



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2020-004604

Application No. SI-2020-001467

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 1/27/21 HEARING DATE OF DEFERRAL: 1/13/20

**SUBMITTAL**

**DESCRIPTION:** Comment response memo, building elevation exhibits, revised plan set and solid waste approval, hydrology approval, roundabout exhibit, and proposed infrastructure list.

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CONTACT NAME: Michael Vos, AICP \_\_\_\_\_

TELEPHONE: (505) 764-9801 EMAIL: vos@consensusplanning.com \_\_\_\_\_



# Memorandum

**To:** Jolene Wolfley and DRB Members, City of Albuquerque  
**From:** Michael Vos, AICP, Consensus Planning, Inc. *MV*  
**Date:** January 22, 2021  
**Re:** Allaso Vineyards DRB Comment Responses (PR-2020-004604)

This memo outlines the responses and changes made to the site plan for the Allaso Vineyards project based on the comments received and reviewed at the January 13, 2021 DRB meeting. The comments are numbered and followed by the response in italics.

## Code Enforcement

1. Comply with 5-11(D)(3) Windows In new multi-family residential development, windows shall be recessed not less than 2 inches and/or shall be surrounded by a window casing not less than 2 inches wide.
  - a. *As discussed at the DRB meeting on January 13, 2021, it was determined that this requirement does not apply to this project due to the Mixed-use (MX-L) zoning and the site's location outside of a UC-MS-PT area.*

## Hydrology

1. Hydrology has an approved Conceptual Grading & Drainage Plan (C20D086) with Preliminary Approved Stamp date 01/11/21. Hydrology has no objection to Site Plan for Building Permit.
  - a. *This approved G&D plan has been included in the resubmitted plan set.*
2. The infrastructure list will be needed for Preliminary Plat or Site Plan for Building Permit approval.
  - a. *The infrastructure list has been generated and included with this resubmittal.*

## Transportation Development

1. A Traffic Impact Study is being prepared for this project. Implement findings of approve Traffic Impact Study onto the infrastructure list.
  - a. *The TIS did not identify any required improvements in its findings due to the low impact of the development. However, the Applicant is improving the streets abutting the property with an additional southbound lane along Ventura and sidewalks along the property frontage on both Holly and Ventura included on the infrastructure list. The site retaining walls are also included at the request of staff.*
2. A work orders shall be required for the proposed improvements on the infrastructure list along with the infrastructure recommendations from the Traffic Impact Study. Due to proximity to NMDOT's facilities, NMDOT will need to review the roadway layout.
  - a. *Understood.*
3. Provide exhibit showing the alternative of a roundabout to make sure that the configuration

does not conflict with the proposed site plan.

- a. A roundabout exhibit has been included with the resubmittal to show that no conflicts will occur.*
4. Show drive entrances opposite of site along Holly to demonstrate lack of traffic circulation conflict.
  - a. Driveways along Holly have been added to the plans.*
5. Show sight distance triangles for drive entrances on both the site plan and the landscaping plan. Follow AASHTO standards laid out in the DPM. Provide standard note showing limits on landscaping height within the clear sight triangles.
  - a. Sight distance triangles have been added to the plans.*
6. Call out typical width and length of parking spaces in all sections of the site plan.
  - a. Typical dimensions have been added, as well as size identified by Keynote 1001. A parking space detail is included on sheet A1.20.*
7. Provide “Do Not Enter” signage, one-way signage, and pavement arrows for one-way driving aisles.
  - a. Keynote 1032 has been added to the plan to clearly identify the exit only gate where entry is not allowed from Ventura.*
8. Label curb and curb radii. A minimum 6-inch to 8-inch curb height is required to separate parking from landscaping islands and sidewalk.
  - a. Dimensions added and Keynote 1033 identifies and confirms required curbs and heights.*
9. Call out all sidewalk widths on-site.
  - a. Sidewalks and their dimensions are identified by Keynotes 1014, 1015, and 1016.*
10. Label 2% maximum slope on sidewalk.
  - a. Sidewalk slopes identified by Keynotes 1014, 1015, and 1016.*
11. Where is Note 1024 on list of Keyed Notes?
  - a. Added to plan to identify new fire hydrants, to be painted safety orange.*
12. For note 1010, identify type of gate and call out detail.
  - a. Keynote has been revised and note added to updated detail on sheet A1.21 to reflect swing/sliding gate type.*
13. Next to the van accessible space, label a minimum of 8 feet for the width of the van accessible aisle.
  - a. Per ADA, the Architect utilizes an 11-foot space with a 5-foot aisle as an alternative to the 8-foot space and 8-foot aisle option. This is clearly show in the typical accessible parking stall detail on sheet A1.20.*
14. Dimension parking lot keyways. The minimum required width is 5 feet.
  - a. Dimension has been added to the keyway on the drive aisle in the center of the site.*

#### ABCWUA

See attached response memo submitted by RESPEC identifying changes to the utility plan, which is included in the revised plan set.

#### Planning

1. A Preliminary/Final Plat consolidating the lots on the Site will need to be approved by the DRB prior to the approval of the Site Plan by the DRB.
  - a. The plat and an associated vacation of a public utility easement have been submitted for review and approval by the DRB.*

2. The Site Plan will need Solid Waste's signature prior to final sign off.
  - a. *The Applicant has updated the site plan to adjust the trash enclosure locations in response to neighborhood comments. A copy of the Solid Waste signed site plan is part of this resubmittal and the Applicant will ensure their signature is on the final set for distribution to the DRB upon approval.*
3. The existing wall at the northern and western property boundaries of the Site must be a minimum of 6-feet in height per the Neighborhood Edge requirements per 5-9(D)(1)(a) of the IDO. The applicant needs to verify that the existing wall is at least 6-feet in height and note its height on the Site Plan.
  - a. *The Applicant has verified the height and added a note to the Site Plan stating such. If upon further field verification the City determines that any part of the wall does not meet the required standard, the Applicant will work with the neighbors to improve the wall as those neighbors are willing.*
4. Per 5-5(D)(1) of the IDO, a minimum of four (4) motorcycle parking spaces are required, and must be depicted on the Site Plan.
  - a. *As discussed at the previous DRB meeting, this standard is not applicable due to the residential nature of the development.*
5. The applicant needs to confirm that the Façade Design requirements of 5-11(E)(2)(a) of the IDO are being met.
  - a. *The Applicant has reviewed the elevations for compliance with the design standards. Exhibits 1 and 2 in this resubmittal include dimensions and notes calculating each feature and its compliance on each required elevation. An additional stucco finish has been added along the ground floor to further define and provide a sense of human scale at the ground level as required by 5-11(E)(2)(a)1.*
6. Please note that staff could have future comments and the Site Plan is still under review.
  - a. *Understood.*



January 21, 2021

Kristopher Cadena, PE  
Utility Development Section  
ABCWUA

**RE: PR-2020-004604 Review Comments Response Letter**

RESPEC has revised the utility design for the above referenced project to address comments provided by ABCWUA on 1/13/21. The following comments are addressed:

**1. Availability Statement #201116 has been issued and provides the conditions for service.**

**2. Utility Plan**

- a. **The proposed FDC appears to connect to the proposed fire line. FDC connections connect directly to the building.**

FDC connection revised.

- b. **Per the Cross Connection Ordinance, this development is considered a non-residential water customer as it is a multi-family dwelling of three (3) or more stories. All new non-residential premises shall have a backflow preventer. Please shown on plans.**

Note on plans describes backflow preventer to be internal to the buildings.

- c. **The onsite private waterline loops to the public system. The DPM does not allow for looping of a private line into the public system. Please provide separate fire lines for the private fire hydrant and fire suppression systems.**

The proposed line connection has been removed from Ventura St. to eliminate the looped system.

**3. Pro Rata is owed and must be paid prior to approval.**

- a. **Total for three lots (17, 18, and 19) is \$26,066.30.**

Should you have any additional comments or questions regarding this project, please reach out at your convenience.

1/21/2021

Jesus Lopez, PE

Date

505-252-0815 cell

[Jesus.Lopez@respec.com](mailto:Jesus.Lopez@respec.com)

5971 JEFFERSON ST., NE  
SUITE 101  
ALBUQUERQUE, NM 87109  
505.268.2661

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

January 8, 2021

Jesus Lopez, P.E.  
Respec  
5971 Jefferson St. NE  
Albuquerque, NM 8710

**RE: Allaso Vineyards Apartments  
Conceptual Drainage Report  
Engineer's Stamp Date: No Engineer's Stamp Date  
Hydrology File: C20D086**

Dear Mr. Lopez:

Based upon the information provided in your submittal received 12/16/2020, the Conceptual Drainage Report is approved for action by the DRB on Site Plan for Building Permit.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

Prior to Building Permit Submittal

The following comments need to be addressed for approval:

Sheet C-101

1. Stormwater discharges across the sidewalk are not allowed on collector roads and above; provide sidewalk culverts or drain lines through the curb. (See below)

PO Box 1293

Albuquerque

NM 87103

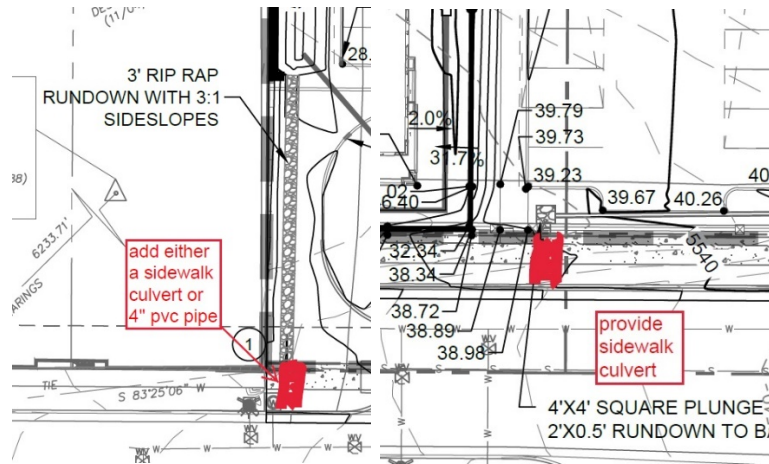
[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

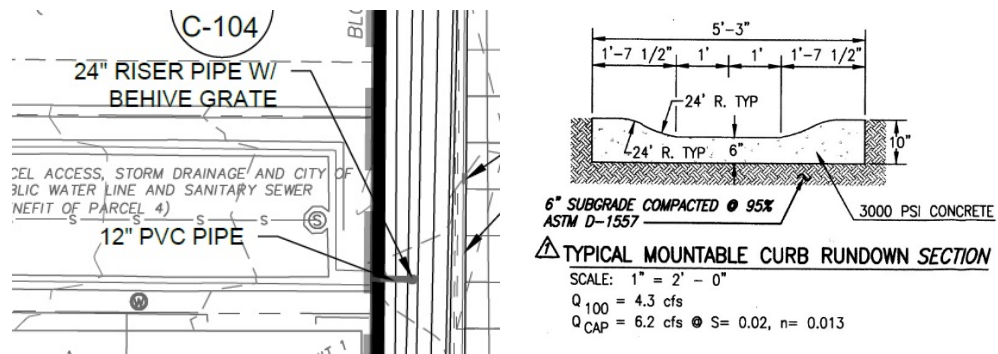


- Please show in more detail as how the proposed 12" PVC will be outfall into the existing mountable curb rundown (see below). A section showing the riser pipe with all needed elevations may be of some help.

PO Box 1293

Albuquerque

NM 87103



www.cabq.gov

## Sheet C-102

- Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) (signed 06/08/20) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100-year 6-hour storm event.
- Please follow the DPM (signed 06/08/20) Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area draining to the BMP by 0.42 inches for new development sites and 0.26 inches for redevelopment sites.
- Please provide the weir calculations, per DPM Article 6-16(A), for the curb cuts and sidewalk culverts. A coefficient of 2.7 is typically used for the weir equation  $Q = CLH^{2/3}$ .

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

## Sheet C-104

1. Section 2. A waterblock, 0.87' high, per COA Paving Detail No. 2426, is required at the driveway entrance. It appears that this needs to be provided.
2. Section 8. A waterblock, 0.87' high, per COA Paving Detail No. 2426, is required at the driveway entrance. It appears that this needs to be provided.
3. Section 9. Please add a note stating that the contractor shall waterproof the existing retaining wall below the 100-yr 24-hour water surface elevation of 26.0 per City standards.

## Sheet C-105

1. Please provide all structural calculations that corresponds with the retaining details to ensure that they will work especially the ones right next to the R.O.W. These calculations can be submitted as a separate document with an engineering stamp and signature & date with the submittal.

PO Box 1293

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Albuquerque

Sincerely,

NM 87103

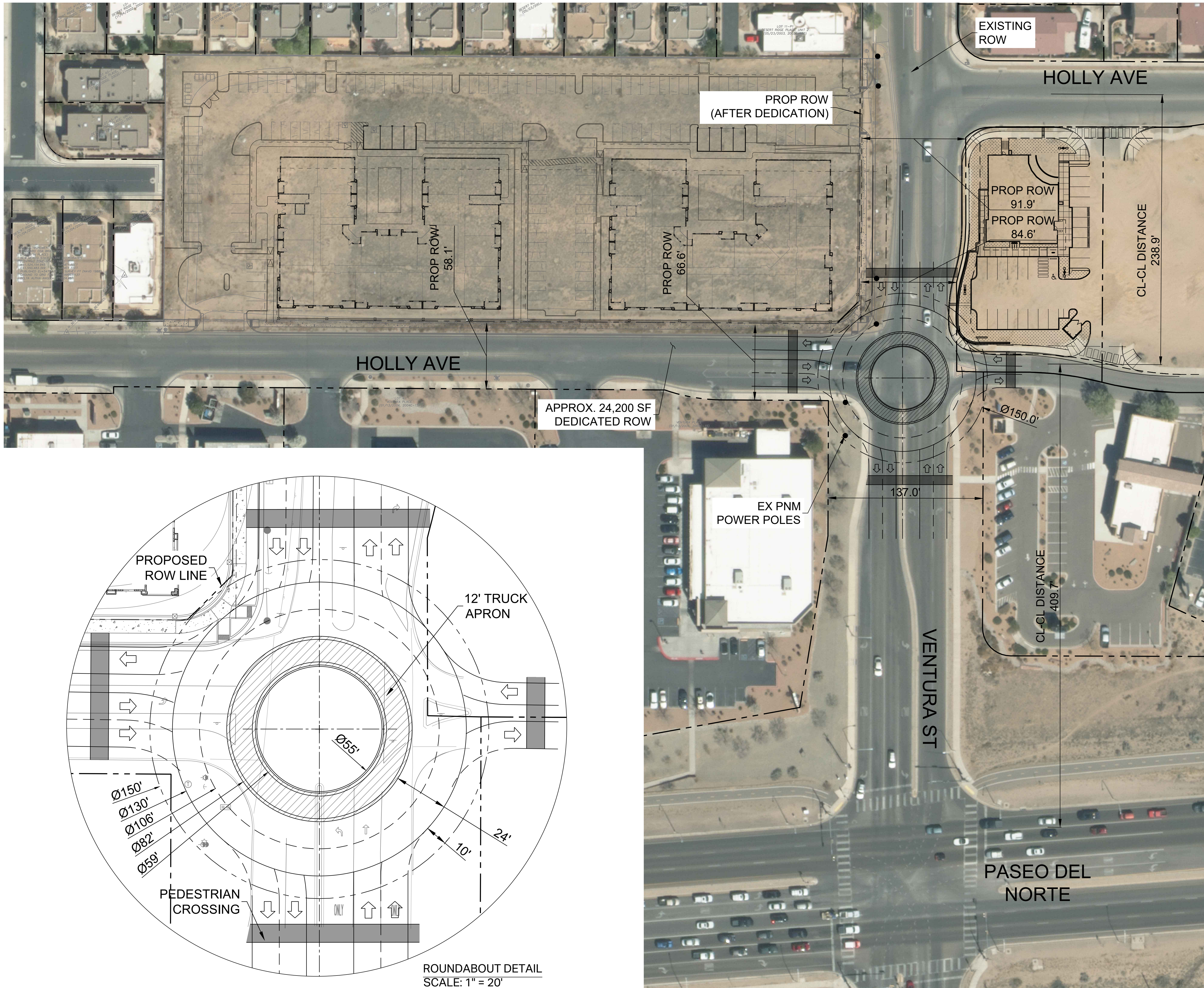
Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

[www.cabq.gov](http://www.cabq.gov)



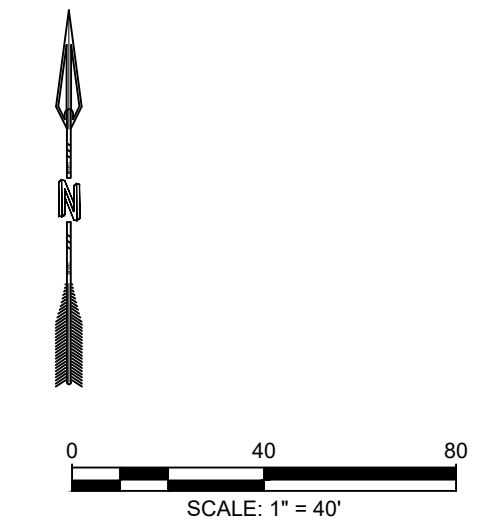
# ROUNABOUT EXHIBIT

HOLLY AVE & VENTURA ST INTERSECTION  
DECEMBER 2020



NAME: L:\Active Projects\04012 Titan Holly Apts3 - DWG\Xref\04012 Roundabout Exhibit2.dwg PLOT DATE: Dec-07, 2020 12:14pm

ROUNABOUT DETAIL  
SCALE: 1" = 20'



**RESPEC**

5971 JEFFERSON STREET SUITE 101  
ALBUQUERQUE, NEW MEXICO 87109  
WATER & NATURAL RESOURCES  
WWW.RESPEC.COM 505.243.2287



Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: January 22, 2021

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: \_\_\_\_\_

Date Preliminary Plat Expires: \_\_\_\_\_

DRB Project No.: 2020-004604

DRB Application No.: \_\_\_\_\_

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**LOT 19A BLOCK 9 NAA TRACT 3 UNIT 3**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOTS 17-19 BLOCK 9, NAA TRACT 3 UNIT 3 AND LOT 4 DESERT RIDGE UNIT 1**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	720 FT	6' SIDEWALK 4" PCC	SOUTH AND EAST ALONG FRONTAGE OF SITE	SW CORNER OF SITE	NE CORNER OF SITE	/	/	/
<input type="text"/>	<input type="text"/>	6	WHEELCHAIR ACCESS RAMP, 4" PCC	SOUTH & EAST DRIVEWAYS, SE CORNER			/	/	/
<input type="text"/>	<input type="text"/>	240 FT	SOUTHBOUND LANE	VENTURA ST EAST OF SITE	NE CORNER OF SITE	SE CORNER OF SITE	/	/	/
<input type="text"/>	<input type="text"/>	270 FT	6' CMU RETAINING WALL	SE CORNER OF SITE	40' SOUTH OF EAST DRIVEWAY	140' EAST OF SE INTERSECTION	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_  
\_\_\_\_\_
- 2 \_\_\_\_\_  
\_\_\_\_\_
- 3 \_\_\_\_\_  
\_\_\_\_\_


**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

**Jesus Lopez**  
NAME (print)

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**RESPEC**  
FIRM

 1/22/2021  
SIGNATURE - date

\_\_\_\_\_ DRB CHAIR - date

\_\_\_\_\_ TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_ UTILITY DEVELOPMENT - date

\_\_\_\_\_ CITY ENGINEER - date

\_\_\_\_\_ PARKS & RECREATION - date

\_\_\_\_\_ AMAFCA - date

\_\_\_\_\_ CODE ENFORCEMENT - date

\_\_\_\_\_ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER