



December 12, 2023

To: City of Albuquerque Planning Department
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

Re: **Storage Facility**
Project #: PR-2020-004645
Application #: SI-2023-01803

Dear Staff:

Please find the following responses addressing comments received in a letter dated November, 29 2023. In an effort to address your comments concisely and simplify your review of these development plans, we have summarized your comments and our responses below. Your comment is listed first, followed by the response in Bold.

Planning Department

Contact: Bonnie Strange/Jolene Wolfley

1. Per Table 2-5-1 NR-C Zone District Dimensional Standards, maximum building height is 38' maximum as the subject property is not located within an Urban Center, Main Street or Premium Transit area. Front minimum setback area distance is 5'. There are no other District Standards for NR-C zone districts.

Provide dimensions on building elevation sheet. Provide dimensions at Building 'A' to ensure minimum 5' setback is being provided. Planning staff defers to Code Enforcement regarding setbacks and conformity.

Response:

2. Please note that per 4-3(D)(29) Self-storage

- 4-3(D)(29)(a) All storage shall be within fully enclosed portions of a building.
- 4-3(D)(29)(b) Security fencing shall not include razor wire or barbed wire.

Show detail of proposed security fencing.

Response:

3. ***Please note, this storage facility will be restricted to certain hours. Please add a note to the Site Plan indication that public access is prohibited between 10 pm and 7 am: 4-3(D)(29)(d) Within 100**

feet in any direction of any Residential zone district or lot containing a residential use in any Mixed-use zone district, public access to any storage units is prohibited between 10:00 P.M. and 7:00 A.M.

Response:

4. *Additionally, please note lighting requirements: 4 -3(D)(29)(e) Within 200 feet in any direction of any Residential zone district, internal lighting that is visible from the property line shall be dimmed by 50 percent of the maximum foot lamberts allowed pursuant to Subsection 14-16-5-8(D)(6) between 10:00 P.M. and 7:00 A.M.

Response:

5. Per 5-2(I) MAJOR ARROYO STANDARDS 5-2(I)(2)(b) Development will not be allowed to discharge stormwater runoff into an arroyo, unless an engineering analysis can demonstrate that discharge will have minimal impact on the treatment called for in the drainage management plan for the arroyo and on existing detention basins.

Planning defers to Hydrology regarding compliance with this requirement.

Response:

6. 5-2(I)(4)(b) Disturbed areas shall be reseeded or planted with low-water, lowmaintenance, native, or naturalized plant materials and maintained for 3 years. After that time, the City will take over maintenance responsibility for the planted area within the arroyo easement and/or public right-of-way.

Please provide location of any arroyo easements

YL: No Arroyo easement shown on plans we received and are therefore not shown on our plans.

Response:

7. 5-2(I)(4)(e) Landscaping on lots abutting arroyos shall be pursuant to Subsection 14-16-5-6(C)(4) (Required Plant Materials and Site Amenities).

See comments in landscape review of this memo.

Response:

8. 5-2(I)(5) Walls and Fences For properties adjacent to arroyos, all walls, fences, retaining walls, and combinations of those site features facing the arroyo must comply with all applicable standards in Subsections 14-16-5-7(E)(4)(Walls Adjacent to Major Arroyos or Major Public Open Space) and 14-16-5-7(F) (Retaining Wall Standards) and in the DPM.

See below:

5-7(E)(4) Walls Adjacent to Major Arroyos or Major Public Open Space All walls other than retaining walls adjacent to a major arroyo or any Major Public Open Space must comply with the following standards, in addition to all other applicable standards in this Section 14-16-5-7. If any of the following standards conflict with another wall standard in this IDO, the standard in this Subsection 14-16-5-7(E)(4) shall prevail.

• 5-7(E)(4)(a) In any zone district adjacent to Major Public Open Space and in any Mixed-use or Non-residential zone district adjacent to arroyos, only the following wall types are allowed on the sides of the lot facing the Major PublicOpen Space or arroyo:

1. View fencing of at most 50 percent opacity constructed of wood, painted or coated pipe, wrought iron, or smooth wire pasture fence material. Where allowed, chain-link fencing shall be accompanied by a vegetative screen with a mature height at least as tall as the fence and with at most 75 percent opacity, planted on the public side of the fence but within the lot line containing the proposed development.
2. Opaque walls of 4 feet or less, combined with view fencing as described in Subsection 1 above, with a combined height not to exceed the maximum wall height in Table 5-7-1.
3. Where allowed, opaque walls shall be constructed of wood, stucco over CMU blocks, stained concrete block, stone, splitfaced or fluted block, or adobe.

Exposed CMU block walls are prohibited. Predominant materials shall be earth tone in color, with a Light Reflective Value (LRV) ranging from 20 percent to 50 percent. This middle range of reflectance is intended to avoid very light and very dark colors.

Provide details for proposed wall/fence along property boundary adjacent to Snow Vista Arroyo and confirm compliance.

Response:

9. Each wall over 4 feet tall shall include a horizontal offset of at least 16 inches every 100 feet.

Provide details for proposed wall/fence along property boundary adjacent to Snow Vista Arroyo.

♣ Please also note: 5-7(D)(3)(d) Development in NR-C or NR-BP Zone Districts For development in any NR-C or NR-BP zone district, the maximum height of walls in any front or street side yard is 6 feet if the wall is set back at least 5 feet from the property line and if view fencing that is at most 50 percent opaque to perpendicular view is used for portions of a wall above 3 feet.

10. • Per 5-3(D)(3)(b) Network of Pedestrian Walkways

1. On-site pedestrian walkways that meet the minimum width required by the DPM shall be provided between the pedestrian entrances of each primary building on the site.

Confirm if the pedestrian entrance on the west side of Building B is a service entrance.

Response:

11. Per Table 5-5-1: Minimum Off-street Parking Requirements; 1 space per 3,000 SF GF is required.

5-5(C)(5)(c) Reduction for Proximity to Transit

2. The minimum number of off-street parking spaces required may be reduced by 10 percent if the proposed development is located within 330 feet in any direction of any transit stop or transit station with a peak service frequency between 15 minutes and 45 minutes.

Route 198/Sage/S has a frequency exceeding 45 minutes. **Please adjust parking calculations accordingly. 34 parking spaces are required.**

— **Please note** 5-5(C)(6) Parking Credits

5-5(C)(6)(a) Electric Vehicle Charging Station Credit Each electric vehicle charging station with a rating of 240 volts or higher installed in an off-street parking space shall count as 2 vehicle parking spaces toward the satisfaction of minimum off-street parking requirements.

Response:

12. Per 5-5(E) BICYCLE PARKING, 3 spaces or 10% of required off-street parking spaces is required. **Please show where bicycle parking is located on Site Plan.**

Response:

13. 5-6(C)(4)(i) Shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided.

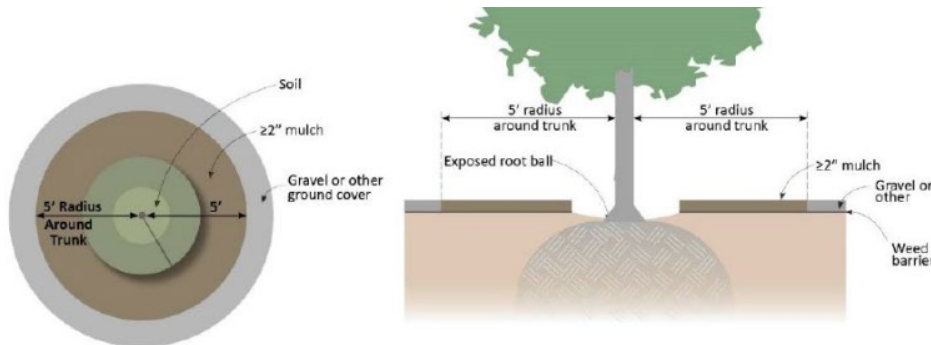
Show dimensions of spacing between trees on walkway on the east side of Building B.

YL: Tree spacing along pedestrian path east of building B is now shown on LS-01.

Response:

14. Per 5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.)

Detail provided on Landscape Plan (LS-01) does not indicate radius of mulch under tree, or what material proposed mulch is. Proposed mulch must be organic material. Please see below:



YL: Plan and material legend on LS-01 has been updated to indicate the required mulch ring.

Response:

15. Per 5-6(C)(5)(f) All landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated swales and stormwater infiltration areas.

Provide vegetated swales and stormwater infiltration areas as applicable.

YL: Curb cuts and swales not shown on landscape plan. Engineer or architect would need to identify any additional landscape areas appropriate for this purpose. YL can adjust LS plan accordingly.

Response:

16. 5-6(C)(7) Plant Material Spacing

5-6(C)(7)(a) Vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections.

Please confirm this requirement is being met.

YL: Noted on plan.

Response:

17. It appears that some tree canopies will overhang to right-of-way along De Vargas Rd. Please note maintenance requirements per 5-6(C)(9) Planting in or over the Public Right-of-way

YL: Note 15 General Notes.

Response:

18. Per 5-6(C)(8) Protecting Clear Sight Triangle The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

Clear sight triangle is being provided at the private entrance drive and De Vargas Road. Planning staff defers to Transportation regarding a clear sight triangle from the private drive into the gated storage facility.

YL: Site triangles add to private entrances on LS-01.

Response:

19. Per 5-6(C)(13) Stormwater Management Features 5-6(C)(13)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.

Incorporate stormwater management areas on the Landscape Plan (LS-01). A ponding area is being proposed at the south side of the subject property. Refer to City of Albuquerque Specifications Section 1013 Slope Stabilization and seeding for landscape requirements at ponding area. Drainage Ponds Slope Stabilization and Seeding Requirements.pdf (cabq.gov) Add a note to the Infrastructure list that ponds will be stabilized according to City Standard Specification 1013.

YL: Ponding area now incorporated into landscape plan. Slope stabilization and seeding noted on plan material legend and Note 16, General Notes.

Response:

20. 5-6(F)(2) Parking Lot Interior

5-6(F)(2)(a) General At least 10 percent of the parking lot area of lots containing 50 or fewer spaces.

Provide landscape calculations to ensure this requirement is being met.

YL: Additional landscaping now included in interior parking on the plan and included in Landscape Data calculations to meet this requirement as well as note 21 below.

Please note, parking lot landscape islands were previously shown only as striped asphalt. Civil plans will need to be adjusted accordingly.

Response:

21. Per 5-6(F)(2)(c) Tree Requirements

No parking space may be more than 100 feet in any direction from a tree trunk.

Provide dimensions to ensure this requirement is being met.

YL: New landscape areas added in parking lot interior and dimensions shown.

Response:

22. At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.

Show calculations to ensure this requirement is being met.

YL: Calculation added to LS-01 landscape data.

Response:

23.5-6(F)(2)(d) Location and Dimension of Landscaped Areas

1. The minimum size of tree planters within off-street parking areas shall be 60 square feet per tree. This requirement may be reduced to 36 square feet if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement.

Provide square footage of tree planters provided for parking lot landscape requirements to ensure this requirement is being met.

YL: Calculation added to LS-01 landscape data.

Response:

24. 5-6(G)(3)(e) Screening Where it is not practicable to locate the loading, service, and refuse areas pursuant to Subsections (c) and (d) above, they shall be screened from view by an opaque decorative wall or fence at least 6 feet tall but not more than 8 feet tall that incorporates at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding

exposed CMU block) or a vegetative screen planted along the full length of the area to be screened and at least 8 feet high at the time of planting.

Ensure compliance with this requirement. Please also reference 5-6(G)(3)(d) for screening requirements at refuse area. Demonstrate how the refuse area is being screened, it does not appear adequate landscape has been provided for screening at refuse area.

Response:

25. 5-6(G)(2)(b) NR-C, NR-BP, NR-SU, and NR-PO Zone Districts Outdoor ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties with low-density residential development to the maximum extent practicable.

Is outdoor ground-mounted equipment present on site? If so, please ensure this requirement is being met.

Response:

26. Lighting is required, but not included in this submittal. Please reference 5-8(D) GENERAL DESIGN AND ILLUMINATION for guidance on lighting design and requirements.

Response:

27. 5-9(C) BUILDING HEIGHT STEPDOWN

5-9(C)(1) General Requirement On Regulated Lots, any portion of a primary or accessory building within 100 feet of the nearest Protected Lot property line shall step down to a maximum height of 30 feet.

What is the maximum height of the proposed self-storage buildings? Do any of the proposed buildings exceed 30' height?

Response:

28. Raised planters between 12 inches and 28 inches above grade with the surface planted to achieve at least 75 percent vegetative cover at maturity.

It appears that sun shelves may be incorporated in the façade design on Building A along De Vargas Rd. If so, please label appropriately. Incorporate planters, shade, windows to ensure compliance.

Response:

Albuquerque Bernalillo County Water Utility Authority

Contact: David Gutierrez, P.E.

1. Availability Statement 230914 provides conditions for service.
 - a. Routine connections are available.
 - b. Please include any proposed

Response: Noted.

2. Utility Plan:
 - a. Please clearly label public vs. private infrastructure.

Response: Existing public lines labeled, proposed on-site infrastructure is labeled as private.

- b. Please add the following notes to the Master Utility Plan
 - i. Coordination with Water Authority Cross Connection Section will be required to ensure proper backflow containment is in place prior to release of meter for the site. Contact the Cross Connection Section at 505-289-3454.
 - ii. Coordination with the Water Authority Pre-Treatment Engineer is required to ensure the site complies with Water Authority Sewer Use Ordinance. Contact the Pre-Treatment Engineer at 505-289-3439.

Response: Noted added to Utility Plan.

- c. Please clearly show and label the existing easement for the public sanitary sewer line crossing through the site. Also label this as public.

Response: Easement and label added.

Code Enforcement

Contact: Jeff Palmer

1. Property is zoned NR-C, and must meet Dimensional Standards of IDO 5-1(E), Table 5-1-3. Show distance of setback from property line to building in front (minimum 5 feet).

Response:

2. Must meet Use Specific Standards of IDO 4-3(D)(29) for Self Storage. This includes restrictions on hours of use within 100 feet of Residential and on lighting within 200 feet of Residential uses.

Response:

3. Fences and Signs to be permitted separately, and meet requirements of 5-7 and 5-12, respectively, as noted in submittal.

Response: Noted

Transportation Development

Contact: Ernest Armijo

1. Transportation has an approved Conceptual TCL. No objection.

Response: Noted

2. As a reminder, a full TCL will be required prior to building permit.

Response: Noted

Hydrology Section

Contact: Renee Brissette

1. Hydrology has an approved Conceptual Grading & Drainage Plan (M09D012B) with engineer's stamp 09/27/2023.

Response: Noted

2. The Conceptual Grading & Drainage Plan submitted has an engineer's stamp 10/17/2023 and is slightly different from the preliminary approved Conceptual Grading & Drainage Plan. This difference is not enough to require a resubmittal to Hydrology for approval.

Response: Noted

3. Hydrology has no comments on the Site Plan for Building Permit.

Response: Noted

4. Comment – Prior to submitting for Building Permit, a licensed New Mexico civil engineer will need to submit a Grading & Drainage Plan to Hydrology for review & approval if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).

Response: Noted

Park and Recreation Department

Contact: Whitney Phelan

1. The DPM requires 3' minimum clearance between property lines or vertical structures and paved multi-use trail. See DPM 7-4(F)(6)(ii) Design Standard #6 – highlighted below. Please indicate the existing distances between the property line and the property line/proposed fencing and the existing trail on the landscaping plan for additional review.

Response:

2. Street trees have been addressed – defer to planning for species review. What is the fencing material along the property line abutting the arroyo – facing the trail?

Response:

3. The site is adjacent to the Snowvista Channel, which is part of the Amole Arroyo system. Please follow design guidelines from IDO 14-16-5-2(l)(3) for Arroyos and Trails and 14-16-5-2(l)(4) Landscaping Adjacent to Arroyos.

Response:

4. 5-2(l)(3) Arroyos and Trails

5-2(l)(3)(a) Accessory buildings shall be set back from any lot line abutting an arroyo or trail 2 feet for each foot of building height in excess of 6 feet.

5-2(l)(3)(b) Property owners shall dedicate public right-of-way as shown in the Rank 2 Facility Plan for Arroyos for trails and/or arroyos. Public right-of-way for a trail and landscaping adjacent to an arroyo shall average 20 feet in width.

5-2(l)(3)(c) Access to the trail system shall be provided at all roadway intersections and adjacent public facilities, including parks, libraries, community centers, and Major Public Open Space.

5-2(l)(3)(d) For new subdivisions adjacent to existing arroyo corridors, access to existing arroyo corridor trails shall be provided for residents of the subdivision at an interval of 1,320 feet (¼ mile) for unpaved trails and ½ mile for paved trails. Access for the public may be provided at the applicant's option or as required to comply with other provisions of this IDO, the DPM, or other adopted City regulations.

5-2(l)(3)(e) Land adjacent to barriers across the arroyo, such as dams, roads, and culverts, shall be platted to allow space for a trail around the barrier, providing for a continuous trail system.

5-2(l)(3)(f) Access for wheelchair accessible trails in or along arroyos shall comply with ADA standards.

Response:

5. 5-2(l)(4) Landscaping Adjacent to Arroyos

5-2(l)(4)(a) Disturbance to slopes and vegetation and cut and fill shall be minimized to the maximum extent practicable and balanced against the need to provide for bikeways or other amenities within the arroyo easement and/or public right-of-way.

5-2(l)(4)(b) Disturbed areas shall be reseeded or planted with low-water, low-maintenance, native, or naturalized plant materials and maintained for 3 years. After that time, the City will take over maintenance responsibility for the planted area within the arroyo easement and/or public right-of-way.

5-2(l)(4)(c) Development shall landscape usable open space along any lot line abutting an arroyo easement or public right-of-way.

5-2(l)(4)(d) Parking lots abutting major arroyos shall provide a buffer pursuant to Subsection 14-16-5-6(F)(3).

5-2(l)(4)(e) Landscaping on lots abutting arroyos shall be pursuant to Subsection 14-16-5-6(C)(4) (Required Plant Materials and Site Amenities)

YL: [General note 17 added to address 5-2\(l\)\(4\)\(b\).](#)

Response:

6. **14-16-5-7(E)(1)(b)(2)** Except in the R-A, R-1, NR-LM, or NR-GM zone districts, chain link fencing (with or without slats) shall not be allowed on any portion of a site visible from a public street, City park or trail. Major Public Open Space, or major arroyo. Chain link fencing is allowed as temporary security fencing during active construction in any zone district.

Response:

7. DPM 7-4(F)(6)(ii) Design Standards

6. A minimum 3-foot buffer is required between the private property line or any vertical structures and the trail, which may include the compacted shoulder.

Response: