

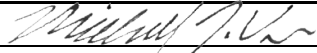


Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>SUBDIVISIONS</b>		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<b>MISCELLANEOUS APPLICATIONS</b>		<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input checked="" type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
<b>SITE PLANS</b>		<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
<b>BRIEF DESCRIPTION OF REQUEST</b>			
Amendment to Infrastructure List to include roundabout.			

<b>APPLICATION INFORMATION</b>		
Applicant: Titan Development		Phone: (505) 998-0163
Address: 6300 Riverside Plaza Ln NW #200		Email: jrogers@titan-development.com
City: Albuquerque	State: NM	Zip: 87120
Professional/Agent (if any): Consensus Planning, Inc.		Phone: (505) 764-9801
Address: 302 8th Street NW		Email: vos@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Contract Purchaser	List all owners: Rowe RVT and Trust B RVT	
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: Lots 17, 18, 19, and 20 (Parcel 4)	Block: 9	Unit: Tract 3, Unit 3
Subdivision/Addition: North Albuquerque Acres (Desert Ridge Place)	MRGCD Map No.:	UPC Code: See Attached
Zone Atlas Page(s): C-20	Existing Zoning: MX-L	Proposed Zoning No Change
# of Existing Lots: 4	# of Proposed Lots: 1	Total Area of Site (Acres): 3.5 acres
<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: 99999 Holly Avenue NE	Between: Ventura Street NE	and: Desert Shadow Way
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		
PR-2020-004604		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

<b>Signature:</b> 	<b>Date:</b> 5/27/21
<b>Printed Name:</b> Michael J. Vos, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

<b>FOR OFFICIAL USE ONLY</b>					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:			Fee Total:		
Staff Signature:		Date:	Project #		



October 1, 2020

**ADDITIONAL INFORMATION FOR DRB APPLICATION – TITAN DEVELOPMENT SKETCH PLAT**

SITE INFORMATION:

LOT: 17  
BLOCK: 9  
SUBDIVISION: NAA TRACT 3  
UNIT: 3  
UPC: 102006425306730216  
AREA: 0.8864

LOT: 18  
BLOCK: 9  
SUBDIVISION: NAA TRACT 3  
UNIT: 3  
UPC: 102006423906730215  
AREA: 0.8864

LOT: 19  
BLOCK: 9  
SUBDIVISION: NAA TRACT 3  
UNIT: 3  
UPC: 102006422206730214  
AREA: 0.8864

LOT: 4  
BLOCK:  
SUBDIVISION: DESERT RIDGE  
UNIT: 1  
UPC: 102006420009930213  
AREA: 0.8954

5971 JEFFERSON ST., NE  
SUITE 101  
ALBUQUERQUE, NM 87109

**FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS**

*Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar or paper copy of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.*

**SKETCH PLAT REVIEW AND COMMENT**

- Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_  
 \_\_\_ A *Single* PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*  
 \_\_\_ Zone Atlas map with the entire site clearly outlined and labeled  
 \_\_\_ Letter describing, explaining, and justifying the request  
 \_\_\_ Scale drawing of the proposed subdivision plat (7 copies, folded)  
 \_\_\_ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use (7 copies, folded)

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

- Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_  
 \_\_\_ A *Single* PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*  
 \_\_\_ Zone Atlas map with the entire site clearly outlined and labeled  
 \_\_\_ Proposed Final Plat (7 copies, 24" x 36" folded)  
 \_\_\_ Design elevations & cross sections of perimeter walls (3 copies)  
 \_\_\_ Copy of recorded IIA  
 \_\_\_ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer  
 \_\_\_ DXF file and hard copy of final plat data for AGIS submitted and approved

**SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)**

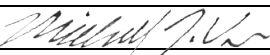

- Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_  
 \_\_\_ A *Single* PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*  
 \_\_\_ Zone Atlas map with the entire site clearly outlined and labeled  
 \_\_\_ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)  
 \_\_\_ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)  
 \_\_\_ Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal. (7 copies, folded)  
 \_\_\_ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)  
 \_\_\_ Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)  
 \_\_\_ Signed Form DRWS Drainage Report Grading and Drainage Plan, and Water & Sewer Availability submittal information  
 \_\_\_ Proposed Infrastructure List, if applicable  
 \_\_\_ Required notice with content per IDO Section 14-16-6-4(K)  
 \_\_\_ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives  
 \_\_\_ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer  
 \_\_\_ DXF file and hard copy of final plat data for AGIS submitted and approved

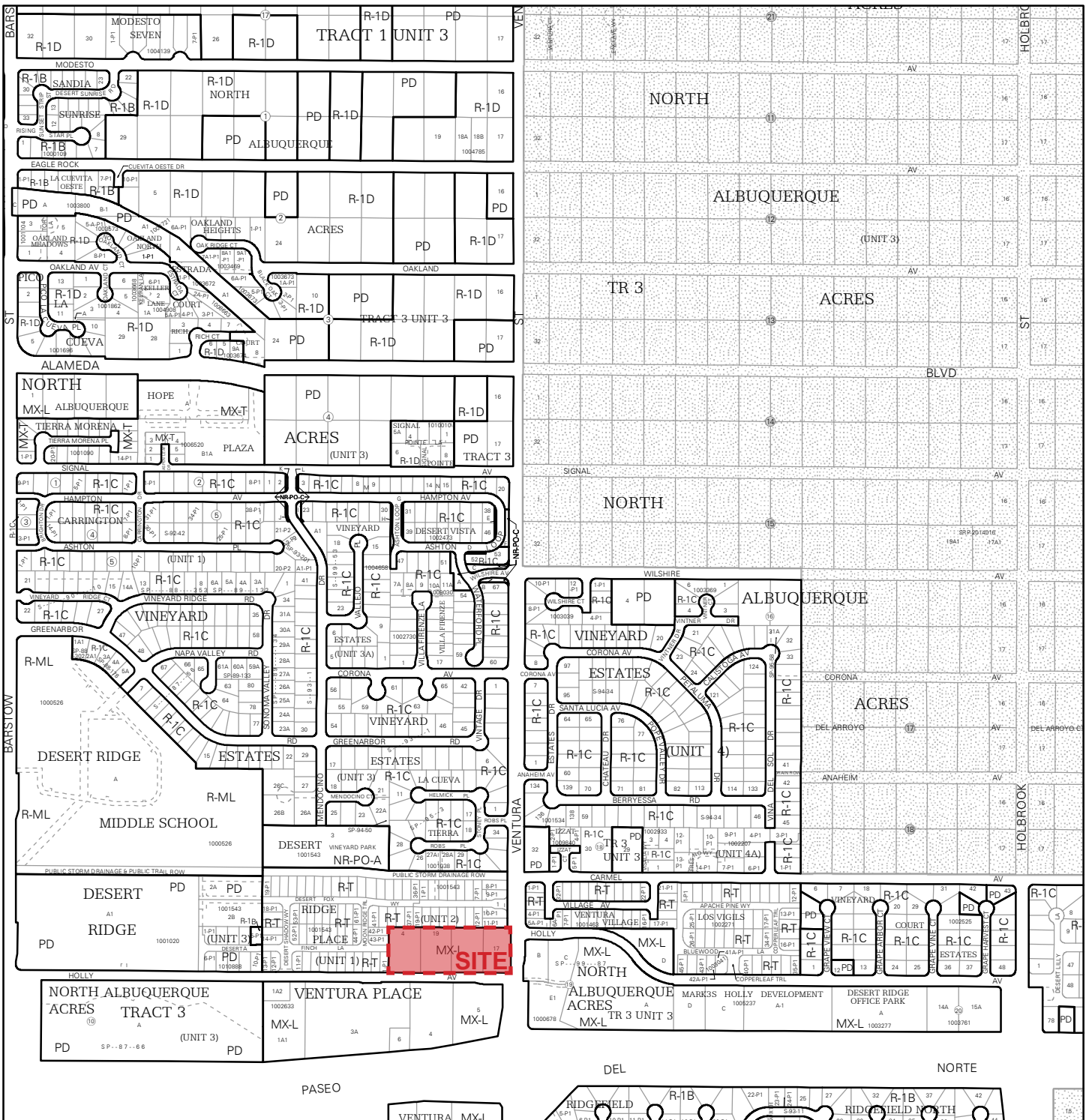
**Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.**

**MINOR AMENDMENT TO PRELIMINARY PLAT**

- Interpreter Needed for Hearing? No if yes, indicate language: \_\_\_\_\_  
 A *Single* PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*  
 Zone Atlas map with the entire site clearly outlined and labeled  
 Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)  
 Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)  
 Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)  
 Infrastructure List, if applicable

**Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.**

<b>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</b>	
Signature: 	Date: 5/27/21
Printed Name: Michael J. Vos, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas

## May 2018

**IDO Zoning information as of May 17, 2018**  
**The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).**

Zone Atlas Page:  
**C-20-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits



December 15, 2020

Jolene Wolfley, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87102

RE: Site Plan – DRB for Northwest Corner of Holly Avenue and Ventura Street NE

Dear Chair Wolfley:

The purpose of this letter is to authorize Consensus Planning, Inc. and RESPEC to act as our agents for a Site Plan – DRB approval on behalf of Titan Development for the property located at the northwest corner of Holly Avenue NE and Ventura Street NE.

The property is legally described as Lots 17 thru 20, Block 9, North Albuquerque Acres, Tract 3, Unit 3 and Parcel 4, Subdivision Plat of Desert Ridge Place Unit 1.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "JR", with a long horizontal flourish extending to the right.

Josh Rogers  
Vice President of Development  
Titan Development

December 15, 2020

Jolene Wolfley, Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87102

RE: Site Plan – DRB for Northwest Corner of Holly Avenue and Ventura Street NE

Dear Chair Wolfley:

The purpose of this letter is to authorize Titan Development, Consensus Planning, Inc. and RESPEC to act as our agents for a Site Plan – DRB approval on behalf of Rowe RVT and Trust B RVT for our property located at the northwest corner of Holly Avenue NE and Ventura Street NE.

The property is legally described as Lots 17 thru 20, Block 9, North Albuquerque Acres, Tract 3, Unit 3 and Parcel 4, Subdivision Plat of Desert Ridge Place Unit 1.

Thank you for your consideration.

Sincerely,



Christine R Brennan  
Co-trustee  
Rowe RVT and Trust B RVT



May 27, 2021

Ms. Jolene Wolfley, Associate Director/DRB Chair  
Albuquerque Planning Department  
600 North 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102  
[jwolfley@cabq.gov](mailto:jwolfley@cabq.gov)

Dear Ms. Wolfley:

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
[cp@consensusplanning.com](mailto:cp@consensusplanning.com)  
[www.consensusplanning.com](http://www.consensusplanning.com)

The purpose of this letter is to request approval of a Minor Amendment and reapproval of the Infrastructure List for the Allaso Vineyards project at Holly Avenue and Ventura Street NE. The legal description of the site is Lots 17 through 20, Block 9, North Albuquerque Acres Tract 3, Unit 3 and Parcel 4, Subdivision Plat of Desert Ridge Place Unit 1 containing approximately 3.5 acres.

This project was approved by the Development Review Board with delegation to Transportation and Planning on January 27, 2021. Since then, the Applicant has been working on the financial guarantee and infrastructure improvements agreement, as well as the other conditions of approval. During this time, the City of Albuquerque added a proposed roundabout at the intersection of Holly and Ventura to the Component Capital Implementation Program. The roundabout was not a result of this project, so it was not initially identified for construction. However, as an adjacent property, the Applicant has agreed to construct the roundabout and obtain the related impact fee credits for doing so. As such, we are amending the infrastructure list to include this item, which will be further defined during the DRC process for design and construction.

This amendment meets the criteria to be considered a minor amendment under Section 14-16-6-4 (Y)(2)(a) of the IDO based on the following (Applicant responses following each criterion in italics):

**6-4(Y)(2) Minor Amendments**

6-4(Y)(2)(a) A minor amendment must meet all of the following criteria:

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

*At the time of the original approval, the roundabout was not identified as a required improvement and was not yet part of the City's Component Capital Implementation Program. When the Site Plan for this project was originally approved, the only transportation improvements were to the adjacent roadways to widen and install sidewalk, curb, and gutter. With the changes to the City's long-term plans for the Holly and Ventura intersection, which were not created by the actions of the owner of this property, this amendment is necessary for the Applicant to include the roundabout in their design plans and to construct it on behalf of the City.*

PRINCIPALS

James K. Strozier, FAICP  
Christopher J. Green, PLA,  
ASLA, LEED AP  
Jacqueline Fishman, AICP



2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

*The proposed amendment is for public infrastructure and does not affect any development standards from the IDO.*

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

*The Amendment is not decreasing the amount of open space within the development. The proposed roundabout will not encroach into the project site for the approved multi-family development. No additional right-of-way is required.*

4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

*This amendment is simply to add a roundabout to the infrastructure list. The buildings are remaining as originally approved.*

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

*The total number of units is not changing with this request.*

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.

*The proposed amendment does not adjust any building design standards or change any features on the approved Site Plan.*

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

*The total amount of landscape area is unchanged by this request.*



8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

*The amendment does not change the number of dwelling units, square footages, amount of parking, or means of ingress or egress, so no increase in traffic is anticipated. The proposed change to add a roundabout to the infrastructure list will provide for more efficient and safer movement of existing and future traffic in the area as determined by the City of Albuquerque in its Component Capital Implementation Program.*

9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

*The amendment does not require new major public infrastructure. Rather, this amendment is an adjustment to the previously approved infrastructure list to clarify and adjust the required major public infrastructure due to the addition of a roundabout to the City's Component Capital Implementation Plan. The proposed change does not change the access or circulation on the subject property.*

10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

*The proposed amendment does not change any existing conditions placed on the property by the DRB (see attached Notice of Decision).*

11. The amendment does not affect a property in an Overlay zone as regulated per 0, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

*The project is not located in an Overlay zone, so it does not affect any Overlay zone standards.*

12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

*The proposed development remains multi-family residential, as allowed by the underlying zoning and as shown on the approved Site Plan.*

13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

*The site has not yet been built per the approved plan, so there are no nonconformities on the site.*





Based on the IDO Criteria and responses provided above, we respectfully request approval of the attached Minor Amendment as provided for in the IDO. Please do not hesitate to contact us if you have any questions or require any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael J. Vos".

Michael J. Vos, AICP  
Senior Planner

Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: May 21, 2021

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: \_\_\_\_\_

Date Preliminary Plat Expires: \_\_\_\_\_

DRB Project No.: 2020-004604

DRB Application No.: \_\_\_\_\_

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**LOT 19A BLOCK 9 NAA TRACT 3 UNIT 3**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOTS 17-19 BLOCK 9, NAA TRACT 3 UNIT 3 AND LOT 4 DESERT RIDGE UNIT 1**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	720 FT	6' SIDEWALK 4" PCC	SOUTH AND EAST ALONG FRONTAGE OF SITE	SW CORNER OF SITE	NE CORNER OF SITE	/	/	/
<input type="text"/>	<input type="text"/>	1	WHEELCHAIR ACCESS RAMP, 4" PCC	SE CORNER OF SITE @ INTERSECTION			/	/	/
<input type="text"/>	<input type="text"/>	40' WIDE	ACCESS DRIVE INCL 2 ACCESS RAMPS	HOLLY AVE	SW CORNER OF SITE	40' EAST	/	/	/
<input type="text"/>	<input type="text"/>	26' WIDE	ACCESS DRIVE INCL 2 ACCESS RAMPS	VENTURA ST	NE CORNER OF SITE	26' SOUTH	/	/	/
<input type="text"/>	<input type="text"/>	240 FT	SOUTHBOUND LANE TRANSITION INCL PCC STD C&G	VENTURA ST EAST OF SITE	NE CORNER OF SITE	SE CORNER OF SITE	/	/	/
<input type="text"/>	<input type="text"/>	270 FT	6' CMU RETAINING WALL	SE CORNER OF SITE	40' SOUTH OF EAST DRIVEWAY	140' EAST OF SE INTERSECTION	/	/	/
<input type="text"/>	<input type="text"/>	580 FT	PCC STD C&G	HOLLY AVE	SW CORNER OF SITE	SE CORNER OF SITE	/	/	/
<input type="text"/>	<input type="text"/>	1	ROUNDAABOUT INCL. C&G, 6' SIDEWALK. 1-2 LANES FOR ROUNDAABOUT AS DETERMINED AT DRC LEVEL	HOLLY & VENTURA INTERSECTION			/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_
- \_\_\_\_\_
- 2 \_\_\_\_\_
- \_\_\_\_\_
- 3 \_\_\_\_\_
- \_\_\_\_\_

**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

**Jesus Lopez**  
NAME (print)

\_\_\_\_\_ DRB CHAIR - date

\_\_\_\_\_ PARKS & RECREATION - date

**RESPEC**

FIRM

\_\_\_\_\_ TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_ AMAFCA - date

 5/21/2021  
SIGNATURE - date

\_\_\_\_\_ UTILITY DEVELOPMENT - date

\_\_\_\_\_ CODE ENFORCEMENT - date

\_\_\_\_\_ CITY ENGINEER - date

\_\_\_\_\_ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

**LEGAL DESCRIPTION**

LOTS 17 THRU 20, BLOCK 9, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 AND PARCEL 4, SUBDIVISION PLAT OF DESERT RIDGE PLACE UNIT 1.

**NOTES**

- THE EXISTING PERIMETER SUBDIVISION WALL FOR DESERT RIDGE PLACE LOCATED ON THE NORTH AND WEST SIDES OF THE PROJECT SITE IS AT LEAST 6 FEET TALL AND MEETS THE NEIGHBORHOOD EDGE REQUIREMENTS IN IDO SECTION 14-16-5(D)(1)(A). IF, UPON FIELD VERIFICATION, IT IS DETERMINED THAT ANY PORTION OF THE WALL IS LESS THAN THE REQUIRED HEIGHT, THE OWNER OF THE PROJECT SITE SHALL COORDINATE WITH THE OWNER(S) OF THE SUBDIVISION LOT(S) WHERE THE WALL IS DEFICIENT TO IMPROVE THE WALL IF THE OWNER IS WILLING, SO IT MEETS THE APPLICABLE REQUIREMENTS.
- IN THE EVENT THAT ADDITIONAL INTERSECTION IMPROVEMENTS AT VENTURA AND HOLLY (CURRENTLY NOT SHOWN ON THE PLANS) ARE IDENTIFIED BY THE CITY OF ALBUQUERQUE BY JULY 1ST, 2021 AND ARE INCLUDED WITHIN THE CITY'S COMPONENT CAPITAL IMPROVEMENT PLAN (CCIP), DEVELOPER WILL NEED TO AMEND THE INFRASTRUCTURE LIST TO INCLUDE THOSE ADDITIONAL INTERSECTION IMPROVEMENTS. ANY IDENTIFIED IMPROVEMENTS ON THE CCIP LIST WHICH ARE OUTSIDE OF THE REQUIRED PUBLIC IMPROVEMENTS FOR THIS DEVELOPMENT SHALL BE SUBJECT TO IMPACT FEE CREDITS. IF REQUESTED BY THE DEVELOPER FROM THE CITY, ANY UNUSED IMPACT FEE CREDITS OBTAINED FROM THIS PROJECT, CAN BE REIMBURSED TO THE DEVELOPER BY THE CITY AT FULL VALUE AS ALLOWED UNDER THE CITY'S IMPACT FEE ORDINANCE. OTHER IMPROVEMENTS (OTHER THAN HOLLY/VENTURA INTERSECTION IMPROVEMENT) MUST ALSO BE ADDED TO THE INFRASTRUCTURE LIST IF IDENTIFIED AS PART OF THE REVIEW AND APPROVAL OF TIS BY THE CITY AND NMDOT.

**SITE LEGEND**

- DENOTES PROPERTY LINE
- DENOTES ACCESSIBLE PARKING
- FIRE HYDRANT
- NO. OF PARKING SPACES IN A ROW
- NO. OF CARPORT SPACES

**LIGHTING LEGEND**

MARK	MANUFACTURER MODEL NUMBER	VOLTS	LAMPS CR/CCT INPUT WATTS	REMARKS / MOUNTING
SA	HUBBELL LIGHTING VP-S-48L-110-4K7-3	MVOLT	LED 108.0 WATTS	SINGLE HEAD POLE LIGHT FIXTURE
SB	HUBBELL LIGHTING VP-S-48L-110-4K7-4	MVOLT	LED 108.0 WATTS	SINGLE HEAD POLE LIGHT FIXTURE
SC	HUBBELL LIGHTING VP-S-48L-110-4K7-5W	MVOLT	LED 108.0 WATTS	SINGLE HEAD POLE LIGHT FIXTURE
SF	HUBBELL LIGHTING TRP1-12L30-4K7-4	MVOLT	LED 28.1 WATTS	BUILDING MOUNTED LIGHT FIXTURE
C	VENTURE LIGHTING VP28416	MVOLT	LED 37.6 WATTS	CARPORT MOUNTED LIGHT FIXTURE

**DEVELOPMENT DATA**

**LOT AREA:**

NET: 144,013 SF 3.306 acres

**ZONING:**

CURRENT: MX-L  
LAND USE: MULTI-FAMILY RESIDENTIAL

**CONSTRUCTION TYPE:**

PROVIDED: VA & VB

**AMENITIES:**

POOL, SPA, FITNESS, RECREATION CLUB ROOM, RAMADAS, CABANAS, BBQ

**SETBACKS:**

PROVIDED: PARKING BUILDING  
FRONT (SOUTH): 6'-11" 11'-1"  
SIDE (EAST): 39'-11" 24'-2"  
SIDE (WEST): 15'-0" 100'-2"  
REAR (NORTH): 15'-0" 61'-10"

**BLDG HEIGHT:**

ALLOWED: 38 FEET (30 FEET WITHIN 100 FEET FROM NORTH AND WEST PROPERTY LINE)  
PROVIDED: 38 FEET (26 FEET WITHIN 100 FEET FROM NORTH AND WEST PROPERTY LINE)

**UNIT MIX:**

1 Bedroom	56
2 Bedroom	55
TOTAL UNITS	111

- ALL UNITS SHALL BE OF AT LEAST ANSI TYPE 'B' ACCESSIBILITY STANDARDS.
- 2% OF TOTAL UNITS TO BE ANSI TYPE 'A' ACCESSIBILITY STANDARDS.

**BUILDING AREAS:**

Occupancy Type	Area
BLDG 1	
A3	1,040 SF
B	1,059 SF
R2	58,383 SF
	60,482 SF
BLDG 2	
A3	1,040 SF
R2	60,399 SF
	61,439 SF
BLDG 3	
U	926 SF
	926 SF
BLDG 4	
U	846 SF
	846 SF

**OPEN SPACE:**

UNIT TYPE	OPEN SPACE REQUIRED	NO. OF UNITS	TOTAL
1 BEDROOM	225 SQ.FT./UNIT	56	12,600 SQ.FT.
2 BEDROOM	285 SQ.FT./UNIT	55	15,675 SQ.FT.
			28,275 SQ.FT.

PROVIDED: PRIVATE BALCONIES 7,094 S.F.  
ON SITE 26,674 S.F.  
TOTAL PROVIDED 33,768 S.F.

**PARKING:**

REQUIRED: 1.5 SPACES PER UNIT  
10% TRANSIT REDUCTION (NEW BUS STOP TO BE PROVIDED ON VENTURA STREET)  
1.35 SPACES PER UNIT 111 x 1.35 = 150 P.S.

PROVIDED: 1.44 SPACES PER UNIT - 111x1.44 = 160 P.S.

GARAGE	7
SECURE CARPORT	109
SECURE OPEN	39
UNSECURE OPEN	5
TOTAL PROVIDED	160

**ACCESSIBLE PARKING: (2% OF PARKING PROVIDED)**

REQUIRED: 160 x 0.02 = 4 PS  
PROVIDED: 4 PS (2 VAN ACCESSIBLE)

**BICYCLE PARKING: (10% OF PARKING PROVIDED)**

REQUIRED: 160 x 0.10 = 16 PS  
PROVIDED: GARAGE 7 PS  
BIKE RACKS 10 PS  
TOTAL 17 PS

**E.V.C. PARKING: (2% OF PARKING PROVIDED)**

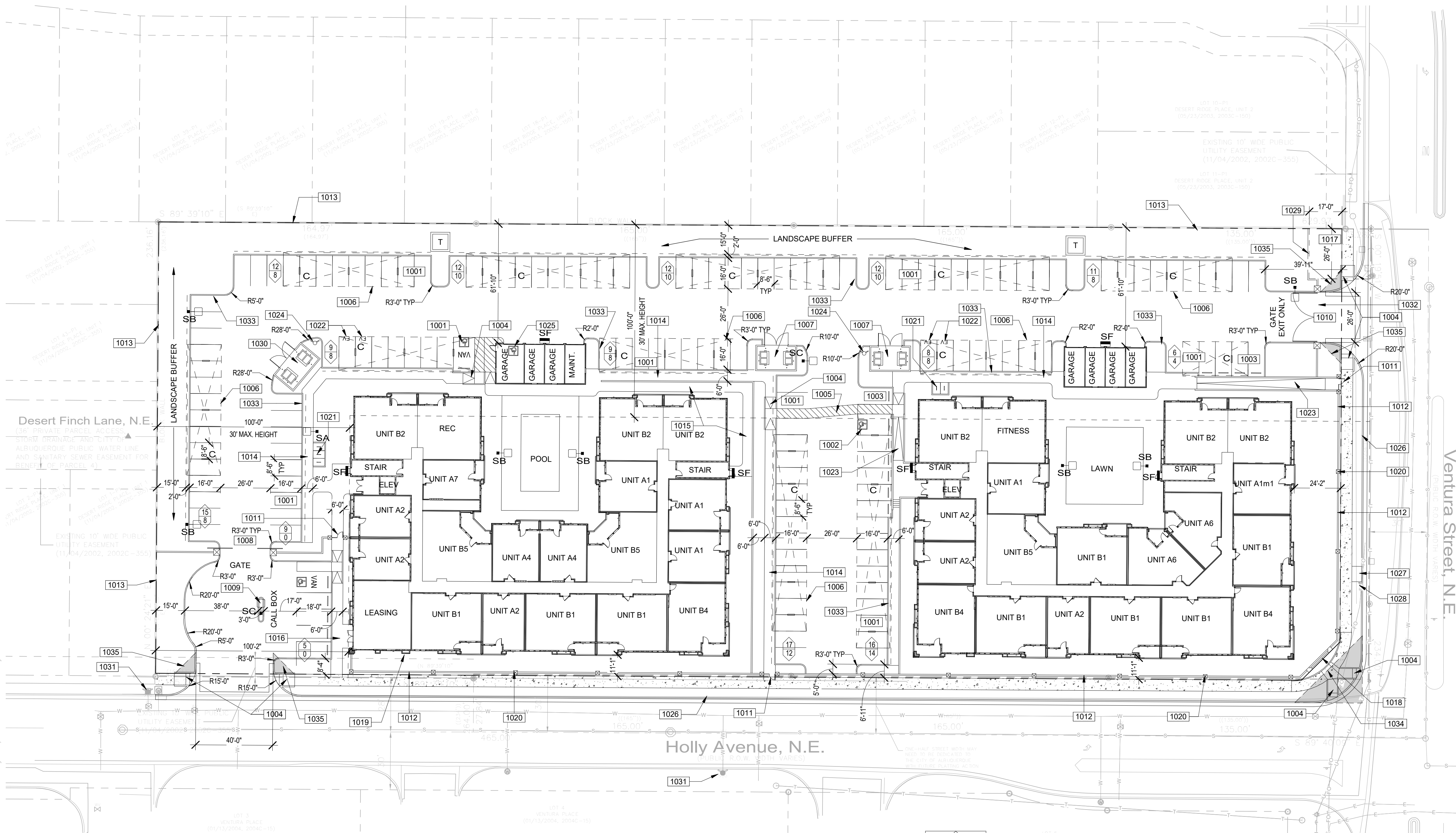
REQUIRED: 160 x 0.02 = 4 PS  
PROVIDED: 4 PS (SEE PARKING SPACES MARKED WITH 'EV')

**KEYNOTES**

- 8.5'x18' PARKING SPACE WITH 2' OVERHANG, TYPICAL. SEE DETAIL 1/41.20.
- 11'x18' ACCESSIBLE PARKING SPACE WITH WHEEL STOP. SEE DETAIL 6/A1.20.
- 8.5'x18' PARKING SPACE WITH WHEEL STOP. SEE DETAIL 15/A1.20.
- ACCESSIBLE CURB RAMP. SEE DETAIL 5/A1.20.
- 5' WIDE ACCESSIBLE DRIVEWAY CROSSING WITH STAMPED COLOR ASPHALT.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE. SEE DETAIL 8/A1.20.
- TRASH YARD WITH 6' TALL CMU WALL WITH STUCCO FINISH PAINTED TO MATCH BUILDING WITH TWO 4-YARD BINS FOR REGULAR TRASH. SEE DETAIL 3/A1.22.
- VEHICULAR SLIDING GATE. SEE DETAIL 22/A1.21.
- GATE CONTROL BOX AND SITE DIRECTORY MAP.
- EXIT ONLY ACCESS SWING GATE, PROVIDE KNOX KEY PER FIRE DEPARTMENT REQUIREMENTS, SEE DETAIL 22/A1.21.
- PEDESTRIAN GATE. SEE DETAIL 20/A1.21.
- WROUGHT IRON PERIMETER VIEW FENCE. SEE DETAIL 11/A1.20. REFER TO CIVIL DRAINGS FOR RETAINING CONDITIONS, SEE DETAIL 10/A1.20.
- EXISTING WALL TO REMAIN AT NORTH AND WEST PROPERTY LINE.
- 6' SIDEWALK WITH 5% MAX SLOPE AND 2% MAX. CROSS-SLOPE, TYPICAL AT PARKING. SEE DETAIL 8/A1.20.
- 5' SIDEWALK WITH 5% MAX SLOPE AND 2% MAX. CROSS-SLOPE.
- 6' CLEAR SIDEWALK WITH 5% MAX SLOPE AND 2% MAX. CROSS-SLOPE, CONNECTING ACCESSIBLE PARKING, PUBLIC WAY, AND MAIN LEASING ENTRANCE.
- PIN EASEMENT.
- MONUMENT SIGN. SEE DETAIL 45/A1.22.
- PROJECT SIGN MOUNTED ON BUILDING.
- 24"x24" CMU PILASTER AT WROUGHT IRON FENCE, PILASTER TO BE SPACED 50' MAX. ON CENTER, SEE DETAIL 12/A1.20.
- BICYCLE PARKING RACKS. SEE DETAIL 23/A1.21.
- 'EV' INDICATES LOCATION OF PARKING SPACE WITH ELECTRIC VEHICLE CHARGING STATION.
- PEDESTRIAN ACCESSIBLE RAMP TO COMPLY WITH ANSI AND ADA STANDARDS, WITH HANDRAILS ON BOTH SIDES AND A 3.3% MAX SLOPE.
- NEW FIRE HYDRANT. ALL PRIVATE FIRE HYDRANTS ARE TO BE PAINTED SAFETY ORANGE.
- ACCESSIBLE GARAGE SPACE.
- NEW STREET CURB AND SIDEWALK, SIDEWALK DETACHED 5 FEET FROM CURB.
- NEW BUS STOP CONCRETE PAD.
- NEW BUS STOP SIGN.
- 6' CMU WALL WITH STUCCO FINISH. SEE DETAIL 14/A1.20.
- TRASH YARD WITH 6' TALL CMU WALL WITH STUCCO FINISH PAINTED TO MATCH BUILDING WITH TWO 6-YARD BINS FOR RECYCLE TRASH. SEE DETAIL 35/A1.22.
- EXISTING FIRE HYDRANT.
- PROVIDE 'DO NOT ENTER' SIGN ON GATE.
- A MINIMUM 6-INCH TO 8-INCH CURB IS REQUIRED TO SEPARATE PARKING FROM LANDSCAPING ISLANDS AND SIDEWALK.
- 35'x30' CLEAR SIGHT TRIANGLE. LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
- 11'x11' MINI CLEAR SIGHT TRIANGLE. LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

**ALLASO VINEYARDS**  
NWC OF HOLLY AVE. NE AND VENTURA ST. NE  
ALBUQUERQUE, NEW MEXICO

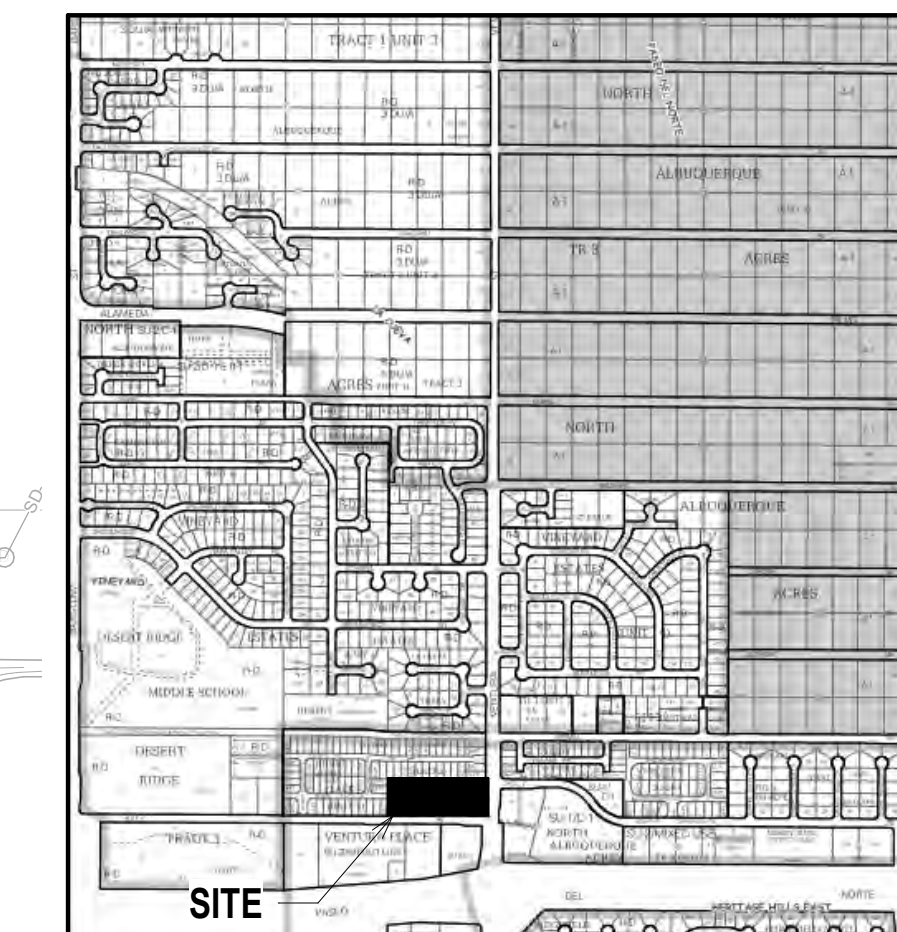
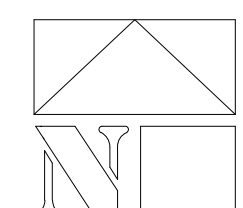
Office of Rich Barber  
**ORB** Architecture, Inc.  
WorldHQ@ORBArch.com



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**PRELIMINARY SITE PLAN**

SCALE: 1" = 30'-0"



**VICINITY MAP**

NOT TO SCALE

PROJECT NUMBER:  
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

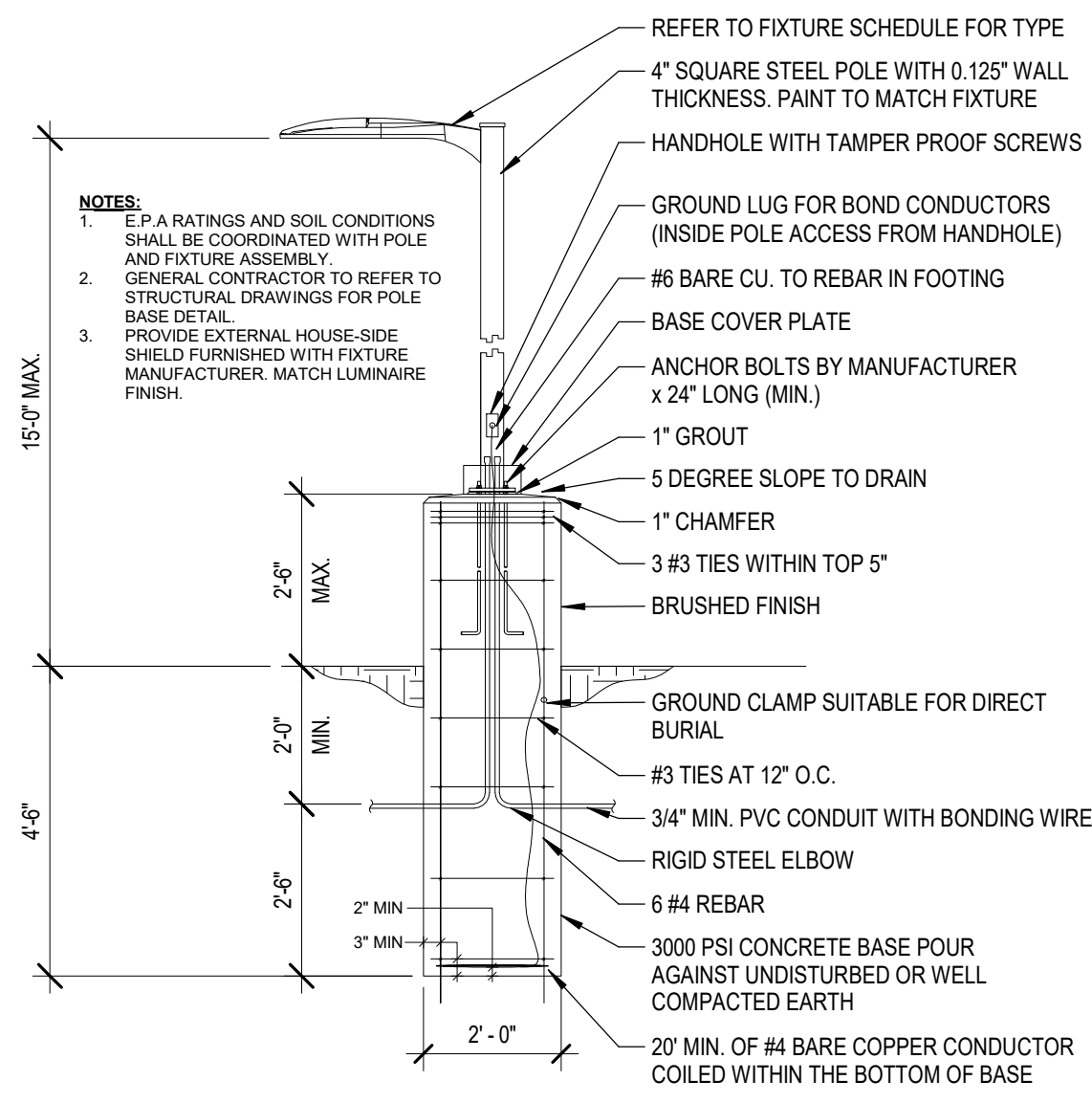
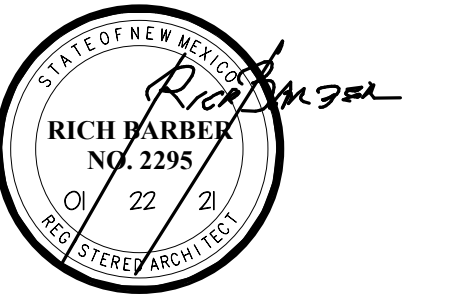
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

**DRB SUBMITTAL**

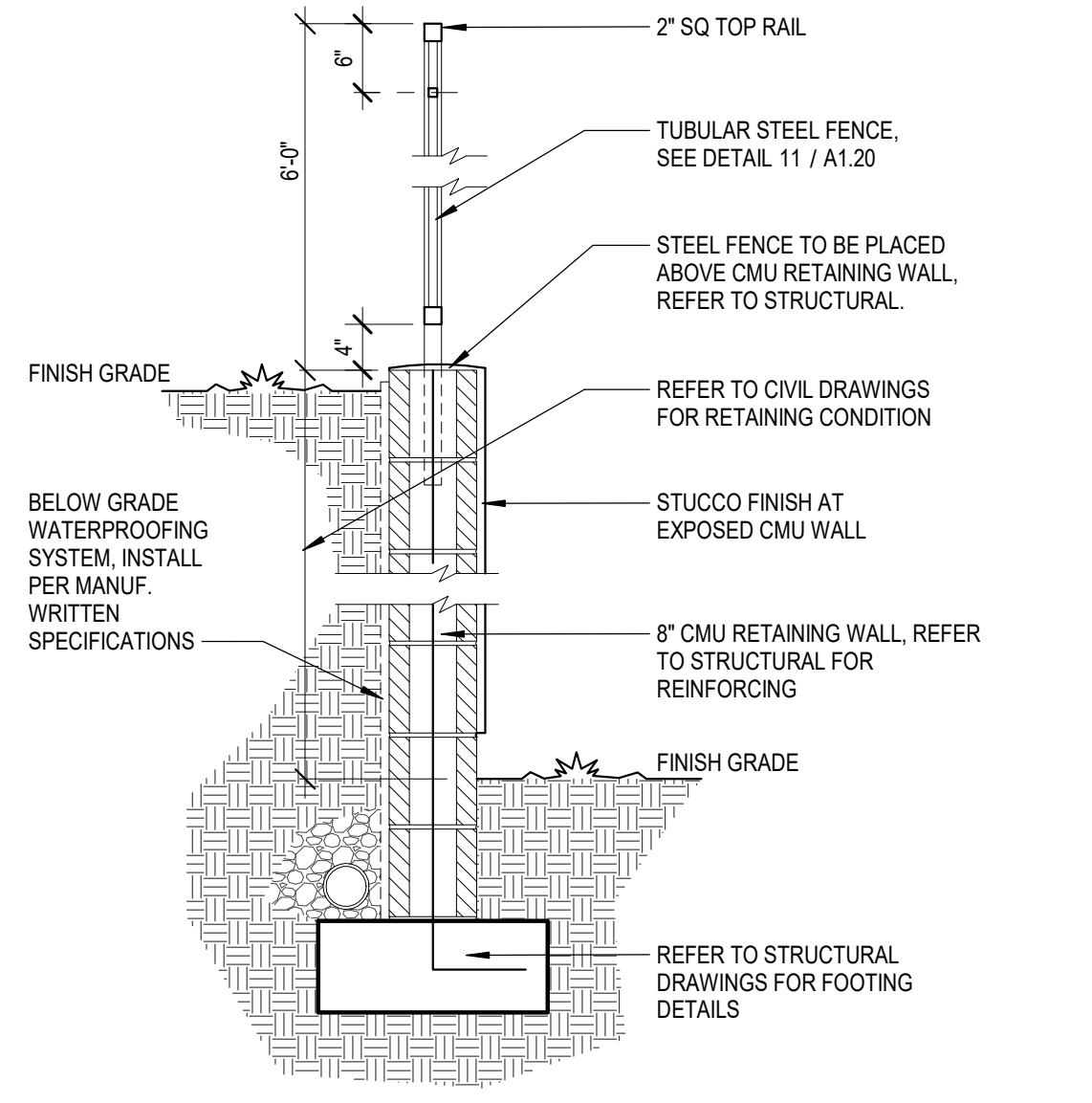
DATE: JANUARY 22, 2021 ORB # 19-227

**A1.10**  
PRELIMINARY SITE PLAN

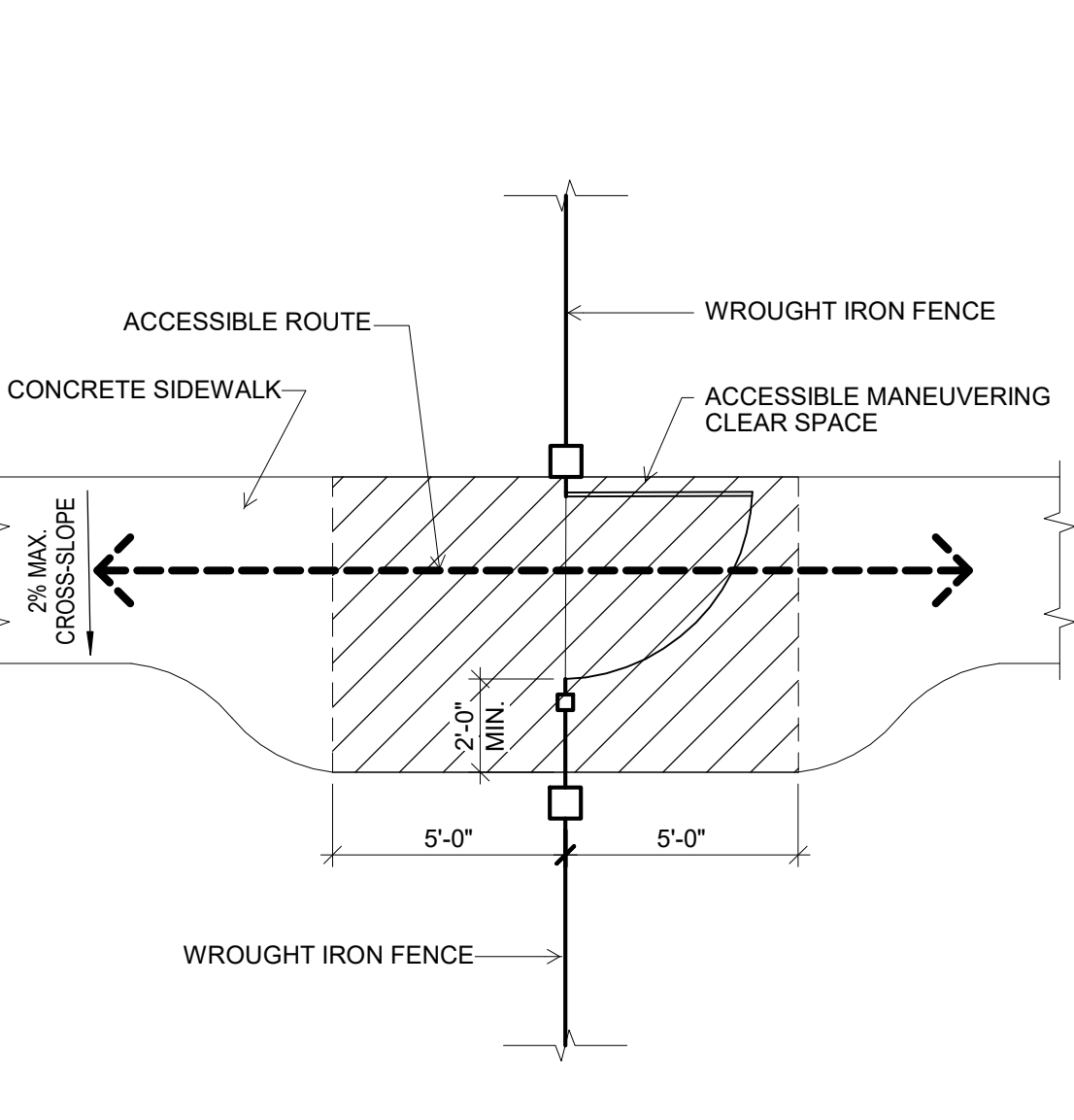




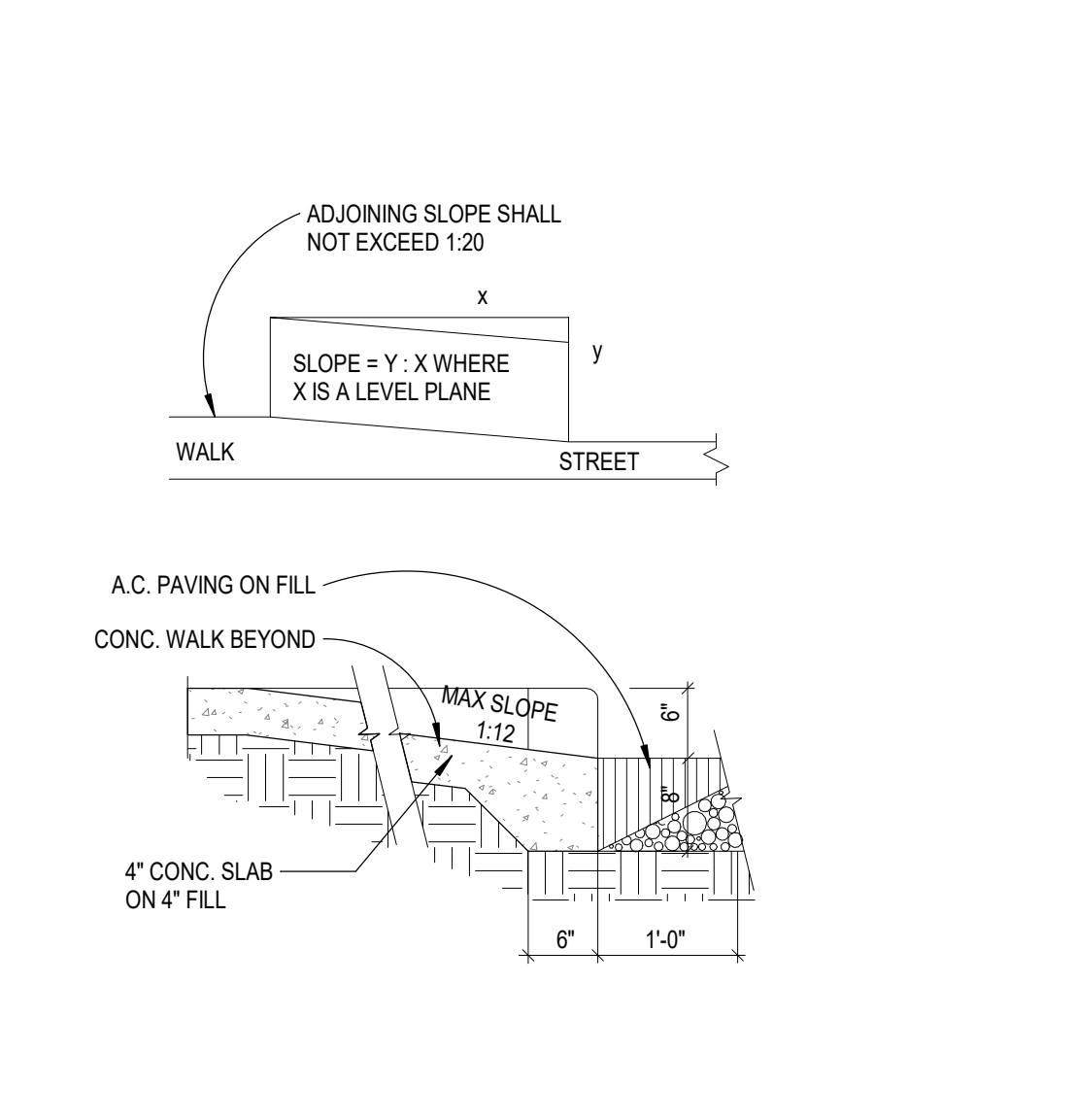
**13 POLE MOUNTING DETAIL**  
 SCALE: 3/8" = 1'-0"



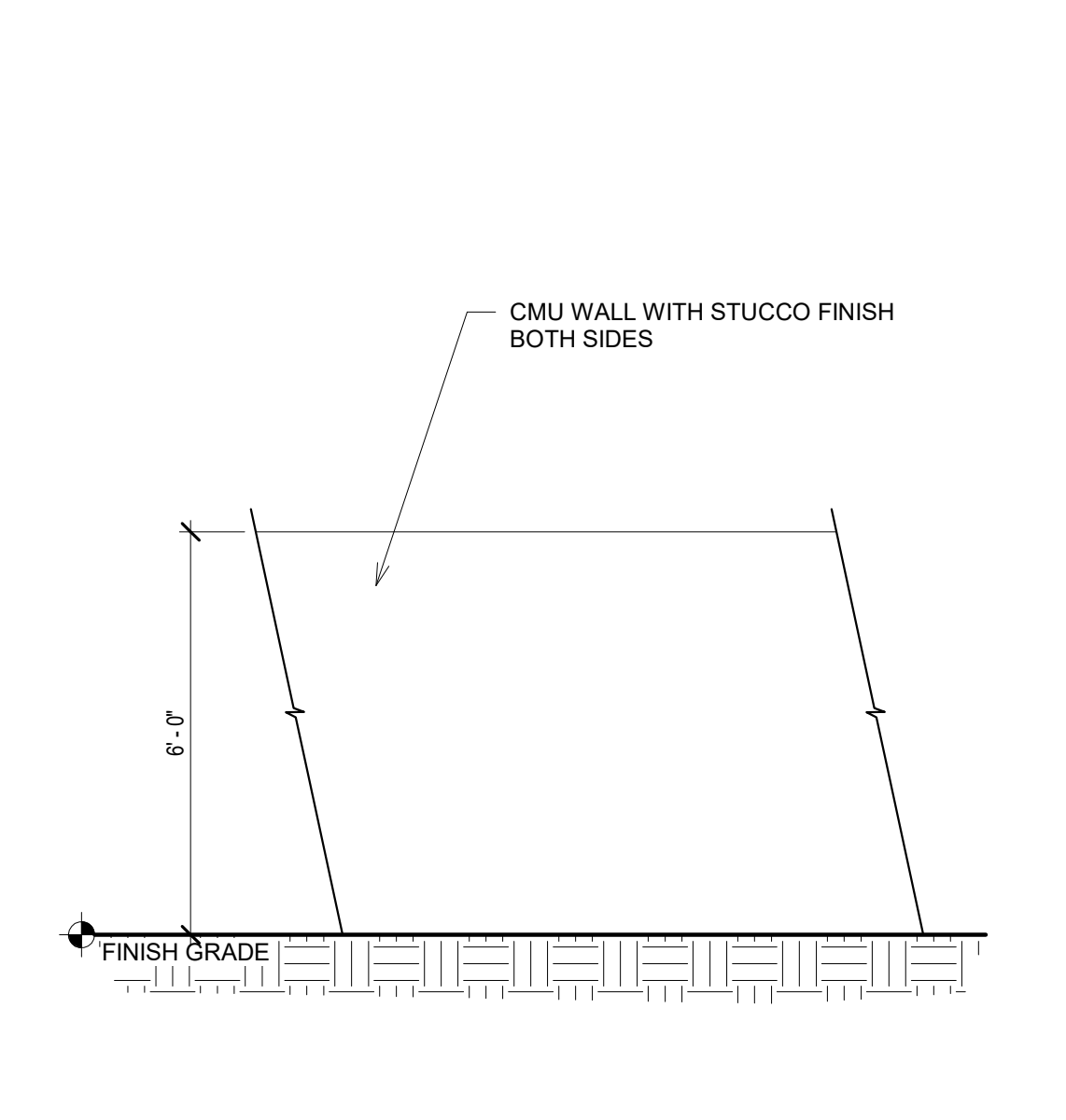
**10 PERIMETER RETAINING WALL**  
 SCALE: 3/4" = 1'-0"



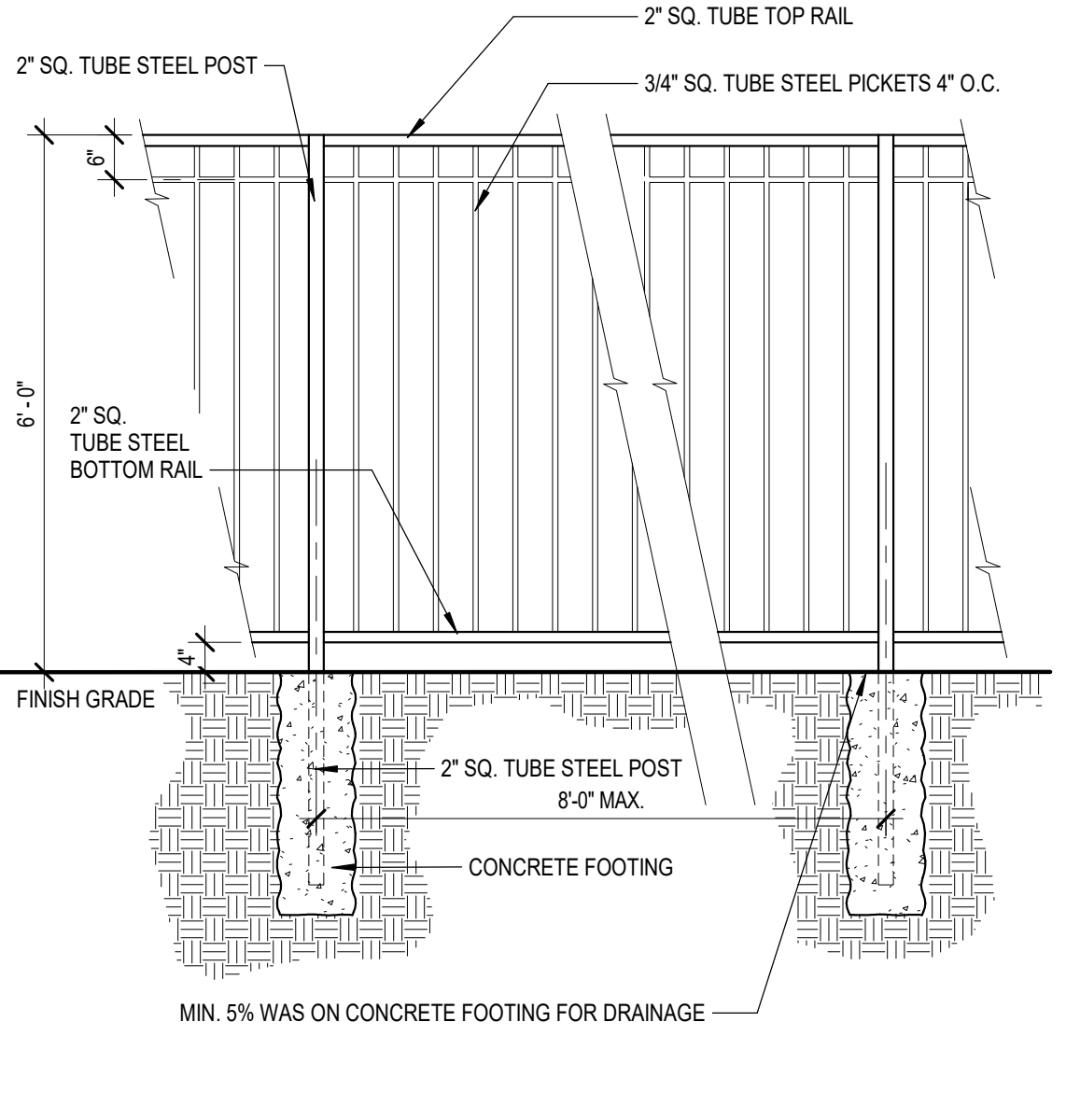
**7 ACCESSIBLE MANEUVERING SPACE AT GATES**  
 SCALE: 1/4" = 1'-0"



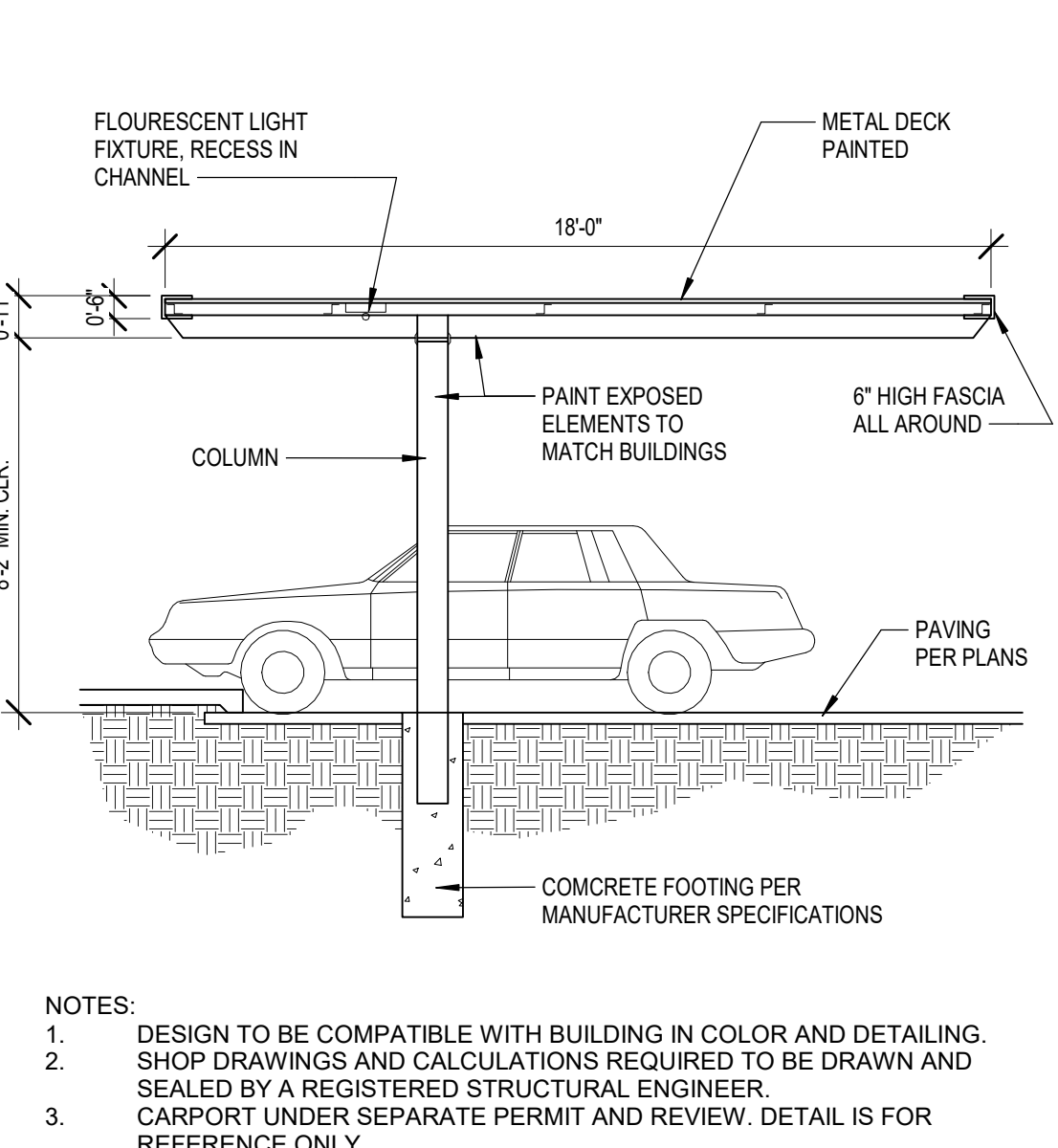
**1 TYPICAL PARKING STALL W/ ISLAND**  
 SCALE: 1/4" = 1'-0"



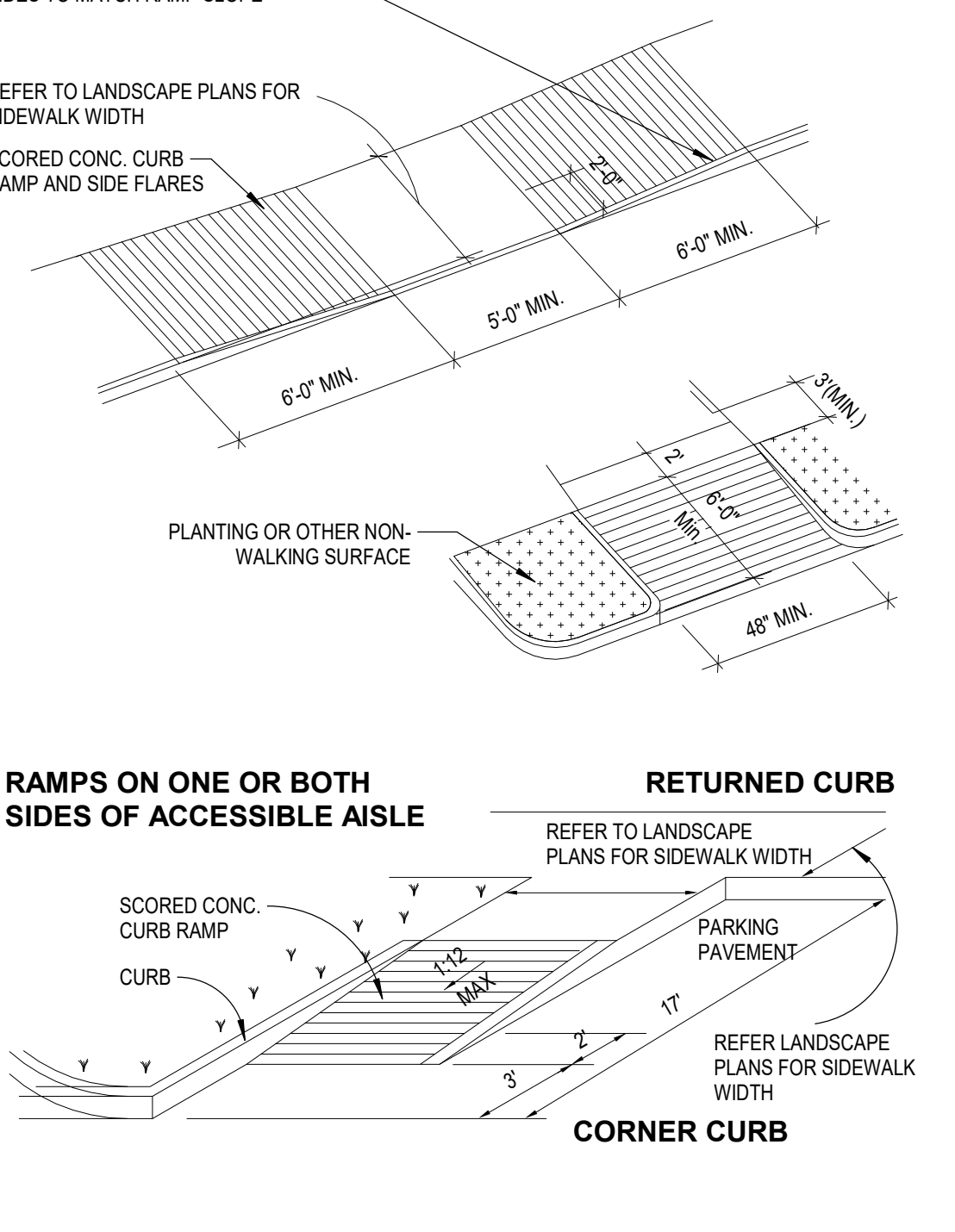
**14 PERIMETER SOLID WALL**  
 SCALE: 3/8" = 1'-0"



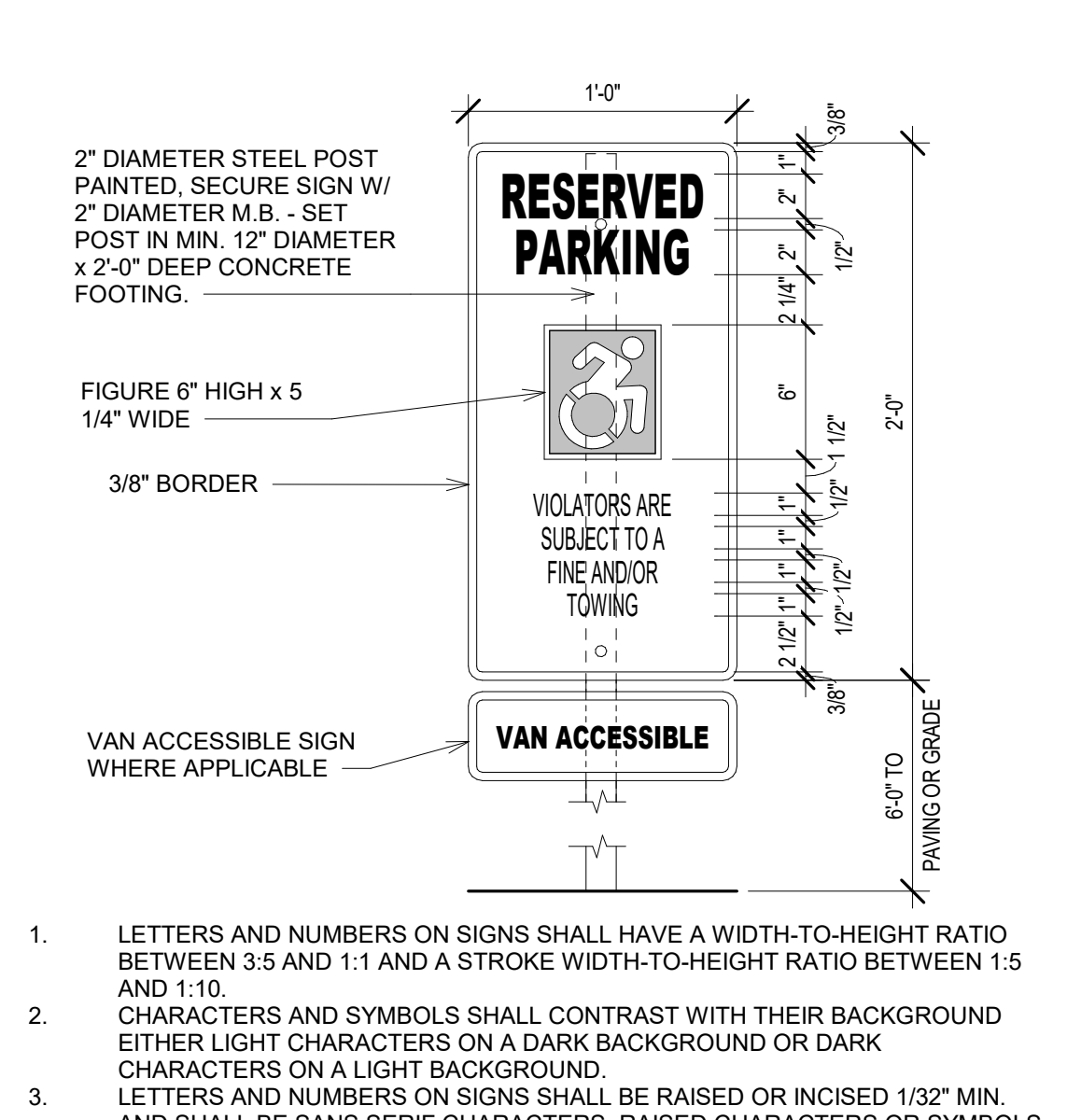
**11 TUBULAR STEEL FENCE**  
 SCALE: 1/2" = 1'-0"



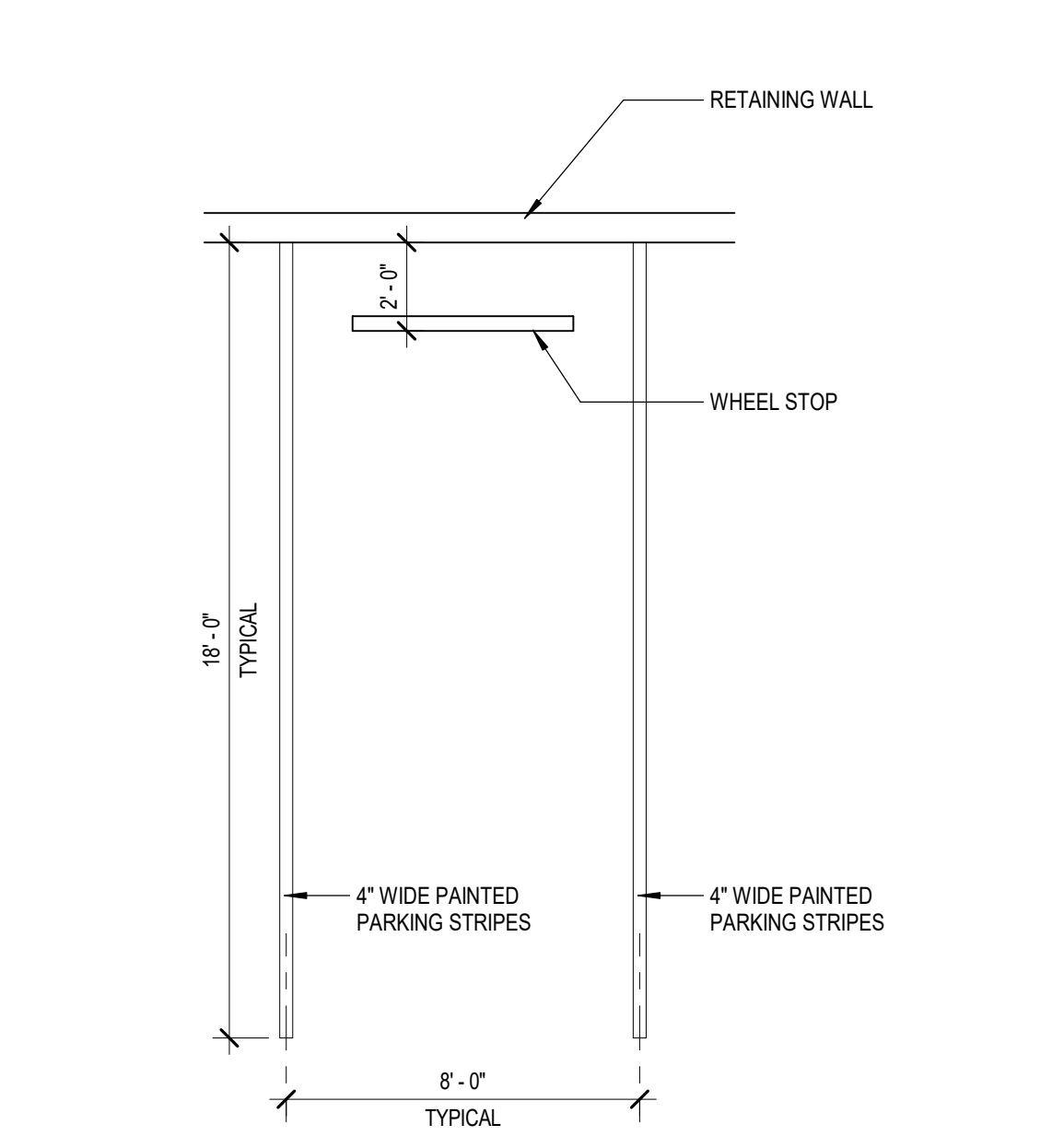
**8 CARPORT DETAIL**  
 SCALE: 1/4" = 1'-0"



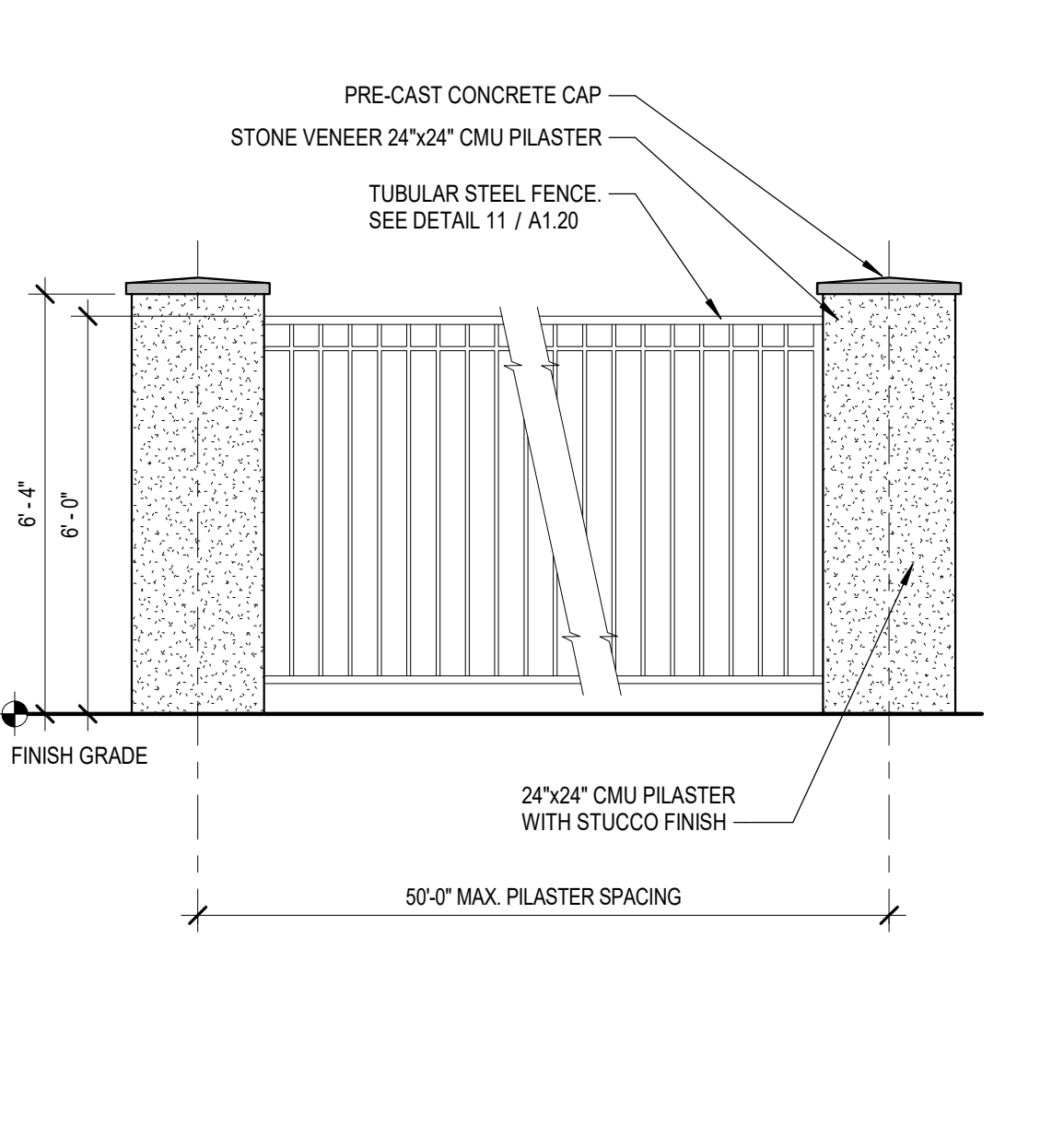
**5 TYPICAL ACCESSIBLE RAMP**  
 SCALE: 1/4" = 1'-0"



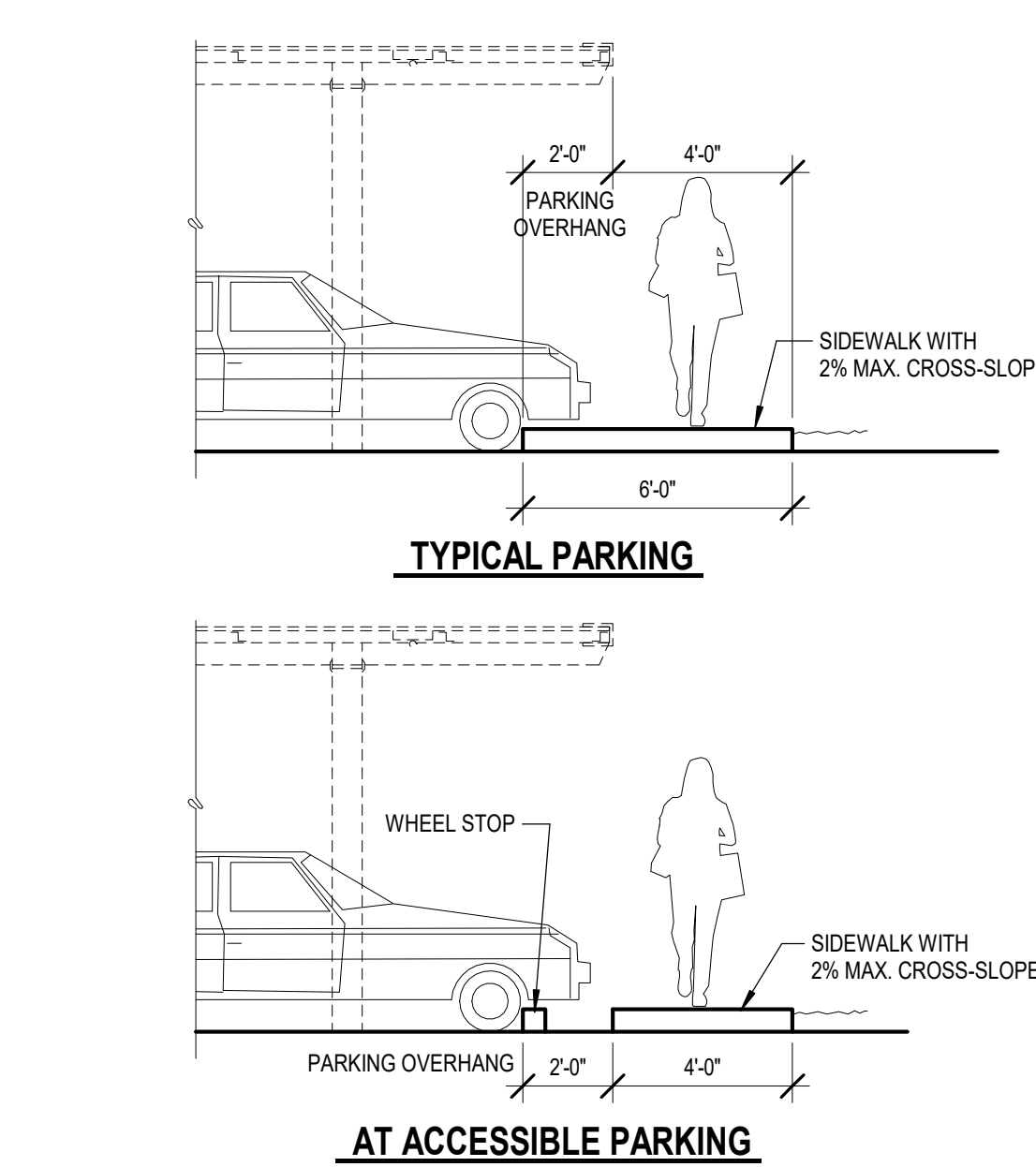
**2 ACCESSIBLE PARKING SIGN**  
 SCALE: 1 1/2" = 1'-0"



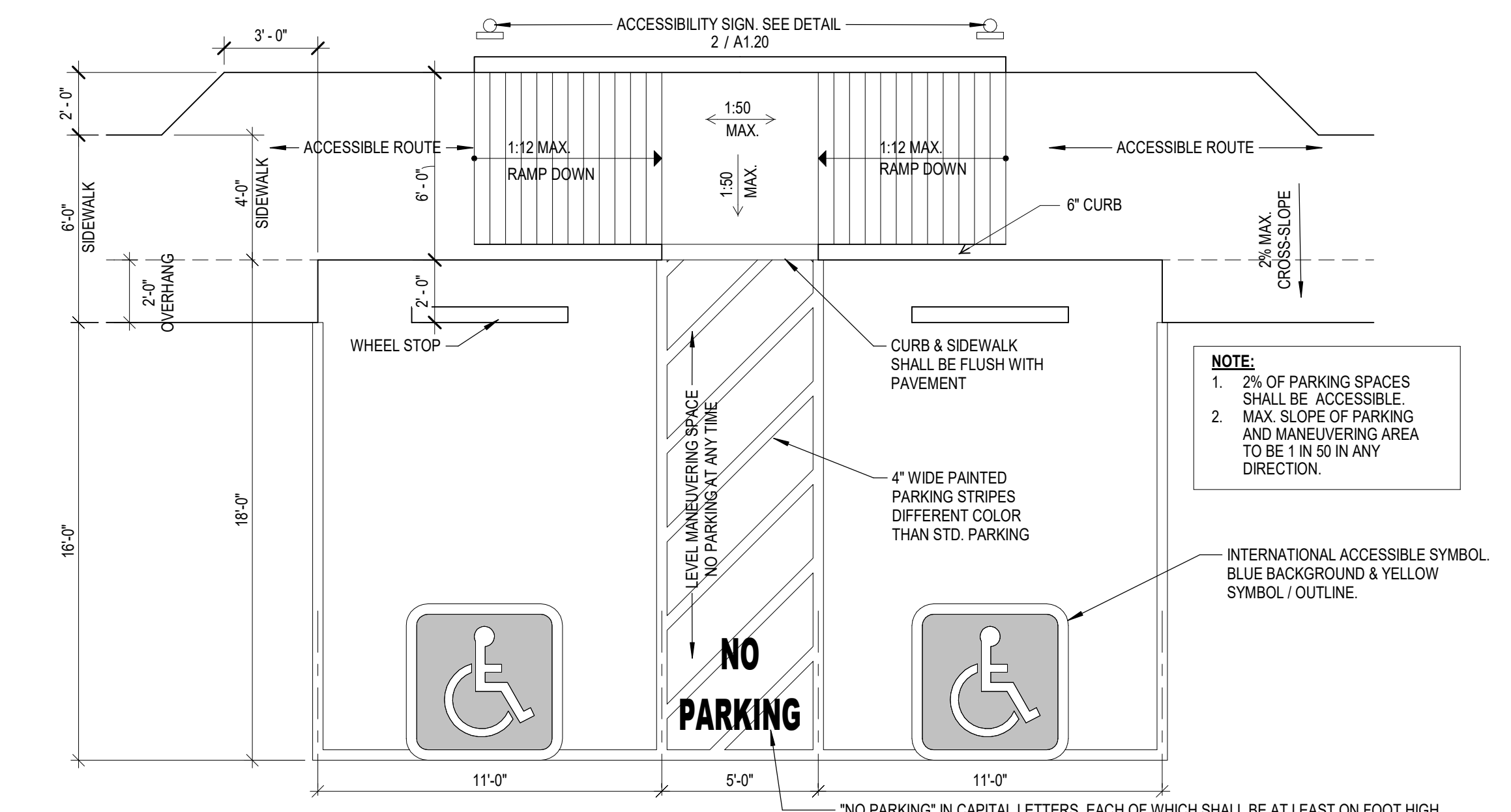
**15 PARKING STALL W/ WHEEL STOP**  
 SCALE: 1/4" = 1'-0"



**12 PILASTER AT PERIMETER TUBULAR STEEL FENCE**  
 SCALE: 3/8" = 1'-0"



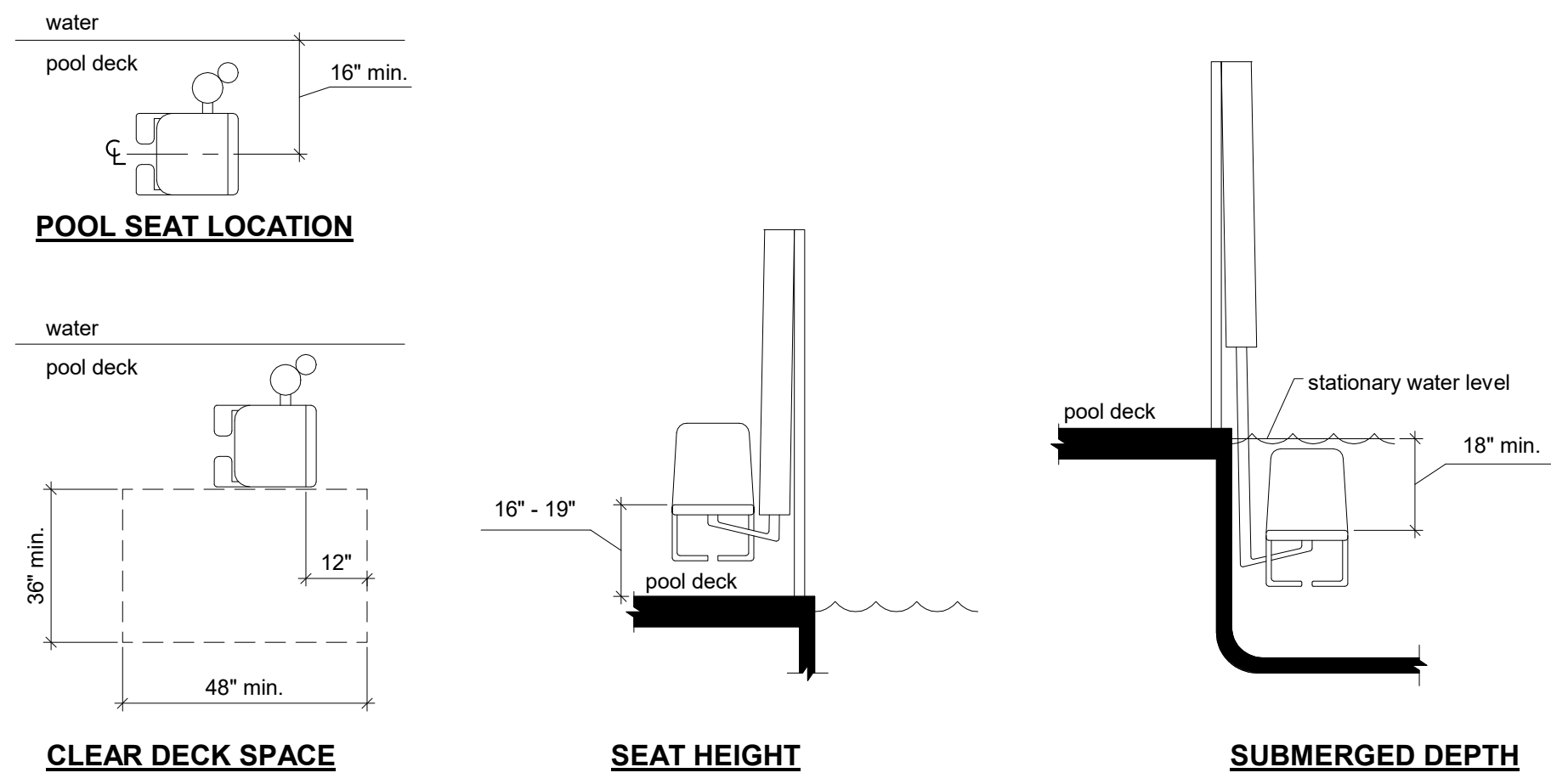
**9 SIDEWALK AT PARKING**  
 SCALE: 1/4" = 1'-0"



**6 TYPICAL ACCESSIBLE PARKING STALL**  
 SCALE: 1/4" = 1'-0"

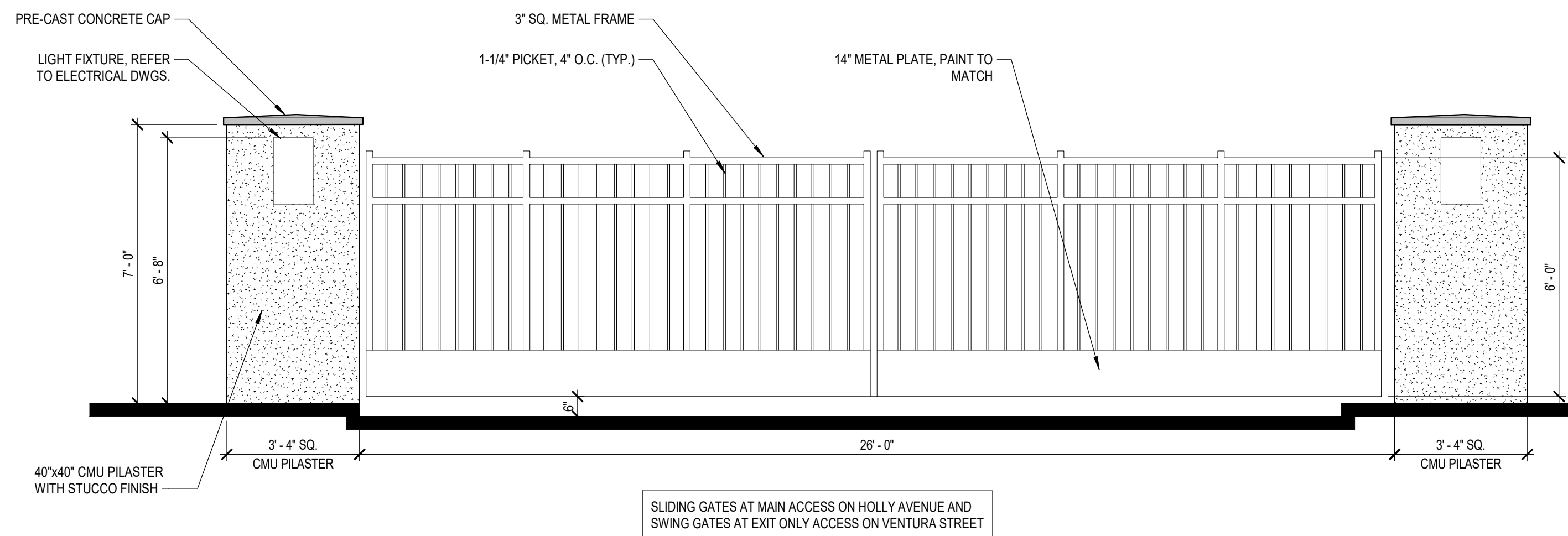
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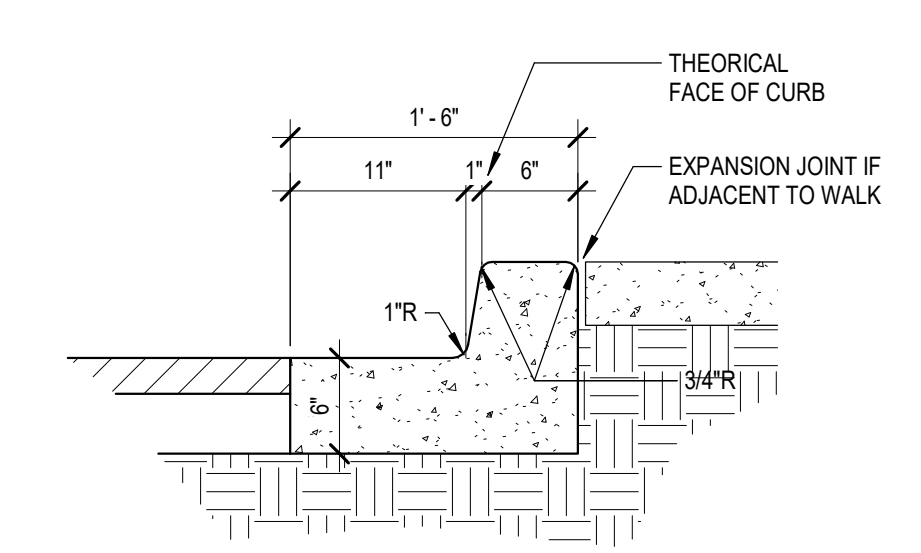
28 POOL LIFT

SCALE: 3/8" = 1'-0"



22 VEHICULAR ENTRY GATE

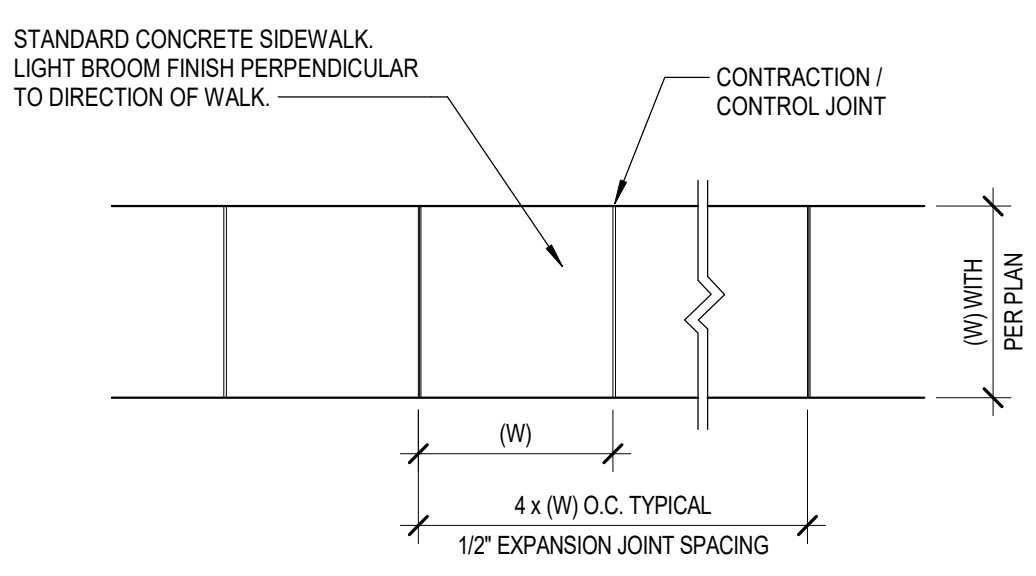
SCALE: 3/8" = 1'-0"



- GENERAL NOTES
- REQUIRES FULL FORM ON ALL FACES.
  - CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
  - EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
  - EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH 3/8" RADI.

29 MEDIAN CURB AND GUTTER

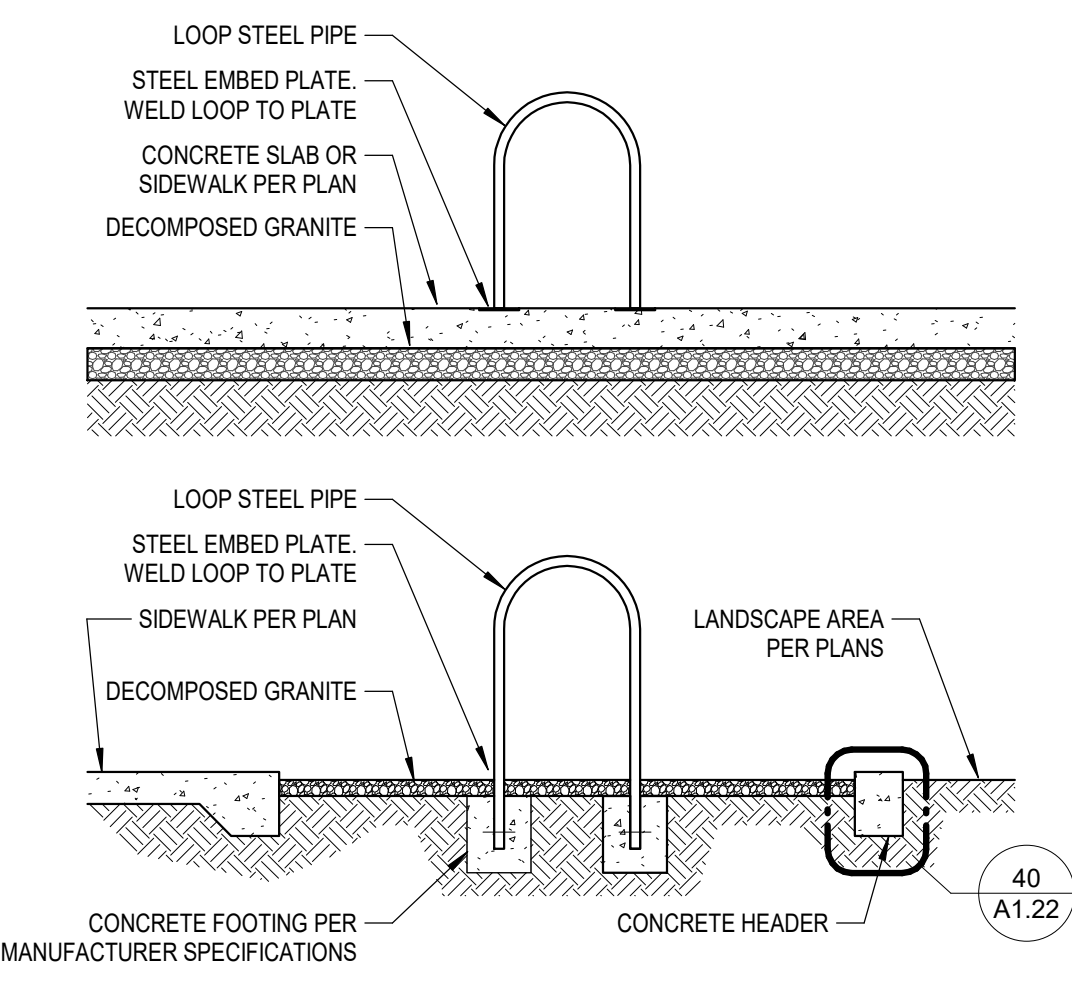
SCALE: 1" = 1'-0"



- GENERAL NOTES
- 4000 PSI COMPRESSIVE STRENGTH CONCRETE.
  - FINISHED EDGE ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).
  - 3/8" RADI AT ALL EXPOSED EDGES.

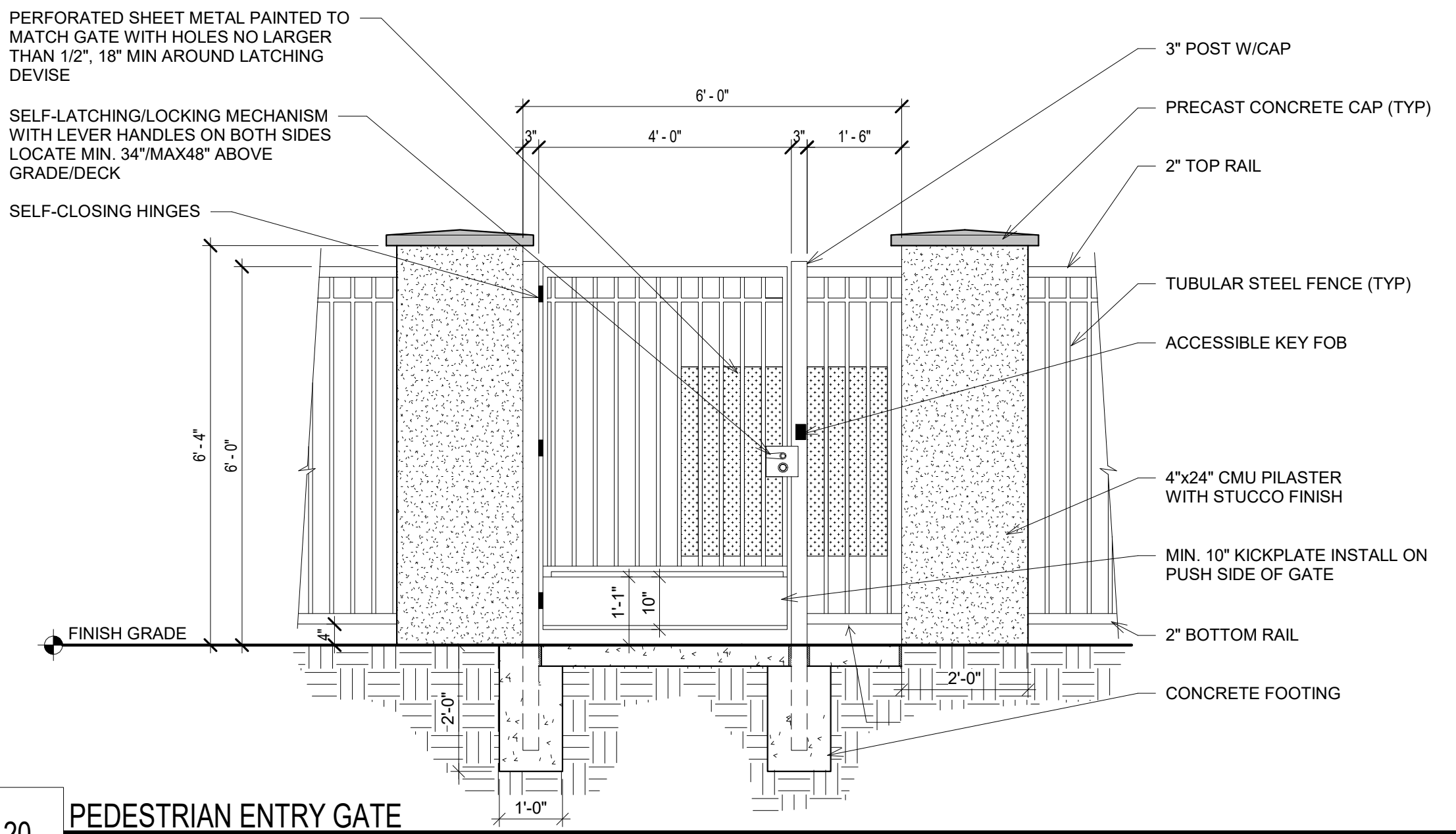
26 CONCRETE WALK

SCALE: 1" = 1'-0"



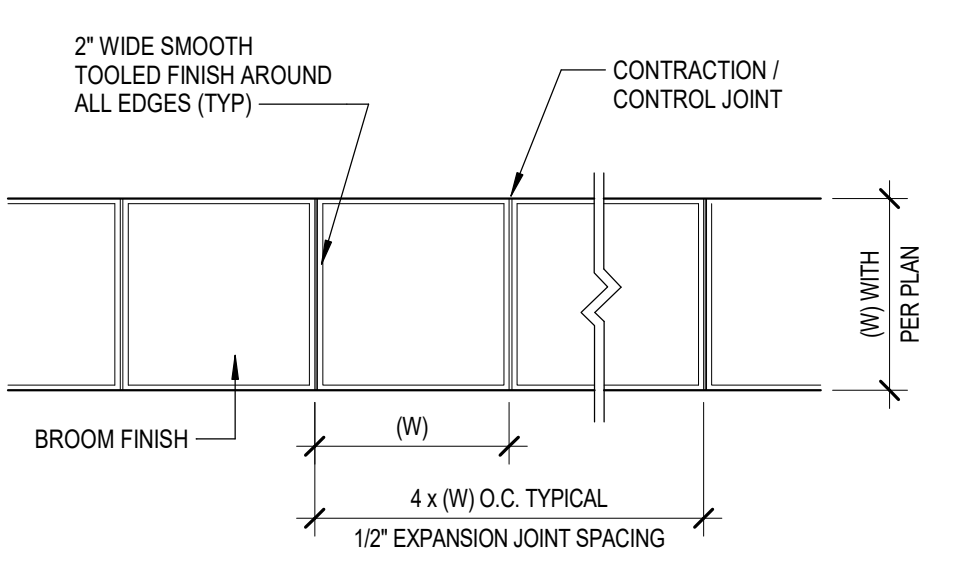
23 BICYCLE PARKING LOOP

SCALE: 1/2" = 1'-0"



20 PEDESTRIAN ENTRY GATE

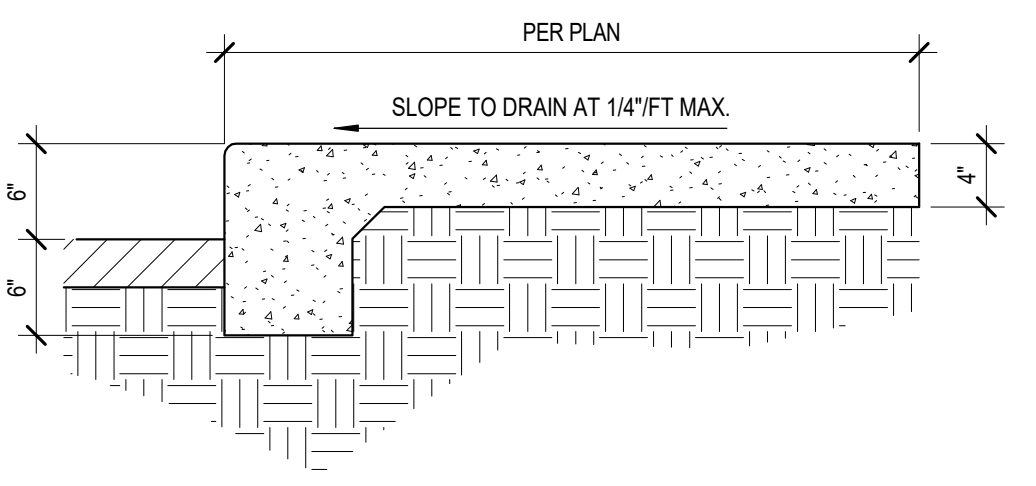
SCALE: 1/2" = 1'-0"



- GENERAL NOTES
- 4000 PSI COMPRESSIVE STRENGTH CONCRETE.
  - FINISHED EDGE ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).
  - 3/8" RADI AT ALL EXPOSED EDGES.

27 CONCRETE WALK - FRAMED

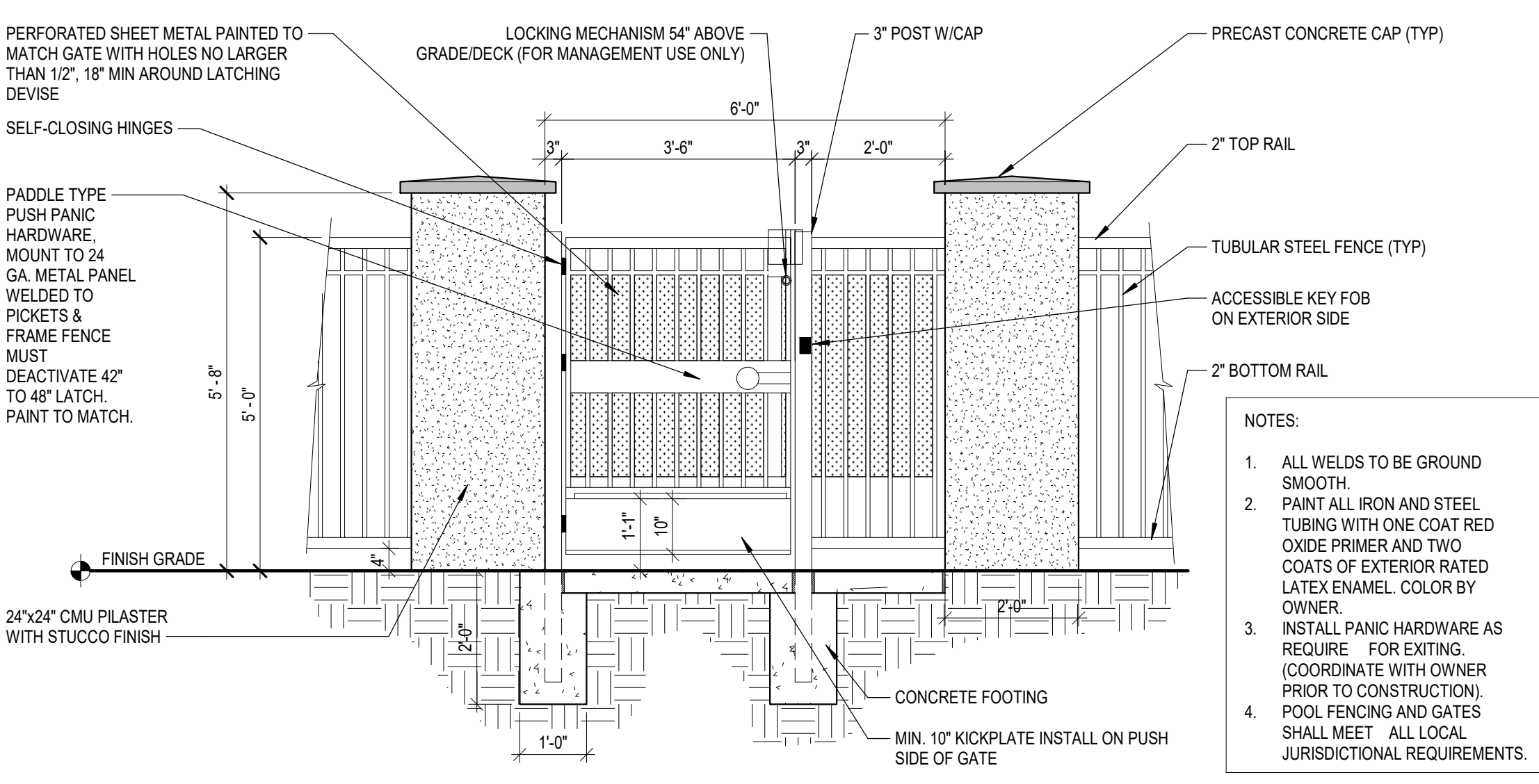
SCALE: 1" = 1'-0"



- GENERAL NOTES
- CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
  - 1/2" EXPANSION JOINTS @ 24' O.C., CURB RETURN AND EACH SIDE OF DRIVES.
  - REQUIRES FULL FORM ON ALL FACES.
  - 3/8" RADI AT ALL EXPOSED EDGES.

24 SIDEWALK TURNED DOWN EDGE

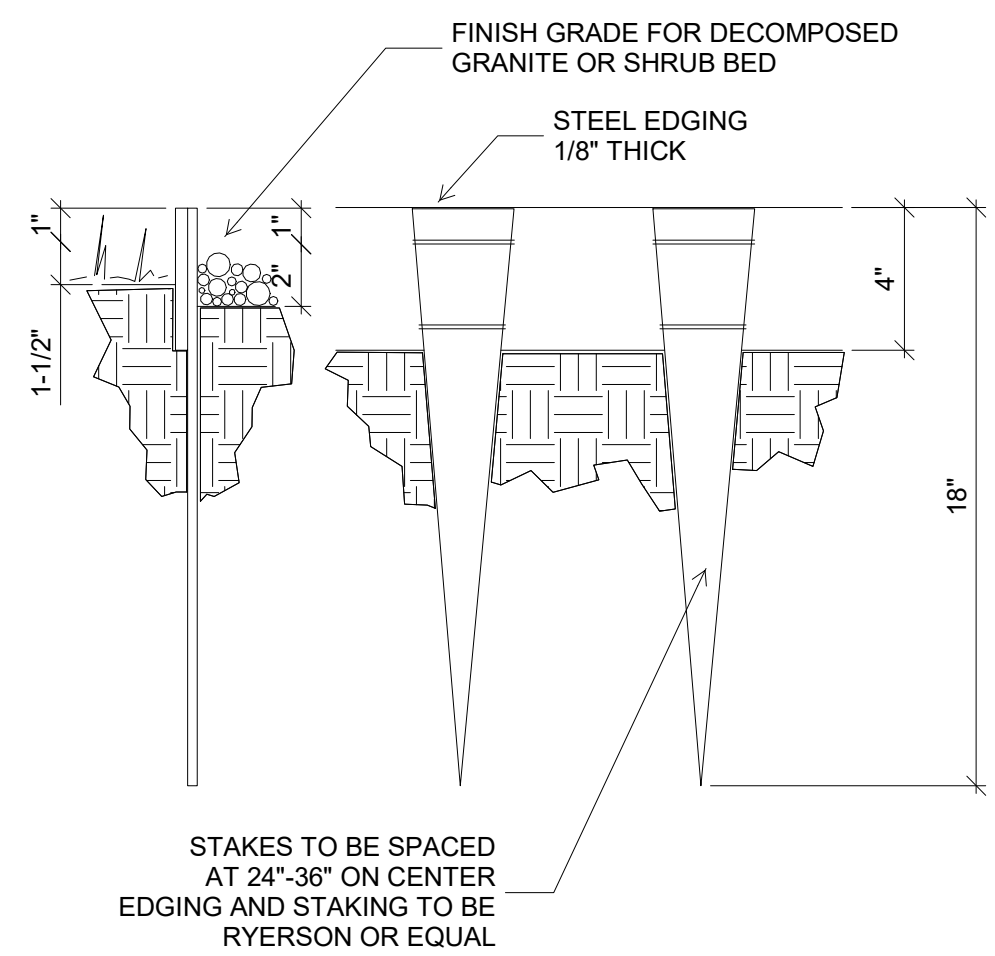
SCALE: 1" = 1'-0"



21 PEDESTRIAN ENTRY GATE AT POOL FENCE

SCALE: 1/2" = 1'-0"

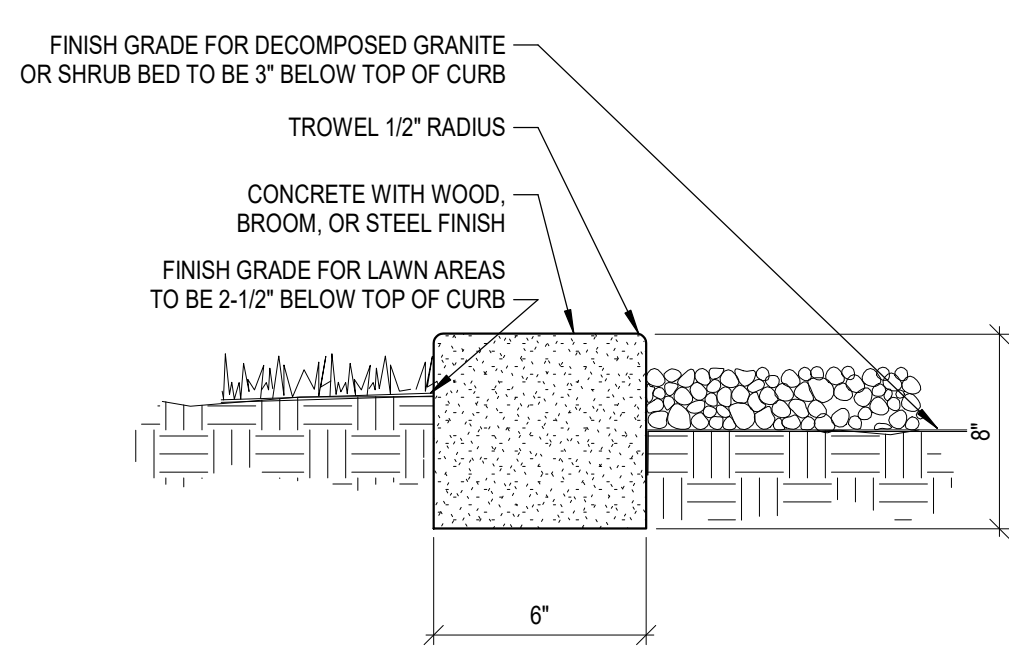
- NOTES:
- ALL WELDS TO BE GROUND SMOOTH.
  - PAINT ALL IRON AND STEEL TUBING WITH ONE COAT RED OXIDE PRIMER AND TWO COATS OF EXTERIOR RATED LATEX ENAMEL. COLOR BY OWNER.
  - INSTALL PANIC HARDWARE AS REQUIRE FOR EXITING. (COORDINATE WITH OWNER PRIOR TO CONSTRUCTION).
  - POOL FENCING AND GATES SHALL MEET ALL LOCAL JURISDICTIONAL REQUIREMENTS.



NOTE:  
1. FINISH GRADE TO BE 3" BELOW TOP OF WALK BEFORE INSTALLATION OF DECOMPOSED GRANITE (2-1/2" FOR SOD OR SEED)

43 STEEL HEADER

NOT TO SCALE

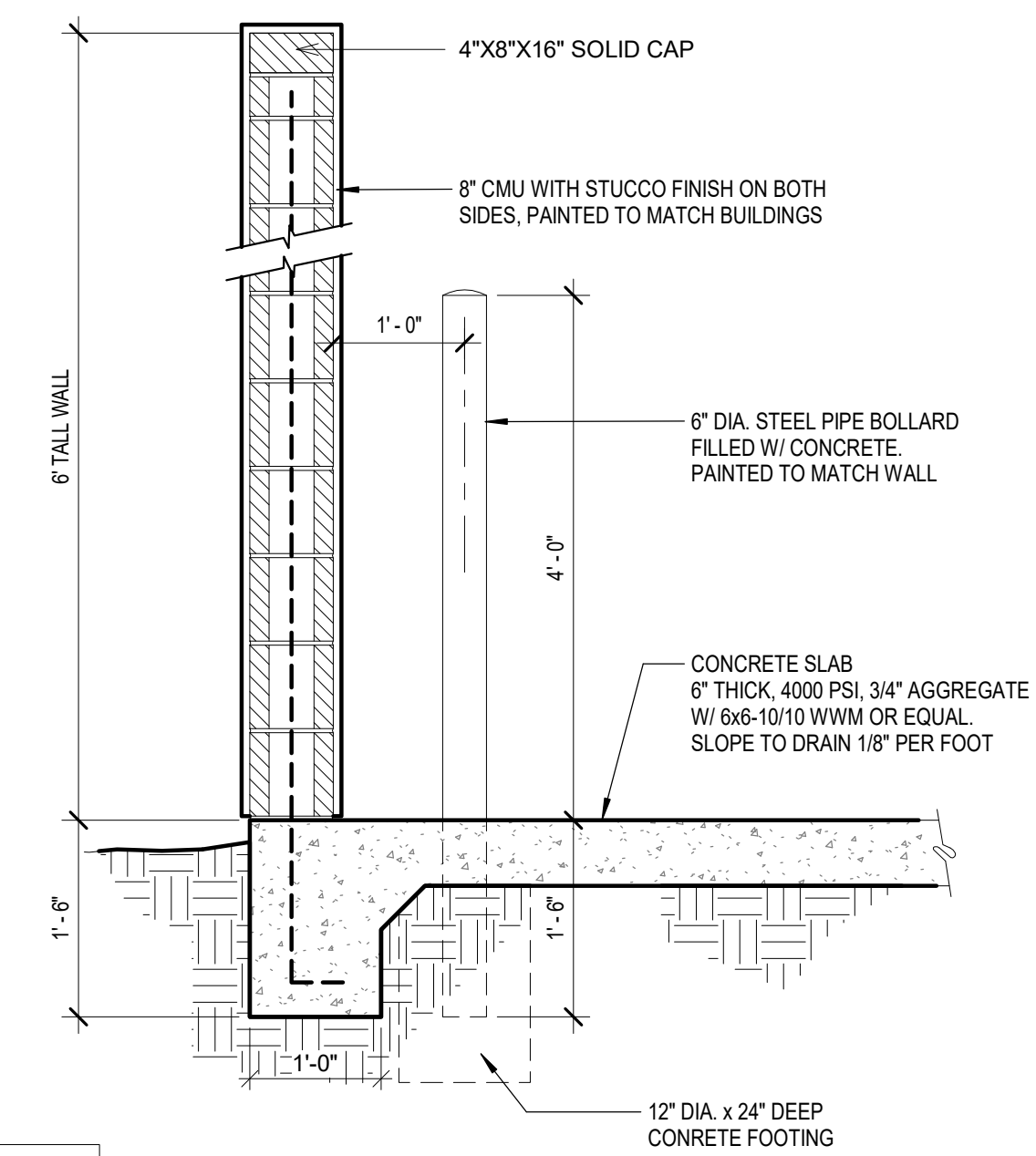


NOTE:

1. LANDSCAPE ARCHITECT TO APPROVE FORM WORK PRIOR TO PLACING CONCRETE.
2. HEADER SHOULD BE FLUSH WITH ADJOINING WALK OR CURB.
3. CONCRETE TO BE CLASS A (3000 PSI).
4. EXPANSION JOINTS AT 20'-0" O.C.
5. STRAIGHT SECTIONS TO BE FORMED WITH MIN. OF 2"x6" LUMBER.
6. CURVED SECTIONS TO BE FORMED IN SMOOTH, EVEN CURVES AS SHOWN ON PLAN - FORM WITH 5/8"x6" PLYWOOD.
7. FORM STAKING SHALL NOT ALLOW DEFORMING OF LEAKING - ALL SPILL OR EXCESS CONCRETE SHALL BE CLEANED UP AND REMOVED FROM SITE BY CURB CONTRACTOR.
8. GRADING AT CURB SHALL BE BY CURB CONTRACTOR.

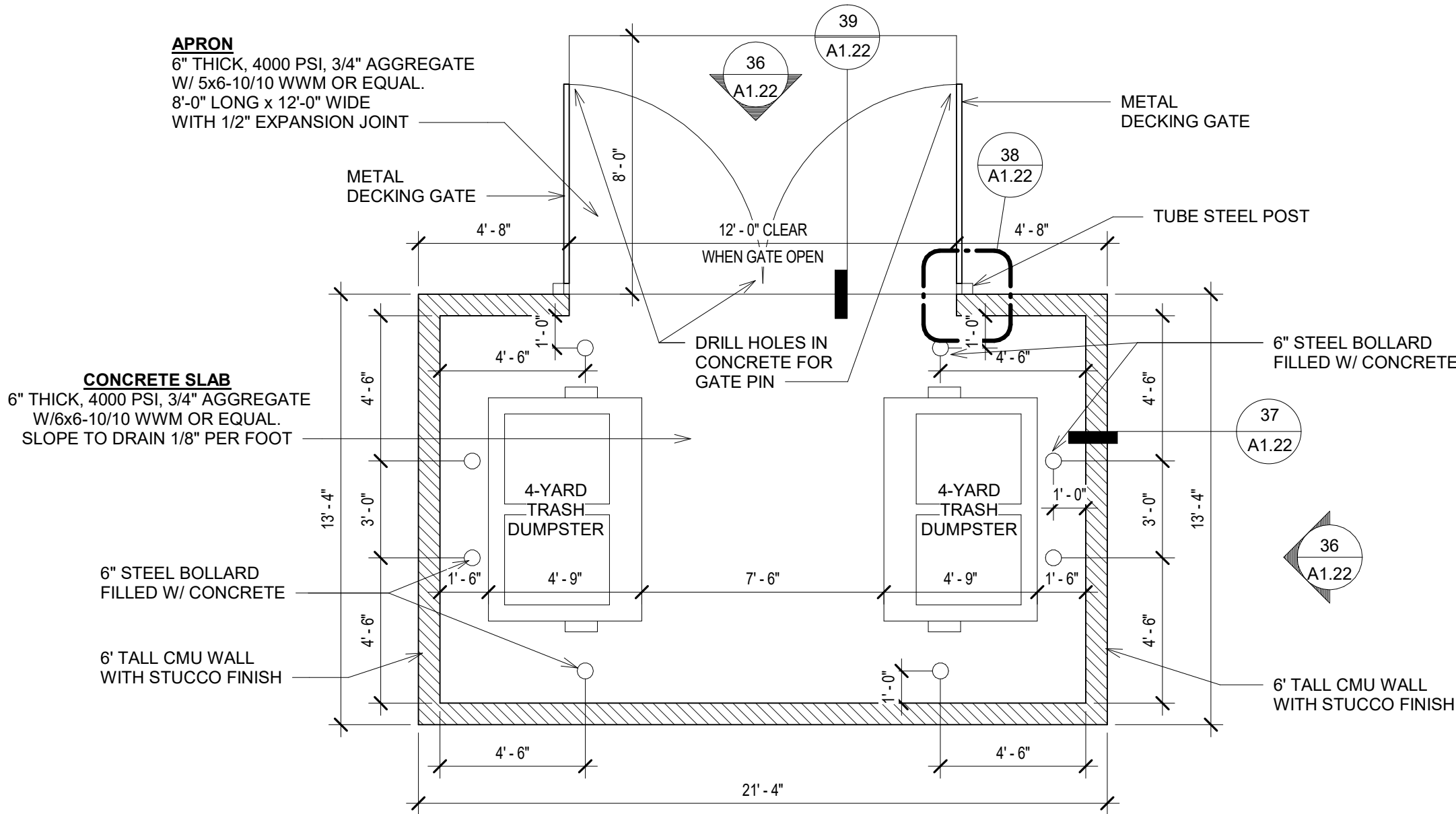
40 CONCRETE HEADER

NOT TO SCALE



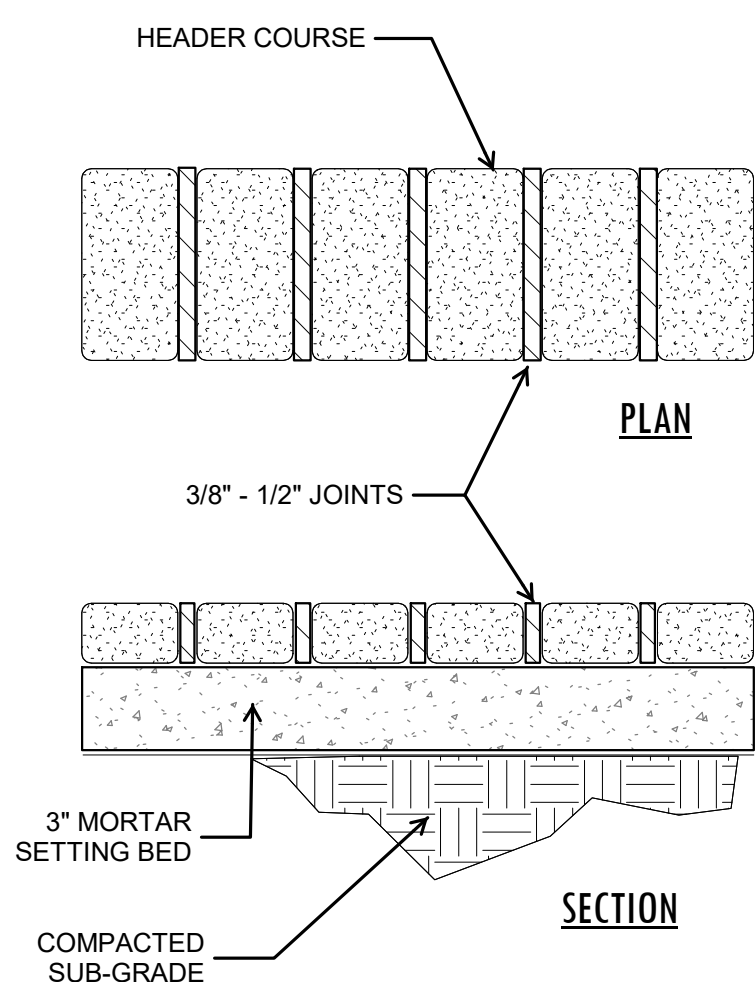
37 TRASH ENCLOSURE WALL

SCALE: 3/4" = 1'-0"



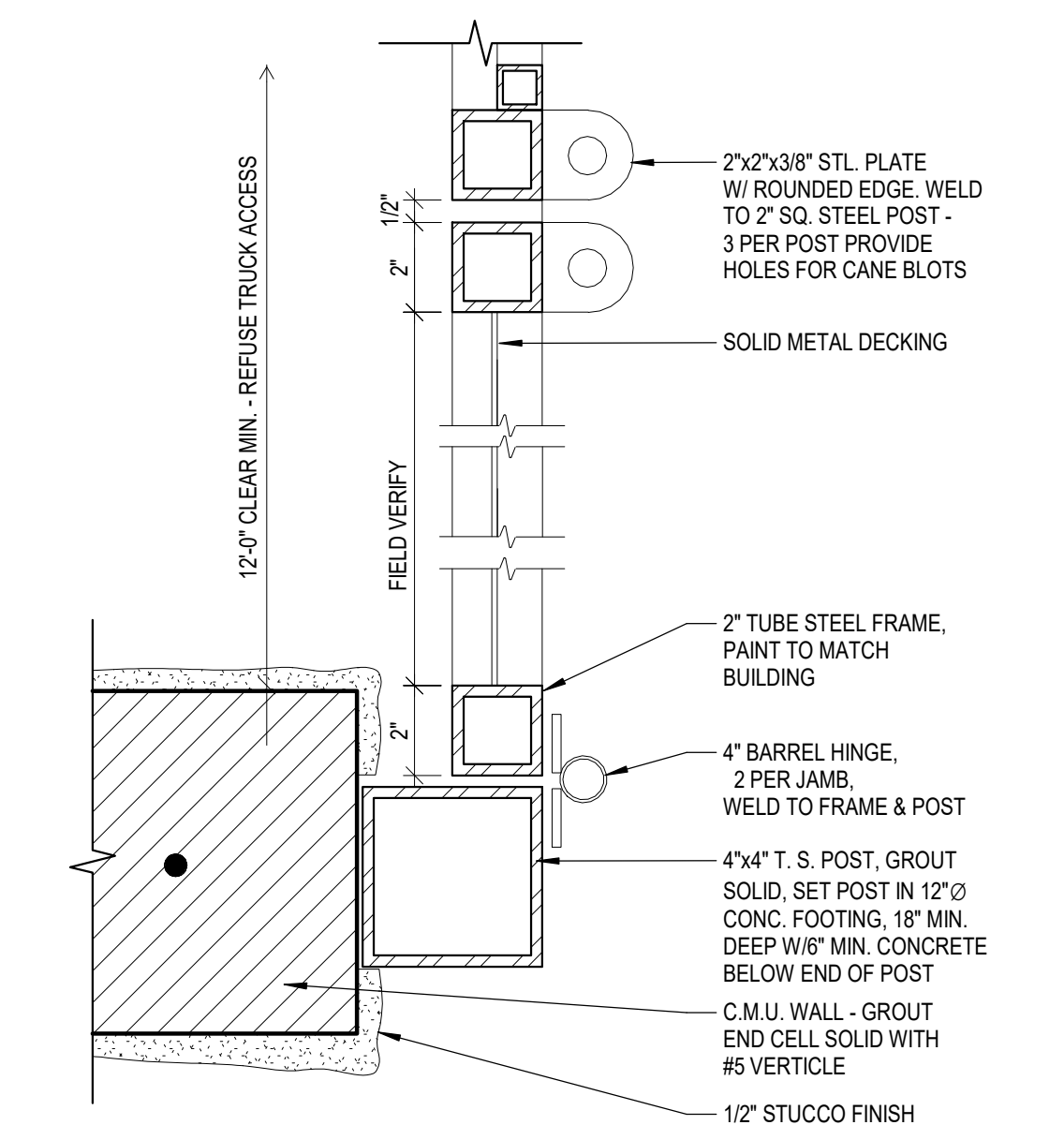
34 TRASH ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"



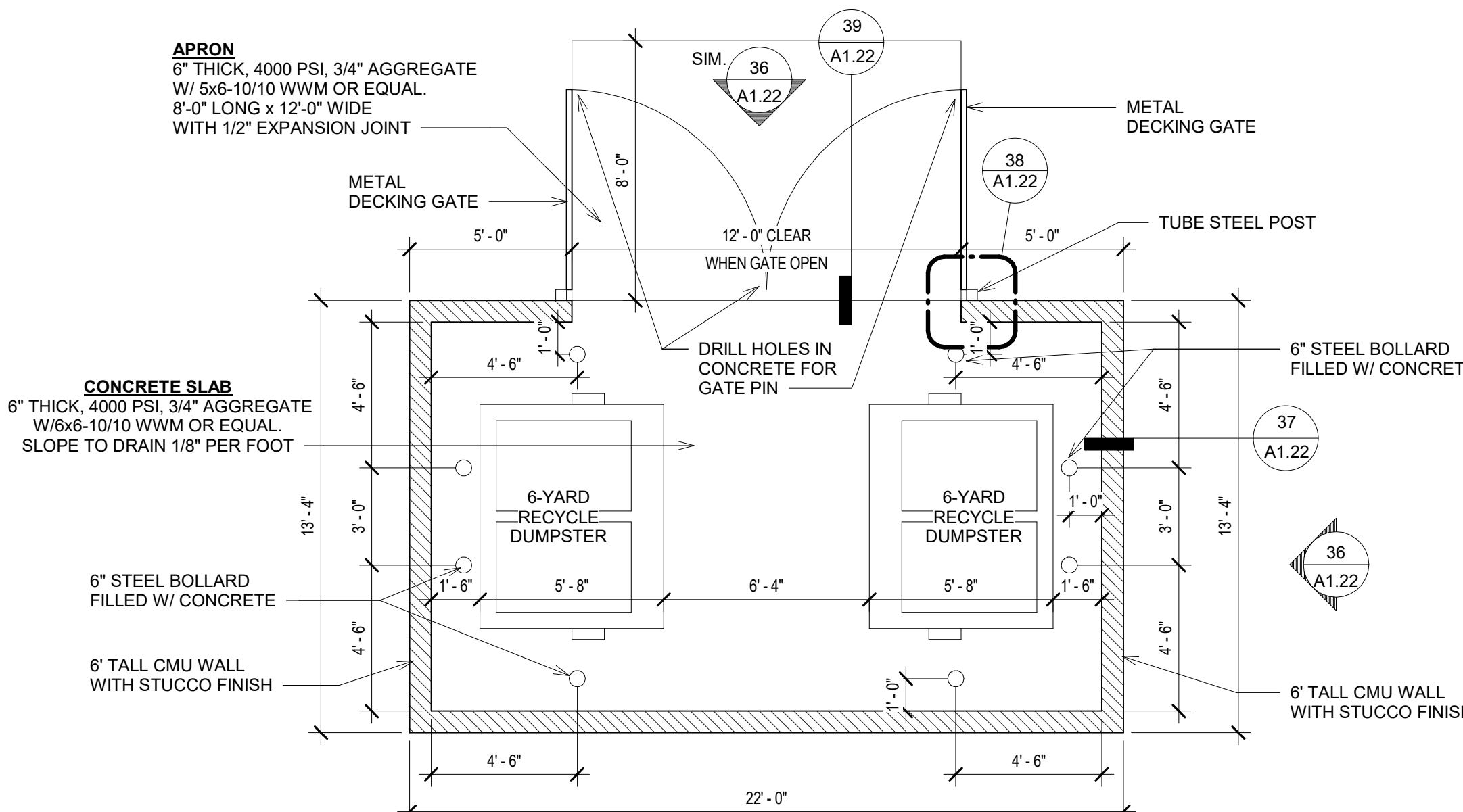
41 PAVER HEADER

NOT TO SCALE



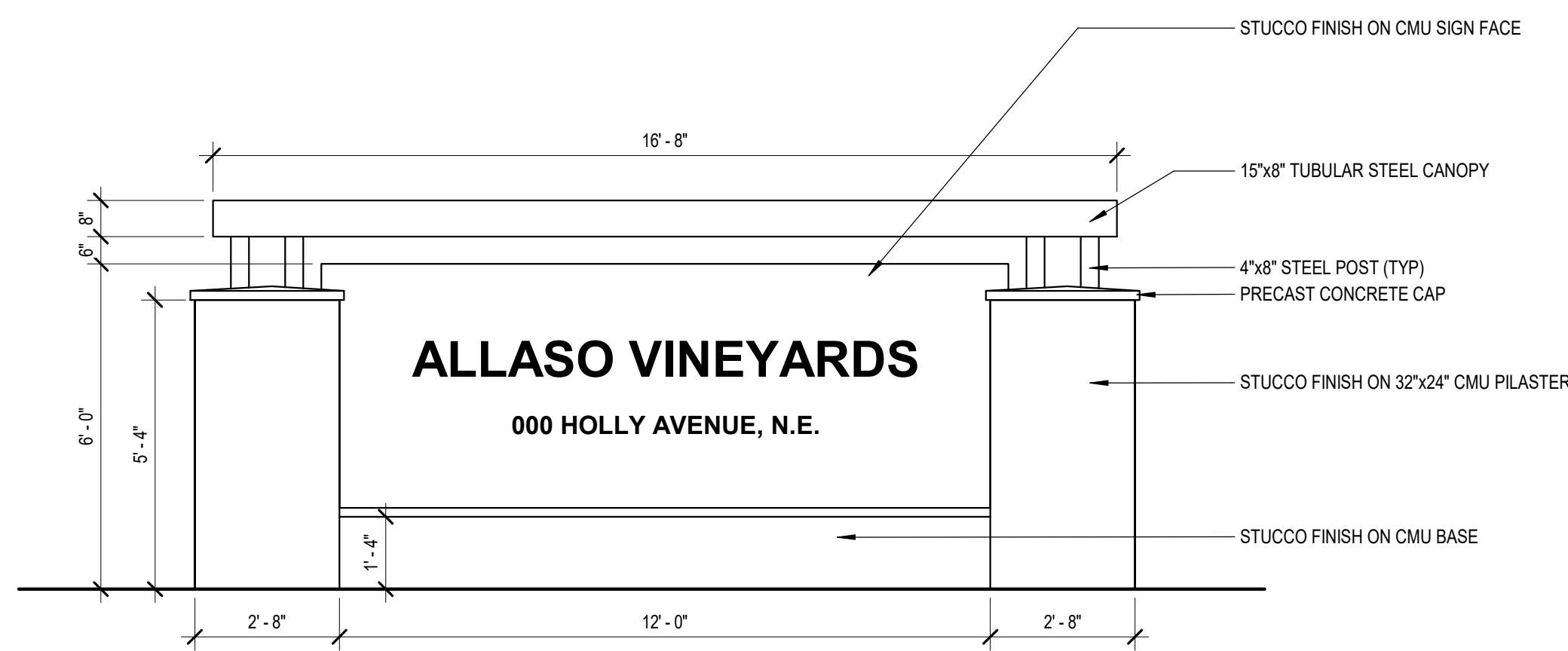
38 TRASH ENCLOSURE GATE

SCALE: 3" = 1'-0"



35 RECYCLE ENCLOSURE PLAN

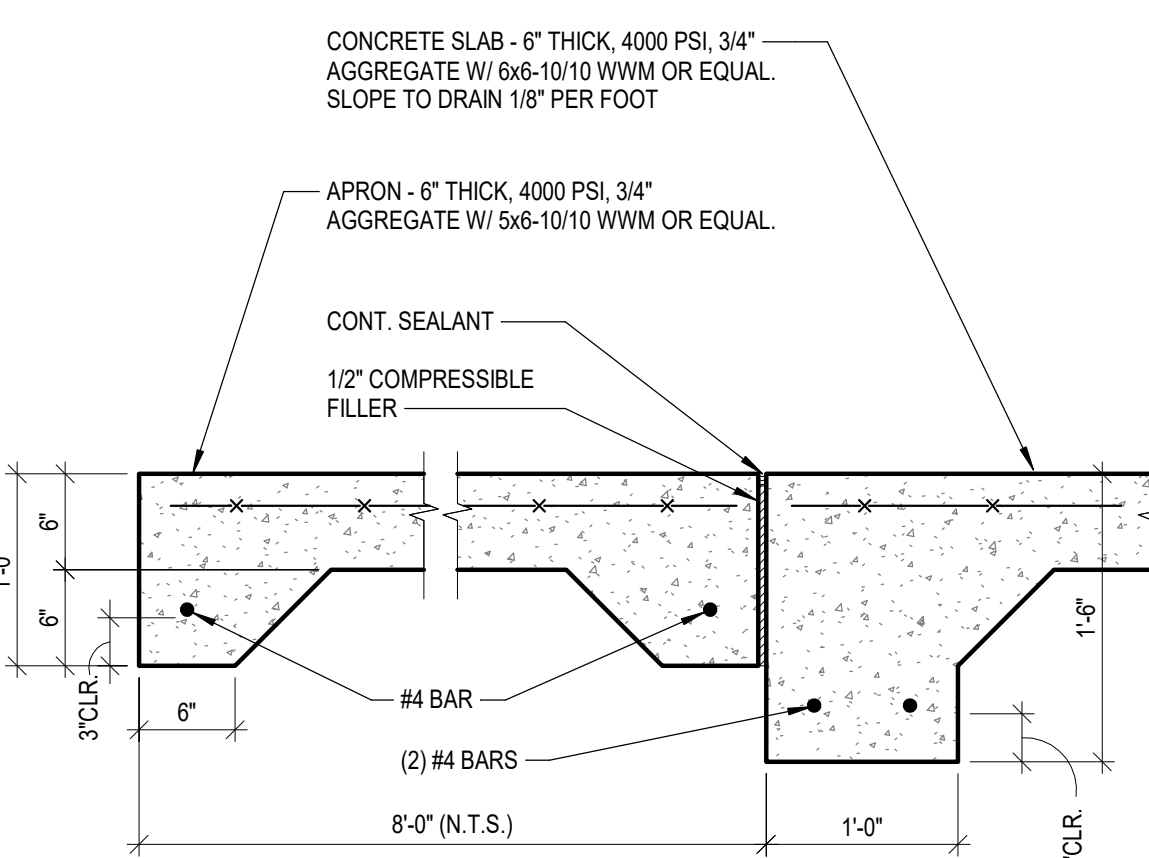
SCALE: 1/4" = 1'-0"



- NOTES:  
1. MONUMENT SIGN TO BE UNDER SEPARATE PERMIT.  
2. SIGN WALL FACE AREA IS LIMITED TO 60 S.F. MAX. PER SITE PLAN FOR SUBDIVISION (67 S.F. PROVIDED).

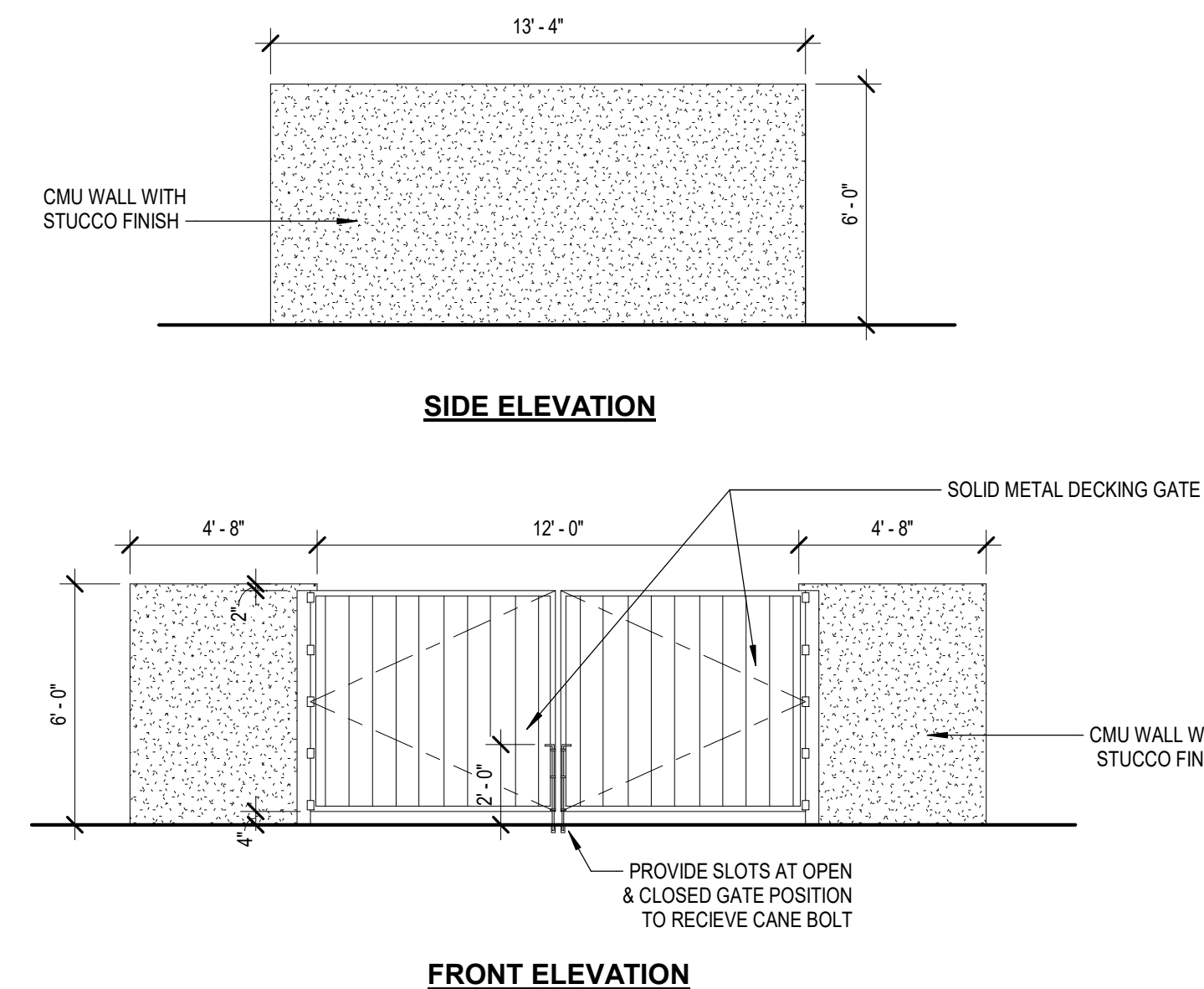
45 MONUMENT SIGN ELEVATION

SCALE: 3/8" = 1'-0"



39 TRASH ENCLOSURE SLAB JOINT

SCALE: 1" = 1'-0"



36 REFUSE ENCLOSURE ELEVATIONS

SCALE: 1/4" = 1'-0"

**ALLASO VINEYARDS**

NWC OF HOLLY AVE. NE AND VENTURA ST. NE  
ALBUQUERQUE, NEW MEXICO

Office of Rich Barber  
**ORB**  
Architecture, LLC

WorldHQ@ORBArch.com



DRB SUBMITTAL

DATE: JANUARY 22, 2021 ORB # 19-227

**A1.22**

SITE DETAILS 31-45



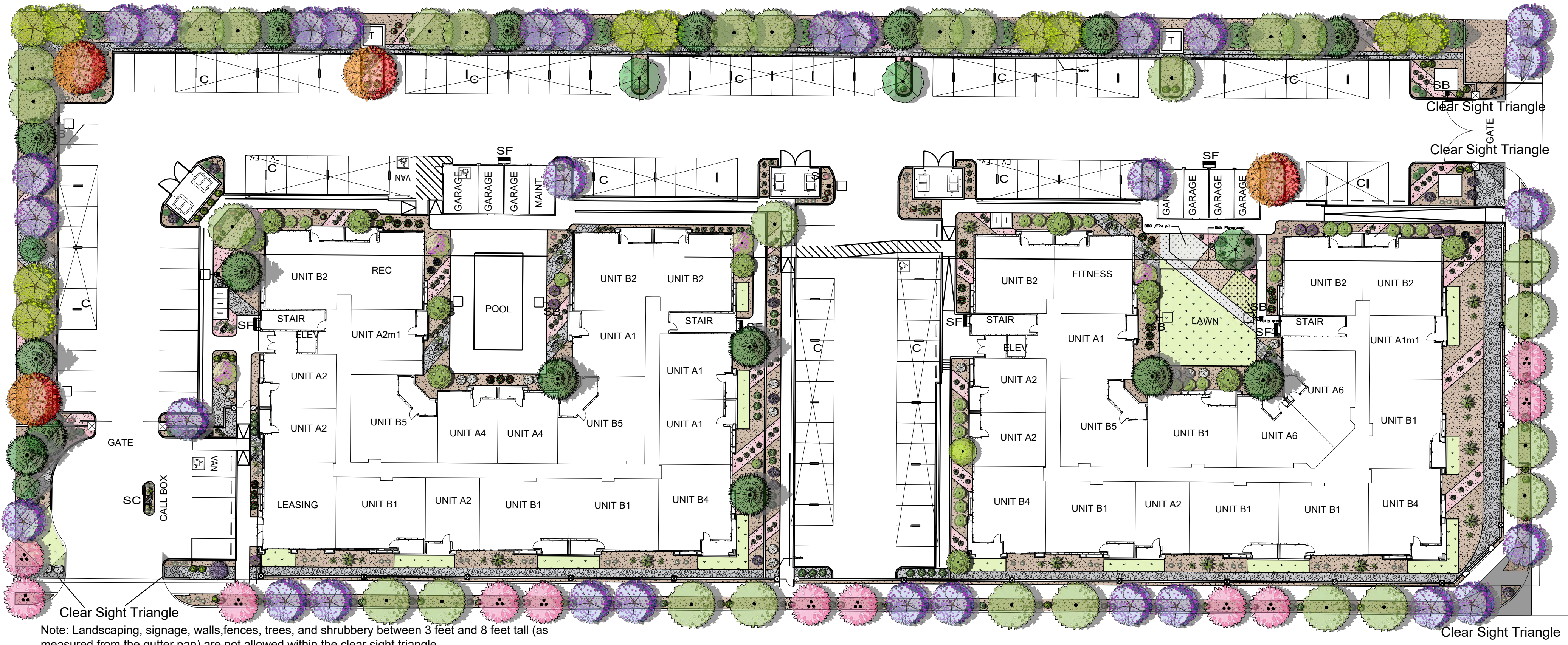
# ALLASO VINEYARDS

NWC OF HOLLY AVE. NE AND VENTURA ST. NE  
ALBUQUERQUE, NEW MEXICO



WorldHQ@ORBArch.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION



Note: Landscaping, signage, walls, fences, trees, and shrubbery between 3 feet and 8 feet tall (as measured from the gutter pan) are not allowed within the clear sight triangle.

## LANDSCAPE CALCULATIONS

TOTAL AREA OF PROJECT	148,029 SF
LESS BUILDING	41,696 SF
NET LOT AREA	106,333 SF
REQUIRED LANDSCAPE AREA MINIMUM 15% OF NET LOT AREA	15,950 SF
ACTUAL LANDSCAPE AREA	40,127 SF
LANDSCAPE AREA REQUIREMENT EXCEEDED	24,177 SF
LANDSCAPE COVERAGE REQUIRED - 75%	30,746 SF
COVERAGE PROVIDED	114,535 SF
REQUIREMENT EXCEEDED	83,789 SF
REQUIRED 25% COVERAGE BY GROUND-LEVEL PLANTS	7,687 SF
ACTUAL COVERAGE BY GROUND-LEVEL PLANTS	7,768 SF
REQUIREMENT EXCEEDED	64 SF
SOD ALLOWED (10%)	3,075 SF
SOD ACTUAL	2,940 SF
PARKING LOT TREES (1 TREE PER 10 PARKING SPACES)	
159 PARKING SPACES PROVIDED	
REQUIRED (159 / 10)	16 TREES
PROVIDED	16 TREES
PARKING LOT AREA	56,688 SF
REQUIRED LANDSCAPE AREA 15%	8,503 SF
ACTUAL LANDSCAPE AREA	10,385 SF
STREET TREES REQUIRED (1 TREE PER 25 LF)	36 TREES
TREES ALONG THE WALL NEXT TO LOW DENSITY RESIDENTIAL (1 TREE PER 15 LF)	55 TREES
DWELLING UNIT TREES REQUIRED (1 TREE PER 1ST STORY UNIT + 1 TREE PER 2ND STORY UNIT. 111 UNITS TOTAL)	111 TREES
PROVIDED	115 TREES

## GENERAL LANDSCAPE NOTES

- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD. THE PROPERTY OWNER SHALL MAINTAIN RIGHT-OF-WAY (ROW) LANDSCAPING IN A NEAT AND HEALTHY CONDITION.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) INCLUDING, BUT NOT LIMITED TO, GENERAL LANDSCAPING REGULATIONS, WATER CONSERVATION LANDSCAPING AND WATER WASTE REGULATIONS, POLLEN-RELATED REGULATIONS, MINIMUM VEGETATIVE COVERAGE REQUIREMENTS AND STREET TREE REGULATIONS.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY. SURFACE TREATMENT: LANDSCAPE AREAS SHALL BE COVERED WITH MULCH.
- LANDSCAPE, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- LANDSCAPING WILL BE WATERED WITH AN AUTOMATED IRRIGATION SYSTEM THAT INCLUDES DRIP ZONES FOR LANDSCAPING.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEMS. REFER TO CIVIL.
- VEGETATIVE SCREENING: SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- NEW PLANTINGS DO NOT INCLUDE HIGH WATER TURF.
- ORGANIC BARK MULCH IS PROVIDED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DIAPHRANE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(b).
- WHERE MULCH IS ADJACENT TO CONCRETE OR ASPHALT, FINISH GRADE OF MULCH SHALL 1/2" BELOW TOP OF CONCRETE, UNLESS OTHERWISE INDICATED. PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNA) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL LANDSCAPING CONTIGUOUS TO INDIGENOUS AREAS TO BE PLANTED WITH INDIGENOUS TREES AND SHRUBS.

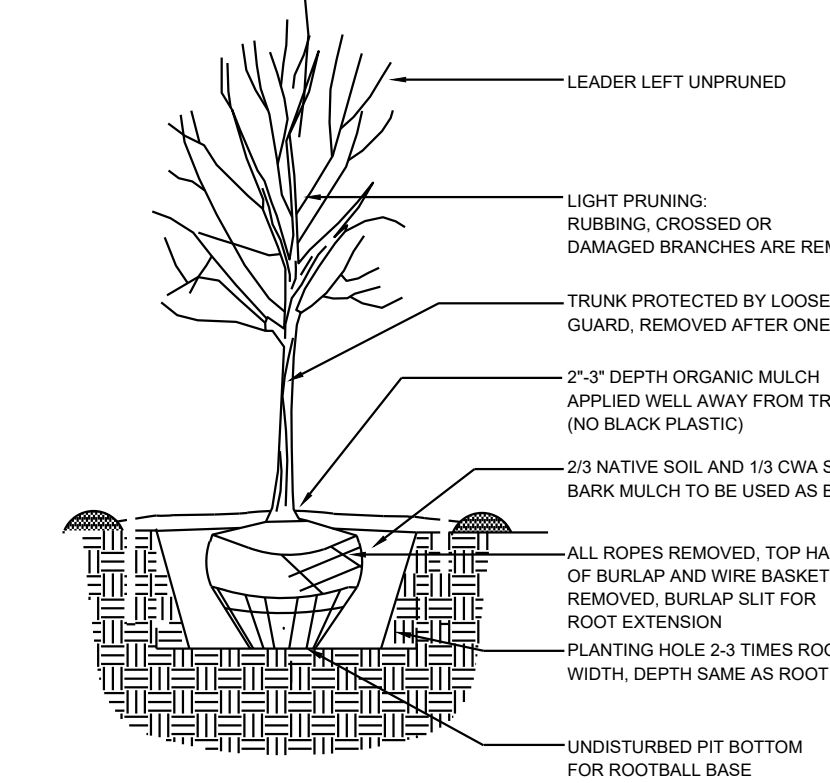
## PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	1	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"BOX	15' X 15'	177X1=177
	30	FRAXINUS AMERICANA 'AUTUMN PURPLE' / AUTUMN PURPLE ASH	2" B&B	45' X 30'	707X30=21210
	10	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST	2" B&B	50' X 45'	1590X10=15900
	1	LAGERSTROEMIA INDICA / CRAPE MYRTLE	15 GAL	15' X 15'	177X1=177
	4	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	60' X 60'	2826X4=11304
	11	PRUNUS CERASIFERA / FLOWERING PLUM	2" B&B	20' X 20'	314X11=3454
	3	QUERCUS GAMBELII / GAMBEL OAK	2" B&B	25' X 25'	491X3=1473
	27	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	2" B&B	40' X 40'	1256X27=33912
	4	VITEX AGNUS-CASTUS / CHASTE TREE	24"BOX	20' X 20'	314X4=1256
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	8	PINUS CEMBROIDES EDULIS / PINYON PINE	6" B&B	30' X 20'	314X8=2512
	16	PINUS NIGRA / AUSTRIAN BLACK PINE	2" B&B	25' X 35'	962X16=15392
		<b>SUBTOTAL</b>			<b>106,767 SF</b>
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	38	HESPERALOE PARVIFLORA 'YELLOW' / YELLOW YUCCA	5 GAL	4' X 5'	20X38=760
	14	NOLINA MICROCARPA / BEARGRASS	5 GAL	5' X 6'	28X14=392
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	100	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7X100=700
	129	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3X129=387
	8	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3' X 3'	3X8=24
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	9	BUDDLEJA DAVIDII / BUTTERFLY BUSH	5 GAL	4' X 4'	13X9=117
	7	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL	3' X 3'	7X7=49

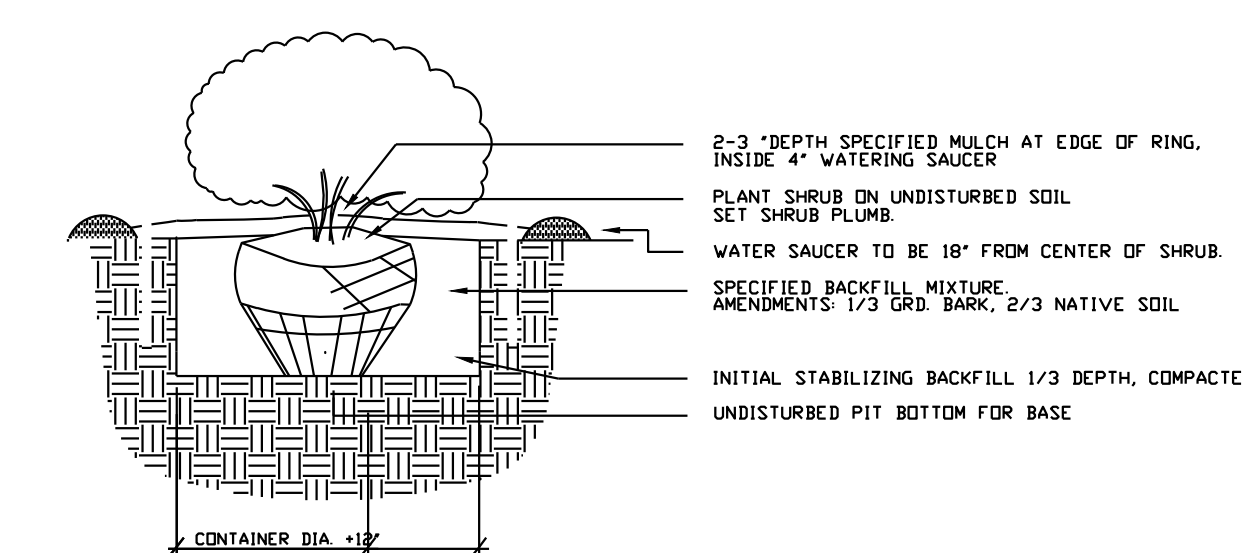
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	21	PENSTEMON PALMERI / PALMER'S PENSTEMON	5 GAL	4' X 2'	3X21=63
	12	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	5 GAL	5' X 5'	20X12=240
	3	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13X3=39
	21	ROSA X 'KNOCKOUT' TM / ROSE	5 GAL	6' X 5'	20X21=420
	38	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL	2' X 3'	7X38=266
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	23	CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGANY	5 GAL	6' X 6'	28X23=644
	3	CERCOCARPUS LEDIFOLIUS / CURL-LEAF MOUNTAIN MAHOGANY	5 GAL	15' X 15'	177X3=531
	11	COTONEASTER PARNEYI / COTONEASTER	5 GAL	10' X 15'	177X11=1947
	46	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	3' X 4'	13X46=598
	43	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	3' X 4'	13X43=559
		<b>SUBTOTAL</b>			<b>7,768 SF</b>
		<b>TOTAL</b>			<b>114,535 SF</b>

## REFERENCE NOTES SCHEDULE

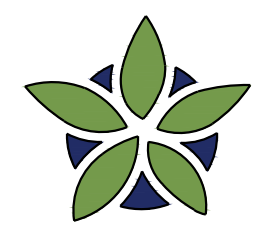
SYMBOL	DESCRIPTION	QTY
(Circle with dot)	MEDIUM BOULDER	10
SYMBOL	DESCRIPTION	QTY
(Brown stippled)	MOUNTAINAIR BROWN 7/8" GRAVEL	27,103 SF
(Pink stippled)	LUCY ROSE 1" GRAVEL	3,437 SF
(Dark brown stippled)	BARK MULCH	174 SF
(Grey stippled)	2-4" WALLIN	6,301 SF
(Green stippled)	SOD	2,940 SF
(Blue stippled)	CONCRETE	382 SF
(Green stippled)	PUTTING GREEN	172 SF



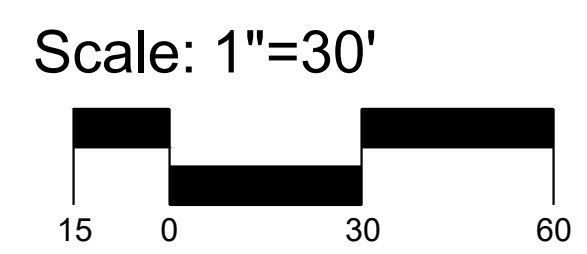
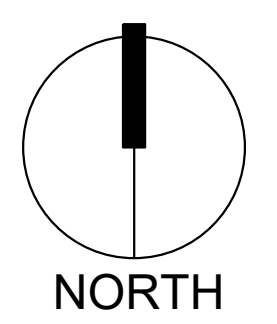
TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



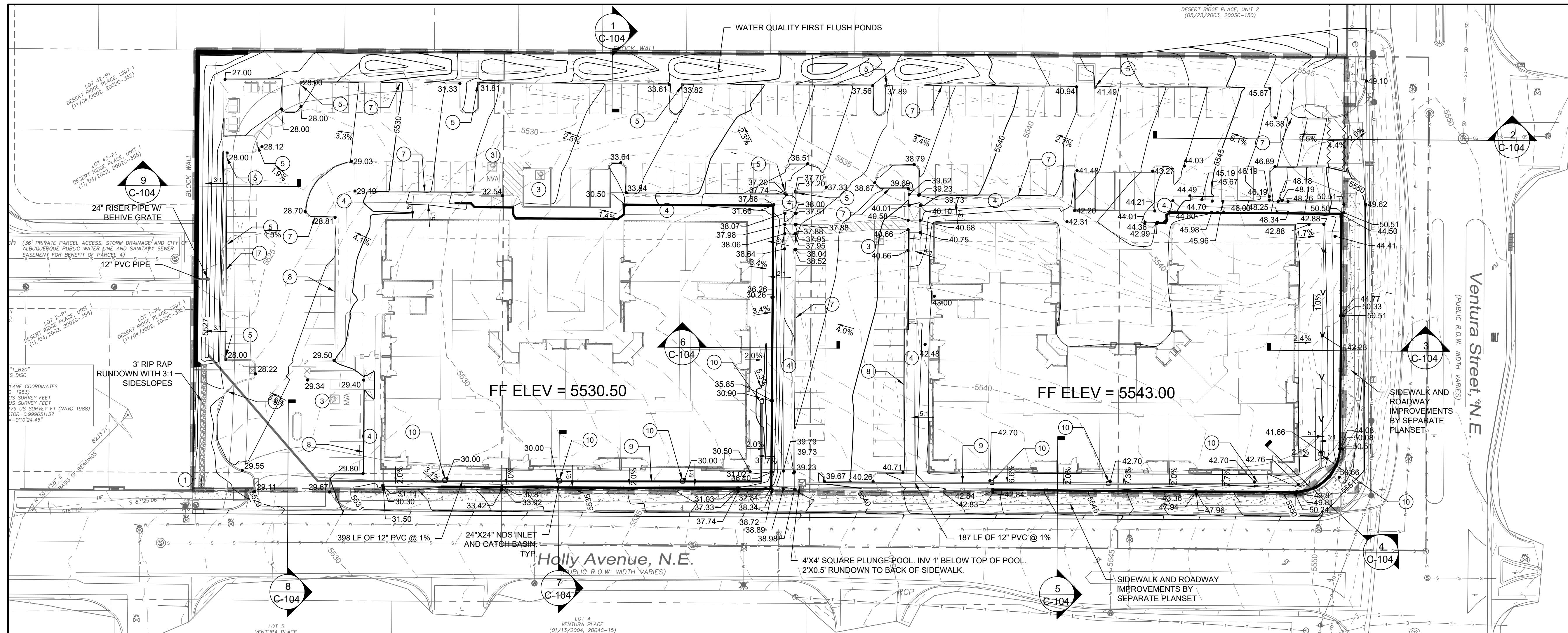
**YELLOWSTONE**  
LANDSCAPE  
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design@yellowstonelandscape.com



DRB SUBMITTAL  
DATE: DECEMBER 17, 2020 ORB #:  
JAN 5, 2021 JAN 18, 2021  
**LS-01**  
LANDSCAPE PLAN

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**LEGEND**

- EXISTING PROPERTY LINE
- - - - -5730--- EXISTING MAJOR CONTOUR
- - - - -5728--- EXISTING MINOR CONTOUR
- 5730 — PROPOSED MAJOR CONTOUR
- 5728 — PROPOSED MINOR CONTOUR
- █ █ █ LIMITS OF GRADING
- ~ ~ ~ PROPOSED GRADE BREAK
- → → PROPOSED SWALE
- 3.8% SLOPE ARROW
- █ █ █ PROPOSED RIP RAP

**KEYED NOTES**

1. LIMITS OF DISTURBANCE
2. SAWCUT & MATCH GRADE AT EXISTING ASPHALT PAVEMENT
3. 1.5% MIN. SLOPE 1.8% MAX. SLOPE ALL DIRECTIONS AT ACCESSIBLE PARKING SPACES
4. 1.8% MAX. CROSS SLOPE AT ACCESSIBLE SIDEWALK
5. INSTALL 2' CURB OPENING
6. INSTALL RIP RAP PER SPECIFICATIONS THIS SHEET
7. INSTALL CONCRETE CURB & GUTTER
8. INSTALL CONCRETE CURB
9. INSTALL 12" PVC PIPE @ 1% SLOPE
10. INSTALL 24"x24" NDS CATCH BASIN SEE DETAILS THIS SHEET

**RIP RAP SPECIFICATIONS**

RIP RAP SHALL BE OVER FILTER MATERIAL AND CONSIST OF RIP RAP AND CRUSHED ROCK MEETING THE FOLLOWING GRADATION OR ENGINEER-APPROVED EQUAL:

MAX DIMENSION	% SMALLER
12"	100
9"	50-60
6"	35-45
3"	10

FILTER MATERIAL SHALL CONSIST OF CRUSHED ROCK MEETING THE FOLLOWING GRADATION OR ENGINEER-APPROVED EQUAL:

U.S. STANDARD SIEVE SIZE	% PASS BY WT
1"	100
3/4"	45-65
#4	25-45
#40	0-20
#200	0-5

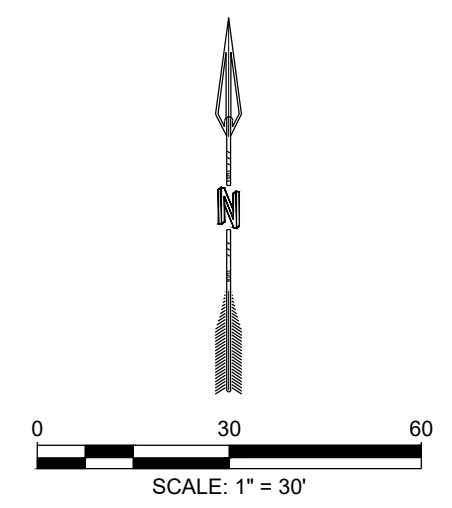
FILTER MATERIAL SHALL BE PLACED UNDER THE RIP RAP CHANNEL AND COMPACTED INTO SURFACE VOIDS OF THE RIP RAP. THE SUBGRADE SHALL BE PROCESSED TO A 12" MIN. DEPTH AND COMPACTED TO 95% MIN. RELATIVE DENSITY PER ASTM D 1557. THE FILTER MATERIAL SHALL BE TAMPED AND SHAPED TO FORM A SMOOTH, EVEN, AND FIRM FOUNDATION FOR THE OVERLAYING RIP RAP. THE CONTRACTOR'S OPERATIONS AND METHODS OF PLACING SHALL PREVENT SEGREGATION OF THE MATERIALS. THE FILTER MATERIAL SHALL BE PLACED AND TAMPED IN THE VOIDS OF THE RIP RAP.

**GRADING NOTES**

1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
2. PARKING LOT STRIPING HAS BEEN SCREENED BACK FOR VISUAL CLARITY
3. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS.
4. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
5. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
6. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
7. ALL DISTURBED AREAS TO BE RE-SEEDING PER LANDSCAPE PLAN PROVIDED BY OTHERS.
8. ALL AREAS WITH SLOPES GREATER THAN 3:1 SHALL BE LANDSCAPED WITH 3/4" MINUS ALL FACED FRACTURED GRAVEL AND SEPARATION FABRIC.

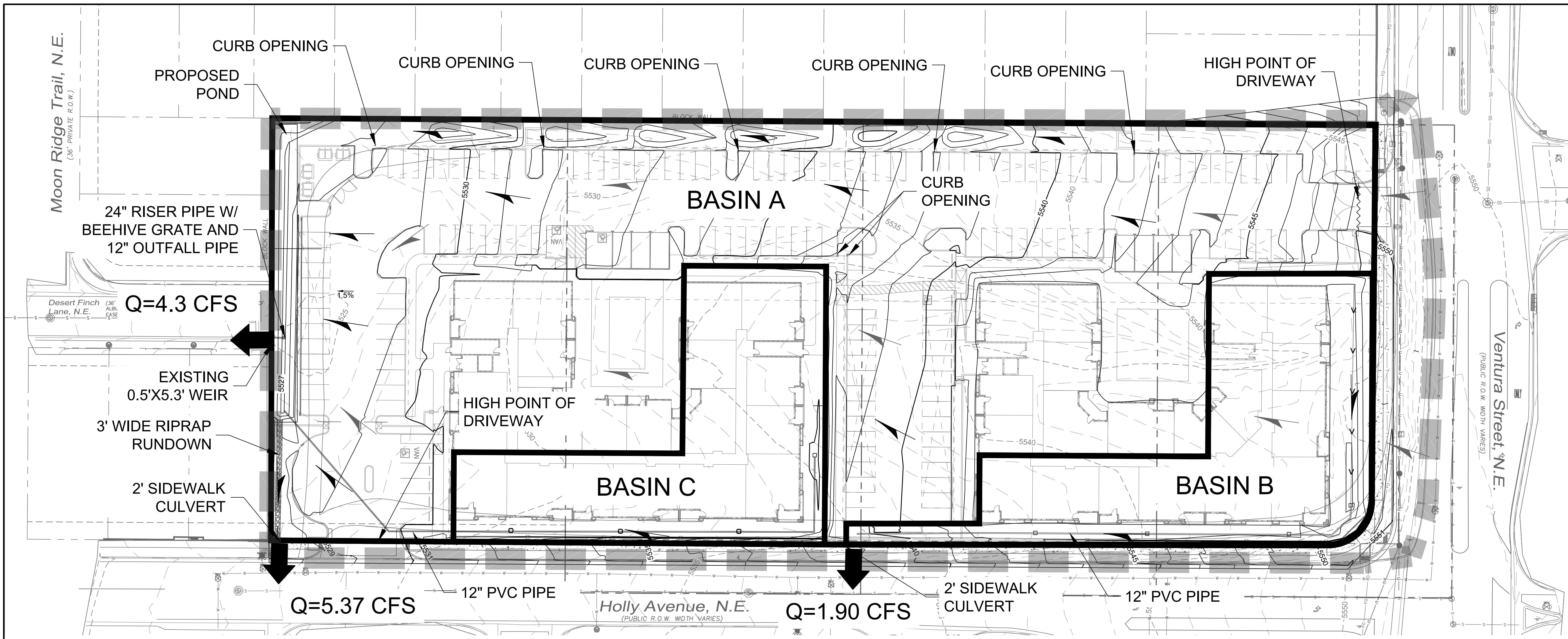
**SPOT ELEVATION SYMBOLS**

1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- TA 66.00 TOP OF ASPHALT
  - 66.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
  - TP 66.00 TOP OF POND
  - BP 66.00 BOTTOM OF POND
  - TS 66.00 TOP OF SIDEWALK
  - FL 66.00 FLOWLINE
  - BW 66.00 BOTTOM WALL



<p>DESIGNED JL DRAWN JMS CHECKED JL DATE 12.17.2020</p> <p>RESPEC 6971 Jefferson Street Suite 101 Albuquerque, NM 87110 Water and Natural Resources respec.com 505.253.9718</p> <p>RESPEC</p>	<p>REVISION</p> <p>STAMP</p> <p>PRELIMINARY NOT FOR CONSTRUCTION 12/2020</p> <p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p> <p><b>nm811</b> Know what's below. Call before you dig.</p> <p>PROJECT NAME: <b>ALLASO VINEYARDS APARTMENTS HOLLY &amp; VENTURA</b></p> <p>SHEET TITLE: <b>GRADING PLAN</b></p> <p>SHEET NUMBER: <b>C-101</b></p>
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DESIGNED J.L.	JIMS
DRAWN J.L.	JIMS
CHECKED J.L.	JIMS
DATE	12.17.2020

RESPEC  
 6971 Jefferson Street Suite 101  
 Albuquerque, NM 87120  
 Water and Natural Resources  
 respec.com 505.253.9718

STAMP

**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 12/2020

THIS DRAWING IS INCOMPLETE  
 AND NOT TO BE USED FOR  
 CONSTRUCTION UNLESS IT IS  
 STAMPED, SIGNED AND DATED

PROJECT NAME:  
**ALLASO VINEYARDS  
 APARTMENTS  
 HOLLY & VENTURA**

SHEET TITLE:  
**DRAINAGE PLAN**

SUBMITTED FOR:  
 SHEET NUMBER:  
**C-102**

**DRAINAGE SUMMARY**

**Background**  
 Lots 17-19 NAA Tract 3 Unit 3 Block 9 and Lot 4 Unit 1 Desert Ridge are located at the Northwest corner of Holly Ave. and Ventura St. NE in Albuquerque, New Mexico, and contains approximately 3.6 acres. The site is currently undeveloped and does not appear to receive any offsite flows. The proposed development is an approximately 110-unit apartment complex containing 2 buildings, asphalt paved parking lot, and landscaping areas. The drainage intent under developed conditions is to match the stormwater drainage characteristics as outlined in the approved "Desert Ridge Place Drainage Plan and Calculations" (JMA, 2002).

**Methodology**  
 The assumptions and criteria including land treatment types and impervious areas as well as the hydrologic analysis for the site were performed in accordance with the city of Albuquerque Development Process Manual (DPM). AHYMO-S4 (April 2018) was used to develop peak flow rates for the 100-year 24-hour design storm in accordance with Section 22.2 of the DPM. Hydraulic calculations were performed per section 22.3 of the DPM.

**Existing Conditions**  
 The existing site is currently undeveloped with moderate vegetation and has mild to steep slopes from east to west ranging from 3% to 50%. Most of the flows are conveyed to the west property line via two natural channels that run through the site from east to west. The flow discharge into Desert Finch Lane via a 5.3' wide by 0.5' tall weir in the block wall.

**Proposed Conditions**  
 In general, Basin DEV A will surface drain via sheet flow and concentrated gutter flows towards the northern portion of the site. A landscape swale with retention pools will pick up first flush flows from the parking lot, the remainder of the flows will be conveyed to the detention pond at the west end of the site.

Basin DEV B includes a portion of the roof drainage of the east building and the southeast area of the site. These flows will be conveyed towards a series of inlets and into a 12" storm drain, with eventual discharge into a rip-rap lined plunge pool and french drain for first flush water quality purposes. The flows will then discharge into Holly Ave. via a single sidewalk culvert.

Basin DEV C includes a portion of the roof drainage on the west building and the surrounding southern area. The flows in this area will also be intercepted by a series of inlets and a 12" storm drain, which further conveys the flows to the detention pond at the western end of the site. The flows will be reduced to match the allowable discharge per the approved Desert Ridge Drainage Plan prior to discharging into Desert Finch Dr. via the outlet weir. The pond will also serve as a water quality feature, capturing the first flush flows prior to stormwater release.

Hydrologic and hydraulic calculations for the developed conditions can be found on this sheet.

**AHYMO INPUT: EXISTING CONDITIONS**

Subbasin	Area (ac)	Treatment Type Area (ac)				Treatment Type Area (%)			
		A	B	C	D	A	B	C	D
EX 1	3.66	3.32	0.00	0.34	0.00	90.7%	0.0%	9.3%	0.0%

**AHYMO INPUT: PROPOSED CONDITIONS**

Subbasin	Area (ac)	Treatment Type Area (ac)				Treatment Type Area (%)			
		A	B	C	D	A	B	C	D
DEV A	2.41	0.00	0.29	0.29	1.84	0.0%	11.9%	11.9%	76.2%
DEV B	0.48	0.00	0.06	0.06	0.36	0.0%	12.5%	12.5%	75.0%
DEV C	0.43	0.00	0.02	0.02	0.39	0.0%	4.7%	4.7%	90.7%

**AHYMO OUTPUT: EXISTING CONDITIONS**

Subbasin	A (ac)	Q (cfs)	V (acft)	Q/A (cfs/ac)
EX 1	3.66	0		0.0

**AHYMO OUTPUT: PROPOSED CONDITIONS**

Subbasin	A (ac)	Q (cfs)	V (acft)	Q/A (cfs/ac)
DEV A	2.41	9.52	0.455	4.0
DEV B	0.48	1.9	0.09	4.0
DEV C	0.43	2.96	0.134	6.9
DEV A + DEV C	2.84	12.21	0.589	4.3
DEV A + DEV C (ROUTED)	2.84	11.57	0.589	4.1

**WATER QUALITY PONDING**

Area (ac)	% Imp.	Imp. Area (ac)	WQ Depth (in)	Required WQ Vol (cu ft)	Provided WQ Vol (cu ft)
3.32	78.0%	2.590	0.34	3196	4431

**Manning Formula: 12" PVC PIPE**

**Circular Channel Input**

Flow	2.96 cfs
Slope	0.01 ft/ft
Manning's n	0.011
Diameter	12 in

**Output**

Depth	0.618 ft
Flow Area	0.510 sf
Velocity	5.81 fps
Velocity Head	0.524 ft
Top Width	0.972 ft
Froude Number	1.41
Critical Depth	0.738 ft
Critical Slope	0.00618 ft/ft

**Manning Formula: 2' SIDEWALK CULVERT**

**Rectangular Channel Input**

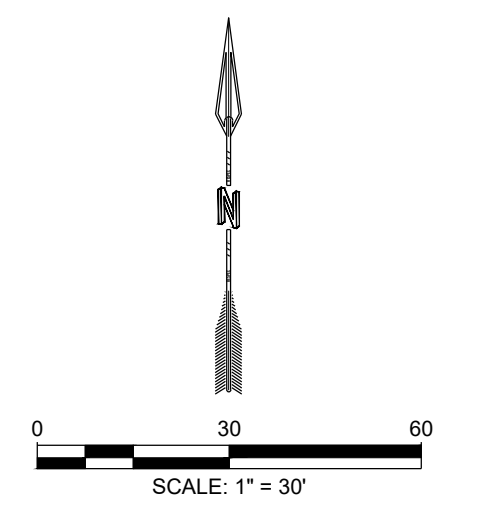
Depth	0.5 ft
Slope	0.01 ft/ft
Manning's n	0.013
Base Width	2 ft
Right Side Slope	0:1
Left Side Slope	0:1

**Output**

Flow	5.50 cfs
Flow Area	1.00 sf
Velocity	5.50 fps
Velocity Head	0.469 ft
Top Width	2.00 ft
Froude Number	1.37
Critical Depth	0.617 ft
Critical Slope	0.00549 ft/ft

**LEGEND**

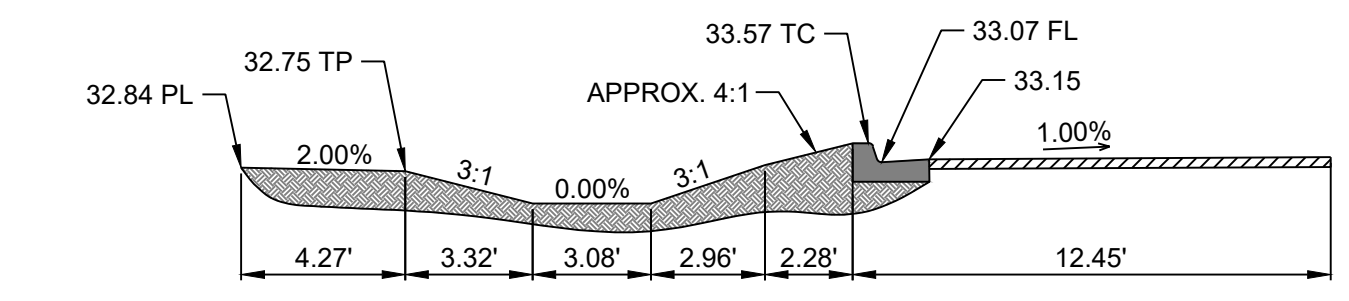
- PROPERTY LINE
- - - - 5380 EX CONTOUR MAJOR
- - - - 5379 EX CONTOUR MINOR
- - - - 5380 PROP CONTOUR MAJOR
- - - - 5379 PROP CONTOUR MINOR
- █ EXISTING SUBBASIN
- █ PROPOSED SUBBASIN
- PROPOSED SWALE
- EXISTING FLOW ARROW
- PROPOSED FLOW ARROW
- PROPOSED DISCHARGE LOCATION



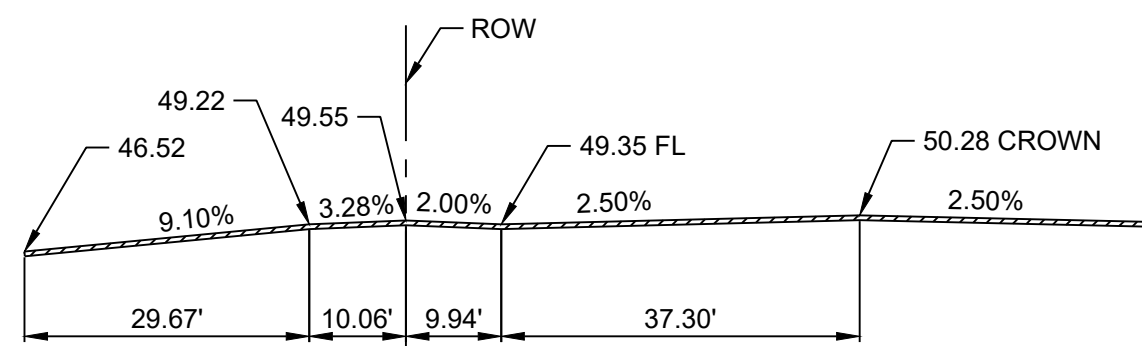
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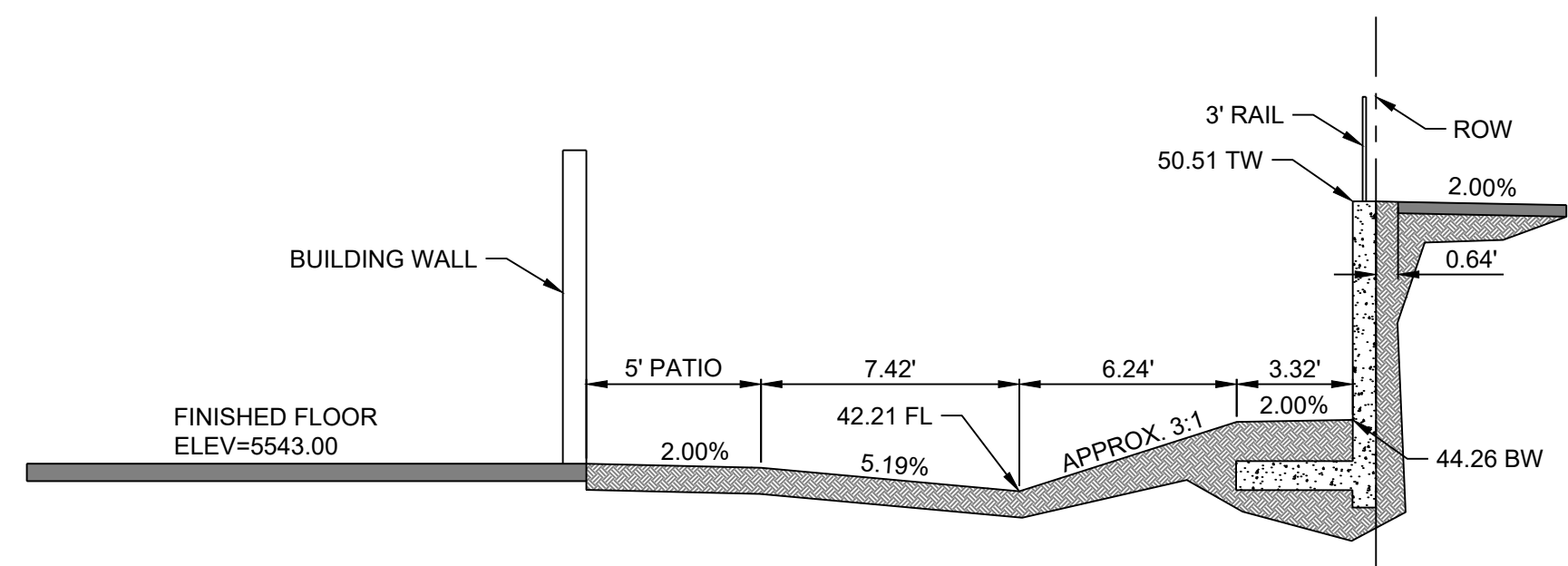
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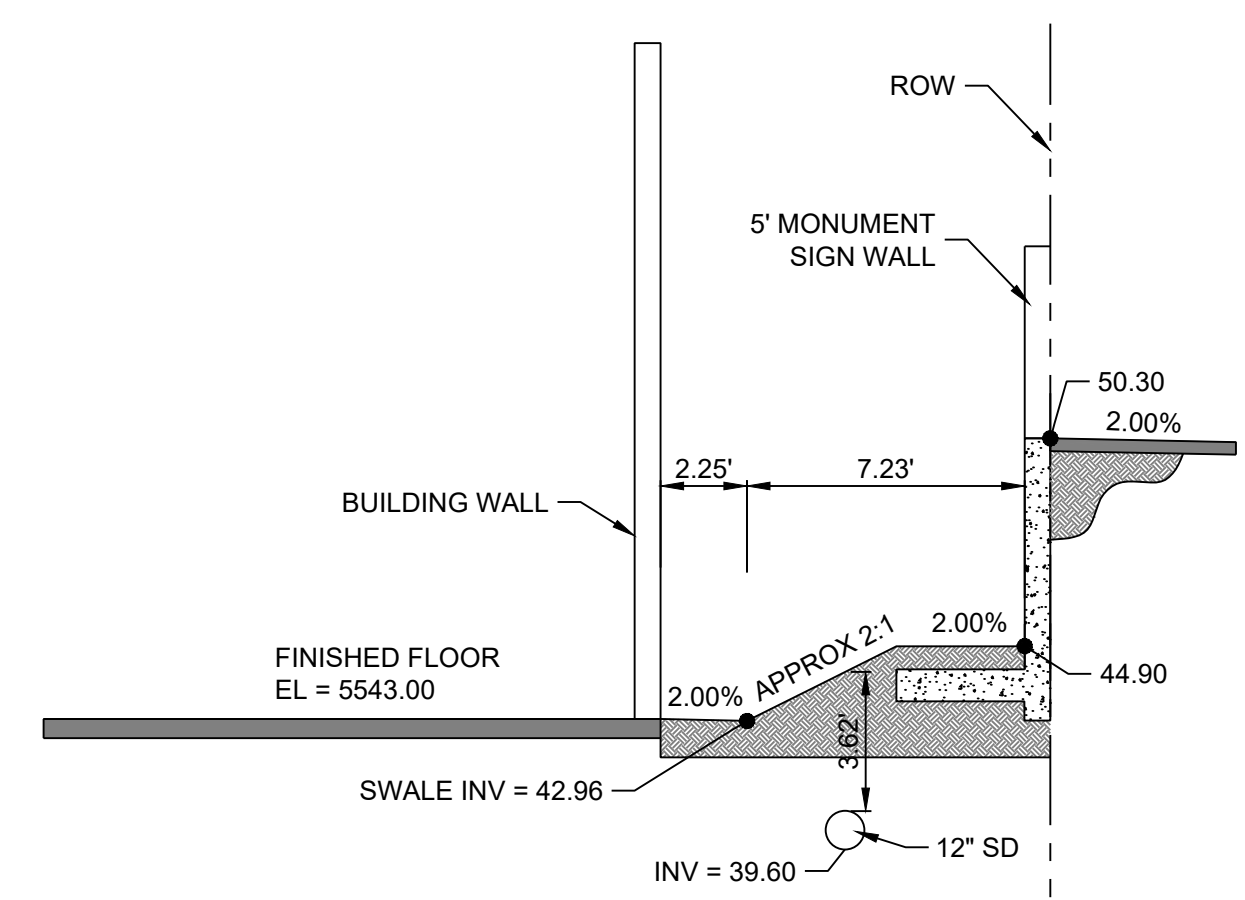
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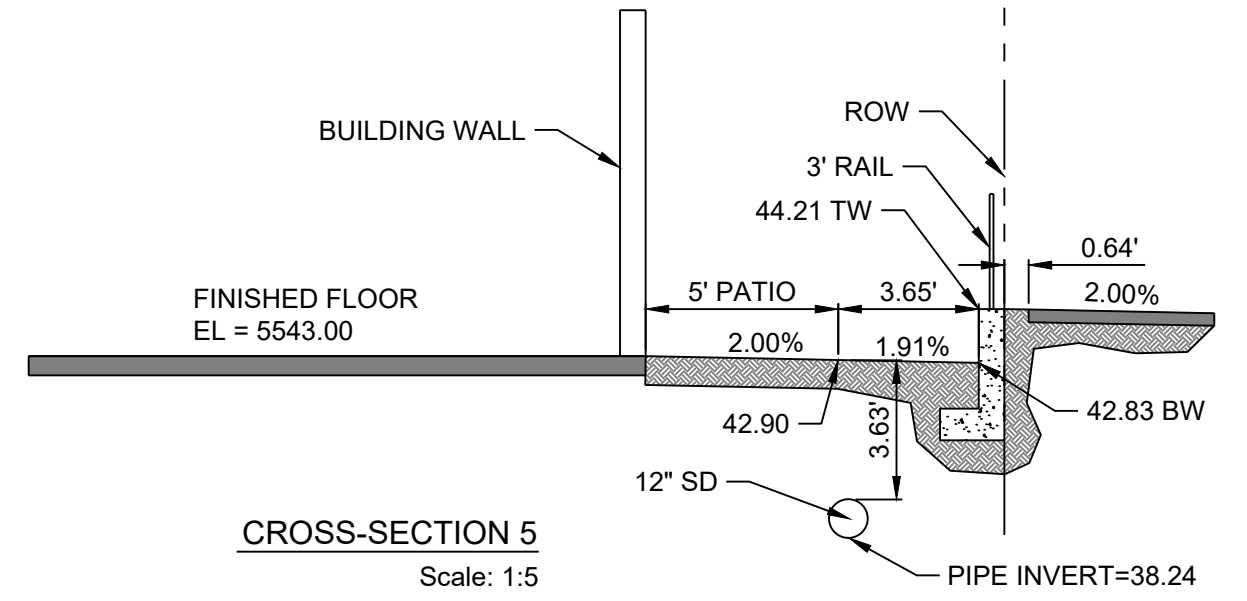
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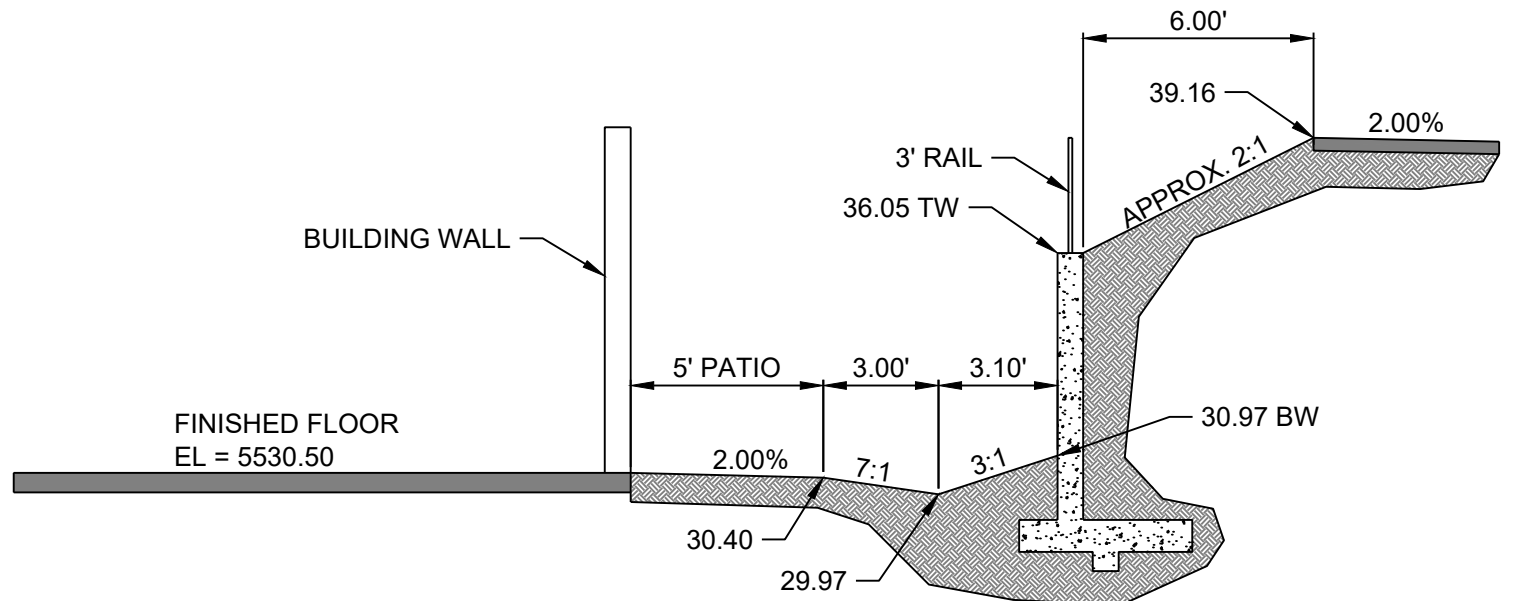
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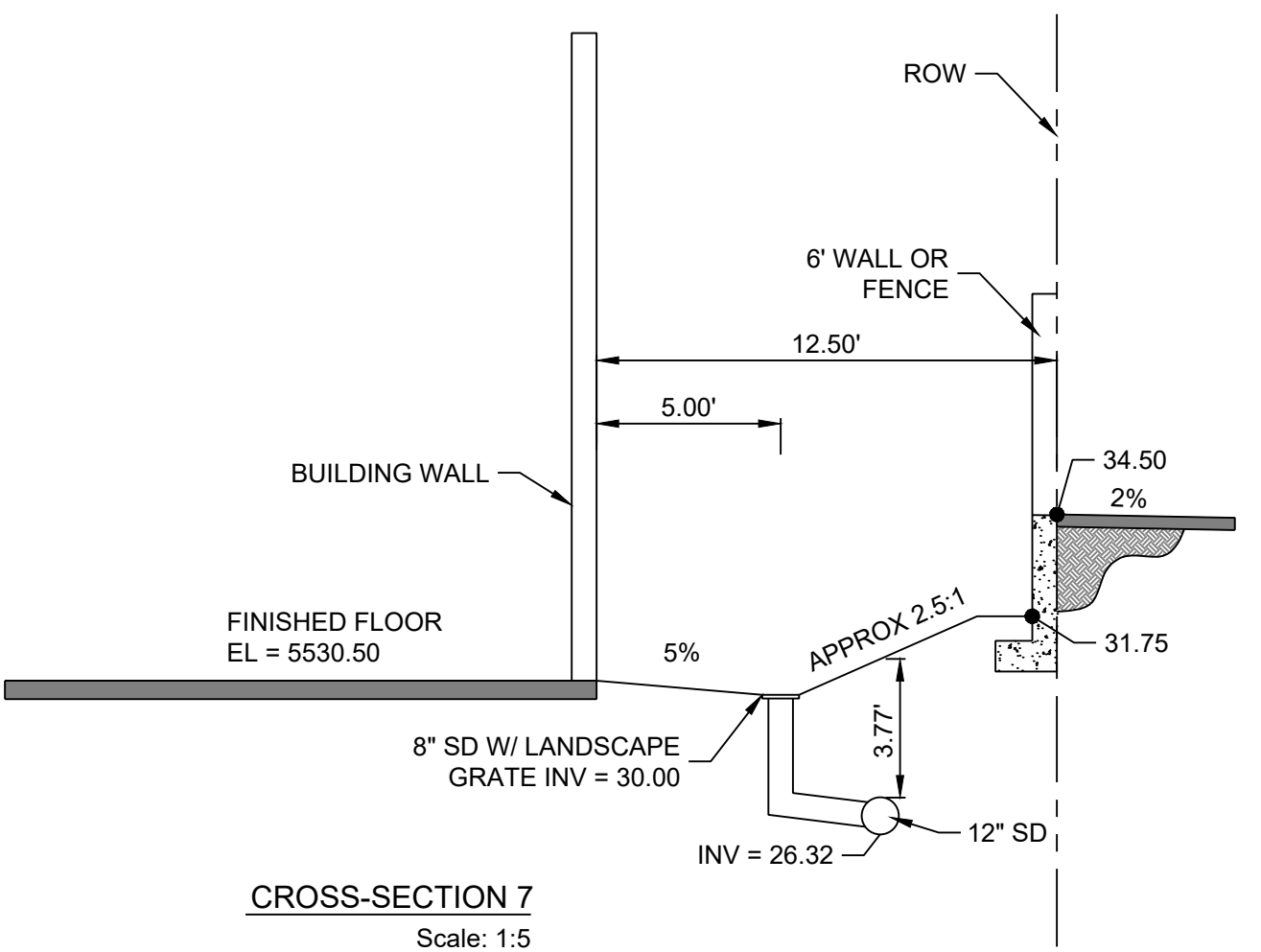
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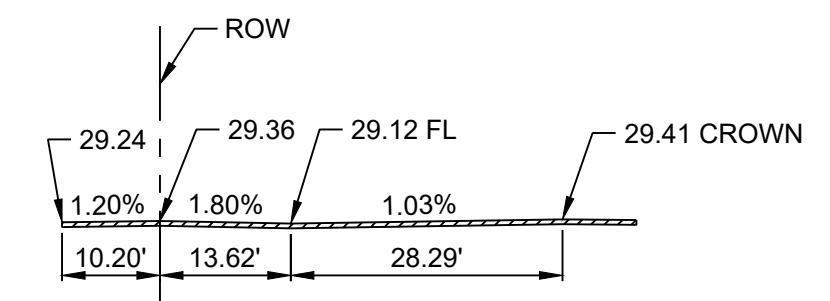
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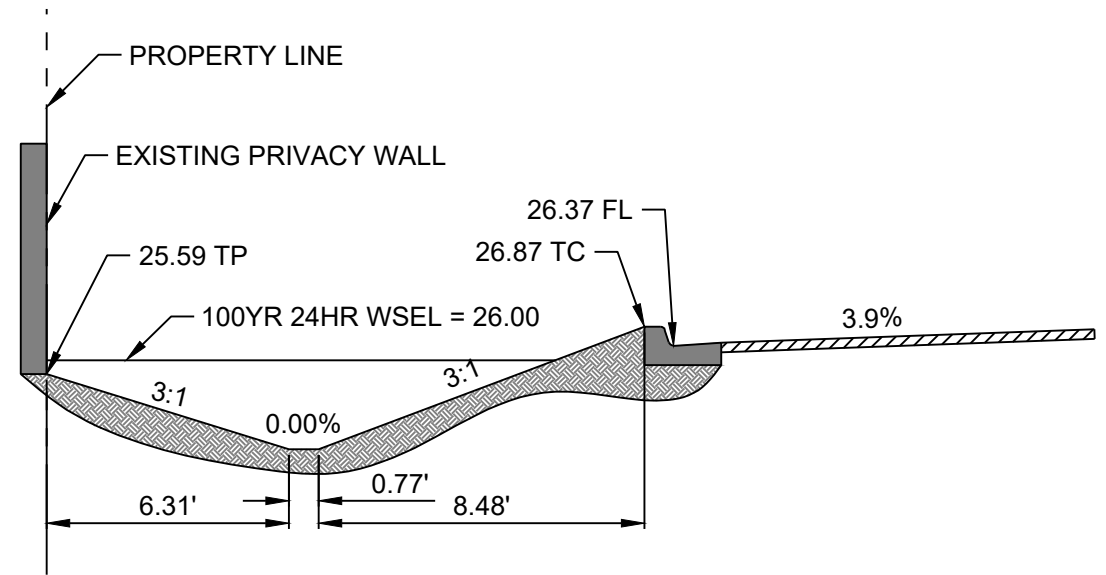
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CROSS-SECTION 7  
Scale: 1:5



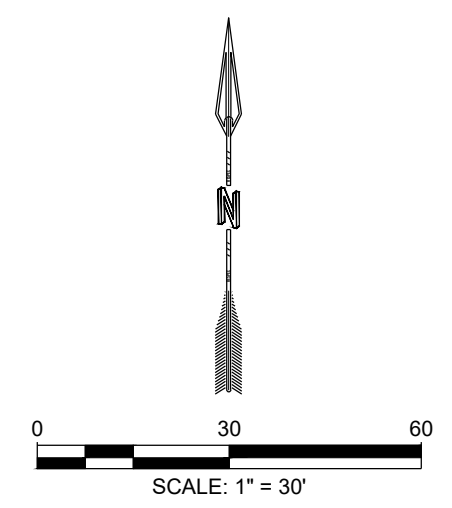
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CROSS-SECTION 9  
Scale: 1:5

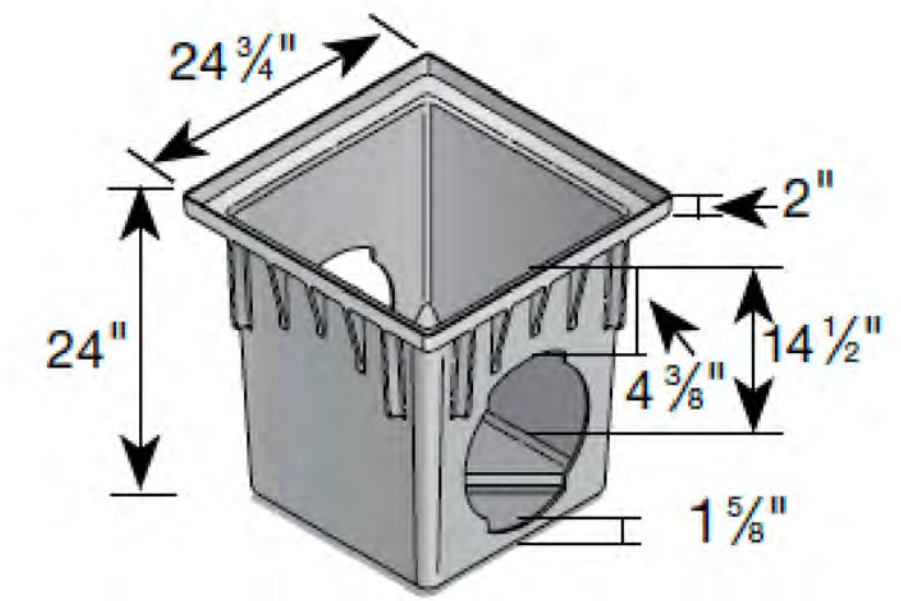
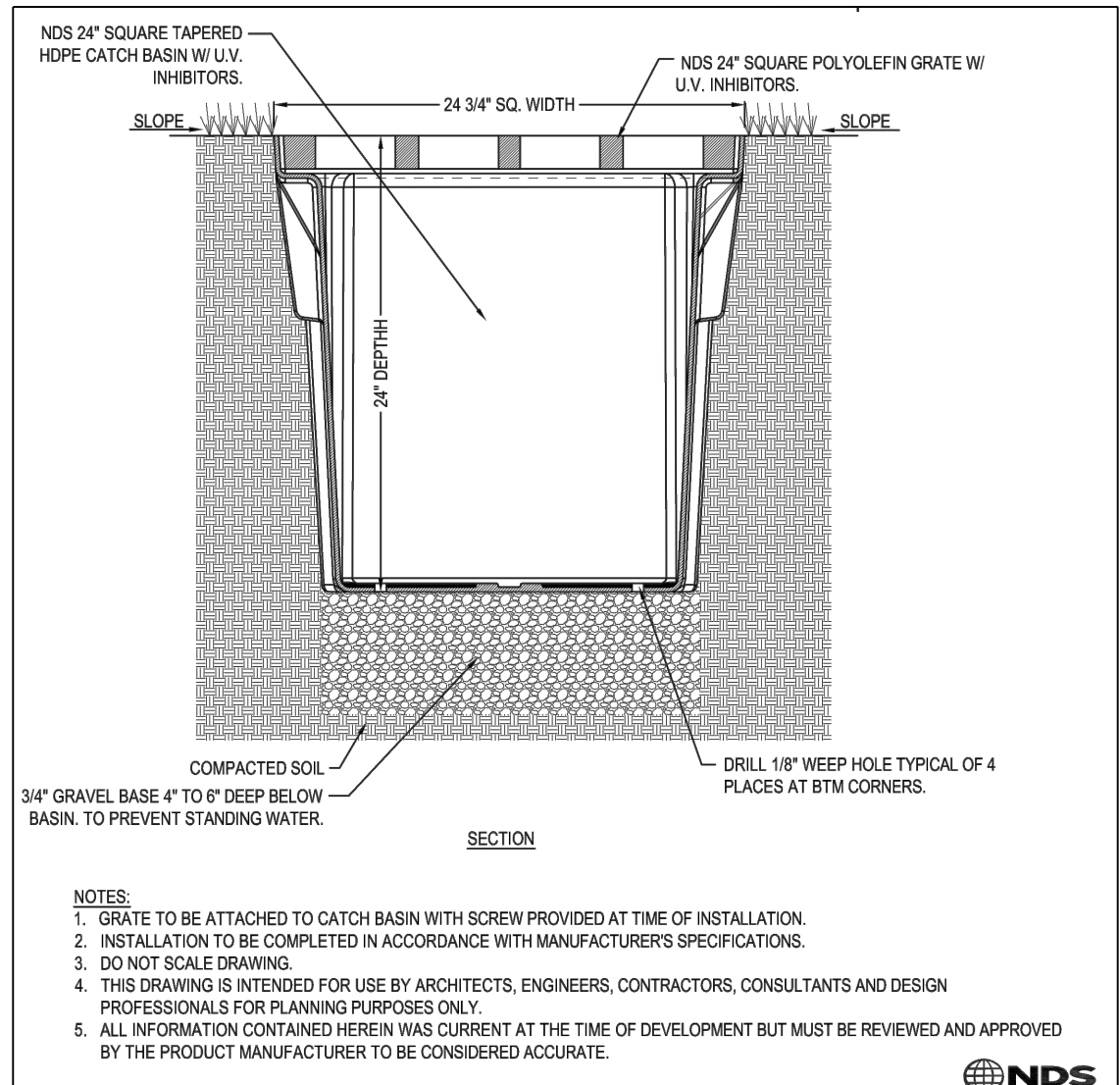
City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 01/11/21  
BY: *Randy Brunselle*  
HydroTeam 9 C20D086

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.



DESIGNED JL	JMS	REVISION
DRAWN JMS	CHECKED JL	
DATE 12.16.2020		
 6971 Jefferson Street Suite 101 Albuquerque, NM 87121 Water and Natural Resources respec.com 505.253.9718		
 Know what's below. Call before you dig.		
<b>PRELIMINARY</b> NOT FOR CONSTRUCTION 12/2020 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED		
PROJECT NAME: <b>ALLASO VINEYARDS          APARTMENTS HOLLY &amp;          VENTURA</b>		
SHEET TITLE: <b>SECTIONS</b>		
SUBMITTED FOR:  		
SHEET NUMBER: <b>C-104</b>		





24"x24" NDS CATCH BASIN  
Scale: NTS



**RETAINING WALL GENERAL NOTES**

1. COMPACT SUBGRADE TO 95% MIN. RELATIVE DENSITY (12" MIN DEPTH) PER ASTM D1557. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ENGINEER BEFORE PROCEEDING.
2. COMPACT BACKFILL TO 90% MIN RELATIVE DENSITY PER ASTM D1557. CONTRACTOR IS RESPONSIBLE FOR METHOD OF PLACEMENT AND COMPACTION OF BACKFILL MATERIAL TO ENSURE THAT LOADS SUFFICIENT TO CAUSE DAMAGE TO WALL ARE NOT EXCEEDED.
3. MAINTAIN 2" MIN CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE. 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.
4. ALL BLOCKS TO BE GROUTED SOLID W/ CONCRETE BLOCK FILL. GROUT SHALL MEET 2,000 PSI AT 28 DAYS.
5. CONCRETE FOR FOOTINGS SHALL MEET 3,000 PSI AT 28 DAYS, WITH 3/4" MAX SIZE AGGREGATE, AND A MAX SLUMP OF 5".
6. MASONRY MORTAR SHALL MEET REQUIREMENTS OF ASTM C270, TYPE M.
7. WALL BLOCKS ARE TO BE STANDARD MASONRY UNITS (8x8x16, OR AS OTHERWISE INDICATED) AND SHALL MEET REQUIREMENTS OF ASTM C90.
8. ALL REINFORCING SHALL MEET REQUIREMENTS OF ASTM A615, GRADE 40.
9. INSTALL 9GA., GALV. DUR-O-WAL (OR APPROVED EQUAL) EVERY OTHER COURSE (16" OC), OR BOND BEAM WITH 2-#4 REBAR EVERY THIRD COURSE (24" OC MAX).
10. REINFORCING STEEL SPLICES SHALL HAVE 24" MIN. LAPS.
11. TOP COURSE OF BLOCK SHALL USE 2" SOLID MASONRY UNITS AS CAPS, UNLESS A CMU PERIMETER WALL IS TO BE INSTALLED ON TOP DRAIN BLOCKS FOR PARTY WALLS, AT LOCATIONS SHOWN ON THE PLANS AND AS SPECIFIED BY OWNER, SHALL CONSIST OF STANDARD MASONRY UNITS TURNED FACE DOWN. THEY SHALL BE INSTALLED THROUGH THE PARTY WALL ABOVE THE RETAINING WALL SECTION AFTER THE RETAINING WALL SECTION IS COMPLETE AND BACKFILLED.
13. ALL WALLS FACING PUBLIC ROW MUST BE SPRAYED WITH ANTI-GRAFFITI COATING.
14. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (SPECIFIED BY OWNER), CONSTRUCT PILASTERS AT 16" OC (MAX), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS, AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION. THE TOP OF PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS CMU PARTY WALL IS TO BE INSTALLED ON TOP OF RETAINING WALL.
15. ALL CMU AND MORTAR COLOR SHALL BE AT THE OWNER'S DIRECTION.
16. IF NO PILASTERS ARE TO BE CONSTRUCTED THE APPROPRIATE EXPANSION / CONTRACTION JOINTS SHALL BE PROVIDED AT 12' OC (MAX).
17. ALL WALLS SHOWN ON PLANS HAVE BEEN DESIGNED TO ACCEPT A 6' (MAX) CMU PARTY WALL.
18. FOR LOCATIONS TO INCLUDE PARTY WALLS, EXTEND #4 BARS AT 48" OC WITH MINIMUM INBEDMENT OF 24" IN RETENTION WALL.
19. WATERPROOFING SHALL BE HYDROCIDIC LIQUID MEMBRANE HLM 5000 OR APPROVAL EQUAL, AND SHALL BE APPLIED FROM FINISHED GRADE TO TOP OF FOUNDATION.
20. PARTY WALL DETAILS NOT INCLUDED, TO BE PROVIDED BY OWNER.
21. WALL, INCLUDING FOOTING, SHALL NOT EXTEND INTO ANY ADJACENT PROPERTY OWNED BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER.

DESIGNED BY		CHECKED BY		DATE	
JL	JMS	JL	JMS	12.17.2020	
DRAWN		CHECKED		DATE	
JL		JMS		12.17.2020	

REVISION

STAMP

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
12/2020

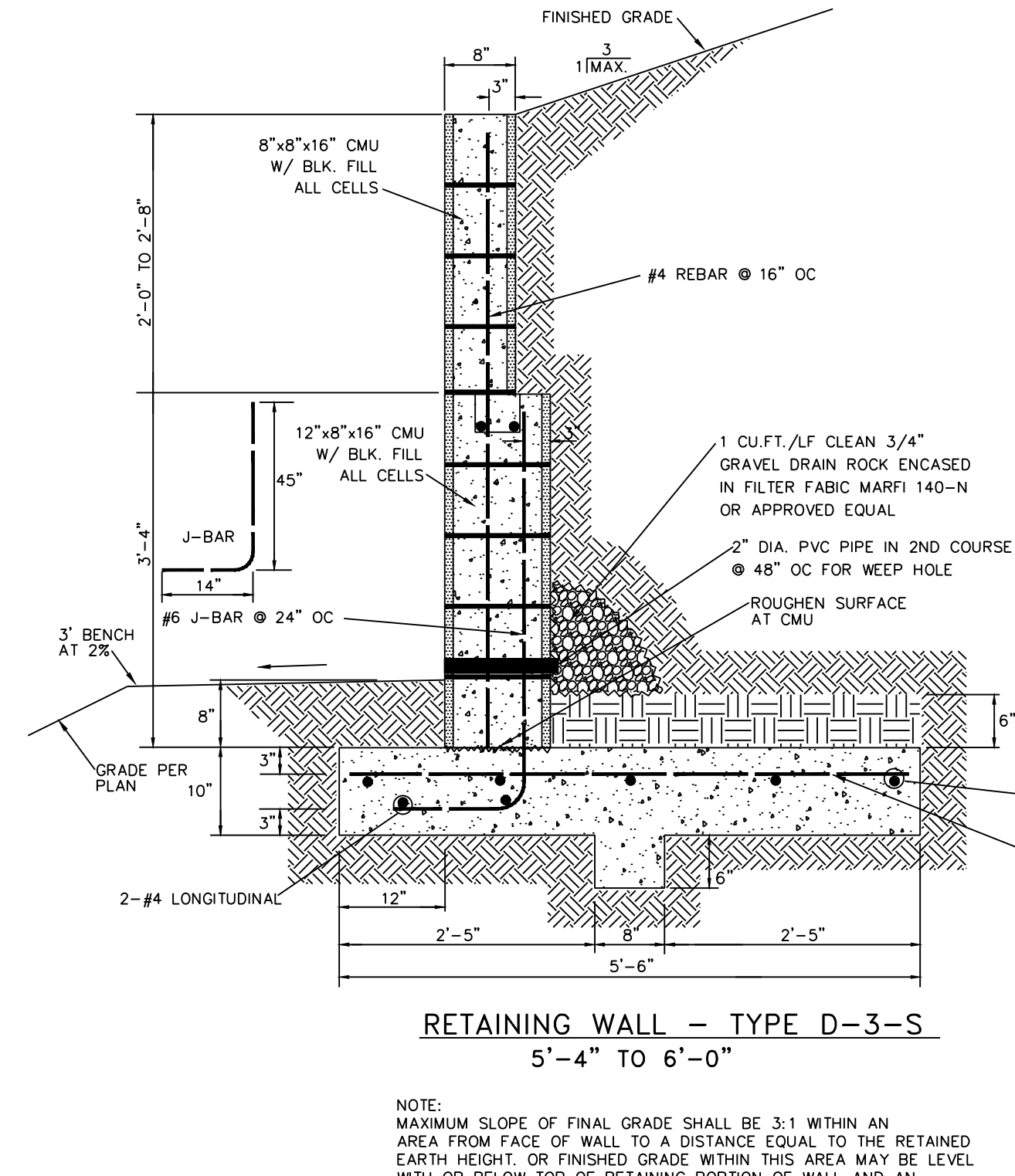
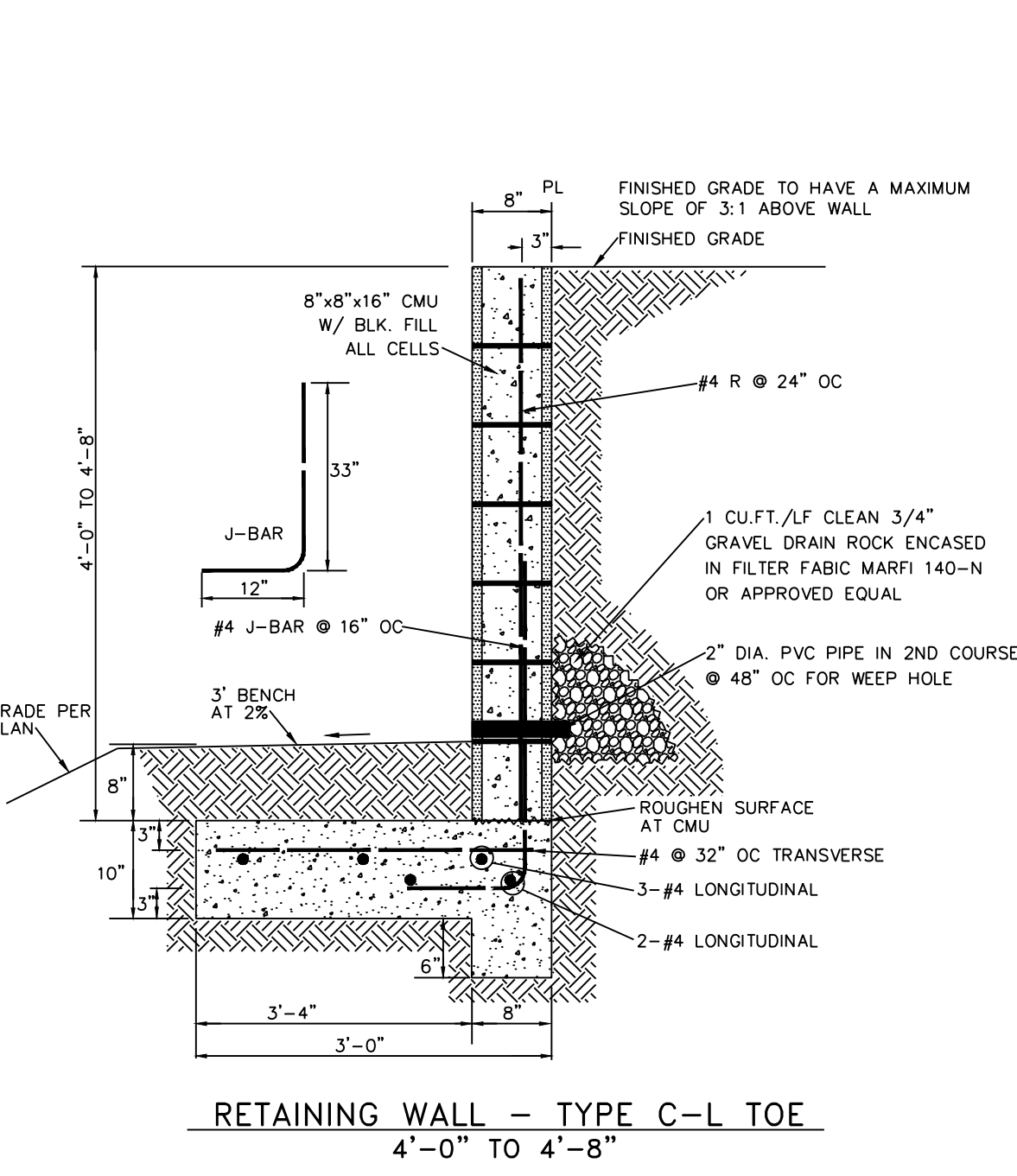
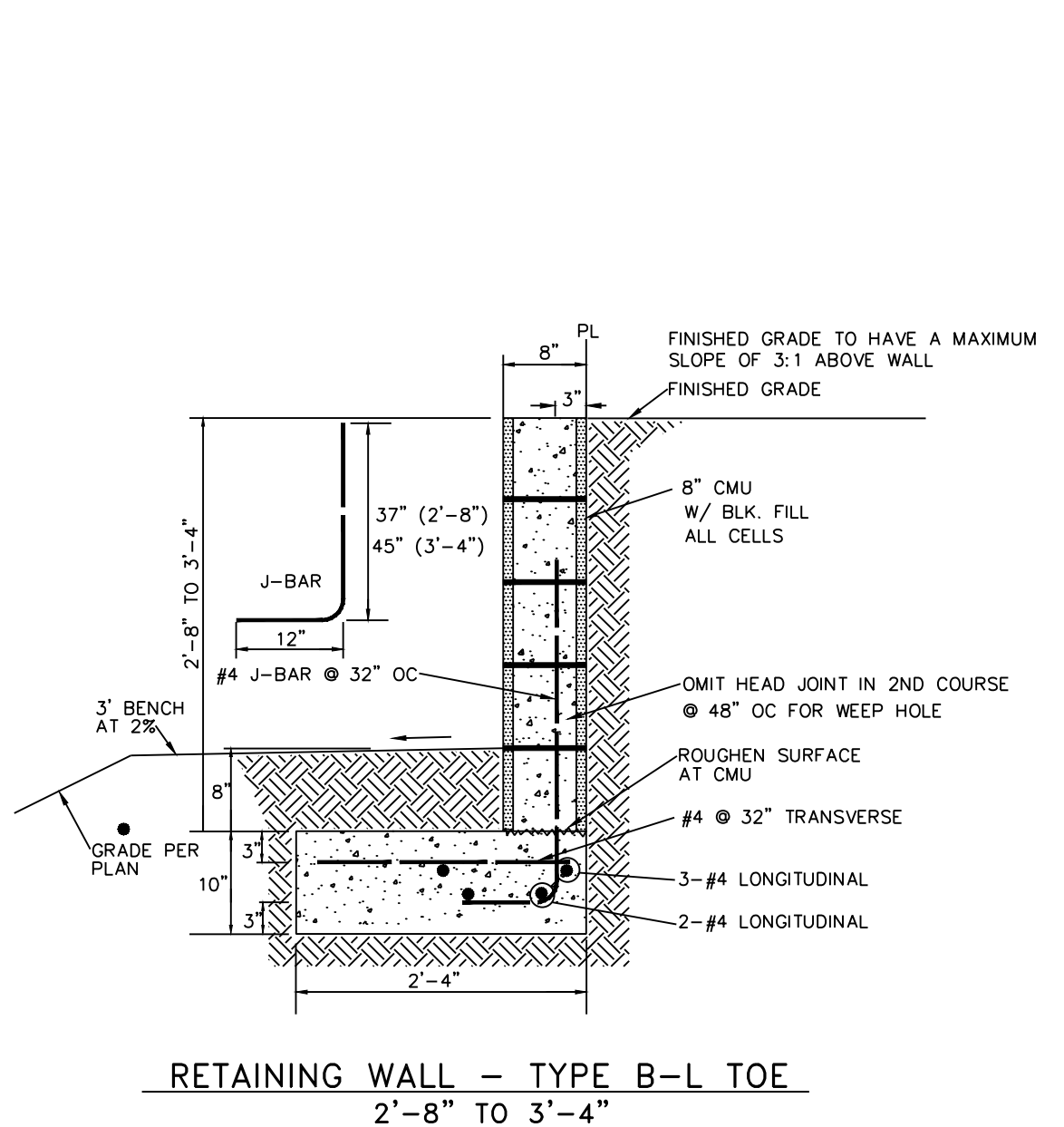
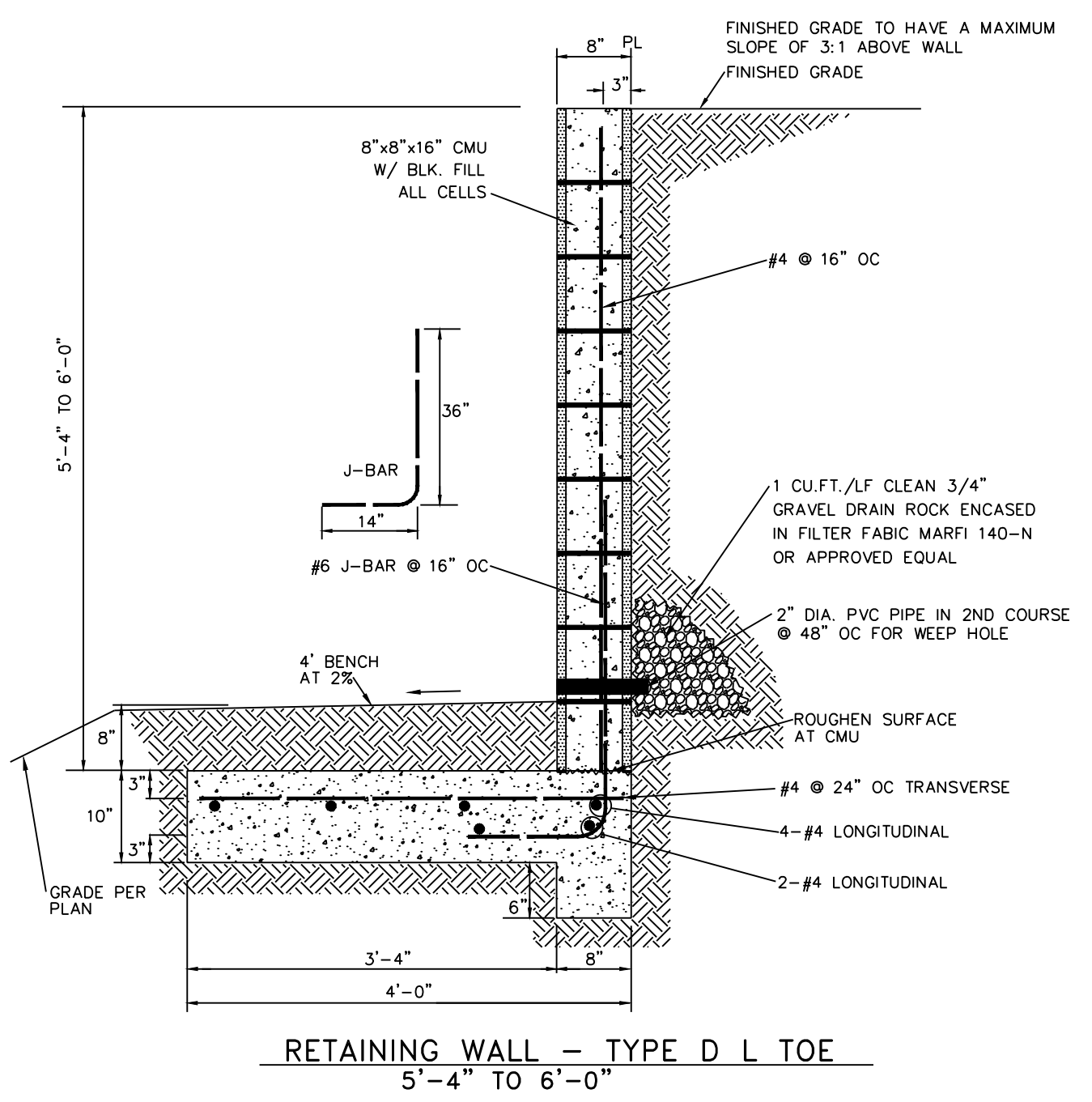
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

PROJECT NAME:  
**ALLASO VINEYARDS APARTMENTS HOLLY & VENTURA**

SHEET TITLE:  
**DETAILS**

SUBMITTED FOR:

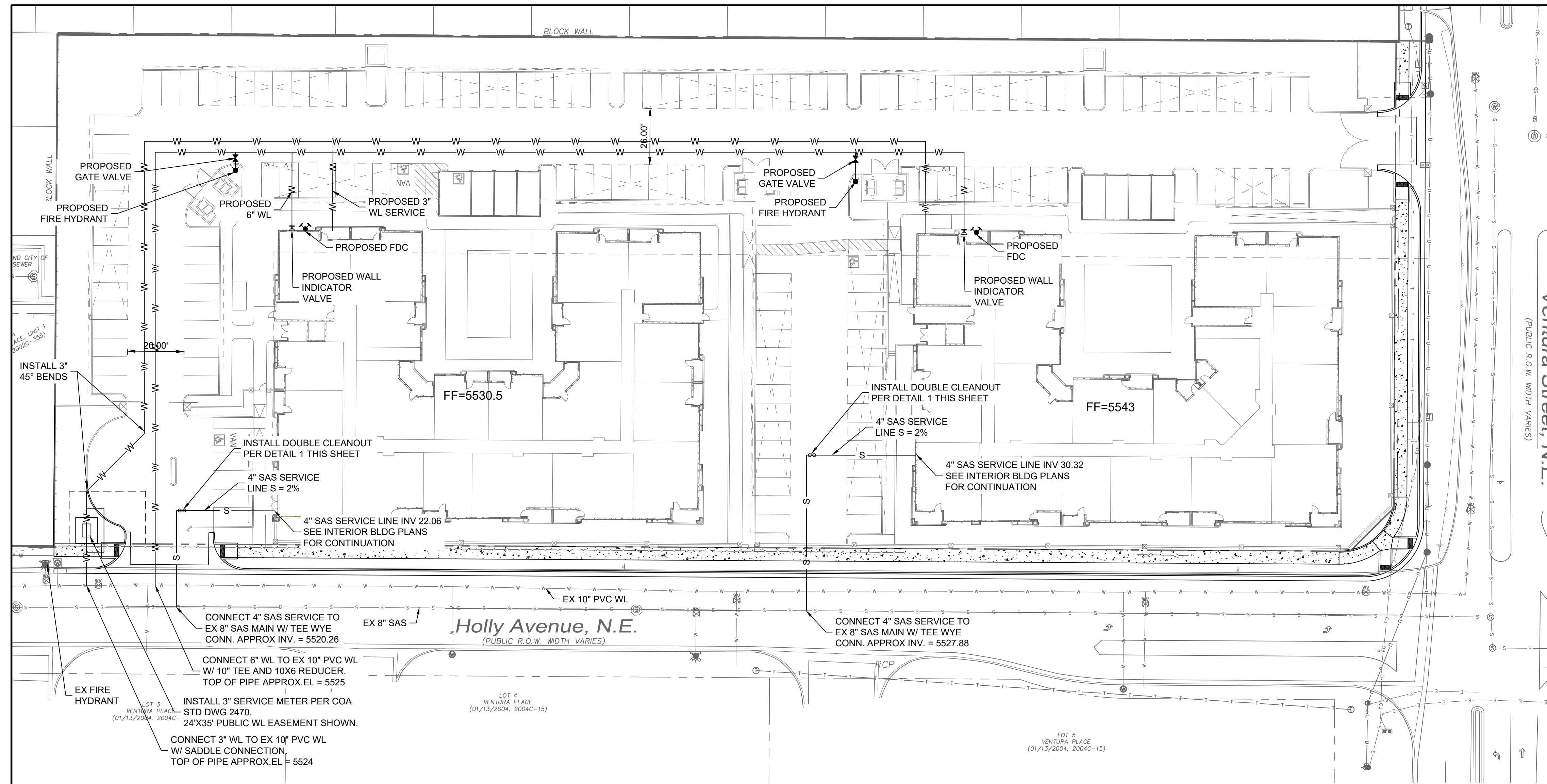
SHEET NUMBER:  
**C-105**



NOTE:  
MAXIMUM SLOPE OF FINAL GRADE SHALL BE 3:1 WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL TO THE RETAINED EARTH HEIGHT OR FINISHED GRADE WITHIN THIS AREA MAY BE LEVEL WITH OR BELOW TOP OF RETAINING PORTION OF WALL AND AN ADDITIONAL LOADING OF 100 PSF MAX. MAY BE APPLIED.



NAME: N:\Projects\04012\_Titan\_Holly\_Apts3\_DWG\Sheets\04012\_C-103\_Utility\_Plan.dwg PLOT DATE: Jan 21, 2021 5:32pm



**SYMBOL LEGEND**

- EXISTING PROPERTY LINE
- W — PROPOSED WATER LINE
- S — PROPOSED SAS LINE
- ○ — PROPOSED CLEANOUT
- X — PROPOSED GATE VALVE
- ○ — PROPOSED FDC
- Z — PROPOSED PIV
- ● — PROPOSED FIRE HYDRANT
- — — — — EXISTING WATER LINE
- — — — — EXISTING SAS LINE
- ● — EXISTING FIRE HYDRANT
- X — EXISTING GATE VALVE
- ○ — EXISTING SAS MH

**UTILITY GENERAL NOTES**

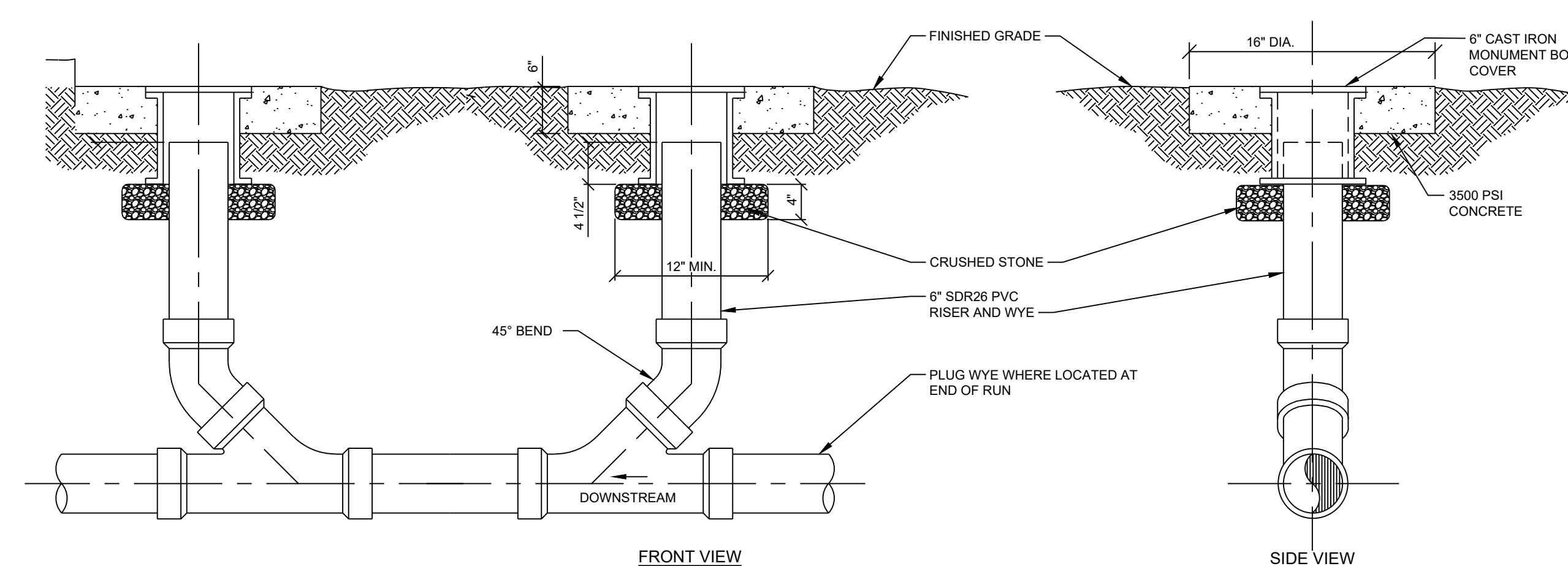
1. EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, DEPTHS, AND MATERIAL PRIOR TO CONSTRUCTION. RELOCATION OF EXISTING UTILITIES MAY BE REQUIRED FOR THE CONSTRUCTION OF PROPOSED IMPROVEMENTS. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS.
3. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO EXCAVATION WHERE NECESSARY.
4. ALL UTILITIES TO BE INSTALLED PER CITY OF ALBUQUERQUE STANDARDS AND SPECIFICATIONS.
5. ALL ON-SITE PRIVATE FIRE HYDRANTS TO BE PAINTED SAFETY ORANGE.
6. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT CROSSINGS.
7. DO NOT CONNECT ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER SERVICES TO THE SANITARY SEWER.
8. ADJUST ALL CASTINGS TO FINISH GRADES.
9. KEEP SITE LIGHTING CONDUITS OUTSIDE OF PAVEMENT IF POSSIBLE.
10. ELECTRIC, PHONE, GAS, AND IRRIGATION LINE BY OTHERS.

**SANITARY SEWER SERVICE NOTES**

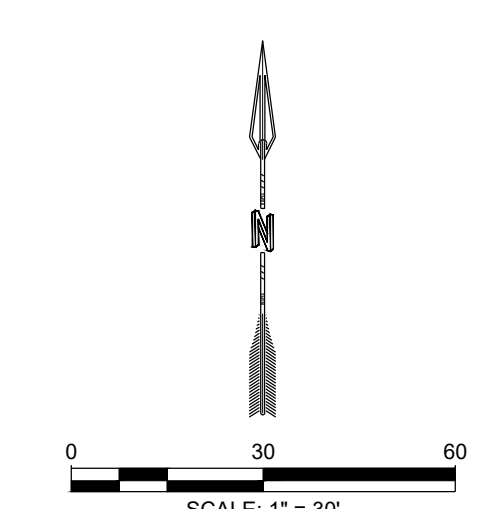
1. INSTALL CLEANOUTS AT ANY CHANGE IN DIRECTION OF PIPE.
2. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

**WATER SERVICE NOTES**

1. INSTALL WATER MAIN WITH A MINIMUM OF 3' FEET OF COVER.
2. PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL SEPARATION AND TEN (10) FEET OF HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND ALL SANITARY AND STORM SEWERS.
3. RPB FOR 6" FIRE LINE, IRRIGATION, AND DOMESTIC SERVICES TO BE INSTALLED INTERNAL TO THE BUILDING.



**1 SEWER CLEANOUT DETAIL**  
NO SCALE



<p>DESIGNED J.L. JIMS DRAWN J.L. JIMS CHECKED J.L. JIMS DATE 1.21.2021</p> <p>RESPEC 6971 Jefferson Street Suite 101 Albuquerque, NM 87113 Water and Natural Resources respec.com 505.253.9718</p> <p>RESPEC</p>	<p>REVISION</p>
<p>STAMP</p> <p><b>PRELIMINARY</b> NOT FOR CONSTRUCTION 1/2021</p> <p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p> <p><b>nm811</b> Know what's below. Call before you dig.</p>	
<p>PROJECT NAME: <b>ALLASO VINEYARDS APARTMENTS HOLLY &amp; VENTURA</b></p>	
<p>SHEET TITLE: <b>UTILITY PLAN</b></p>	
<p>SUBMITTED FOR:</p>	
<p>SHEET NUMBER: <b>C-103</b></p>	

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: January 26, 2021

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: 2020-004604  
DRB Application No.: \_\_\_\_\_

**LOT 19A BLOCK 9 NAA TRACT 3 UNIT 3**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOTS 17-19 BLOCK 9, NAA TRACT 3 UNIT 3 AND LOT 4 DESERT RIDGE UNIT 1**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	720 FT	6' SIDEWALK 4" PCC	SOUTH AND EAST ALONG FRONTAGE OF SITE	SW CORNER OF SITE	NE CORNER OF SITE	/	/	/
<input type="text"/>	<input type="text"/>	1	WHEELCHAIR ACCESS RAMP, 4" PCC	SE CORNER OF SITE @ INTERSECTION			/	/	/
<input type="text"/>	<input type="text"/>	40' WIDE	ACCESS DRIVE INCL 2 ACCESS RAMPS	HOLLY AVE	SW CORNER OF SITE	40' EAST	/	/	/
<input type="text"/>	<input type="text"/>	26' WIDE	ACCESS DRIVE INCL 2 ACCESS RAMPS	VENTURA ST	NE CORNER OF SITE	26' SOUTH	/	/	/
<input type="text"/>	<input type="text"/>	240 FT	SOUTHBOUND LANE (14' WIDTH PAVING) INCL PCC STD C&G	VENTURA ST EAST OF SITE	NE CORNER OF SITE	SE CORNER OF SITE	/	/	/
<input type="text"/>	<input type="text"/>	270 FT	6' CMU RETAINING WALL	SE CORNER OF SITE	40' SOUTH OF EAST DRIVEWAY	140' EAST OF SE INTERSECTION	/	/	/
<input type="text"/>	<input type="text"/>	580 FT	PCC STD C&G	HOLLY AVE	SW CORNER OF SITE	SE CORNER OF SITE	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.



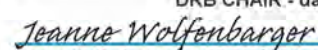
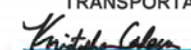
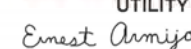

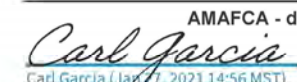
Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

<p><b>Jesus Lopez</b> NAME (print)</p> <hr/> <p><b>RESPEC</b> FIRM</p>  <p>1/26/2021 SIGNATURE - date</p>	<p> Feb 2, 2021 DRB CHAIR - date</p> <p> Jan 27, 2021 <small>Jeane Wolfenbarger (Jan 27, 2021 15:11 MST)</small> TRANSPORTATION DEVELOPMENT - date</p> <p> Feb 2, 2021 <small>Kristopher Cadena (Feb 2, 2021 08:47 MST)</small> UTILITY DEVELOPMENT - date</p> <p> Jan 27, 2021 CITY ENGINEER - date</p>	<p> Jan 28, 2021 <small>Cheryl Kumerfeldt (Jan 28, 2021 12:26 MST)</small> PARKS &amp; RECREATION - date</p> <p> Jan 27, 2021 <small>Carl Garcia (Jan 27, 2021 14:56 MST)</small> AMAFCA - date</p> <p>CODE ENFORCEMENT - date</p> <p>_____ - date</p>
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DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



PLANNING DEPARTMENT  
DEVELOPMENT SERVICES DIVISION  
600 2nd Street NW, Ground Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3946

## OFFICIAL NOTIFICATION OF DECISION

Titan Development  
6300 Riverside Plaza Ln. NW #200  
ABQ, NM 87120

**Project# PR-2020-004604**  
**Application#**  
**SI-2020-01467** SITE PLAN – DRB  
**SD-2021-00015** VACATION OF PUBLIC  
EASEMENT  
**SD-2021-00014** PRELIMINARY/FINAL PLAT

### LEGAL DESCRIPTION:

For all or a portion of: **LOTS 17, 18, 19, AND 20 BLK 9, NORTH ALBUQUERQUE ACRES TRACT 3, UNIT 3, and PARCEL 4 of DESERT RIDGE PLACE UNIT 1**, zoned MX-L located on **HOLLY AVE NE between VENTURA ST NE and DESERT SHADOW WAY**, containing approximately 3.5 acre(s). (C-20)

On January 27, 2021, the Development Review Board (DRB) held a public meeting concerning the above referenced applications and approved the requests, with delegation to Transportation, ABCWUA, and Planning, based on the following Findings:

### SI-2020-01467 SITE PLAN - DRB

1. This is a request to construct 111 multi-family residential dwelling units on 3.5 acres.
  1. Pursuant to 6-6(G)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:
    - a. 6-6(G)(3)(a) *The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

The parking, landscaping, open space, and building heights meet the IDO and site plan requirements: 160 parking spaces are provided where a total of

150 parking spaces are required; 114,535 square feet of landscaping is proposed where 30,746 square feet is required; 33,768 square feet of open space is proposed where 28,275 square feet is required; and the maximum proposed building height of 38 feet meets the 38-foot permitted maximum building height.

- b. 6-6(G)(3)(b) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*

The site has access to a full range of urban services including utilities, roads and emergency services. A Traffic Scoping Form was submitted, and Transportation determined that a Traffic Impact Study is not required.

- c. 6-6(G)(3)(c) *The Site Plan mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.*

The applicant will provide screening around the periphery of the proposed development, consisting of landscaping around the entirety of the proposed development, a 6-foot tall wall along the western and northern boundaries of the property, and a wrought iron perimeter view fence along the southern and eastern boundaries of the property.

2. This site includes an Infrastructure List.
3. The applicant provided the required notice as outlined in the IDO Table 6-1-1.
4. The proposed use is allowed within the MX-L zone district.

**Conditions:**

1. This Site Plan is valid 5 years from DRB approval (1/27/2021). An extension may be requested prior to the expiration date.
2. Final sign-off is delegated to Transportation for site distance triangles, Do-Not-Enter signs, queuing at the exit off of Ventura Street NE, and handicapped spacing and ramps to be called out on the Site Plan.
3. Final sign-off is delegated to Planning for labeling of on-site water line and fire hydrant easements as private, solid waste signature, and the recorded Infrastructure Improvements Agreement (IIA).
4. The applicant will obtain final sign-off from Transportation and Planning by April 27, 2021 or the case may be scheduled for the next DRB hearing and could be denied per the DRB Rules of Procedure.

**SD-2021-00015 VACATION OF PUBLIC EASEMENT**

1. The applicant proposes to vacate a 10-foot utility easement that was recorded on November 4, 2002.
2. The applicant justified the vacation request for the easement pursuant to 14-16-6-6-(M)(3) of the IDO. The easement in question was created in 2002 and has not been used in the last 19 years, and there is a net benefit to the public because the vacation of the affected easement is a step toward the successful development of the Site.

**SD-2021-00014 PRELIMINARY/FINAL PLAT**

1. This Preliminary/Final Plat consolidates the boundaries of four lots onto one lot comprising a total of 3.307 acres in size (after the dedication of 25,557 square feet along Holly Avenue NE), and features a easement vacation request.
2. The property is zoned MX-L. Future development must be consistent with the underlying zone district.
3. The applicant provided the required notice as outlined in the IDO Table 6-1-1.

**Conditions:**

1. Final sign-off is delegated to ABCWUA for the the pro-rata amount owed.
2. Final sign-off is delegated to Planning for utility/AMAFCA signatures, the application number added to the Plat (SD-2021-00014), and the AGIS DXF file.
3. The applicant will obtain final sign off from ABCWUA and Planning by March 27, 2021 or the case may be scheduled for the next DRB hearing and could be denied per the DRB Rules of Procedure.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **FEBRUARY 11, 2021**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to [PLNDRS@CABQ.GOV](mailto:PLNDRS@CABQ.GOV) (if files are less than 9MB in size). Files larger than 9MB can be sent to [PLNDRS@CABQ.GOV](mailto:PLNDRS@CABQ.GOV) using <https://wettransfer.com>. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

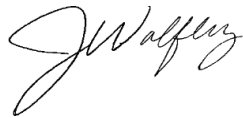
You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Official Notice of Decision

Project # PR-2020-004604 Applications# SI-2020-01467, SD-2021-00015, SD-2021-00014

Page 4 of 4

Sincerely,

A handwritten signature in black ink, appearing to read "J. Wolfley". The signature is fluid and cursive, with the first letter of each word being capitalized and prominent.

Jolene Wolfley  
DRB Chair

JW/jr

Consensus Planning, Inc., 302 8<sup>th</sup> Street NW, ABQ, NM 87102