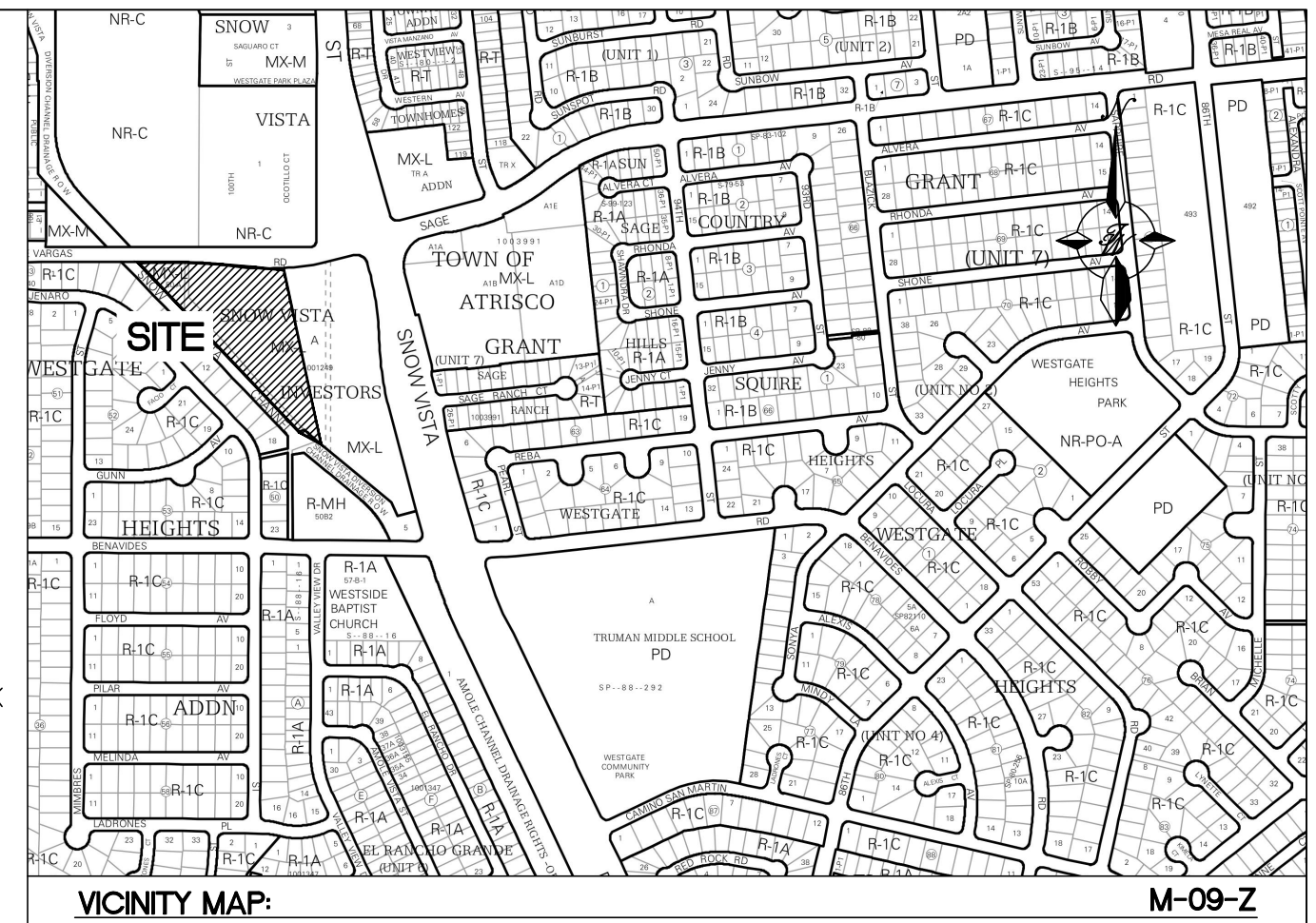


LEGEND

- CURB & GUTTER
- - - PROPOSED BOUNDARY LINE
- - - EASEMENT
- ▨ SCREEN WALL
- ▨ PROPOSED BUILDING
- ▨ CONCRETE SIDEWALK
- ▨ ASPHALT PAVEMENT
- ▨ STRIPING
- ☆ LIGHT POLE
- - - EXISTING EASEMENT
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING CONCRETE SIDEWALK
- - - EXISTING BUILDING
- - - EXISTING LANE STRIPING
- - - EXISTING STRIPING
- - - EXISTING RETAINING WALL
- - - ADA PATHWAY



LEGAL DESCRIPTION:
 LT 1B PLAT OF LOTS 1A, 1B, 1C, 1D AND 1E SNOW VISTA INVESTORS CONT 4.7454 +/- AC

KEYED NOTES

- 1 ACCESSIBLE PARKING: THE ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED SEE DETAIL SHEET DFT-2
- 2 NEW CURB AND GUTTER SEE DETAIL SHEET DFT-2
- 3 NEW 6" CONCRETE SIDEWALK PER COA STD DWG 2430
- 4 SINGLE DUMPSTER AREA SEE DETAIL SHEET DFT-2 AND SEE SOLID WASTE NOTES.
- 5 EXISTING SIDEWALK
- 6 PRIVATE OFF-SITE PAVING (CONSTRUCTED BY OTHERS)
- 7 BICYCLE PARKING SEE DETAIL SHEET DFT-2
- 8 PROPOSED FIRE HYDRANT
- 9 MOTORCYCLE PARKING SIGN SEE DETAIL SHEET DFT-2 (TYP ONE FOR EACH SPACE)
- 10 HANDICAP PARKING SIGN SEE DETAIL SHEET DFT-2 (TYP ONE FOR EACH SPACE)
- 11 EXISTING CITY OF ALBUQUERQUE BUS STOP
- 12 6" ORNAMENTAL METAL PICKET FENCE SEE DETAIL, SHEET DFT-3
- 13 AUTOMATIC ACCESS GATE. PROVIDE KEYPAD CODE TO SOLID WASTE AND KNOX KEY FOR EMERGENCY VEHICLES
- 14 ACCESSIBLE HANDICAP RAMP SEE DETAIL SHEET DFT-3
- 15 6' CROSSWALK SEE DETAIL SHEET DFT-2
- 16 PRIVATE PAVING REFER GEO-TECH REPORT.
- 17 SITE SIGNAGE REFER SHEET A5-0 FOR DETAILS.
- 18 EXISTING STREET LIGHT
- 19 STOP SIGN INSTALL WITH 12" STOP BAR
- 20 4' HIGH ORNAMENTAL METAL FENCE ALONG DETENTION POND PERIMETER WITH 9" WIDE GATE SEE FENCE DETAIL, SHEET DFT-3

SOLID WASTE NOTES:

1. THE DUMPSTER SHALL BE STORED INTERNALLY AND WHEELED OUTSIDE ON PICK UP DAYS.
2. BOLLARDS ARE REQUIRED ON BOTH SIDES AND REAR SIDE OF DUMPSTER
3. SITE ACCESS SHALL BE FROM THE NORTHEAST GATE VIA KEYPAD WITH GATE CODE.
4. REFUSE DRIVER WILL HAVE ACCESS TO DUMPSTER BY 5:00 AM
5. MINIMUM HEIGHT CLEARANCE OF 14'-2" WILL BE PROVIDED.
6. MINIMUM 30" HEIGHT ABOVE DUMPSTER WILL BE PROVIDED.
7. PROPOSED PROJECT WILL NOT ALTER EXISTING THRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION
8. THE REFUSE DRIVER WILL EXIT THE SITE BY DRIVING THRU THE SITE AND OUT THE SOUTHEAST GATE VIA A KEYPAD WITH GATE CODE.

NOTES

1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
2. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
3. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
4. ALL SYMBOLS AND ARROWS STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE
5. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
6. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE (COA) REQUIREMENTS INCLUDING THE DEVELOPMENT PROCESS MANUAL AND ADA CRITERIA
7. GROUND MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-6" OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER PNM ELECTRICAL SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
8. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8, OUTDOOR AND SITE LIGHTING.
9. WITHIN 200 FEET IN ANY DIRECTION OF ANY RESIDENTIAL ZONE DISTRICT, INTERNAL LIGHTING THAT IS VISIBLE FROM THE PROPERTY LINE SHALL BE DIMMED BY 50 PERCENT OF THE MAXIMUM FOOT CANDLES ALLOWED PURSUANT TO SUBSECTION 14-16-5-8(D)(6) BETWEEN 10:00 PM AND 7:00 AM.
10. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
12. PUBLIC ACCESS SHALL BE PROHIBITED BETWEEN 10 PM AND 7 AM.

SITE DATA

PROPOSED USAGE:	SELF STORAGE
ZONE:	NR-C
LOT AREA:	206,709.6 SF (4.74 ACRES)
ADDRESS:	9850 DE VARGAS RD SW ALBUQUERQUE NM 87121
TOTAL BUILDING AREA:	104,455 SF
PARKING REQUIRED:	104,455 SF / 3000 SF = 34 SPACES
PARKING PROVIDED:	34 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	3 SPACES
BICYCLE PARKING PROVIDED:	3 SPACES
LANDSCAPE AREA REQUIRED:	15,468 SF
LANDSCAPE AREA PROVIDED:	22,292 SF

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

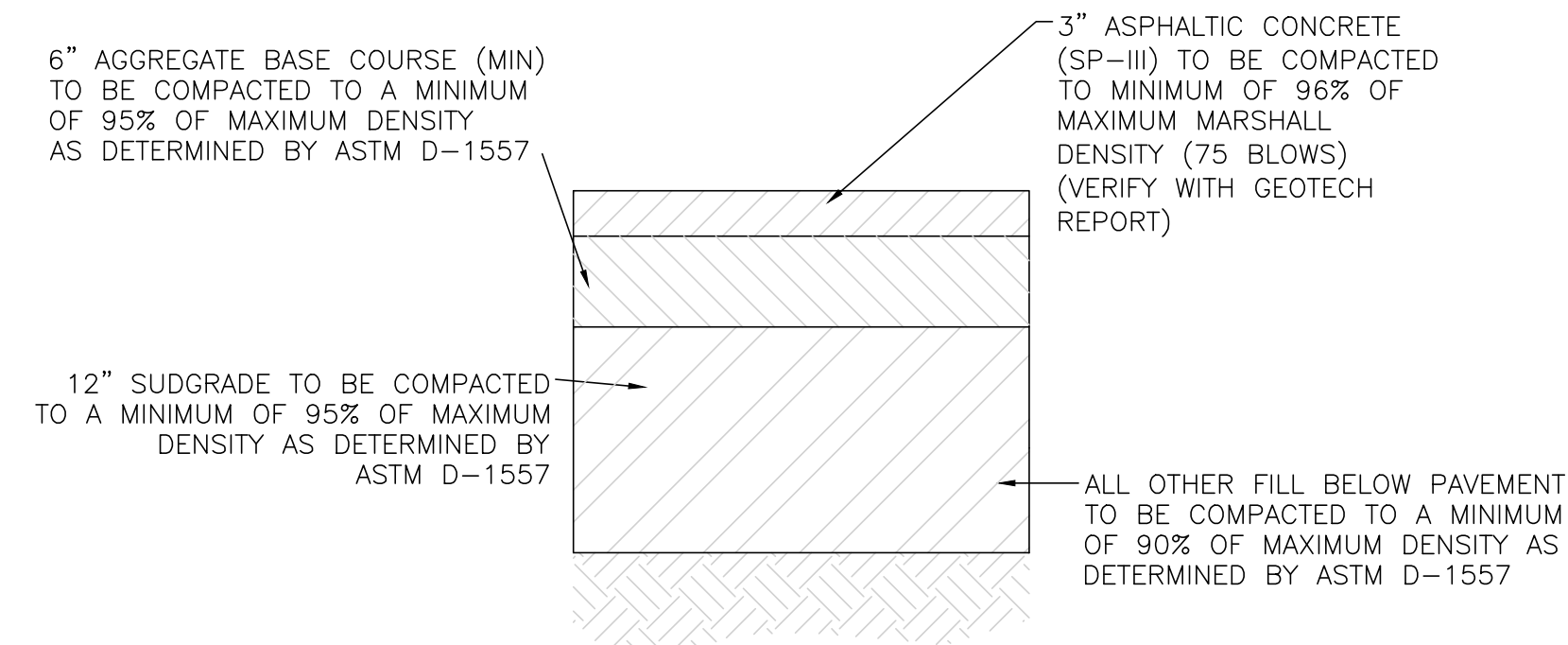
Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

* Environmental Health, if necessary

REVISION	12/07/2023	LN
ISSUED FOR DFT SITE PLAN		
ENGINEER'S SEAL	98TH & SAGE STORAGE ALBUQUERQUE, NM	DRAWN BY BF
	DFT SITE PLAN	DATE 10/31/2023
		2023018-DFT
	571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # DFT-1
RONALD R. BOHANNAN P.E. #7868	11/30/2023	JOB # 2023018

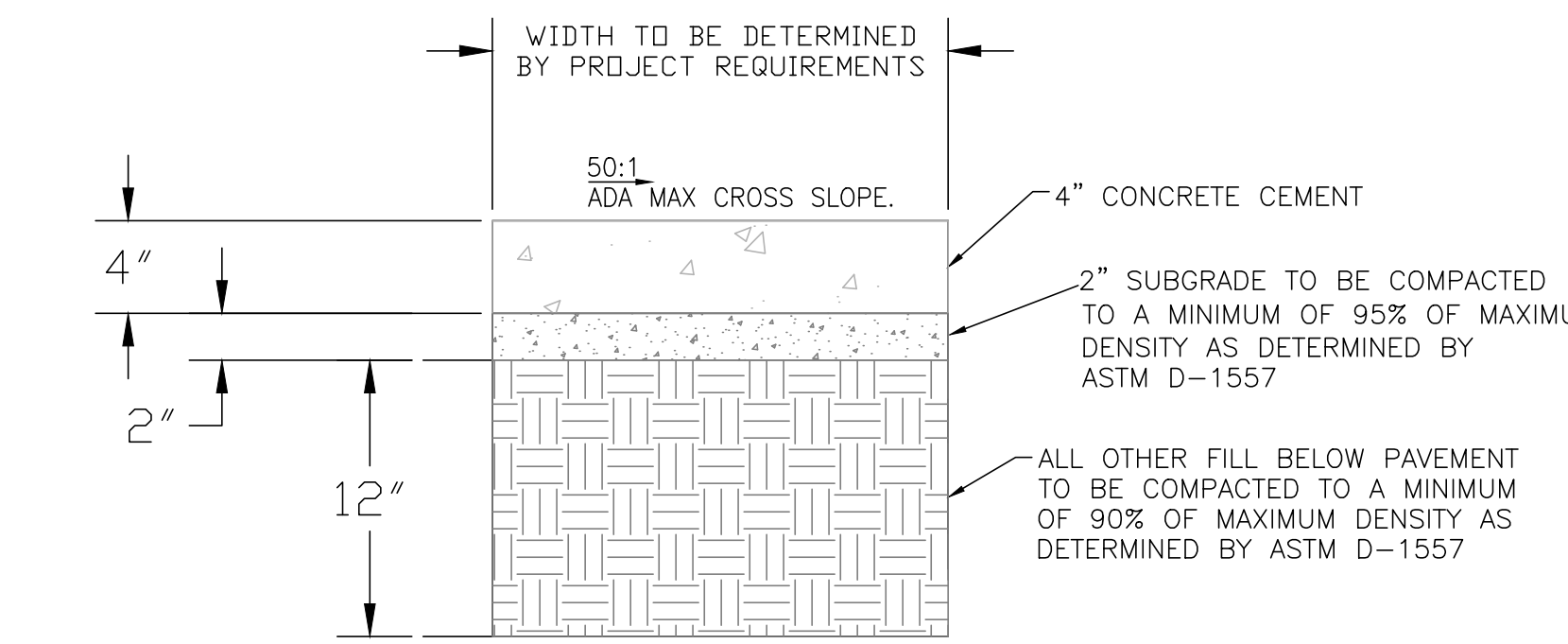
\\TWASVZ_Drive\2023\2023018 Storage Units Lot 1B Snow Vista Investors\dwg\EPIC\2023018-DFT.dwg Dec 07, 2023 8:50am

\\TWS\SVZ_Drive\2023\018 Storage Units Lot 1B Snow Vista Investors\dwg\EPIC\2023018_DTE.dwg Dec 07, 2023 - 8:50am



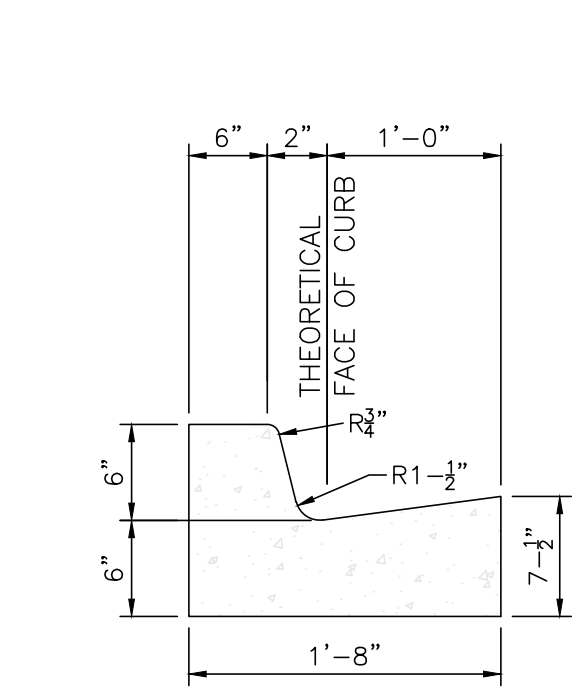
SITE ASPHALT PAVEMENT SECTION

NOTE: CONTRACTOR TO VERIFY PAVEMENT MINIMUMS WITH SOILS REPORT PROVIDED BY THE DEVELOPER/OWNER.



CONCRETE SIDEWALK SECTION

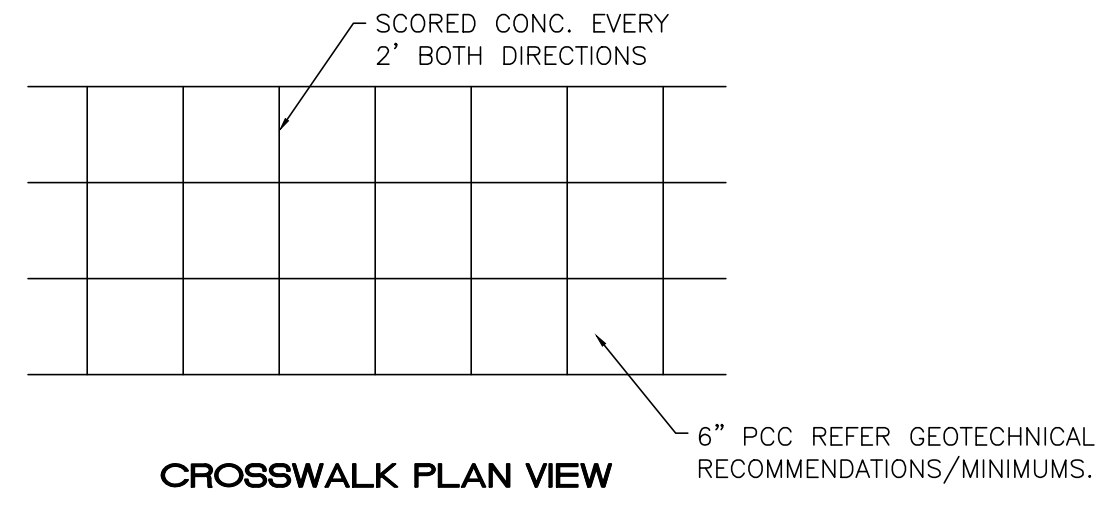
NTS



- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADUIS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

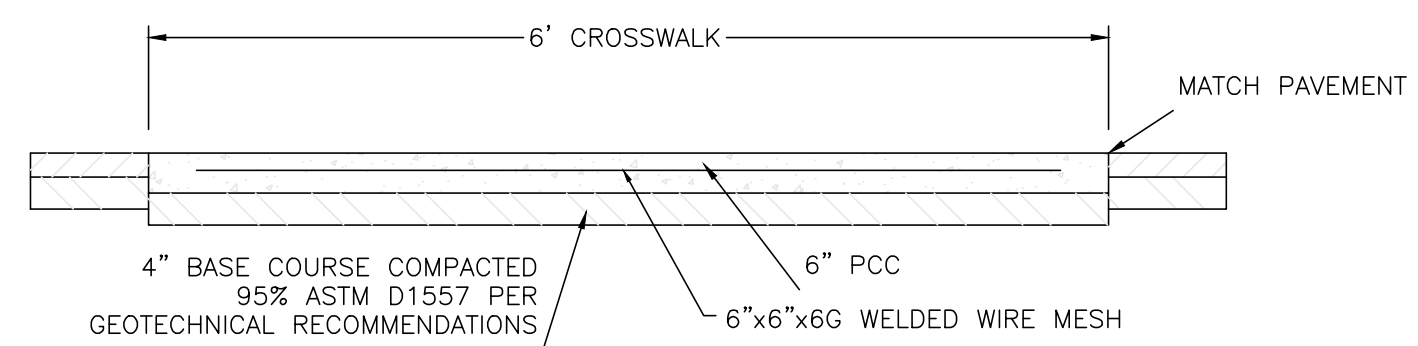
6" PRIVATE CURB & GUTTER

NTS



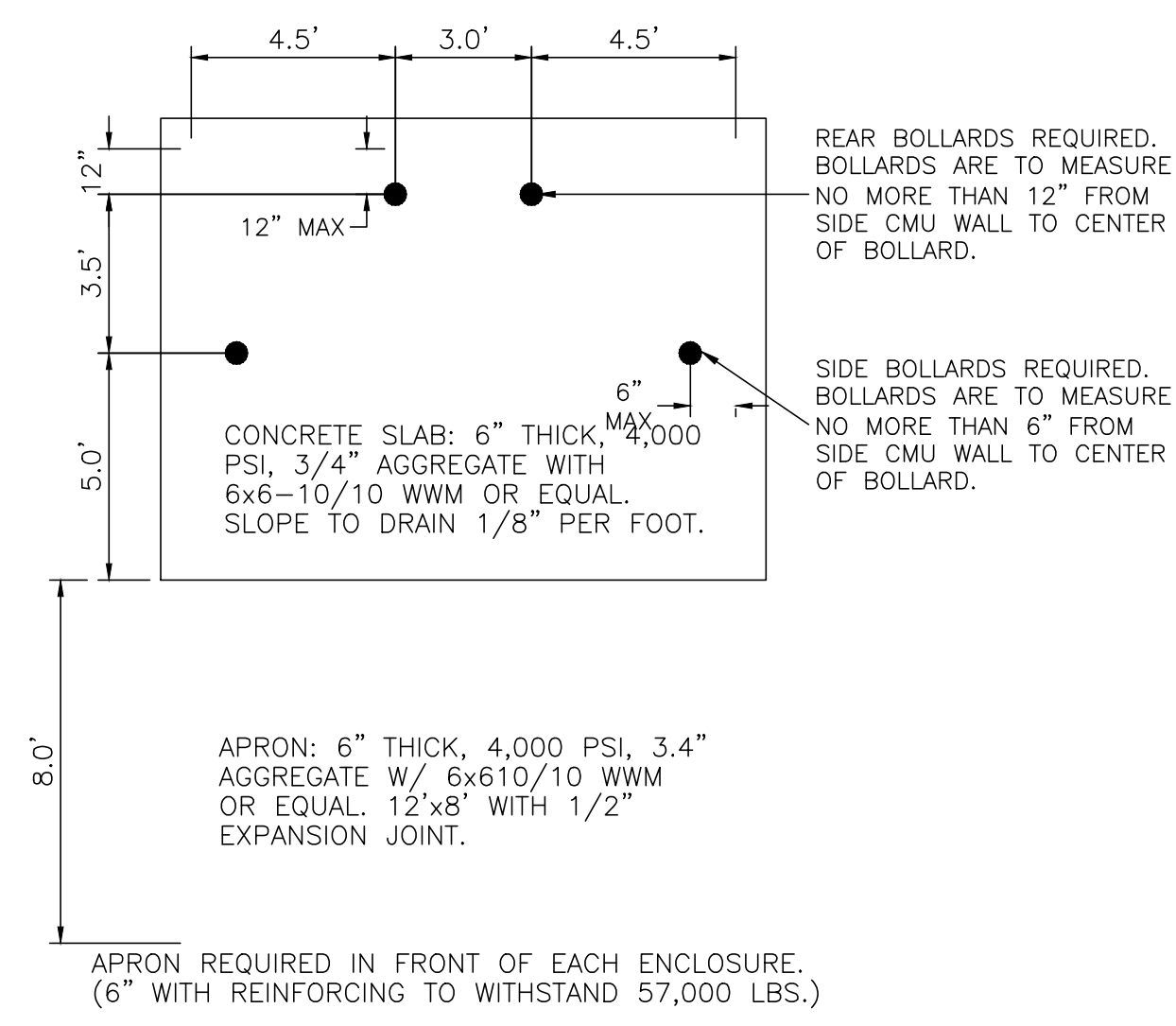
CROSSWALK PLAN VIEW

6" PCC REFER GEOTECHNICAL RECOMMENDATIONS/MINIMUMS.



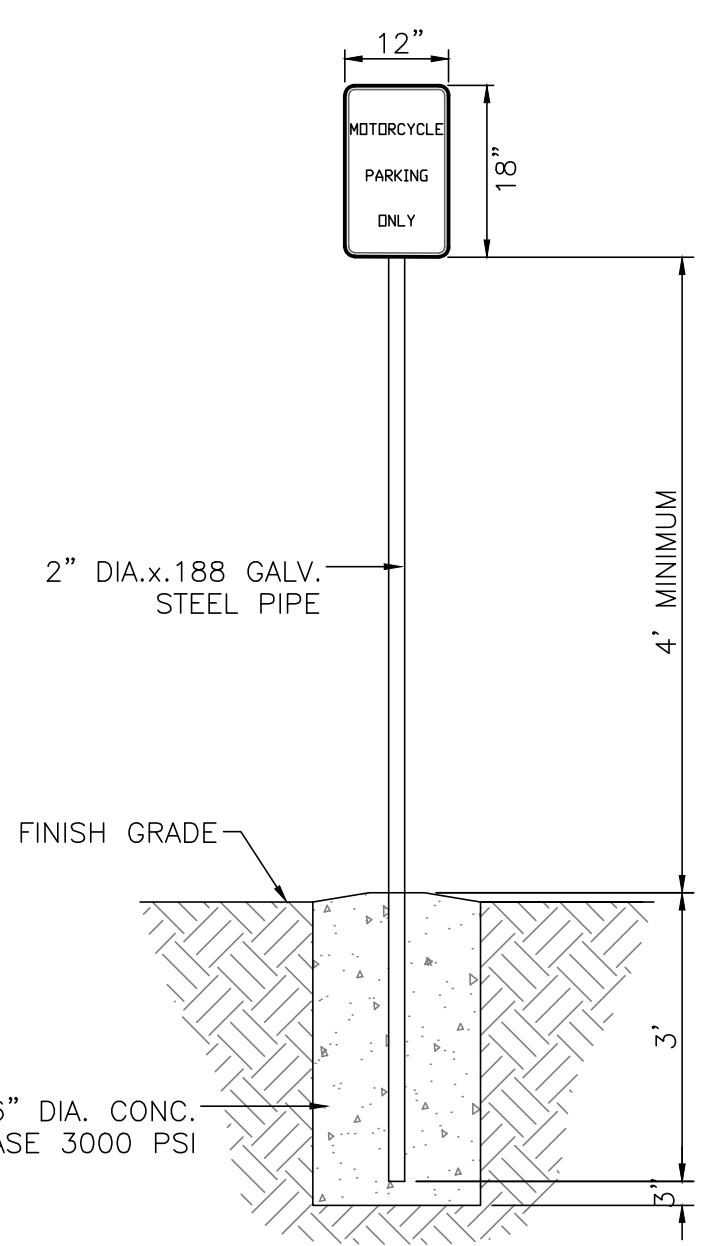
CONCRETE CROSSWALK (OR SIMILAR)

NTS



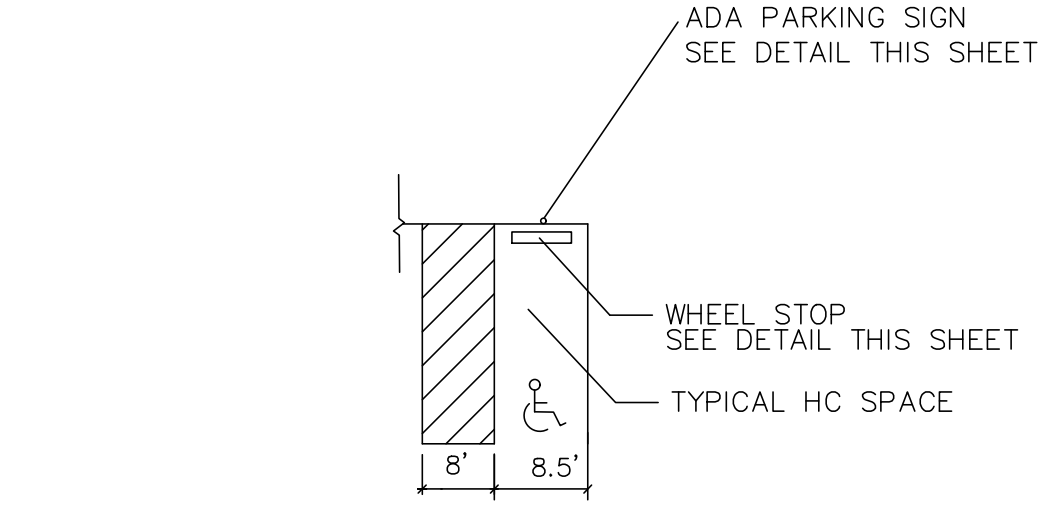
DUMPSTER BOLLARD DETAIL

NOTE: ACTUAL DIMENSIONS PROVIDED BY DEVELOPER/OWNER (REFER ARCHITECTURAL PLANS/DETAILS)



MOTORCYCLE PARKING SIGN

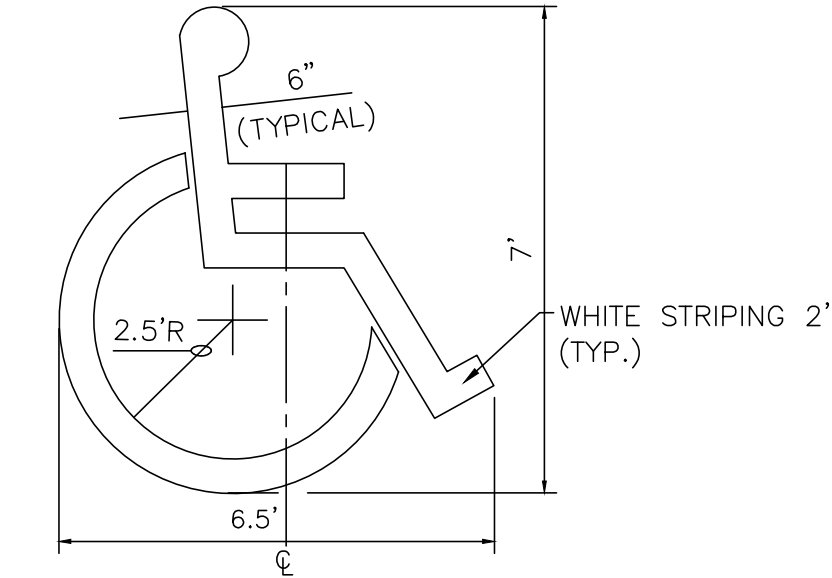
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HC PARKING DETAIL

NTS

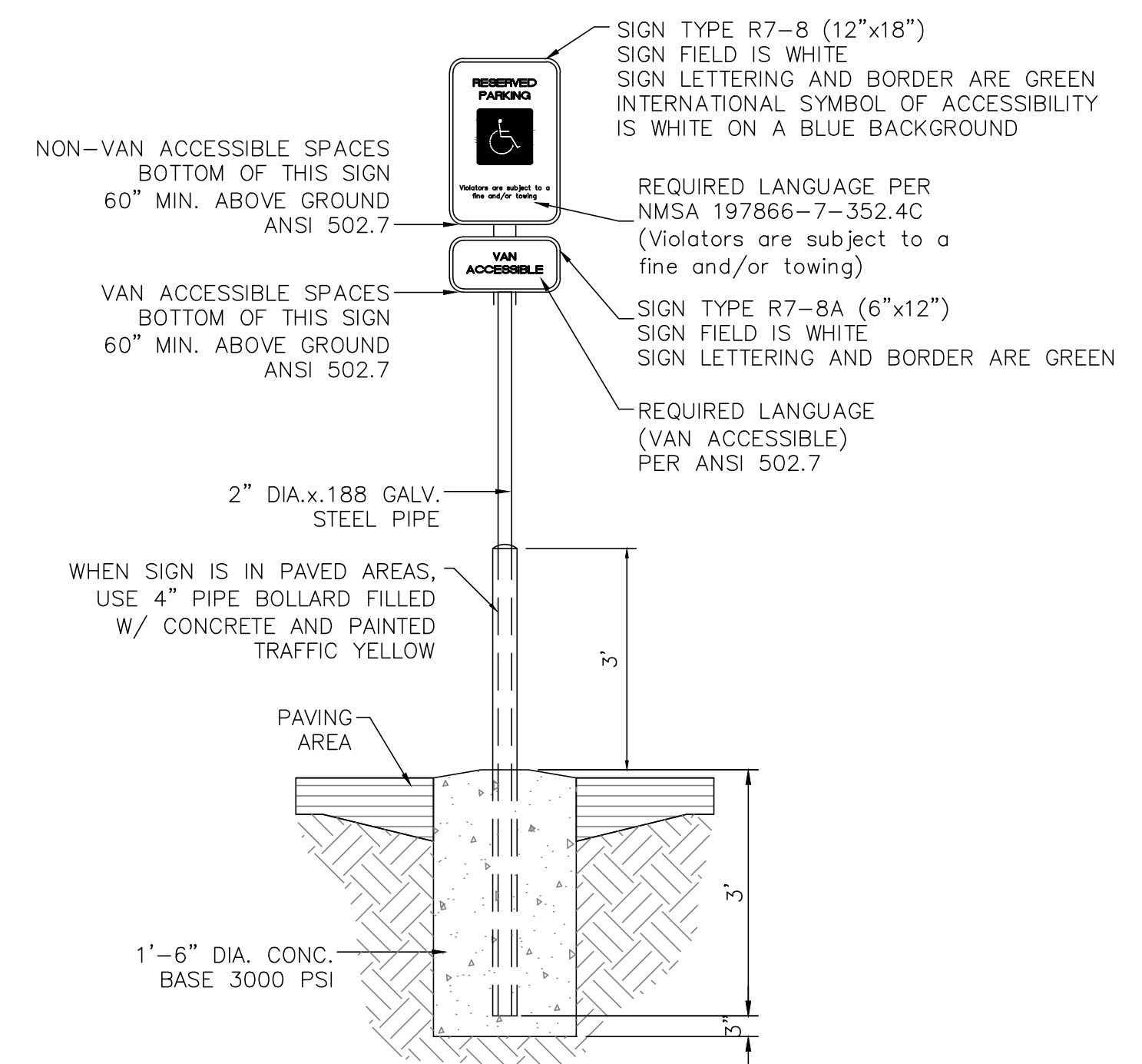
- NOTES:**
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue and shall be 4" wide. Diagonal lines shall be spaced 2" center to center.
 - 3) Access aisle shall have the words "NO PARKING" in blue, capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
 - 4) Contractor shall ensure slopes within parking area do not exceed 2% in any direction.



LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

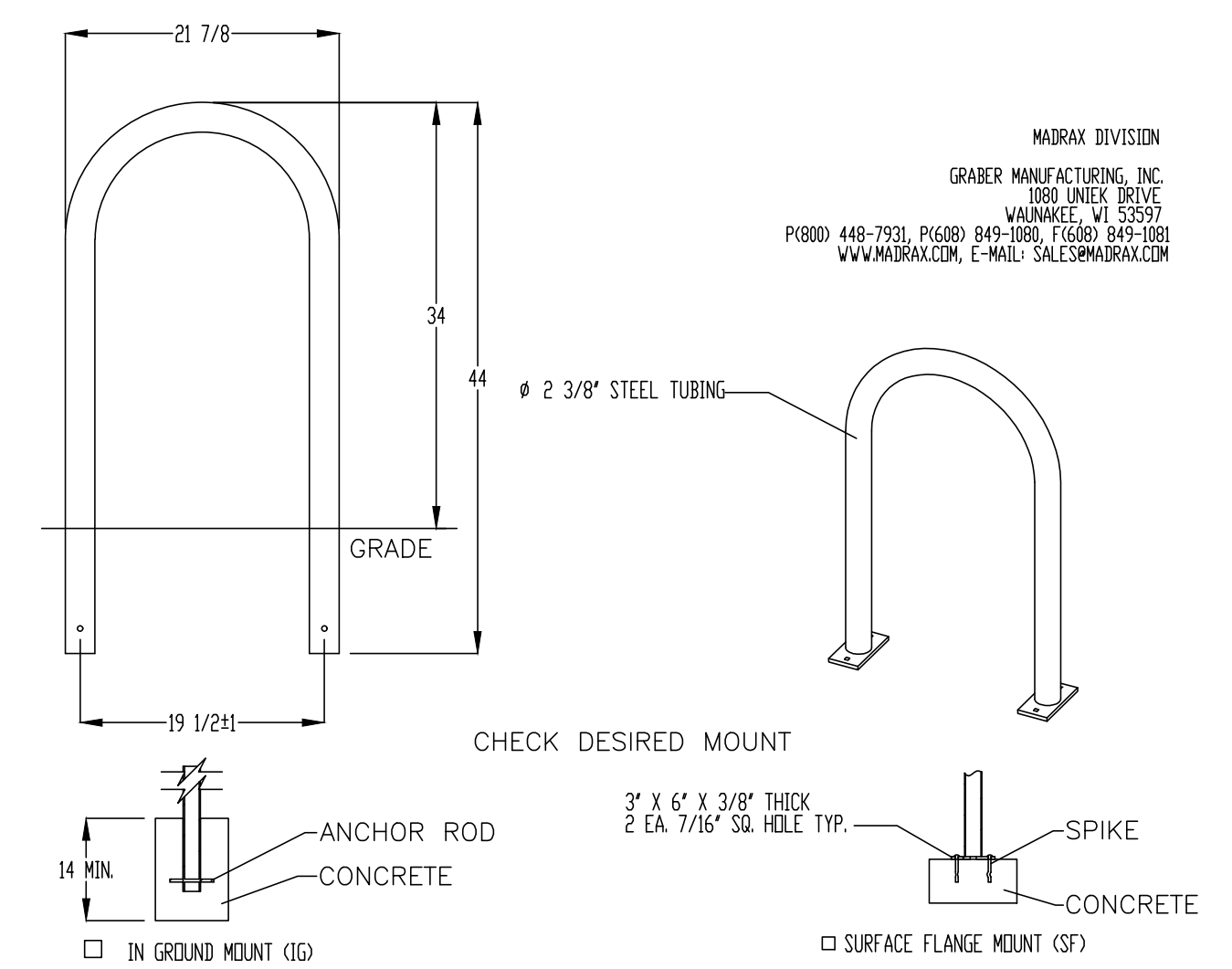
ACCESSIBLE PARKING SYMBOL

NTS



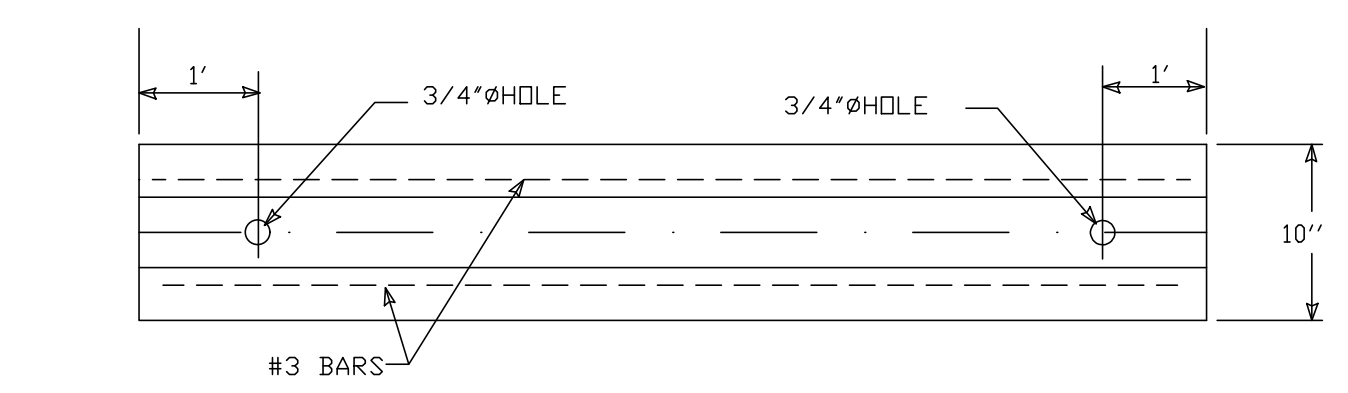
ACCESSIBLE PARKING SIGN

NTS



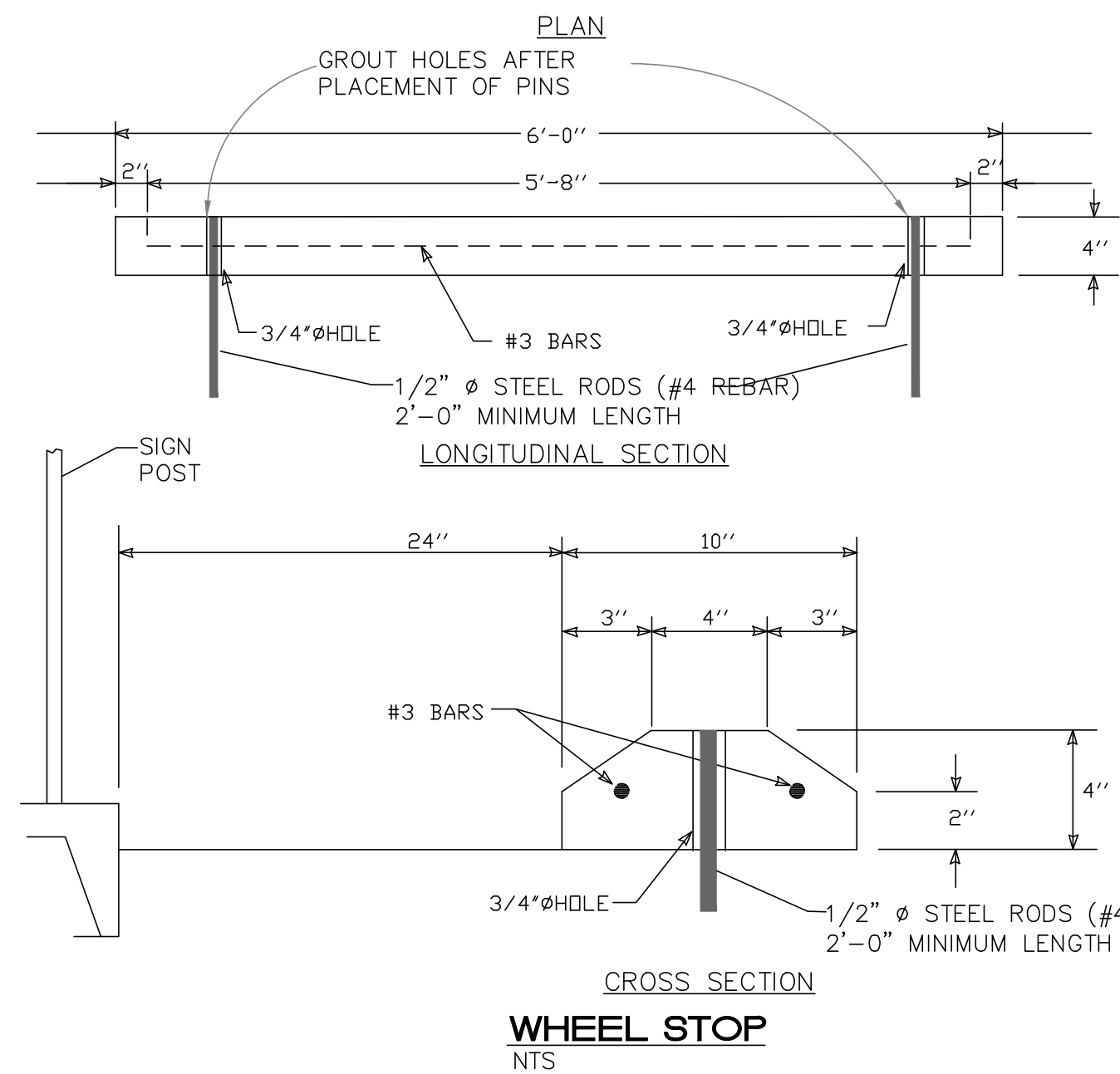
BIKE RACK

SCALE: NONE



WHEEL STOP

NTS



WHEEL STOP

NTS

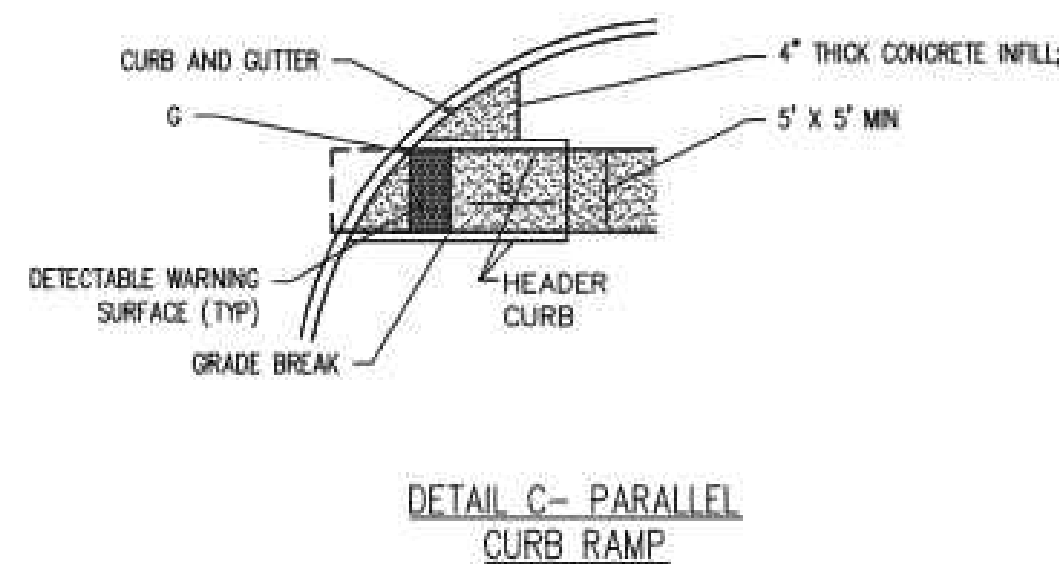
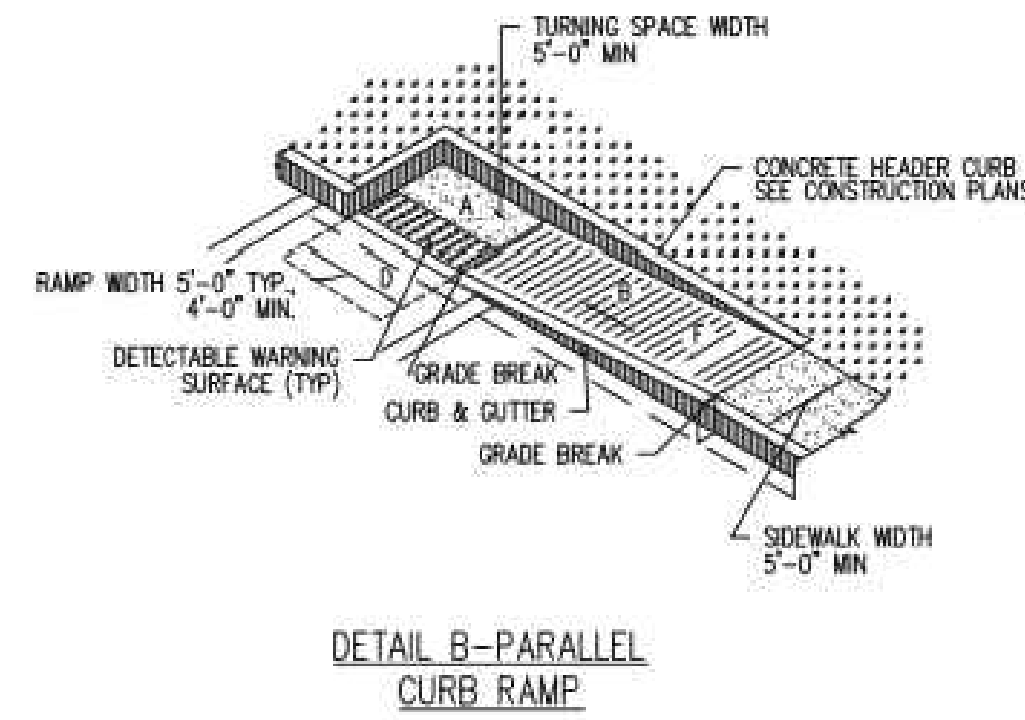
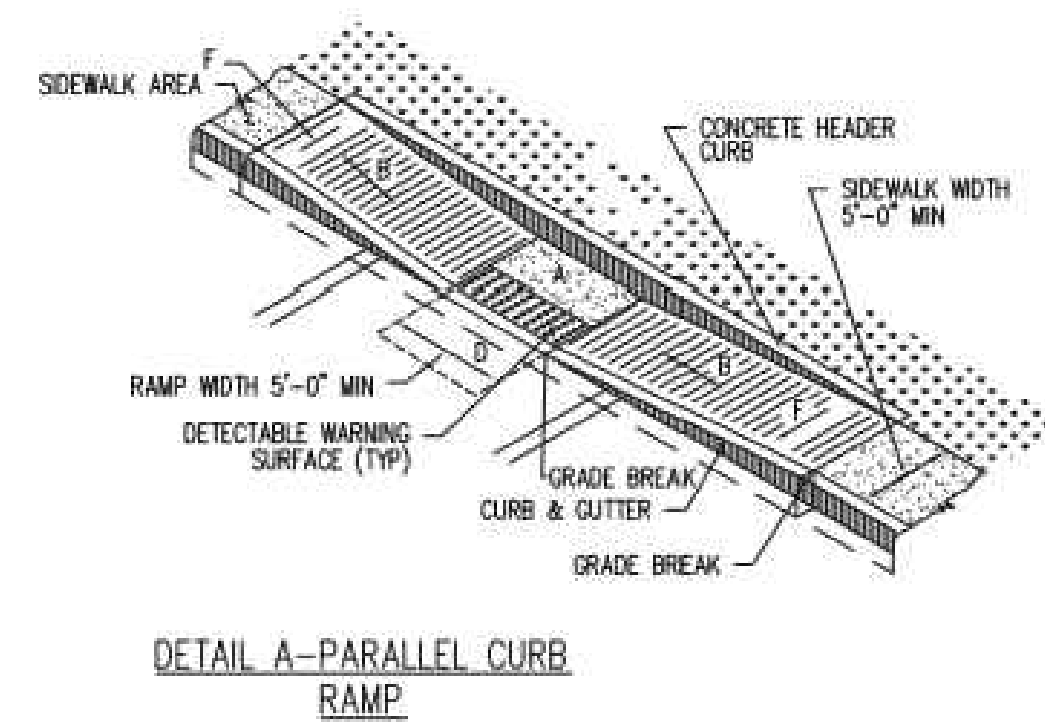
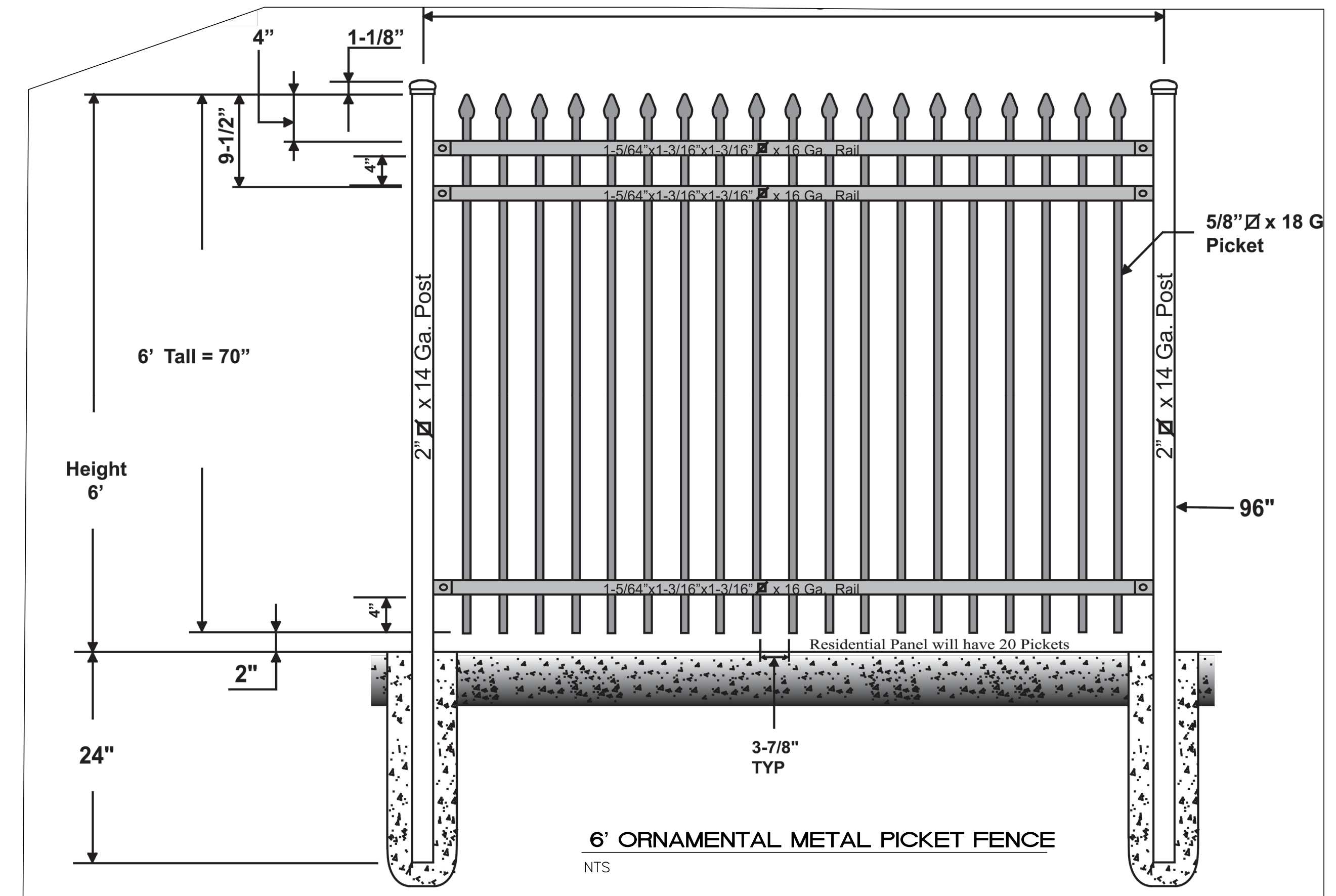
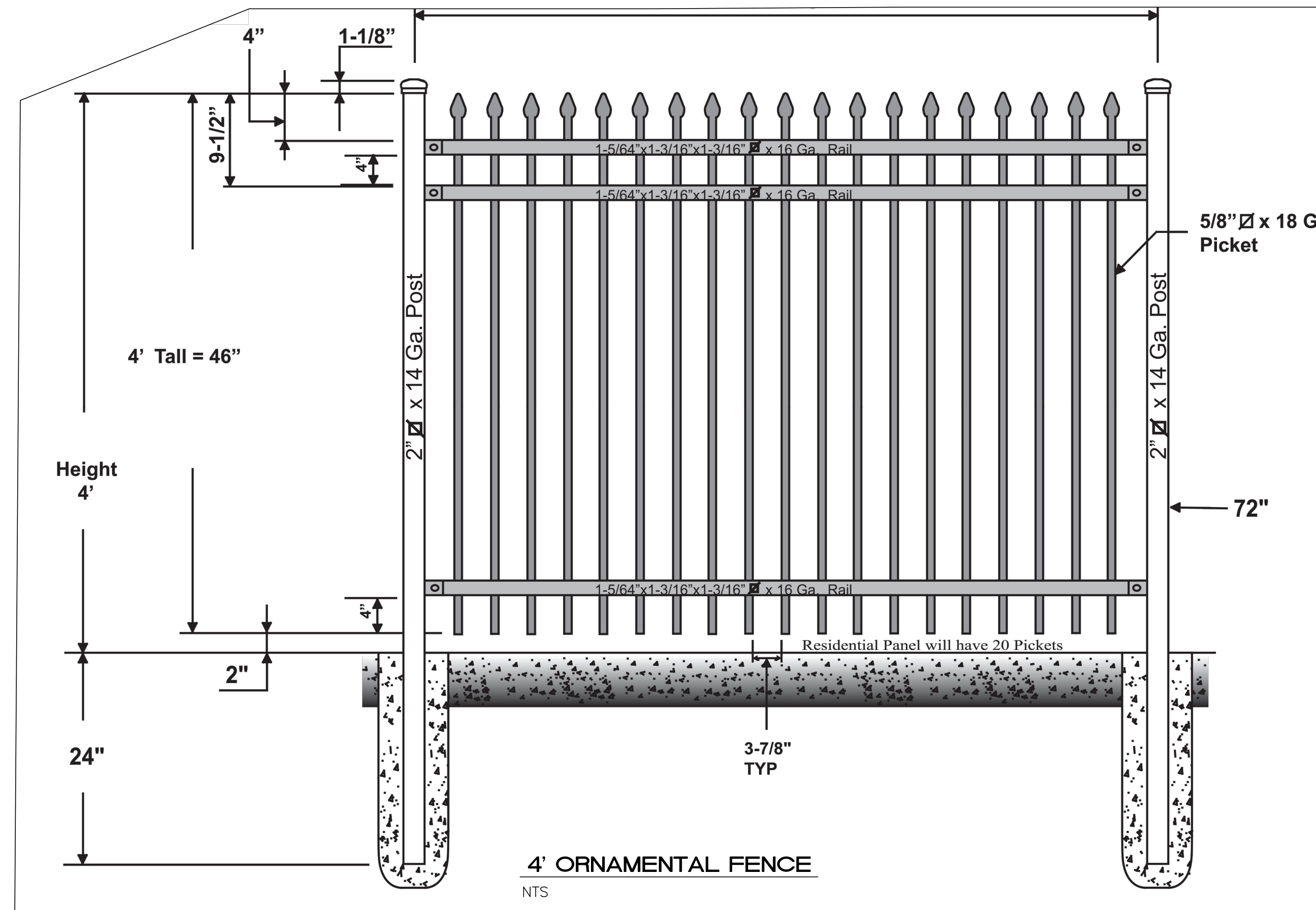
- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR FINISH; SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
 4. BIKE RACK SHALL HAVE A 4-FOOT CLEAR ZONE ALL AROUND.
 5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

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REVISION	12/07/2023	LN
ISSUED FOR DFT SITE PLAN		
ENGINEER'S SEAL	98TH & SAGE STORAGE	DRAWN BY
	ALBUQUERQUE, NM	BF
	CONSTRUCTION DETAILS	DATE
		10/31/2023
		2023018_DTE
		SHEET #
		DFT-2
		JOB #
		2023018

TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tierrawestllc.com

RONALD R. BOHANNAN
 P.E. #7868



GENERAL NOTES

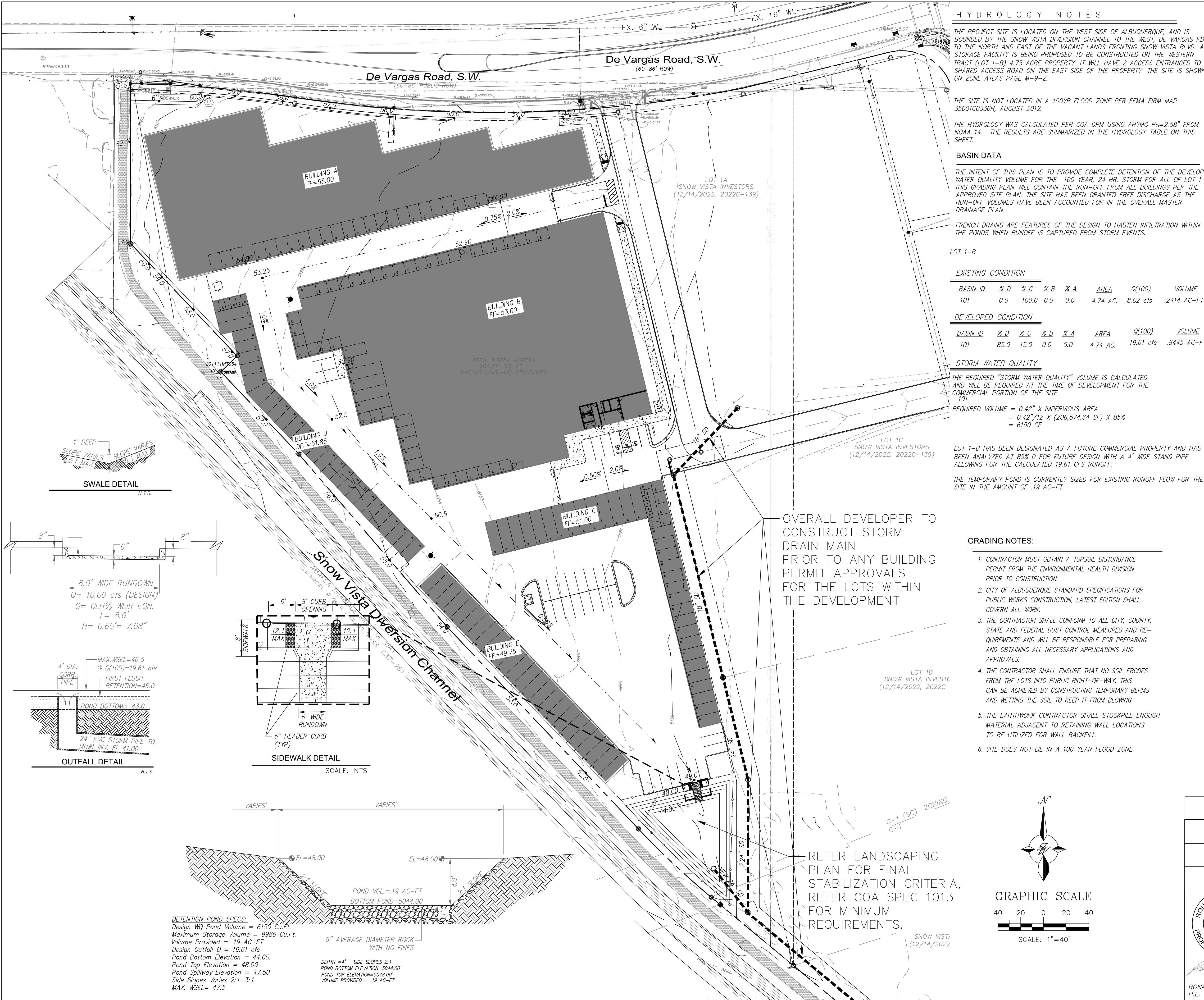
- RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.
- SEE CDA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

CONSTRUCTION NOTES

- TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
- 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
- GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
- FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX. MEASURED PARALLEL TO THE BACK OF THE CURB.
- 2% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED CROSS-SLOPE.
- FILLET SHARP CURVES EXPOSED TO TRAFFIC TO 6" MINIMUM RADIUS.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	PARALLEL AND DIAGONAL CURB RAMPS
	DWG. 2443 JUNE 2019

REVISION	12/07/2023	LN
ISSUED FOR DFT SITE PLAN		
ENGINEER'S SEAL	98TH & SAGE STORAGE ALBUQUERQUE, NM	DRAWN BY BF
	CONSTRUCTION DETAILS	DATE 10/31/2023
		2023018_DTE
		SHEET # DFT-3
RONALD R. BOHANNAN P.E. #7868		JOB # 2023018



HYDROLOGY NOTES

THE PROJECT SITE IS LOCATED ON THE WEST SIDE OF ALBUQUERQUE, AND IS BOUNDED BY THE SNOW VISTA DIVERSION CHANNEL TO THE WEST, DE VARGAS RD. TO THE NORTH AND EAST OF THE VACANT LANDS FRONTING SNOW VISTA BLVD. A STORAGE FACILITY IS BEING PROPOSED TO BE CONSTRUCTED ON THE WESTERN TRACT (LOT 1-B) 4.75 ACRE PROPERTY. IT WILL HAVE 2 ACCESS ENTRANCES TO A SHARED ACCESS ROAD ON THE EAST SIDE OF THE PROPERTY. THE SITE IS SHOWN ON ZONE ATLAS PAGE M-9-Z.

THE SITE IS NOT LOCATED IN A 100YR FLOOD ZONE PER FEMA FIRM MAP 35001C0336H, AUGUST 2012.

THE HYDROLOGY WAS CALCULATED PER COA DPM USING AHYMO P₂=2.58" FROM NOAA 14. THE RESULTS ARE SUMMARIZED IN THE HYDROLOGY TABLE ON THIS SHEET.

BASIN DATA

THE INTENT OF THIS PLAN IS TO PROVIDE COMPLETE DETENTION OF THE DEVELOPED WATER QUALITY VOLUME FOR THE 100 YEAR, 24 HR. STORM FOR ALL OF LOT 1-B. THIS GRADING PLAN WILL CONTAIN THE RUN-OFF FROM ALL BUILDINGS PER THE APPROVED SITE PLAN. THE SITE HAS BEEN GRANTED FREE DISCHARGE AS THE RUN-OFF VOLUMES HAVE BEEN ACCOUNTED FOR IN THE OVERALL MASTER DRAINAGE PLAN.

FRENCH DRAINS ARE FEATURES OF THE DESIGN TO HASTEN INFILTRATION WITHIN THE PONDS WHEN RUNOFF IS CAPTURED FROM STORM EVENTS.

LOT 1-B

EXISTING CONDITION

BASIN ID	% D	% C	% B	% A	AREA	Q(100)	VOLUME
101	0.0	100.0	0.0	0.0	4.74 AC.	8.02 cfs	.2414 AC-FT

DEVELOPED CONDITION

BASIN ID	% D	% C	% B	% A	AREA	Q(100)	VOLUME
101	85.0	15.0	0.0	5.0	4.74 AC.	19.61 cfs	.8445 AC-FT

STORM WATER QUALITY

THE REQUIRED "STORM WATER QUALITY" VOLUME IS CALCULATED AND WILL BE REQUIRED AT THE TIME OF DEVELOPMENT FOR THE COMMERCIAL PORTION OF THE SITE.

REQUIRED VOLUME = 0.42" X IMPERVIOUS AREA
= 0.42"/12 X (206,574.64 SF) X 85%
= 6150 CF

LOT 1-B HAS BEEN DESIGNATED AS A FUTURE COMMERCIAL PROPERTY AND HAS BEEN ANALYZED AT 85% D FOR FUTURE DESIGN WITH A 4" WIDE STAND PIPE ALLOWING FOR THE CALCULATED 19.61 CFS RUNOFF.

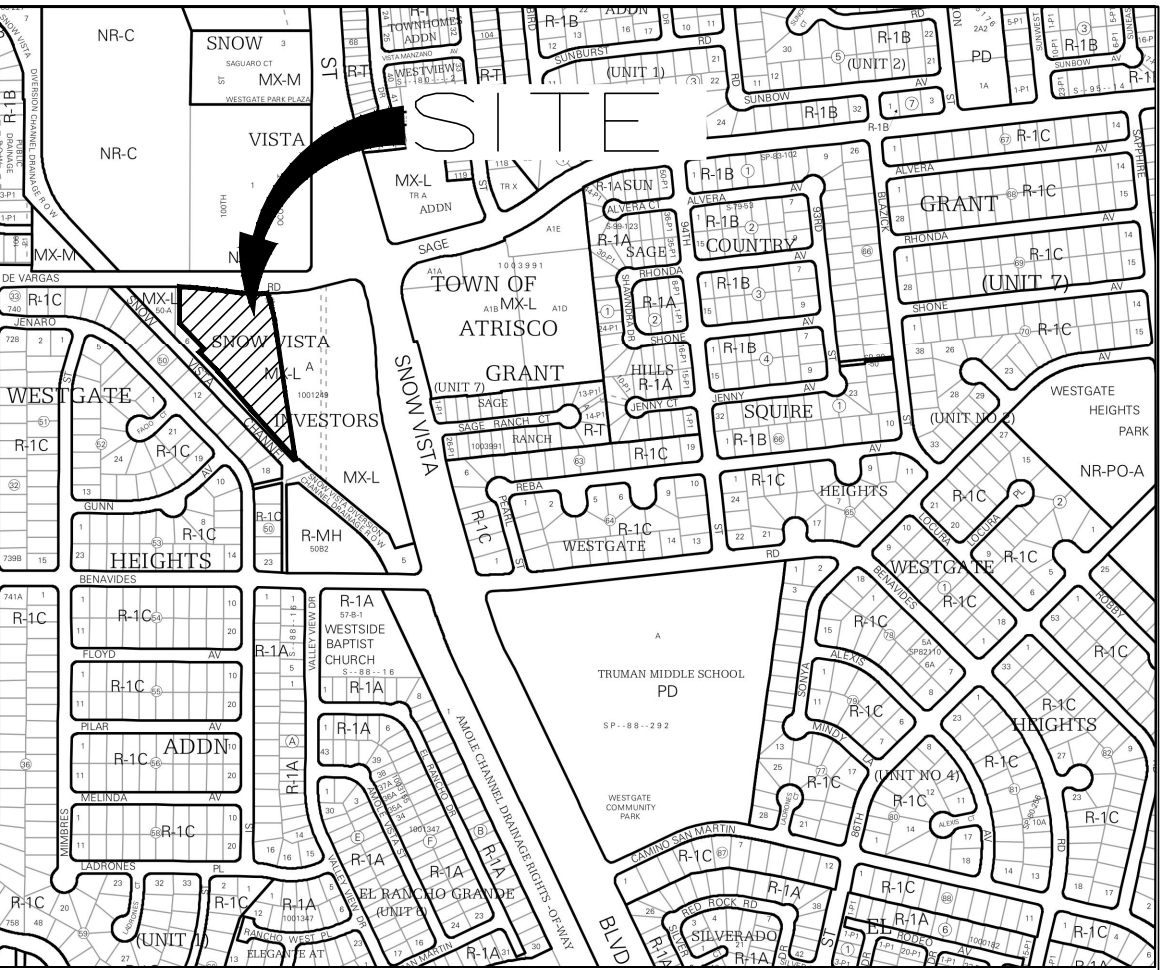
THE TEMPORARY POND IS CURRENTLY SIZED FOR EXISTING RUNOFF FLOW FOR THE SITE IN THE AMOUNT OF .19 AC-FT.

GRADING NOTES:

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
- SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.

OVERALL DEVELOPER TO CONSTRUCT STORM DRAIN MAIN PRIOR TO ANY BUILDING PERMIT APPROVALS FOR THE LOTS WITHIN THE DEVELOPMENT

REFER LANDSCAPING PLAN FOR FINAL STABILIZATION CRITERIA, REFER COA SPEC 1013 FOR MINIMUM REQUIREMENTS.



LEGAL DESCRIPTION

LOT "1B", SNOW VISTA INVESTORS, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT OF LOTS 1A, 1B, 1C, 1D AND 1E, SNOW VISTA INVESTORS, TOWN OF ATRISCO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO," FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 14, 2022, IN PLAT BOOK 2022C, PAGE 139.

ACS BENCHMARK

A.G.R.S. MONUMENT "11_M9"
STANDARD C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,474,735.261 US SURVEY FEET
E=1,493,878.618 US SURVEY FEET
PUBLISHED EL=5139.276 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999682709
DELTA ALPHA ANGLE=-0°16'52.37"

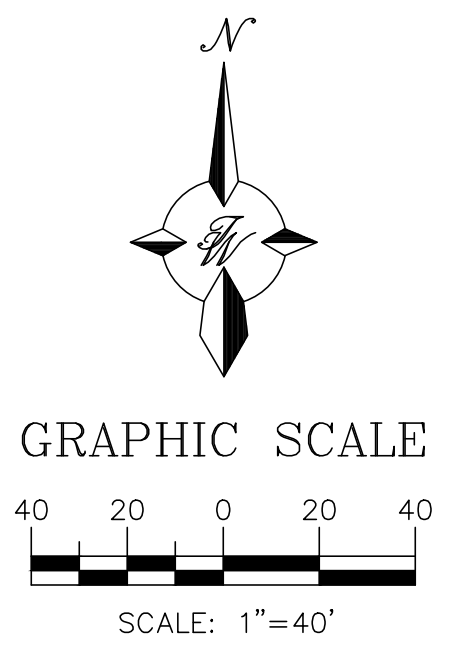
LEGEND

- FOUND NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" UNLESS NOTED OTHERWISE
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
- ◆ FOUND RIGHT OF WAY MARKER AS DESIGNATED
- EXISTING UTILITY POLE
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING GUY WIRE
- ⊠ EXISTING ELECTRIC BOX
- ⊠ EXISTING ELECTRIC METER
- ⊠ EXISTING FIRE HYDRANT
- ⊙ EXISTING TELEPHONE MANHOLE
- EXISTING SIGN
- EXISTING CURB AND GUTTER
- EXISTING OVERHEAD UTILITY LINE
- EXISTING EDGE OF ASPHALT
- STORM DRAIN PIPE

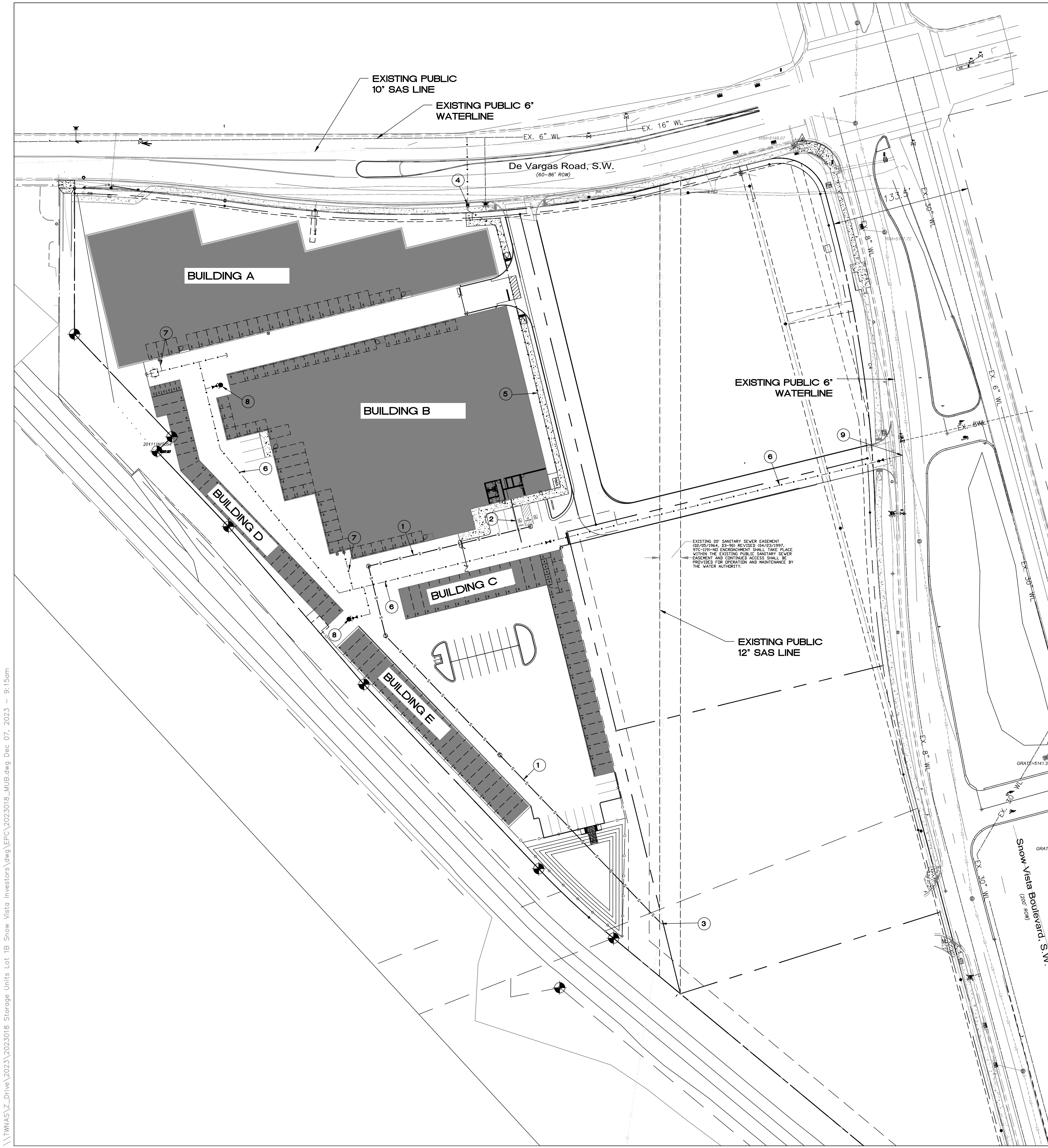
REVISION	12/07/2023	LN
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NOT FOR CONSTRUCTION

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	98TH & SAGE STORAGE ALBUQUERQUE, NM CONCEPTUAL GRADING AND DRAINAGE PLAN	DRAWN BY BF DATE 10/31/2023 A23005_CONCEPTUAL G&D PLAN
	SHEET # GR-1 JOB # 2023018	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com



\\TMSAS\Z_Drive\2023\2023018 Storage Units Lot 1B Snow Vista Investors\dkg\EPIC\A23005_Conceptual G&D Plan.dwg Dec. 07, 2023 - 8:51am

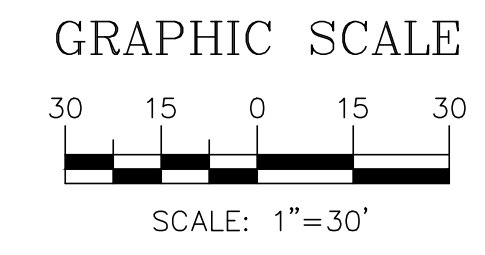
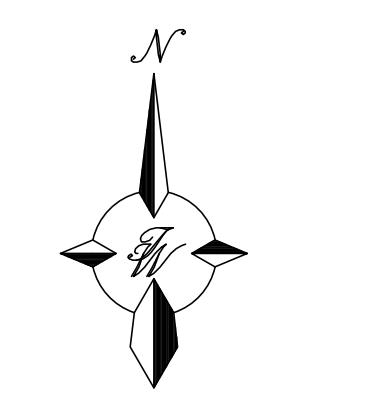


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- PUBLIC SANITARY SEWER LINE
- PRIVATE SANITARY SEWER LINE
- WATERLINE
- FIRE LINE
- SINGLE CLEAN OUT
- ∞ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- EX. UGE — EXISTING OVERHEAD UTILITIES
- EX. UGE — EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS — EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. 10" WL — EXISTING WATER LINE
- EX. 18" RCP — EXISTING STORM SEWER LINE

KEYED NOTES

- 1 PRIVATE 6" SANITARY SEWER LINE
- 2 PRIVATE 4" SAS SERVICE LINE
- 3 CONNECT TO EXISTING PUBLIC SAS MANHOLE
- 4 15" WATER SERVICE LINE AND METER BOX PER ABCWUA
- 5 PRIVATE 2" DOMESTIC WATER LINE
- 6 PRIVATE 8" FIRE LINE
- 7 PRIVATE 6" FIRE LINE
- 8 PRIVATE FIRE HYDRANT PAINTED ORANGE
- 9 CONNECT TO EXISTING 8" WATER MAIN



CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 8) INCLUDING AMENDMENT NO 1.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
5. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
7. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY. CALL 811 FOR PUBLIC UTILITIES LOCATES.
9. PNM WILL REVIEW ALL TECHNICAL POWERS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.

GENERAL UTILITY NOTES:

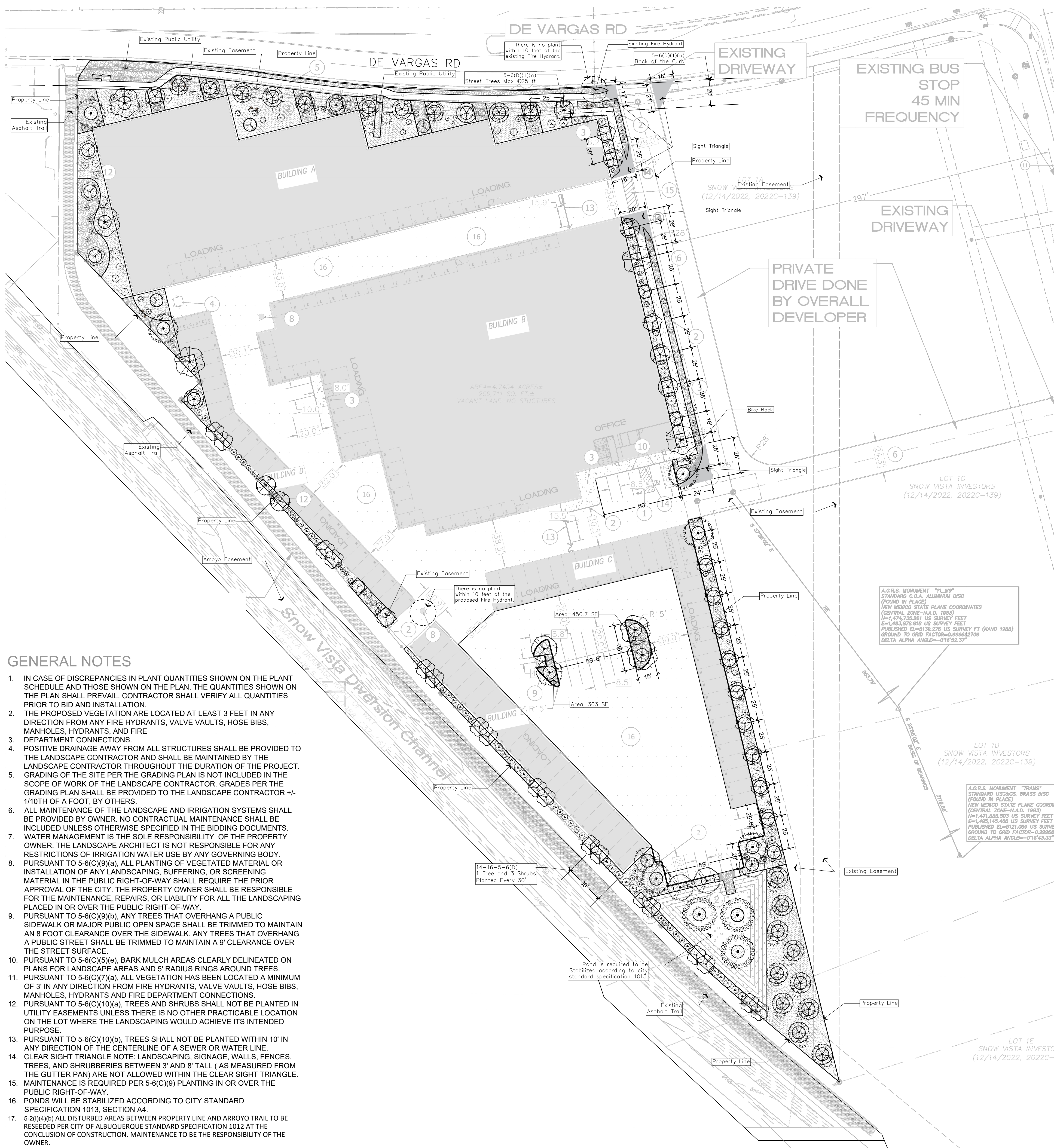
1. CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
2. PROVIDE 3 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
3. AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
4. NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
5. CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
6. INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
7. PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
8. P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
9. CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.
10. CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

ABCWUA NOTES:

COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.

COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

REVISION	12/07/2023	LN
NOT FOR CONSTRUCTION		
ENGINEER'S SEAL	98TH & SAGE STORAGE ALBUQUERQUE, NM	DRAWN BY BF
	CONCEPT UTILITY PLAN	DATE 10/31/2023
		2023018_MUB
		SHEET # MU-1
5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		JOB # 2023018



GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- THE PROPOSED VEGETATION ARE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PURSUANT TO 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PURSUANT TO 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE. MAINTENANCE IS REQUIRED PER 5-6(C)(9) PLANTING IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PONDS WILL BE STABILIZED ACCORDING TO CITY STANDARD SPECIFICATION 1013, SECTION A4.
- 5-21(K)(4)(b) ALL DISTURBED AREAS BETWEEN PROPERTY LINE AND ARROYO TRAIL TO BE RESEDED PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION 1012 AT THE CONCLUSION OF CONSTRUCTION. MAINTENANCE TO BE THE RESPONSIBILITY OF THE OWNER.

PLANT SCHEDULE 2023-12-06 10:30

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	POINT	H.X.W
DECIDUOUS TREE						
3		CELTIS OCCIDENTALIS / COMMON HACKBERRY	2" B&B	MEDIUM	35	40' x 40'
34		CHLOPS LINEARIS / DESERT WILLOW	25 GAL	RW	45	20' x 25'
14		CRATAEGUS CRUS-GALLI 'NERITA' / THORNLESS HAWTHORN	2" B&B	MEDIUM	35	25' x 20'
6		GYMNOCLADUS DIOICA / KENTUCKY COFFEE TREE	2" B&B	MEDIUM	35	40' x 30'
7		KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	2" B&B	MEDIUM	40	30' x 30'
7		PISTACHIA CHINENSIS / CHINESE PISTACHIO	2" B&B	MEDIUM	45	60' x 60'
6		WEX AGNUS-CASTUS / CHASTE TREE	24" BOX	MEDIUM	35	20' x 20'
EVERGREEN TREE						
6		PINUS ELDARICA / AFGHAN PINE	6"	MEDIUM	35	40' x 25'
FRUIT TREE						
10		MALUS DOMESTICA 'GOLDEN DELICIOUS' / GOLDEN DELICIOUS APPLE	1 1/2" B&B	MEDIUM		20' x 25'

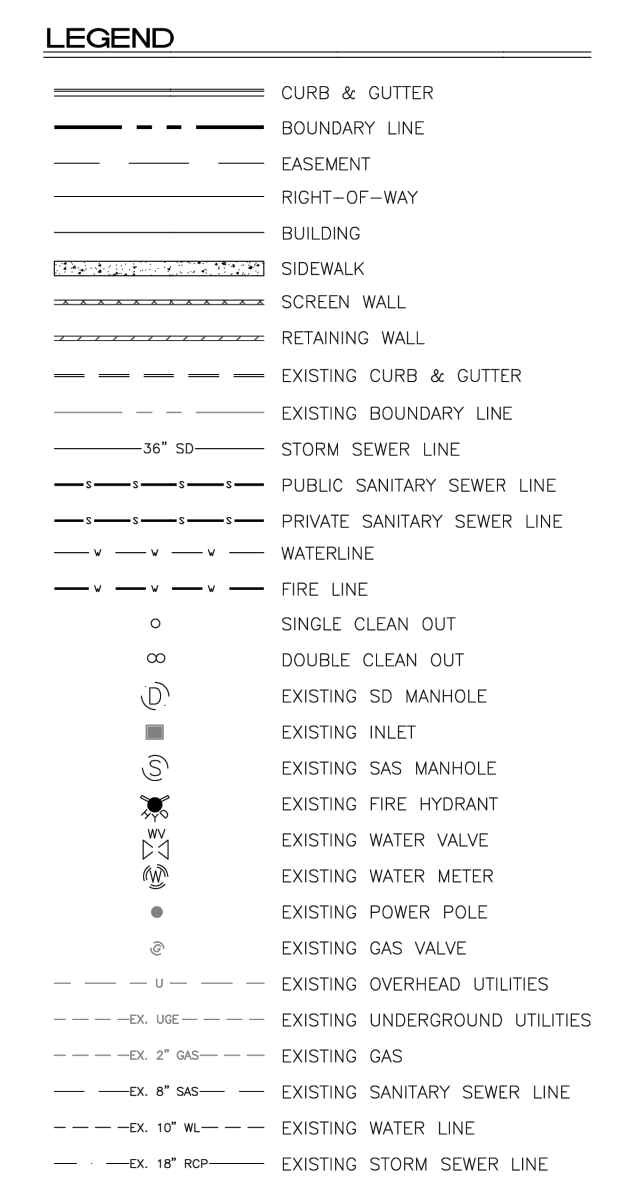
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	WATER	H.X.W	H.X.W
DESERT ACCENT						
19		HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	LOW	20	3' x 4'
34		MOLNA MICROCARPA / BEARGRASS	5 GAL	RW	30	5' x 6'
29		YUCCA BACATA / BANANA YUCCA	5 GAL	RW	30	4' x 5'
ORNAMENTAL GRASS						
29		MULLENBERGIA CAPILLARS 'REGAL WIST TM' / MUHLY	1 GAL	MEDIUM	12	3' x 3'
DECIDUOUS SHRUBS						
29		BUDLEIA DAVIDA / BUTTERFLY BUSH	5 GAL	MEDIUM	20	4' x 4'
20		CAESALPINIA GALLESI / YELLOW BIRD OF PARADISE	5 GAL	RW	40	10' x 10'
EVERGREEN SHRUBS						
21		COTONEASTER FAINYI / COTONEASTER	5 GAL	MEDIUM	30	10' x 15'
26		CYRUS SCOPARIUS 'ALL GOLD' / SCOTCH BROOM	5 GAL	MEDIUM	30	4' x 6'

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY
X	LARGE BOULDER	10
	7/8" MOUNTAIN BROWN GRAVEL MULCH, 3" DEPTH OVER FILTER FABRIC	19,488 SF
	MINIMUM 10" DIAMETER BARK MULCH UNDER TREES	6,926 SF
	2-4" BLUE SAIS COBBLE, 4" DEPTH OVER FILTER FABRIC	6,968 SF
	HYDROSEED OR HAND BROADCAST SEED	4,830 SF
	2"-8" BLUE SAIS COBBLE	
	ONE-ROCK DEPTH 80%-100% COVERAGE	
	NO SOIL PREP	

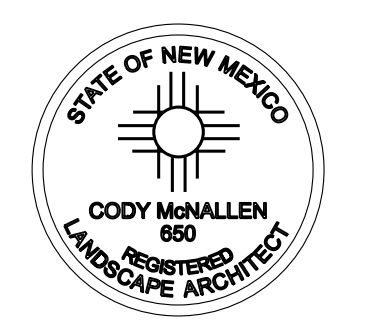
LANDSCAPE DATA

IDO UPC#	ZONING DESIGNATION
	NR-C
GROSS LOT AREA (SF)	206,709
BUILDING AREA (SF)	103,591
NET LOT AREA (SF)	103,118
MINIMUM LANDSCAPE	
AREA (SF) - MINIMUM 15% OF NET LOT AREA*	15,468
TOTAL VEGETATIVE COVERAGE (SF) @ PLANT MATURITY (75% OF LANDSCAPE AREA)	11,601
VEGETATIVE COVERAGE (SF) OF GROUND-LEVEL PLANTS (25% OF TOTAL, MINIMUM)	2,900
PLANTING AREA MULCH	
GRAVEL OR CRUSHER FINES (SF)	REQUIRED
	MAX. 75%
	26,479
	69%
STREET TREES - 1 PER 25 LF	
STREET FRONTAGE (LF)	REQUIRED
	374
STREET TREES	15
	15
EDGE BUFFER LANDSCAPE	
TREES	REQUIRED
	PROVIDED
PARKING LOT EDGES	
WITHIN 30' OF FRONT LOT LINE - CONTINUOUS 3' HT EVERGREEN SHRUBS	-
WITHIN 20' SIDE AND REAR LOT EDGES (LF)	-
TREES (2 PER 25 LF)	-
SHRUBS (6 PER 25 LF)	-
PARKING LOT INTERIOR	
PARKING STALLS	REQUIRED
PARKING LOT AREA (SF)	27349.7
LANDSCAPED AREA (10% OF PARKING LOT AREA)*	2,735
TREES (1 PER 10 PARKING SPACES)	3.4
	11
COOL SEASON GRASS	
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREA	REQUIRED
	PROVIDED
	##
ADDITIONAL REQUIREMENTS FOR MULTIFAMILY DWELLING	
1 TREE PER GROUND FLOOR DWELLING UNIT	REQUIRED
1 TREE PER SECOND FLOOR DWELLING UNIT*	REQUIRED
TOTALS	
TREES	REQUIRED
	PROVIDED
	93



- KEYED NOTES**
- PRIVATE 6" SANITARY SEWER LINE
 - PRIVATE 4" GAS SERVICE LINE
 - CONNECT TO EXISTING PUBLIC GAS MANHOLE
 - 15" WATER SERVICE LINE AND METER BOX PER ABCWA.
 - PRIVATE 2" DOMESTIC WATER LINE
 - PRIVATE 8" FIRE LINE
 - PRIVATE 6" FIRE LINE
 - PRIVATE FIRE HYDRANT PAINTED ORANGE
 - CONNECT TO EXISTING 8" WATER MAIN

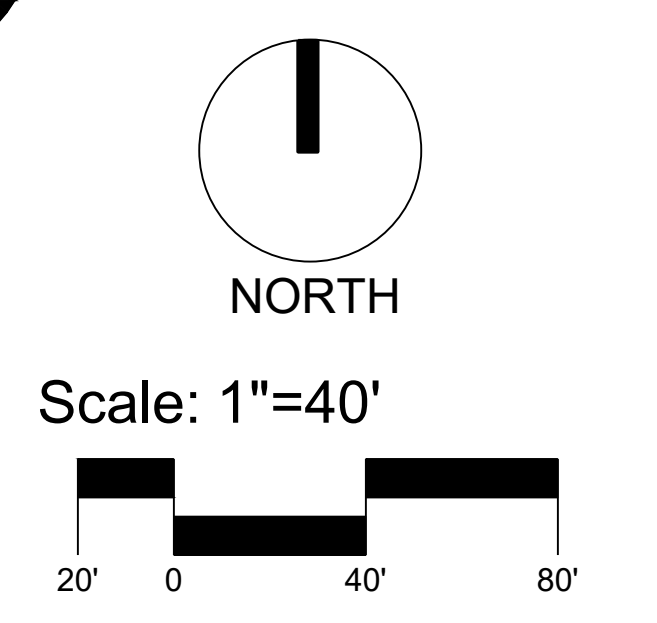
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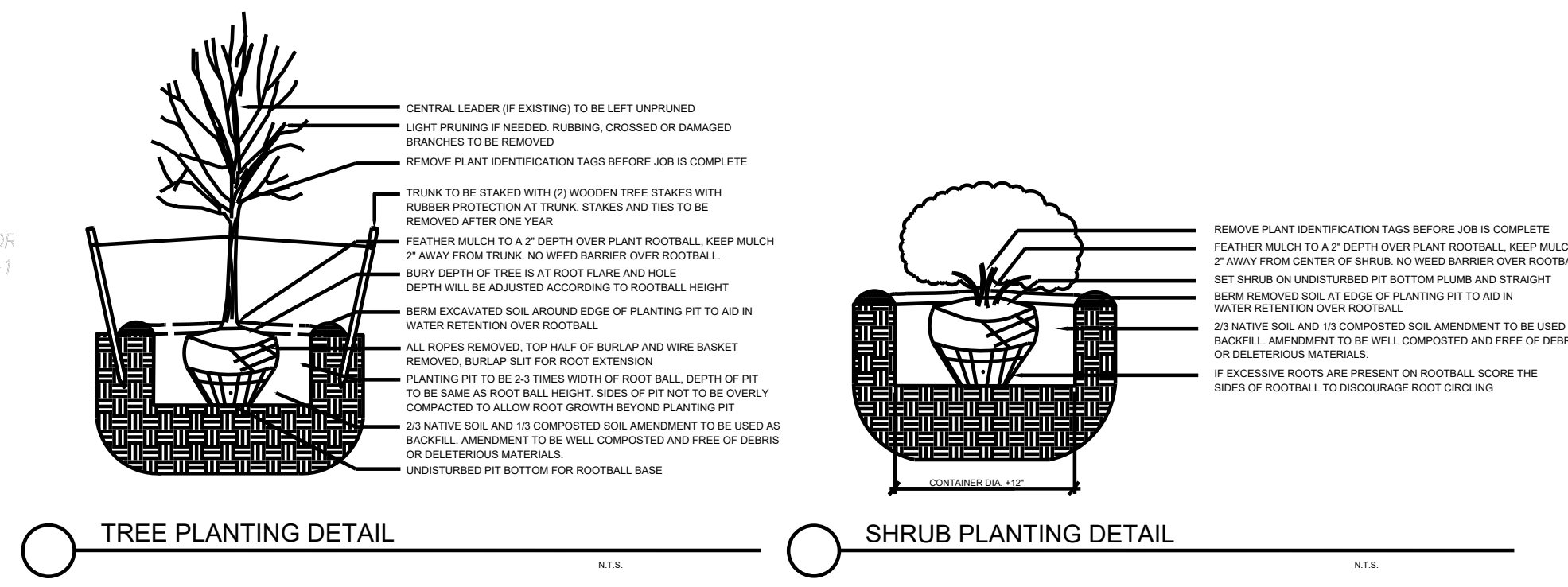
Date: 10.29.2023
 Revisions:
 12.06.2023

Drawn by: FB
 Reviewed by: CM, MH

Snow Vista Self Storage
 Albuquerque, NM, 87121



Sheet Title:
Planting Plan
 Sheet Number:
LS-01



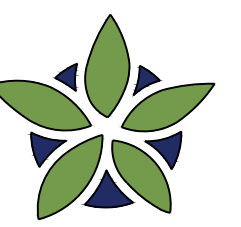


IRRIGATION LEGEND

Symbol	Item / Description	Manufacturer / Model
	Controller -confirm location in field	Rainbird ESP-Me Controller Rain/Freeze Sensor
	Ball Valve -assumed point of connection	Spears Ball Valve
	Reduced Pressure Backflow Preventer/Master Valve Assembly in Valve Box	Febco 825Y Rainbird PEB AEP 1320 Hunter
	Automatic Drip Valve with pressure regulating filter	Rainbird PEB Rainbird PRF-100-RBY AEP 1320 Hunter
	Poly Drip Line w / Flush Cap 6 emitters per tree 2 emitters per shrub 1 emitter per perennial	Agrifim TAE
	PVC Masterline 18\"/>	
	PVC Sleeve	Sch 40 Class 200
	Valve Sequence	
	Valve Size	
	GPM	

IRRIGATION NOTES

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH LABOR, MATERIALS AND EQUIPMENT TO INSTALL PROPOSED IRRIGATION SYSTEM AS SHOWN PER PLAN AND DETAILS.
2. IF ANY ERRORS OR DISCREPANCIES APPEAR ON THE PLAN, THEY MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION OF THE IRRIGATION SYSTEM BEGINS.
3. LANDSCAPE INSTALLER SHALL PERFORM PRESSURE/GPM TEST AT POINT OF CONNECTION BEFORE INSTALLING IRRIGATION SYSTEM TO VERIFY PSI AND GPM FOR THE SITE.
4. IRRIGATION SYSTEM HAS BEEN DESIGNED TO A MINIMUM DYNAMIC PRESSURE OF 75 PSI AT 50 GPM. IF THE PSI/GPM ARE LOWER THAN 75/50 THE LANDSCAPE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.
5. THE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS AND MAKE ANY NECESSARY FIELD ADJUSTMENTS WITH GENERAL CONTRACTOR.
6. THE LOCATION OF IRRIGATION EQUIPMENT IS APPROXIMATE AND SHALL BE LOCATED IN THE LANDSCAPE AREAS. ANY IRRIGATION EQUIPMENT AND PIPING SHOWN OUTSIDE OF LANDSCAPE AREAS ARE FOR GRAPHIC CLARITY ONLY.
7. THE LANDSCAPE CONTRACTOR SHALL PROVIDE TO OWNER AN ACCURATE AS-BUILT IRRIGATION PLAN WHEN THE WORK IS COMPLETED. AS-BUILT DOCUMENTS SHOULD BE UPDATED WEEKLY FOR ACCURATE RECORDING OF IRRIGATION SYSTEM.
8. VALVE LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT. VALVE BOX LIDS TO BE TAN IN GRAVEL AREAS AND GREEN IN SOD/SEED AREAS.
9. ALL PLANTS WITHIN THE PROPERTY LINE SHALL BE IRRIGATED BY LOW FLOW POINT-SOURCE DRIP IRRIGATION SYSTEM.
10. ALL PLANTS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY BUBBLER IRRIGATION SYSTEM PER COA SPEC. ALL PLANTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE ZONED SEPARATELY FROM THE PLANTS WITHIN THE PROPERTY LINE.
11. POWER FOR IRRIGATION SYSTEM TO BE PROVIDED BY THE GENERAL CONTRACTOR. 110V POWER IS REQUIRED AT THE LOCATIONS OF THE IRRIGATION CONTROLLER AND BACKFLOW PREVENTER.
12. BACKFLOW PREVENTER MUST BE TESTED AND CERTIFIED BEFORE FINAL ACCEPTANCE OF THE JOB.
13. CONTROLLER LOCATION IS APPROXIMATE AND THE FINAL LOCATION WILL BE DETERMINED IN THE FIELD.
14. SLEEVES TO BE INSTALLED, AS SHOWN PER PLAN, BEFORE HARDSCAPE IS INSTALLED. THE LANDSCAPE CONTRACTOR MUST BE GIVEN A MINIMUM OF 72 HOUR NOTICE BEFORE SLEEVE LOCATIONS ARE PAVED OVER.
15. WATER METER TO BE PROVIDED BY OTHERS.



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Date: 10.30.2023

Revisions:

▲ 12.06.2023

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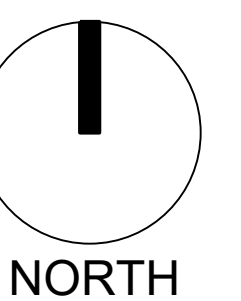
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Reviewed by: CM, MH

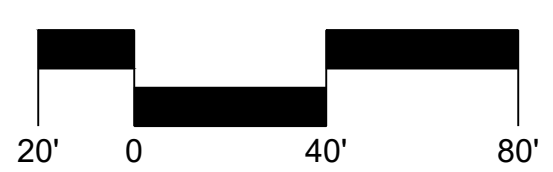
Snow Vista
Self Storage

Albuquerque, NM, 87121



NORTH

Scale: 1"=40'



Sheet Title:

Irrigation Plan

Sheet Number:

LI-01