

SITE KEYNOTES

(A)	INTEGRAL CURB. SEE DETAIL SHEET C8.0
(A1)	6" CURB & GUTTER. REFER TO CITY OF ALBUQUERQUE STANDARD DETAILS.
(B)	PROPOSED CANE'S MONUMENT SIGN LOCATION. REFER TO SIGNAGE PLAN FOR DETAILS.
(C)	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY.
(D)	SITE DIRECTIONAL SIGN. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN FOR TYPE.
(E)	DIRECTIONAL PAVEMENT MARKING. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
(F)	WHEEL STOPS. SEE DETAIL SHEET C8.0.
(G)	BARRIER FREE RAMP. SEE CONSTRUCTION DETAILS C8.0.
(E1)	BARRIER FREE RAMP PER CITY OF ALBUQUERQUE STANDARD DWG 2443 & 2446.
(E2)	SIDEWALK RAMP AND DETECTABLE WARNING SYSTEM PER CITY OF ALBUQUERQUE STANDARD DWG 2443 (DETAIL A)
(H)	HANDRAIL. REFER TO ARCHITECTURAL DETAILS.
(L)	CONCRETE SIDEWALK. SEE DETAIL SHEET C8.0.
(J)	LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS.
(K)	SITE LIGHTING. REFER TO LIGHTING PLANS FOR DETAILS.
(L)	ACCESSIBLE PARKING SIGN REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
(M)	VAN ACCESSIBLE PARKING SIGN REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
(N)	PROPOSED CANOPY. REFER TO ARCHITECTURAL SITE DETAILS.
(O)	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
(P)	PROPOSED DRIVE-THRU SIGN. REF. BRANDBOOK.
(Q)	TRASH PAD. REFER TO ARCHITECTURAL SITE DETAILS.
(R)	PAVEMENT STRIPING. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
(R1)	PROPOSED STRIPED AREA FOR TRASH AND DELIVERY TRUCKS. 4" SOLID WHITE STRIPING AT 45 DEGREES AT 2' ON CENTER.
(S)	PROPOSED BOLLARD. REFER TO ARCHITECTURE PLANS FOR DETAILS.
(T)	BUSINESS NAME TILES. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
(U)	NOT USED.
(V1)	LIGHT DUTY ASPHALT PAVEMENT. SEE SHEET C8.0 - CONSTRUCTION DETAILS.
(V2)	MEDIUM DUTY ASPHALT PAVEMENT. SEE SHEET C8.0 - CONSTRUCTION DETAILS.
(V3)	MEDIUM DUTY CONCRETE PAVEMENT. PAVEMENT SHALL BE INTEGRALLY COLORED WITH #860 GRAPHITE (IRON OXIDE) OR EQUAL. REFERENCE PAVEMENT DETAILS.
(V4)	HEAVY DUTY CONCRETE PAVEMENT. PAVEMENT SHALL BE INTEGRALLY COLORED WITH #860 GRAPHITE (IRON OXIDE) OR EQUAL. REFERENCE PAVEMENT DETAILS.
(W)	BICYCLE RACKS PARKING RACK. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
(X)	GREASE TRAP WITH TRAFFIC RATED LIDS. REFER TO ARCHITECTURAL/MEP PLANS FOR DETAILS.
(Y)	SAWCUT LINE.
(Z)	INSTALL CONCRETE PAVERS AT MENU BOARDS UNDER CANOPY. REFER TO LANDSCAPE PLANS FOR DETAILS.
(AA)	18" WIDE, 6" THICK CONCRETE ADJACENT TO PARKING STALL.

LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT
	SETBACK LINE
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	PROPOSED CONCRETE CURB
	EXISTING CURB
	PROPOSED PARKING COUNT
	LIGHT DUTY ASPHALT PAVEMENT. REFERENCE PAVEMENT DETAILS.
	MEDIUM DUTY ASPHALT PAVEMENT. REFERENCE PAVEMENT DETAILS.
	MEDIUM DUTY CONCRETE PAVEMENT. PAVEMENT SHALL BE INTEGRALLY COLORED WITH #860 GRAPHITE (IRON OXIDE) OR EQUAL. REFERENCE PAVEMENT DETAILS.
	HEAVY DUTY CONCRETE PAVEMENT. PAVEMENT SHALL BE INTEGRALLY COLORED WITH #860 GRAPHITE (IRON OXIDE) OR EQUAL. REFERENCE PAVEMENT DETAILS.
	PROPOSED CONCRETE SIDEWALK
	PROPOSED LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS FOR DETAILS.
	PROPOSED PATIO PAVEMENT. REFERENCE ARCHITECTURAL PLANS FOR DETAILS.
	PROP. ROW PAVEMENT PER CITY OF ALBUQUERQUE REQUIREMENTS.
	PAVERS. REFERENCE LANDSCAPE PLANS FOR DETAILS.
	ACCESSIBLE ROUTE LOCATION (PURPOSES ONLY, DO NOT PAINT)

- ### SITE NOTES
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
 - REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
 - EXISTING STRUCTURES AND OR UTILITIES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED AUGUST 2022.
 - ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY STANDARDS.
 - PER FEMA MAP NUMBER 35001 C0342G DATED SEPTEMBER 28, 2008, THIS SITE IS NOT WITHIN A FLOODPLAIN.
 - BUILDING IS NOT FIRE SPRINKLED.
 - CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - ALL BROKEN OR CRACKED SIDEWALK ADJACENT TO THE PROPERTY LIMITS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAILS.

- ### DIMENSION NOTES
- ALL CURB RADII ARE TO BE 10' OR 2' UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURBS SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
 - REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.

- ### BENCHMARKS
- BM 1 - A.G.R.S. MONUMENT "24.116" STANDARD C.O.A. METALLIC DISC
NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N = 1,476,869.02 AND E = 1,529,133.22
ELEV. = 5191.306
- CP 1 - SET CP - NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"
N = 1,476,878.77 AND E = 1,525,820.52
ELEV. = 5073.26

PARKING / SITE DATA

TRACT 3 UNM GIBSON COMMERCIAL DISTRICT	
EXISTING ZONING	MODERATE INTENSITY (MX-M)
PROPOSED USE	RESTAURANT W/ DRIVE-THRU
LOT AREA	56,465 SF / 1.30 AC
BUILDING AREA	2,818 SF
FINISHED FLOOR ELEVATION	5067 FT
PAVEMENT AREA	33,619 SF
TOTAL PARKING	28 SPACES / 30 SPACES
ACCESSIBLE	2 SPACES / 2 SPACES
MOTORCYCLE	2 SPACES / 2 SPACES
BICYCLE	3 SPACES / 3 SPACES
DRIVE-THRU STACKING	12 SPACES / 34 SPACES
BUILDING HEIGHT	48' MAX / 23.5'
LOT COVERAGE	90% MAX / 5.0%
OPEN SPACE	10% MIN / 36.3%
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 8 SPACES PER 1,000 SQUARE FEET OF BUILDING AREA AND 3 SPACES PER 1,000 SQUARE FEET OF OUTDOOR SEATING AREA	

PROJECT NUMBER: PR-2020-004622

Application Number: SI-2023-00592

Is an Infrastructure List required? (X) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Ernest Arriaga	July 5, 2023
Traffic Engineering, Transportation Division	Date
ABCWUA	July 24, 2023
Whitney Babin	Date
Parks and Recreation Department	July 30, 2023
Hydrology	Date
Code Enforcement	July 3, 2023
Environmental Health Department (conditional)	Date
Solid Waste Management	July 30, 2023
Planning Department	Date
	July 5, 2023
	Date



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972-765-3100 Fax: 972-769-3101

Store:
Gibson & Alumni
Albuquerque, NM
Restaurant #RC972
P6-V-AV

PM DESIGN
Architectural Solutions Group

1101 CENTRAL EXPRESSWAY S
SUITE 100
ALLEN, TX 75013
CONTACT: JOHN MELNDEZ
PHONE: 469.301.2026
EMAIL: JMELNDEZ@PMDC.COM

KEN MCCracken, ARCHITECT



Prototype:	P6-V-AV 2022-1.0 RELEASE
Prototype Issue Date:	09.22.2022
Kitchen Issue Date:	--
Design Bulletin Updates:	--
Date Issued:	Bulletin Number:
	--

PERMIT SET

REVISIONS:

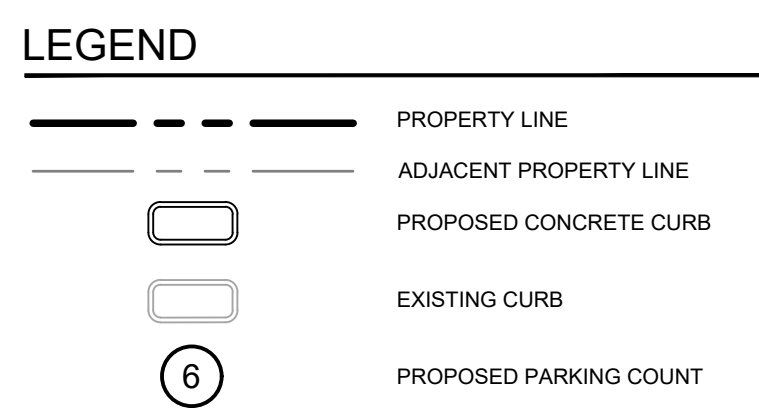
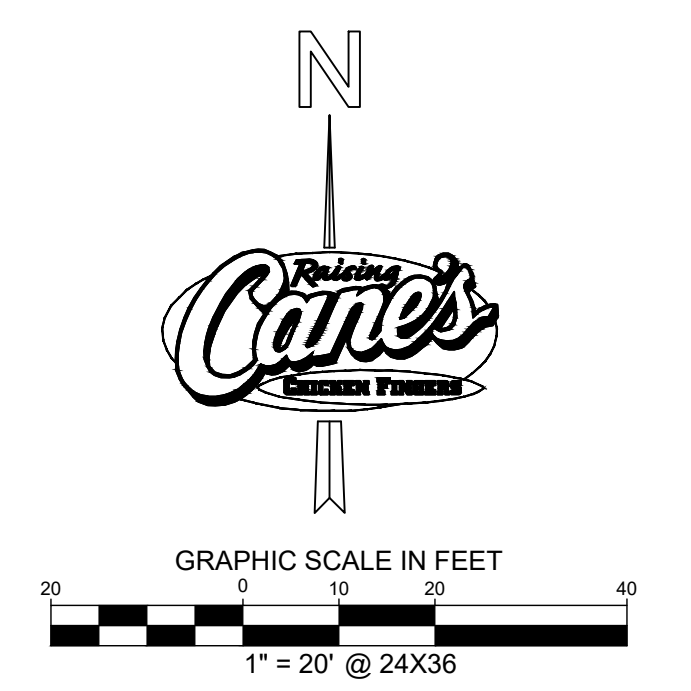
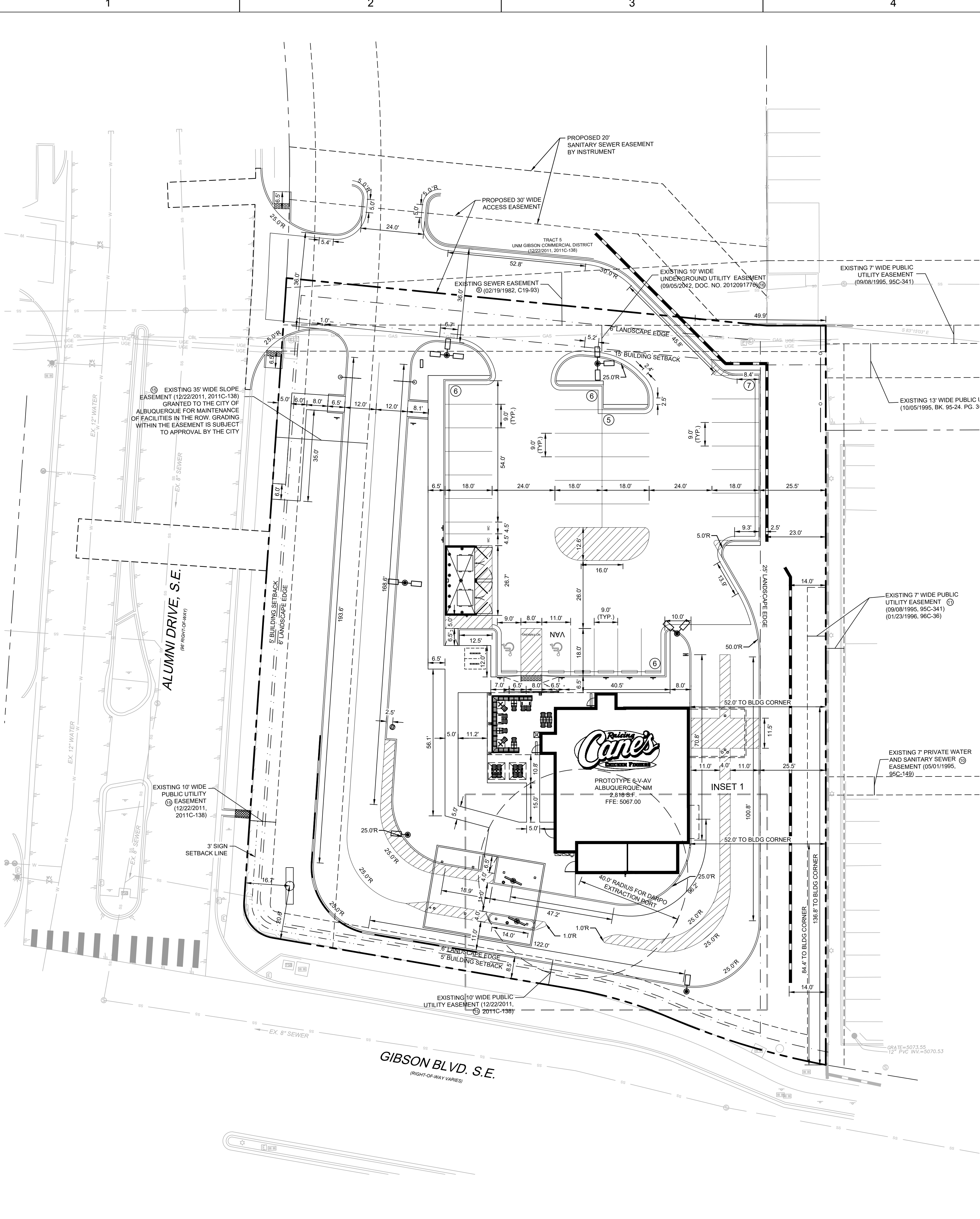
09/12/2022	SOLID WASTE REVIEW
11/30/2022	UNM SUBMITTAL
04/07/2023	FOR PERMIT

SITE KEYNOTE PLAN

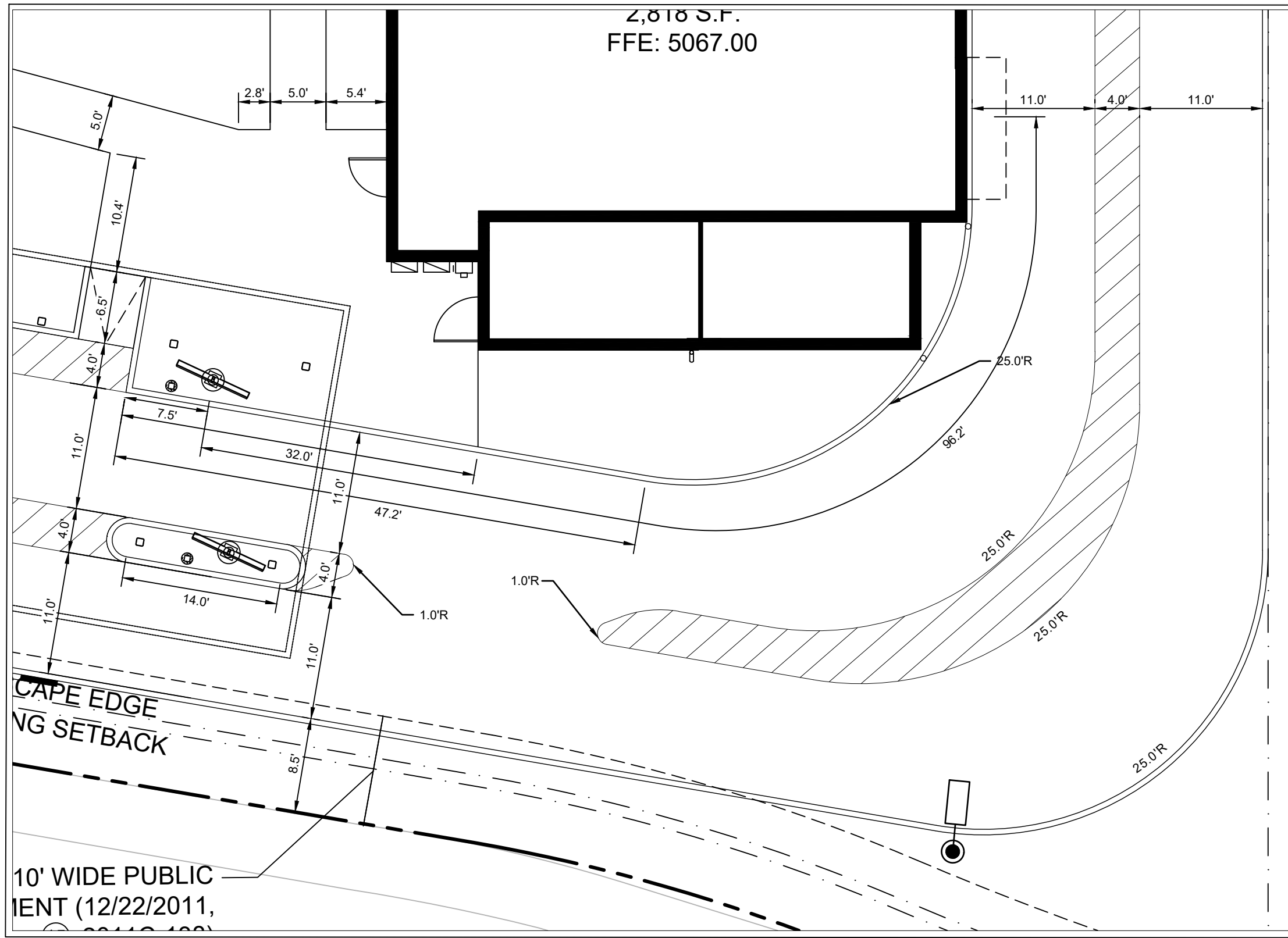
Date: 5/12/2023
Project Number: KH # 069313462
Drawn By: JCG/LHD
Sheet Number:

C5.0

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 - REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.

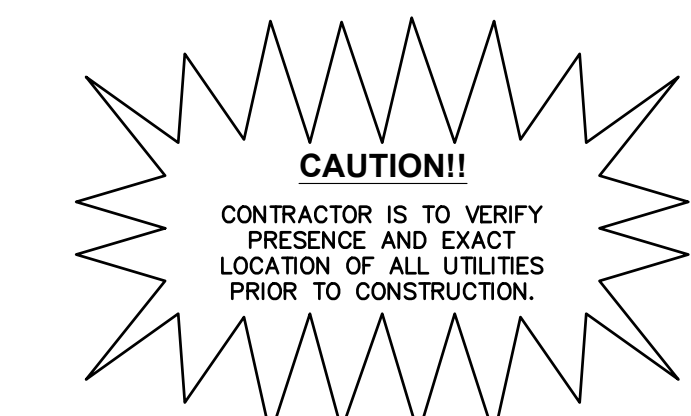


INSET 1
SCALE: 1"=10'
REFERENCE ARCHITECTURAL PLANS FOR DETAILS AND EXACT LOCATION OF MENU BOARD, HEIGHT DETECTOR AND PRE-ORDER BOARD.

BENCHMARKS

BM 1 - A.G.R.S. MONUMENT "24 L16" STANDARD C.O.A. METALLIC DISC
NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N = 1,476,869.02 AND E = 1,529,133.22
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CP 1 - SET CP - NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"
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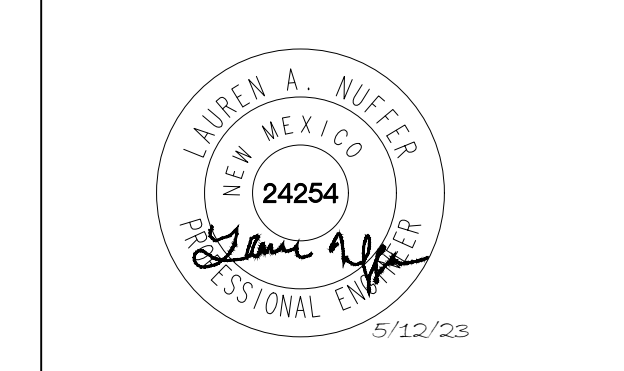


Store:
Gibson & Alumni
Albuquerque, NM
Restaurant #RC972
P6-V-AV

PM DESIGN
Architectural
Solutions Group

1101 CENTRAL EXPRESSWAY S
SUITE 100
ALLEN, TX 75013
CONTACT: JOHN MELENDEZ
PHONE: 469.301.2026
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KEN MCCrackEN, ARCHITECT



Prototype :	P6-V-AV 2022-1.0 RELEASE
Prototype Issue Date:	09.22.2022
Kitchen Issue Date:	--
Design Bulletin Updates:	--
Date Issued:	Bulletin Number: --

PERMIT SET

REVISIONS:

09/12/2022	SOLID WASTE REVIEW
11/30/2022	UNMA SUBMITTAL
04/07/2023	FOR PERMIT

Sheet Title:
DIMENSION CONTROL PLAN

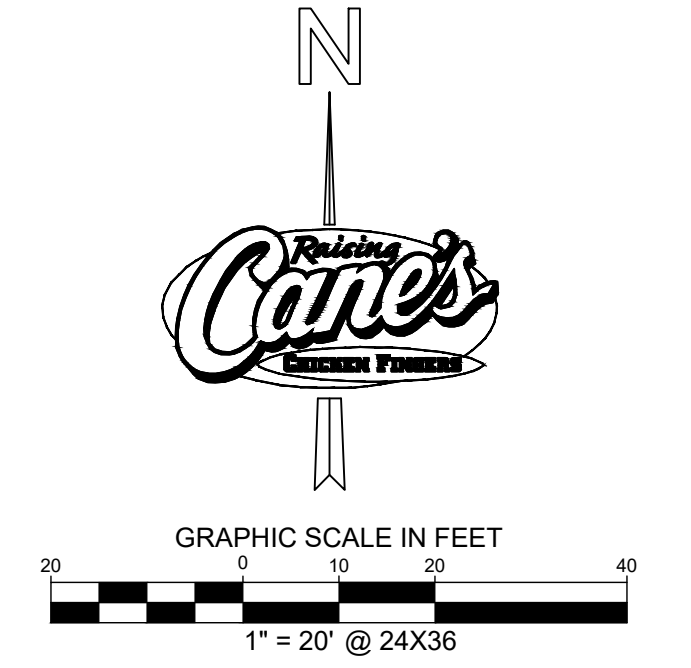
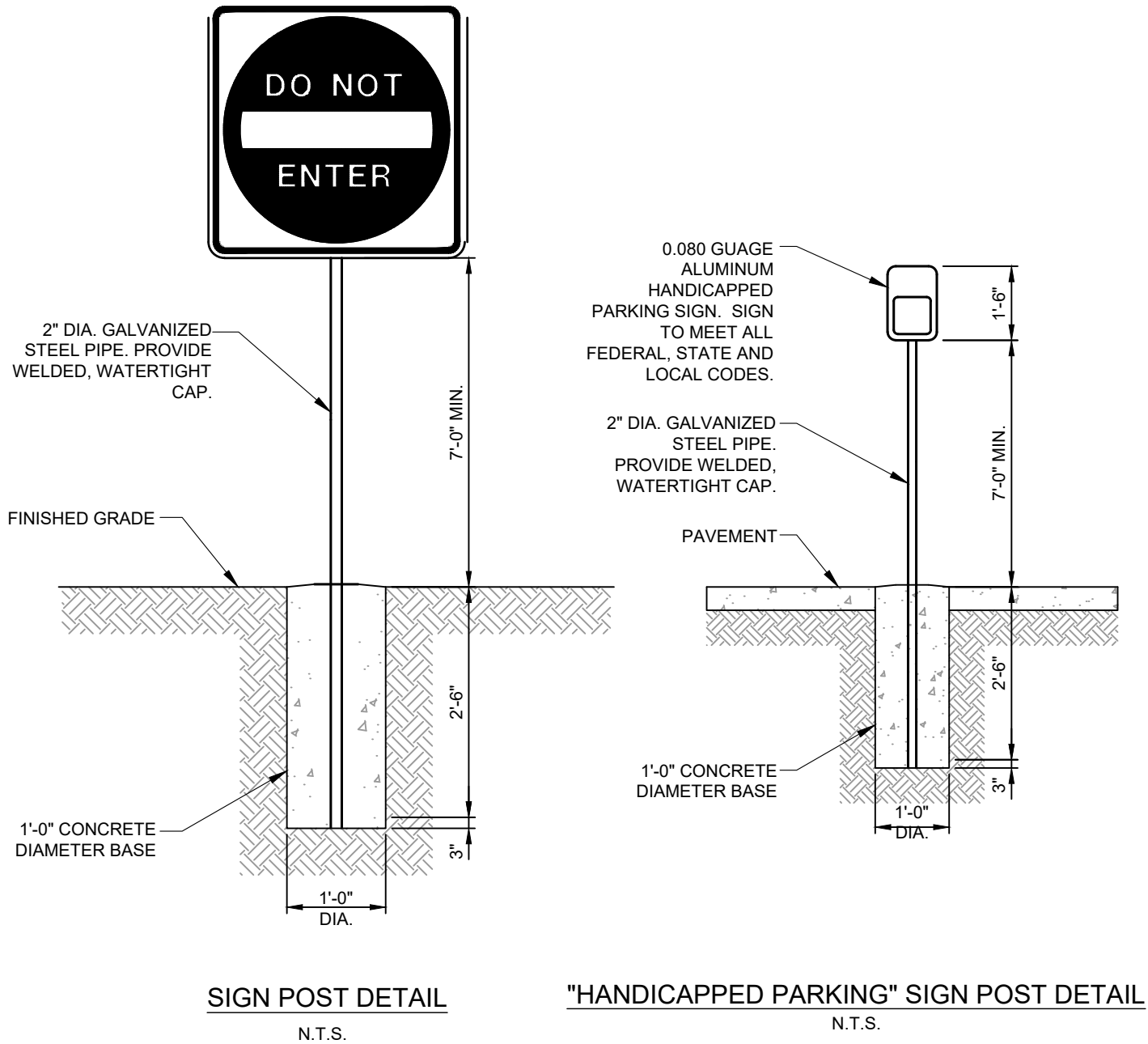
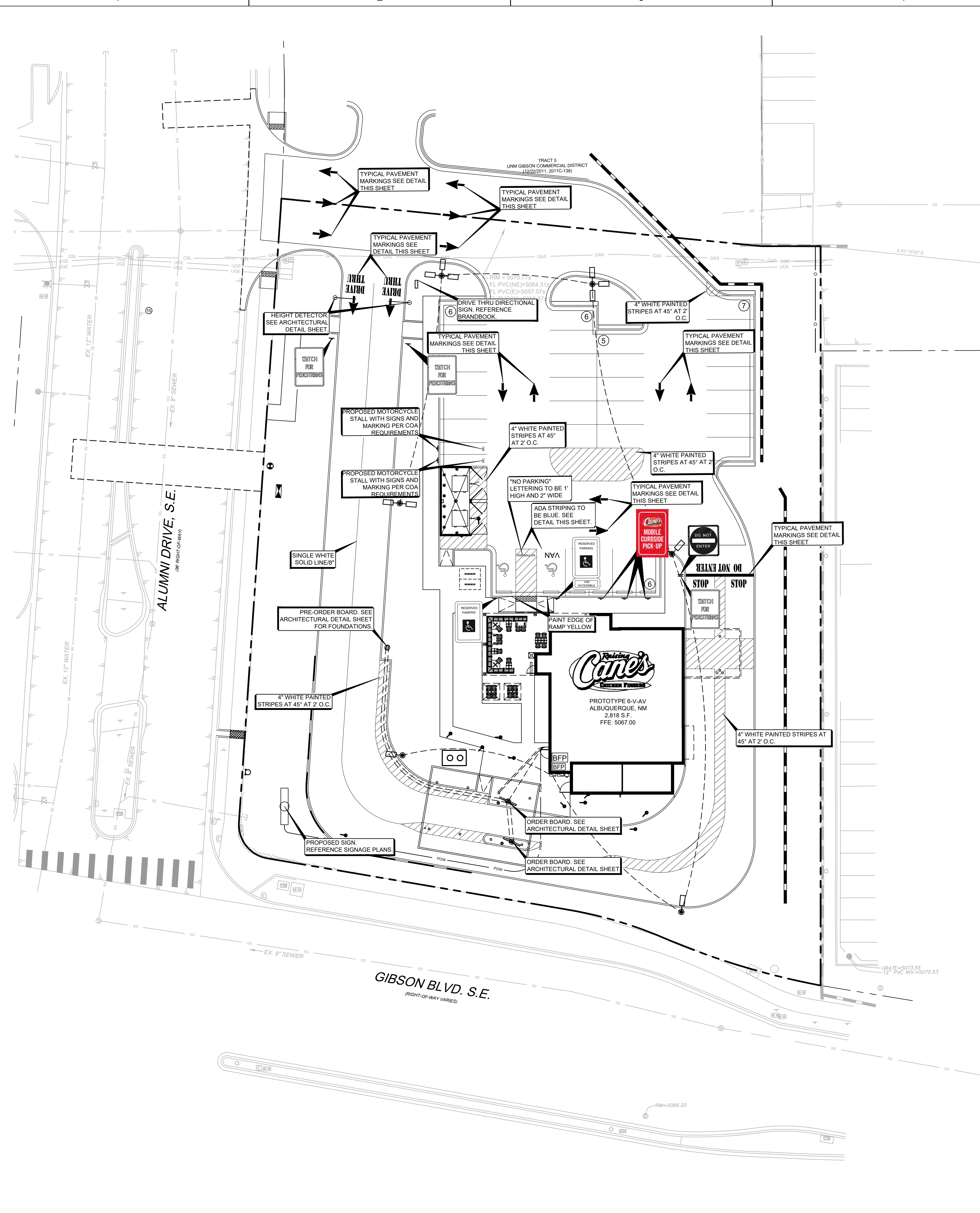
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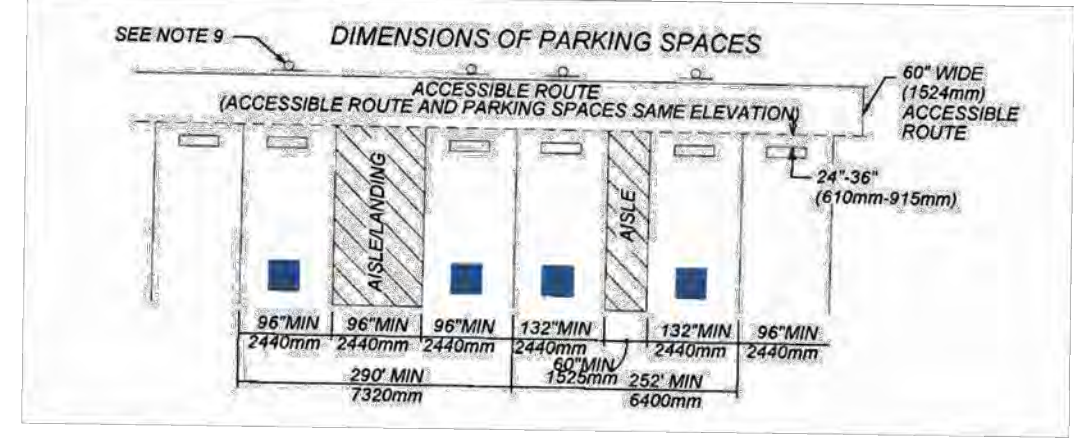
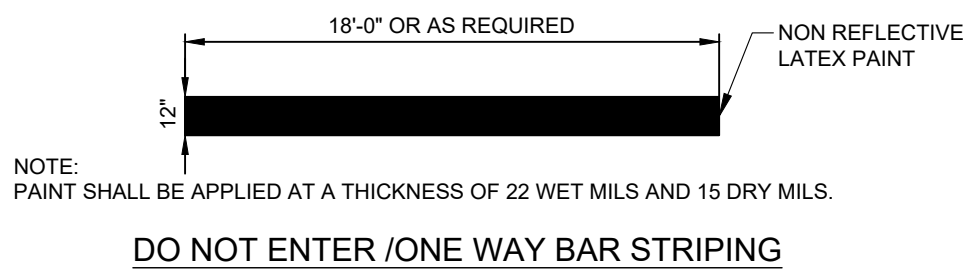
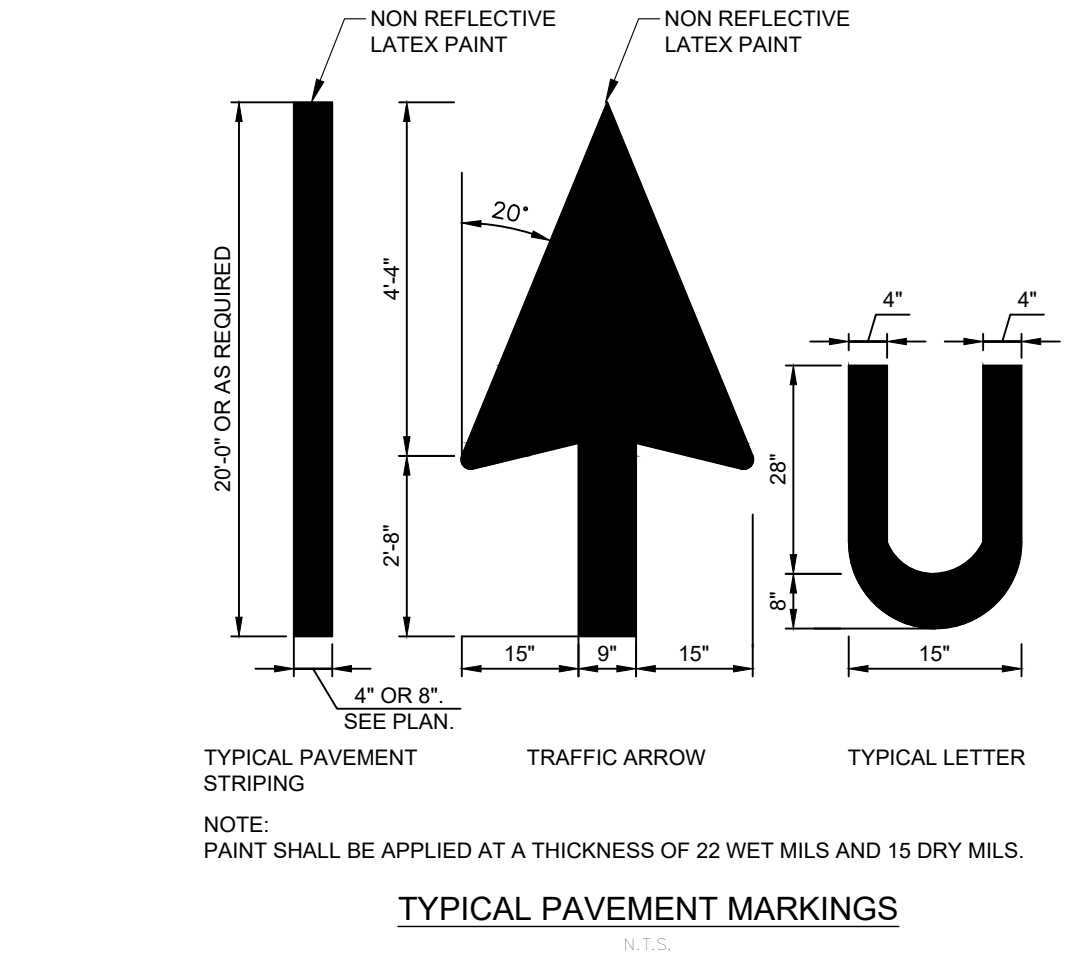
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NOTE:

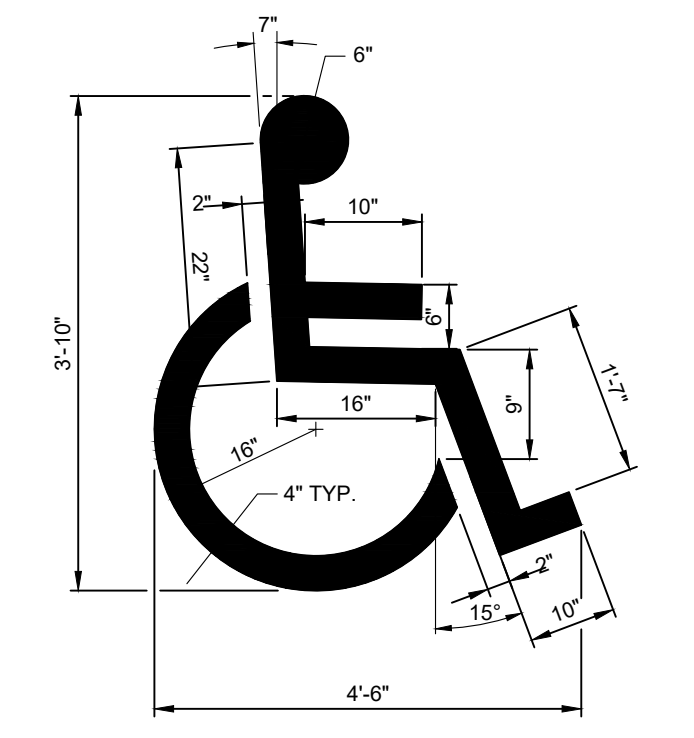
- PAVEMENT MARKING SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE OR AS NOTED ON PLAN



NOTE:

- PARKING SPACE AND ACCESS AISLES SHALL HAVE OSHA SAFETY BLUE STRIPING. STRIPING SHALL BE 4" WIDE. ACCESS AISLES STRIPING SHALL BE 30" ON CENTER ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTER OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE PLACED AT THE REAR OF THE PARKING SPACES SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLES REAR TIRES WOULD BE PLACED.

ACCESSIBLE PARKING DETAIL
N.T.S.

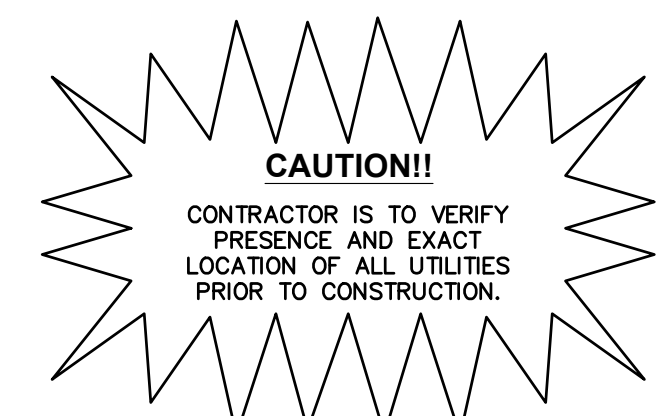


NOTE:

- ALL TRAFFIC MARKINGS TO BE LATEX AS PER DIMENSIONS SHOWN.



STANDARD RED AND WHITE LATEX SIGN RS-1 30"x30"
STANDARD PARKING LOT SIGNS
N.T.S.

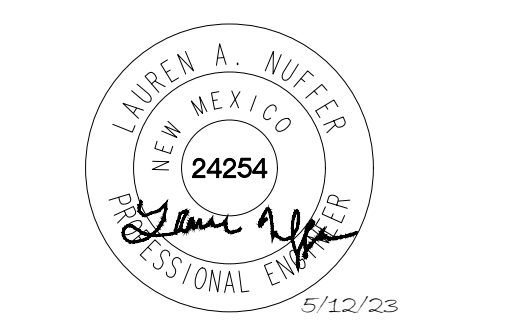


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KEN MCCrackEN, ARCHITECT



Prototype : P6-V-AV 2022-1.0 RELEASE
Prototype Issue Date: 09.22.2022
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Design Bulletin Updates: --
Date Issued: Bulletin Number: --

PERMIT SET

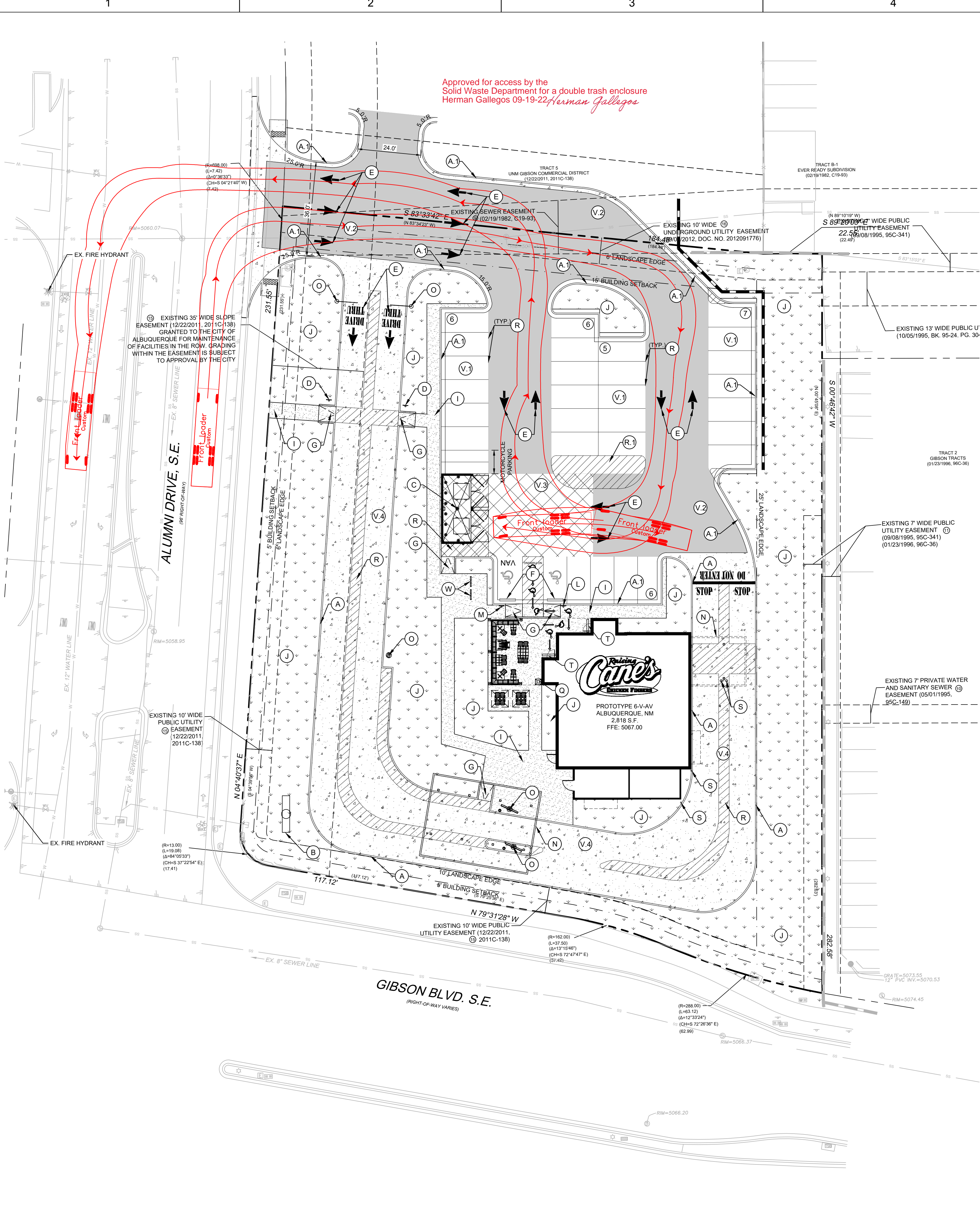
REVISIONS:

09/12/2022	SOLID WASTE REVIEW
11/30/2022	UNM SUBMITTAL
04/07/2023	FOR PERMIT

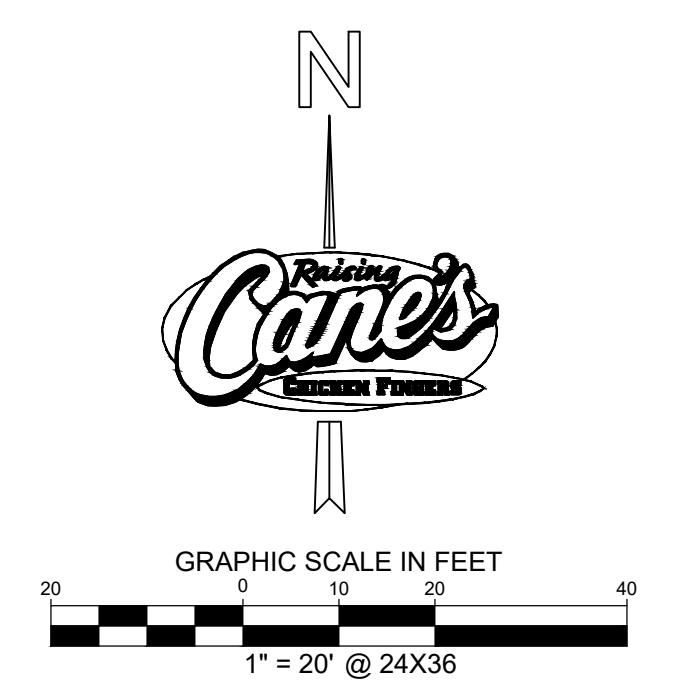
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STRIPING AND SIGNAGE PLAN
Date: 5/12/2023
Project Number: KH #069313462
Drawn By: JCG/LHD
Sheet Number:

C5.2

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Approved for access by the
Solid Waste Department for a double trash enclosure
Herman Gallegos 09-19-22/Herman Gallegos



SITE KEYNOTES	
A	INTEGRAL CURB. SEE DETAIL SHEET C8.0
A.1	6" CURB & GUTTER. REFER TO ALBUQUERQUE CITY DETAILS.
B	PROPOSED CANE'S MONUMENT SIGN LOCATION. REFER TO SIGNAGE PLAN FOR DETAILS.
C	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY
D	SITE DIRECTIONAL SIGN. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN FOR TYPE.
E	DIRECTIONAL PAVEMENT MARKING. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
F	WHEEL STOPS. SEE DETAIL SHEET C8.0.
G	BARRIER FREE RAMP. SEE CONSTRUCTION DETAILS C8.0.
H	NOT USED.
I	CONCRETE SIDEWALK. SEE DETAIL SHEET C8.0.
J	LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS.
K	NOT USED.
L	ACCESSIBLE STRIPING SIGN REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
M	VAN ACCESSIBLE PARKING SIGN REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
N	PROPOSED CANOPY. REFER TO ARCHITECTURAL SITE DETAILS.
O	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
P	NOT USED.
Q	TRASH PAD. REFER TO ARCHITECTURAL SITE DETAILS.
R	PAVEMENT STRIPING. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
R.1	PROPOSED STRIPED AREA FOR TRASH AND DELIVERY TRUCKS. 4" SOLID WHITE STRIPING AT 45 DEGREES AT 2' ON CENTER.
S	PROPOSED BOLLARD. REFER TO ARCHITECTURE PLANS FOR DETAILS.
T	BUSINESS NAME TILES. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
U	NOT USED.
V.1	LIGHT DUTY ASPHALT PAVT. SEE SHEET C8.0 - CONSTRUCTION DETAILS.
V.2	MEDIUM DUTY ASPHALT PAVT. SEE SHEET C8.0 - CONSTRUCTION DETAILS.
V.3	HEAVY DUTY CONCRETE PAVT. SEE SHEET C8.0 - CONSTRUCTION DETAILS.
V.4	INTEGRAL COLORED 860 GRAPHITE (IRON OXIDE) STANDARD DUTY CONCRETE PAVEMENT.
W	BICYCLE RACKS PARKING RACK. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROPOSED CONCRETE CURB
	EXISTING CURB
	PROPOSED PARKING COUNT
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	PROPOSED SIDEWALK PAVEMENT. SEE CONSTRUCTION DETAILS.
	PROPOSED LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS FOR PLANTING DETAILS.
	ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)

PARKING / SITE DATA		
TRACT 3 UNM GIBSON COMMERCIAL DISTRICT		
EXISTING ZONING	MODERATE INTENSITY (MX-M)	
PROPOSED USE	RESTAURANT W/ DRIVE-THRU	
LOT AREA	56,465 SF / 1.29 AC	
BUILDING AREA	2,818 SF	
FINISHED FLOOR ELEVATION	5067 FT	
PAVEMENT AREA	35,398 SF	
	REQUIRED	PROVIDED
TOTAL PARKING	28 SPACES	30 SPACES
ACCESSIBLE	2 SPACES	2 SPACES
MOTORCYCLE	2 SPACES	2 SPACES
BICYCLE	3 SPACES	3 SPACES
DRIVE-THRU STACKING	12 SPACES	42 SPACES
BUILDING HEIGHT	48' MAX	23.5'
LOT COVERAGE	90% MAX	5.0%
OPEN SPACE	10% MIN	35.2%
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT IS 1 SPACE PER 3 PERSONS NORMALLY ACCOMMODATED		

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
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 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC. DATED AUGUST 2022.
 - ALL PROPOSED PAVING IN CITY R.O.W. AND EASEMENTS TO CONFORM TO CITY STANDARDS.
 - PER FEMA MAP NUMBER 35001C0342G DATED SEPTEMBER 26, 2008, THIS SITE IS NOT WITHIN A FLOODPLAIN.
 - BUILDING IS NOT FIRE SPRINKLED.
 - CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT IS NOT TO BE HELD LIABLE FOR ANY DAMAGE TO THE ASPHALT PAVEMENT.

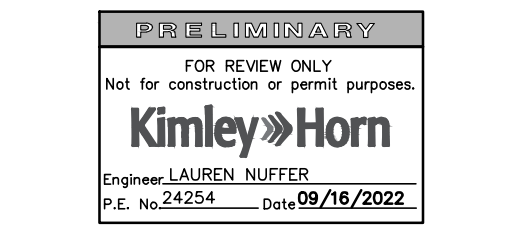
BENCHMARKS

BM 1 - A.G.R.S. MONUMENT 74 L16" STANDARD C.O.A. METALLIC DISC
NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1,476,869.02 AND E=1,529,133.22
ELEV. = 5191.306



Store:
**NEC OF GIBSON BLVD
AND ALUMNI DR
ALBUQUERQUE
NM, 87106**

Professional of Record: NAME
**PM
DESIGN**
Architectural
Solutions Group
1101 Central Expressway South
Suite 100
Allen, TX 75013
CONTACT: EVERETT FIELDS
(469) 619-1164
EFIELDS@PMDGNC.COM



Prototype : P6-V-AV
Prototype Issue Date: --
Design Bulletin Updates: --
Date Issued: -- Bulletin Number: --

80% REVIEW SET

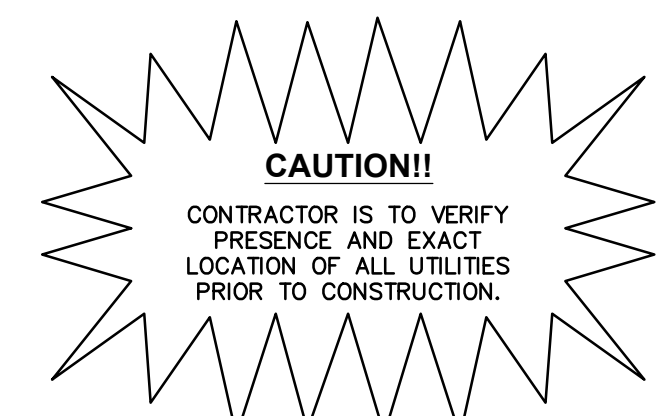
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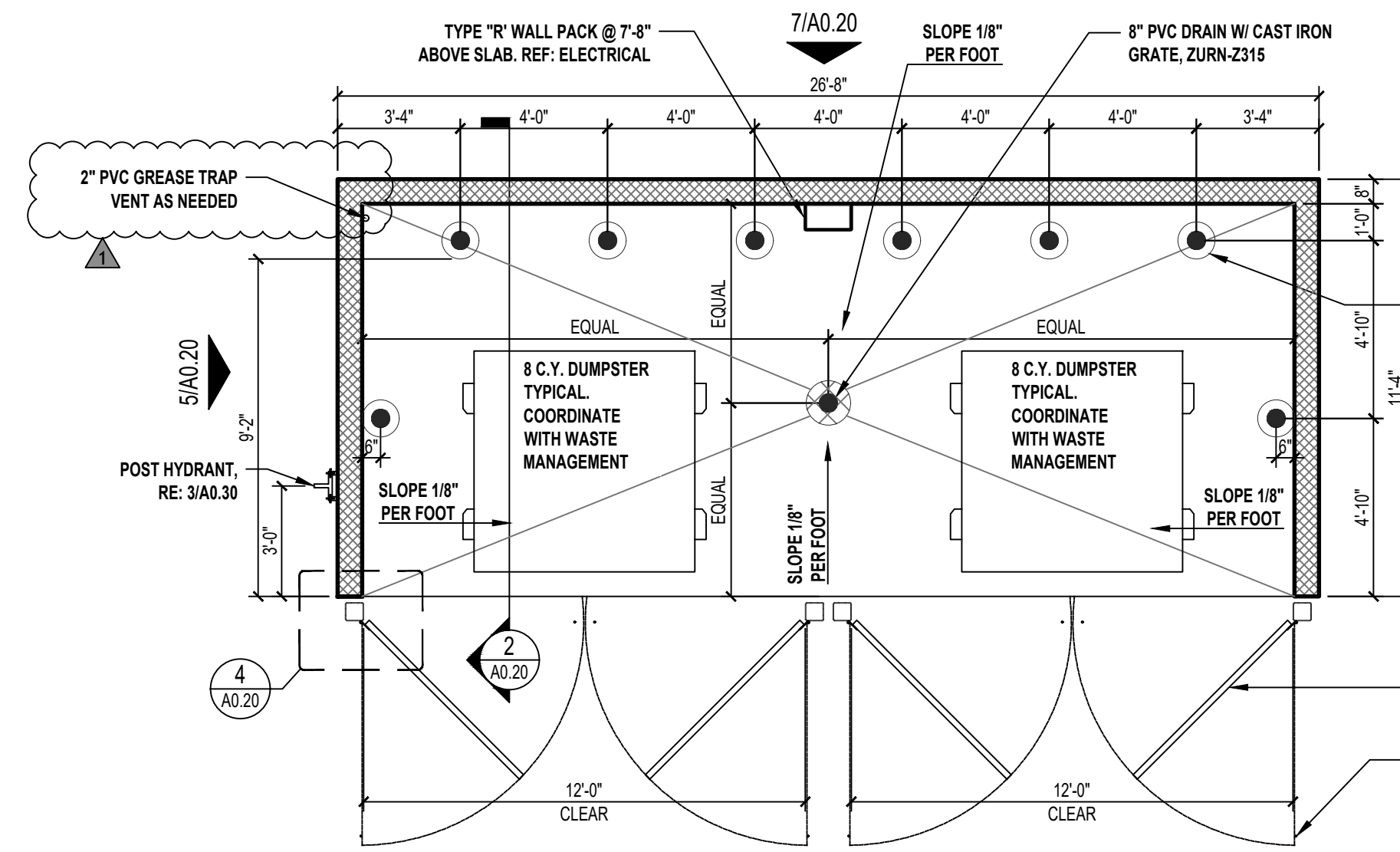
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Sheet Title:
**SOLID WASTE
PLAN**
Date: 09/16/2022
Project Number: 069313462
Drawn By: LHD

Sheet Number:

C5.4





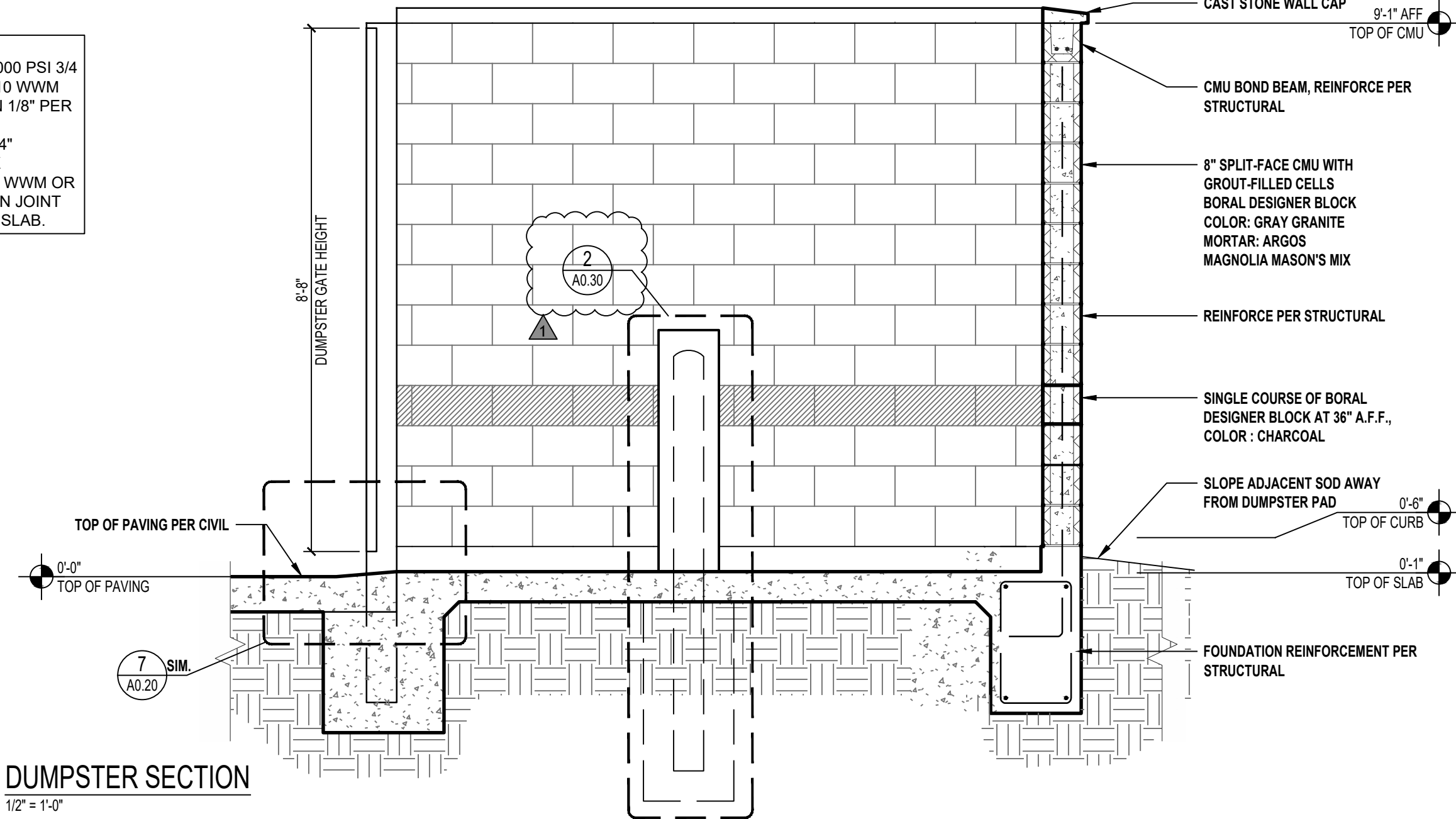
1 | STANDARD DUMPSTER PLAN
1/4" = 1'-0"

PROVIDE TRAP PRIMER AND VENT TO DUMPSTER DRAIN. MOUNT 2" PVC VENT LINE TO INSIDE OF DUMPSTER ENCLOSURE.

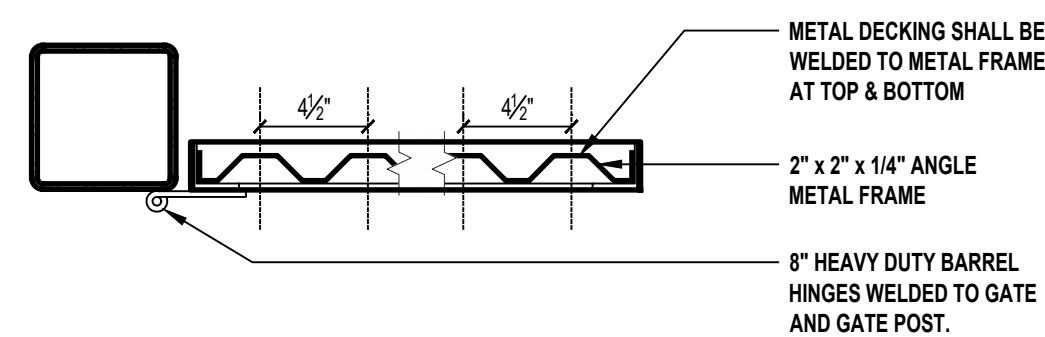
CONCRETE SLAB MINIMUM REQUIREMENTS 6" THICK 4000 PSI 3/4 AGGREGATE WITH 6X6-10/10 WWM OR EQUAL. SLOPE TO DRAIN 1/8" PER FOOT. APRON MINIMUM REQUIREMENTS 4000 PSI 3/4" AGGREGATE WITH 6" THICK CONCRETE WITH 6X6-10/10 WWM OR EQUAL WITH 1/2" EXPANSION JOINT BETWEEN THE APRON AND SLAB.

BOLLARD ENCASED IN 12" DIA. CONCRETE RE: 2/A0.30

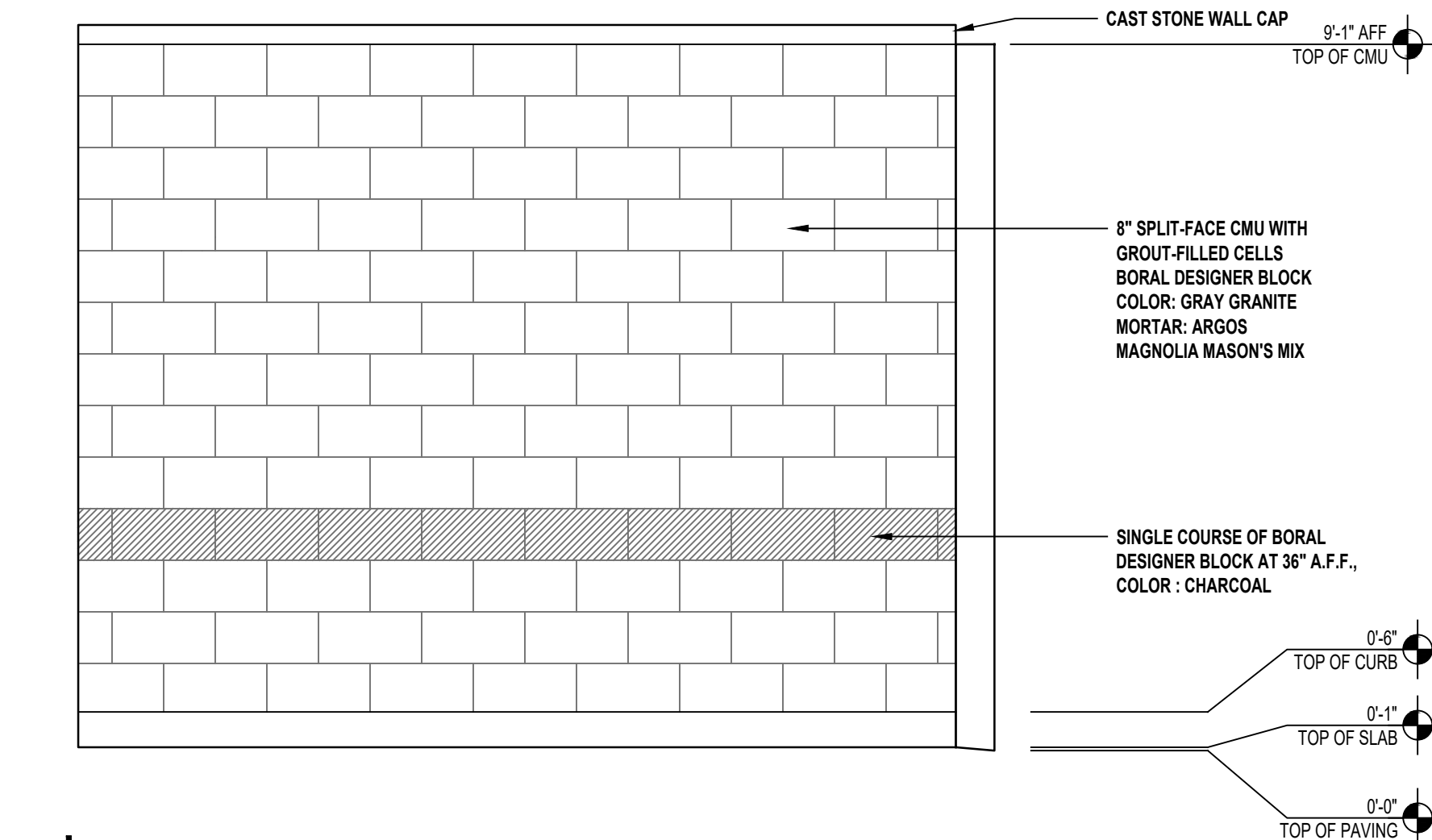
2 | DUMPSTER SECTION
1/2" = 1'-0"



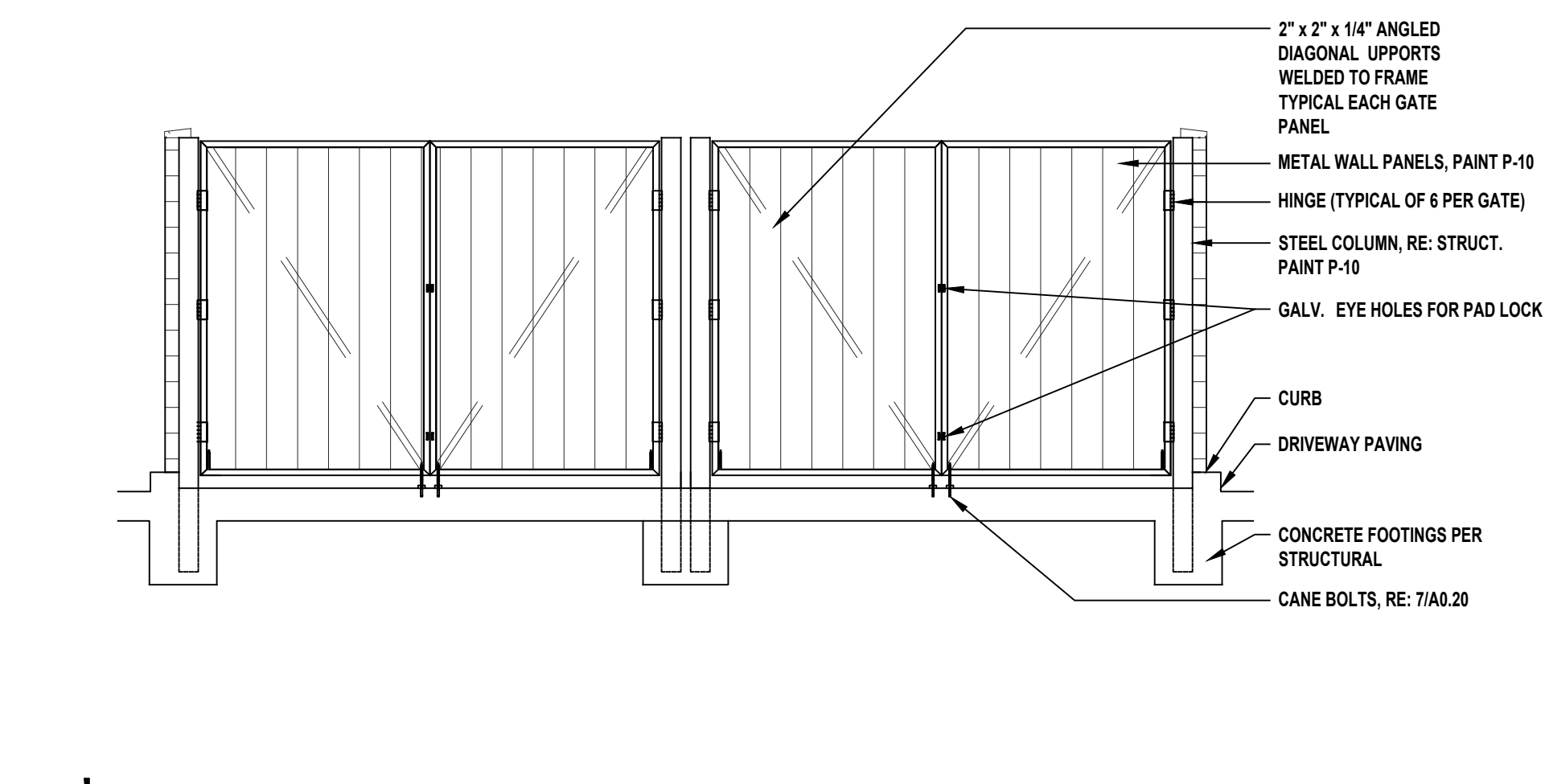
3 | NOT USED



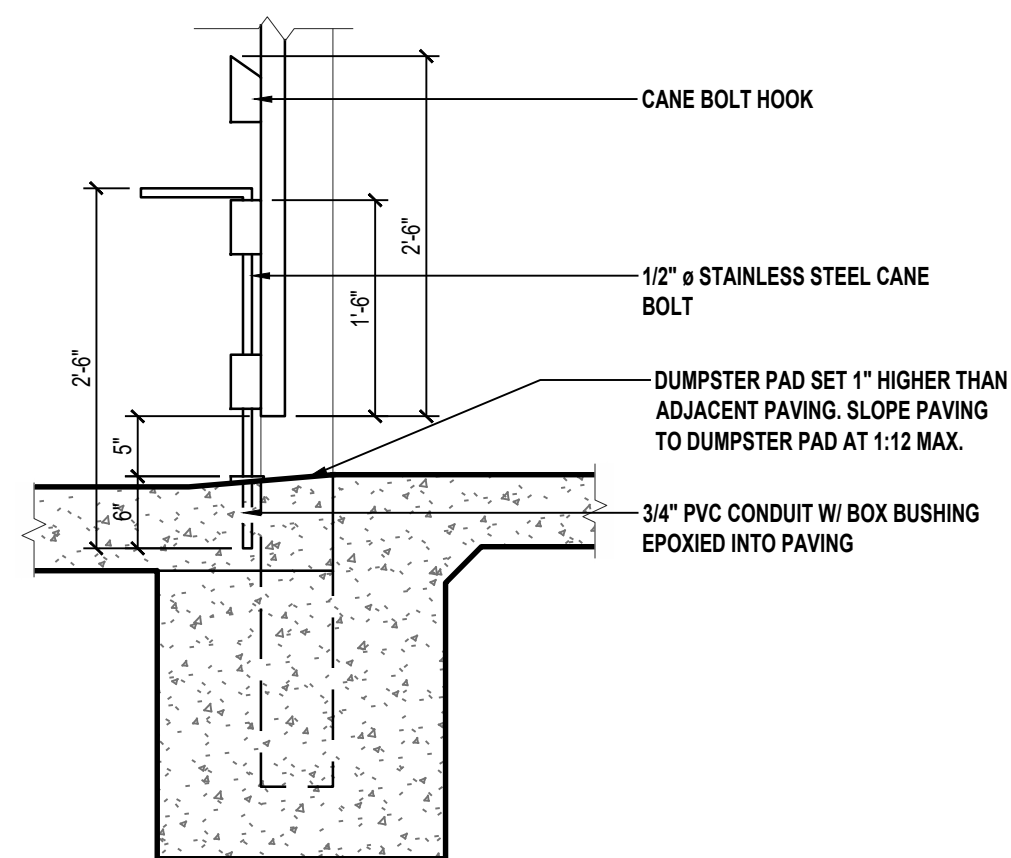
4 | DUMPSTER GATE DETAIL
1/12" = 1'-0"



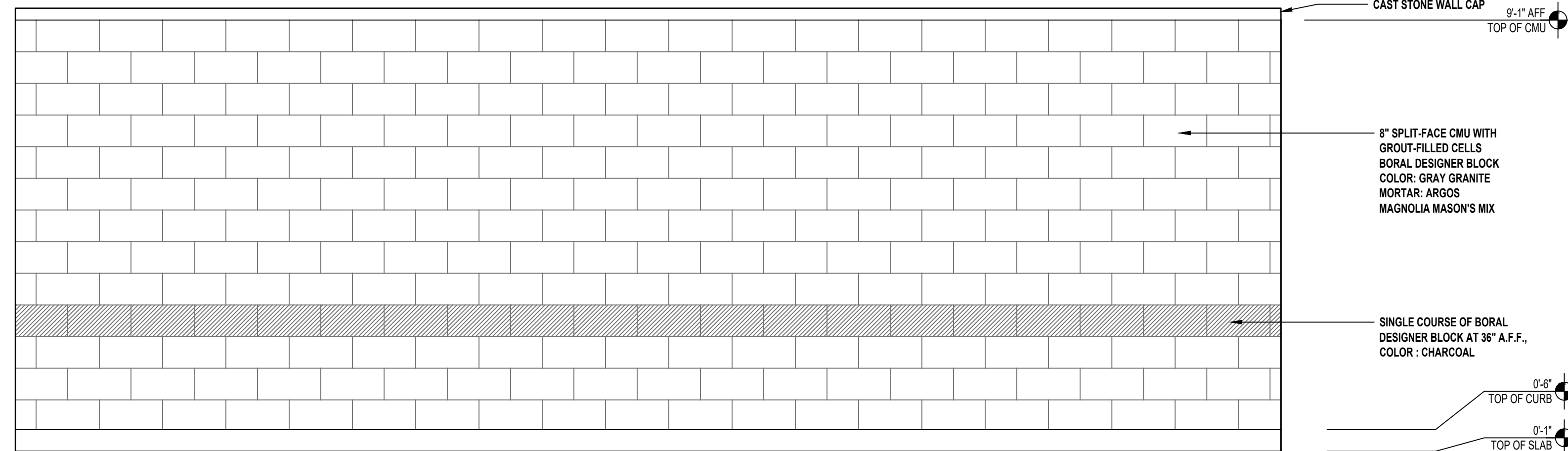
5 | DUMPSTER SIDE ELEVATION
1/2" = 1'-0"



6 | DUMPSTER GATE ELEVATION
1/4" = 1'-0"



7 | DUMPSTER GATE THRESHOLD DETAIL
3/4" = 1'-0"



8 | DUMPSTER SIDE ELEVATION
1/2" = 1'-0"



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972-765-3100 Fax: 972-769-3101

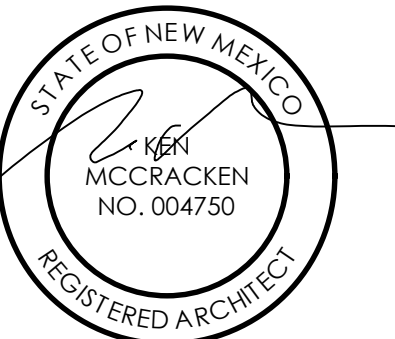
Store:
1401 Gibson Blvd SE
Albuquerque, NM
Restaurant #RC972
P6-V-AV

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06/12/2023

KJM/SPFS

Prototype : P6-V-AV-2022-1.0 RELEASE

Prototype Issue Date: 09.22.2022

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Design Bulletin Updates: ---

Date Issued: Bulletin Number: ---

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DRAWING ISSUES	
09/12/2022	SOLID WASTE REVIEW
11/30/2022	UNM SUBMITTAL
04/07/2023	FOR PERMIT
06/12/2023	RESPONSE TO COMMENTS

Sheet Title:
**TRASH ENCLOSURE
PLAN & DETAILS**

Date: 03.27.2023

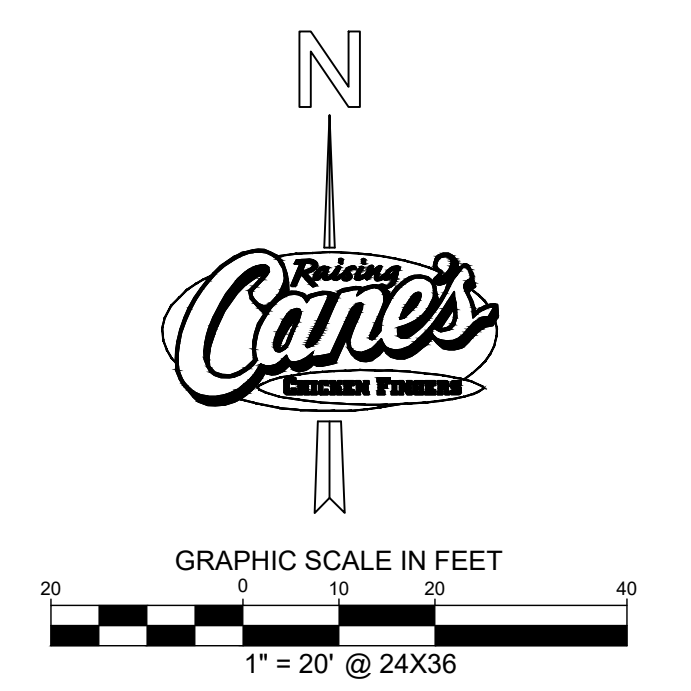
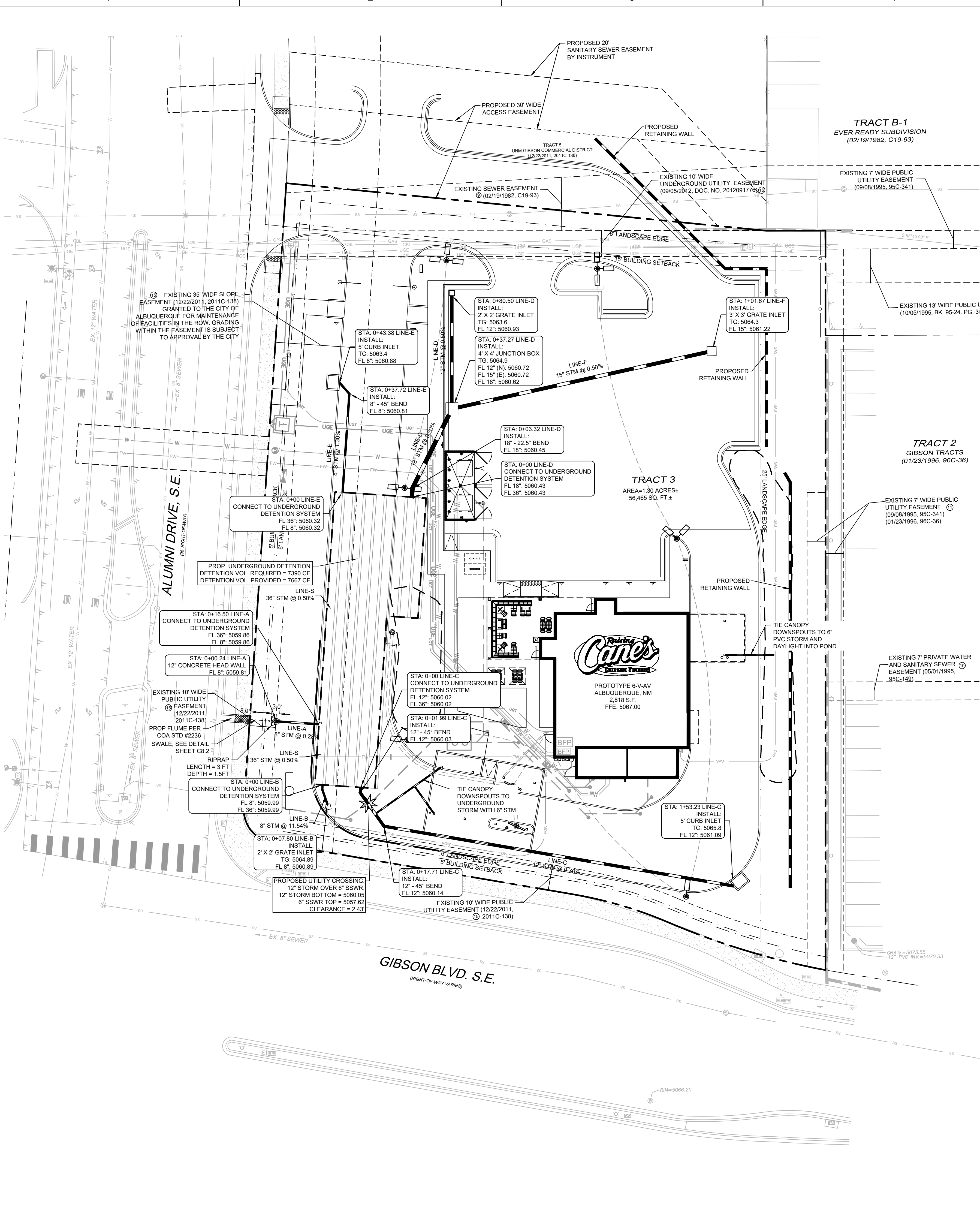
Project Number: RAC22025.0

Drawn By: JM

Sheet Number:

A0.20

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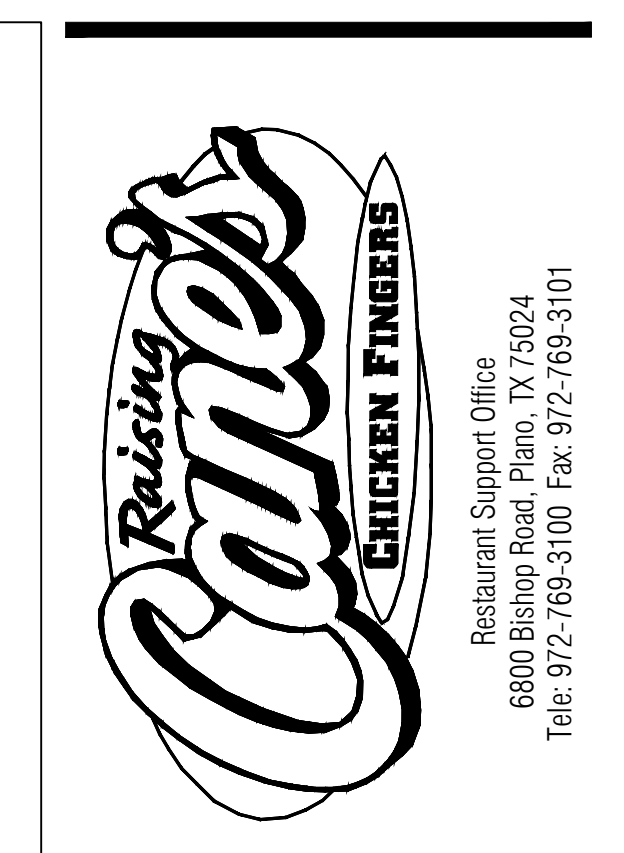
LEGEND

	PROPOSED PROPERTY LINE
	ADJACENT PROPERTY LINE
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	PROPOSED STORM SEWER
	PROPOSED STORM SWALE
	PROPOSED STORM INLET

- DRAINAGE NOTES**
- REFER TO CITY STANDARD DETAILS FOR CONSTRUCTION OF STORM INLETS AND MANHOLES.
 - REFER TO CITY STANDARD DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
 - CONTRACTOR TO VERIFY ALL EXISTING FLOW LINES PRIOR TO START OF CONSTRUCTION AND NOTIFY ENGINEER OF DISCREPANCIES.
 - CAST-IN-PLACE STRUCTURES SHALL BE USED FOR PUBLIC STORM PER CITY REQUIREMENTS. CONTRACTOR TO SUBMIT PRECONSTRUCTION DRAWINGS OF THE PROPOSED STRUCTURES TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - ALL STORM SEWER PIPE SHALL BE RCP IN CITY EASEMENTS PER CITY CODE.
 - PIPE MATERIALS RCP, OR OTHER AS APPROVED BY THE CITY & EOR.
 - UNDERGROUND DETENTION SYSTEM IS TO BE BY CONTECH OR APPROVED EQUAL.

BENCHMARKS

BM 1 - A.G.R.S. MONUMENT "24.116" STANDARD C.O.A. METALLIC DISC NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983) N = 1,476,869.02 AND E = 1,529,133.22 ELEV. = 5191.306
CP 1 - SET CP - NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" N = 1,476,978.77 AND E = 1,525,820.52 ELEV. = 5073.25



Store: **Gibson & Alumni**
Albuquerque, NM
Restaurant #RC972
P6-V-AV

PM DESIGN
 Architectural
 Solutions Group

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 SUITE 100
 ALLEN, TX 75013
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Prototype : P6-V-AV-2022-1.0 RELEASE

Prototype Issue Date: 09.22.2022

Kitchen Issue Date: --

Design Bulletin Updates: --

Date Issued: Bulletin Number: --

PERMIT SET

REVISIONS:

DATE	DESCRIPTION
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11/30/2022	UNM SUBMITTAL
04/07/2023	FOR PERMIT

Sheet Title: **STORM DRAINAGE PLAN**

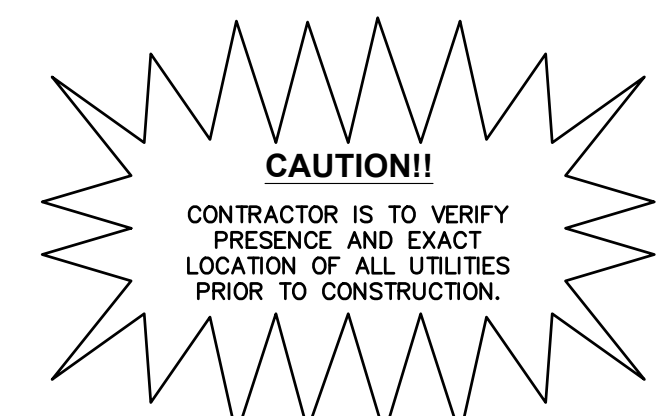
Date: 5/12/2023

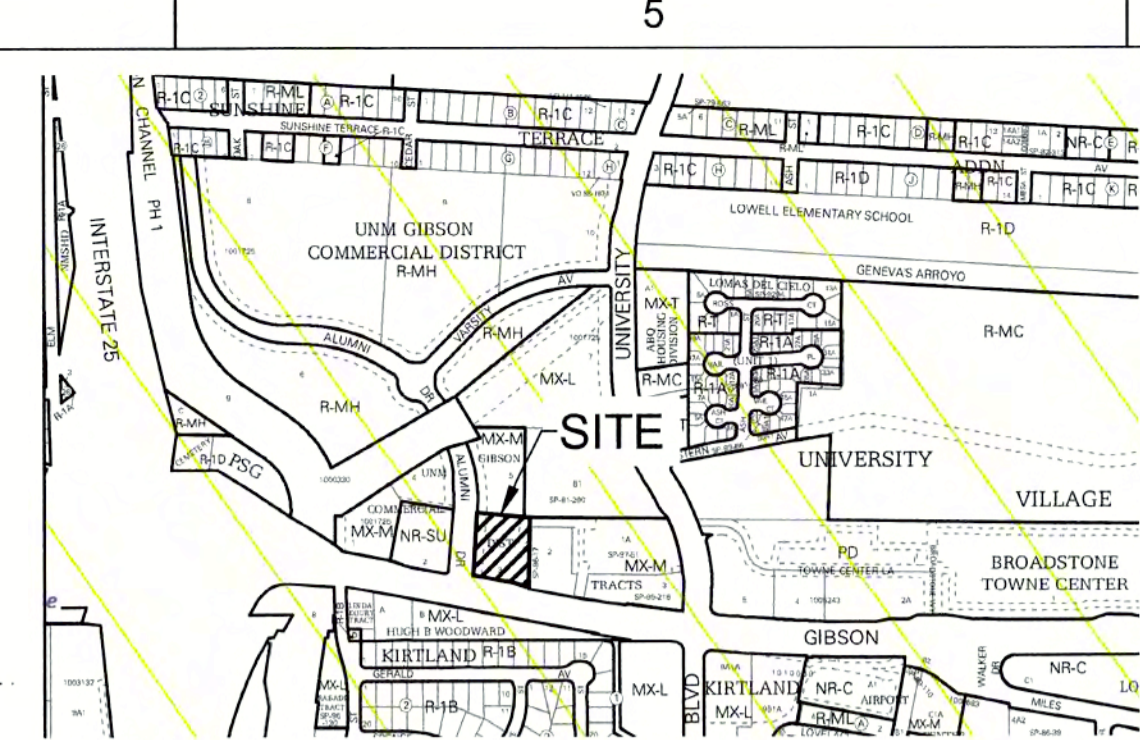
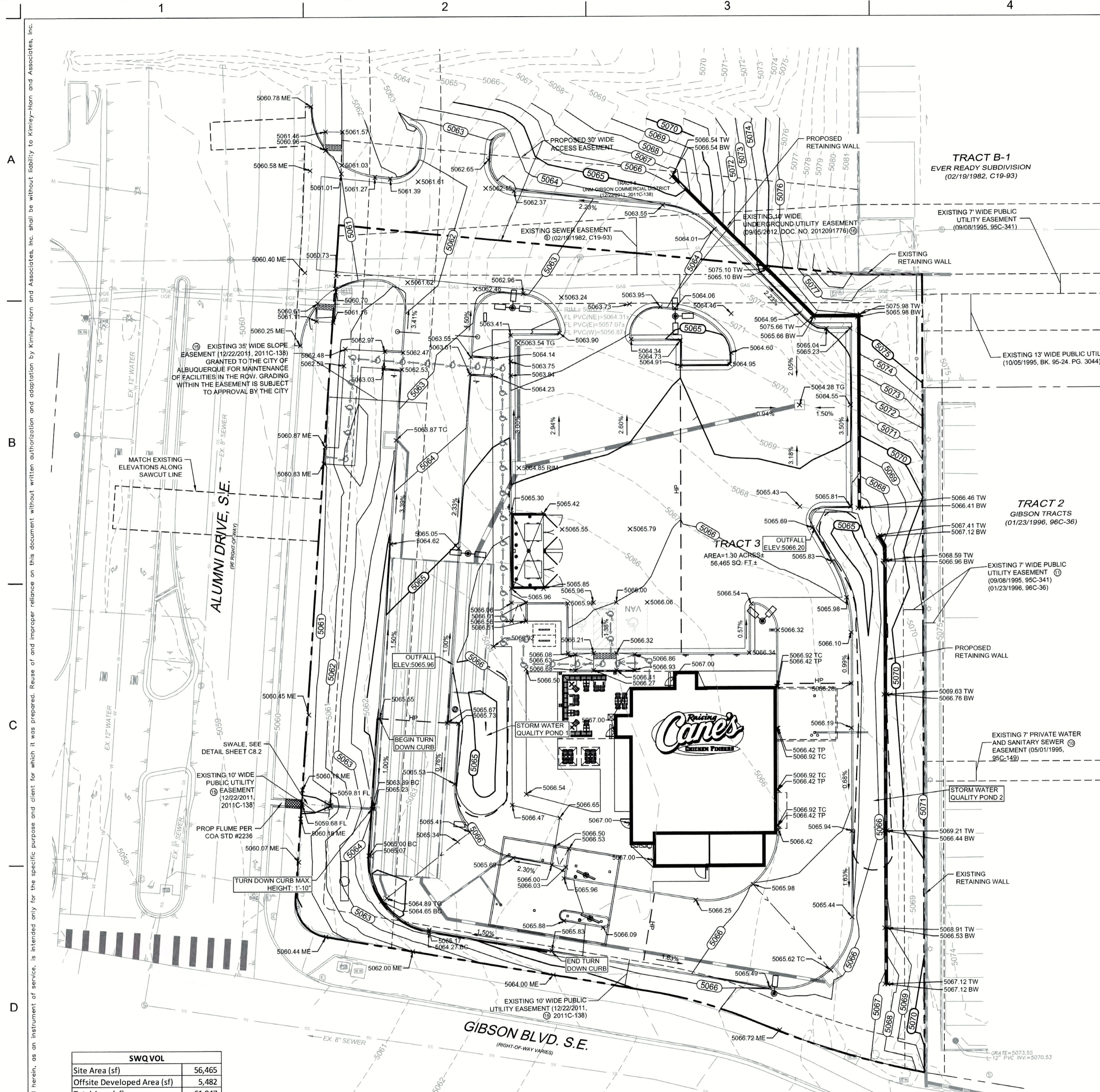
Project Number: KH #069313462

Drawn By: JCG/LHD

Sheet Number:

C6.3





FEMA FLOOD INSURANCE RATE MAP
 PER MAP NUMBER 35001C0342G FOR BERNALILLO COUNTY, NM AND INCORPORATED AREAS DATED SEPTEMBER 26, 2008, THE SITE IS IN ZONE X.

INTRODUCTION AND PROJECT DESCRIPTION:
 THE PROJECT SITE IS TRACT 3, UNM COMMERCIAL DISTRICT (2011C-138), AND IS LOCATED AT THE NORTHEAST CORNER OF GIBSON BLVD SE AND ALUMNI DRIVE IN THE CITY OF ALBUQUERQUE, NM. THE SITE IS ZONED AND PLANNED FOR COMMERCIAL DEVELOPMENT, AND THE USE PROPOSED IS A RESTAURANT WITH DRIVE-THROUGH. AS SHOWN BY MAP #55001C0342G OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO DATED SEPTEMBER 26, 2008, THE SITE IS LOCATED IN ZONE X AND IS NOT WITHIN A FLOOD HAZARD AREA.

METHODOLOGY:
 CHAPTER 6 OF THE COA DPM WAS UTILIZED TO CALCULATE THE PEAK FLOW AND RUNOFF VOLUME FOR 10-YEAR AND 100-YEAR, 24-HOUR STORM EVENTS. THE SITE IS LOCATED IN PRECIPITATION ZONE 2. EXISTING BASIN INFORMATION WAS OBTAINED BY SITE AERIALS AND TOPOGRAPHIC SURVEY.

EXISTING CONDITIONS:
 THE CANE'S TRACT IS 1.30 ACRES AND THE OVERALL PROJECT AREA IS 1.42 ACRES. THE SITE IS CURRENTLY UNDEVELOPED, WITH SOME VEGETATION AND MODERATE SLOPES. THE SITE SLOPES FROM EAST TO WEST, TOWARDS ALUMNI DRIVE AND GIBSON BLVD. THE PROJECT SITE GENERATES A PEAK FLOW OF 2.56 CFS AND RUNOFF OF 0.12 AC-FT IN THE 100-YEAR, 6-HOUR STORM EVENT. IN EXISTING CONDITION, THE SITE SHEET FLOWS TO ALUMNI DRIVE.

PROPOSED CONDITIONS:
 THE PROJECT IMPROVEMENTS WILL INCLUDE INSTALLATION OF A RESTAURANT WITH DRIVE-THROUGH, CUSTOMER PARKING, SITE DRIVEWAYS, AND LANDSCAPE AREAS. THE PROJECT SITE GENERATES A PEAK FLOW OF 4.46 CFS AND RUNOFF OF 0.13 AC-FT IN THE 100-YEAR, 6-HOUR STORM EVENT. DETENTION IS PROVIDED TO REDUCE PROPOSED RUNOFF TO EXISTING CONDITIONS. THERE IS A SMALL AMOUNT OF OFF-SITE RUN-OFF FROM THE ADJACENT PROPERTY TO THE NORTH THAT FLOWS ONTO AND ACROSS THIS SITE BEFORE FLOWING TO ALUMNI DRIVE. THIS AREA IS NOT INCLUDED IN THE PROJECTS RUNOFF VOLUMES AS IT IS ASSUMED THAT THIS IS ONLY OCCURRING IN THE INTERIM CONDITION AND THE SITE WILL BE GRADED TO CAPTURE THEIR OWN RUNOFF ONCE DEVELOPED. THE REQUIRED SWQ VOLUME IS 0.42 INCHES PER SF OF IMPERVIOUS AREA = 0.42(1 FT) 12 IN² 38.62 SF = 1.551 CF. THE SITE HAS PROVIDED 1.805 CY OF SWQV IN DEPRESSED LANDSCAPE AREAS ON THE SITE.

CONCLUSIONS:
 THE PROPOSED DEVELOPMENT WILL NOT INCREASE RUNOFF FROM THE SITE NOR WILL IT CHANGE EXISTING DRAINAGE PATTERNS. THE SITE WILL DISCHARGE TO ALUMNI DRIVE.

SO-19 NOTES
 PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
 NOTICE TO CONTRACTOR
 (SPECIAL ORDER 19 - "SO-19")

Excess Precipitation E (in)

Zone 2	100-Year	10-Year
Ea	0.62	0.15
Eb	0.80	0.30
Ec	1.03	0.48
Ed	2.33	1.51

Peak Discharge (cfs/acre)

Zone 2	100-Year	10-Year
Qa	1.71	0.41
Qb	2.36	0.95
Qc	3.05	1.59
Qd	4.34	2.71

LEGEND

- PROPOSED PROPERTY LINE
- ROW OF DEDICATION
- ADJACENT PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED VALLEY
- PROPOSED RIDGE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED RETAINING WALL
- PROPOSED FLOW ARROW WITH SLOPE
- PROPOSED SPOT ELEVATION
- PROPOSED STORM INLET
- TOP OF CURB
- TOP OF PAVEMENT
- TOP OF SLAB (DUMPSTER PAD)
- MATCH EXISTING ELEVATION
- MATCH EXISTING SURVEYED ELEVATION
- TOP OF GRATE
- TOP OF WALL
- BOTTOM OF WALL
- BOTTOM OF CURB (TURN DOWN)
- ADA PATH

- GRADING NOTES**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY/VAHJ STANDARDS AND SPECIFICATIONS.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE. IF NECESSARY PRIOR APPROVAL OF ENGINEER PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
 - CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
 - CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
 - ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
 - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
 - ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
 - REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
 - ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.

PERMIT SET

REVISIONS:	DATE:	DESCRIPTION:
09/12/2022		SOLID WASTE REVIEW
11/30/2022		UNM SUBMITTAL
04/07/2023		FOR PERMIT

BENCHMARKS

BM 1 - A.G.R.S. MONUMENT "24 L16" STANDARD C.O.A. METALLIC DISC
 NEW MEXICO STATE COORDINATES (CENTRAL ZONE N.A.D. 1983)
 N = 1,476,869.02 AND E = 1,529,133.22
 ELEV. = 5191.306

CP 1 - SET CP - NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"
 N = 1,476,978.77 AND E = 1,525,820.52
 ELEV. = 5073.26

CAUTION!!
 CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

SWQ VOL

Site Area (sf)	56,465
Offsite Developed Area (sf)	5,482
Total Area (sf)	61,947
Impervious Area (sf)	39,343
SWQ VOL Required (CF)*	1,377
SWQ VOL Provided (CF)	1,409

*0.42 in per impervious SF

SWQ POND 1

TOP ELEV	5065.96
BOTTOM ELEV	5063.96
VOL (CF)	619.1

SWQ POND 2

TOP ELEV	5066.2
BOTTOM ELEV	5064.09
VOL (CF)	790.0

WEIGHTED E CALCULATIONS (EXISTING CONDITION)

Basin	Area (SF)	Area (AC)	Treatment A				Treatment B				Treatment C				Treatment D				Weighted E (in)	Volume (ac-ft)	Flow (cfs)
			Acres	%	Acres	%	Acres	%	Acres	%	Acres	%	Acres	%	Acres	%					
EX	61,945	1.42	1.22	86%	0.20	14%	0	0%	0	0%	0	0%	0	0%	0.87	0.10	2.56	0.23	0.03	0.50	

WEIGHTED E CALCULATIONS (DEVELOPED CONDITION)

Basin	Area (SF)	Area (AC)	Treatment A				Treatment B				Treatment C				Treatment D				Weighted E (in)	Volume (ac-ft)	Flow (cfs)
			Acres	%	Acres	%	Acres	%	Acres	%	Acres	%	Acres	%	Acres	%					
DA 1	2,876	0.07	0	0%	0	0%	0.05	72%	0.02	28%	1.39	0.01	0.22	0.76	0.00	0.13					
DA 2	31,123	0.71	0	0%	0	0%	0.08	11%	0.63	89%	2.18	0.13	2.99	1.39	0.08	1.84					
DA 3	21,836	0.50	0.02	4%	0	0%	0.25	49%	0.24	47%	1.62	0.07	1.80	0.95	0.04	1.04					
DA 4	6,110	0.14	0	0%	0	0%	0.14	100%	0	0%	1.03	0.01	0.43	0.48	0.01	0.22					

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Store:
Gibson & Alumbi
 Albuquerque, NM
 Restaurant #RC972
 P6-V-AV

PM DESIGN
 Architectural Solutions Group

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KEN MCCracken, ARCHITECT



Prototype: P6-V-AV 2022-1.0 RELEASE

Prototype Issue Date: 09.22.2022

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Design Bulletin Updates: --

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DATE:	DESCRIPTION:
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11/30/2022	UNM SUBMITTAL
04/07/2023	FOR PERMIT

Sheet Title:
GRADING AND DRAINAGE PLAN

Date: 06/02/2023

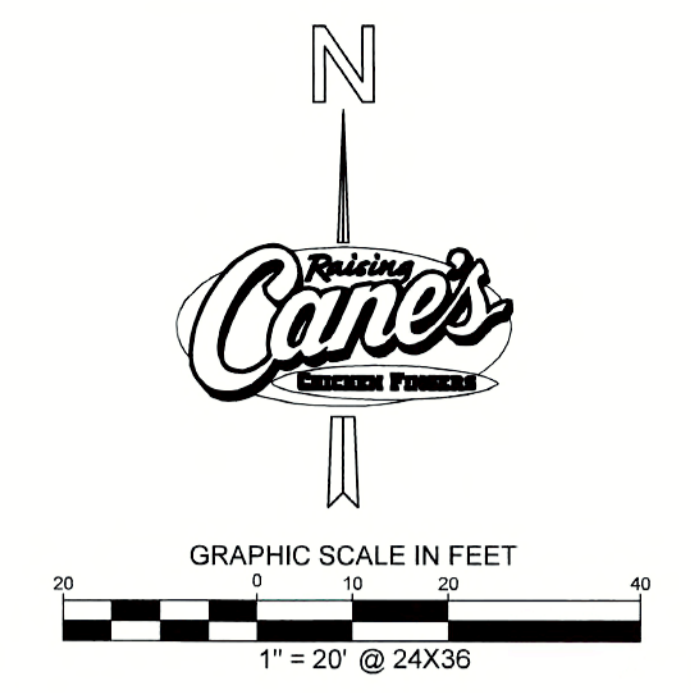
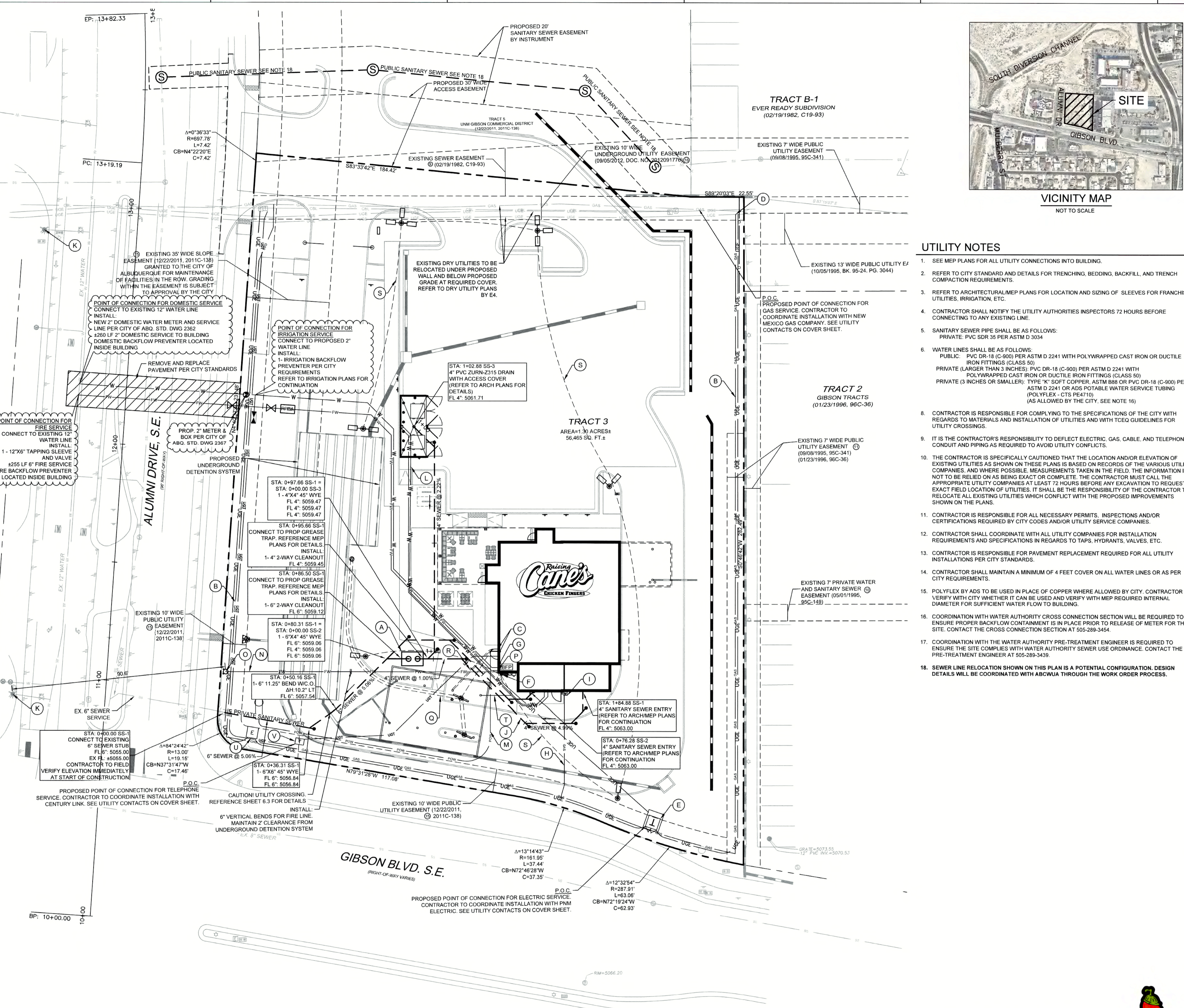
Project Number: KH #069313462

Drawn By: JCG/LHD

Sheet Number:
C6.0



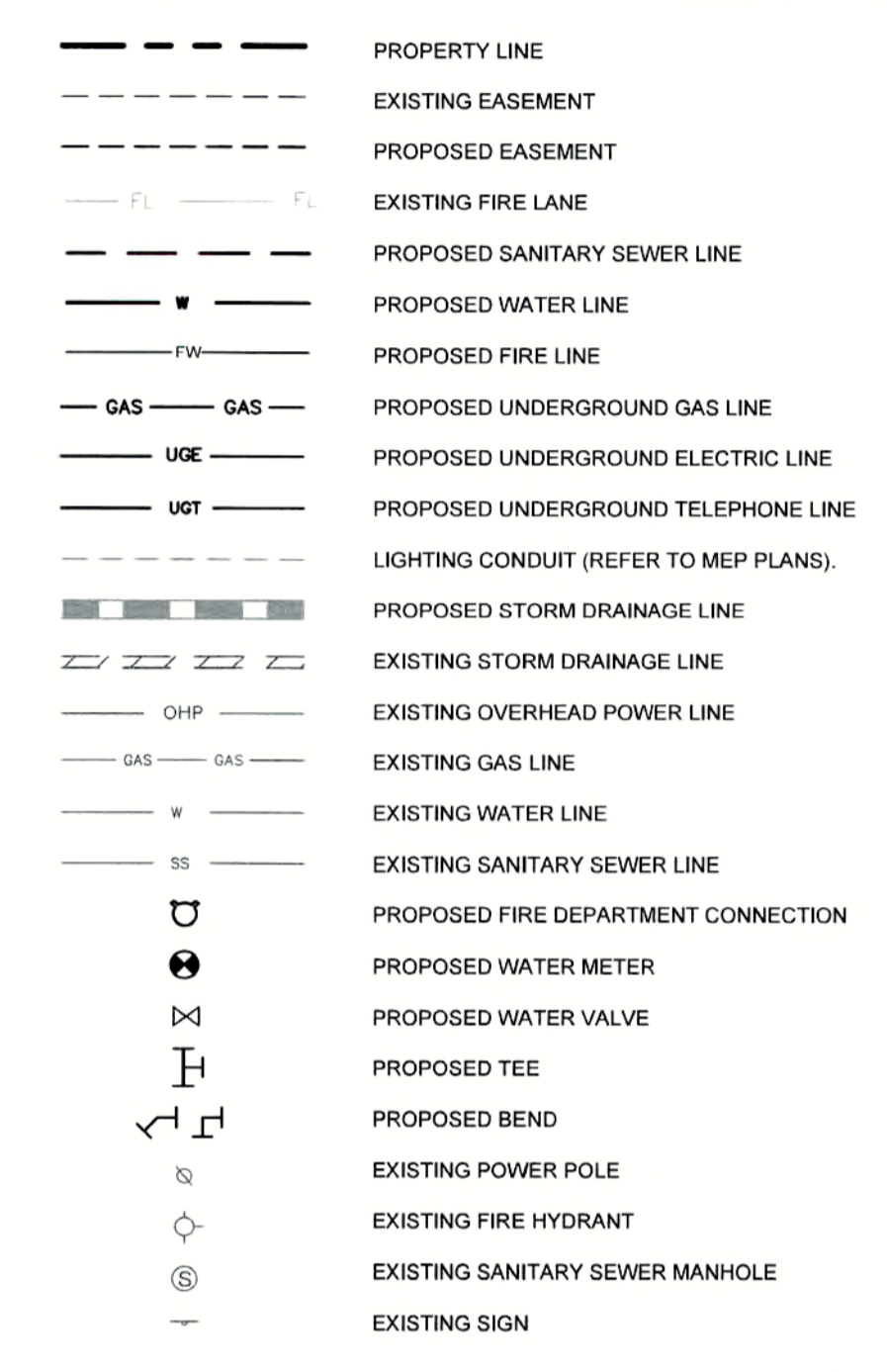
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UTILITY NOTES

- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
- REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
- REFER TO ARCHITECTURAL MEP PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
PRIVATE: PVC SDR 35 PER ASTM D 3034
- WATER LINES SHALL BE AS FOLLOWS:
PUBLIC: PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PRIVATE (LARGER THAN 3 INCHES): PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 50)
PRIVATE (3 INCHES OR SMALLER): TYPE 'K' SOFT COPPER, ASTM B88 OR PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYFLEX - CTS PE4710) (AS ALLOWED BY THE CITY, SEE NOTE 16)
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS AND INSTALLATION OF UTILITIES AND WITH TCEQ GUIDELINES FOR UTILITY CROSSINGS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DEFLECT ELECTRIC, GAS, CABLE, AND TELEPHONE CONDUIT AND PIPING AS REQUIRED TO AVOID UTILITY CONFLICTS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, HYDRANTS, VALVES, ETC.
- CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY STANDARDS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET COVER ON ALL WATER LINES OR AS PER CITY REQUIREMENTS.
- POLYFLEX BY ADS TO BE USED IN PLACE OF COPPER WHERE ALLOWED BY CITY. CONTRACTOR TO VERIFY WITH CITY WHETHER IT CAN BE USED AND VERIFY WITH MEP REQUIRED INTERNAL DIAMETER FOR SUFFICIENT WATER FLOW TO BUILDING.
- COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3459.
- SEWER LINE RELOCATION SHOWN ON THIS PLAN IS A POTENTIAL CONFIGURATION. DESIGN DETAILS WILL BE COORDINATED WITH ABO/WA THROUGH THE WORK ORDER PROCESS.

UTILITY LEGEND



UTILITY KEYNOTE LEGEND

A	PROPOSED GREASE TRAP. REFERENCE ARCHITECTURAL MEP PLANS.
B	JOINT TRENCH. INSTALL 4" PVC CONDUIT FOR TELEPHONE, 3" PVC CONDUIT FOR INTERNET, AND 2 EACH 4" PVC FOR ELECTRIC. ALL CONDUITS TO HAVE PULL STRINGS.
C	PROPOSED TELEPHONE AND INTERNET ENTRY. REFERENCE ARCHITECTURAL PLANS FOR CONNECTION.
D	PROPOSED RELOCATION OF EXISTING GAS AND ELECTRIC IN JOINT TRENCH.
E	PROPOSED TRANSFORMER AND PAD PER PMM REQUIREMENTS.
F	PROPOSED ELECTRIC SERVICE ENTRY. REFERENCE ARCHITECTURAL PLANS.
G	DOMESTIC WATER ENTRY. REFERENCE MEP PLANS FOR CONTINUATION.
H	GAS SERVICE LINE.
I	GAS METER LOCATION.
J	SDR-35 SANITARY SEWER PIPE.
K	EXISTING FIRE HYDRANT.
L	PROPOSED 3" EACH H/C WATER TO DUMPSTER WITH RPZ VALVE. REFER TO MEP PLANS.
M	INSTALL 3-2" PVC CONDUITS WITH PULL STRINGS FOR POWER/DATA TO SIGN.
N	6" REMOTE FDC LINE
O	PROP. REMOTE FIRE DEPARTMENT CONNECTION PER CITY REQUIREMENTS
P	6" FIRE LINE ENTRY
Q	MENU/ORDER BOARD CONDUIT. REFER MEP PLANS.
R	CANOPY CONDUITS. REFER MEP PLANS.
S	LIGHTING CONDUIT. REFER MEP PLANS.
T	1-1" CONDUIT FOR WATER LINE TO MISTERS TO CANOPY
U	PROPOSED PMM ELECTRIC PULL BOX (55" x 55")
V	PROPOSED CENTURYLINK TELCO PULL BOX (2' x 3')

WATER METER & SEWER SCHEDULE

ID	TYPE	SIZE	NO.	SEWER
1	DOMESTIC	2"	1	6"



Gibson & Alumni
Albuquerque, NM
Restaurant #RC972
P6-V-AV



1101 CENTRAL EXPRESSWAY S
SUITE 100
ALLEN, TX 75013
CONTACT: JOHN MELLENDEZ
PHONE: 469.301.2026
EMAIL: JMELLENDEZ@PMDCORP.COM
KEN MCCrackEN, ARCHITECT



Prototype: P6-V-AV 2022-1.0 RELEASE

Prototype Issue Date: 09.22.2022

Kitchen Issue Date: --

Design Bulletin Updates: --

Date Issued: -- Bulletin Number: --

PERMIT SET

REVISIONS:

09/12/2022	SOLID WASTE REVIEW
11/30/2022	UNM SUBMITTAL
04/07/2023	FOR PERMIT

PRIVATE UTILITY PLAN

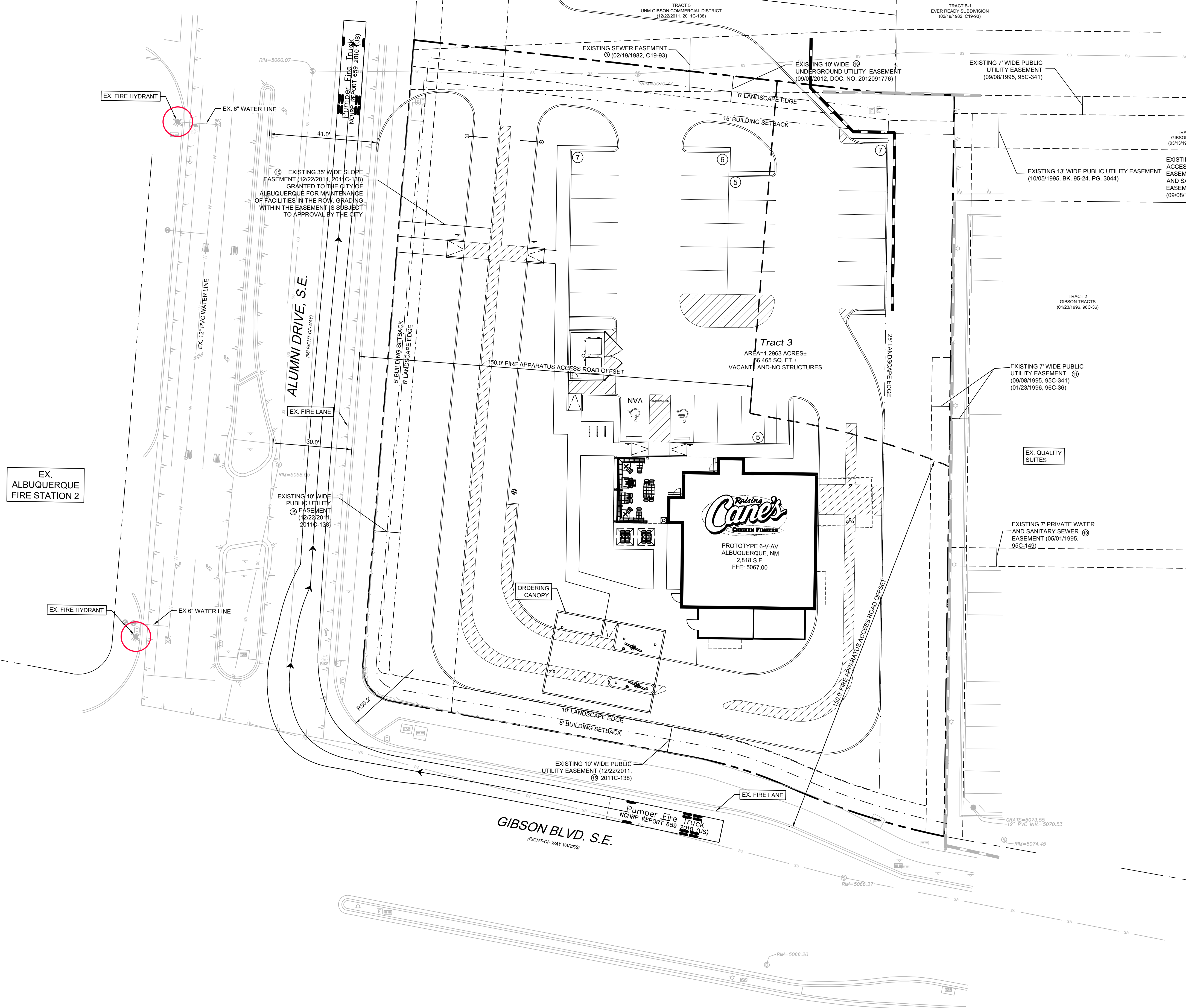
Date: 06/21/2023
Project Number: KH # 069313462
Drawn By: JCG/LHD
Sheet Number:

C7.0

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1 2 3 4 5 6

A
B
C
D



ALBUQUERQUE FIRE MARSHAL'S DIVISION
CHECKING DIVISION
PERMIT
 PERMIT NUMBER: FP-22-011533
 APPROVED DATE: 09/09/22
APPROVED

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S DIVISION IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE-GRABING AND WITH STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1500 GPM 1 Fire Hydrant



FIRE ONE LEGEND

— PROPERTY LINE
 — EXISTING WATER LINE

- FIRE ONE NOTES**
- BUILDING AREA: 2,818 SF
 - BUILDING TYPE: VB - NOT FIRE SPRINKLED
 - OCCUPANCY CLASSIFICATION: B - BUSINESS GROUP
 - STRUCTURE HEIGHT: 23'-6"
 - FIRE FLOW: 1,500 GPM FOR 2 HOURS PER IFC 2015 TABLE B105.1 (2)
 - HYDRANTS:
 - MIN. NUMBER OF HYDRANTS: 1
 - MAX. HYDRANT SPACING: 500 FT
 - MAX. DISTANCE FROM STREET OR FRONTAGE TO FIRE HYDRANT: 250 FT
 - THE PARKING SURFACE SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
 - THE MINIMUM DRIVE AISLE WIDTH WILL BE AS SHOWN.
 - BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
 - ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
 - ALL FIRE HYDRANT SUPPLY LINES THAT BRANCH OFF OF THE WATER LINES SHALL BE 6" DIA. UNLESS OTHERWISE NOTED ON THE PLANS.
 - WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, APPROVED WET STAMPED SHOP DRAWING SHALL BE ONSITE FOR INSPECTIONS.



Restaurant Support Office
 6800 Bishop Road, Plano, TX 75024
 Tele: 972-769-3100 Fax: 972-769-3101

Store:
NEC OF GIBSON BLVD AND ALUMNI DR
ALBUQUERQUE
NM, 87106

Professional of Record: NAME

PM DESIGN
 Architectural Solutions Group
 1101 Central Expressway South
 Suite 100
 Allen, TX 75013
 CONTACT: EVERETT FIELDS
 (469) 619-1164
 EFIELDS@PMDGNC.COM



Prototype: P6-V-AV

Prototype Issue Date: --

Design Bulletin Updates: --

Date Issued:	Bulletin Number:
--	--

80% REVIEW SET

REVISIONS:

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Sheet Title:

FIRE 1 PLAN

Date: 8/30/2022

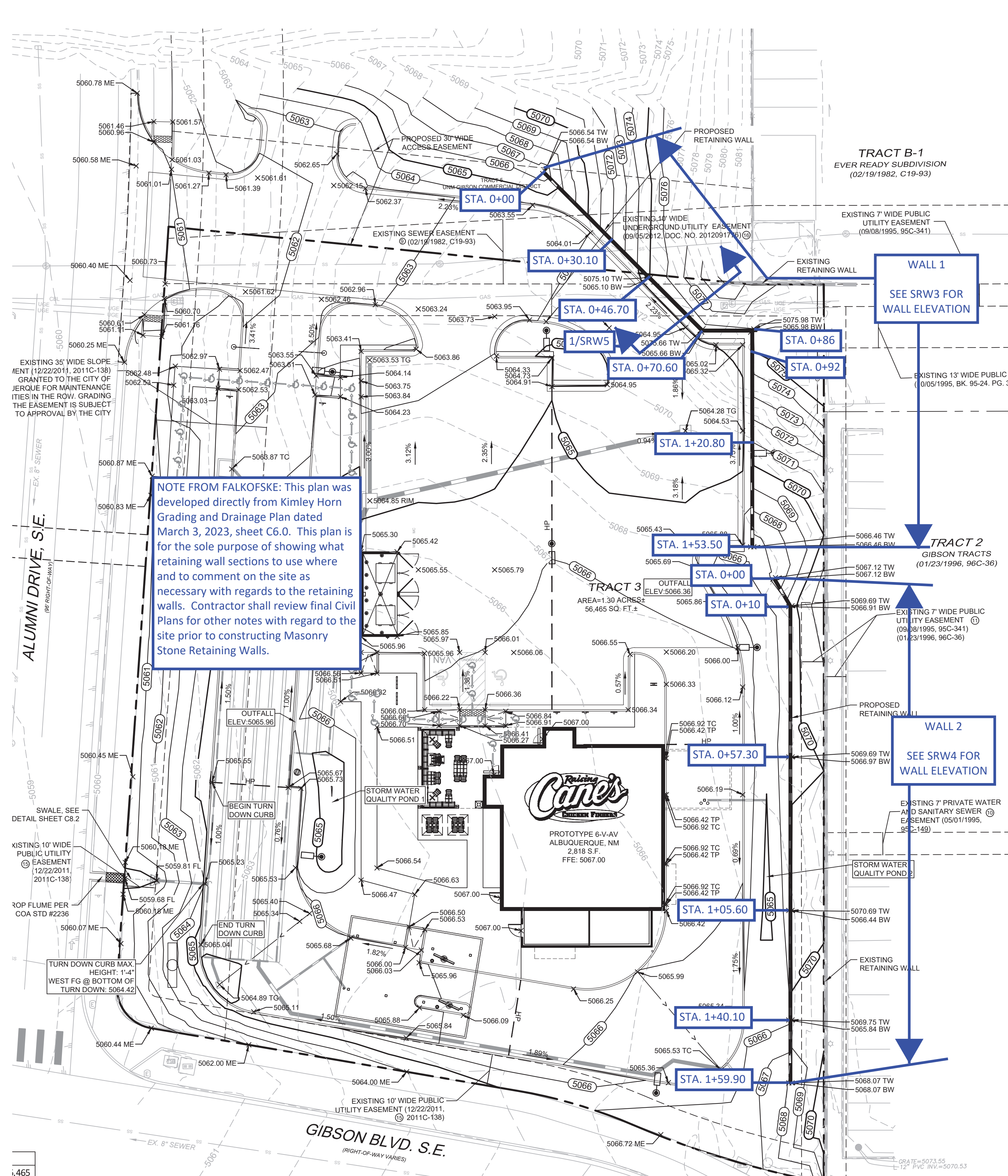
Project Number: 069313462

Drawn By: JCG

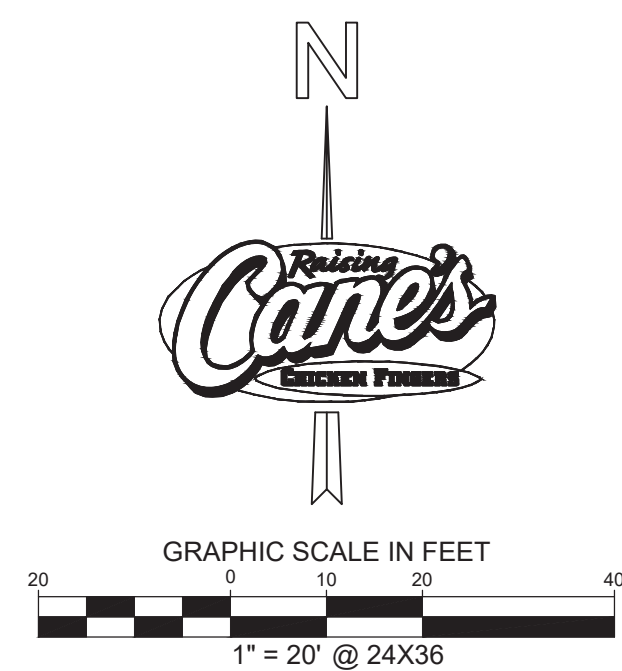
Sheet Number:



F1P



NOTE FROM FALKOFSKE: This plan was developed directly from Kimley Horn Grading and Drainage Plan dated March 3, 2023, sheet C6.0. This plan is for the sole purpose of showing what retaining wall sections to use where and to comment on the site as necessary with regards to the retaining walls. Contractor shall review final Civil Plans for other notes with regard to the site prior to constructing Masonry Stone Retaining Walls.



DATE	BY	DES.	DRN.	CHK.	NO.	DATE	REVISION	BY
03-23-23	AMB							
03-23-23	EG							
03-23-23	AMB							

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Arlington, Texas 76012
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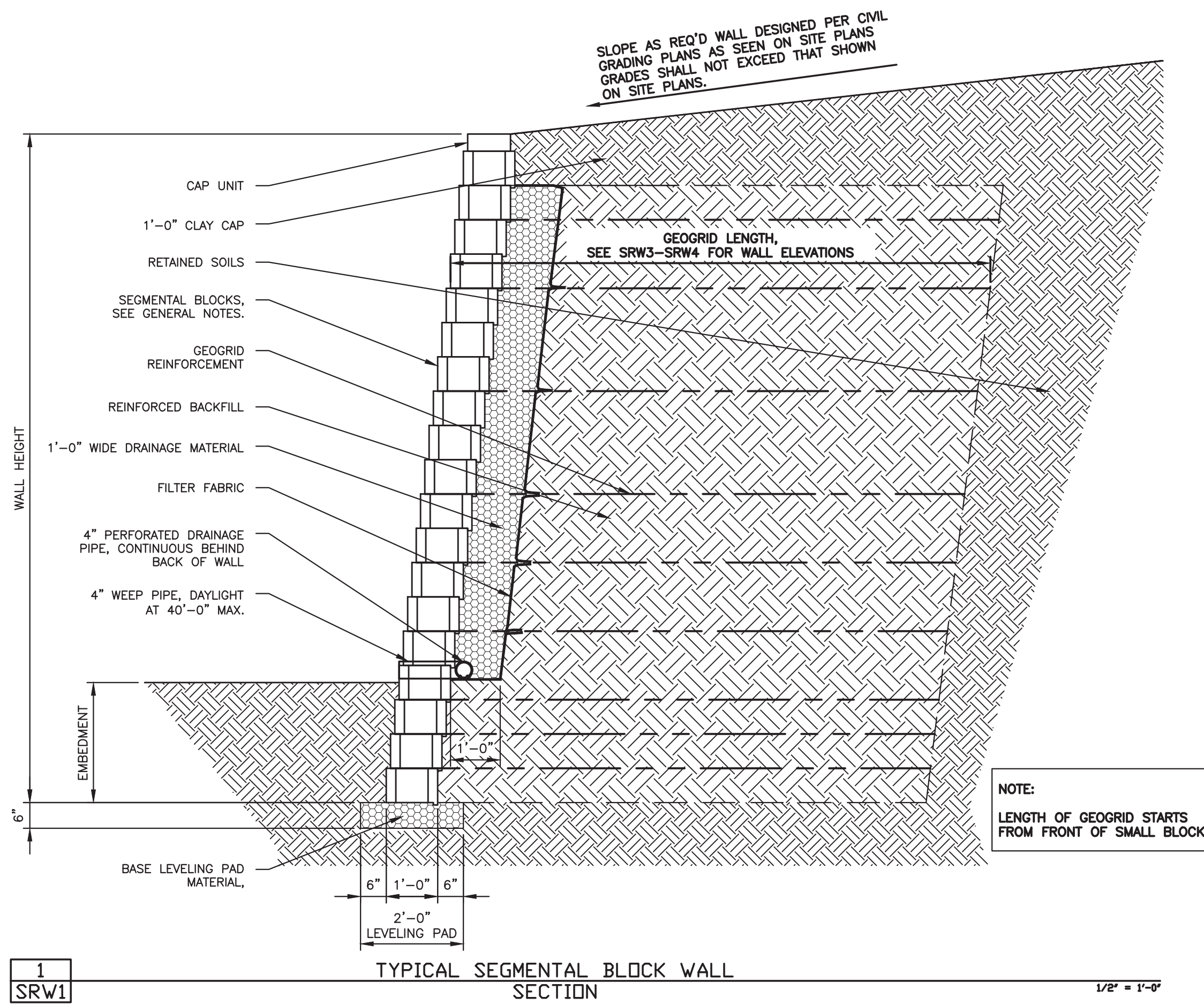
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SITE PLAN
RAISING CANES - ALUMNI AT GIBSON NEC
NEC OF GIBSON BOULEVARD SE AND ALUMNI DRIVE SE
ALBUQUERQUE, NEW MEXICO

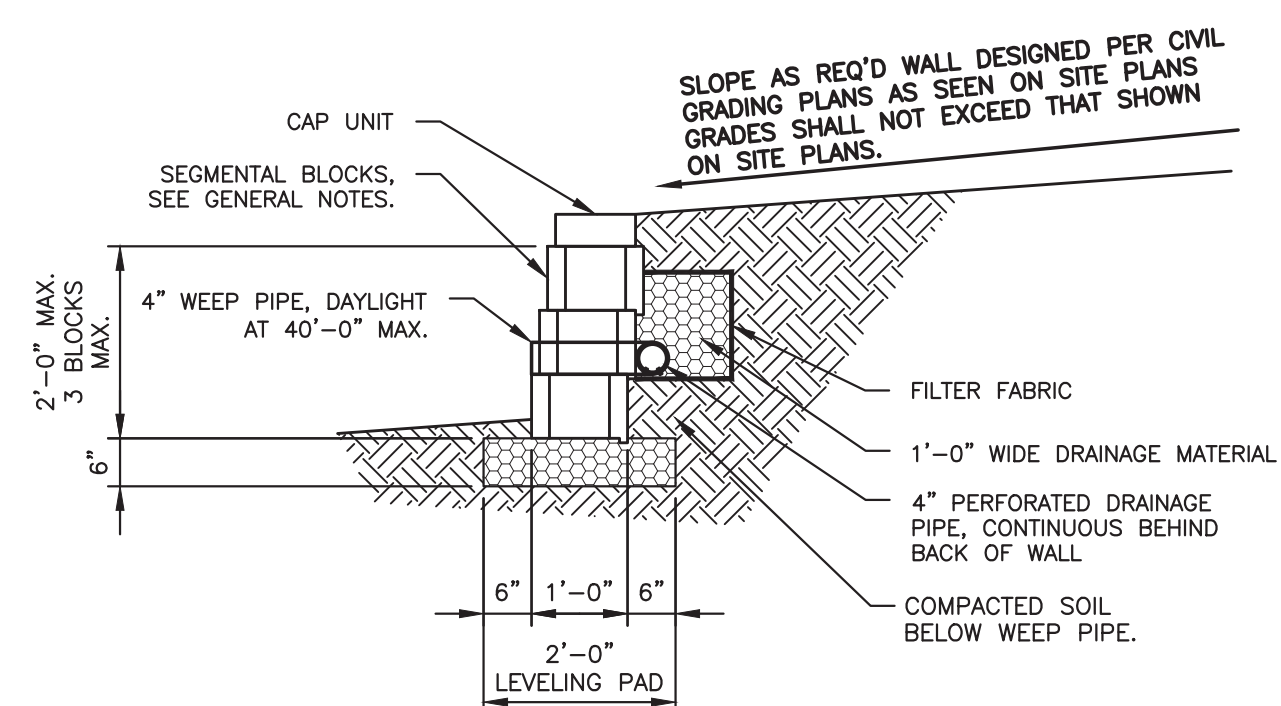
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, SUITE 700
DALLAS, TEXAS 75240

JOB NO. 1023.22

SP1



1
SRW1



2
SRW1

GENERAL NOTES

1. Design

1.1. Design Codes

International Building Code, 2015 Edition
 Design Manual for Segmental Retaining Walls (NCMA) 5th Edition
 NCMA SRWU-2 - Determination of Shear Strength between Segmental Concrete Units

1.2. Geotechnical Report

Firm: Terracon Consultants, Inc.
 Report No. 66225183 Dated: October 19, 2022
 Allowable Bearing Capacity: 2000 psf

1.3. Design Parameters

Soil Parameters:

Soil Type*	Friction Angle	Cohesion (psf)	Unit Weight (pcf)
Reinforced Backfill	30 deg	0 psf	120 pcf
Retained Backfill	30 deg	0 psf	120 pcf
Foundation Soils	30 deg	0 psf	120 pcf
Leveling Pad	35 deg	0 psf	135 pcf

*See materials below for a description of each Soil Type.

Factors of Safety:

Internal Stability

a. Minimum Factor of Safety on Tensile Overstress	1.2
b. Minimum Factor of Safety on Geogrid Pullout (Peak Load)	1.5
c. Minimum Factor of Safety on Geogrid Pullout (Serviceability, 0.75")	1.0
d. Minimum Factor of Safety on Facing Shear (Peak Load)	1.5
e. Minimum Factor of Safety on Facing Shear (Serviceability, 2% of H)	1.0
f. Minimum Factor of Safety on Connections (Peak Load)	1.5
g. Minimum Factor of Safety on Connections (Serviceability)	1.0
h. Minimum Factor of Safety for Uncertainties	1.5

External Stability

a. Minimum Factor of Safety Against Base Sliding (Static Condition)	1.5
b. Minimum Factor of Safety Against Overturning	2.0
c. Minimum Factor of Safety Against Global Stability	1.5
d. Minimum Factor of Safety for Bearing Capacity	2.0

Global Stability

a. Minimum Factor of Safety Long Term	1.5
b. Minimum Factor of Safety Short Term	1.3
c. Minimum Factor of Safety Rapid Drawdown	1.15

Design Loading:

Lateral earth pressures are calculated using Culmbs Lateral Earth Pressure Theory, and in accordance with NCMA. Designs have been performed to accept loading per the proposed loading conditions based on the Civil Grading Plans. A live loading of 250 psf has been used for all walls supporting areas subject to traffic or firelane loading or buildings.

2. Materials

2.1. Soil Types

- a. Reinforced Backfill
 1. Less than 35% passing No. 200 Sieve per ASTM D422 with a maximum size of 1"
 2. A liquid limit < 30 and plasticity index < 10 per ASTM D4318
 3. An effective friction angle $\geq 30^\circ$ per ASTM D2166 or D3080 at the compaction standard. Use of an effective friction angle greater than 30° for design shall be verified by appropriate testing submitted to Falkofsk Engineering, Inc. and approved prior to construction.
 4. pH in the range of 3 to 9 per ASTM G51.
 5. Contractor shall submit testing results for reinforced backfill to FEI for approval prior to starting construction. If items 1, 2, & 4 above are met testing for item 3 is not required. FEI shall receive testing results for reinforced fill for approval prior to construction.
- b. Retained Backfill
 1. On site clayey soils
- c. Foundation Soils
 1. Bearing in Native soils
 2. Bearing in Fill soils. Fill soils supporting the retaining wall and reinforced backfill shall be placed in accordance with the recommendations for fill placement per the geotechnical report, unless noted otherwise on these drawings.
- d. Drainage Material
 1. Free draining granular backfill, clean, non-plastic, relatively well-graded.
 2. Less than 10% passing the No. 200 sieve.
 3. No. 57 or No. 67 stone per ASTM C33 or approved equal meets these requirements.
- e. Unit Fill
 1. Unit fill shall meet the specifications of the block manufacturer.
- f. Base Leveling Pad Material
 1. Shall match the Drainage Material.
 2. Flexbase is an acceptable alternative.

2.2. Segmental Block

- a. Diamond Pro 8" block (or approved equal)
- b. Diamond Pro 4" cap

2.3. Geogrid Reinforcement

- a. Geogrid shall be Mirafli Miragrid (or approved equal). Geogrid sizes will be specified on the wall elevations.

2.4. Drainage Materials

- a. Drainage collection pipe shall be perforated/slotted PVC pipe or corrugated polyethylene (PE) pipe.
- b. Drainage pipe shall be covered with filter sock.
- c. Drainage zone shall be separated from reinforced backfill by mirafli 140N filter fabric or approved equal.

2.5. Material Quantities

(Falkofsk Engineering is providing these quantities as reference only. It is ultimately the contractors responsibility to estimate & provide the amount of materials required to complete the project in accordance with the contract documents.)

- a. Square footage of Segmental Retaining Wall
 - a.a. WALL 1 = 1,185.00 ft²
 - a.b. WALL 2 = 675.25 ft²
- b. Segmental Retaining Wall Reinforcement Area
 - b.a. WALL 1 = 584.75 yd²
 - b.b. WALL 2 = 194.25 yd²
- c. Segmental Retaining Wall Backfill Volume
 - c.a. WALL 1 = 309.12 yd³
 - c.b. WALL 2 = 85.63 yd³

3. Construction

3.1 Preparation Work

- a. Contractor shall comply with federal, stat and local requirements for execution of the work, including local building codes and current OSHA excavation regulations. Provide excavation support as required to maintain stability of the area during excavation and wall construction and to protect existing structures, utilities, landscape features, or property or improvements.
- b. Prior to grading or excavation of the site, confirm the location of the retaining walls and all underground features, including utility location within the area of construction. Ensure surrounding structures are protected from effects of wall excavation, and construction.
- c. Coordinate installation of underground utilities and other improvements with wall installation.

3.2 Excavation

- a. Excavate to lines and grades as shown on the wall elevations. take precautions to minimize over-excavation. Over-excavation shall be backfilled with either granular fill (base leveling pad material) or with onsite fill materials compacted and tested to the recommendations of the geotechnical engineer.
- b. In areas where soft, disturbed or otherwise unsuitable soils are encountered within the zone of the wall footprint, such unsuitable soils shall be over-excavated to the depths and extents required and replaced as noted in section (a) under excavation. Unsuitable soils refer to soil that dont meet the 2500 psf available bearing capacity.
- c. Fill over-excavated area in front of the wall face with compacted on site soils before the wall construction reaches 4 feet in height.
- d. In areas where the walls are installed in cut situations the excavation behind the reinforced zone shall be bench cut in order to permit controlled placement of retained backfill.
- e. Walls shall be undercut to the depths as shown on the elevations. Any undercut flex base shall be compacted to a minimum of 98% standard proctor, unless noted otherwise.

3.3 Leveling Pad Installation

- a. Place leveling pad as shown on section 1/SRW1. Leveling pad shall be 6" thick and 2'-0" wide, extending 6" beyond the block on the toe and heel side of the lower-most SRW unit.
- b. Foundation soil shall be proffooled and the top 12" compacted to a minimum of 95% Standard Proctor Maximum Dry Density (ASTM D698) and tested prior to placement of leveling pad materials.
- c. Compact granular leveling pad material to provide a level hard surface on which to place the first course of units. Compact with mechanical plate compactors. No testing required.

3.4 SRW Unit Installation

- a. Install mechanical fascia connections per SRW manufacturers' recommendations.
- b. Place core drainage fill in the previous course of units prior to stacking of subsequent segmental retaining wall units.
- c. Mechanical vibrating plate compactors shall not be used on top of the units. compact fill between units and the backfill zone behind the units by running hand-operated compaction equipment.

3.5 Geogrid Installation

- a. Soil reinforcement shall be oriented strong axis perpendicular to wall alignment.
- b. Lay the soil reinforcement horizontally on compacted backfill. Pull geogrid taut and connect to concrete SRW units according to the manufacturer recommendations.
- c. Geogrid shall be continuous throughout their embedment lengths. Spliced connections between shorter pieces is not allowed.
- d. Do not operate tracked construction equipments directly upon soil reinforcement. Provide a minimum fill thickness of 6" prior to operation of tracked equipment over soil reinforcement. Keep tracked vehicle turning to a minimum to prevent tracks from displacing the fill and damaging soil reinforcement.
- e. Rubber-tired equipment may pass over soil reinforcement at low speeds, less than 10 mph, if permitted by the manufacturer. Avoid sudden braking and sharp turning.

3.6 Reinforced Backfill Placement

- a. Place reinforced backfill, spread and compact in such a manner that will not develop slack in the soil reinforcement in accordance with Manufacturers recommendations.
- b. Compact reinforced backfill to a minimum of 98% Standard Proctor Maximum Dry Density (ASTM D698) at a moisture content from 2% below to 2% above optimum moisture content.
- c. Place and compact reinforced backfill in lifts not to exceed 8" in compacted thickness.
- d. Only hand compaction equipment shall be used within the first 3'-0" behind the SRW units.

3.7 Retained Backfill Placement

- a. Retained backfill shall be placed per the recommendations of the geotechnical engineer, but should not be less than 95% Standard Proctor Maximum Dry Density (ASTM D698).
- b. Fill should be placed in maximum 8" thick compacted lifts.

3.8 SRW Cap Installation

- a. Place SRW Cap units per manufacturer's recommendations. Backfill and compact to finished grade.
- b. Attach cap units to wall units with construction epoxy. Apply epoxy to bottom surface of cap unit and install on clean units below. Follow epoxy manufacturer's direction to ensure permanent bond.

4. Construction Testing and Inspection (T&I)

4.1 Field Quality Control

- a. Field quality control shall be the responsibility of the Contractor. Except for specified mandatory testing, field quality control testing and inspection shall be at the discretion of the Contractor as necessary to assure compliance with Contract requirements. T&I specified below shall not be considered a substitute for the Contractor's responsibility to perform similar routine, necessary, and customary testing and inspection of the methods and frequency suitable for the types of work involved.

4.2 Testing and Inspection (T&I)

- a. Falkofsk Engineering, Inc. will act as the design professional in responsible charge (DPRC) for the retaining walls on the project. A third party special inspector of record shall be retained by others to perform construction observations. When construction is complete Falkofsk Engineering shall receive all field reports and materials testing reports prior to releasing a final letter. If either material testing or special inspections is not performed FEI reserves the right to withhold this letter. Additional testing, destructing testing or test pits may be required to verify construction before a final letter can be provided.
- b. Materials Testing shall be performed by an approved materials testing laboratory. Contractor to coordinate materials testing laboratory to set up appropriate testing.
- c. Soil Backfill Testing:
 1. Field density tests in accordance with ASTM D2922:
 - 1.1. Subgrade Soils: One test for every 2,500 square feet per lift of material.
 - 1.2. Base Leveling Pad: One test for every 100 linear feet.
 - 1.3. Reinforced Backfill/Undercut: One test for every 2,500 square feet per lift. Every other lift shall be tested.
 - 1.4. Retained Soil: One test for every 5,000 square feet per lift, or one test for every 2,500 square feet every other lift.
- e. Laboratory moisture-density relationships, ASTM D698: One test for every compacted material type.
- f. Gradation Analysis, ASTM D422:
 1. Unit Fill: One test for every 500 cubic yards of material.
 2. Reinforced backfill: One test for every 500 cubic yards of material or when material type changes.

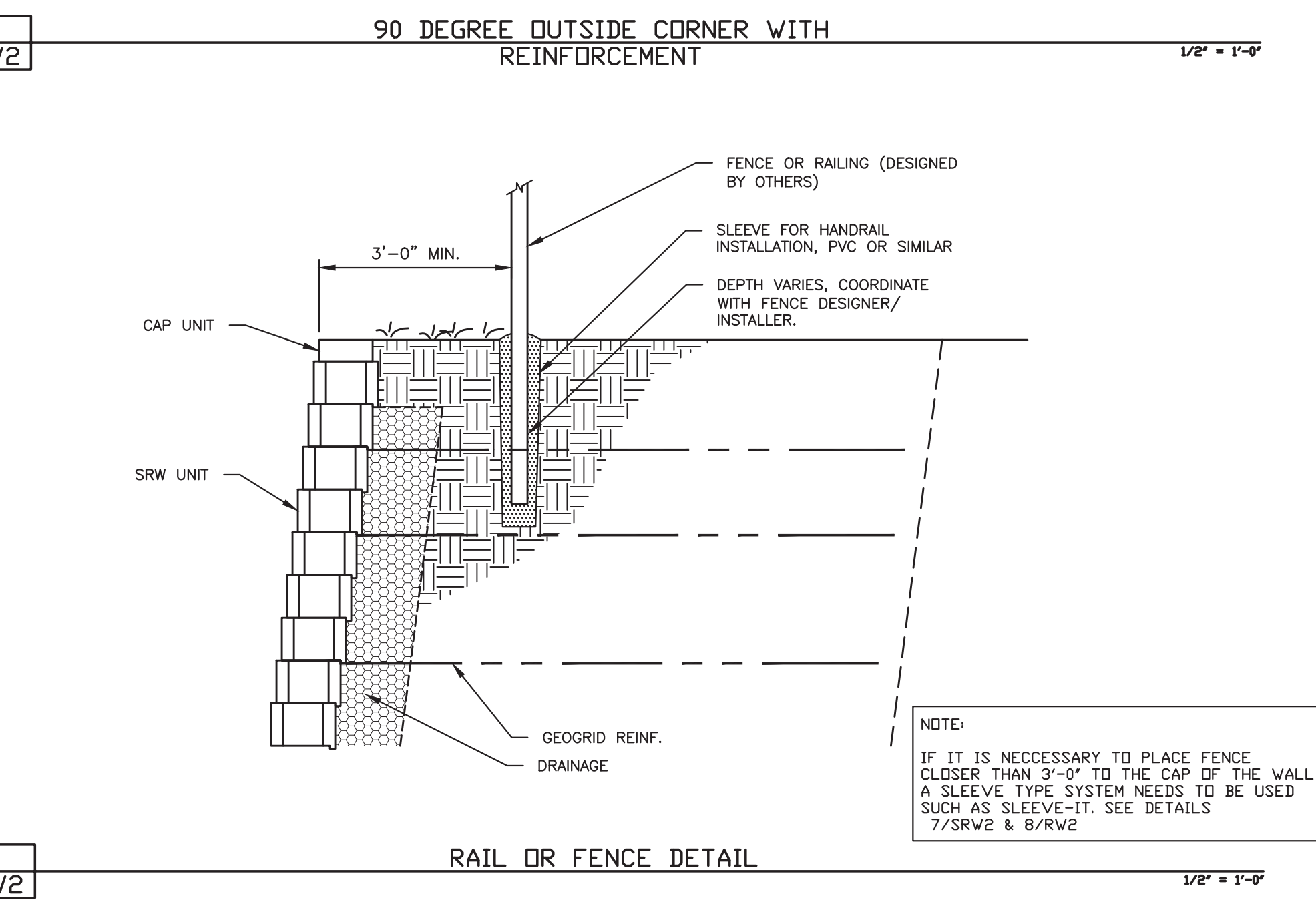
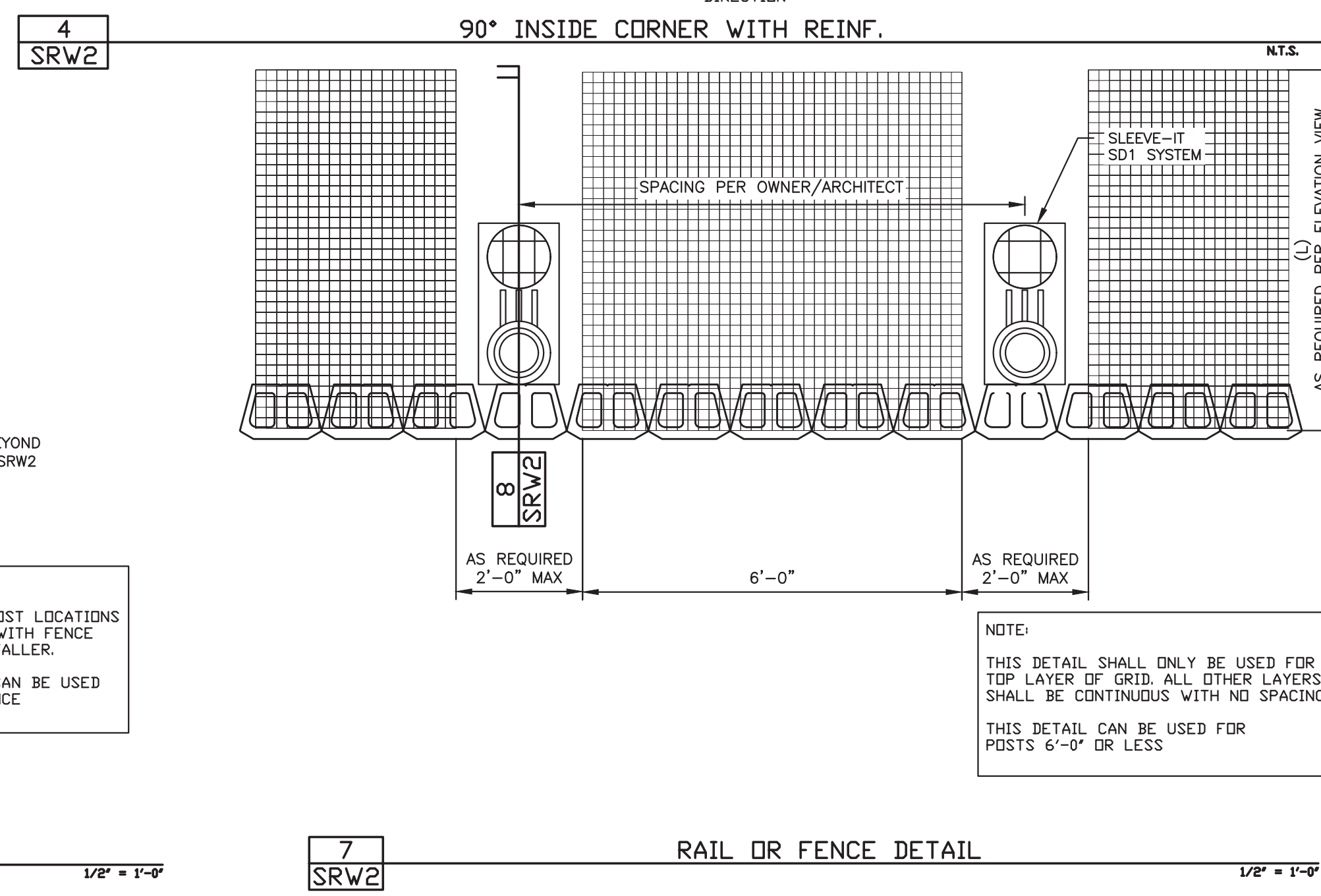
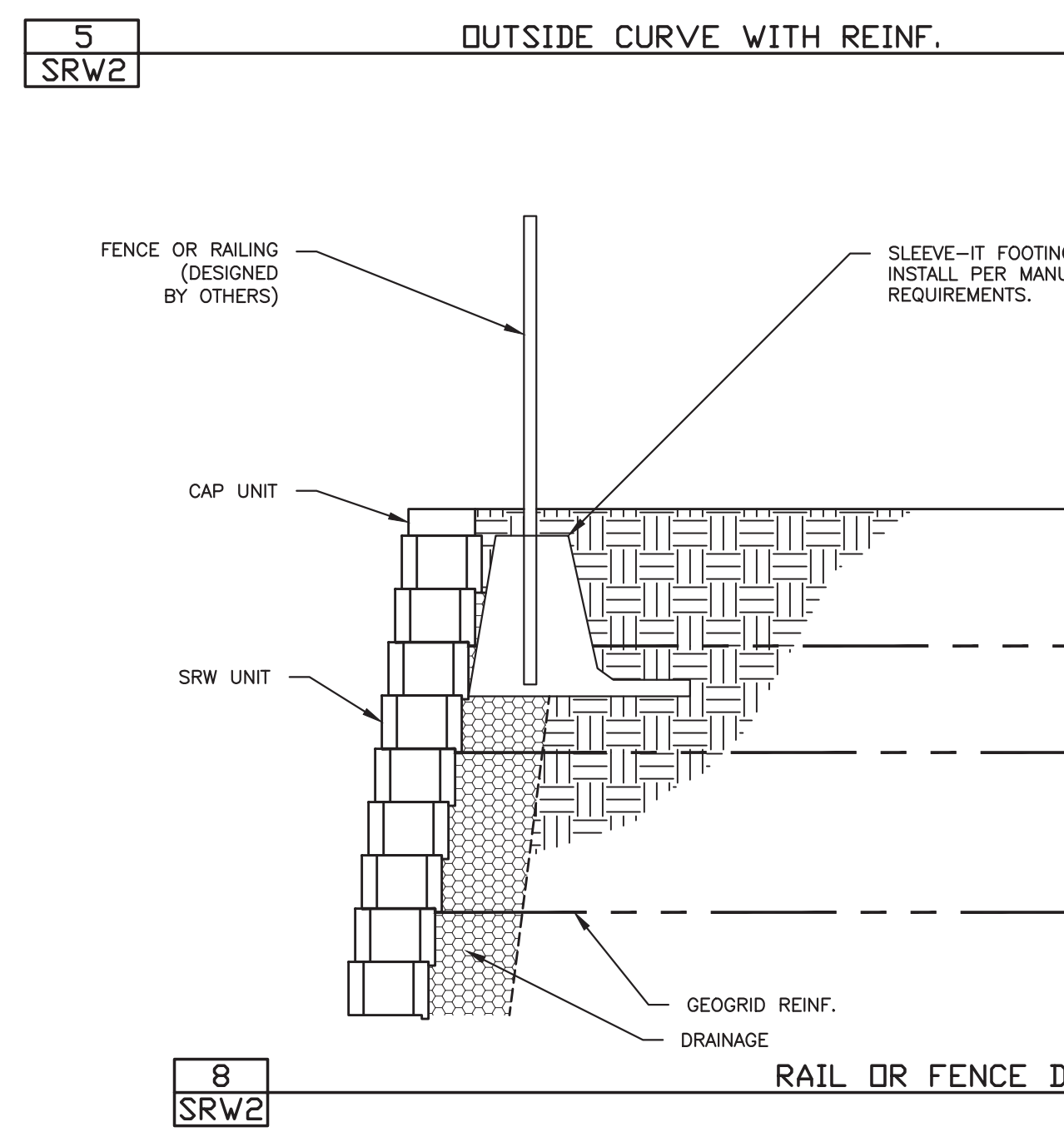
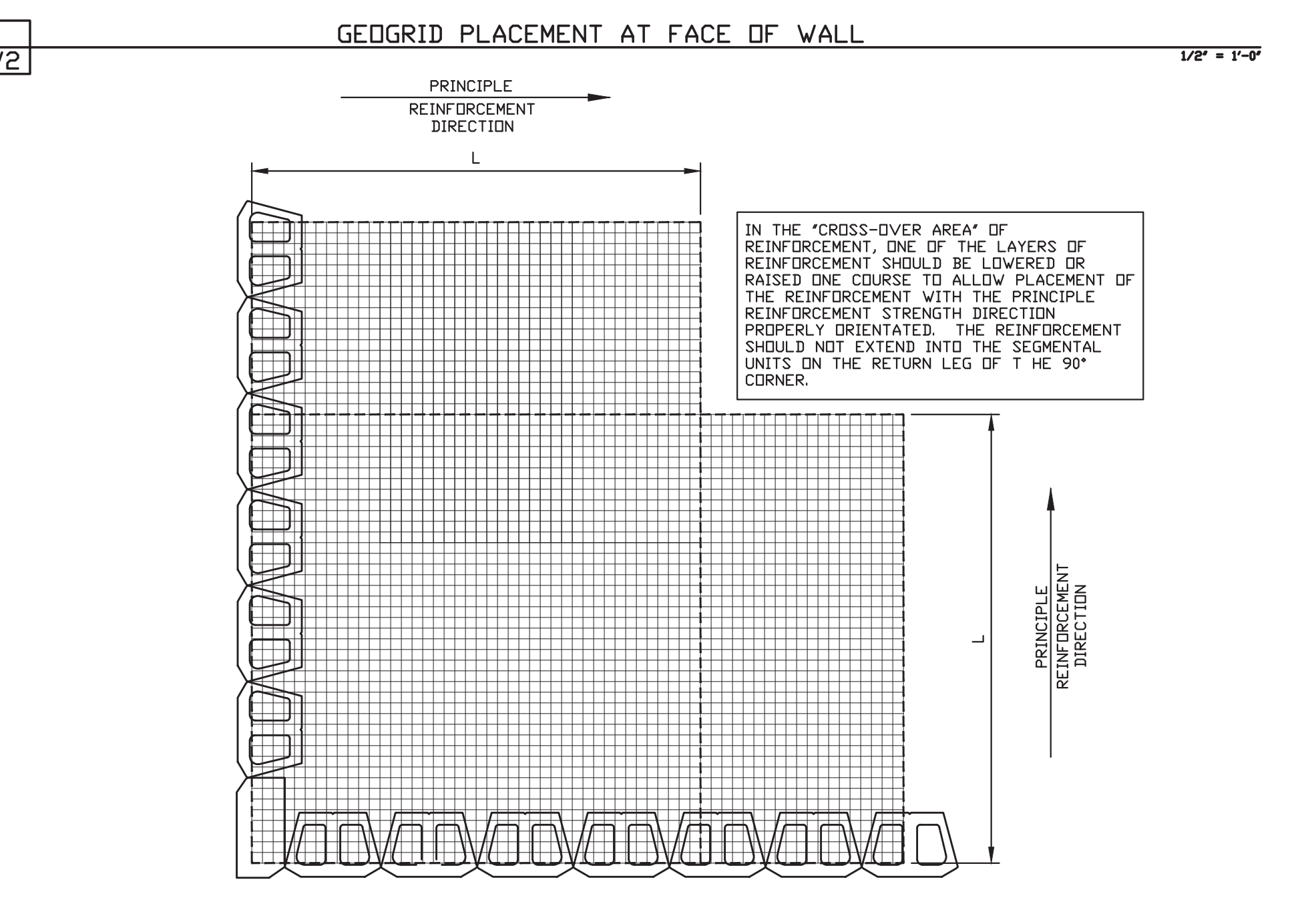
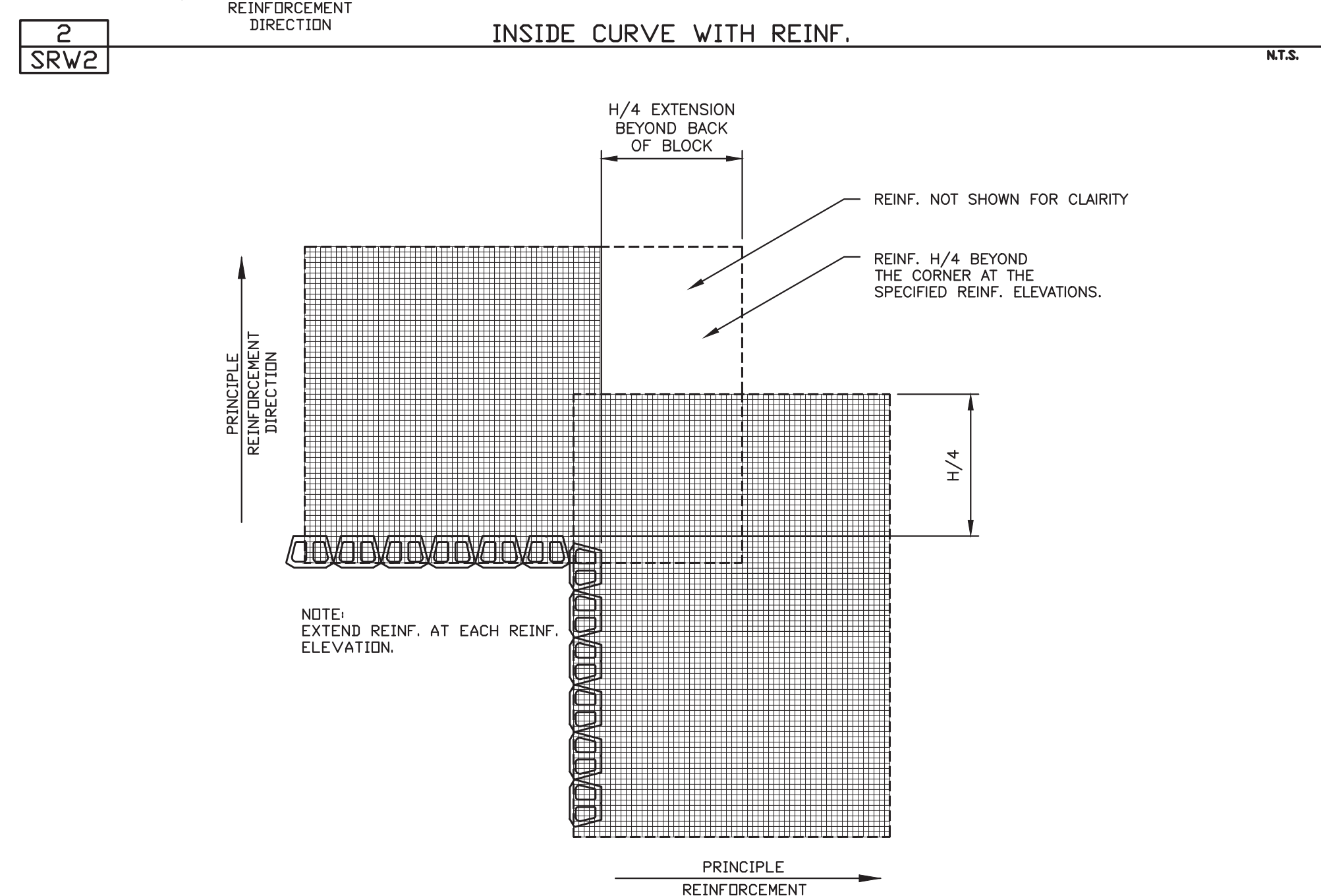
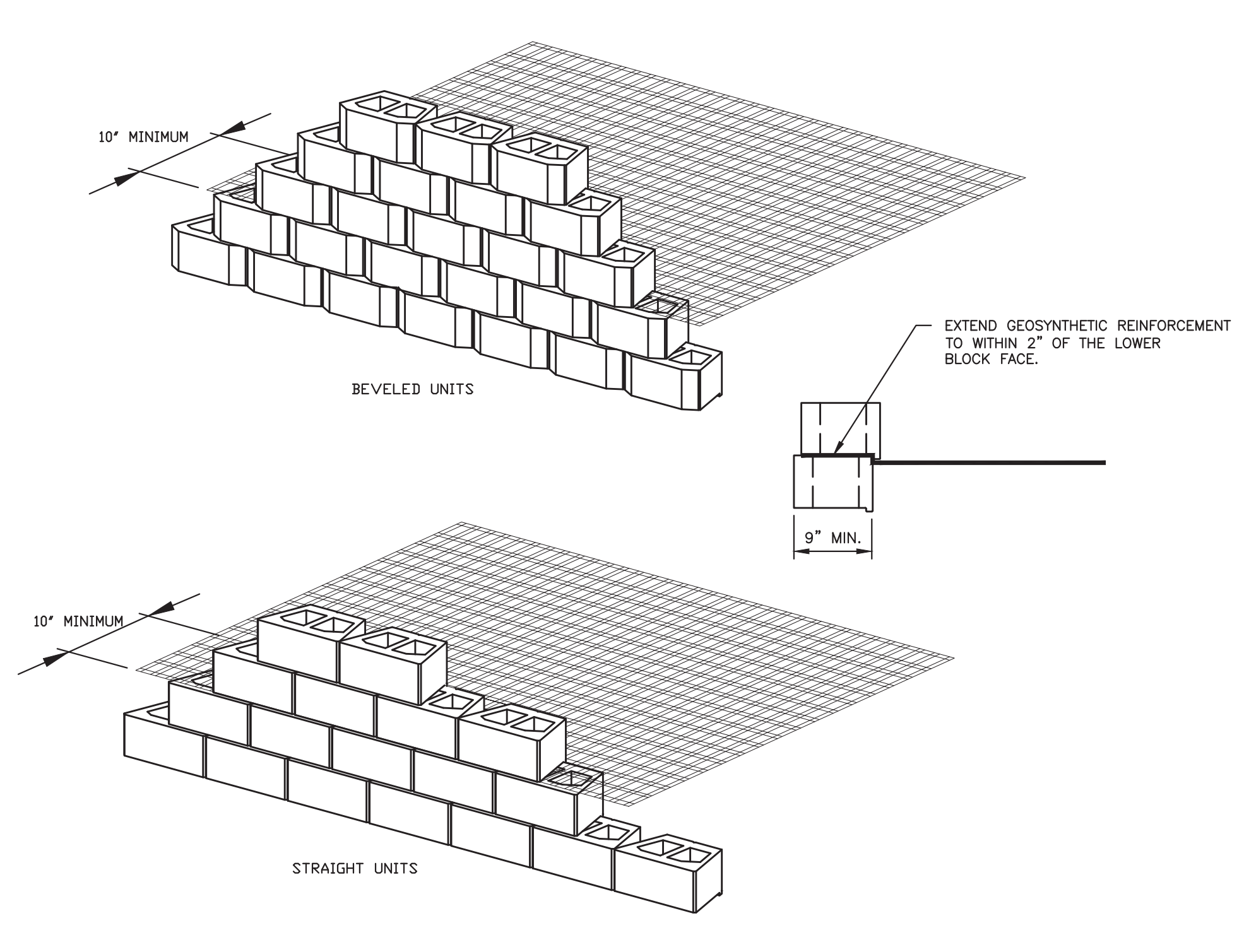
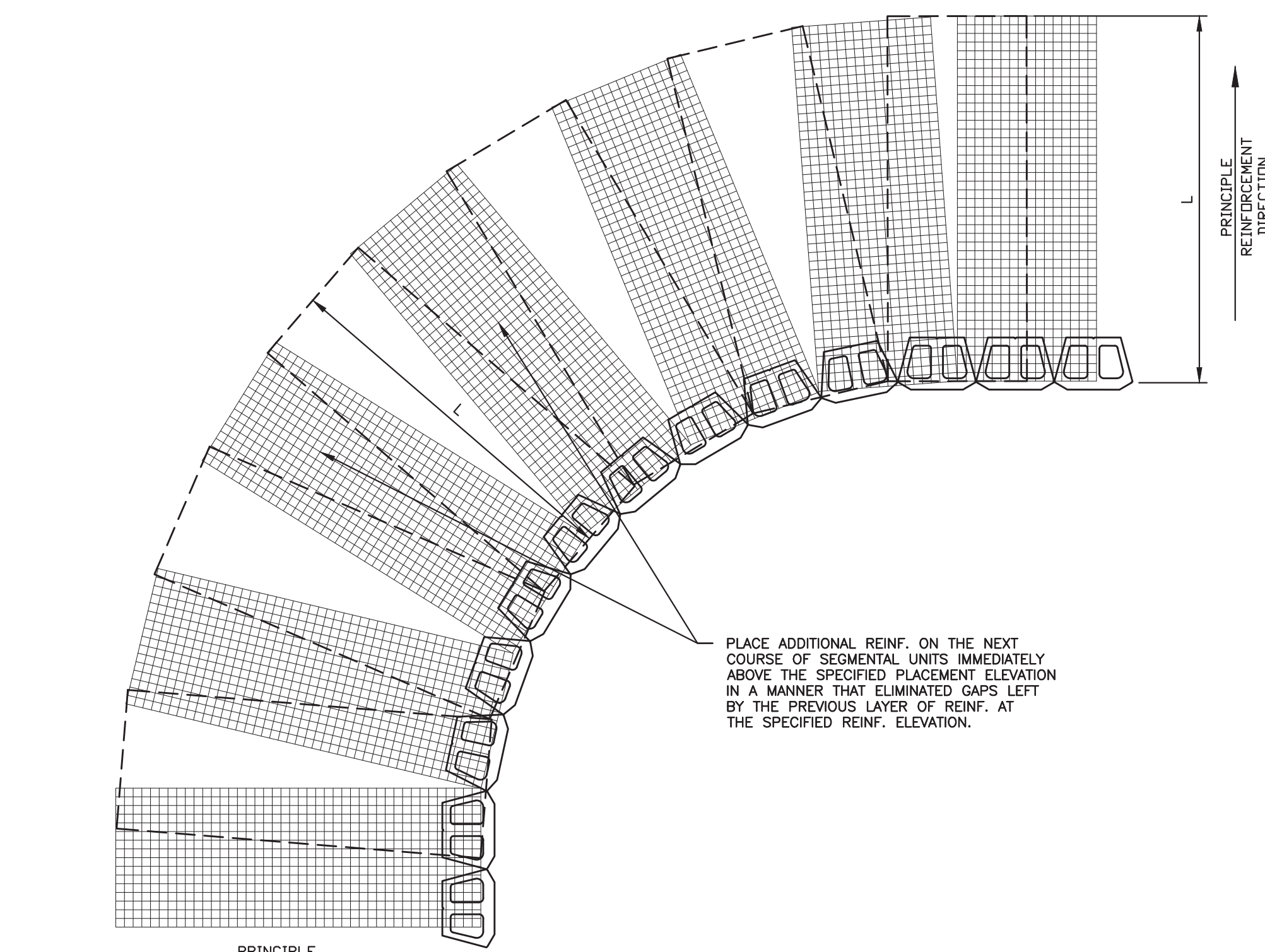
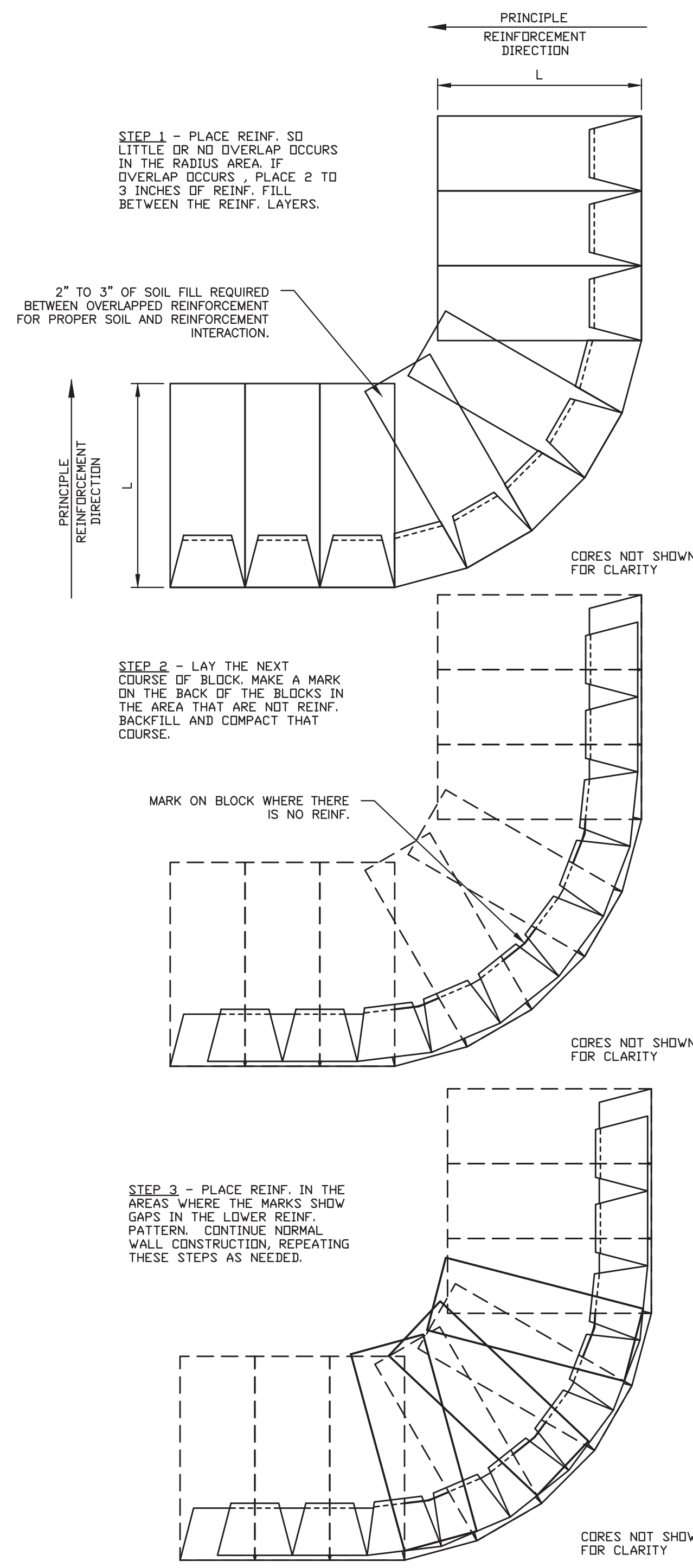
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03-23-23	AMB				

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 (817) 261-8300

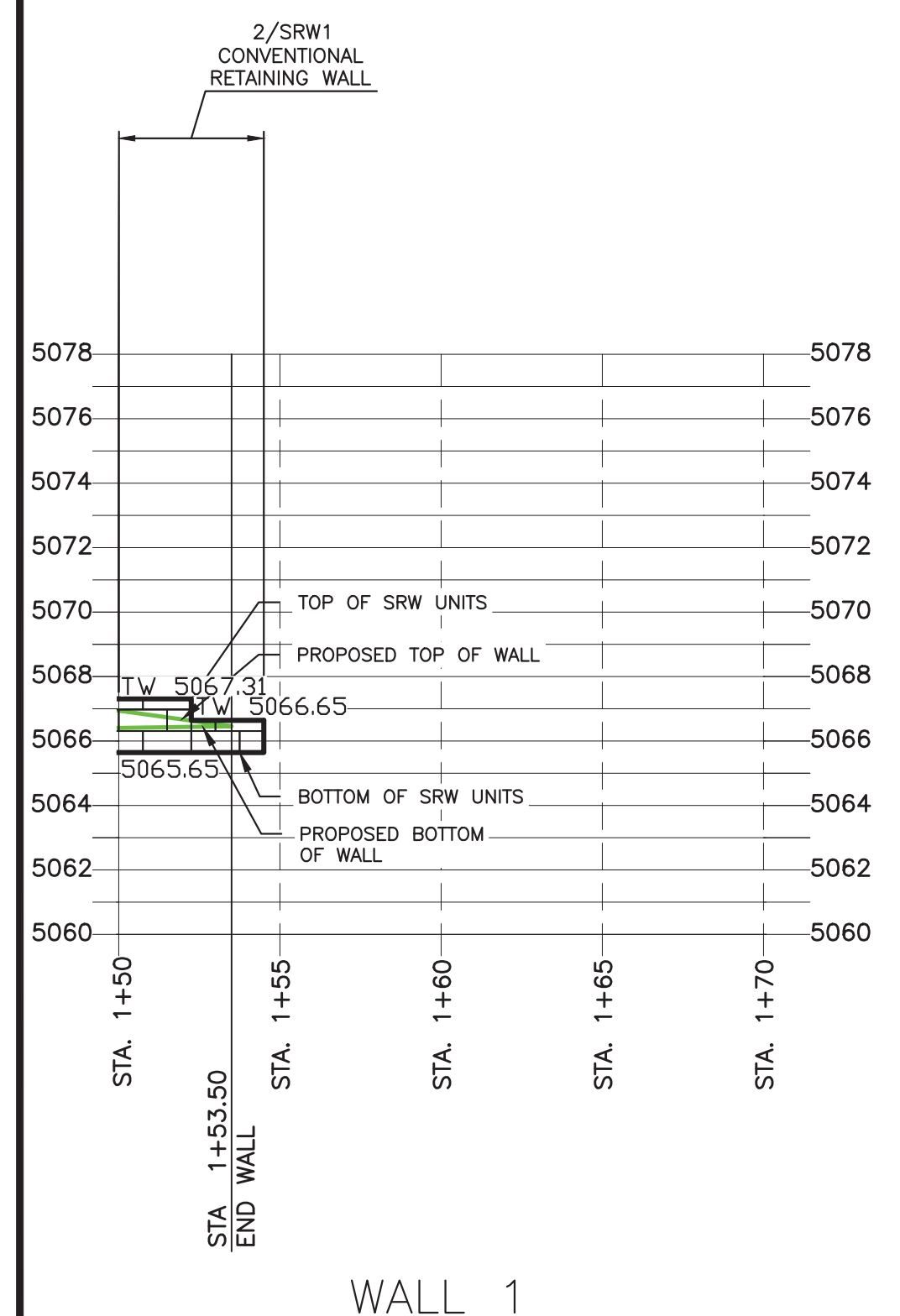
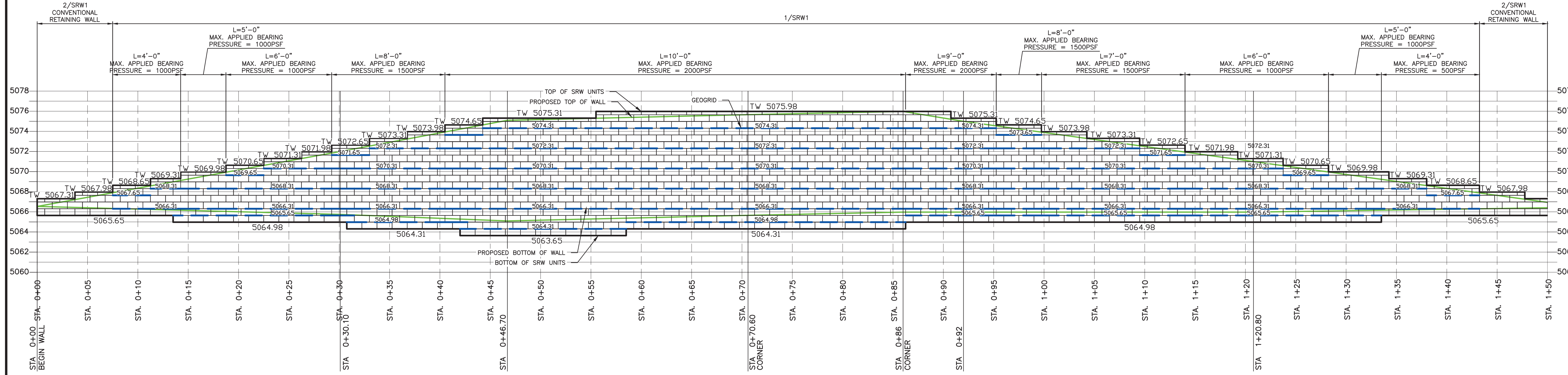
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SEGMENTAL BLOCK RETAINING WALL - GENERAL NOTES
 RAISING CANES - ALUMNI AT GIBSON NEC
 NEC OF GIBSON BOULEVARD SE AND ALUMNI DRIVE SE
 ALBUQUERQUE, NEW MEXICO

KIMLEY-HORN AND ASSOCIATES, INC.
 13455 NOEL ROAD, SUITE 700
 DALLAS, TEXAS 75240



DATE	BY	DES.	DRN.	CHK.	NO.	DATE	REVISION	BY
03-23-23	AMB	03-23-23	EG	03-23-23				
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WALL 1

WALL 1

MATERIAL QUANTITIES - WALL 1
 Square footage of Segmental Retaining Wall: 1,185.00 ft²
 Segmental Retaining Wall Reinforcement Area: 584.75 yd²
 Segmental Retaining Wall Backfill Volume: 309.12 yd³

- NOTES
- CAP BLOCK NOT SHOWN
 - LEVELING PAD NOT SHOWN
 - TW IS' CAP ELEVATION.
- LEGEND:
- MIRAFAI 3XT: ————

BY	REVISION	NO	DATE
AMB		03-23-23	
EG		03-23-23	
AMB		03-23-23	

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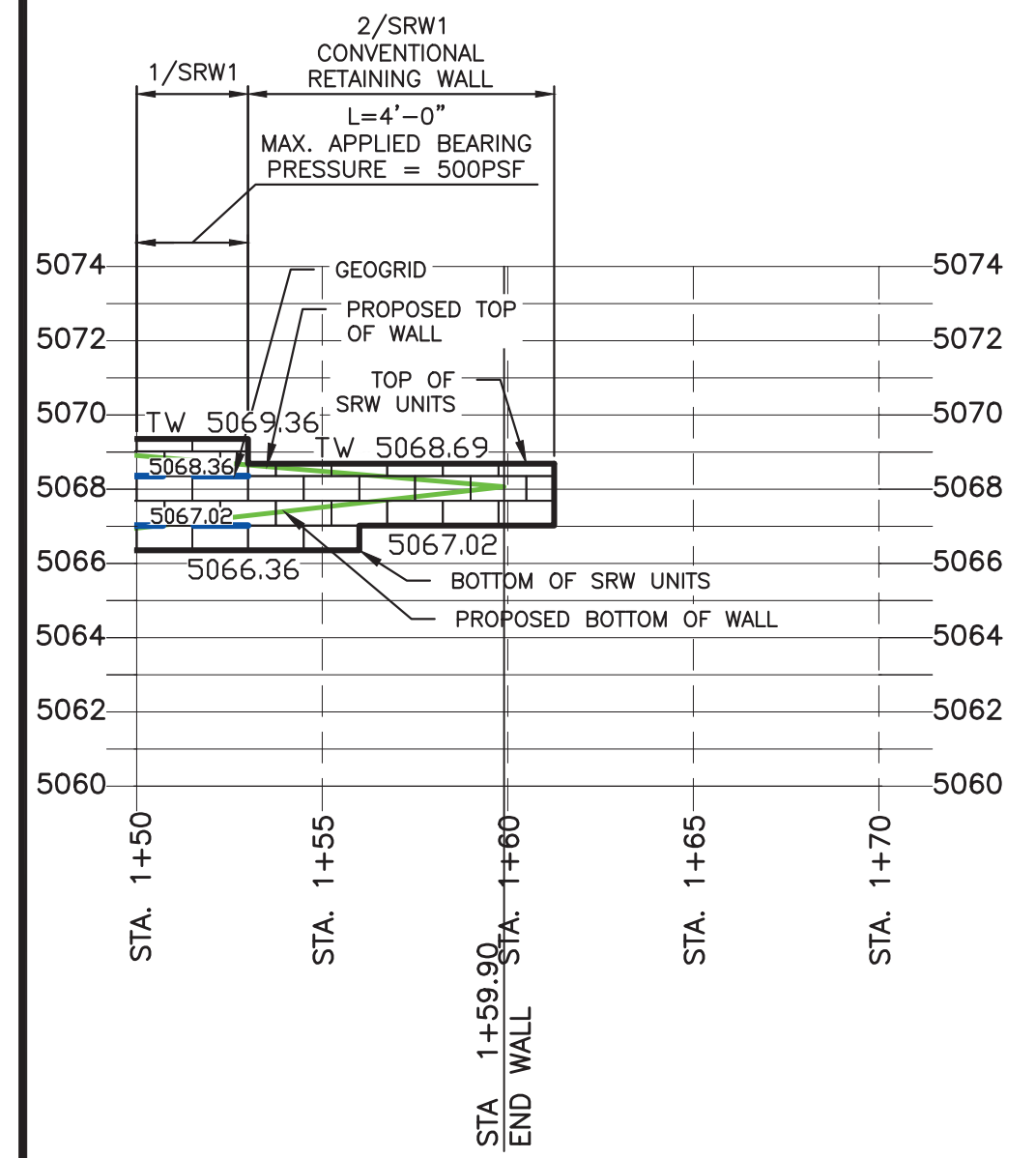
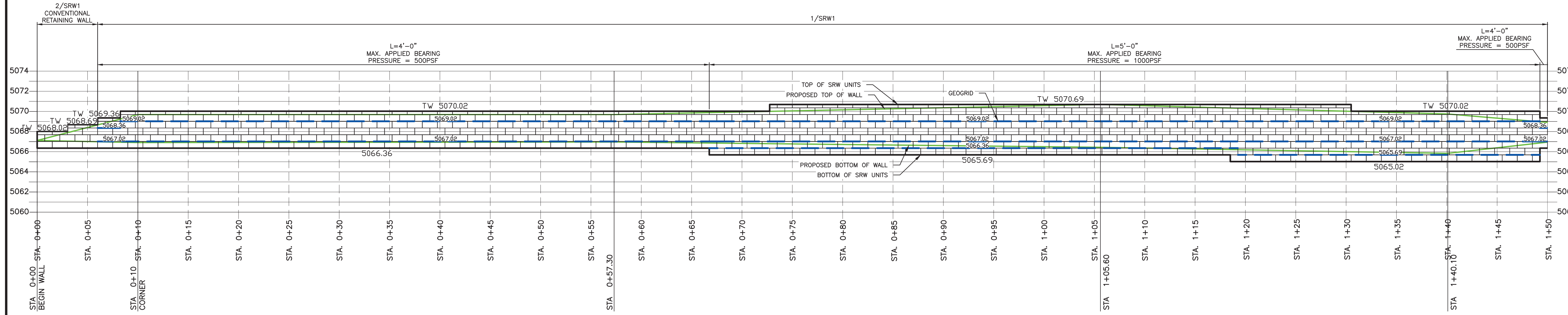
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SEGMENTAL BLOCK RETAINING WALL ELEVATION - WALL 1
 RAISING CANES - ALUMNI AT GIBSON NEC
 NEC OF GIBSON BOULEVARD SE AND ALUMNI DRIVE SE
 ALBUQUERQUE, NEW MEXICO

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 13455 NOEL ROAD, SUITE 700
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JOB NO. 1023.22

SRW3



WALL 2

MATERIAL QUANTITIES - WALL 2
 Square footage of Segmental Retaining Wall: 675.25 ft²
 Segmental Retaining Wall Reinforcement Area: 194.25 yd²
 Segmental Retaining Wall Backfill Volume: 85.63 yd³

- NOTES
- CAP BLOCK NOT SHOWN
 - LEVELING PAD NOT SHOWN
 - TW IS' CAP ELEVATION.
- LEGEND:
 - MIRAFLI 3XT: ————

DATE	BY	NO	DATE	REVISION	BY
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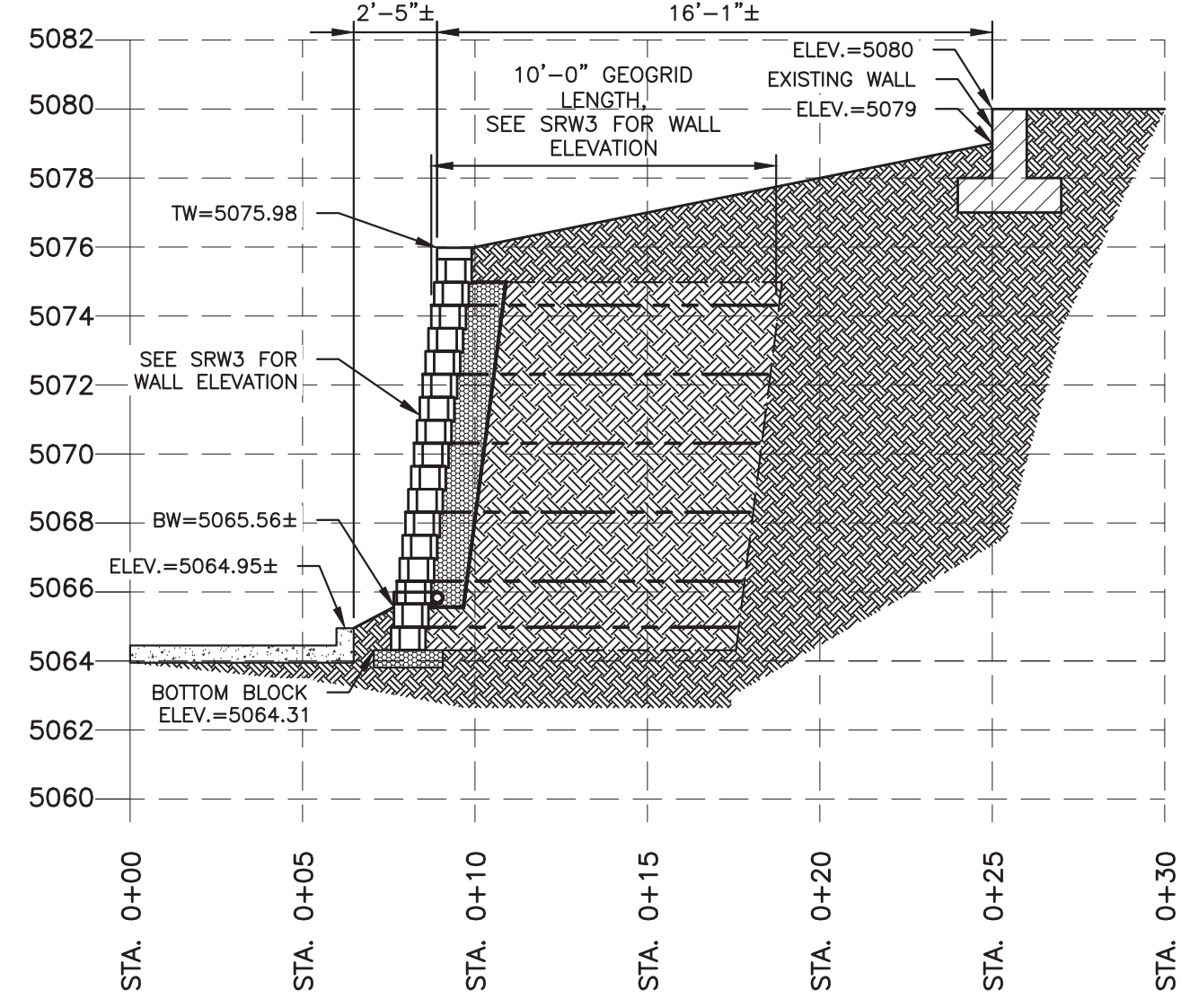
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SRW4

1
SRW5



WALL CROSS SECTION

SEGMENTAL BLOCK RETAINING WALL CROSS SECTION
 RAISING CANES - ALUMNI AT GIBSON NEC
 NEC OF GIBSON BOULEVARD SE AND ALUMNI DRIVE SE
 ALBUQUERQUE, NEW MEXICO
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SRW5

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				03-23-23	EG				
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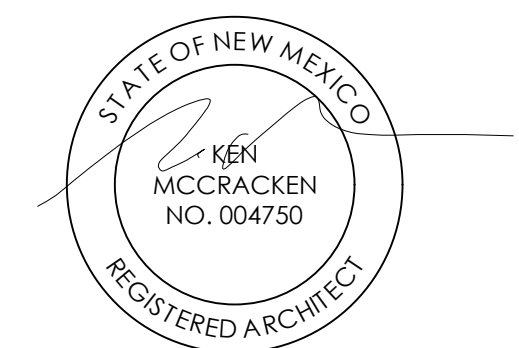
Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
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1401 Gibson Blvd SE
Albuquerque, NM
Restaurant #RC972
P6-V-AV

KEN MCCrackEN,
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9540 MAROON CIRCLE
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04/07/23
KJM/SPS

Prototype : P6-V-AV 2022-1.0 RELEASE

Prototype Issue Date: 09.22.2022

Kitchen Issue Date: ---

Design Bulletin Updates: ---

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PERMIT SET

DRAWING ISSUES	
09/12/2022	SOLID WASTE REVIEW
11/30/2022	UNIM SUBMITTAL
04/07/2023	FOR PERMIT RESPONSE TO COMMENTS

Sheet Title:
EXTERIOR ELEVATIONS

Date: 03.27.2023

Project Number: RAC22025.0

Drawn By: JM

Sheet Number:

A4.10

SYMBOL LEGEND

	WINDOW DESIGNATION
	KEY NOTE
	DOOR DESIGNATION
Room name	ROOM NAME & NUMBER
5555	
	DETAIL OR SECTION DESIGNATION
1 A07.3	
	INTERIOR ELEVATION MARK
1 A01	
	EXTERIOR ELEVATION MARK
1A4.1	
	FINISH TAG
?	

KEYED NOTES

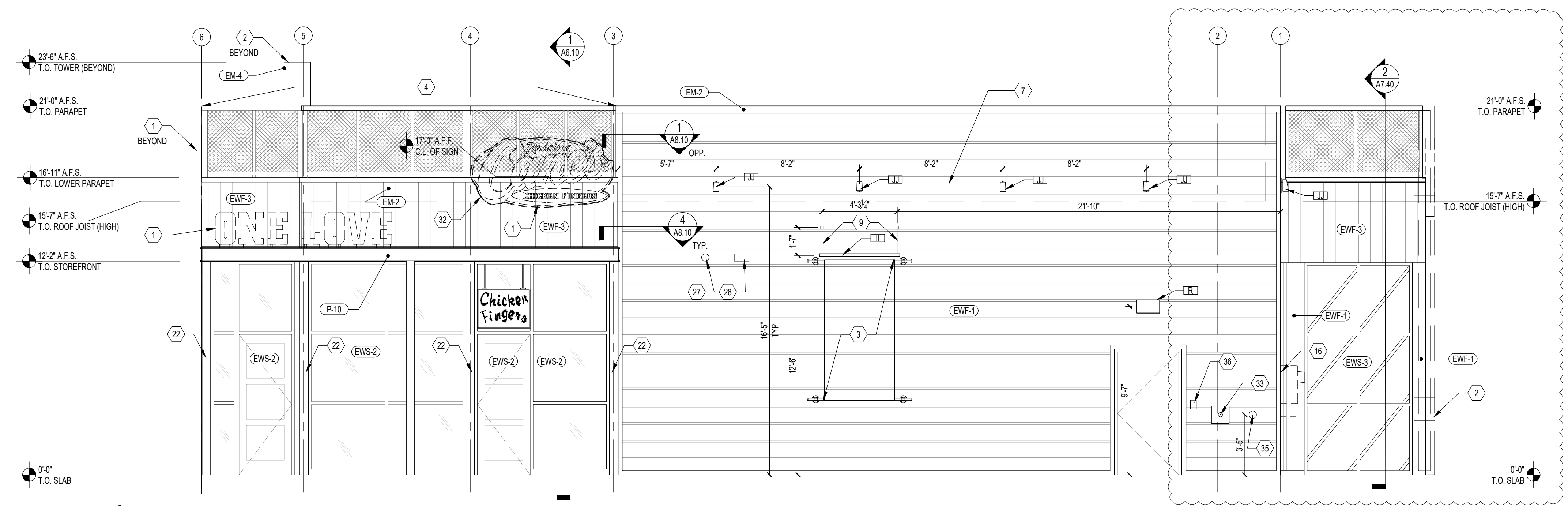
1	SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0" OVAL)
2	**1* ELEMENT BY OWNER.
3	WALL ART BY OWNER
4	MESH PARAPET, BY OWNER. PROVIDE BLOCKING AS REQ'D
5	METAL COUNTER FLASHING WHERE SLOPED ROOF ATTACHES TO EXTERIOR FINISH
6	PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY
7	BACK OF PARAPET, TOP OF ROOF LINE BEYOND
8	ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ
9	GLY WIRE ABOVE LIGHT FIXTURE, TYP.
10	PRE-FABRICATED OPENING IN MESH PARAPET PANEL FOR GAS LINE
12	METAL, GUTTER & DOWNSPOUT, FINISH AS NOTED, RE: CIVIL FOR CONTINUATION
14	STAINLESS STEEL SILL
16	UTILITY METERS & CONDUIT, PAINT TO MATCH ADJACENT CLADDING MATERIAL
19	GAS METER
22	BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
26	BLANK PLATE INSTALL ON EXTERIOR OF GLASS TO HIDE INTERIOR SIGNAGE
27	IT PENETRATION FOR SECURITY CAMERAS
28	EXTERIOR SPEAKERS
29	SECONDARY SCUPPER, RE: 5/ A8.40 AND 6/ A8.40.
31	4" BOLLARD W/ BLACK PLASTIC SLEEVE RE: 2/A0.30
32	2x WOOD BLOCKING REQUIRED IN WALL CAVITY. REFER TO WALL SECTIONS.
33	DARPRO OUTLET AND SECURITY BOX.
34	ORJA 4-DIGIT KEY STORAGE BOX
35	CO2 PORT
36	KNOX BOX COORDINATE WITH LOCAL AHJ
40	LOUVERED GRILLE WITH INSECT SCREEN

GENERAL NOTES

1	SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
2	CANOPIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET PCS. G.C. TO PERMIT CANOPIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
3	CONFIRM OUTDOOR SPEAKER LOCATIONS WITH I.T.
4	VERIFY ROOF FLAGS, LOGO SIGNS, PAINTED MURAL W/ SIGNAGE VENDOR.

SEALANT NOTES

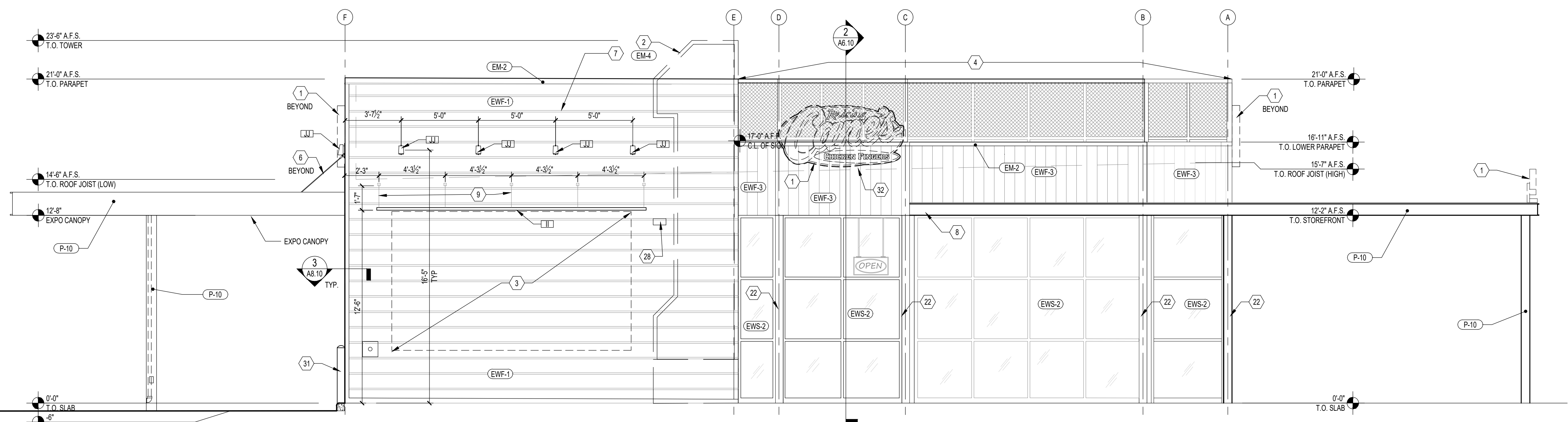
1	PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
2	MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS. AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



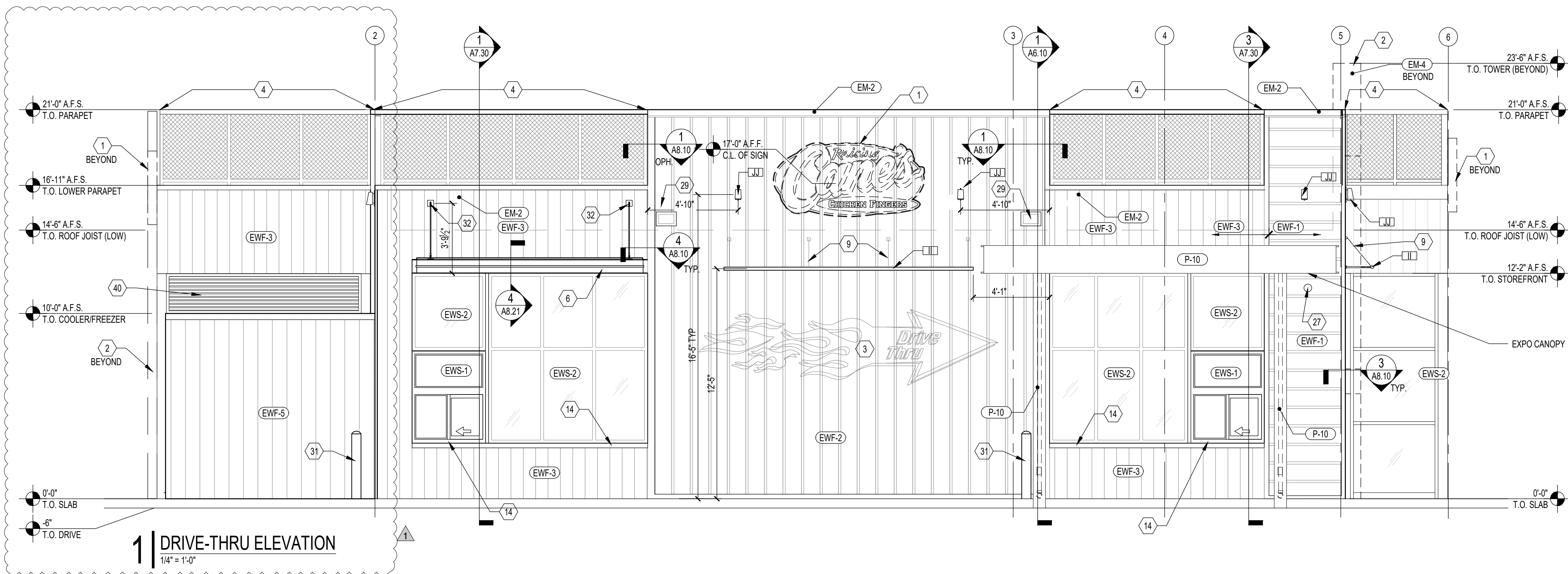
1 | SIDE ENTRY ELEVATION
1/4" = 1'-0"

SCHEDULE OF EXTERIOR MATERIALS

KEY	MATERIALS	MANUFACTURER	PRODUCT	COLOR / FINISH	DESCRIPTION
EM-1	STANDING SEAM ROOF	BERRIDGE	REFER TO SPEC	KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR
EM-2	METAL CAP FLASHING	REFER TO SPEC	REFER TO SPEC	KYNAR 500 MATTE BLACK	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR
EM-3	POWDER COATED STEEL	BY OWNER		CHARCOAL	METAL ACCENT PANEL
EM-4	METAL ACCENT PANELS	BY OWNER		DISTRESSED/SALVAGED RED	METAL PANELS TO BE APPLIED OVER METAL PANEL WALL EWF-1
EWF-1	METAL PANEL WALL	BERRIDGE	REFER TO SPEC	CLEAR ACRYLIC COATED GALVALUME	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR, INSTALL HORIZONTALLY
EWF-2	METAL PANEL WALL	BERRIDGE	REFER TO SPEC	CLEAR ACRYLIC COATED GALVALUME	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR, INSTALL VERTICALLY
EWF-3	ARCHITECTURAL PANELS	NICHIHA	VINTAGEWOOD	CEDAR	VERTICAL INSTALLATION
EWF-4	COMPOSITE LUMBER	TREX	TREX CLADDING	HAVANA GOLD	
EWF-5	ALUMINUM PANEL	PER EQUIPMENT VENDOR		MILL	
EWS-1	DRIVE-THRU WINDOW	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	
EWS-2	ALUMINUM STOREFRONT	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	
EWS-3	SPANDREL STOREFRONT	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	VENEERED SYSTEM



2 | FRONT ELEVATION
1/4" = 1'-0"



SYMBOL LEGEND

- WINDOW DESIGNATION
- KEY NOTE
- DOOR DESIGNATION
- Room name
 ROOM NAME & NUMBER
- Ref
 DETAIL OR SECTION DESIGNATION
- INTERIOR ELEVATION MARK
- EXTERIOR ELEVATION MARK
- FINISH TAG

KEYED NOTES

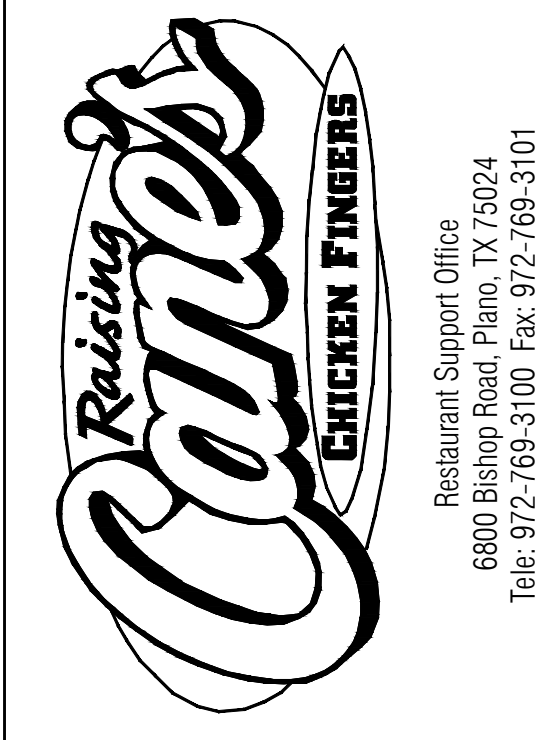
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SEALANT NOTES

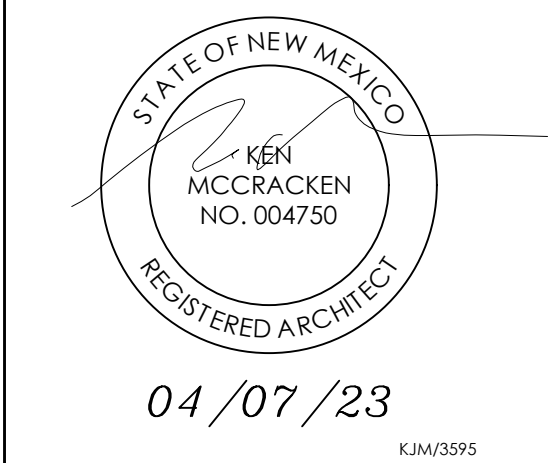
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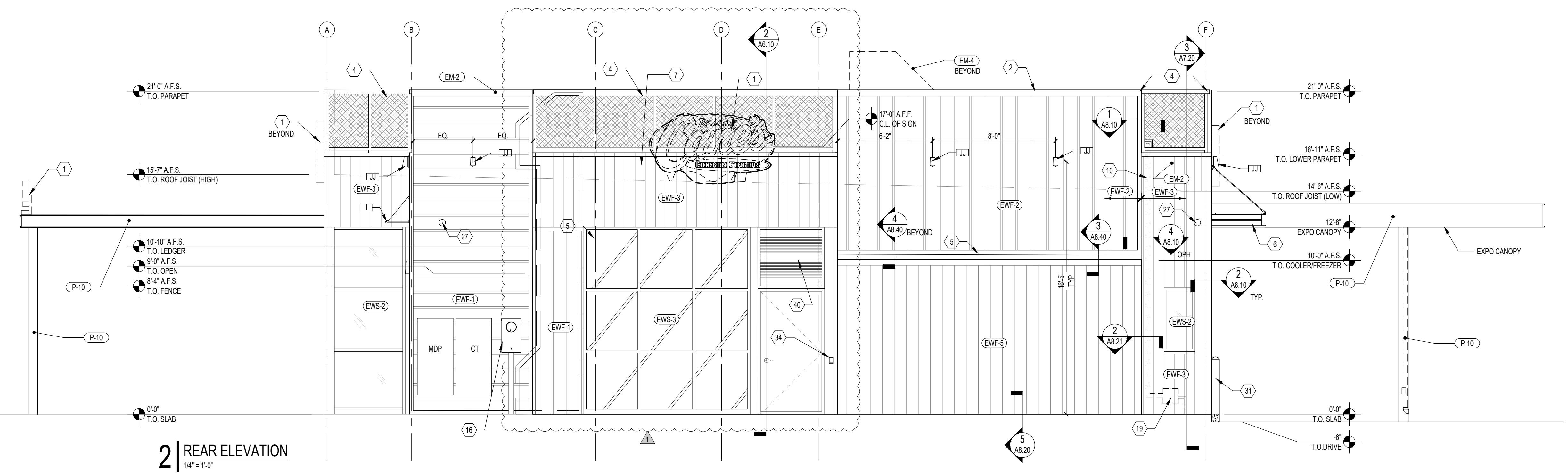
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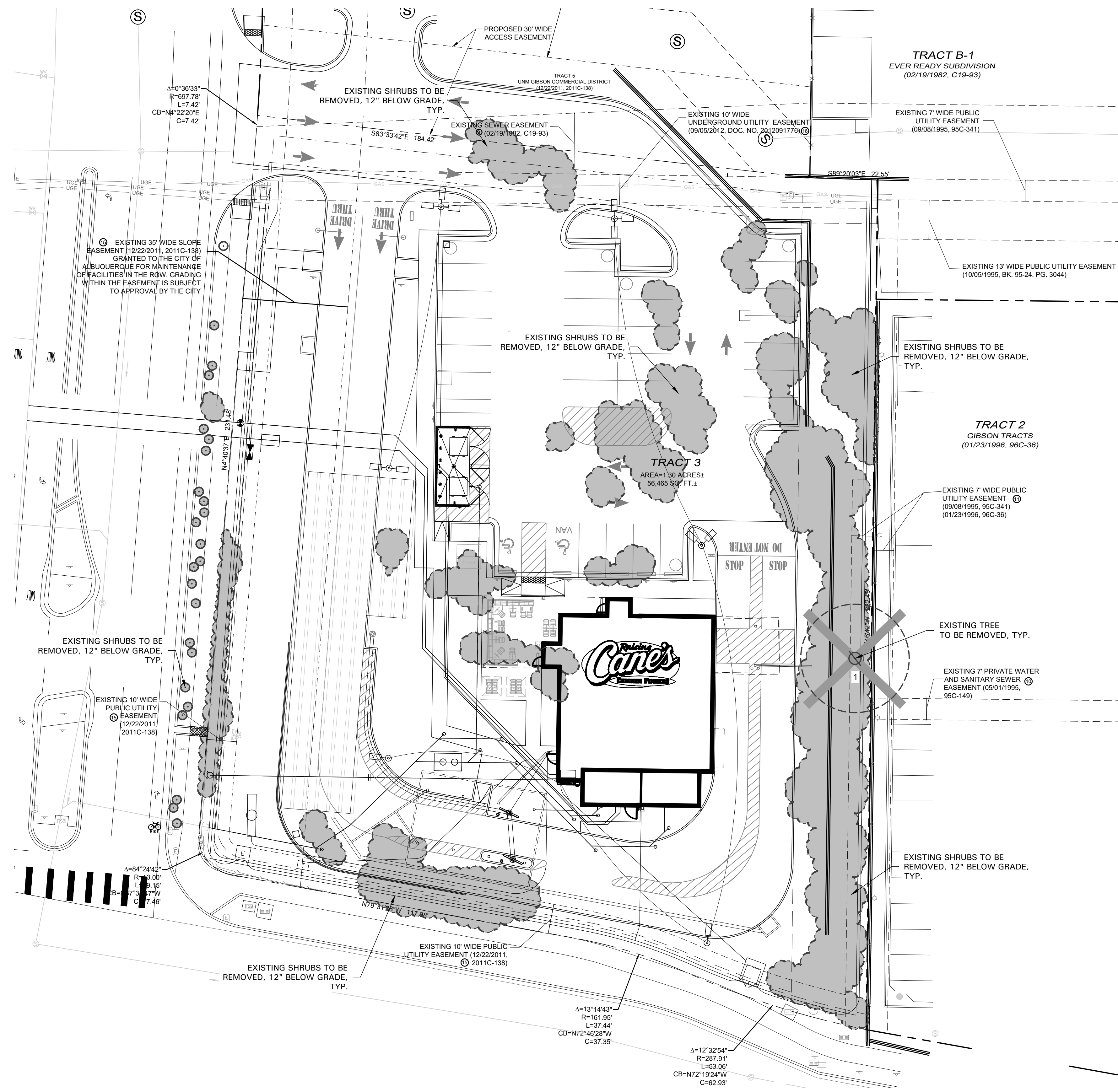
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EWF-2	METAL PANEL WALL	BERRIDGE	REFER TO SPEC	CLEAR ACRYLIC COATED GALVALUME	GALVANIZED STEEL SHEET W/ KYNAR FINISH STANDARD COLOR, INSTALL VERTICALLY
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EWS-1	DRIVE-THRU WINDOW	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	REFER TO WINDOW SCHED.	
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A4.20



TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1		TREE	TO BE REMOVED	

TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.01
- EXISTING SHRUBS TO REMAIN
- EXISTING SHRUBS TO BE REMOVED TO 12" BELOW GRADE, TYP.



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PM DESIGN
 Architectural Solutions Group

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KEH MCCracken, ARCHITECT



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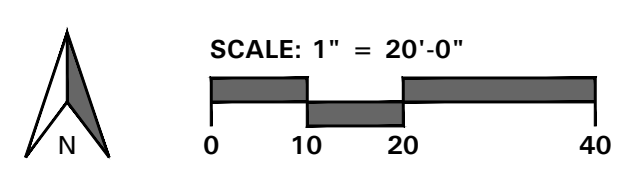
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PERMIT SET

09/12/2022	SOLID WASTE REVIEW
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1 05/12/2023	CITY COMMENTS
2 06/21/2023	CITY COMMENTS
3	
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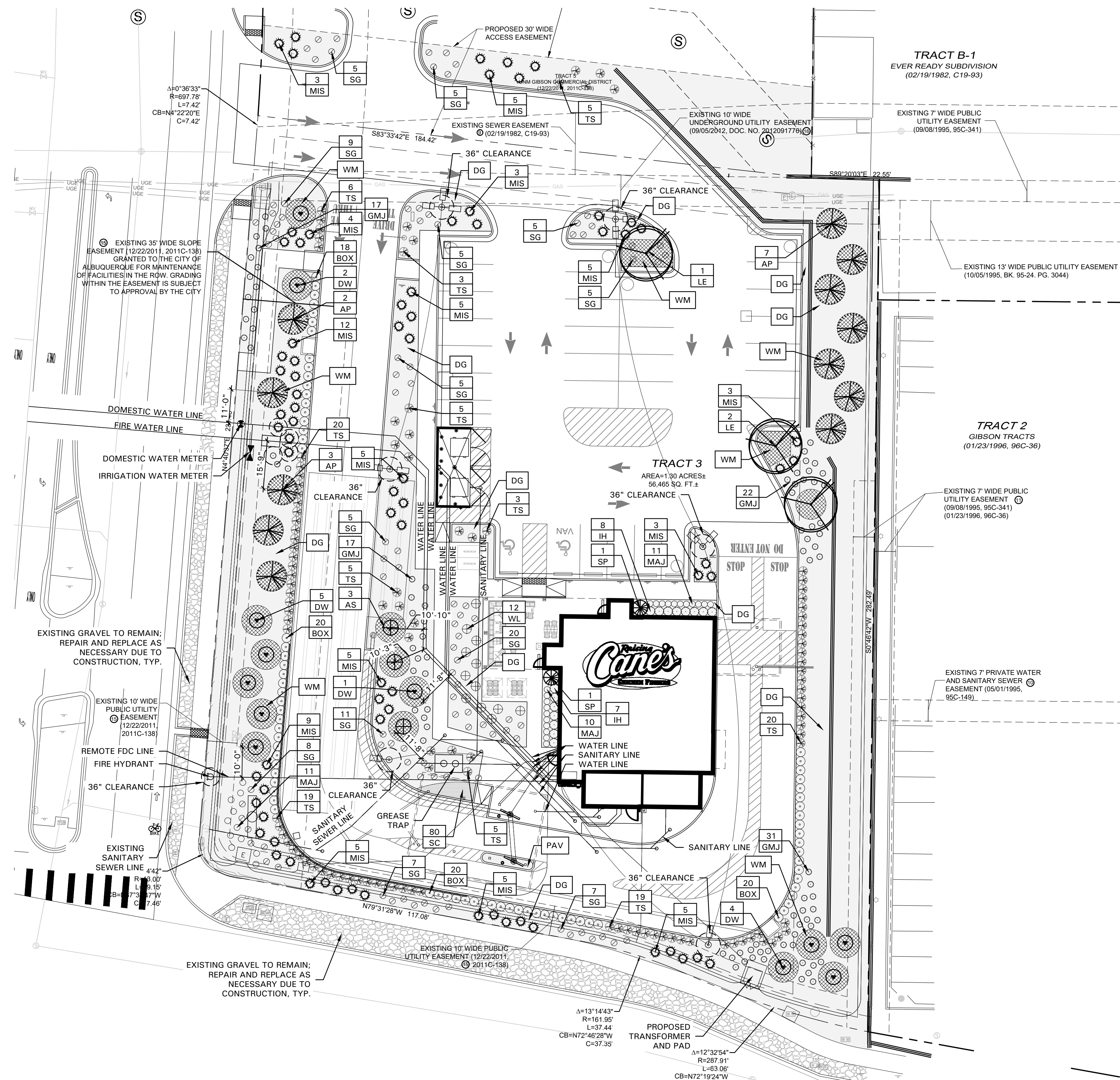
Sheet Title:
TREE PRESERVATION PLAN
 Date: 03.27.2023
 Project Number: RAC22025.0
 Drawn By: JM

Sheet Number:



4245 North Central Expy
 Suite 501
 Dallas, Texas 75205
 214.865.7192 office

L1.01



PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WATER USE	QTY.	SIZE	REMARKS	MATURE SIZE POINTS	TOTAL
TREES								
AP	<i>Pinus eldarica</i>	Afghan Pine	Medium	12	2" cal.	B&B or container grown, 6' ht., full to base, 3' spread	40'X18'	50
AS	<i>Picea glauca 'Conica'</i>	Dwarf Alberta Spruce	Medium	3	15 gal.	B&B or container grown, full to base, 3' spread	7'x3'	12
DW	<i>Chilopsis linearis</i>	Desert Willow	Low	12	2" cal.	container grown, 3-5 trunk, 8' ht. min., 4' spread min.	20'X25'	55
LE	<i>Ulmus parvifolia 'Sempervirens'</i>	Lacebark Elm	Medium	3	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching	40'x40'	50
SHRUBS/GROUND COVER								
BOX	<i>Buxus microphylla 'Winter Gem'</i>	Winter Gem Boxwood	Medium	78	5 gal.	container full, 20" spread, 36" o.c.	4'x4'	15
GMJ	<i>Juniperus procumbens 'Nana'</i>	Green Mound Juniper	Low	87	5 gal.	container full, 20" spread, 24" o.c.	2'x4'	35
IH	<i>Raphiolepis indica 'Bay Breeze'</i>	Indian Hawthorne 'Bay Breeze'	Medium	15	5 gal.	container full, 20" spread, 24" o.c.	3'x4'	20
MAJ	<i>Juniperus sabina 'Mini Arcade'</i>	Mini Arcade Juniper	Low	32	5 gal.	container full, 20" spread, 24" o.c.	1'x4'	35
MIS	<i>Miscanthus sinensis 'Adagio'</i>	Miscanthus 'Adagio'	Medium	77	5 gal.	container full, 36" o.c.	5'x5'	15
SC		Seasonal Color	Medium	80	4" pots	container full, 12" o.c., selection by Owner	1'x1'	10
SG	<i>Salvia greggii 'Red'</i>	Salvia Greggii	Low	97	5 gal.	container full, 20" spread 24" o.c.	3'x4'	20
SP	<i>Juniperus chinensis 'Spartan'</i>	Spartan Juniper	Low	4	15 gal.	B&B or container grown, full to base, 3' spread	15'x5'	50
TS	<i>Leucophyllum frutescens 'Green Cloud'</i>	Texas Sage 'Green Cloud'	Low	111	5 gal.	container full, 20" spread, 24" o.c.	6'x6'	30
WL	<i>Ligustrum japonica</i>	Wax Leaf Ligustrum	Medium	12	5 gal.	container full, 20" spread, 36" o.c.	8'x6'	20
MISCELLANEOUS								
DG		Decorative Gravel				'Santa Fe Brown' decorative gravel, 3" depth with weed barrier fabric refer to 03/L2.02		
PAV		Concrete Pavers				refer to Specifications 2.2D/L2.02		
WM		Wood Mulch				refer to Specifications 2.2D/L2.02		

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
 PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
 ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

CITY OF ALBUQUERQUE NOTES

- 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9 FOOT CLEARANCE OVER THE STREET SURFACE.

CONCRETE PAVER NOTES

- CONTRACTOR SHALL ADHERE TO THE MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND ANY OTHER REQUIREMENTS OUTLINED BY THE MANUFACTURER FOR ALL PAVER INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO COMMENCING ANY WORK.
- CONCRETE PAVERS SHALL BE:
 - BELGARD® LEGACY SERIES
 - MODEL: HOLLAND STONE
 - PATTERN: HERRINGBONE
 - COLOR: CHARCOAL
- CONTRACTOR SHALL SUBMIT A STANDARD COLOR SAMPLE BOARD TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR FINAL COLOR SELECTION PRIOR TO PLACING ORDER.
- THE FINAL COLOR SELECTION SHALL BE MADE BY THE OWNER'S AUTHORIZED REPRESENTATIVE ON-SITE.
- CONCRETE PAVERS AVAILABLE FROM:
 - WWW.BELGARD.COM
- THE CONTRACTOR SHALL CONSTRUCT A SAMPLE PANEL 4'-0" BY 4'-0" ON-SITE, AT NO EXPENSE TO THE OWNER, FOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
- THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY AND ALL WORK EXECUTED BY THE CONTRACTOR WHICH DOES NOT MEET HIS/HER EXPECTATIONS AND THE MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL MAKE ANY MODIFICATIONS REQUIRED BY THE OWNER'S AUTHORIZED REPRESENTATIVE AT NO EXPENSE TO THE OWNER.

LANDSCAPE TABULATIONS

THE CITY OF ALBUQUERQUE, NEW MEXICO

SITE LANDSCAPE REQUIREMENTS

- The total landscaped area required for each development shall equal not less than 15% of the net lot area.
- Tree canopies and ground-level plants shall cover a minimum of 75% of the total landscaped area.
- Of the required vegetative coverage, a minimum of 25% shall be provided as ground-level plants.

Total Site: 56,428 s.f.
 Building Pad: 2,818 s.f.
 Net Lot Area: 53,610 s.f.

Required	Provided
8,042 s.f. (15%)	19,424 s.f. (36%)
6,115 s.f. (75%)	14,336 s.f.
3,770 s.f. (25%)	12,830 s.f.

Total Landscape Area: 19,424 s.f.
 Ground-level vegetative coverage: 12,830 s.f. (66%)
 Organic Mulch Area: 2,446 s.f. (13%)
 Gravel Groundcover Area: 4,148 s.f. (21%)

STREET TREES

- One (1) tree every 25 feet on center along street frontage.
 - ALUMNI DRIVE SE: 228 I.F.

Required	Provided
(9) trees, 2" cal.	(9) trees, 2" cal.
 - GIBSON BOULEVARD SE: 223 I.F.

Required	Provided
(9) trees, 2" cal.	(9) trees, 2" cal.

 *provided in alternate location due to easement conflict

PARKING LOT INTERIOR

- One (1) tree is required per 10 parking spaces.
 - No parking space may be more than 100 feet in any direction from a tree trunk.
 - At least 75% of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.
- | | | |
|--------------------|---------------|----------------|
| Parking Spaces: 30 | Required: | Provided: |
| | (3) trees | (3) trees |
| | 75% deciduous | 100% deciduous |

DRIVE THROUGH SCREENING

- Drive-through lanes adjacent to public rights-of-way shall be screened by a landscape buffer area at least 6 feet wide containing a vegetative screen or wall constructed of a material similar in texture, appearance, and color to the street facing facade of the primary building.

Required:	Provided:
36" vegetative screen	36" vegetative screen
Screen wall	Screen wall



Restaurant Support Office
 6800 Bishop Road, Plano, TX 75024
 Tel: 972-765-3100 Fax: 972-769-3101



9540 MAROON CIRCLE SUITE 260
 ENGLEWOOD, CO 80112
 CONTACT: JOHN HULSEZ
 PHONE: 480-301-0250
 EMAIL: JHULSEZ@PMDSG.COM

KEH MCCrackEN, ARCHITECT



Prototype : P6-V-AV-2022-1.0 RELEASE

Prototype Issue Date: 09.22.2022

Kitchen Issue Date: ---

Design Bulletin Updates: ---

Date Issued: Bulletin Number: ---

PERMIT SET

Date	DESCRIPTION
09/12/2022	SOLID WASTE REVIEW
11/30/2022	UNM SUBMITTAL
04/07/2023	FOR PERMIT
05/12/2023	CITY COMMENTS
06/21/2023	CITY COMMENTS
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Sheet Title:

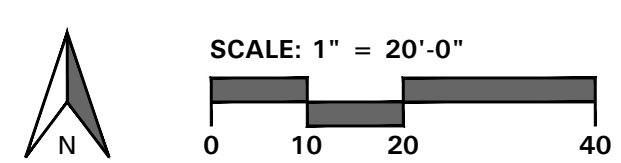
LANDSCAPE PLAN

Date: 03.27.2023

Project Number: RAC22025.0

Drawn By: JM

Sheet Number:



4245 North Central Expy
 Suite 501
 Dallas, Texas 75205
 214.865.7192 office

L2.01

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.
- 1.2 DESCRIPTION OF WORK
 - A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
 - 1. Planting (trees, shrubs and grasses)
 - 2. Bed preparation and fertilization
 - 3. Notification of sources
 - 4. Water and maintenance until final acceptance
 - 5. Guarantee
- 1.3 REFERENCE STANDARDS
 - A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
 - B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
 - C. New Mexico Association of Nurserymen, Grades and Standards
 - D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.
- 1.5 JOB CONDITIONS
 - A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
 - B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 - 1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
 - 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 - 2. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 - 3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - 4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- 6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- 7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 - 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
 - 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- B. Delivery:
 - 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
 - 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
 - 3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
 - 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
 - 5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
 - 6. Remove rejected plant material immediately from job site.
 - 7. To avoid damage or stress, do not lift, move, adjust to load, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 - 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - 2. Physical properties as follows:
 - a. Clay - between 7-27 percent
 - b. Silt - between 15-25 percent
 - c. Sand - less than 52 percent
 - 3. Organic matter shall be 3%-10% of total dry weight.
 - 4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
- C. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- D. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown unless otherwise specified on plans.
- E. Organic Fertilizer: Fertilid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- F. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- G. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 18" long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products or approved equal.
- E. River Rock: 'Colorado' or native river rock, 2" - 4" dia.
- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 - 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - 2. All planting areas shall receive a three (3") inch layer of specified mulch.
 - 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 - 1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect if the percolation test fails.
- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from

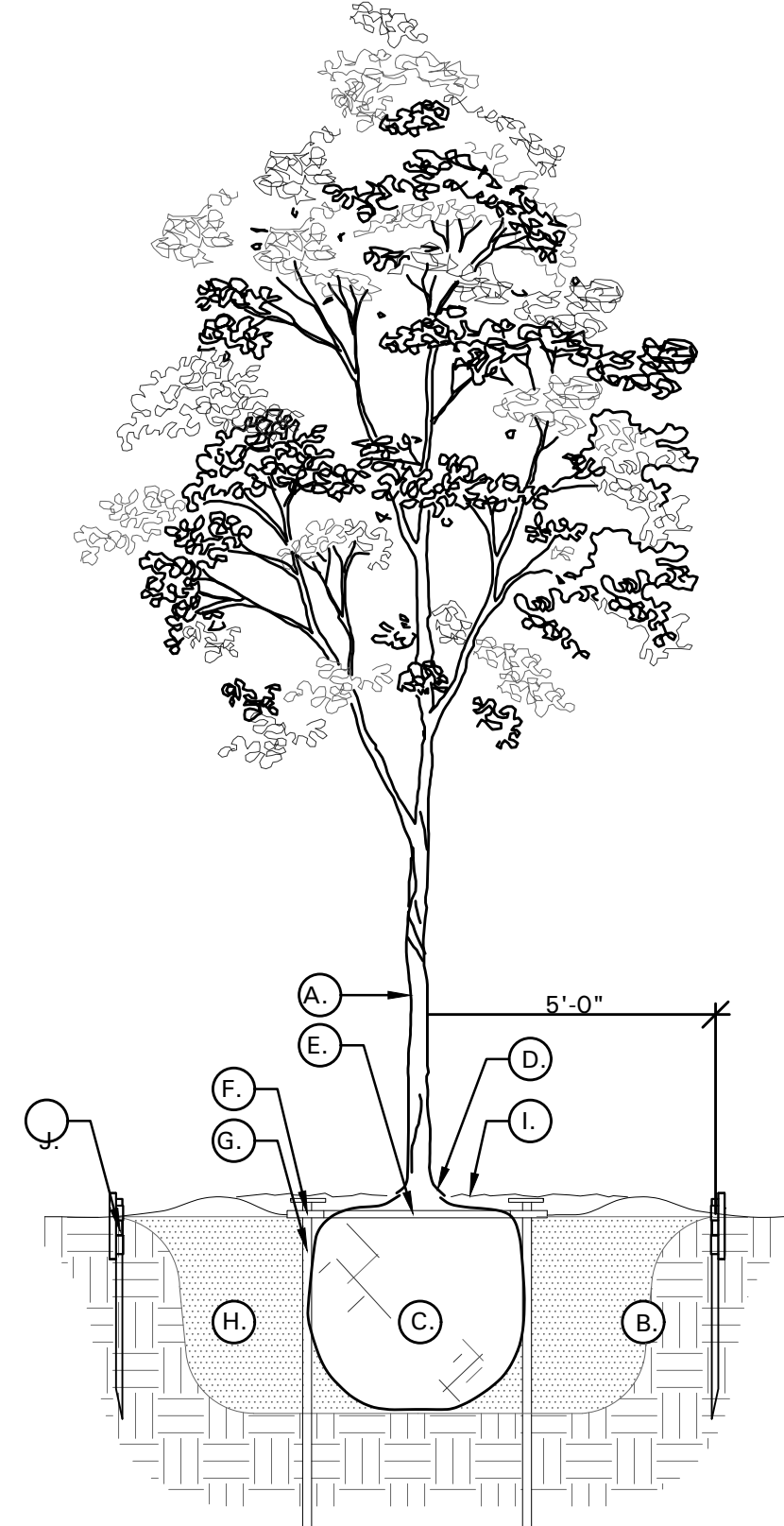
the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/2 of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of 'root scoring'.

- J. Do not wrap trunks.
- K. Do not use trees.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least three (3") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of three (3") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where obstructions cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
 - 1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
 - 2. Pruning shall be done with clean, sharp tools.
 - 3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
- Q. Steel Curbing Installation:
 - 1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 - 2. All steel curbing shall be free of kinks and abrupt bends.
 - 3. Top of curbing shall be 1/2" maximum height above final finished grade.
 - 4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 - 5. Do not install steel edging along sidewalks or curbs.
 - 6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paving areas clean by sweeping or hosing them at end of each work day.

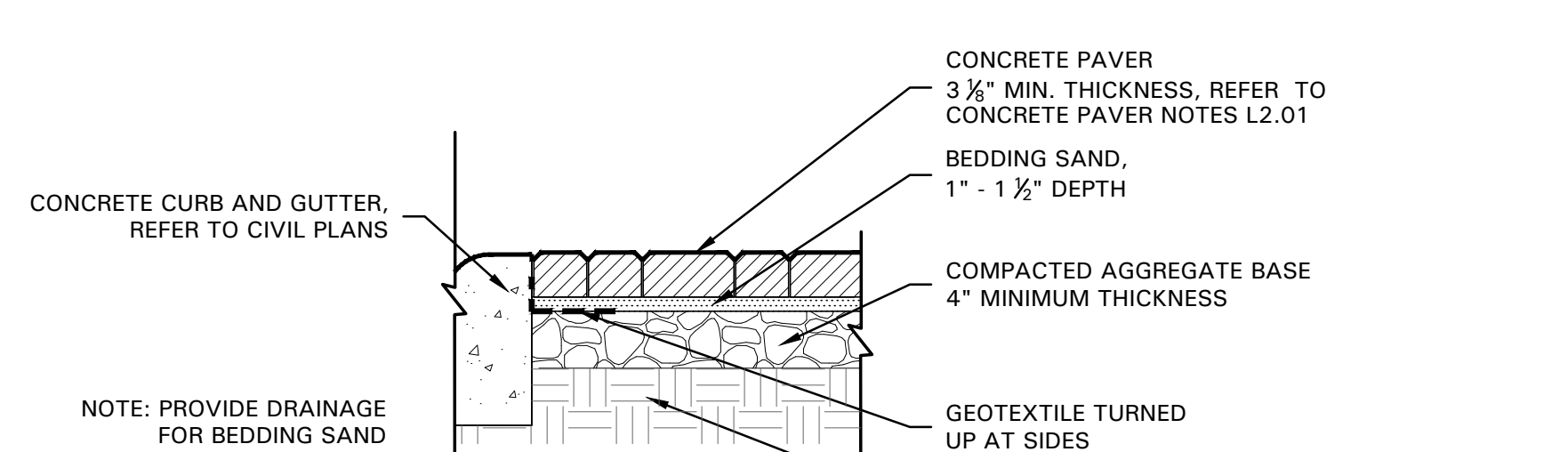
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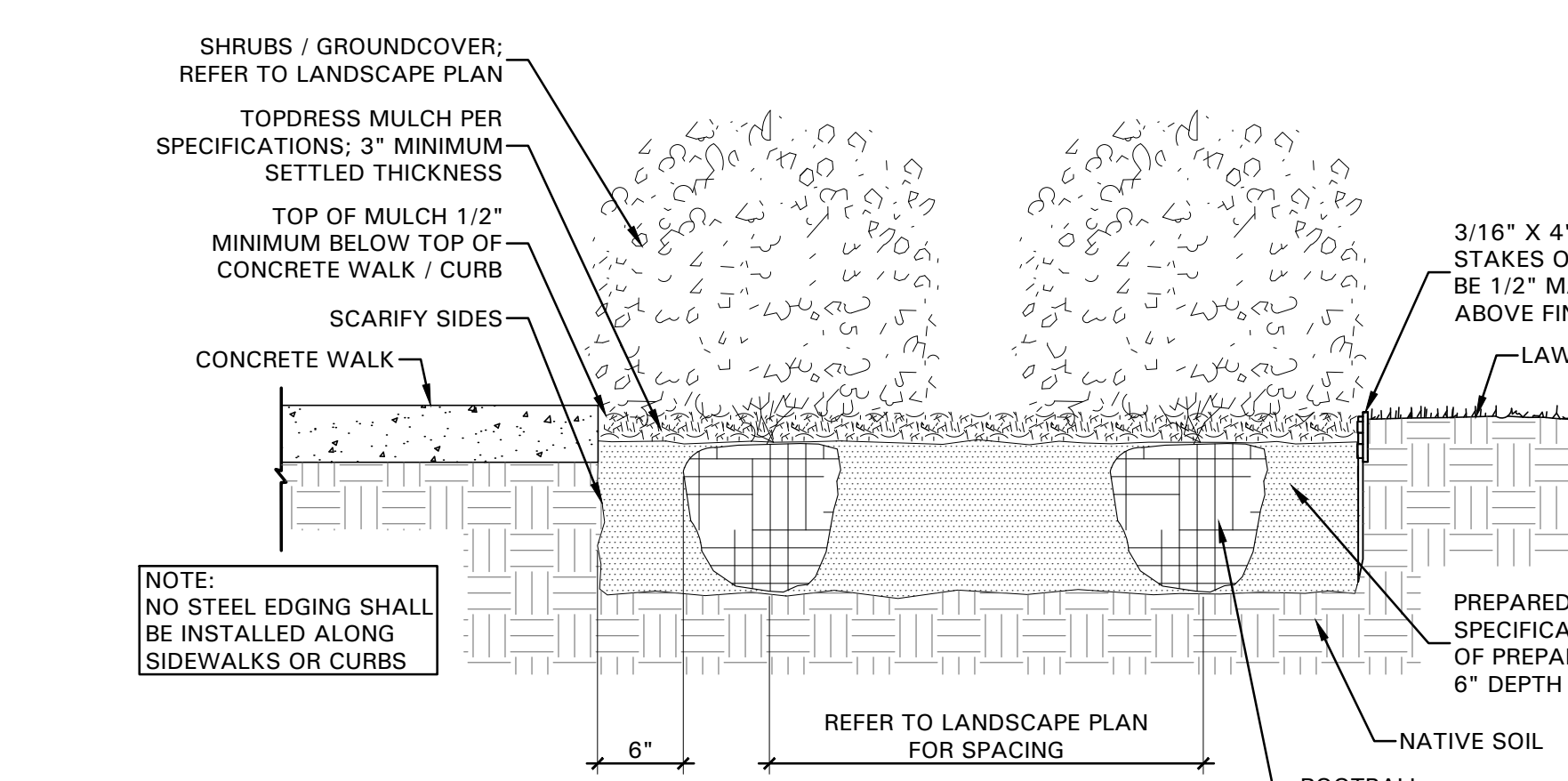
01 TREE PLANTING DETAIL
NOT TO SCALE

TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL. CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP 1/2 BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL. TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR Mallet FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- I. MULCH: 5' RADIUS, DOUBLE SHREDDED HARDWOOD MULCH 3 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- J. 3/16" x 4" BLACK EDGING, STAKES ON INSIDE; EDGING SHALL BE 1/2" MAXIMUM HEIGHT ABOVE FINISH GRADE. 5' RADIUS, TYPICAL.
- K. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
- L. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



03 CONCRETE PAVERS DETAIL
NOT TO SCALE



02 SHRUB / GROUNDCOVER DETAIL
NOT TO SCALE

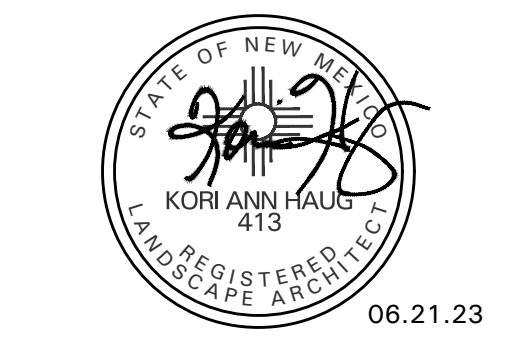


Store: **Gibson & Alumni**
Albuquerque, NM
Restaurant #RC972
P6-V-AV

PM DESIGN
Architectural Solutions Group

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KEH MCCrackEN, ARCHITECT



Prototype :	P6-V-AV-2022-1.0 RELEASE
Prototype Issue Date:	09.22.2022
Kitchen Issue Date:	---
Design Bulletin Updates:	---
Date Issued:	Bulletin Number:
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PERMIT SET

09/12/2022	SOLID WASTE REVIEW
11/30/2022	UNM SUBMITTAL
04/07/2023	FOR PERMIT
05/12/2023	CITY COMMENTS
06/21/2023	CITY COMMENTS
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Sheet Title: **LANDSCAPE SPECIFICATIONS**

Date: 03.27.2023

Project Number: RAC22025.0

Drawn By: JM

Sheet Number:

BELLE FIRMA

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L2.02











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Final Audit Report

2023-07-24

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By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
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2023-06-30 - 7:44:39 PM GMT- IP address: 143.120.132.73
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2023-07-01 - 0:49:26 AM GMT- IP address: 172.59.1.82

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