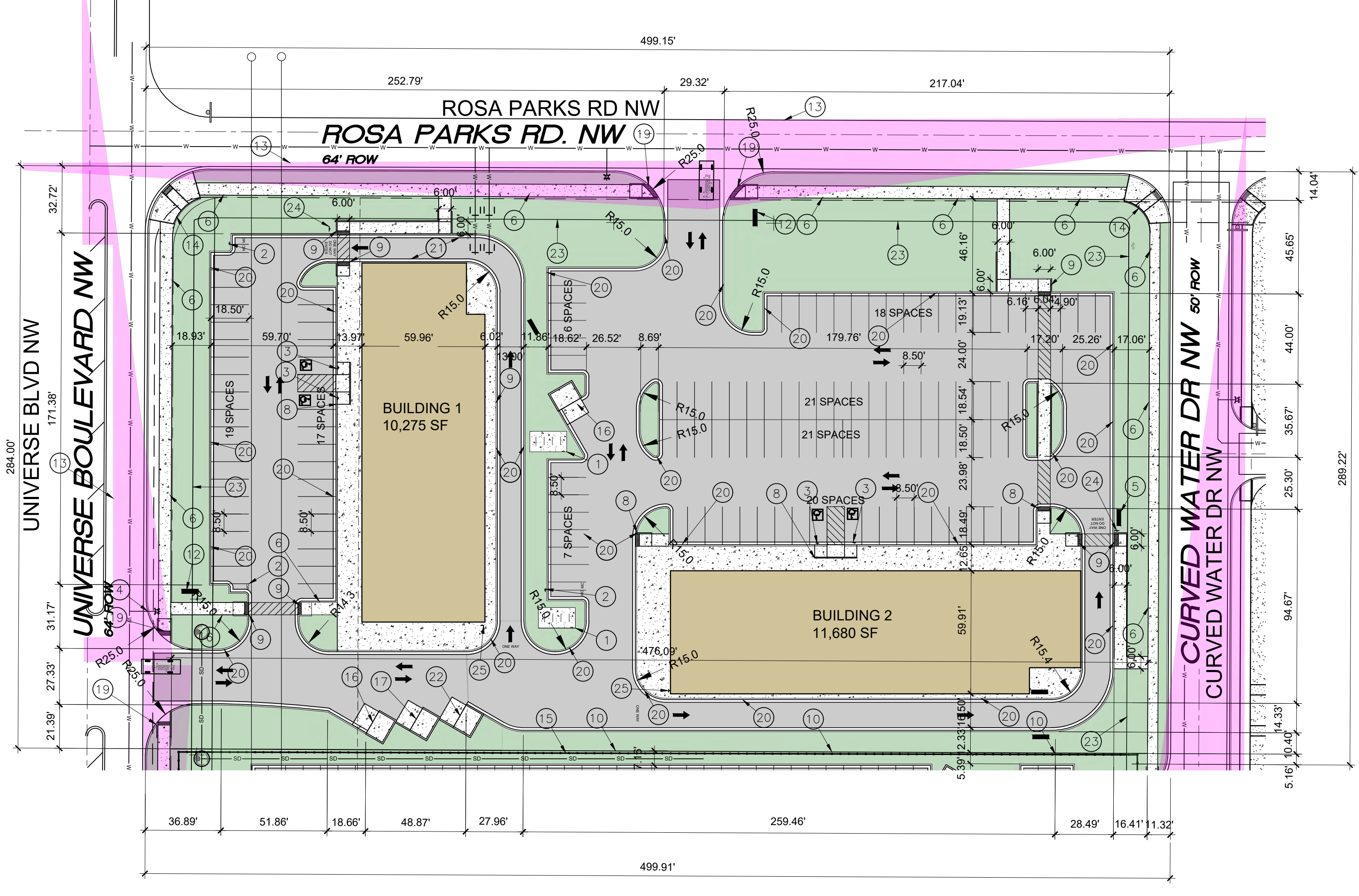
ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

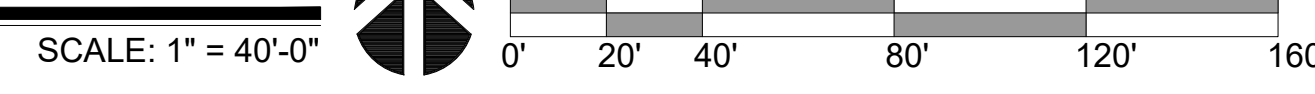
BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

MC SHALL BE PAINTED ON THE PAVEMENT OF EACH MOTORCYCLE PARKING SPACE

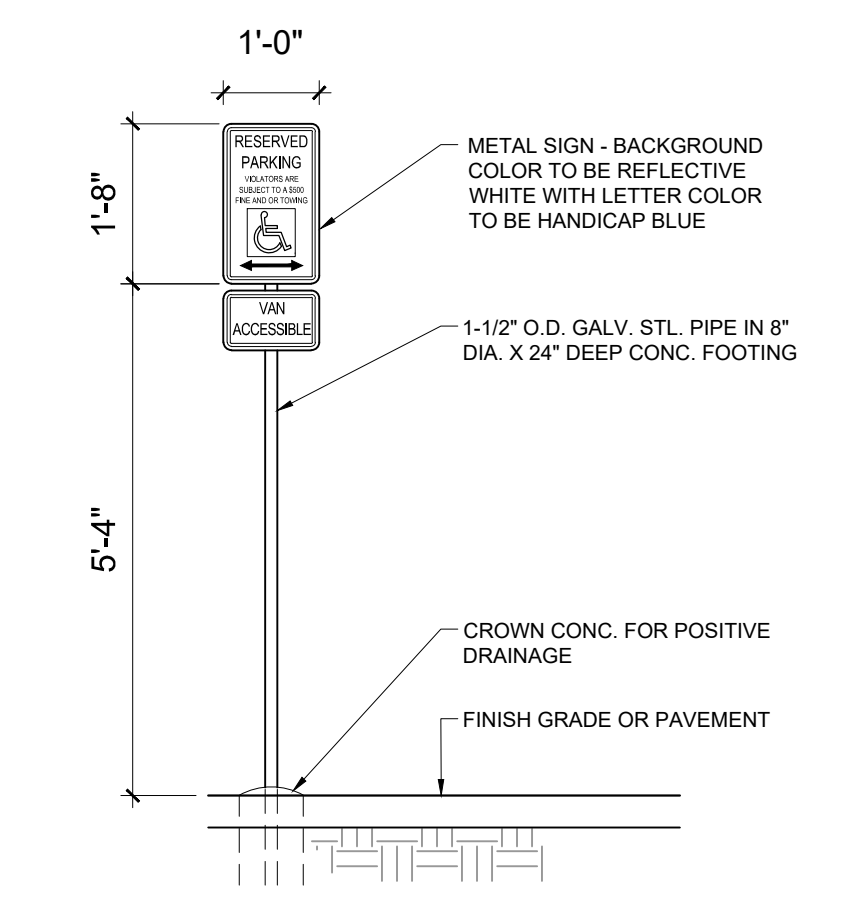


**SITE PLAN**



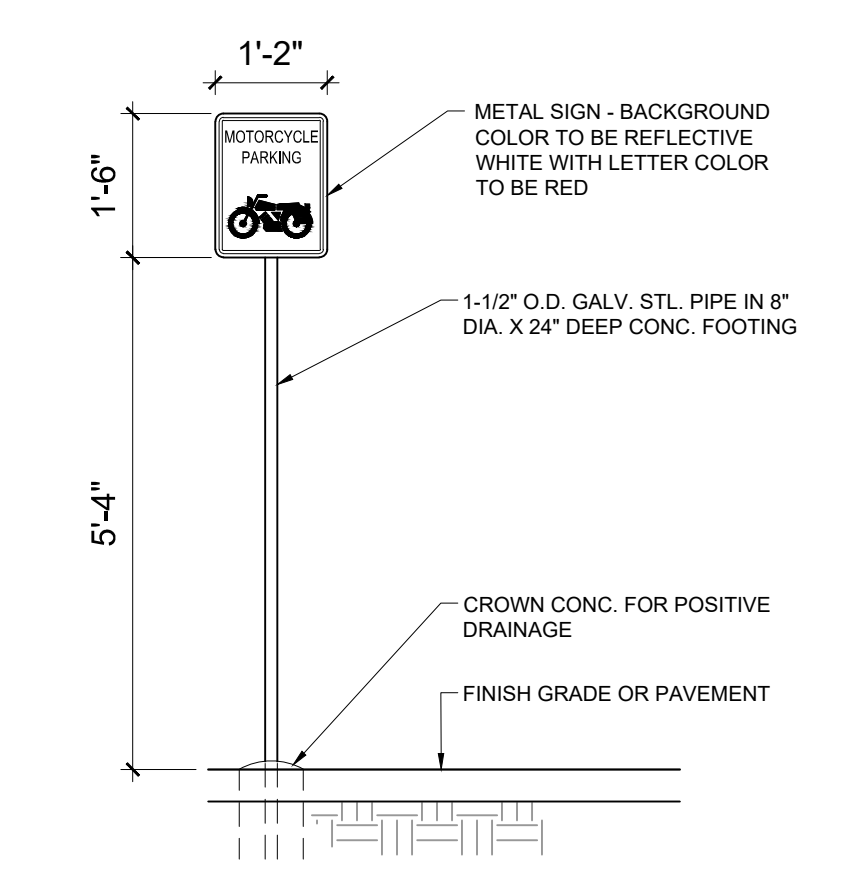
**BIKE PARKING**

SCALE: 1/4" = 1'-0"



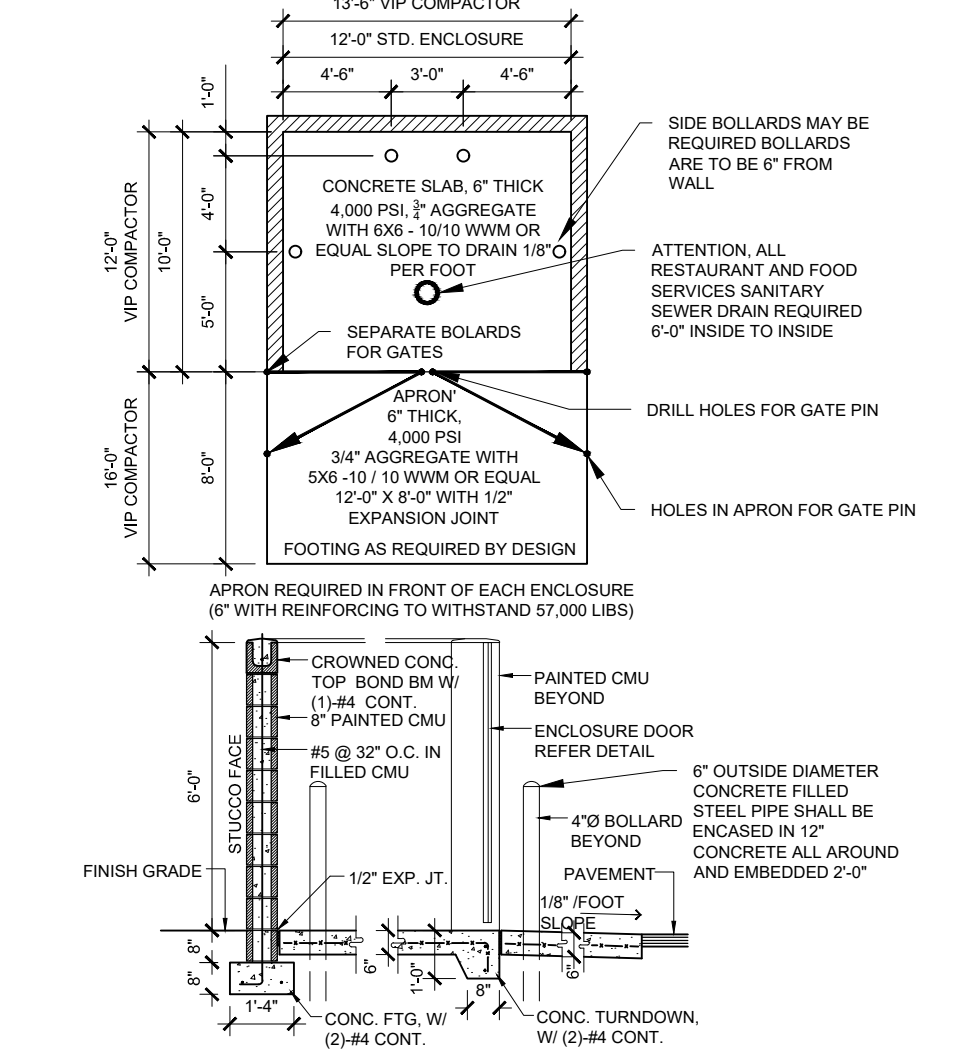
**HC SIGN**

SCALE: NTS



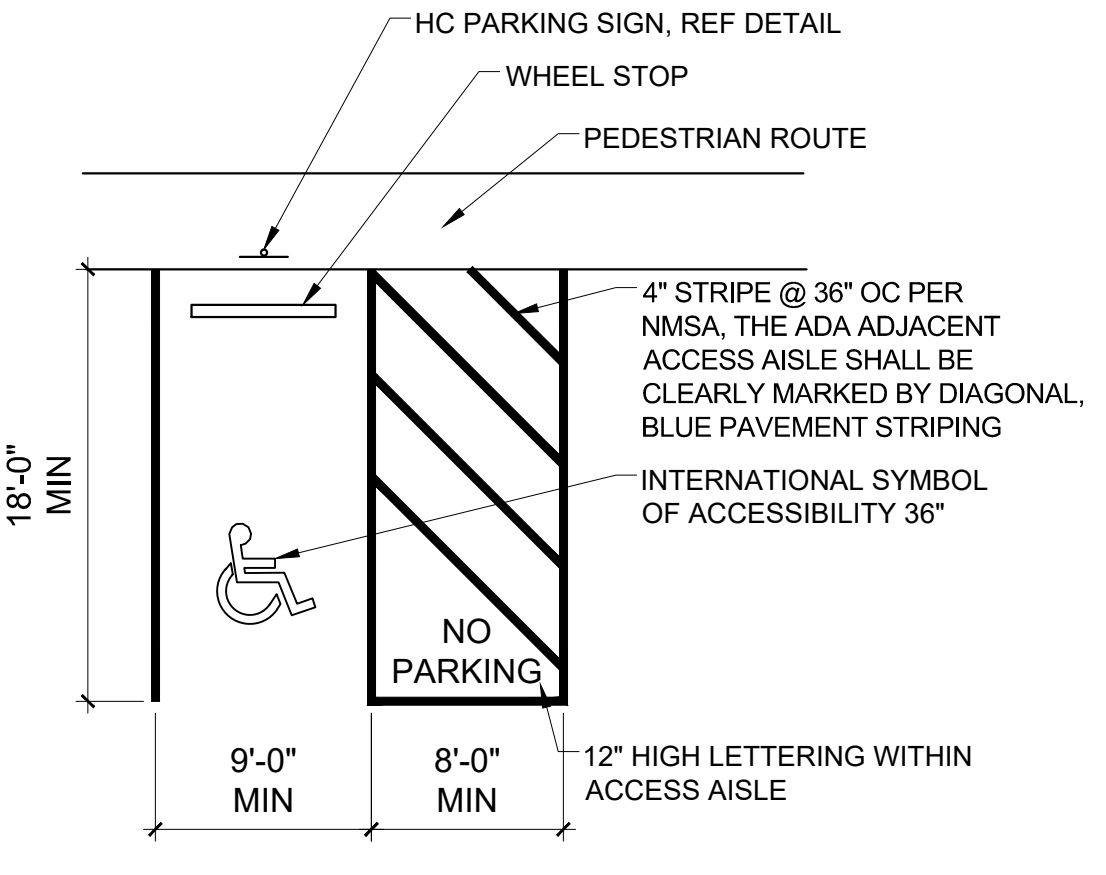
**MOTORCYCLE SIGN**

SCALE: 1/2" = 1'-0"



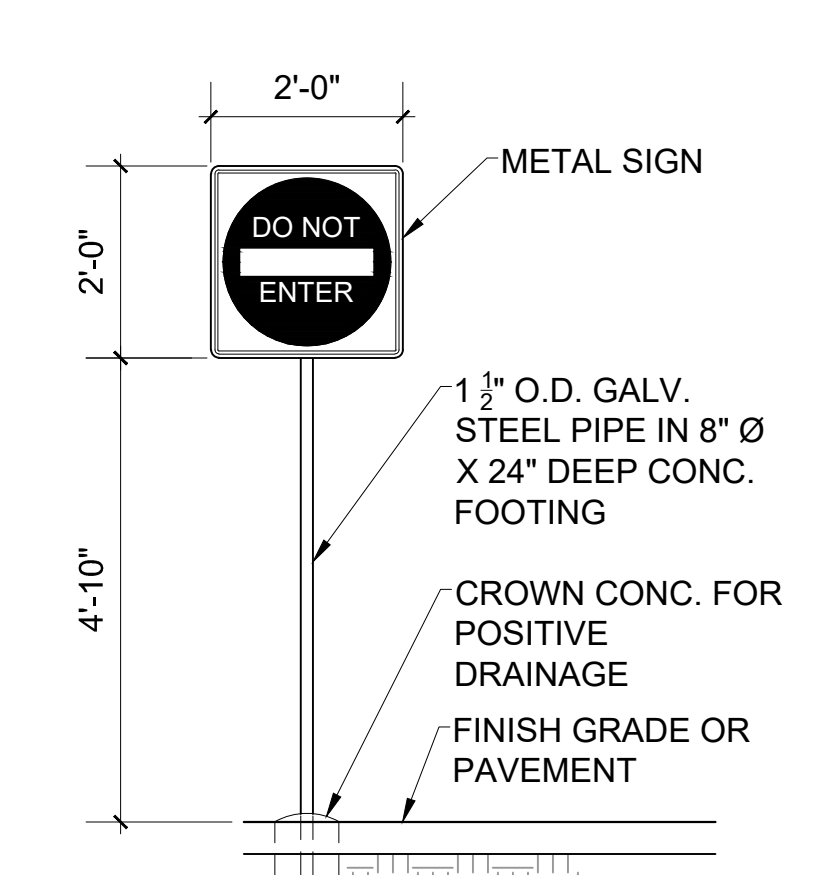
**REFUSE ENCLOSURE**

SCALE: 1/8" = 1'-0"



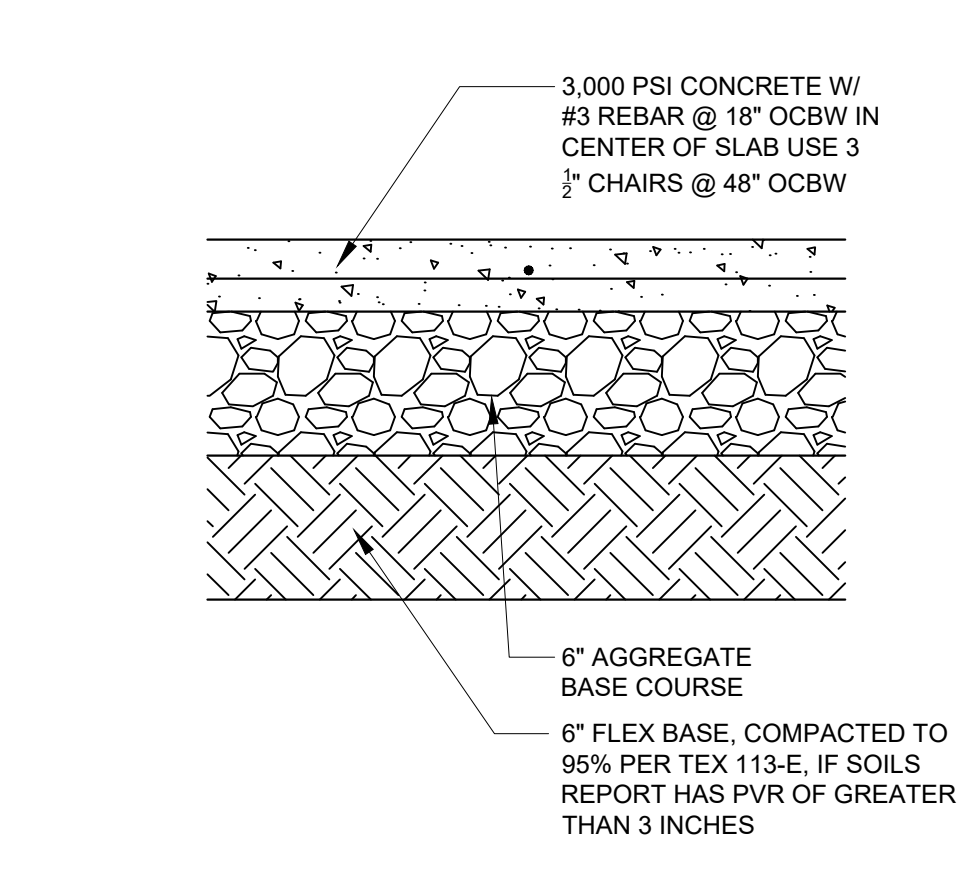
**ADA PARKING**

SCALE: 3/8" = 1'-0"



**DO NOT ENTER SIGN**

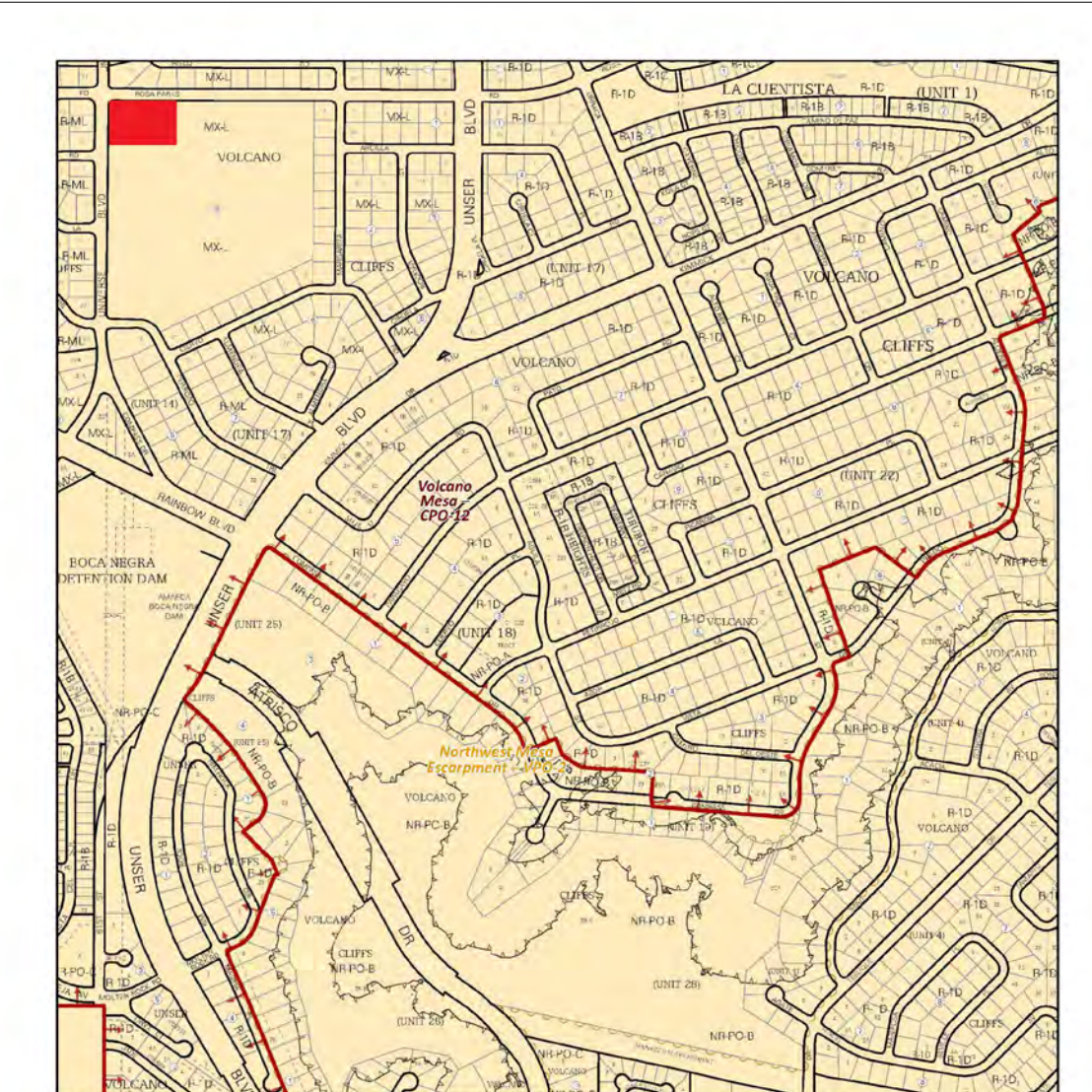
SCALE: 1/2" = 1'-0"



**PAVING SECTION**

SCALE: NTS

**ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER**



**IDO Zone Atlas**  
 May 2018

**AGIS**

**IDO Zoning Information as of May 11, 2018**  
 The Zone Districts and Overlay Zones were established by the Integrated Development Ordinance (IDO).

**Scale Atlas Page: D-10-Z**

Legend:  
 - Lasers  
 - Escarpment  
 - Planning National Monument  
 - Area Outside of City Limits  
 - Airport Protection Overlay (APO) Zone  
 - Character Protection Overlay (CPO) Zone  
 - Historic Protection Overlay (HPO) Zone  
 - View Protection Overlay (VPO) Zone

**AREA MAP**

SCALE: NTS

**SCOTT C. ANDERSON & Associates architects**  
 2818 4th St NW, Suite C Albuquerque, NM 87107  
 scott@scotarchitects.com 505.401.7575

**UNIVERSE VIEW STRIP CENTER**  
 UNIVERSE BLVD NW  
 ALBUQUERQUE, NM 87114

**TRAFFIC CIRCULATION LAYOUT**

	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-100</b>
DATE	9/24/2023	OF













# PR-2020-004596\_SI-2024-00390\_Site\_Plan\_Aproved\_7-31-24\_Updated

Final Audit Report

2024-08-26

Created:	2024-08-05
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAi8IDHCbOWn1lxtZLNelFCrrk60BjZBon

## "PR-2020-004596\_SI-2024-00390\_Site\_Plan\_Aproved\_7-31-24\_Updated" History

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-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature  
2024-08-05 - 4:24:18 PM GMT
-  Document emailed to Tiequan Chen (tchen@cabq.gov) for signature  
2024-08-05 - 4:24:18 PM GMT
-  Document emailed to David G. Gutierrez (dggutierrez@abcwua.org) for signature  
2024-08-05 - 4:24:18 PM GMT
-  Document emailed to Jeff Palmer (jppalmer@cabq.gov) for signature  
2024-08-05 - 4:24:18 PM GMT
-  Document emailed to Whitney Phelan (wphelan@cabq.gov) for signature  
2024-08-05 - 4:24:19 PM GMT
-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature  
2024-08-05 - 4:24:19 PM GMT
-  Email viewed by Ernest Armijo (earmijo@cabq.gov)  
2024-08-05 - 4:24:59 PM GMT
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Signature Date: 2024-08-05 - 4:25:13 PM GMT - Time Source: server
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2024-08-05 - 4:27:41 PM GMT



 Document e-signed by Tiequan Chen (tchen@cabq.gov)

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