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PROFESSIONAL

REVISION

Δ	ISSUE	DATE

PROFESSIONAL IN CHARGE

AM

PROJECT MANAGER

CD

QUALITY CONTROL

AM

DRAWN BY

CD

PROJECT NAME

**CIRCLE K STORES, INC.**

SWC 98th ST & SAGE RD.  
 ALBUQUERQUE, NM 87121

PROTOCOL # R0 03/07/25

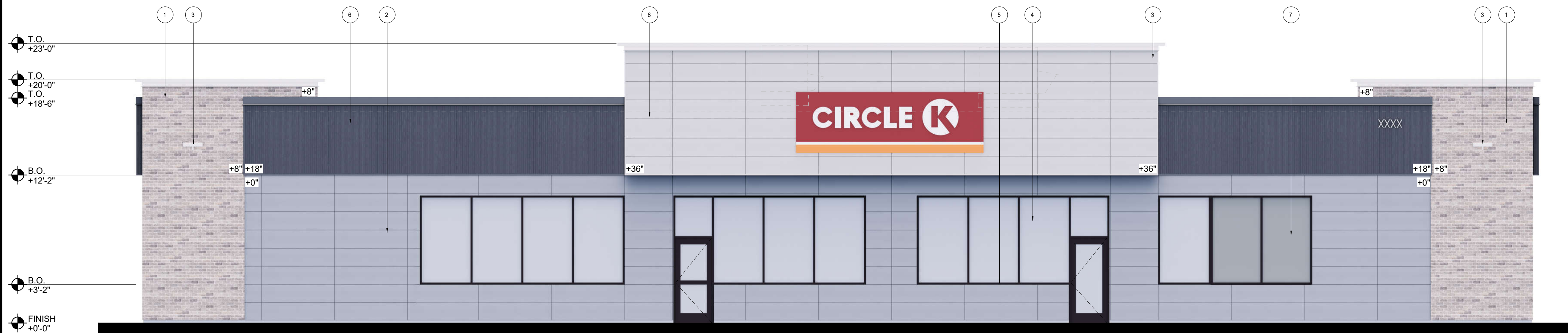


CIRCLE K STORES, INC.

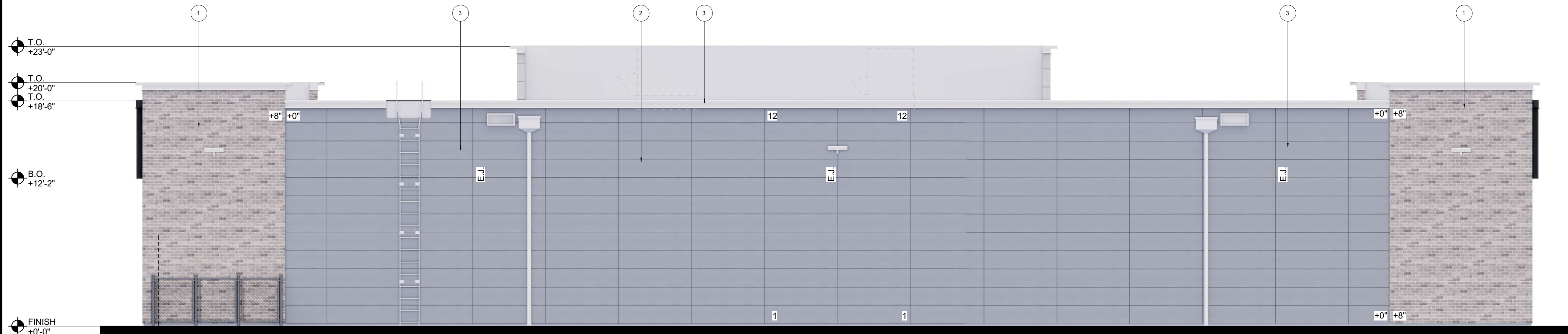
PROJECT NUMBER:  
 230-603

5200 V2.0 COLOR  
 ELEVATIONS

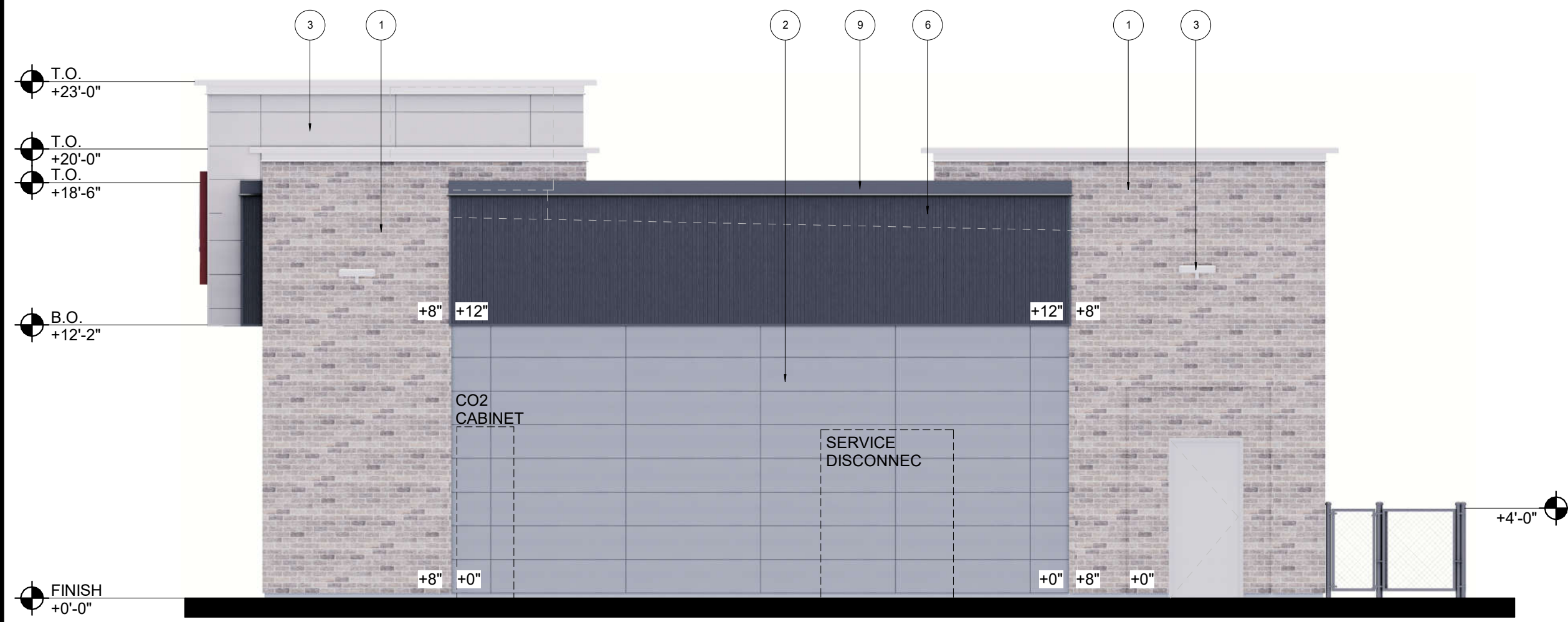
**A2.01**



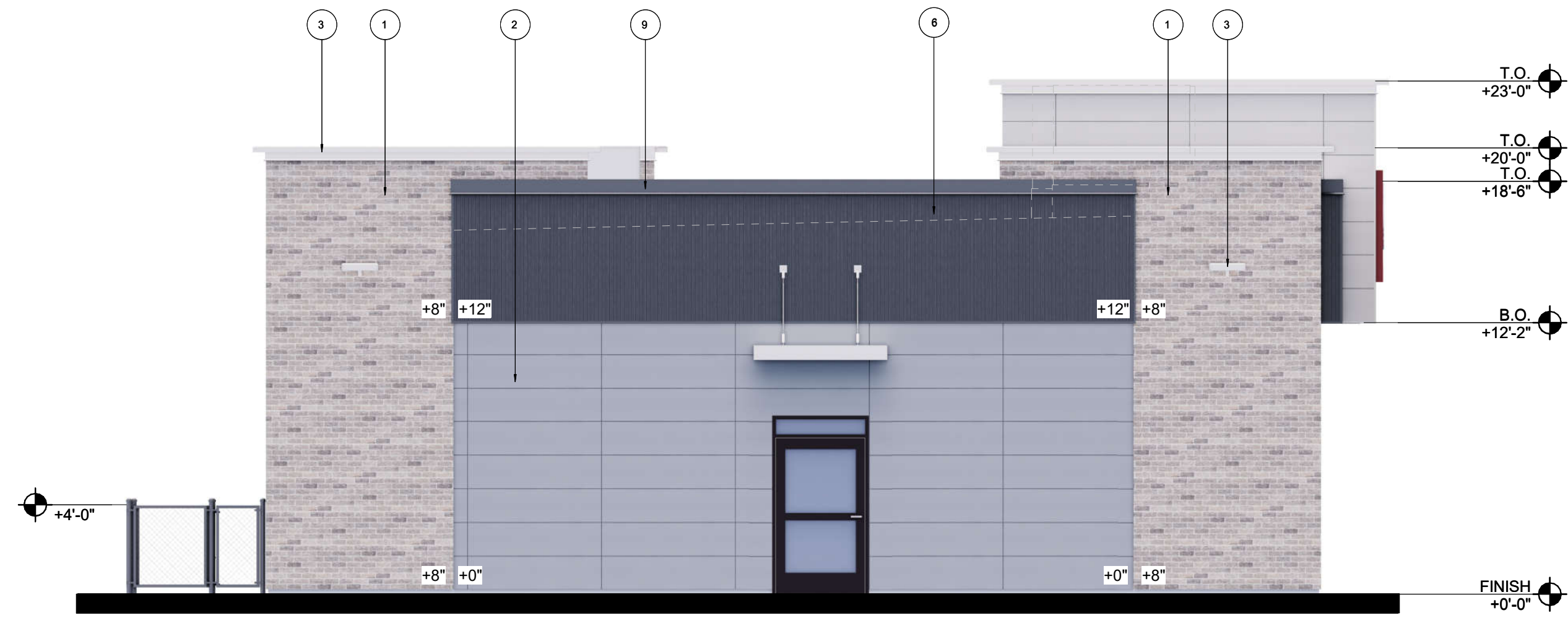
FRONT ELEVATION (EAST) | 1  
 12" = 1'-0"



REAR ELEVATION (WEST) | 2  
 12" = 1'-0"



SIDE ELEVATION (NORTH) | 3  
 12" = 1'-0"



SIDE ELEVATION (SOUTH) | 4  
 12" = 1'-0"

- 9. METAL COPING, CORNICE AND GUTTER  
SHERMAN WILLIAMS 1051 "WEB GRAY"
- 8. NICHHA TUFFBLOCK  
SHERMAN WILLIAMS 9301 "SOFT OF HEAT"
- 7. SPANDREL GLASS
- 6. NICHHA RIBBED  
SHERMAN WILLIAMS 1051 "WEB GRAY"
- 5. ANODIZED WINDOW AND DOOR FRAMING  
COLOR: DAWN BRONZE
- 4. 1" INSULATED CLEAR GLASS
- 3. METAL COPING, CORNICE AND GUTTER  
SHERMAN WILLIAMS 1051 "SNOWBOUND"
- 2. NICHHA  
SHERMAN WILLIAMS 9301 "MORNING FOG"
- 1. NICHHA CANYONBRICK  
"SMALL BROWN"

MATERIAL LEGEND | N.T.S.

**Legal Description & Location:**

9800 De Vargas Road, SW  
 Lot 1A Snow Vista Investors

**Request Description:** Circle K Convenience Store with 7 gas pumps (14 fueling dispensers)

**I - Hydrology: (if you already have approved plans, you can bypass this section and go to section II)**

- |                                     |       |          |          |       |    |
|-------------------------------------|-------|----------|----------|-------|----|
| • Sensitive Lands Analysis (5-2(C)) | _____ | Approved | _____    | X     | NA |
| • Grading and Drainage Plan         | _____ | X        | Approved | _____ | NA |
| • AMAFCA                            | _____ | Approved | _____    | X     | NA |
| • Bernalillo County                 | _____ | Approved | _____    | X     | NA |
| • NMDOT                             | _____ | Approved | _____    | X     | NA |
| • MRGCD                             | _____ | Approved | _____    | X     | NA |

*Anto Mar*  
 Hydrology Department

3/24/2026  
 Date

**II - Approved Grading and Drainage Plan/Letter Attached: (not needed if obtained signature in section I)**

**III - Transportation: (if you already have approved plans, you can bypass this section and go to section IV)**

- |                                      |       |          |          |       |    |
|--------------------------------------|-------|----------|----------|-------|----|
| • Traffic Circulations Layout (TCL)  | _____ | X        | Approved | _____ | NA |
| • Traffic Impact Study (TIS)         | _____ | X        | Approved | _____ | NA |
| • Neighborhood Impact Analysis (NIA) | _____ | Approved | _____    | X     | NA |
| • Bernalillo County                  | _____ | Approved | _____    | X     | NA |
| • MRCOG                              | _____ | Approved | _____    | X     | NA |
| • NMDOT                              | _____ | Approved | _____    | X     | NA |
| • MRGCD                              | _____ | Approved | _____    | X     | NA |

*Ernest Armijo*  
 Transportation Department

3/23/2026  
 Date

**IV - Approved TCL/Letter Attached: (not needed if obtained signature in section III)**

**V - Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

**Please select and attach the executed document that provides the commitment of service (whichever is applicable):**

- Availability Statement
- Service Connection Agreement
- Development Agreement

**If you do not have the executed document, please obtain the ABCWUA signature for your project.**

**To be completed by ABCWUA**

- Request for Availability submitted: Availability Statement/Serviceability Letter # 251106
- Request for Availability is not applicable

*Renée C. Brissette*  
 ABCWUA

03/24/2026  
 Date

**Note: Commitment for service is required prior ABCWUA approval of DFT application.**

- VI - Infrastructure Improvements Agreement (IIA\*)** \_\_\_\_\_ Approved X NA
- VII - Solid Waste Department Signature on the Plan** \_\_\_\_\_ Approved \_\_\_\_\_ NA
- VIII - Fire Marshall Signature on the Plan** \_\_\_\_\_ Approved \_\_\_\_\_ NA

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



March 25, 2026

Mr. Jay Rodenbeck  
Development Facilitation Team  
600 2nd ST NW  
Albuquerque, NM 87102

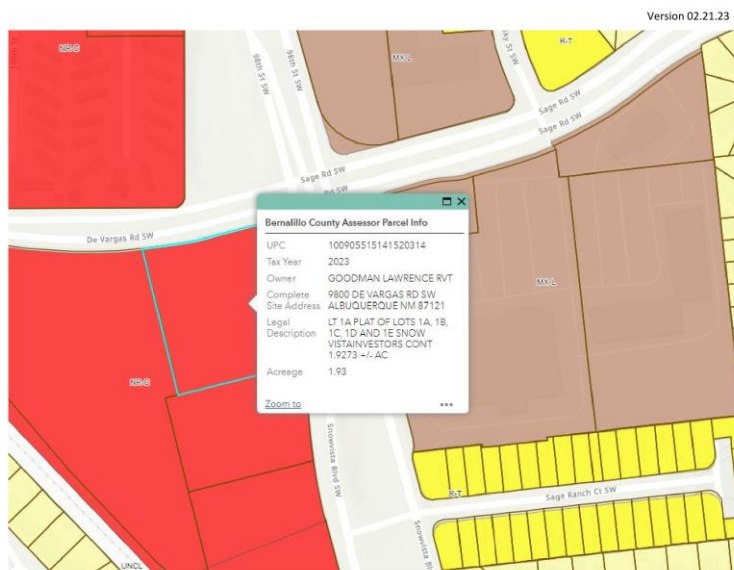
**RE: DFT – SITE PLAN ADMINISTRATIVE**  
**Circle K, 9800 De Vargas Rd. SW, Lot 1A, Snow Vista Investors**  
**IDO ZONE ATLAS PAGE M-9**

Mr. Rodenbeck,

JM Civil Engineers seeks a DFT – Site Plan Administrative review and approval for the lot legally described as Lot 1A, Snow Vista, an 1.92 acres, located on 9800 De Vargas Road SW. The developer, Circle K, seeks to develop the lot for a 5200 sf convenience store with 7 fuel pumps (14 fuel dispensers).

### Planning Context

The subject site is zoned NR-C Commercial (see figure one below). There are parcels that have the same zoning NR-C to the west, north and south of the site, a parcel zoned MX-L to the east across Snow Vista Blvd.



Per the Pre-application Review Notes dated 04/03/2024, PRT24-023, Light Vehicle Fueling Station is permissible in the NR-C Zone District.

Included in this application you will find the following:

- DFT-Application,
- Form P2 Site Plan Administrative – DFT,
- Form SP (Prior approval signature sheet),
- Zone Atlas Page,
- Site Plans (Site Plan – DFT, TCL, G&D, Fire 1, Building Elevations, Landscaping Plans), Signage Plan,
- Approval Responses from TCL, G&D, Solid Waste, and ABCWUA Water and Sewer Availability Statement
- Site Plan Checklist,
- Letter of Authorization,
- Justification Letter,
- Sign Posting Agreement, and
- ONC Coordination.

### **6-5(G)(3) Review and Decision Criteria**

- 6-5(G)(3)(a) The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.  
Response: The Site Plan is in compliance with all applicable standards outlined in the IDO, DPM, and other City regulations.
- 6-5(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.  
Response: The City's existing infrastructure and public improvements have sufficient capacity to support the proposed development.
- 6-5(G)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.  
Response: The site is not part of a Master Development Plan. The Site Plan complies with all applicable IDO standards for the NR-C zone district.
- 6-5(G)(3)(d) If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.  
Response: The site is not part of a Framework Plan. The Site Plan complies with all applicable IDO standards for the NR-C zone district.

## Approvals

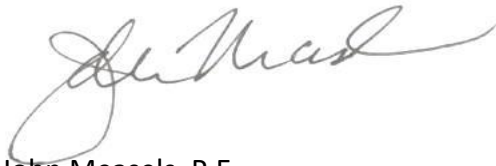
We have received these approvals from each of the departments below:

- Hydrology M09D012A HYDR-2025-00417
- Traffic M09D012A TRANS-2025-00330
- TIS TRANS-2026-00009
- Solid Waste
- Fire 25-100651
- ABCWUA Work Order W2025 0014
- ABCWUA Availability #251106

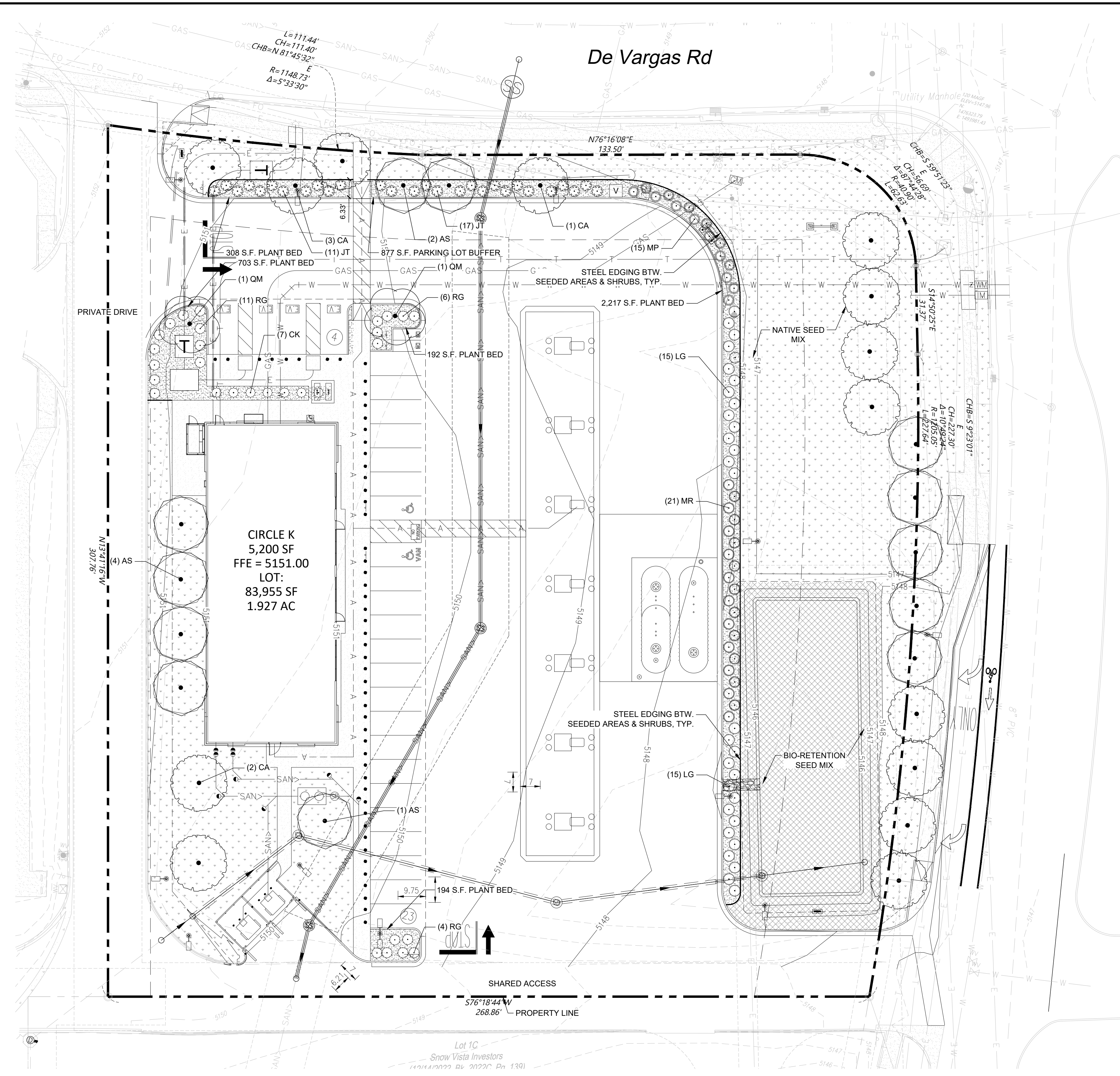
All the approvals letters and signed plans are uploaded as well as the Form SP: Preapproval/Signatures.

Please let me know if you have any questions by emailing [asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com) and we will get back to you as soon as possible.

Sincerely,

A handwritten signature in black ink, appearing to read "John Measels". The signature is fluid and cursive, with a large initial "J" and "M".

John Measels, P.E.

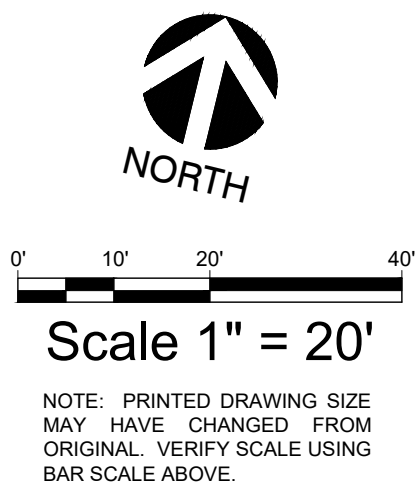


**LANDSCAPE CALCULATIONS**

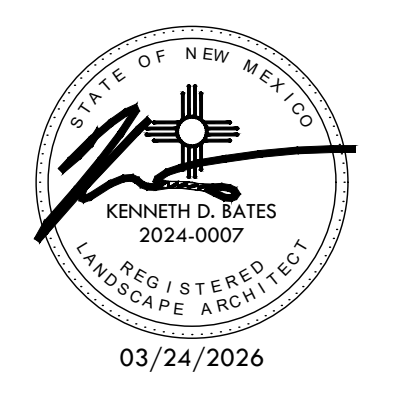
JURISDICTION:	CITY OF ALBUQUERQUE, NM
ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
NET SITE AREA:	83,942 SF / 1.92 AC
LANDSCAPE AREA REQUIRED:	12,591.3 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	34,786 SF (41% OF SITE AREA)
TURF AREA PROVIDED:	0 SF
STREET FRONTAGE LANDSCAPING	
FRONTAGE LENGTH - DE VARGAS RD.:	297 LF
STREET TREES REQUIRED:	12 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	12 TREE*
*SOME TREES LOCATED IN ALTERNATIVE LOCATIONS DUE TO UTILITY CONFLICTS	
FRONTAGE LENGTH - SNOW VISTA BLVD.:	313 LF
STREET TREES REQUIRED:	13 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	13 TREE*
*SOME TREES LOCATED IN ALTERNATIVE LOCATIONS DUE TO UTILITY CONFLICTS	
PARKING LOT LANDSCAPING	
TOTAL VEHICULAR USE AREA:	33,610 SF
SHARED ACCESS AREA:	3,756 SF
PARKING LOT AREA:	27,636 SF
LANDSCAPE AREA REQUIRED:	2,764 SF (10% OF PARKING AREA)
LANDSCAPE AREA PROVIDED:	2,764 SF (10% OF PARKING AREA)
PERIMETER SCREENING:	PROVIDED
TOTAL PARKING SPACES:	26 SPACES
TREES REQUIRED:	3 TREE (1 TREE PER 10 SPACES)
TREES PROVIDED:	3 TREES*
*SOME TREES LOCATED IN ALTERNATIVE LOCATIONS DUE TO UTILITY CONFLICTS	
TOTAL LANDSCAPE AREA:	34,786 SF
MINIMUM REQUIRED COVERAGE:	26,090 SF (75% OF LANDSCAPE AREA)
COVERAGE PROVIDED OVERALL:	32,739 SF (94%)
PROVIDED GROUND LEVEL COVERAGE:	32,739 SF (94%)

**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>TREES</b>					
	AS	Acer negundo 'Sensation' / Sensation Box Elder	2" Cal.	Cont. or B&B	12
	CA	Chilopsis linearis 'Art's Seedless' / Art's Seedless Desert Willow	2" Cal.	Cont. or B&B	14
	QM	Quercus muehlenbergii / Chinkapin Oak	2" Cal.	Cont. or B&B	2
<b>SHRUBS</b>					
	CK	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	3 gal.	Cont.	7
	JT	Juniperus chinensis 'Monlep' / Mint Julep® Chinese Juniper	5 gal.	Cont.	28
	LG	Leucophyllum frutescens 'Green Cloud' / Green Cloud Texas Sage	5 gal.	Cont.	30
	RG	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	1 gal.	Cont.	23
<b>GRASSES</b>					
	MR	Muhlenbergia rigens / Deer Grass	3 gal.	Cont.	21
	MP	Muhlenbergia rigida / Purple Muhly	3 gal.	Cont.	15
<b>GROUND COVERS</b>					
	LA	Bio-Retention Seed Mix Bouteloua gracilis 'Hachita' – 2 pls per 1 ac. Artemisia frigida – 25 pls per 1 ac Sparganium angustifolium – 25 pls per 1 ac Oenothera pallida – 25 pls per 1 ac Baileya multiradiata – 25 pls per 1 ac Berlandiera lyrata – 25 pls per 1 ac Earthwise Seed Company / Southwest Native Meadowscape Mix Alter 1 lbs per 1,000 sf	seed		8,629 sf
	NM	Earthwise Seed Company / Southwest Native Meadowscape Mix Alter 1 lbs per 1,000 sf	seed		22,564 sf
<b>ROCK / STONE</b>					
	DR	Buildology Brown Fine 3" Compacted Rock Mulch over weed barrier/landscape fabric.			2,308 sf



1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measels, PE  
 CIVIL ENGINEER



**LANDSCAPE  
 PLANTING PLAN**  
 CIRCLE K, INC  
 5100 DE VARGAS RD AND SNOW VISTA BLVD  
 ALBUQUERQUE, NEW MEXICO

REV#	DATE	DESCRIPTION	NAME
1	05/07/25	SCHEMATIC, SUBMITTAL	ASB
2	05/09/25	ADD. SENDER RE-ROUTE	ASB

PROJECT NO: JM-DW25001  
 DRAWN BY: JML  
 CHECKED BY: KB  
 ISSUE DATE: 03/24/2026

## PLANTING SPECIFICATIONS

### GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING AND PREPARATION.
  - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

### PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW:**
- CONTAINER AND BALLETS AND BURLAPPED PLANTS.
  - FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z601-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITH A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS 'KNEE ROOTS').
  - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
  - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE USED, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL TRUNKS AND BRANCHES THAT ARE DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TREES.
  - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
  - SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
  - SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
  - TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
  - COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECIGRAMS/MILLILITER, NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTS AND PLANT LIFE.
  - FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
  - MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
  - TREE STAKING AND GUYING
    - STAKES: 6' LONG GREEN METAL T-POSTS
    - GUY AND TIE WIRE: #16 GALVANIZED STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
    - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
  - STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
  - PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELLED RATES.

### METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  - SOIL TESTING:
    - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL TAKEN FROM THE FINISH SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
    - THE CONTRACTOR SHALL HAVE THE TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
    - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING: (AS APPROPRIATE) SOIL PREPARATION AND BACKFILL MIX, THE CONTINANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWN, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
    - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
    - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
    - "CLAY BUSTER" OR "LANDSCAPERS COMPOST" - USE MANUFACTURER'S RECOMMENDED RATE
    - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - "CLAY BUSTER" OR "LANDSCAPERS COMPOST" - USE MANUFACTURER'S RECOMMENDED RATE
      - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - "CLAY BUSTER" OR "LANDSCAPERS COMPOST" - USE MANUFACTURER'S RECOMMENDED RATE
      - IRON SULPHATE - 2 LBS. PER CU. YD.
  - IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH AS INDICATED ON THE GRADING PLANS).
- B. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.**
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

### SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
  - SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES), AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE.
  - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
  - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  - TRENCHING NEAR EXISTING TREES:
    - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
    - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD. TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PANTS UNLESS IF LOCAL JURISDICTION REQUIRES OR OAK TREES LOCATED IN OAK WILT SUSCEPTIBLE AREAS.
- D. TREE PLANTING**
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
  - SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
  - FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
  - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
  - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS NOT INCLUDED IN THE PLANTING HOLE SHALL BE REMOVED. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION TO THE ON-SITE SOIL.
  - CRZ SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUM LISTED BELOW) WILL BE LEFT TO THE DISCRETION OF THE CONTRACTOR'S DISCRETION. SHOULD ANY NOTES OR OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
    - 1"-2" TREES: TWO STAKES PER TREE
    - 2 1/2"-4" TREES: THREE STAKES PER TREE
    - TREES OVER 4" CALIPER: GUY AS NEEDED
    - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
    - #15 CONT. 24" BOX TREES: TWO STAKES PER TREE
    - 36"-48" BOX TREES: THREE STAKES PER TREE
    - OVER 48" BOX TREES: GUY AS NEEDED
    - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
  - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUND COVER PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AND PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
  - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. DRILL SEEDING**
- ALL SEED SHALL BE DRILL SEEDING AT THE RATES SHOWN ON THE PLANS, WITH A HYDROMULCH MIX.
  - APPLIED AFTER SEEDING.
  - THE HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
    - 50# CELLULOSE FIBER MULCH
    - 15# 15-15 WATER SOLUBLE FERTILIZER
    - 4# ORGANIC BINDER
- G. MULCH**
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
  - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
  - LEGALLY DISPOSE ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- I. INSPECTION AND ACCEPTANCE**
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
  - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
  - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- J. LANDSCAPE MAINTENANCE**
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWN, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  - SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
  - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
    - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
    - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
    - SODDED AREAS MUST BE ACTIVELY GROWING, AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDED OR RESEEDING (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.**

## GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH AS INDICATED ON THE GRADING PLANS).
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER'S OWNERS REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOTED OTHERWISE). CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

## IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTORIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

## ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

## MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

## PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

## CITY REQUIREMENT COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION REQUIREMENTS AND THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.

## CITY R.O.W. NOTE

ROW LANDSCAPE BUFFER PER COA STD DWG 2414 EXCEPT WHERE CONFLICTS WITH PROPOSED LANDSCAPING.

## MAINTENANCE RESPONSIBILITY NOTE

ALL LANDSCAPE AREAS WITHIN THE LIMIT OF WORK SHOWN SHALL BE MAINTAINED BY THE PROPERTY OWNER.



1101 Central Expressway South  
Suite 215  
Allen, TX 75013

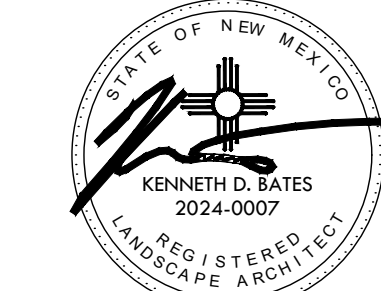
Ph. 214-491-1830

John Measels, PE  
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03/24/2026

# LANDSCAPE NOTES & SPECIFICATIONS

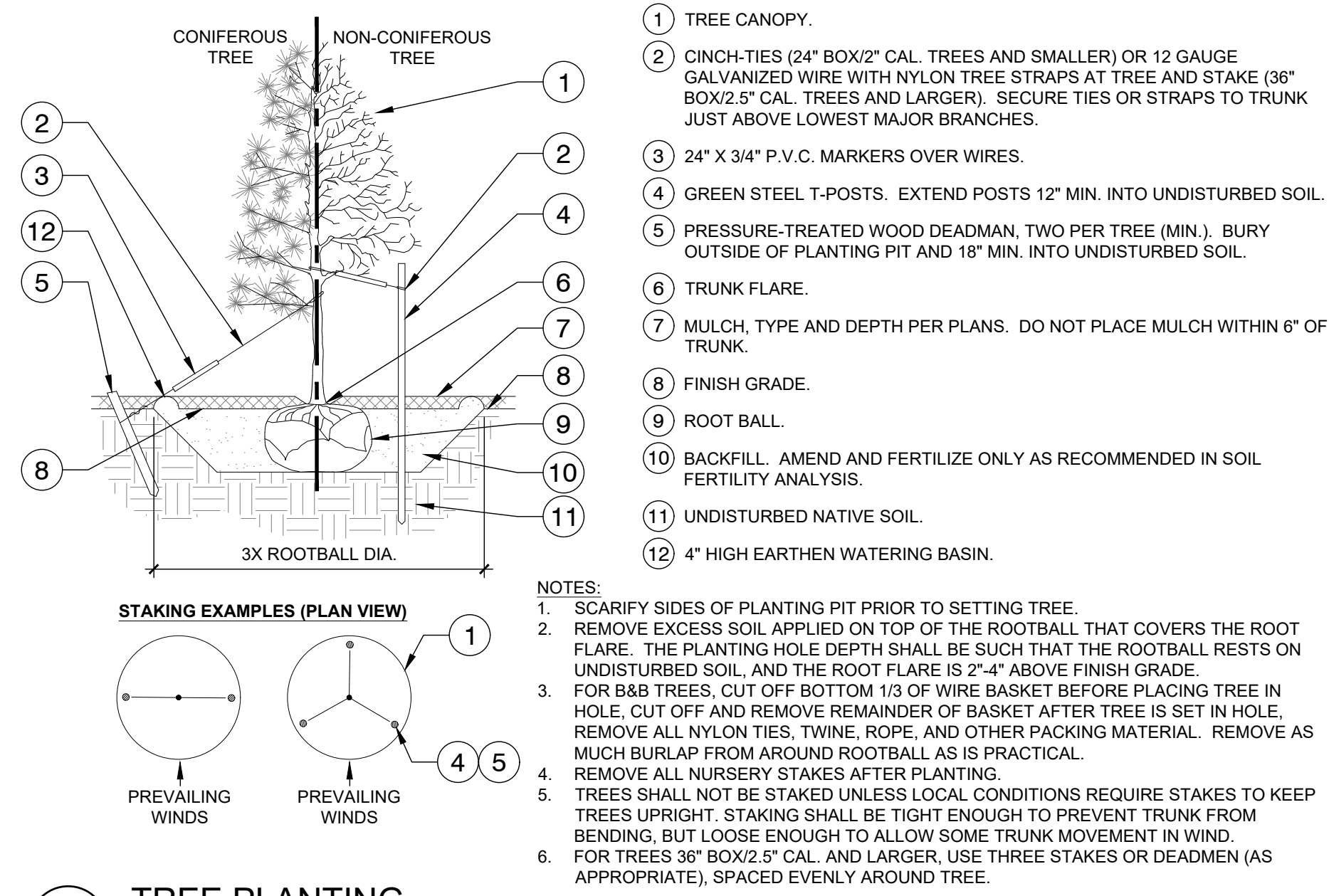
CIRCLE K, INC  
5100 DE VARGAS RD AND SNOW VISTA BLVD  
ALBUQUERQUE, NEW MEXICO

PROJECT NO.	DATE	REV	DESCRIPTION	DATE	BY	CHKD	APP'D
JM-DWGS2001	05/07/25		SCHEDULES, SUBMITTALS AND SEWER REG-ROUTE	05/09/25			

PROJECT NO: JM-DWGS2001  
DRAWN BY: JML  
CHECKED BY: KB  
ISSUE DATE: 03/24/2026

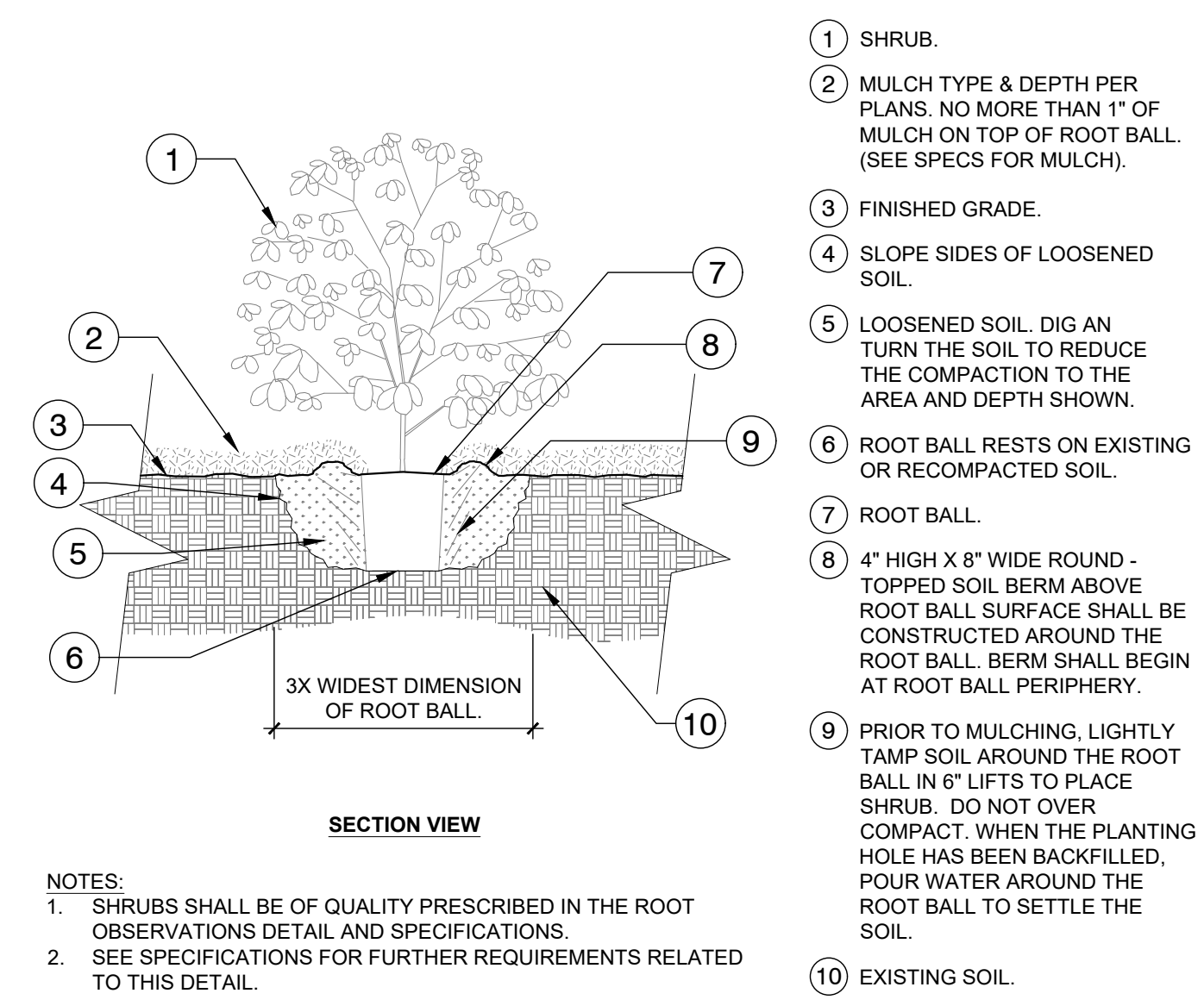
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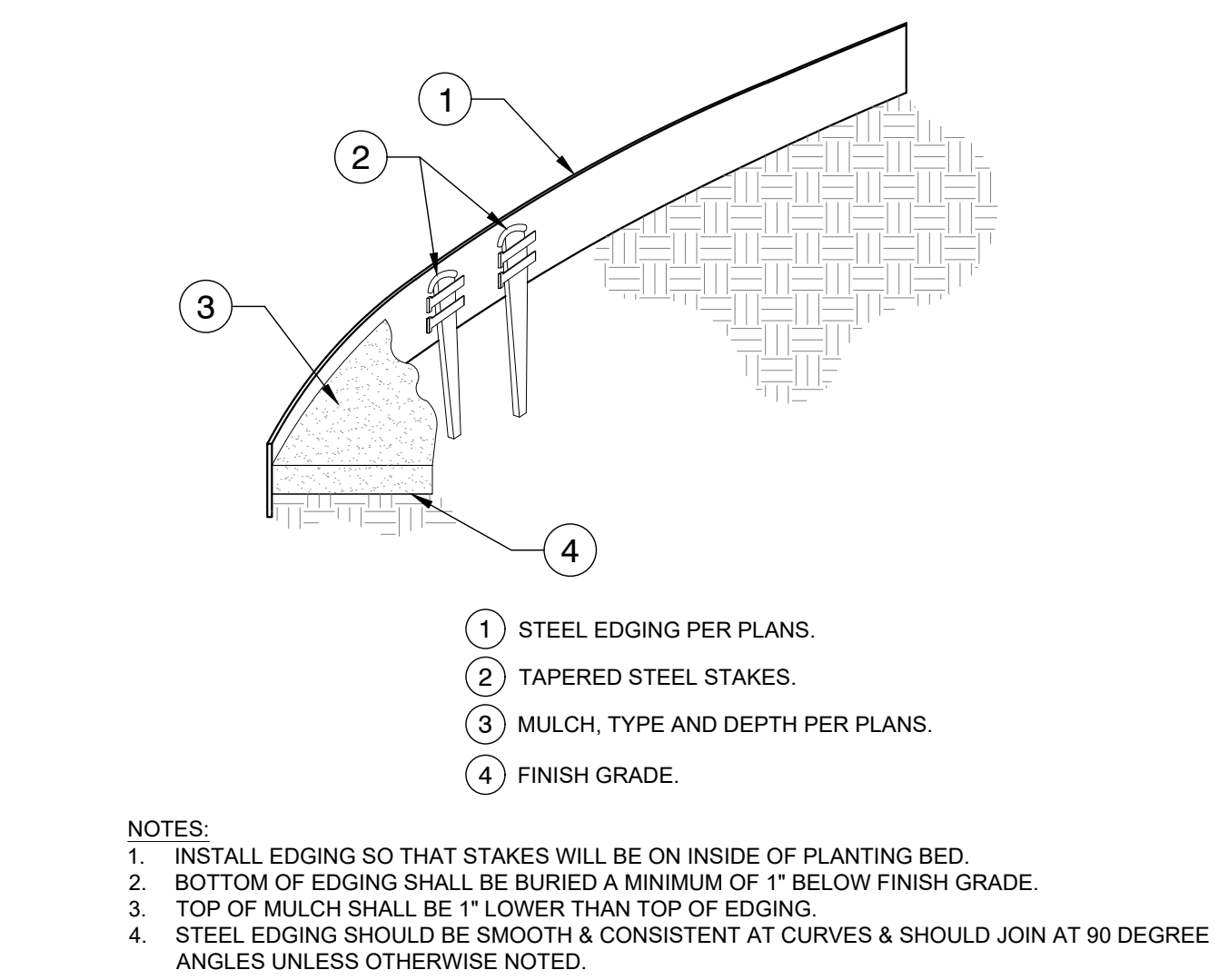
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NTS

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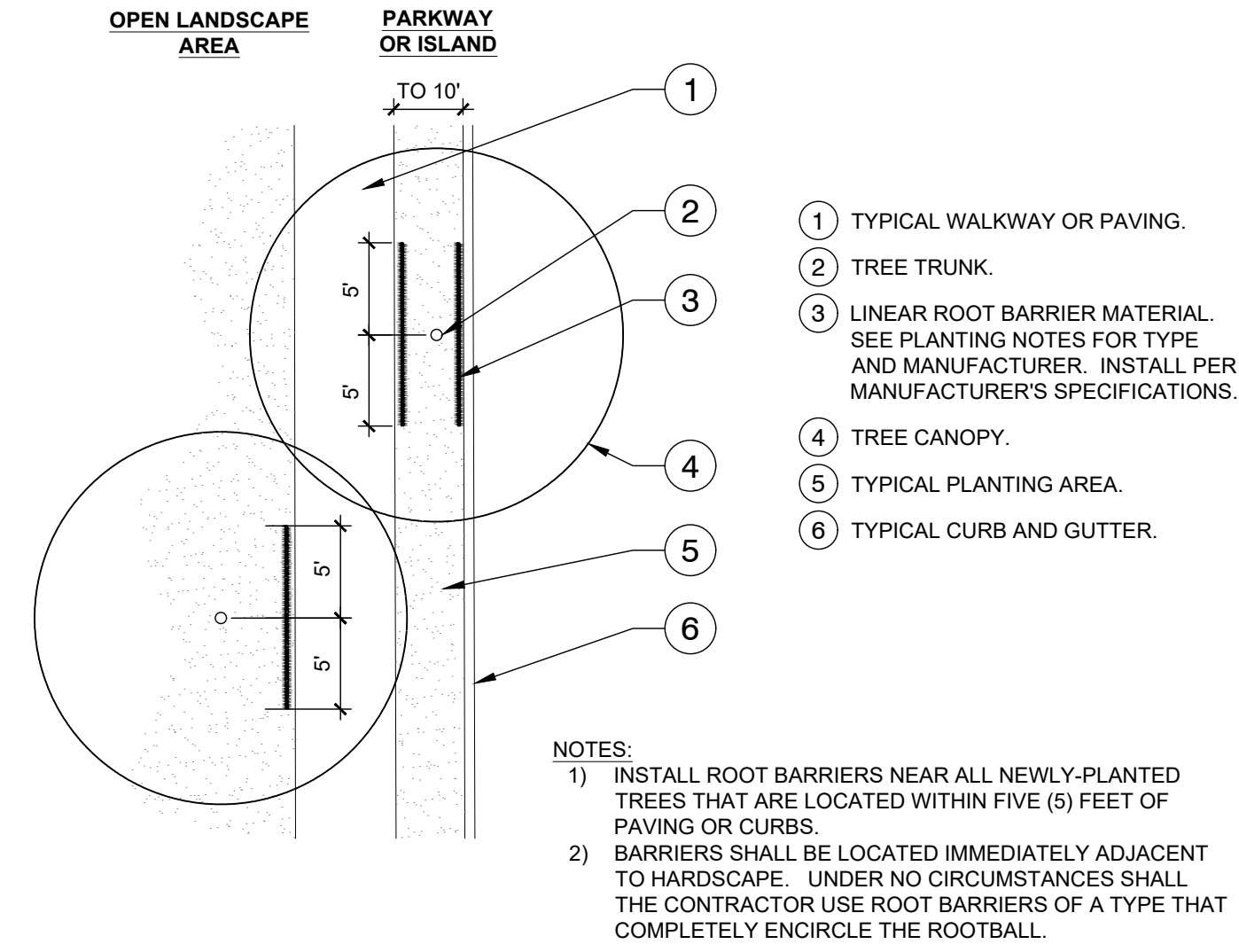
**B SHRUB PLANTING**  
NTS

000-PL-02



**C STEEL EDGING**  
NTS

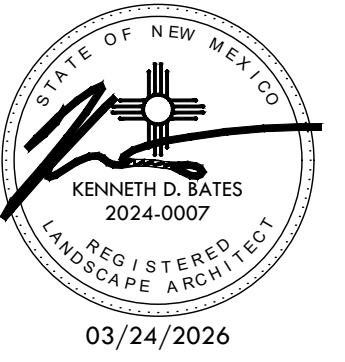
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**D ROOT BARRIER - PLAN VIEW**  
NTS



1101 Central Expressway South  
Suite 215  
Allen, TX 75013  
Ph. 214-491-1830  
John Measels, PE  
CIVIL ENGINEER



**LANDSCAPE  
DETAILS**  
CIRCLE K, INC  
5100 DE VARGAS RD AND SNOW VISTA BLVD  
ALBUQUERQUE, NEW MEXICO

REV	DATE	DESCRIPTION	NAME
05/07/25		SCHEDULES, SUBMITTAL	ASB
05/09/25		ADD, SEWER, RE-ROUTE	ASB

PROJECT NO: JM-DW25001  
DRAWN BY: JML  
CHECKED BY: KB  
ISSUE DATE: 03/24/2026



# AGENT AUTHORIZATION FORM

For the Circle K project located at 9800 De Vargas Road SW in Bernalillo County, NM.

I Abby Brown, as agent authorized by the property owner of Parcel ID No. 100905515141520314; do hereby authorize to act as my/our agent Andre Sutiono of JM Civil, to submit for all permits necessary to affect the application approval requested and more specifically described as follows, site plan, county permit(s), Utility permit(s), Traffic permit(s).

Abby Brown  
Signature of Authorized Agent

3.27.2024  
Date

ABBY BROWN  
Print Name Authorized Agent

STATE OF: Florida  
COUNTY OF Orange

I certify that the foregoing instrument was acknowledged before me this 27 day of March 2024 by Abby Brown He/She is personally known to me or has produced as identification and did/did not take an oath. Witness my hand and official seal in the county and state stated above on the 27 day of March in the year of 2024.

(NOTARY SEAL)



Karla McCommon  
Notary Public  
State of Florida  
Comm# HH312185  
Expires 9/16/2026

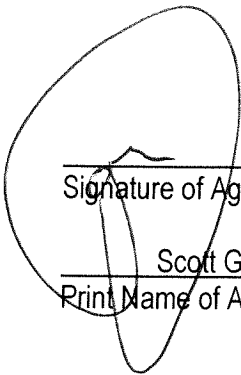
[Signature]  
Signature of Notary Public  
Notary Public of State of Florida

My Commission expires: 9/16/2026

# AGENT AUTHORIZATION FORM

For the Circle K project located at 9800 De Vargas Road SW in Bernalillo County, NM.

I, Scott Goodman, authorized agent of Gary Goodman, Trustee of the Lawrence Goodman Revocable Trust u/a/d December 6, 1977, as the owner of the real property described as follows, Parcel ID No. 100905515141520314; do hereby authorize to act as my/our agent(s) Mollee Mrsny, Abby Brown, Karla McCommon of The Dimension Group, to execute any petitions or other documents necessary to affect the application approval requested and more specifically described as follows, CUP, site plan, county permit(s), Utility permit(s), Traffic permit(s), and to appear on my/our behalf before any administrative or legislative body in the county considering this application and to act in all respects as our agent in matters permitting to the application.



\_\_\_\_\_  
Signature of Agent of Property Owner

11/12/25  
\_\_\_\_\_  
Date

Scott Goodman  
\_\_\_\_\_  
Print Name of Agent of Property Owner

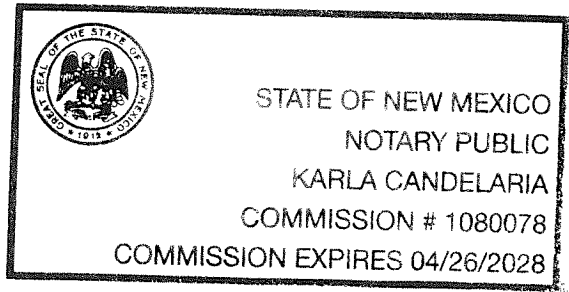
STATE OF NEW MEXICO            )  
  )  
COUNTY OF BERNALILLO        )        ss

This instrument was acknowledged before me on November 12<sup>th</sup> 2025, by Scott Goodman, authorized agent of Gary Goodman, Trustee of the Lawrence Goodman Revocable Trust u/a/d December 6, 1977.

Karla Candelaria  
\_\_\_\_\_  
Notary Public, State of New Mexico

Notary's Printed Name:  
Karla Candelaria

My Commission Expires:  
04/26/2028



December 29, 2025

Chair  
Klarissa Peña  
City of Albuquerque  
Councilor, District 3

Vice Chair  
Barbara Baca  
County of Bernalillo  
Commissioner, District 1

Frank A. Baca  
County of Bernalillo  
Commissioner, District 2

Dan Lewis  
City of Albuquerque  
Councilor, District 5

Eric C. Olivas  
County of Bernalillo  
Commissioner, District 5

Louie Sanchez  
City of Albuquerque  
Councilor, District 1

Timothy M. Keller  
City of Albuquerque  
Mayor

*Ex-Officio Member*  
Gilbert Benavides  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
www.abcwua.org

Andre Sutiono  
JM Civil Engineering  
1101 Central Expressway South Suite 215  
Allen, Texas

**RE: Water and Sanitary Sewer Availability Statement #251106**

**Project Name: CIRCLE K**

**Project Address: 9800 De Vargas Road, SW**

**Legal Description: LOT 1A, PLAT OF LOTS 1A, 1B, 1C, 1D AND 1E SNOW  
VISTA INVESTORS**

**UPC: 100905515141520314**

**Zone Atlas Map: M-9-Z**

Dear Mr. Sutiono:

**Project Description:** The subject site is located at the southwest corner of Snow Vista Blvd SW and De Vargas Rd SW, within the City of Albuquerque. The proposed development consists of approximately 1.95 acres and the property is currently zoned NR-C for Non-Residential Commercial. The property lies within the Pressure Zone 2W in the Atrisco Trunk.

The Request for Availability indicates plans to develop a Circle K 5200 square foot Convenience Store with seven pumps (14 fuel dispenser).

**Existing Conditions:**

Water infrastructure in the area consists of the following:

- Eight-inch PVC distribution line (project #26-4188.91-03) along Snowvista Blvd SW.
- 30-inch Ductile Iron transmission line (project #26-5432.91-06) along Snowvista Blvd SW.
- 16-inch Concrete Cylinder distribution line (project #26-2567-86) along De Vargas Rd SW.
- Six-inch PVC distribution line (project #26-4188.91-03) along De Vargas Rd SW.
- Eight-inch PVC distribution line (project # C20240020) along De Vargas Rd SW.

Sanitary sewer infrastructure in the area consists of the following:

- Ten-inch Vitrified Clay Pipe sanitary sewer collector (project #07-002-61) along De Vargas Rd SW.
- 12-inch Vitrified Clay Pipe sanitary sewer collector (project #07-002-61) perpendicular to De Vargas Rd SW, running through the proposed property southward.

**Water Service:** New metered water service to the property can be provided via routine connection to the existing eight-inch distribution main along the west side of Snow Vista Blvd SW near the property's eastern frontage. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

**Non-Potable Water Service:** Currently, there is no non-potable infrastructure available to serve the subject property.

**Sanitary Sewer Service:** New sanitary sewer service to the property can be provided contingent upon a developer-funded project to realign the existing public 12-inch vitrified clay pipe that runs north/south within the property in an alignment acceptable to the Water Authority, given the proposed site layout. Service can be provided via routine connections to the realigned 12-inch sanitary sewer line. No property shall share a private sewer service with any other property. All proposed manholes shall be located in a way not to hinder operations/maintenance. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.

**Fire Protection:** From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 2,000 gallons per minute. Two fire hydrants are required. There are two existing hydrants available and no new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow **CAN** be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at the existing public Fire Hydrants 45 and 47.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system. Private fire pumps should not take suction directly from the public water system as there shall be an intermediate private storage tank. If a private storage tank is not proposed between the public water system and the private fire pump, a surge analysis shall be required to determine if the private pump will have adverse impacts on the public system such as cavitation and/or water hammer and confirm that

surge mitigation equipment is not warranted. If surge mitigation equipment is warranted, it shall be installed at the developer's expense.

Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceed ANSI/NSF Standard 60 61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches, possible connection fittings, or openings between the reduced principal backflow prevention assembly and the service connection unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

**Pretreatment – Fats, Oils, and Greases:** The development is for commercial use and has the potential to discharge Fats, Oils, Grease, and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the SUO:

FOGS Applicability SUO Section 3-3-2 A.:

Users "...such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle fueling stations, septic tank pumpers, grease rendering facilities, breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses & meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters..."

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

1. Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
  - a. Interceptors and/or Separators are required for dumpster pads, outdoor pools, and outdoor washdown areas that have the potential to discharge grease, sand, solids, and flammable liquids to the sanitary sewer. The pad shall be installed at an elevation higher than the surrounding grade. It is not required for dumpster pads to have a sewer connection.
  - b. Placement of Interceptors in drive-thru or traffic lanes is not allowed.
2. All FOGS sources within the facility are plumbed to the GI as required by the appropriate plumbing code.
3. Long-term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
4. Unobstructed access to inspections of the facility and records.

**Easements and Property: Exclusive** public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. For larger meters that require a meter vault, a 35-foot by 35-foot easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property is to be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

The Water Authority shall be granted perpetual, exclusive easement(s) in gross for the construction, installation, maintenance, repair, modification, replacement, and operation of public water and sanitary lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

**Pro Rata:** Pro Rata is not owed, and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

**Design and Construction:** The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated

through the Water Authority work order process. The developer is responsible for verifying with the City of Albuquerque to confirm that the project does not need to go through the city work order process. Designs must be performed by a licensed, professional engineer registered in the state of New Mexico. Construction must be performed by a licensed (GF9 or GF98) and bonded public utility contractor.

**Utility Expansion Charge (UEC):** In addition to installation and construction costs, a UEC charge will be paid to the Water Authority at the time of meter sale or application for service for all properties connecting to the water and/or wastewater system. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

**Water Use:** All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

**Closure:** This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez  
Executive Director


Enclosures: Infrastructure Maps

f/ **Availability Statement #251106**

# 251106 - Water



## Legend


 Hydrant

 Project Location


### Water Pipe


### Fire Flow Analysis Points

#### Subtype

 Analysis Point - Existing Hydrant (2)

 Distribution Line

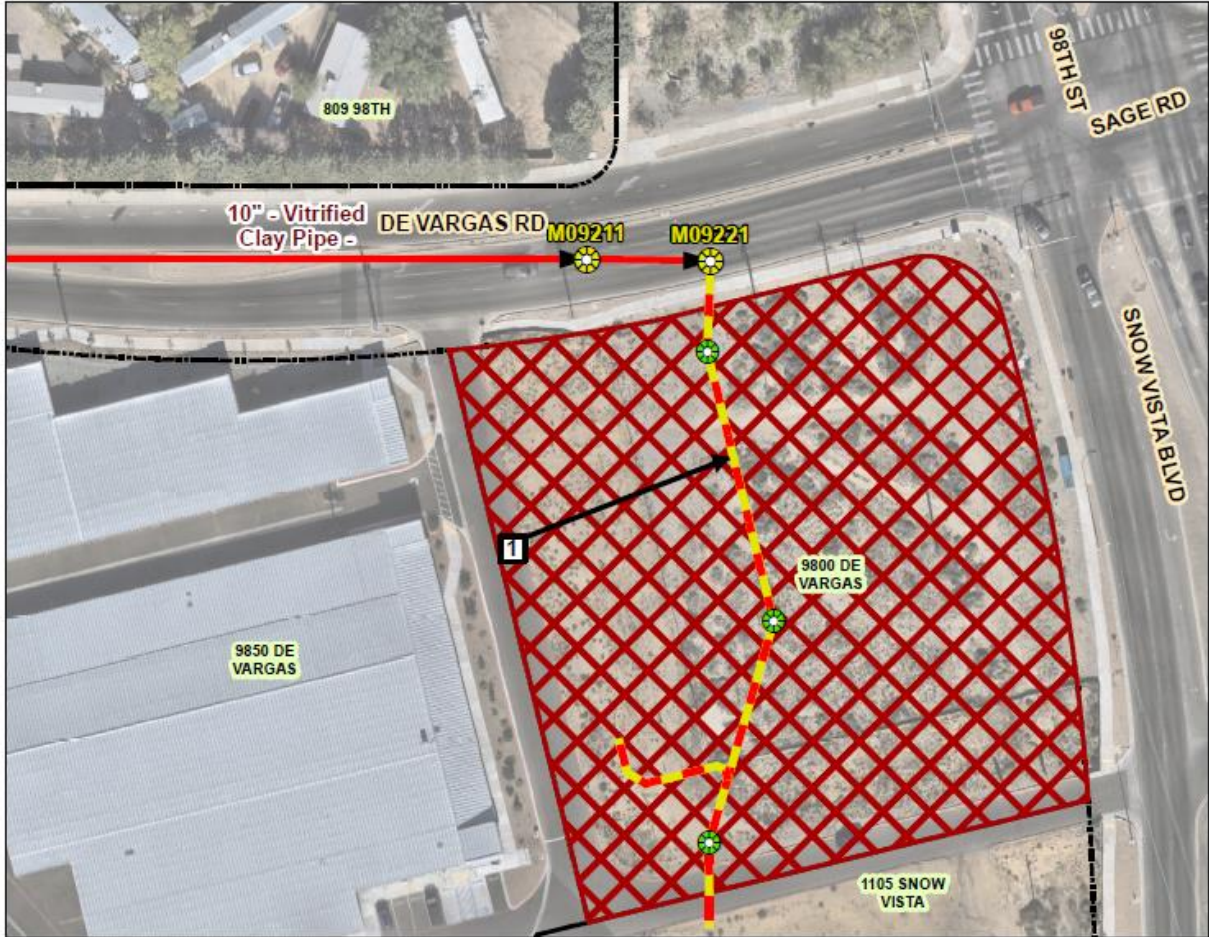
 Hydrant Leg

 In Zone Transmission





# 251106 - Sanitary Sewer



## Legend

- Sewer Manhole
- Proposed Sewer Manhole

Project Location

--- General Map Keyed Notes

### Sewer Pipe

#### Subtype

COLLECTOR

1 - Proposed 12-inch sewer reconfiguration



## Andre Sutiono

---

**From:** Brissette, Renee C. <rbrissette@abcwua.org>  
**Sent:** Wednesday, January 21, 2026 12:27 PM  
**To:** Andre Sutiono; Andre Houle  
**Cc:** Kyle Flaming; Joseph Kiffe; Karla McCommon; Abby Brown  
**Subject:** Re: W20250014 Circle K Snow Vista (9800 De Vargas)

Andre,

The drawings are good. Once, I get the Developer's Information Sheet that I sent on 1/13, I can work on the Work Order Agreement.



Renee Brissette, PE

Principal Engineer – Planning and Utility Development  
Albuquerque Bernalillo County Water Utility Authority  
PO Box 568 | Albuquerque NM | 87103  
(505) 352-4479 (c) | [www.abcwua.org](http://www.abcwua.org)

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Link to document: <http://www.abcwua.org/wp-content/uploads/2025/08/WEB-ABCWUA-Guide-to-Dev-28mb.pdf>

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**From:** Andre Sutiono <asutiono@jmcivileng.com>  
**Sent:** Tuesday, January 20, 2026 5:48 PM  
**To:** Brissette, Renee C. <rbrissette@abcwua.org>; Andre Houle <ahoule@abcwua.org>  
**Cc:** Kyle Flaming <kflaming@jmcivileng.com>; Joseph Kiffe <jkiffe@jmcivileng.com>; Karla McCommon <kmcommon@dimensiongroup.com>; Abby Brown <abrown@dimensiongroup.com>  
**Subject:** RE: W20250014 Circle K Snow Vista (9800 De Vargas)

[CAUTION: This email was received from an EXTERNAL source]

Hi Renee,

Please find attached the updated plans for your review and approval.  
We are still waiting for the forms to be signed by Circle K. Once we receive it, we will send it over.

Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
 Director of Engineering  
**JM Civil Engineering**  
 1101 Central Expy S., Ste. 215  
 Allen, Texas 75013  
 214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

**From:** Brissette, Renee C. <rbrissette@abcwua.org>  
**Sent:** Tuesday, January 13, 2026 3:25 PM  
**To:** Andre Sutiono <asutiono@jmcivileng.com>; Andre Houle <ahoule@abcwua.org>  
**Cc:** Kyle Flaming <kflaming@jmcivileng.com>; Joseph Kiffe <jkiffe@jmcivileng.com>; Karla McCommon <kmcccommon@dimensiongroup.com>; Abby Brown <abrown@dimensiongroup.com>  
**Subject:** Re: W20250014 Circle K Snow Vista (9800 De Vargas)

Andre,

I reviewed the drawings and have only two minor comments to add.

1. Please remove all the WUA details (Sheets 6, 7, & 8). They are not needed. You have made the references to them in the other sheets. This is enough.
2. Andre made a comment, and you stated that you made room, but I could not see it. So, please provide a table for Record drawing showing the X, Y, & Z for all valves, fire hydrant, manholes, and meter box. Here is an example.

RECORD INFORMATION				
OBJECT	N	E	Z	MATERIAL
SAS MH#1				
SAS MH#2				
SAS MH#3				
SD MH#1				
SD INLET #1				
GATE VALVE #1				
GATE VALVE #2				
GATE VALVE #3				
GATE VALVE #4				
GATE VALVE #5				
GATE VALVE #6				
GATE VALVE #7				

3.

Also, once you have done these, please send me a signed and sealed set. I have also attached included a few items needed so that we can proceed with the Work Order Agreement. Please review the attached checklist. This shows what each part is responsible to providing for move the Work Order Agreement along. I have also included the Request for Pro-Rata. This should be a no, since this is within the property. Also, the Developer Information sheet is all the information that we need to put the agreement together. If you have any questions, please give me a call.



Renee Brissette, PE

Principal Engineer – Planning and Utility Development  
Albuquerque Bernalillo County Water Utility Authority  
PO Box 568 | Albuquerque NM | 87103  
(505) 352-4479 (c) | [www.abcwua.org](http://www.abcwua.org)

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Link to document: <http://www.abcwua.org/wp-content/uploads/2025/08/WEB-ABCWUA-Guide-to-Dev-28mb.pdf>

---

**From:** Andre Sutiono <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)>

**Sent:** Tuesday, January 13, 2026 9:49 AM

**To:** Brissette, Renee C. <[rbrissette@abcwua.org](mailto:rbrissette@abcwua.org)>; Andre Houle <[ahoule@abcwua.org](mailto:ahoule@abcwua.org)>

**Cc:** Kyle Flaming <[kflaming@jmcivileng.com](mailto:kflaming@jmcivileng.com)>; Joseph Kiffe <[jkiffe@jmcivileng.com](mailto:jkiffe@jmcivileng.com)>; Karla McCommon <[kmcccommon@dimensiongroup.com](mailto:kmcccommon@dimensiongroup.com)>; Abby Brown <[abrown@dimensiongroup.com](mailto:abrown@dimensiongroup.com)>

**Subject:** RE: W20250014 Circle K Snow Vista (9800 De Vargas)

[CAUTION: This email was received from an EXTERNAL source]

Good morning Renee,

Just want to make sure if you receive the updated plans and be able to review?

Sorry for the questions, client would like to know the timeline for the review.

Could you let us know, so I can update the client?

Thank You



**Andre Sutiono, P.E.**

Director of Engineering

**JM Civil Engineering**

1101 Central Expy S., Ste. 215

Allen, Texas 75013

214.705.3182 (direct)

[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

---

**From:** Andre Sutiono

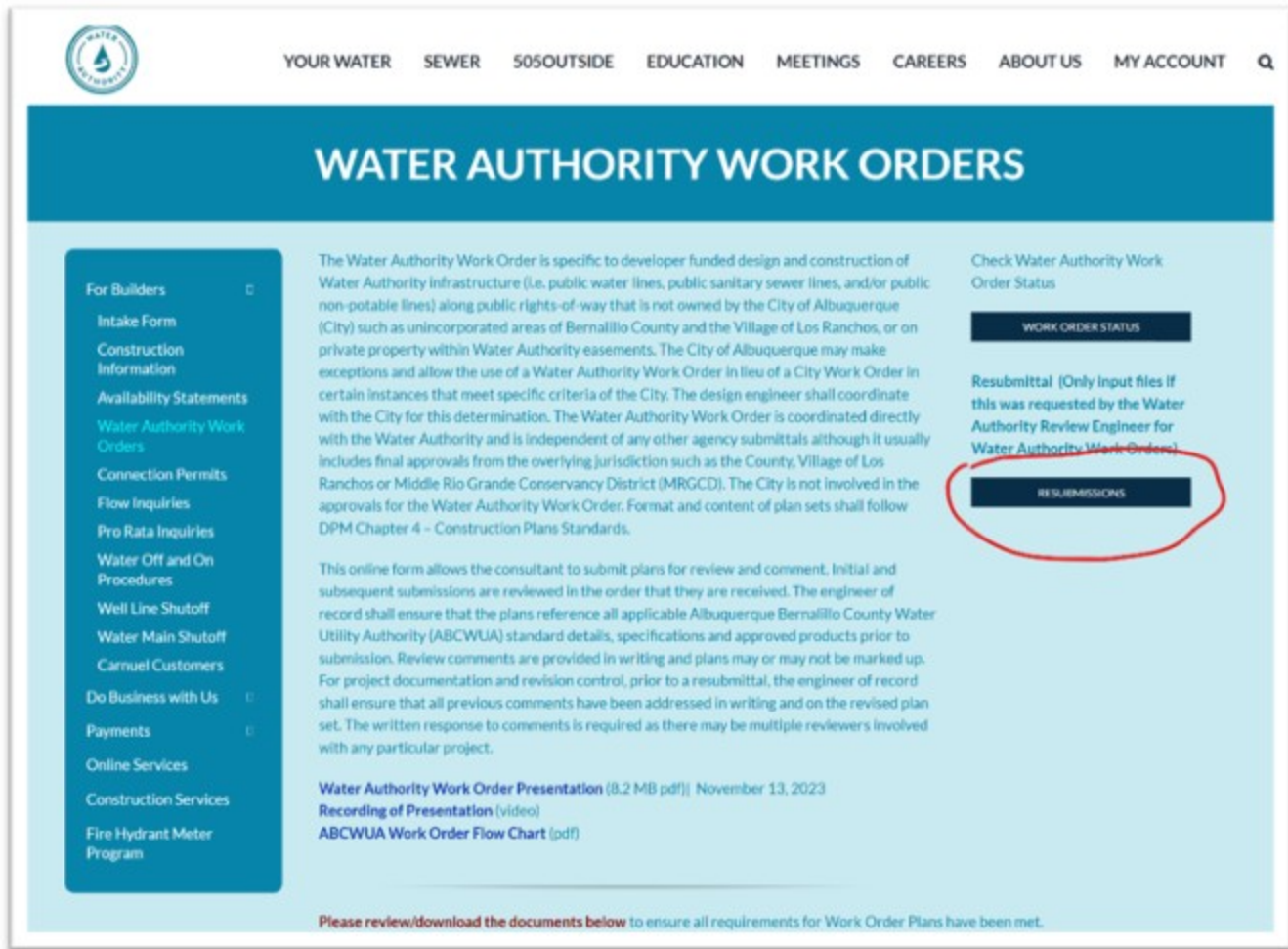
**Sent:** Monday, January 12, 2026 11:25 AM

**To:** 'Brissette, Renee C.' <[rbrissette@abcwua.org](mailto:rbrissette@abcwua.org)>; Andre Houle <[ahoule@abcwua.org](mailto:ahoule@abcwua.org)>

**Cc:** Kyle Flaming <[kflaming@jmcivileng.com](mailto:kflaming@jmcivileng.com)>; Joseph Kiffe <[jkiffe@jmcivileng.com](mailto:jkiffe@jmcivileng.com)>; Karla McCommon <[kmcccommon@dimensiongroup.com](mailto:kmcccommon@dimensiongroup.com)>; Abby Brown <[abrown@dimensiongroup.com](mailto:abrown@dimensiongroup.com)>

**Subject:** RE: W20250014 Circle K Snow Vista (9800 De Vargas)

We uploaded the revised plan on 12/15/2025 through this “Resubmission” link.



Here is the updated plans.

Thank You

**JM CIVIL** **Andre Sutiono, P.E.**  
 Director of Engineering  
**JM Civil Engineering**  
 1101 Central Expy S., Ste. 215  
 Allen, Texas 75013  
 214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

**From:** Brissette, Renee C. <[rbrissette@abcwua.org](mailto:rbrissette@abcwua.org)>  
**Sent:** Monday, January 12, 2026 11:21 AM  
**To:** Andre Sutiono <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)>; Andre Houle <[ahoule@abcwua.org](mailto:ahoule@abcwua.org)>  
**Cc:** Kyle Flaming <[kflaming@jmcivileng.com](mailto:kflaming@jmcivileng.com)>; Joseph Kiffe <[jkiffe@jmcivileng.com](mailto:jkiffe@jmcivileng.com)>; Karla McCommon <[kmcommon@dimensiongroup.com](mailto:kmcommon@dimensiongroup.com)>; Abby Brown <[abrown@dimensiongroup.com](mailto:abrown@dimensiongroup.com)>  
**Subject:** Re: W20250014 Circle K Snow Vista (9800 De Vargas)

Andre,

We sent comments back on November 26th. I have not received any updated plans. If you have them, please email them to me so that I can review them.



Renee Brissette, PE

Principal Engineer – Planning and Utility Development  
Albuquerque Bernalillo County Water Utility Authority  
PO Box 568 | Albuquerque NM | 87103  
(505) 352-4479 (c) | [www.abcwua.org](http://www.abcwua.org)

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Link to document: <http://www.abcwua.org/wp-content/uploads/2025/08/WEB-ABCWUA-Guide-to-Dev-28mb.pdf>

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**From:** Andre Sutiono <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)>

**Sent:** Monday, January 12, 2026 9:10 AM

**To:** Andre Houle <[ahoule@abcwua.org](mailto:ahoule@abcwua.org)>; Brissette, Renee C. <[rbrissette@abcwua.org](mailto:rbrissette@abcwua.org)>

**Cc:** Kyle Flaming <[kflaming@jmcivileng.com](mailto:kflaming@jmcivileng.com)>; Joseph Kiffe <[jkiffe@jmcivileng.com](mailto:jkiffe@jmcivileng.com)>; Karla McCommon <[kmcccommon@dimensiongroup.com](mailto:kmcccommon@dimensiongroup.com)>; Abby Brown <[abrown@dimensiongroup.com](mailto:abrown@dimensiongroup.com)>

**Subject:** RE: W20250014 Circle K Snow Vista (9800 De Vargas)

[CAUTION: This email was received from an EXTERNAL source]

Good morning Andre and Renee

Hopefully this email finds you doing well.

We are trying to get the status update of the review for the Work order plans that we submitted on 12/15/2025. This is for the realignment of the existing sewer line.

Could you give an update on the review?

We received the Availability Letter #251106 on 12/29/2025 (attached).

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

---

**From:** Andre Houle <[ahoule@abcwua.org](mailto:ahoule@abcwua.org)>  
**Sent:** Wednesday, December 3, 2025 3:23 PM  
**To:** John Measels <[jmeasels@jmcivileng.com](mailto:jmeasels@jmcivileng.com)>; Andre Sutiono <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)>  
**Cc:** Brissette, Renee C. <[rbrissette@abcwua.org](mailto:rbrissette@abcwua.org)>  
**Subject:** W20250014 Circle K Snow Vista

Attached are comments regarding the preliminary plan submittal for the Circle K

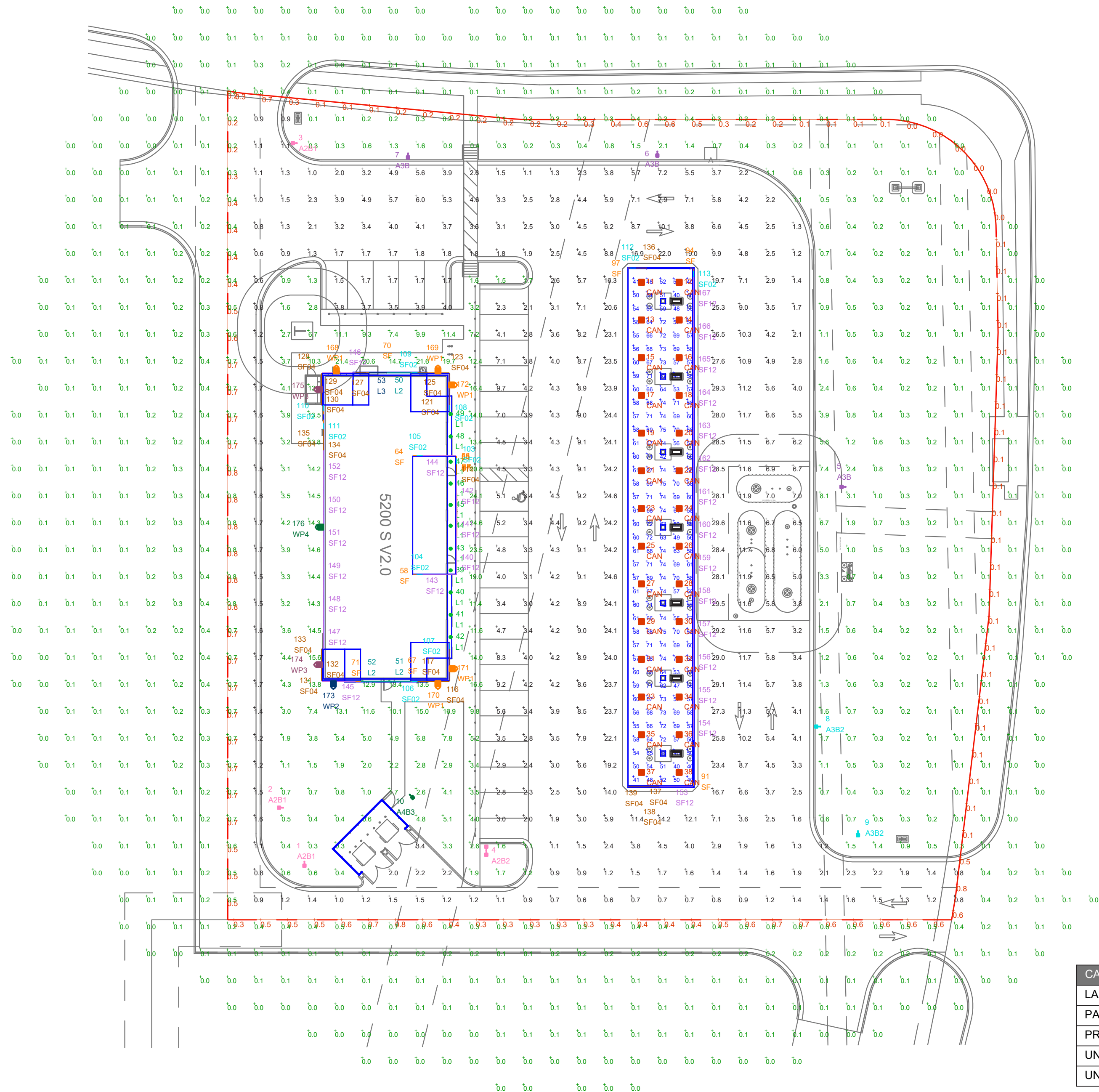
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Andre Houle, PE  
Principal Engineer  
Albuquerque Bernalillo County Water Utility Authority  
PO Box 568 | Albuquerque NM | 87103  
(505)304-5993 (c) | [ahoule@abcwua.org](mailto:ahoule@abcwua.org)



THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

NOTE:  
 - AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 3 FT. CONCRETE BASES  
 - FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES UNLESS NOTED OTHERWISE.

CALCULATION SUMMARY

LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	6.47	29.6	0.6	10.78	49.33
PROPERTY LINE	0.37	0.8	0.0	N.A.	N.A.
UNDEFINED	1.16	24.6	0.0	N.A.	N.A.
UNDER CANOPY	61.07	75	40	1.53	1.88

LUMINAIRE LOCATION SUMMARY

LUM NO.	LABEL	MTG. HT.
1-3	A2B1	18
4	A2B2	18
5-7	A3B	18
8-9	A3B2	18
10	A4B3	18
11-38	CAN	15.5
39-49	L1	12
50-52	L2	12
53	L3	12
54-66	SF	22
67-81	SF	20.5
82-102	SF	18.5
103-105	SF02	22
106-109	SF02	20.5
110-113	SF02	18.5
114	SF04	22
115-133	SF04	20.5
134-139	SF04	18.5
140-144	SF12	22
145-146	SF12	20.5
147-167	SF12	18.5
168-172	WP1	14.5
173	WP2	14.5
174-175	WP3	14.5
176	WP4	14.5

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	DIMMING LUMEN MULTIPLIER	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
[Symbol]	3	A2B1	Single	4900	1.030	0.200	B0-U0-G1	7.7	23.1	Lithonia Lighting	RSX1 LED P1 30K R2 MVOLT SPA HS FAO (SW. POS. 1)
[Symbol]	1	A2B2	Back-Back	4900	1.030	0.200	B0-U0-G1	7.7	15.4	Lithonia Lighting	RSX1 LED P1 30K R2 MVOLT SPA HS FAO (SW. POS. 1)
[Symbol]	3	A3B	Single	10988	1.030	1.000	B1-U0-G2	114.07	342.21	Lithonia Lighting	RSX2 LED P2 30K R3 MVOLT SPA HS FAO
[Symbol]	2	A3B2	Single	10988	1.030	0.360	B1-U0-G2	33.08	66.16	Lithonia Lighting	RSX2 LED P2 30K R3 MVOLT SPA HS FAO (SW. POS. 2)
[Symbol]	1	A4B3	Single	10424	1.030	0.490	B1-U0-G2	46.7687	46.769	Lithonia Lighting	RSX2 LED P2 30K R4 MVOLT SPA HS FAO (SW. POS. 3)
[Symbol]	28	CAN	Single	17748	1.030	1.000	B3-U0-G1	106.9304	2994.051	Lithonia Lighting	RCNY LED ALO2 30K 80CRI SYMC MVOLT (SW. POS. 6)
[Symbol]	11	L1	SINGLE	2123	1.000	1.000	N.A.	24.85	273.35	Lithonia Lighting	LBR6 ALO2 (2000LM) SWWW1 (3000K) AR LSS MWD 90CRI
[Symbol]	3	L2	Single	4570	1.000	1.000	N.A.	54.9	164.7	P-LED	M-SX024-30 (15 FT)(SPECIAL ORDER)
[Symbol]	1	L3	Single	3656	1.000	1.000	N.A.	43.92	43.92	P-LED	M-SX024-30 (12 FT)(SPECIAL ORDER)
[Symbol]	49	SF	Single	110	1.000	1.000	N.A.	1.04	50.96	P-LED	PL-OP2-PD324-P-XW (30K)(SPECIAL ORDER)
[Symbol]	11	SF02	SF 2FT	110	1.000	1.000	N.A.	1.04	91.52	P-LED	PL-OP2-PD324-P-XW (30K)(SPECIAL ORDER)
[Symbol]	26	SF04	SF 4FT	110	1.000	1.000	N.A.	1.04	378.56	P-LED	PL-OP2-PD324-P-XW (30K)(SPECIAL ORDER)
[Symbol]	28	SF12	SF 12FT_1	110	1.000	1.000	N.A.	1.04	1281.28	P-LED	PL-OP2-PD324-P-XW (30K)(SPECIAL ORDER)
[Symbol]	5	WP1	Single	6259	1.030	1.000	B1-U0-G1	51.2609	256.304	Lithonia Lighting	ARC2 LED P5 30K MVOLT
[Symbol]	1	WP2	Single	3903	1.030	1.000	B1-U0-G1	29.4252	29.425	Lithonia Lighting	ARC2 LED P4 30K MVOLT
[Symbol]	2	WP3	Single	1502	1.030	1.000	B0-U0-G1	10.6112	21.222	Lithonia Lighting	ARC2 LED P1 30K MVOLT
[Symbol]	1	WP4	Single	1502	1.030	0.610	B0-U0-G1	5.73	5.73	Lithonia Lighting	ARC2 LED P1 30K MVOLT FAO (SW. POS. 4)

DISCLAIMER

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REV.	BY	DATE	DESCRIPTION







QTY	LABEL	DESCRIPTION
49	SF	PL-OP2-PD324-P-XW (30K)(SPECIAL ORDER)
11	SF02	PL-OP2-PD324-P-XW (30K)(SPECIAL ORDER)
26	SF04	PL-OP2-PD324-P-XW (30K)(SPECIAL ORDER)
28	SF12	PL-OP2-PD324-P-XW (30K)(SPECIAL ORDER)

**POD 3-24V™**  
M-SFPT3-XX-24



**POD 3 OPTIONS**

CCT / WAVELENGTH	SKU	Efficacy (TYP)	Intensity	UL Part Number
5000K	M-SFPT3-50-24	106 LM/W	110 LM/mod (3% LM/RL)	PL-OP2-PD324-P-NW
6800K	M-SFPT3-68-24	106 LM/W	110 LM/mod (3% LM/RL)	PL-OP2-PD324-P-SW



**SPECIFICATIONS**

Beam Angle	30° x 15°	Packaging	Per Bag	88 Mods (24.58ft.)
Certifications	UL & cUL Recognized (SAM Manual), CE, RoHS	Per Case	968 mods (12.465ft.)	
Dimensions	0.91"W x 1.73"L x 0.46"H	Bag Color	Green/Green & White	
Mounting Options	Peel & Stick, Mechanical Screw Hole	Power	1.04 W/mod (3.58ft.)	
Input	24V	Max Mods per Power Supply	88	
Operating Temp	-25° to +65°C	Power Supply	PLED 24V	
Wire Color	• White Stripe & - White/Black Stripe	Mods per Foot	3.58	
Max Mods in Series	44 mods	Module on Center Spacing	3.35"	



Principal LED | We Speak Sign Language | www.p-led.com | 325.227.4577 | sales@p-led.com

QTY	LABEL	DESCRIPTION
5	WP1	ARC2 LED P5 30K MVOLT
1	WP2	ARC2 LED P4 30K MVOLT
2	WP3	ARC2 LED P1 30K MVOLT
1	WP4	ARC2 LED P1 30K MVOLT FAO (SW. POS. 4)

**ADDITIONAL FIXTURE INFO**



**Specifications**

Depth (D1)	9.25"
Depth (D2)	7.5"
Height	5"
Width	14"
Weight (without options)	11 lbs

**ARC LED Family Overview**

Luminaire	Standard 50k, 0°C		Cold 50k, 20°C		Approximate Lumens (4000K)			
	W	H	P1	P2	P1	P2	P4	P5
ARC1LED	4W	—	1,500	2,000	1,500	2,000	—	—
ARC2LED	4W	8H	1,500	2,000	1,500	2,000	4,000	4,500

**Ordering Information** **EXAMPLE: ARC2 LED P2 40K MVOLT PE DOBXD**

Series	Package	Color Temperature	Voltage	Options	Finish	
ARC2LED	P1	1,000 lumens	30K	300K	MP01	EM00
	P2	2,000 lumens	40K	400K	347	EM01
	P3	3,000 lumens	50K	500K	—	EM02
	P4	4,000 lumens	—	—	—	EM03
	P5	6,000 lumens	—	—	—	EM04

**Accessories**

W300-00001	Letter - mechanical box (only back)
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LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conley, Georgia 30121 • Phone: 1-800-705-SERV (7378) • www.lithonia.com ARC2 LED Rev: 06/27/24 © 2020-2024 Acuity Brands Lighting, Inc. All rights reserved.

**Performance Data**

**Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerance allowed by Lighting Facts. Contact factory for performance data on any configuration not shown here.

Performance Package	System Watts	10K (1000K, 80 CRI)					40K (400K, 80 CRI)					50K (500K, 80 CRI)				
		LPW	U	D	C	lumens	LPW	U	D	C	lumens	LPW	U	D	C	lumens
P1	11W	3,600	342	0	0	1	3,387	320	0	0	1	3,156	307	0	0	1
P2	16W	2,258	140	0	0	1	2,377	147	0	0	1	2,390	148	0	0	1
P3	24W	3,206	133	0	0	1	3,387	143	0	0	1	3,418	144	0	0	1
P4	30W	3,900	128	1	0	1	4,124	136	1	0	1	4,152	136	1	0	1
P5	51W	6,260	122	1	0	1	6,815	129	1	0	1	6,889	128	1	0	1

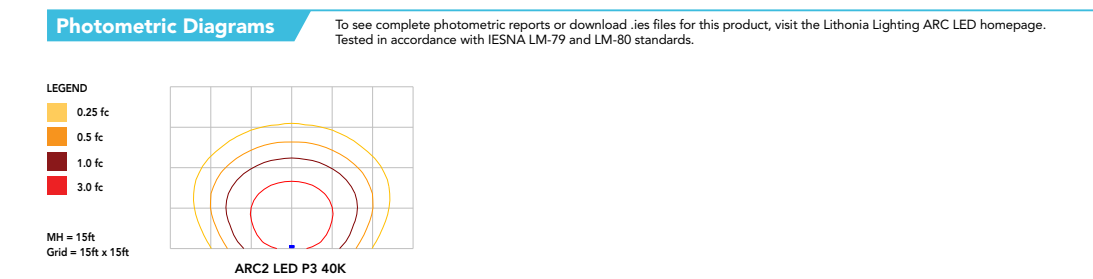
**Electrical Load**

Performance Package	System Watts	Current (A)				
		LPW	U	D	C	LPW
P1	11W	0.06	0.055	0.049	0.046	0.042
P2	16W	0.141	0.081	0.072	0.064	0.059
P3	24W	0.202	0.117	0.103	0.091	0.079
P4	30W	0.260	0.152	0.144	0.128	0.095
P5	51W	0.471	0.272	0.258	0.232	0.198

**Lumen Ambient Temperature (LAT) Multiplier**

Use these factors to determine adjusted lumen output for average ambient temperature from 0° to 40°C (32° to 104°F).

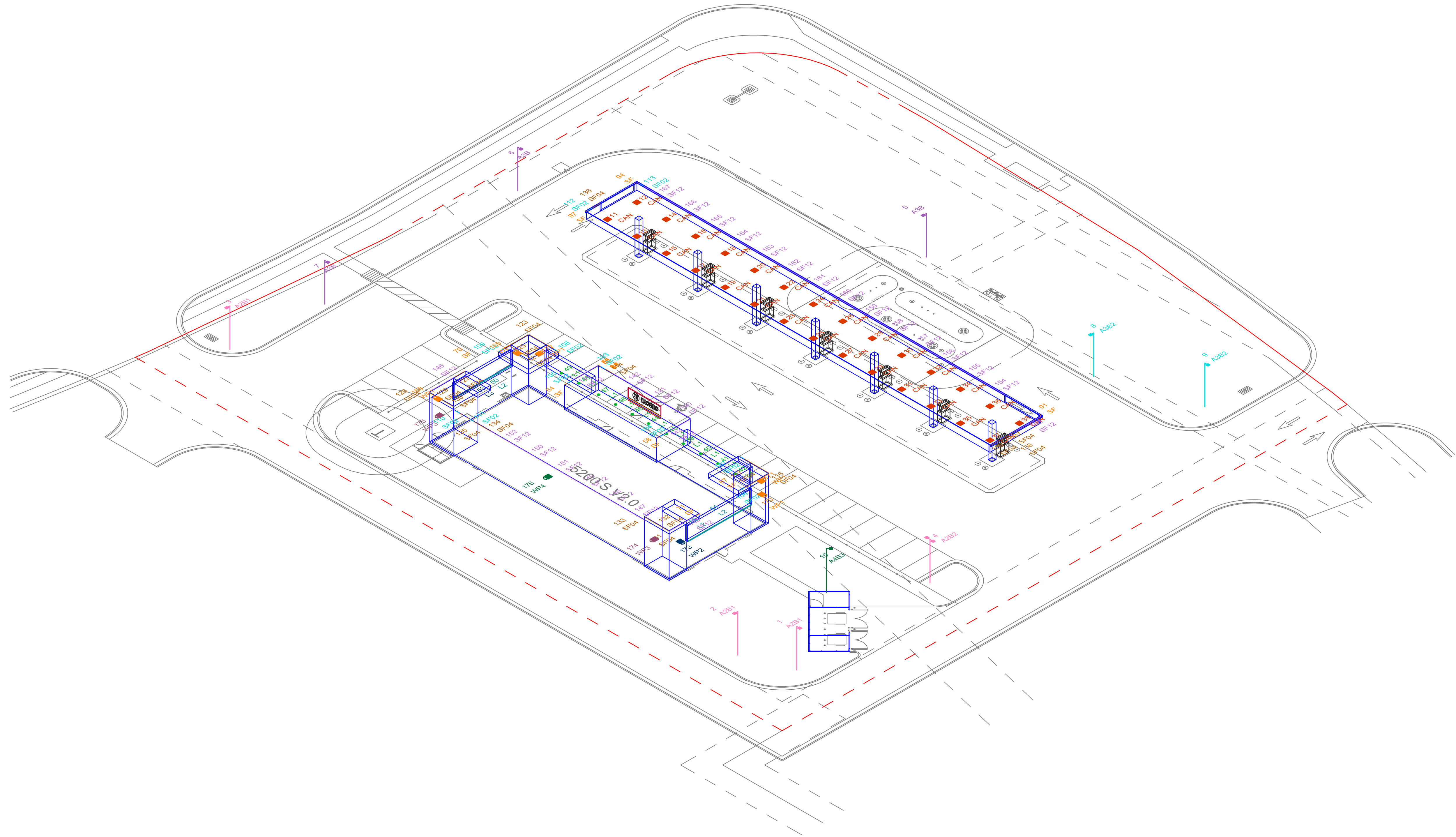
Ambient	Lumen Multiplier
0°C	1.04
10°C	1.03
20°C	1.01
25°C	1.00
30°C	0.99
40°C	0.97

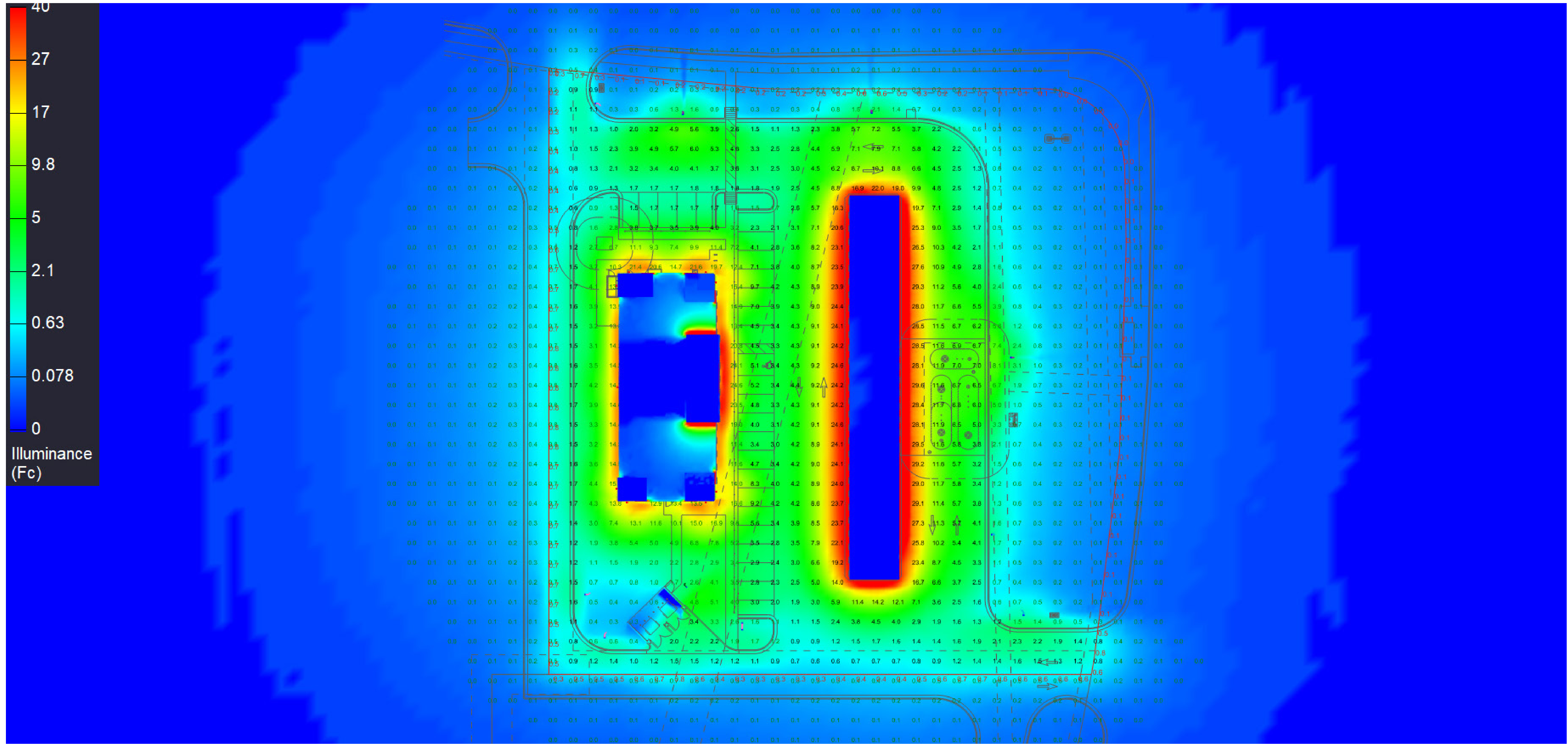


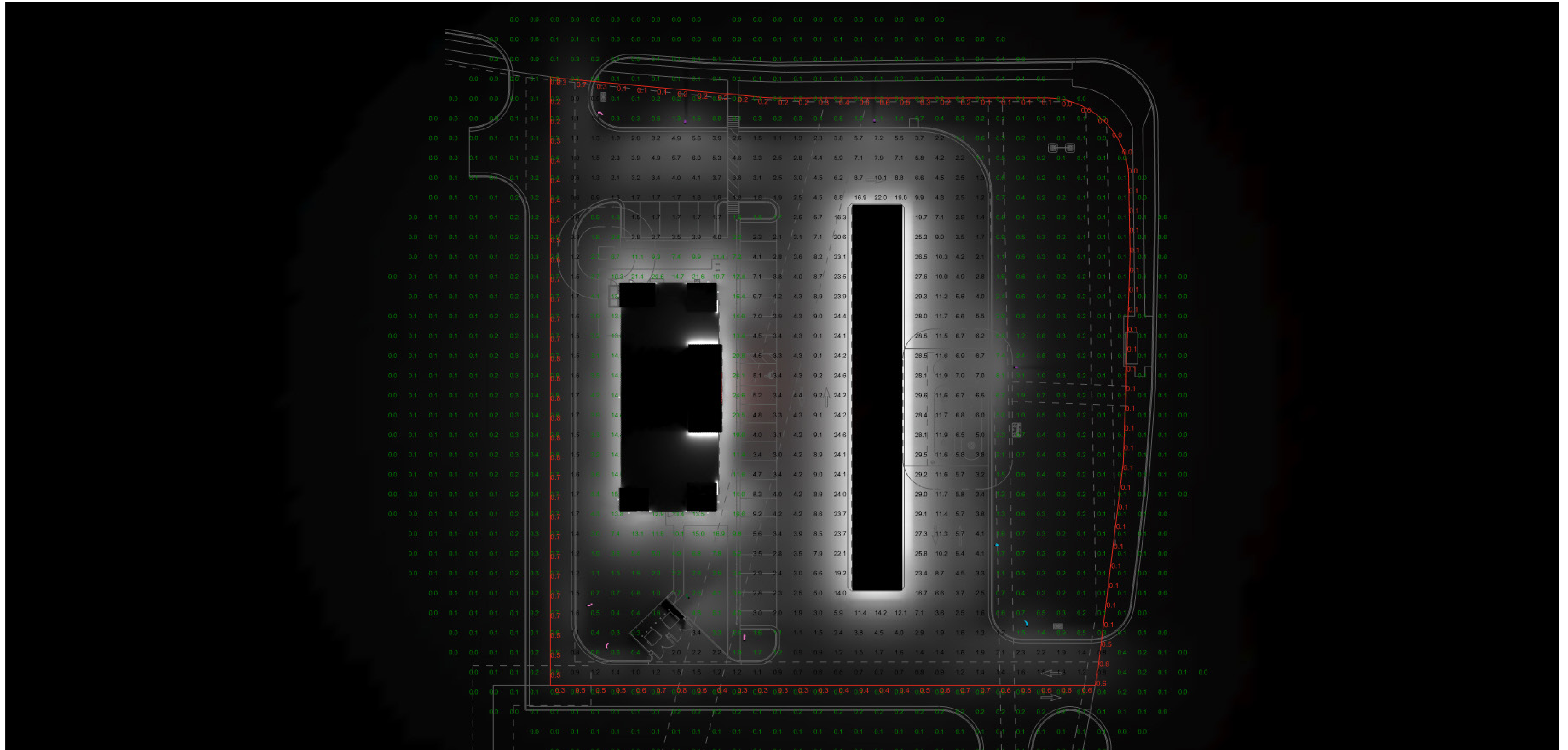
LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conley, Georgia 30121 • Phone: 1-800-705-SERV (7378) • www.lithonia.com ARC2 LED Rev: 06/27/24 © 2020-2024 Acuity Brands Lighting, Inc. All rights reserved.



AREA	
	
AREA	
	
CANOPY	
	
DOWNLIGHT	
	
STREET WRAP	
	
STREET FIGHTER	
	
WALL MOUNTED	
	









**98th Sw & Sage  
Albuquerque, NM  
SITE# CK NTI 98TH SW & SAGE**

10/31/2025\_VB/LZ  
CK\_NTI\_98TH-SW-AND-SAGE\_ALBUQUERQUE\_NM\_G

## Revision History

Revision Level	Date	Revision Description
B	04/01/2024	VB/TD
C	05/20/2025	- UPDATE TO NEW NTI BRANDBOOK TEMPLATE - UPDATE SITE PLAN TO THE ATTACHED - UPDATE DISPENSERS TO SINGLE STACKED VB/LZ
D	09/19/2025	- Page 5 - ADDED COMPETITOR PHOTOS PAGE - Page 6 - ADDED LANDSCAPING PLAN PAGE - Page 9 - UPDATE BUILDING FRONT ELEVATION - Page 10- UPDATE BUILDING REAR ELEVATION - Page 11- UPDATE BUILDING LEFT & RIGHT ELEVATION VB/LZ
E	10/10/2025	- Page 7 - UPDATED SITE PLAN - Page 9 - ADDED MID 2 - Page 12 - ADDED TOTEM ON SIDE ELEVATION - Page 13 - REVISED CANOPY SIGNS - PAGE 9,10,13 - REMOVE NON ETHANOL DISPENSER & FLAG ZU/LZ
F	10/31/2025	Page 7 - UPDATE SITE PLAN Page 13- UPDATE CANOPY OVERHEAD VIEW Page 14- UPDATE CANOPY SIGNAGE LOCATION Page 19- ADDED EV CUBE SIGN VBL/LZ

## Circle K NTI Code Check

Customer: Circle K

Locations: 98<sup>th</sup> SW & Sage

Municipality: Albuquerque NM

Zoning: NR-C (Non-Residential Commercial)

Overlay:

Contact Info:

### GROUND SIGNS (MONUMENT/PYLON/POLE):

**Number:** 1 per frontage A freestanding sign is allowed only where there is at least 100 feet of street frontage

**Max Height:** 26'

**Max SQFT:** 100' sq. ft. at allowable locations abutting a local or collector street.

200 sq. ft. at allowable locations abutting an arterial street or interstate highway.

300 sq. ft. at allowable locations within 200 feet of a through lane of an interstate highway and visible from the interstate highway.

#### **Setback:**

**Illumination:** 5-12(E)(5) Illumination and Motion 5-12(E)(5)

(a) General 1. Signs may be internally or externally lit, provided that the light source is not directly visible from the public right-of-way or from adjacent properties unless specified otherwise in this IDO.

2. No portion of an illuminated sign shall have a luminance greater than 200 foot lamberts or 685 nits at night.

(c) Mixed-use and Non-residential Zone Districts An illuminated sign or illuminated element of a sign in any Mixed-use or Non-residential zone district may turn on or off or change its brightness, provided that all of the following requirements are met, unless Subsection 14-16-5-12(H)(4) (Illumination, Brightness,

and Images) applies any more restrictive standard or Subsection 14-16-5-12(F)(4)(a) (Neon Signs along Central Avenue) applies any less restrictive standard to eligible signs.

1. The sign is not within 200 feet in any direction of any Residential zone district and visible from that zone district.

2. The sign is not within 330 feet in any direction of Major Public Open Space.

3. Change of illumination does not produce any apparent motion of the visual image, including but not limited to illusion of moving objects, moving patterns or bands of light, expanding or contracting shapes, or any similar effect of animation except twinkling.

4. There is no continuous or sequential flashing in which more than 1/3 of the lights are turned on or off at one time.

#### **Toggle Display:**

**Allowed (Y/N)?** Yes

**Time required between prices:** 4. No sign or any part of any sign shall change its message or picture at a rate of more than once each 8 seconds.

#### **Additional Standards/Restrictions:**

### ELECTRONIC MESSAGE CENTERS (EMC):

**Allowed (Y/N)?** Yes

#### **Size Restrictions (i.e. % of the ground sign SQFT):**

**Transition standards:** 4. No sign or any part of any sign shall change its message or picture at a rate of more than once each 8 seconds.

#### **Additional Standards/Restrictions:**

5-12(H)(4)(a) Electronic signs shall have automatic dimming controls, with either photocell (hardwired) or software settings.

5-12(H)(4)(b) Electronic signs shall not exceed an illumination level of 0.3 foot candles above ambient light as measured from a distance indicated in Table 5-12-5 based on sign area.

5-12(H)(4)(c) The luminance level shall also comply with any regulations for illumination of on-premises or off-premises signs in Section 14-16-5-12 (Signs) as applicable.

5-12(H)(4)(d) Electronic signs shall have only static messages and images.



5-12(H)(4)(e) The message or image on an electronic sign shall not change more often than once each 8 seconds.

5-12(H)(4)(f) Transition between messages or images on an electronic sign shall not exceed 1 second and shall not include any visual effects during that time.

**HIGH RISE SIGNS:**

- Max Height:
- Max SQFT:
- Illumination:
- EMC Allowed?:
- Additional Standards/Restrictions:

**CANOPY SIGNS:**

- Number Allowed:1 per frontage
- Max SQFT:50% of bldg. frontage width
- Can Extend Above Roofline (Y/N)?
- Illumination:
- Canopy Color Design Restrictions:
- Eyebrow Lighting/Illuminated Panels Allowed (Y/N)?
- Additional Standards/Restrictions:

**BUILDING SIGNS**

- Number Allowed:
- Max SQFT (Aggregate):15% of wall/facade area
- Elevations Allowed (All or Street-facing Only):
- Illumination:
- Additional Standards/Restrictions:

**CAR WASH SIGNS:**

- Regulated with other building signs?NA
- Number Allowed:NA
- Max SQFT Per Sign:NA
- Illumination:NA
- Additional Standards/Restrictions:

**DIRECTIONAL SIGNS:**

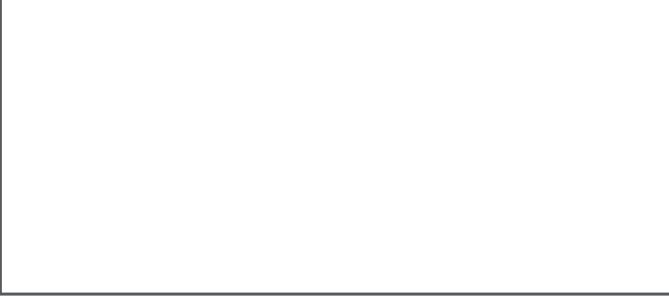
- Number Allowed:
- Max SQFT:
- Permits Required?
- Setback:
- Additional Standards/Restrictions:

**PERMITTING INFORMATION:**


- Review Timeframe:
- Process (online/in-person)
- Electrical Permit Required (Y/N)?
- Permits expire:
- Variance Allowed (Y/N)?
- Timeframe
- Cost:



**1** SITE ADDRESS



**2** SITE ADDRESS



**3** SITE ADDRESS



**LANDSCAPING PLAN HAS NOT BEEN PROVIDED FOR THIS SITE**

# SCOPE OF WORK

<b>A1</b>	26' O.A.H., NEW BTP SIGN	PART#: (TBD)	179.58 SF
	<ul style="list-style-type: none"> <li>CIRCLE K LOGO</li> <li>UNLEADED WITH 30" RED ABLE LEDS AND 6" TOGGLE</li> <li>DIESEL 30" GREEN ABLE LEDS</li> <li>3'x8' EMC</li> </ul>		
<b>A2</b>	26' O.A.H., NEW BTP SIGN	PART#: (TBD)	155.58 SF
	<ul style="list-style-type: none"> <li>CIRCLE K LOGO</li> <li>UNLEADED WITH 30" RED ABLE LEDS AND 6" TOGGLE</li> <li>DIESEL 30" GREEN ABLE LEDS</li> </ul>		
<b>B1</b>	5'x12' CK BUILDING SIGN	PART#: (TBD)	63.49 SF
	<ul style="list-style-type: none"> <li>INSTALL NEW 5' x 12' CIRCLE K BUILDING SIGN CENTERED ON FRONT ELEVATION</li> </ul>		
<b>B2</b>	5'x4' CK TOTEM SIGN	PART#:CKS0504WALL	20.84 SF
	<ul style="list-style-type: none"> <li>INSTALL NEW 5' X 4' TOTEM BUILDING SIGN TO NORTH SIDE ELEVATION.</li> </ul>		
<b>C</b>	MAIN CANOPY ((3) 36" FASCIA)	PART#: CKS316SP24LA	60.64 SF EACH
	<ul style="list-style-type: none"> <li>INSTALL NEW TRISTRIPLE FASCIA WITH (3) THREE LOGOS WITH DOWNLIGHTING ON FRONT AND SIDE ELEVATIONS</li> </ul>		
<b>D</b>	DISPENSERS & FORECOURT	PART#: (TBD)	SF
	<ul style="list-style-type: none"> <li>INSTALL NEW CKSPUMP12, CKSPUMPD16 DISPENSERS AND FLAGS</li> </ul>		
<b>E</b>	WAYFINDING SIGNS	PART#: (TBD)	SF
	<ul style="list-style-type: none"> <li>INSTALL NEW CIRCLE K DIRECTIONAL SIGN, AT DRIVEWAY ENTRIES</li> </ul>		
<b>F</b>	EV SIGN	PART#: (TBD)	SF
	<ul style="list-style-type: none"> <li>INSTALL NEW EV CUBE (IT WILL ATTACH TO THE LIGHT POLE)</li> </ul>		



# Site Overview

SITE#: CK NTI 98TH SW & SAGE  
 98th Sw & Sage, Albuquerque, NM  
 10/31/2025 (VB/LZ)

CK\_NTI\_98TH-SW-AND-SAGE\_ALBUQUERQUE\_NM\_G

# SCOPE OF WORK

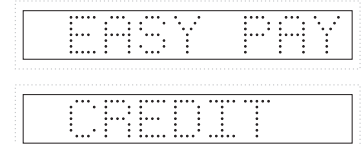
A1

MID 1

- CIRCLE K LOGO
- UNLEADED WITH 30" RED ABLE LEDS AND 6" TOGGLE
- DIESEL 30" GREEN ABLE LEDS
- 3'x8' EMC

An Able Remote & POS/End to End Pricing System is included

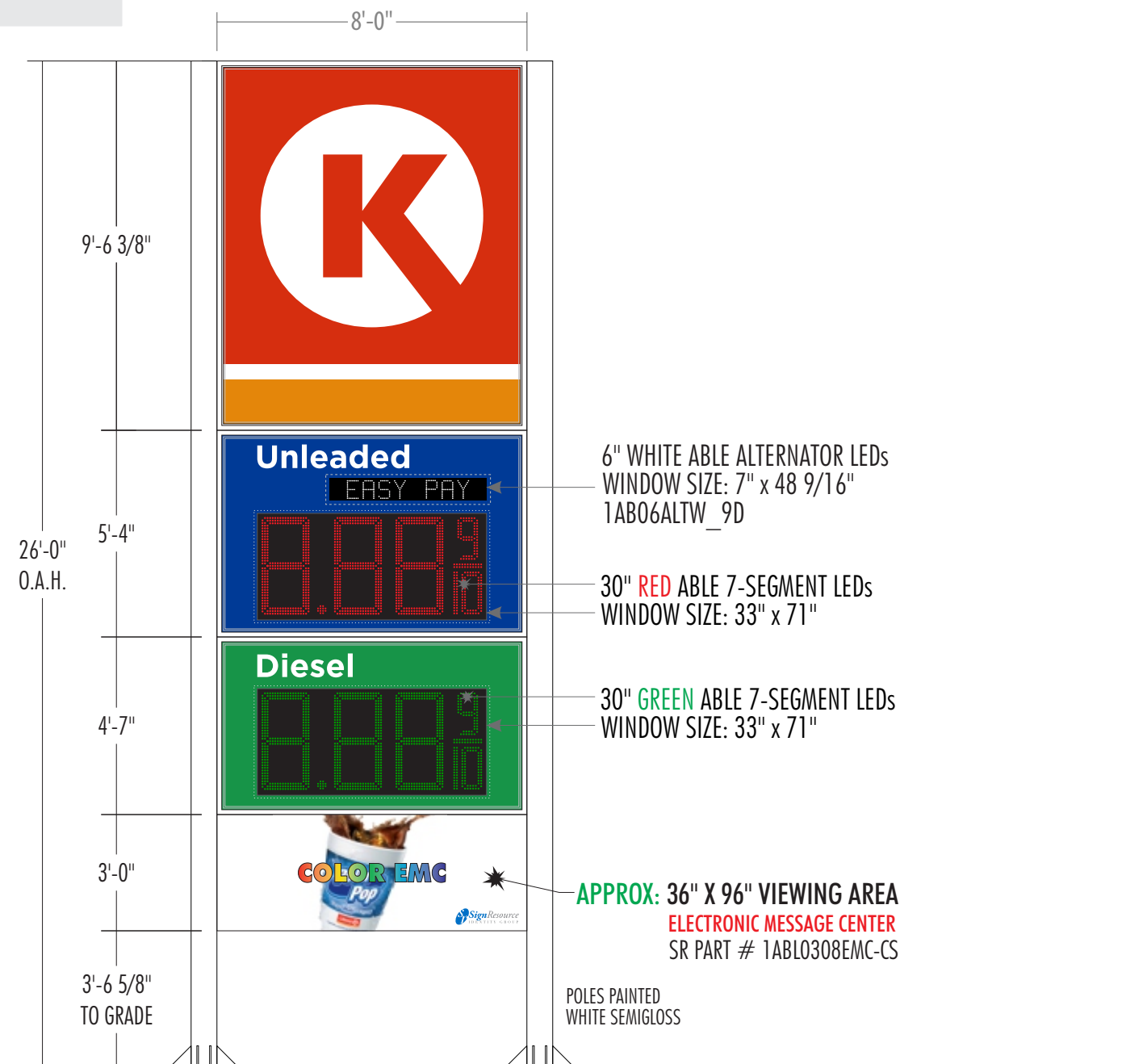
6" WHITE ABLE ALTERNATOR LEDS OPTIONS:



ALL ALTERNATE MESSAGES  
MUST BE PROGRAMED PRIOR TO SHIPPING  
AND INSTALLER-CONFIRMED UPON INSTALL

**PRODUCT COPY:**

WHITE COPY ON OPAQUE BACKGROUND



**179.58 SQ. FT.**

**NOTE: SIGN CAN ONLY TOGGLE EVERY 8 SECONDS**

DIMENSIONS TO BE VERIFIED PRIOR TO MANUFACTURING

**Main I.D.**

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY  
ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729

**SCALE : 1:48**

SITE#: CK NTI 98TH SW & SAGE  
98th Sw & Sage, Albuquerque, NM  
10/31/2025\_(VB/LZ)

CK\_NTI\_98TH-SW-AND-SAGE\_ALBUQUERQUE\_NM\_G

# SCOPE OF WORK

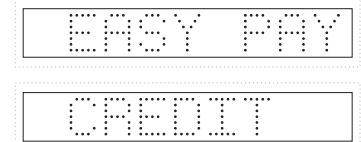
A2

MID 2

- CIRCLE K LOGO
- UNLEADED WITH 30" RED ABLE LEDS AND 6" TOGGLE
- DIESEL 30" GREEN ABLE LEDS

An Able Remote & POS/End to End Pricing System is included

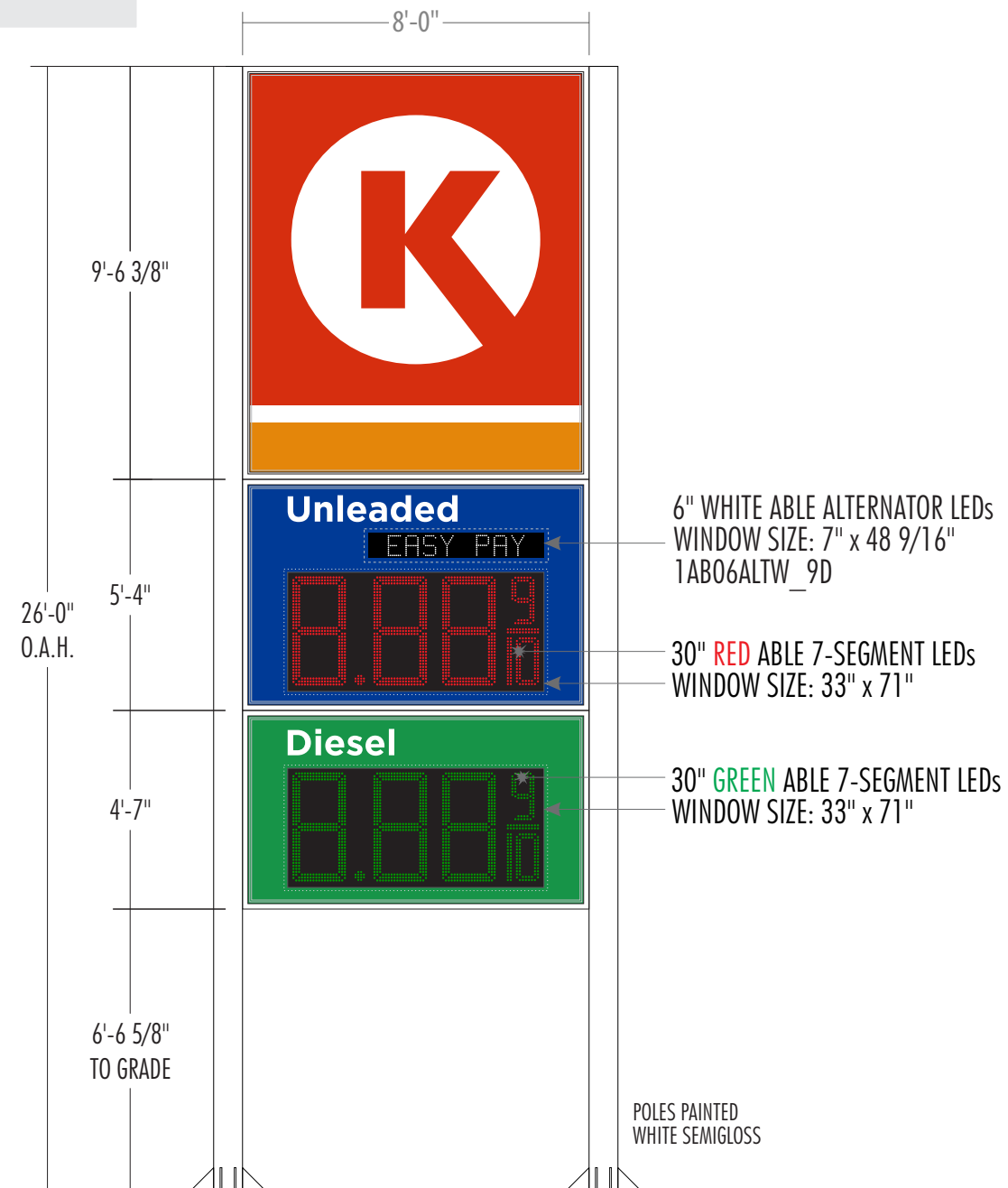
6" WHITE ABLE ALTERNATOR LEDS OPTIONS:



ALL ALTERNATE MESSAGES  
MUST BE PROGRAMED PRIOR TO SHIPPING  
AND INSTALLER-CONFIRMED UPON INSTALL

**PRODUCT COPY:**

WHITE COPY ON OPAQUE BACKGROUND



**155.58 SQ. FT.**

**NOTE: SIGN CAN ONLY TOGGLE EVERY 8 SECONDS**

DIMENSIONS TO BE VERIFIED PRIOR TO MANUFACTURING

**Main I.D.**

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY  
ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729

**SCALE : 1:48**

SITE#: CK NTI 98TH SW & SAGE  
98th Sw & Sage, Albuquerque, NM  
10/31/2025\_(VB/LZ)

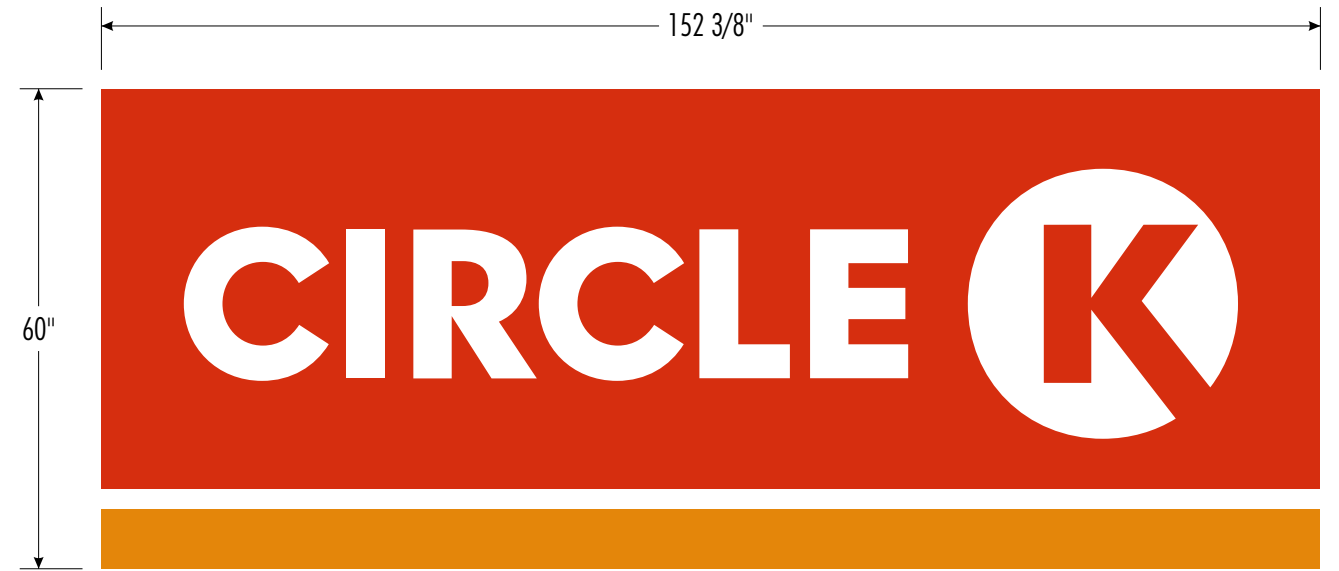
CK\_NT\_98TH-SW-AND-SAGE\_ALBUQUERQUE\_NM\_G

## SCOPE OF WORK

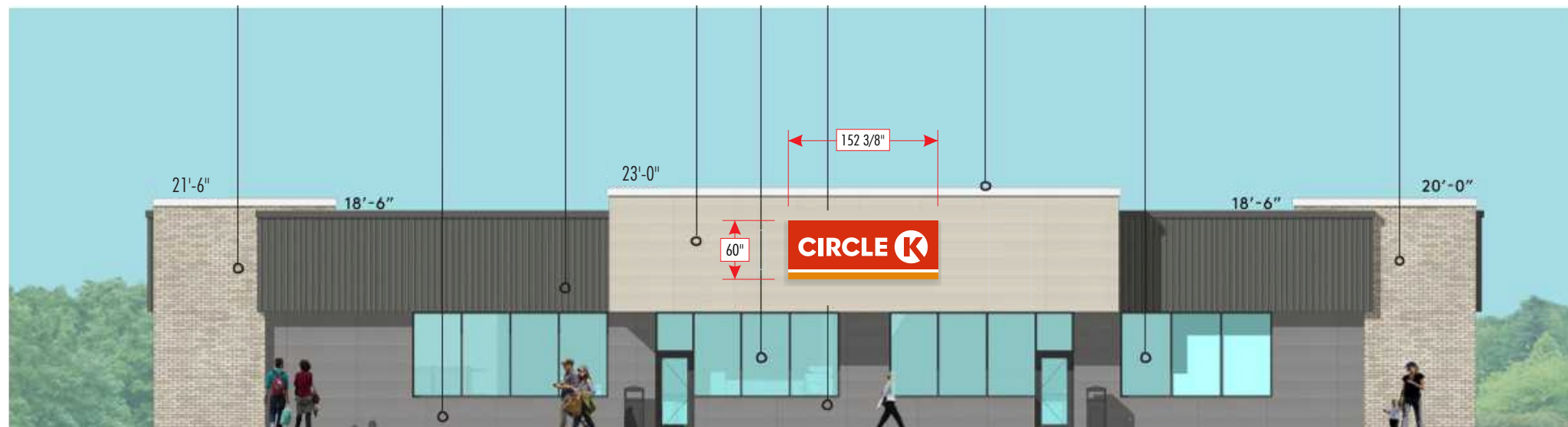
B

**BUILDING  
FRONT**

- INSTALL NEW 5' x 12' CIRCLE K BUILDING SIGN CENTERED ON FRONT ELEVATION



**FRONT VIEW**  
MODEL #: M057 5x12  
SR PART #: CKS4512SP19L  
**63.49 SQ. FT.**



**FRONT ELEVATION**

DIMENSIONS TO BE VERIFIED PRIOR TO MANUFACTURING

# Building Front

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY  
ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729

**SCALE: 1:150**

SITE#: CK NTI 98TH SW & SAGE  
98th Sw & Sage, Albuquerque, NM  
10/31/2025\_(VB/LZ)

CK\_NT\_98TH-SW-AND-SAGE\_ALBUQUERQUE\_NM\_G

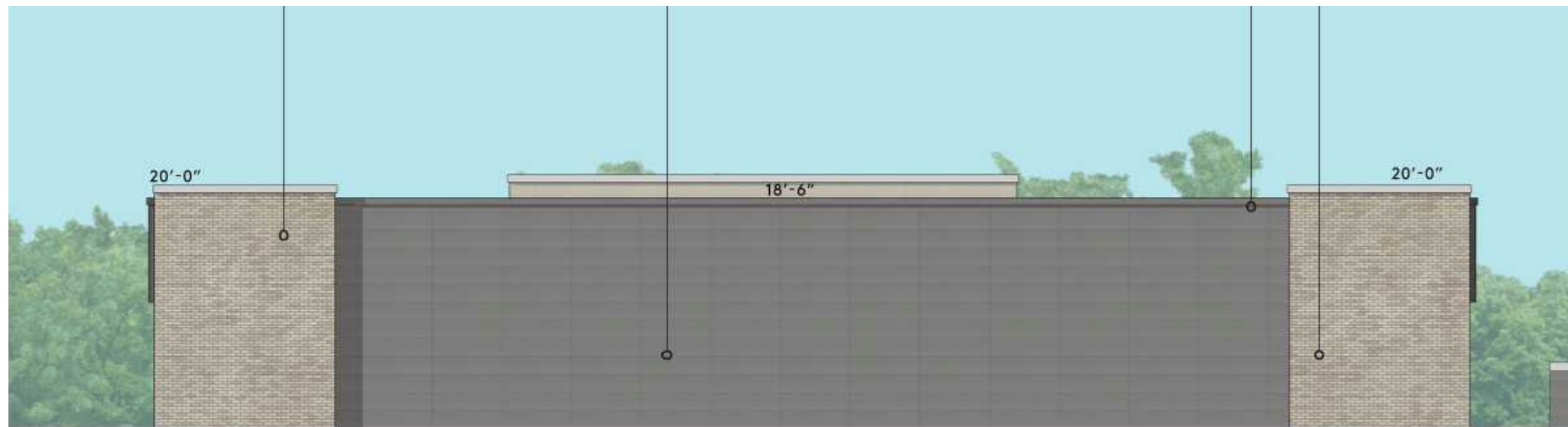
# SCOPE OF WORK

B

**BUILDING  
REAR**

• NO PROPOSED SIGNAGE FOR THESE ELEVATIONS

**NO PROPOSED SIGN FOR  
THESE ELEVATIONS**



**REAR ELEVATION**

DIMENSIONS TO BE VERIFIED PRIOR TO MANUFACTURING

**SCALE : 1:150**

# Building Rear

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY  
ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729

SITE#: CK NTI 98TH SW & SAGE  
98th Sw & Sage, Albuquerque, NM  
10/31/2025\_(VB/LZ)

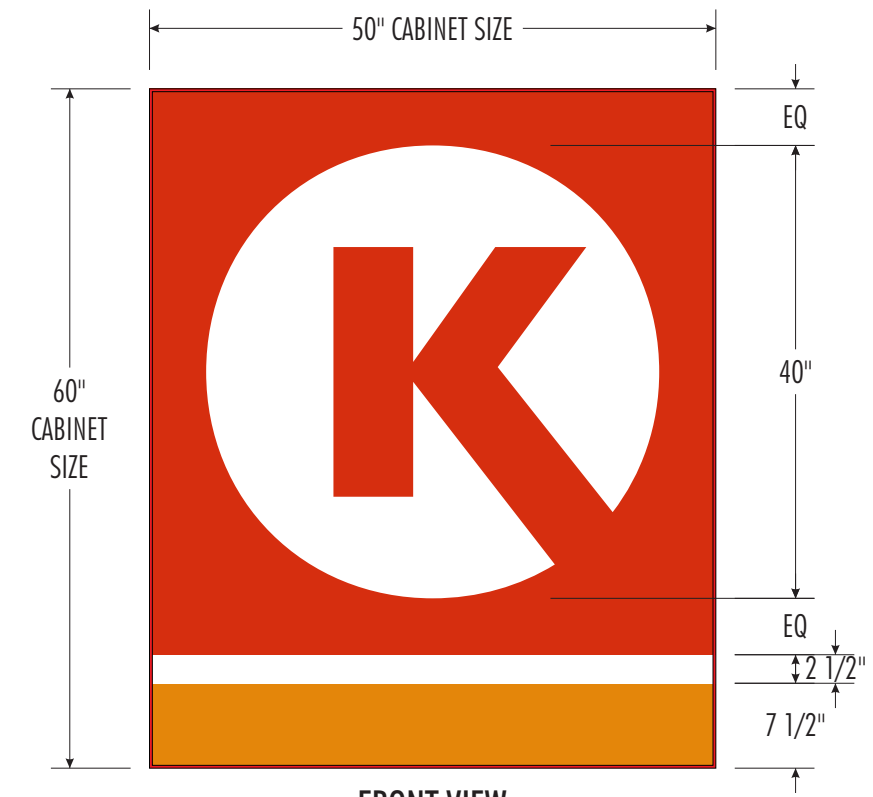
CK\_NT\_98TH-SW-AND-SAGE\_ALBUQUERQUE\_NM\_G



## SCOPE OF WORK

**B BUILDING  
LEFT & RIGHT  
SIDE**

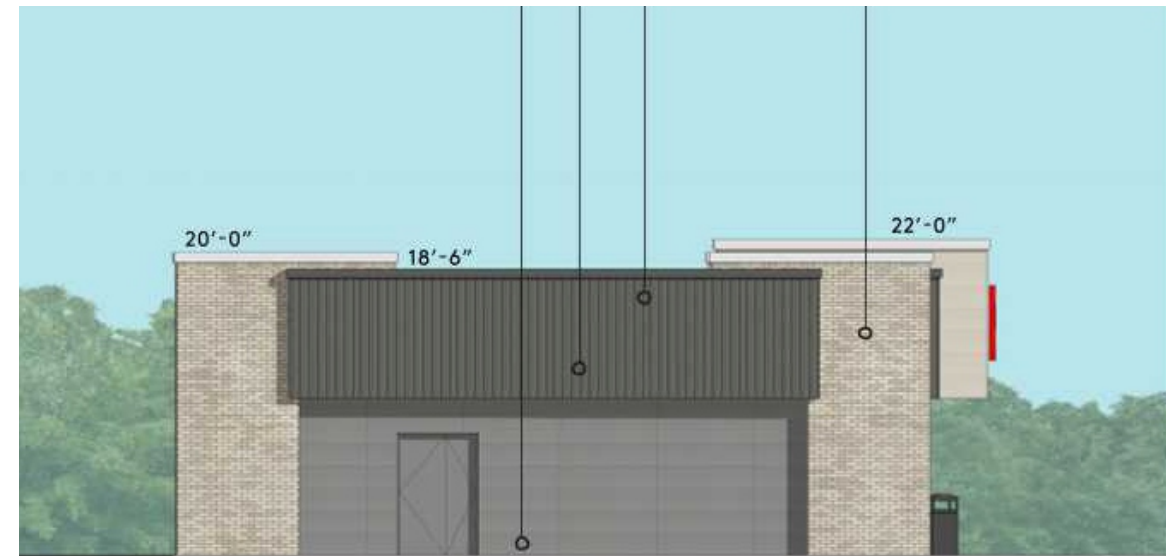
- INSTALL NEW 5' X 4' TOTEM BUILDING SIGN TO NORTH SIDE ELEVATION.



**FRONT VIEW**  
**MODEL #: M096**  
**SR PART #: CKS0504WALL**  
**20.84 SQ. FT.**



**SIDE "NORTH" ELEVATION**



**SIDE "SOUTH" ELEVATION**

DIMENSIONS TO BE VERIFIED PRIOR TO MANUFACTURING

SCALE: 1:150

**Building Left & Right Side**

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ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729

SITE#: CK NTI 98TH SW & SAGE  
 98th Sw & Sage, Albuquerque, NM  
 10/31/2025 (VB/LZ)

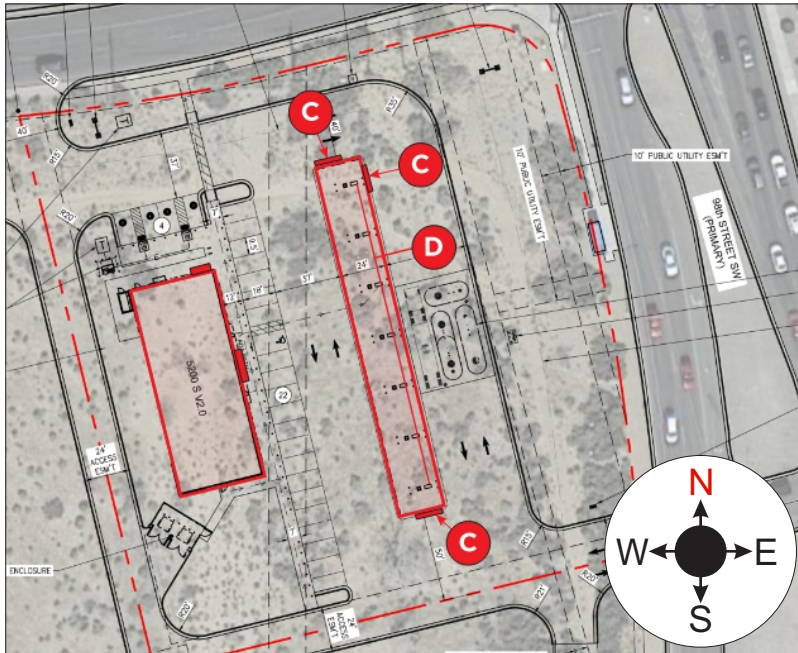
CK\_NTI\_98TH-SW-AND-SAGE\_ALBUQUERQUE\_NM\_G

# SCOPE OF WORK

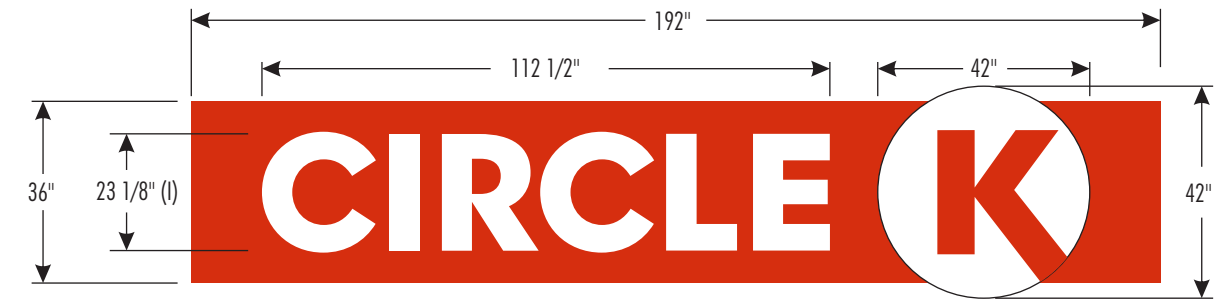
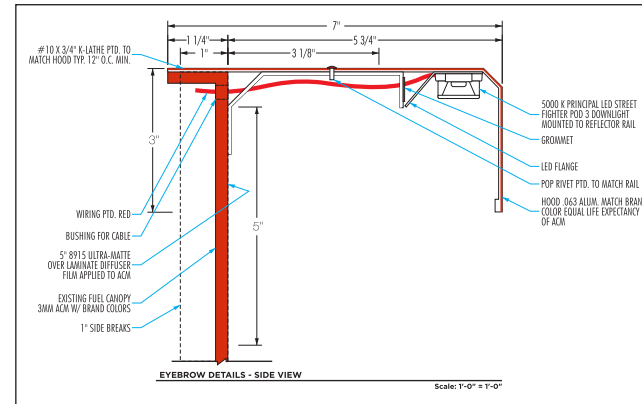
## C CANOPY

- INSTALL NEW TRISTRIPE FASCIA WITH (3) THREE LOGOS WITH DOWNLIGHTING ON FRONT AND SIDE ELEVATIONS

## OVERHEAD VIEW



## EYEBROW DETAILS



### REFERENCE PART #:

VINYL APPLIED SECOND SURFACE DECORATION

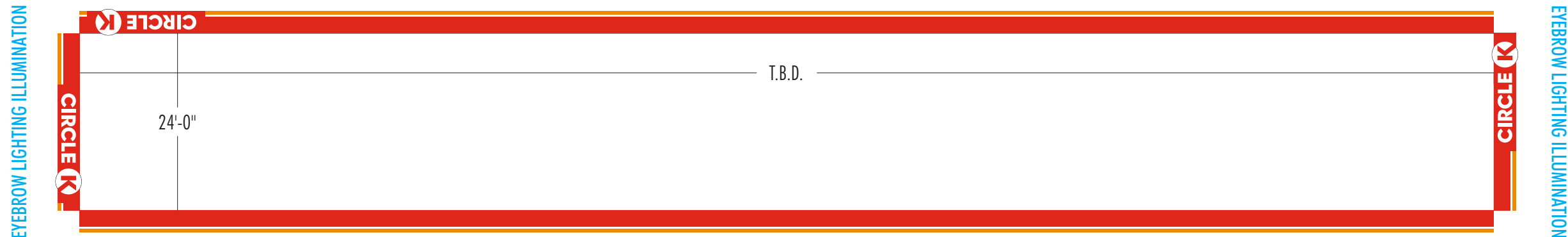
CIRCLE = 18.07 SQ. FT.  
K = 12.25 SQ. FT.  
TOTAL = 30.32 SQ. FT.  
(x2) = 60.64 SQ. FT.



CLEARANCE BAR

98TH STREET SW

EYEBROW LIGHTING ILLUMINATION



NON-ILLUMINATED ACM

BUILDING SIDE

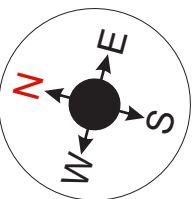
SAGE ROAD

DIMENSIONS TO BE VERIFIED PRIOR TO MANUFACTURING

Canopy

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY  
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ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729

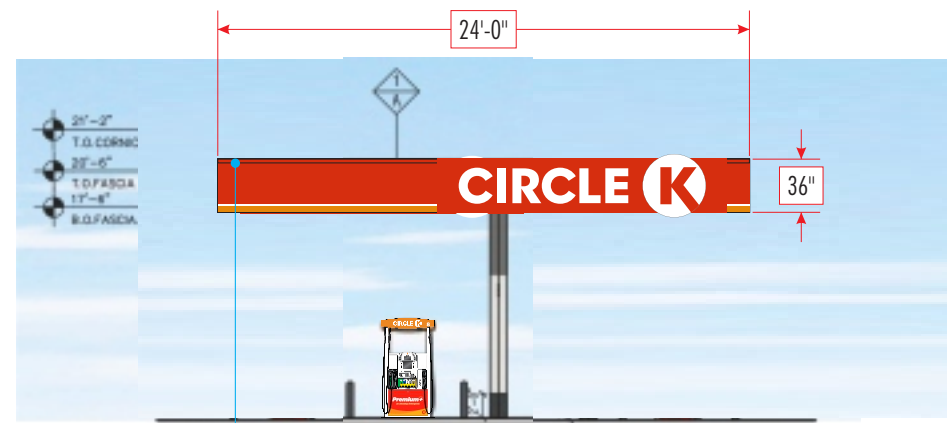


SCALE : 1:200

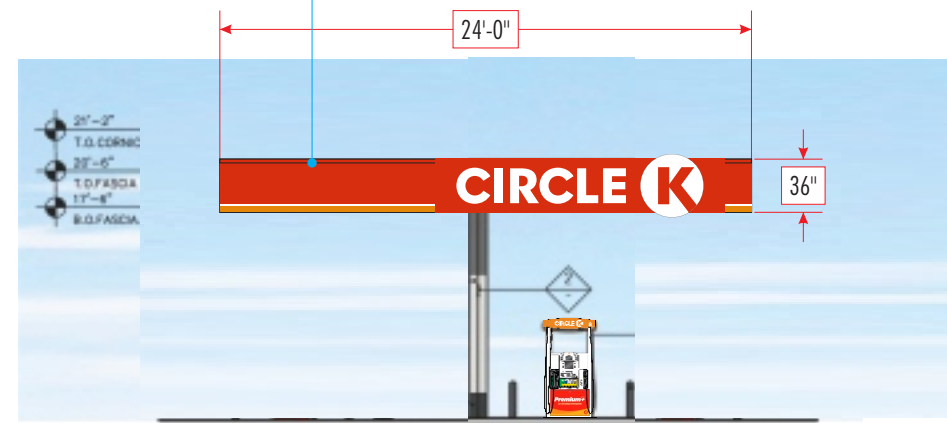
SITE#: CK NTI 98TH SW & SAGE  
98th Sw & Sage, Albuquerque, NM  
10/31/2025 (VB/LZ)

CK\_NTI\_98TH-SW-AND-SAGE\_ALBUQUERQUE\_NM\_G

# STREET VIEW FOR ILLUSTRATIVE PURPOSES ONLY

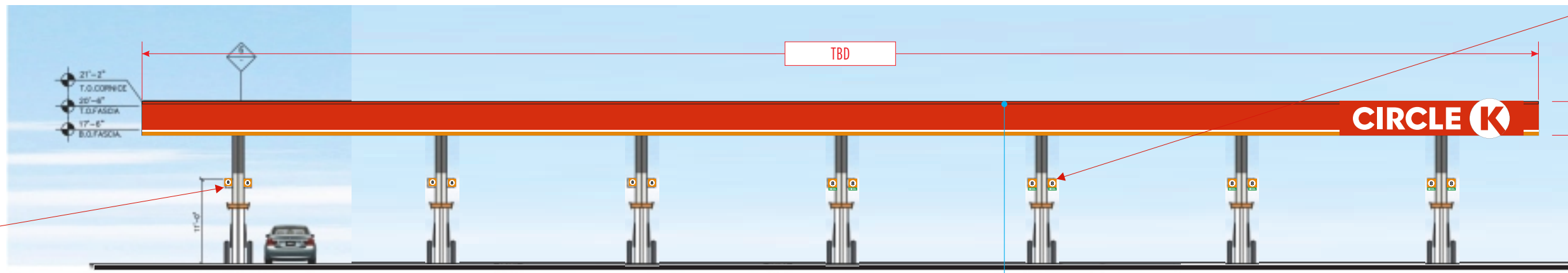
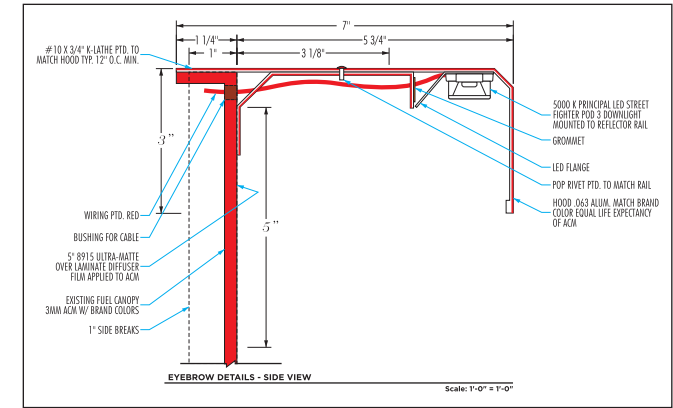


EYEBROW LIGHTING **NORTH ELEVATION**



**SOUTH ELEVATION**

## EYEBROW DETAILS

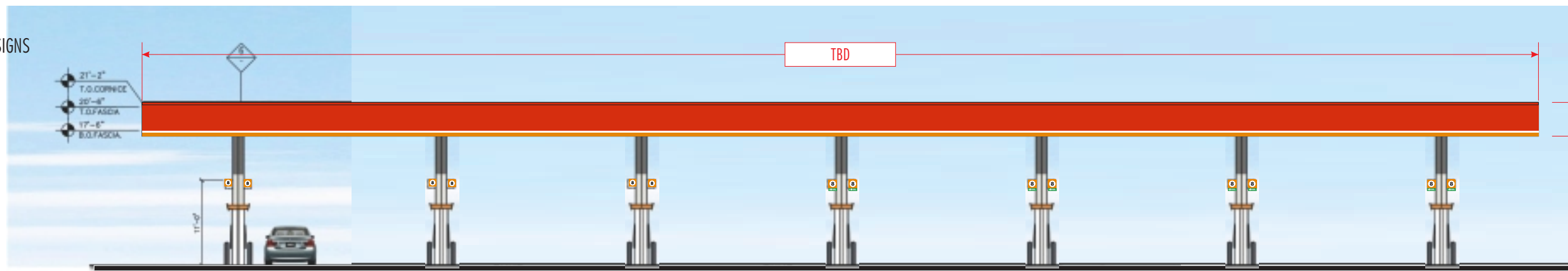


**EAST ELEVATION**

EYEBROW LIGHTING



NON ILLUMINATED PUMP SIGNS  
QTY: \_\_\_



**WEST ELEVATION**

NON ILLUMINATED PUMP SIGNS  
QTY: \_\_\_



# Canopy Sign Details

SIZES SUBJECT TO FINAL FIELD CONFIRMATION PRIOR TO MANUFACTURING

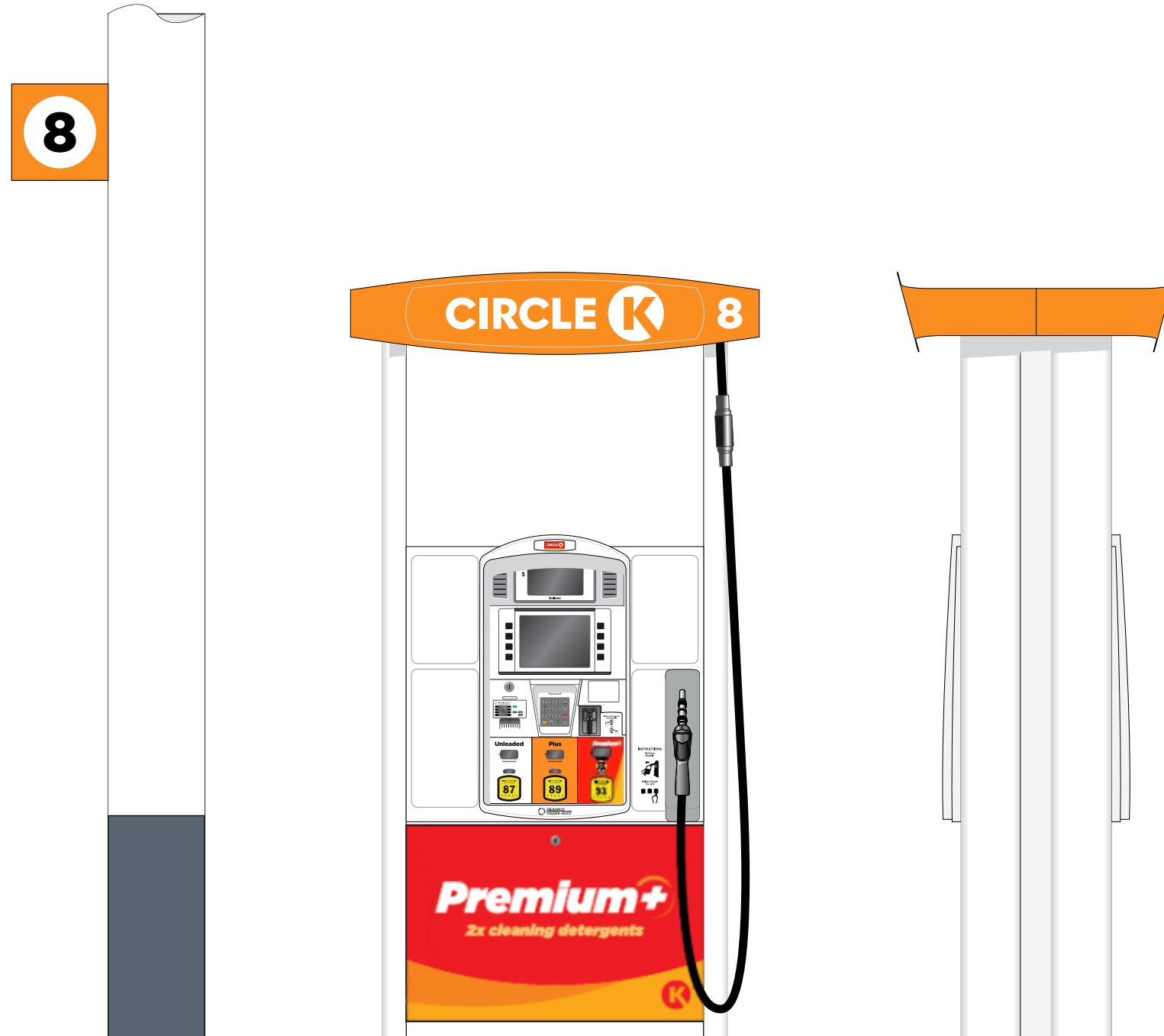
SITE#: CK NTI 98TH SW & SAGE  
98th Sw & Sage, Albuquerque, NM  
10/31/2025 (VB/LZ)

CK\_NTI\_98TH-SW-AND-SAGE\_ALBUQUERQUE\_NM\_G

## SCOPE OF WORK

### D DISPENSERS & FORECOURT

- INSTALL NEW CKSPUMP12, CKSPUMPD16 DISPENSERS AND FLAGS

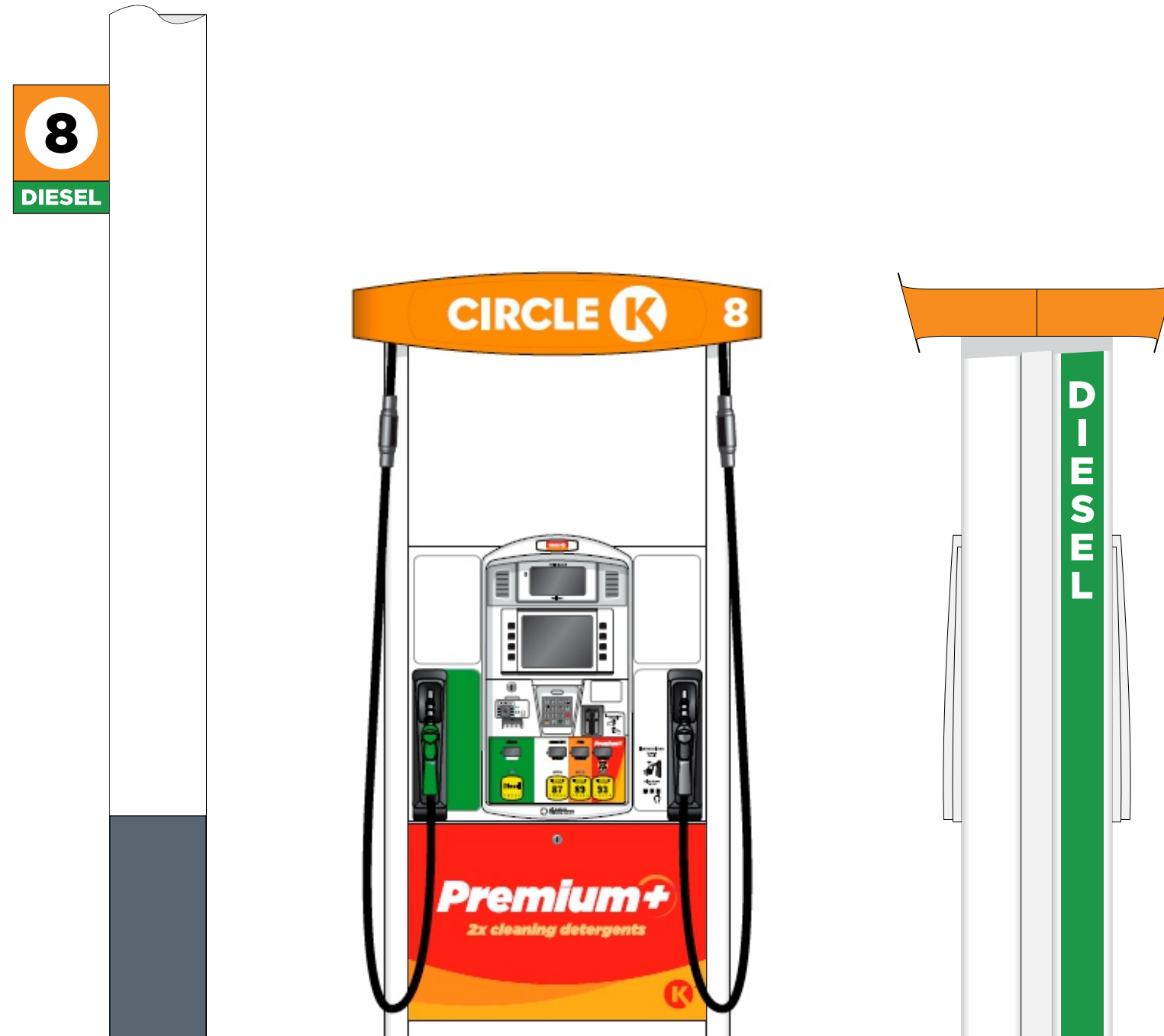


**DISPENSERS ARE PROVIDED BY THE FUEL VENDOR & SHOULD ARRIVE PRE-IMAGED  
PLEASE LET SIGNRESOURCE KNOW IF ADDITIONAL DECALS ARE NEEDED.**

## SCOPE OF WORK

### D DISPENSERS & FORECOURT

- INSTALL NEW CKSPUMP12, CKSPUMPD16 DISPENSERS AND FLAGS



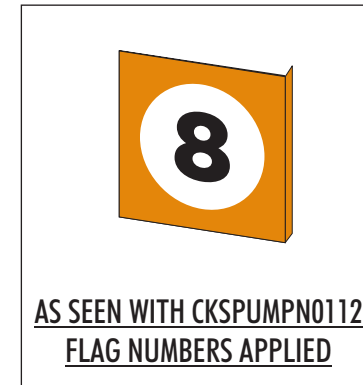
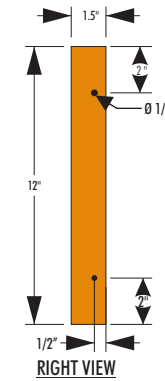
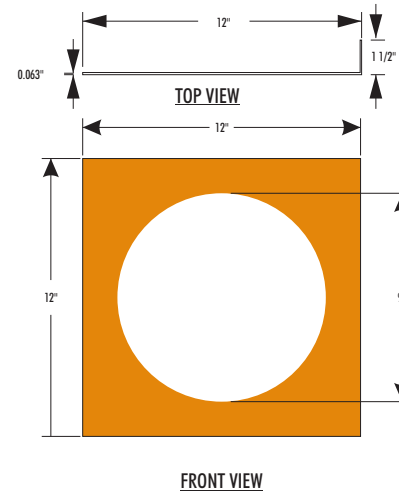
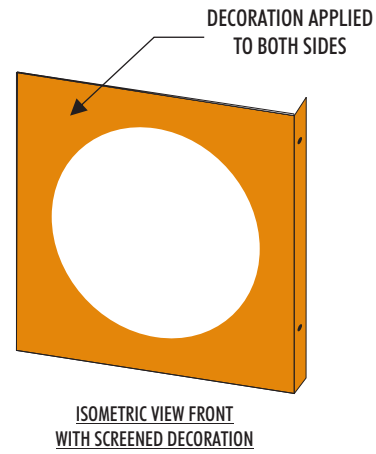
**DISPENSERS ARE PROVIDED BY THE FUEL VENDOR & SHOULD ARRIVE PRE-IMAGED  
PLEASE LET SIGNRESOURCE KNOW IF ADDITIONAL DECALS ARE NEEDED.**

# SCOPE OF WORK

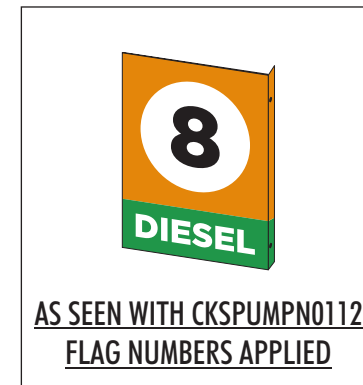
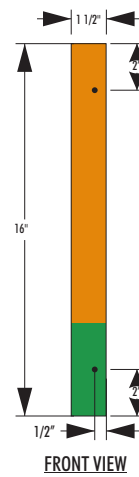
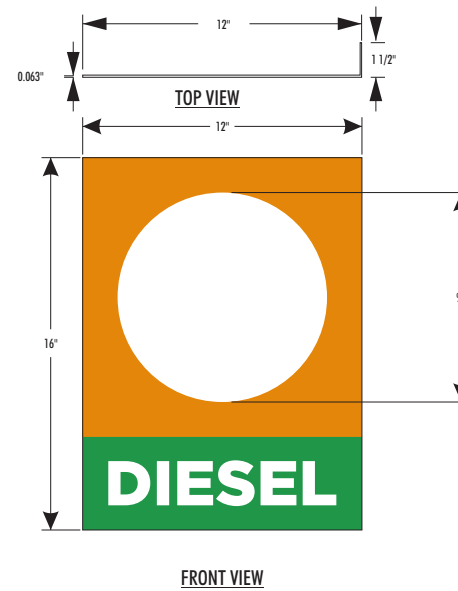
## D DISPENSERS & FORECOURT

- INSTALL NEW CKSPUMP12, CKSPUMPD16 DISPENSERS AND FLAGS

**CKSPUMP12**  
(3+0)



**CKSPUMPD16**  
(3+1)

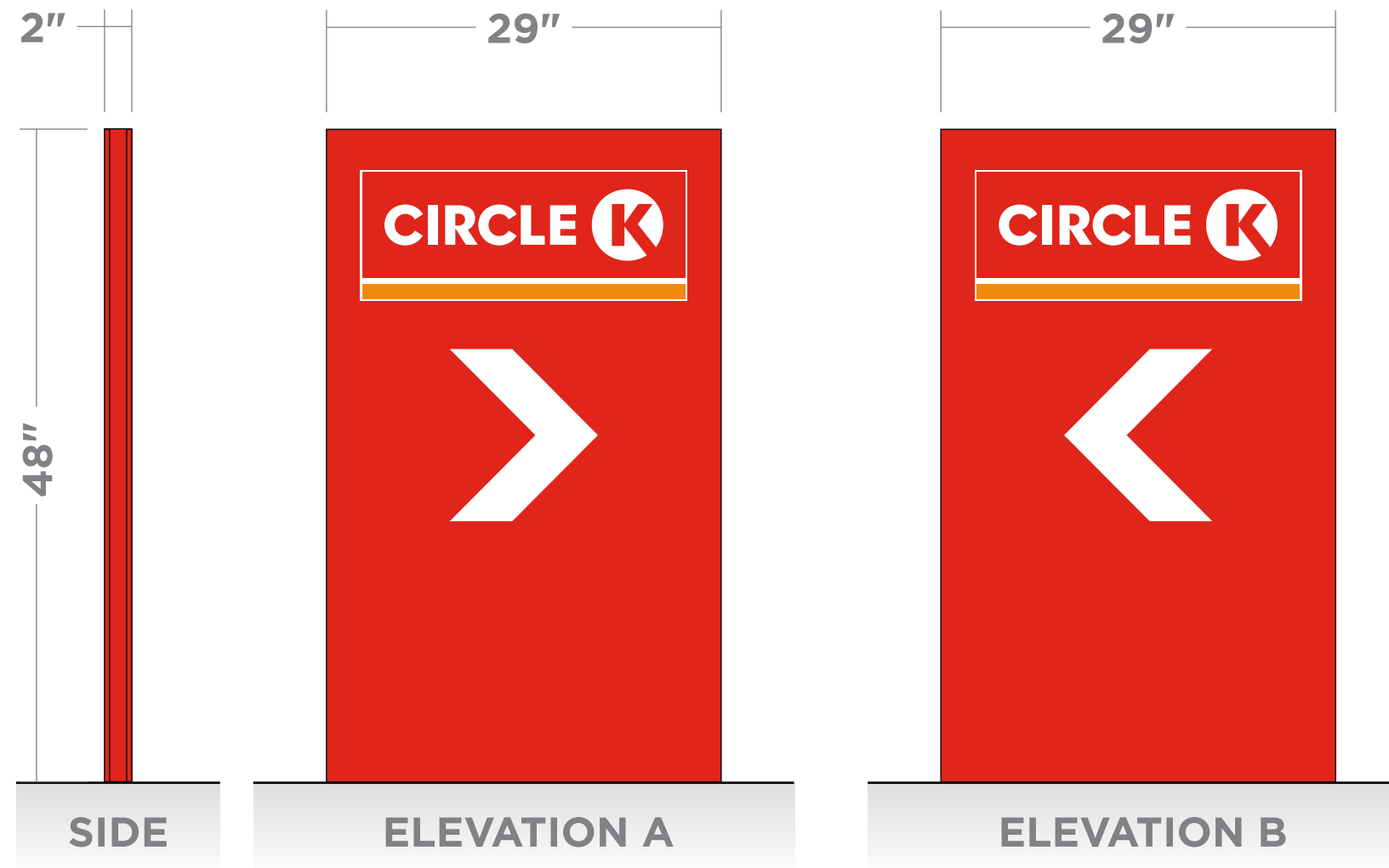


## SCOPE OF WORK

### E WAYFINDING SIGNS

• INSTALL NEW CIRCLE K DIRECTIONAL SIGN, AT DRIVEWAY ENTRIES

**NON-ILLUMINATED  
DIRECTIONAL**



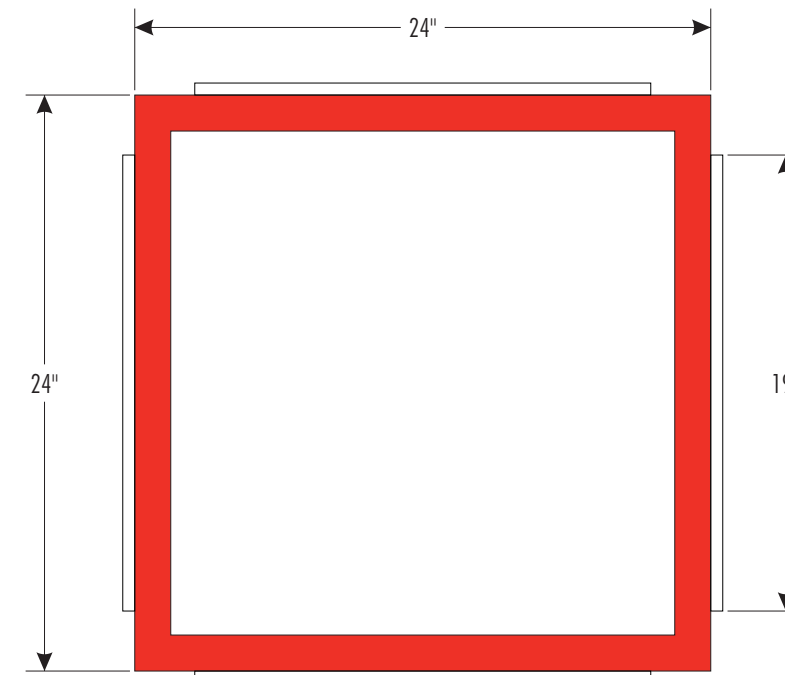
**TO BE INSTALLED AT DRIVEWAY  
ENTRIES SPECIFIED ON OVERVIEW PAGE**

## SCOPE OF WORK

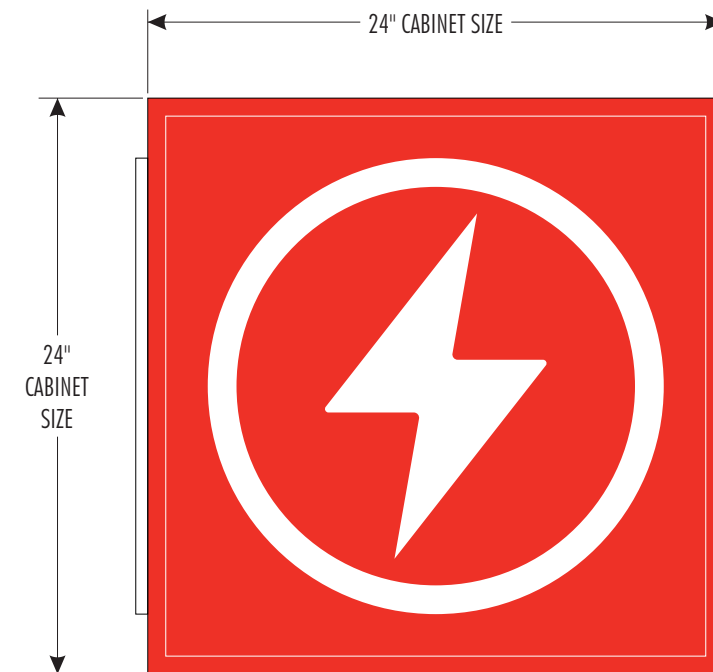
F

### EV SIGN

- INSTALL NEW EV CUBE (IT WILL ATTACH TO THE LIGHT POLE)



TOP VIEW

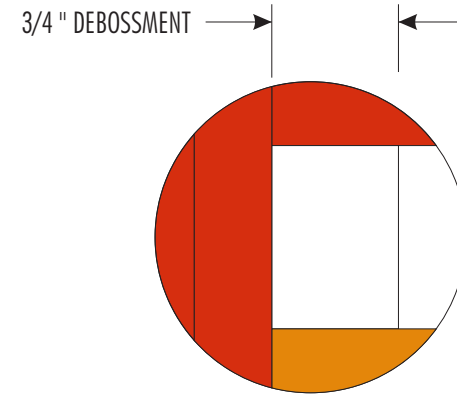


FRONT VIEW

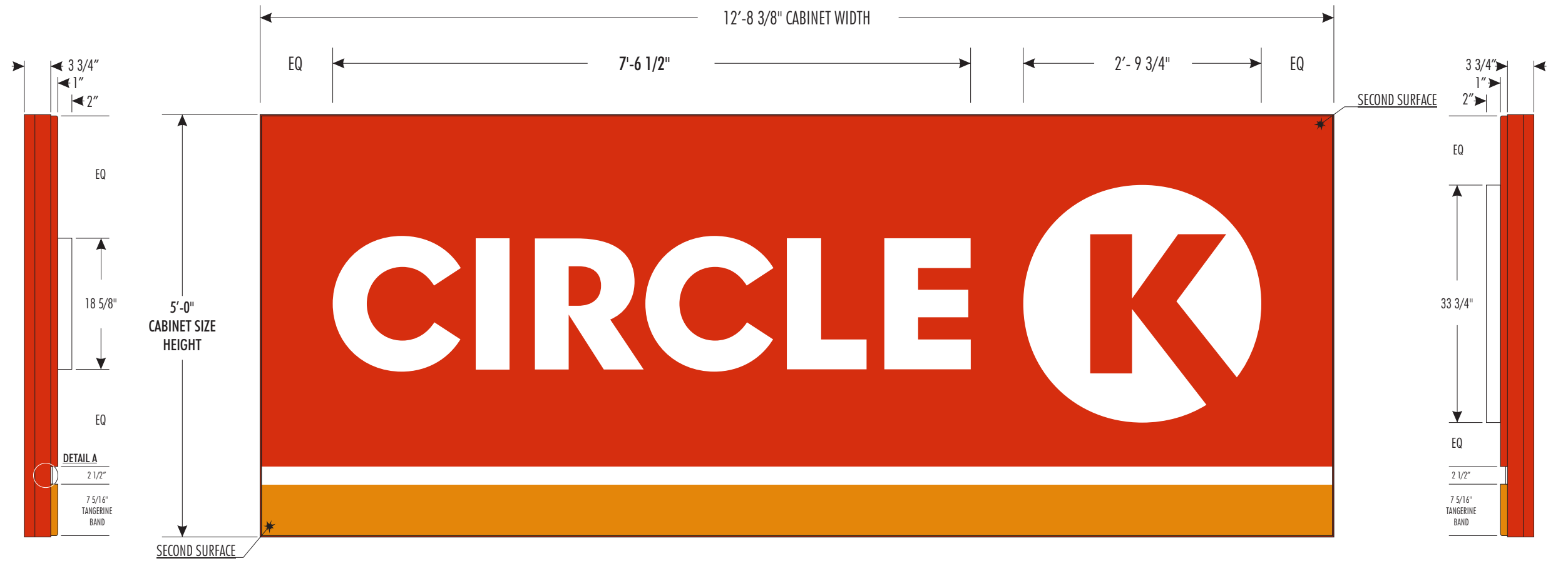




DESIGNED ILLUMINATION VIEW



DETAIL A



SIDE VIEW

FRONT VIEW

63.49 SQ. FT.

SIDE VIEW

M057

SCALE 1:16

# Building Shop Sign

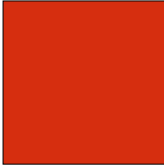
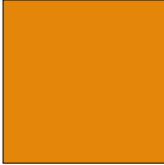



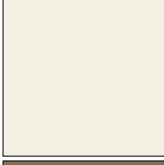
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ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 - UL FILE #E46729

SITE#: CK NTI 98TH SW & SAGE  
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CK\_NTI\_98TH-SW-AND-SAGE\_ALBUQUERQUE\_NM\_G

## Circle K:

Sample	Description	Applied to
	Primary Red - PMS 485 3M - 3630-2553	Building Sign Fascia Car Wash
	Primary Orange - PMS 144 3M - 3630-3534	Building Sign Fascia Column Flags
	Safety Red Sherwin Williams - SW 4081	Building Bollards
	Grays Harbor Sherwin Williams - SW 6236	Canopy Island Base Canopy Bollards High Rise Poles
	White	Building Sign Fascia Light Posts
	Green - PMS 355 3M - 3630-156 "Vivid Green" Vinyl	Diesel Door Skin CK Pricer (Diesel)
	Blue - PMS 287 3M - 3630-157 "Sultan Blue" Vinyl	CK Pricer (Unleaded)
	Egret White Sherwin Williams - SW 7570	Buildings 30" above grade to top of fascia
	Neutral Ground Sherwin Williams - SW 7568	Buildings 30" above grade to top of fascia
	Nuthatch Sherwin Williams - SW 6088	Buildings 30" to grade

**CAUTION NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

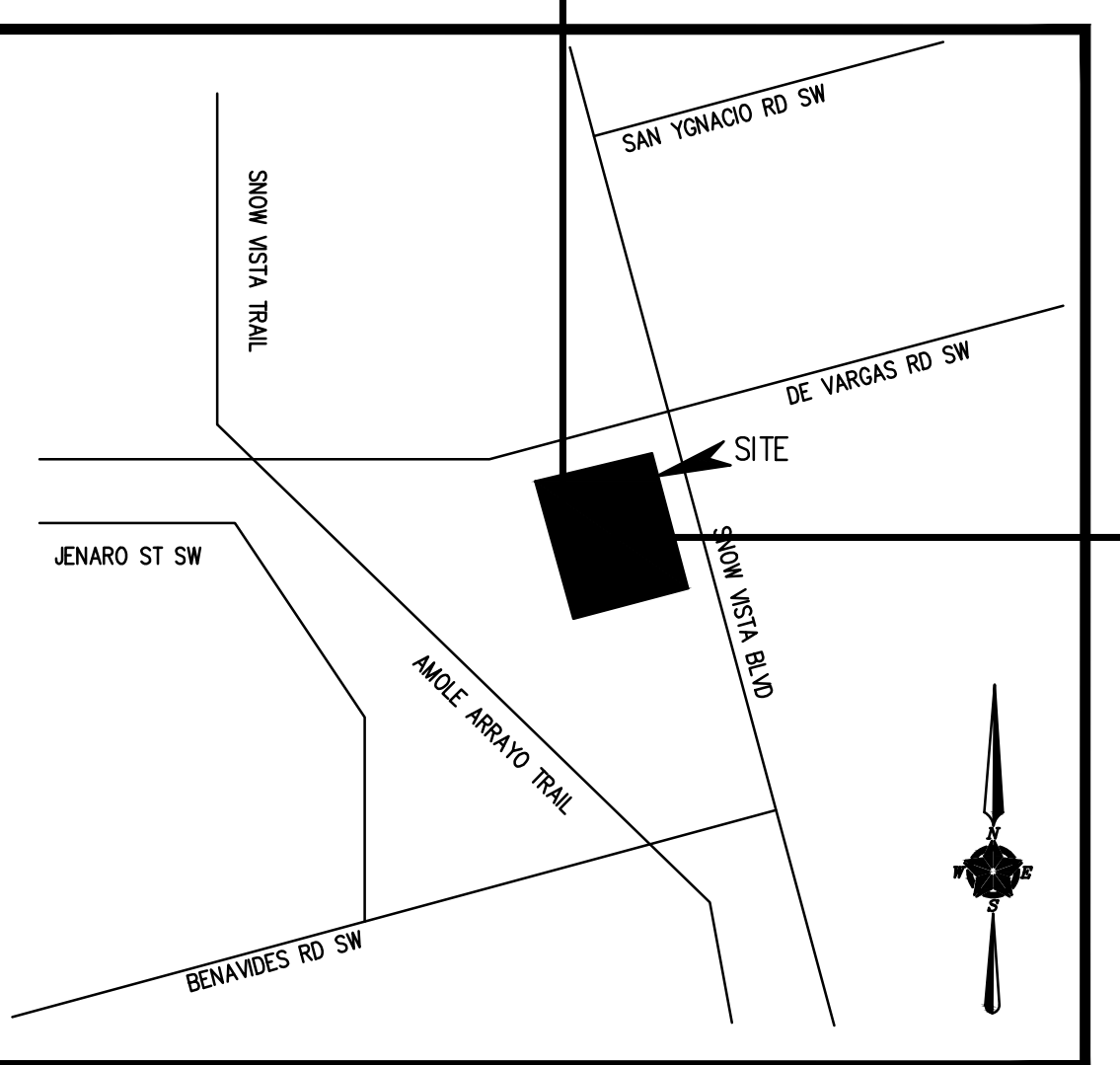
**BENCHMARKS**  
 ACS MONUMENT 2\_L7 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'

**FLOODNOTE**  
 BASED UPON SCALING THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY FEMA AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H AS PER ALTA SURVEY



**Approved for access by the Solid Waste Department.**  
**All containers must be made accessible for pick up**  
**between the hours of 5AM and 8PM.**  
 Reviewer: ADRIAN MAREZ  
 Date: 1-16-26

SITE DATA TABLE		
LOCATION:	SNOW VISTA BLVD DE VARGAS RD SW ALBUQUERQUE, NM 87121	
LOT AREA:	1.9274 AC. (83,955 S.F.)	
ZONING:	ZONING - NRC	
CURRENT USE:	VACANT	
PROPOSED USE:	C STORE W FUEL DISPENSING	
<b>BUILDING DATA:</b>		
BUILDING AREA	5,200 S.F.	
BUILDING HEIGHT	38' (1 STORY)	
BUILDING COVERAGE	6.19%	
F.A.R.	16:1	
<b>PARKING SUMMARY:</b>		
1 SP PER 200 SF (5,200 SF)	REQUIRED	PROVIDED
PARKING SPACES	25	25
ACCESSIBLE SPACES	1	2
TOTAL SPACES	26	27
MOTORCYCLE	2	2
BICYCLE	3	3



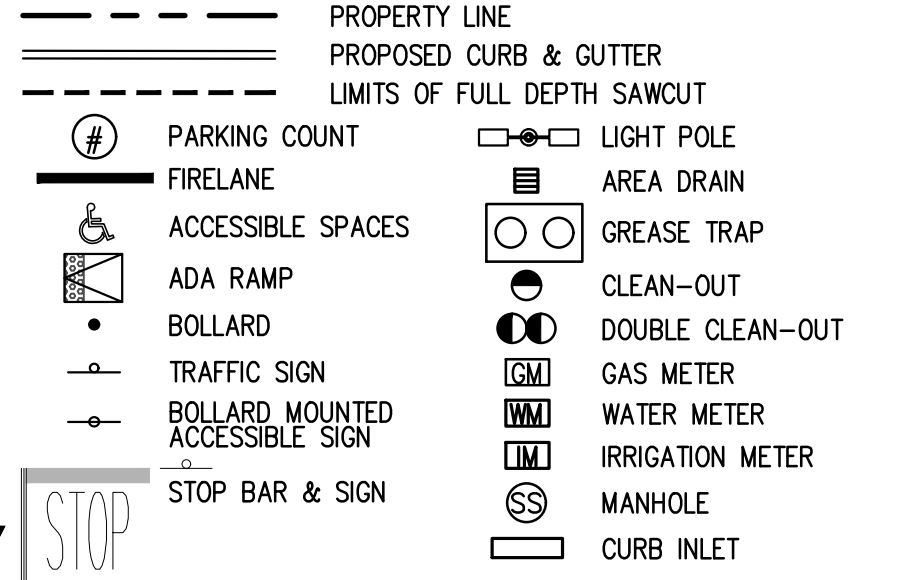
**LOCATION MAP**  
 ZONE ATLAS MAP NO. M-9-Z  
 NOT TO SCALE

- NOTES:**
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
  - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT. THEREFORE, SIGNS WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

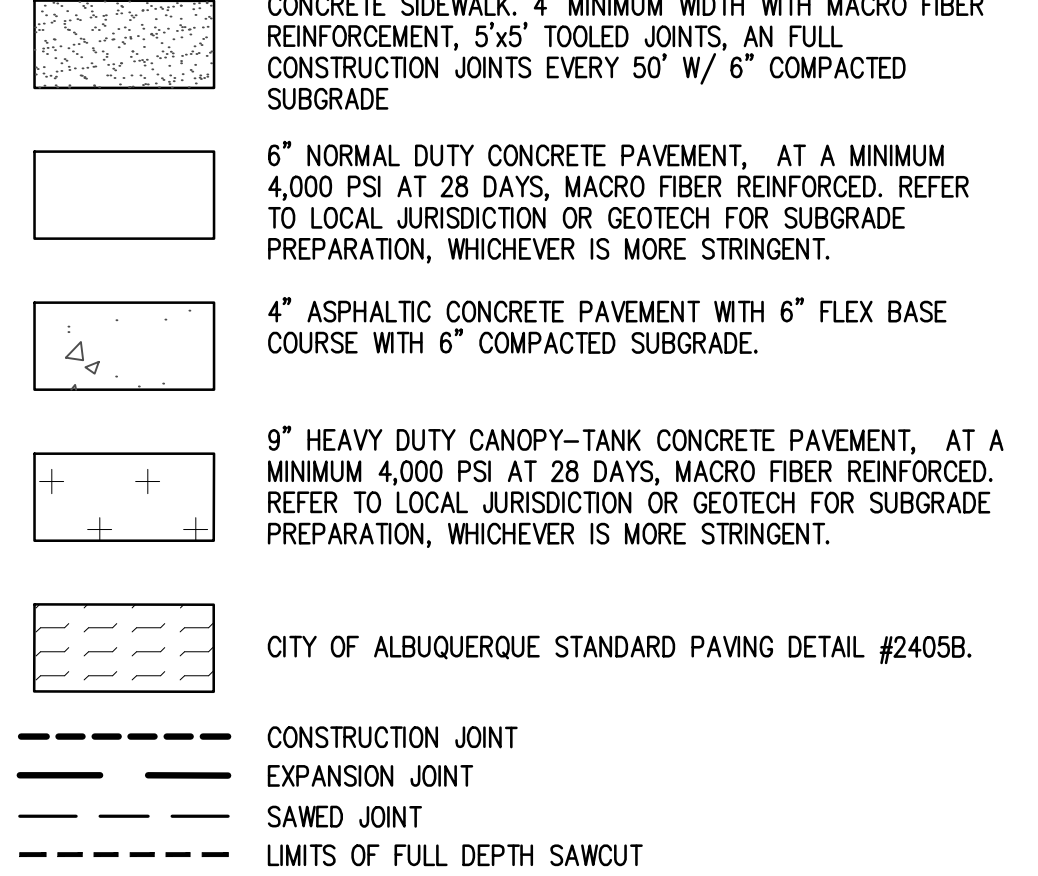
**SITE KEY NOTES:**

- CONCRETE CURB AND GUTTER. (CITY DETAIL #2415A & #2415B)
- TAPER CURB TO MATCH EXISTING.
- MATCH EXISTING PAVEMENT ELEVATION.
- LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- EXISTING PAVEMENT TO REMAIN.
- CONCRETE SIDEWALK. 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE. (CITY DETAIL #2430)
- SIDEWALK RAMP @ 8.33% MAX. (CITY DETAIL #2443)
- EXISTING FIRE HYDRANT.
- STOP BAR. (PER LOCAL CODES)
- DIRECTIONAL TRAFFIC ARROW. (PER LOCAL CODES)
- PARKING STALL STRIPING. (PER LOCAL CODES)
- 4" WIDE PAINTED STRIPES, 2" OFF CENTER @ 45'. (ALL HANDICAPPED PAINT SHALL BE BLUE)
- PEDESTRIAN/ACCESSIBLE CROSSWALK STRIPING.
- ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- BOLLARD.
- PROPOSED LIGHT POLE.
- MONUMENT/PYLON SIGN. (PER ARCH. PLANS)
- DUMPSTER ENCLOSURE. (PER ARCH. PLANS)
- FUEL STORAGE TANKS (PER M.E.P. PLANS)
- FUEL TANK VENTS (PER M.E.P. PLANS)
- PROPOSED PAD MOUNTED TRANSFORMER.
- "STOP" SIGN.
- LANDSCAPE AREA. (PER LANDSCAPE PLAN)
- EV PARKING STALLS.
- EV CHARGING EQUIPMENT.
- EV POWER BANK/GENERATOR.
- AIR/VAC. UNIT
- DIRECTIONAL SIGN FOR DRIVE THRU.
- STORAGE UNIT. (PER ARCH. PLANS)
- DETENTION BASIN.
- INLET. (SEE PLAN FOR SIZE)
- FLEXIBLE CITY PAVEMENT PER DETAIL #2405B
- BICYCLE PARKING. (PER ARCH. PLANS)
- MOTORCYCLE PARKING & "MC" STRIPING.
- MOTORCYCLE PARKING SIGN PER COA ZONING CODE.
- "NO PARKING" STRIPING.

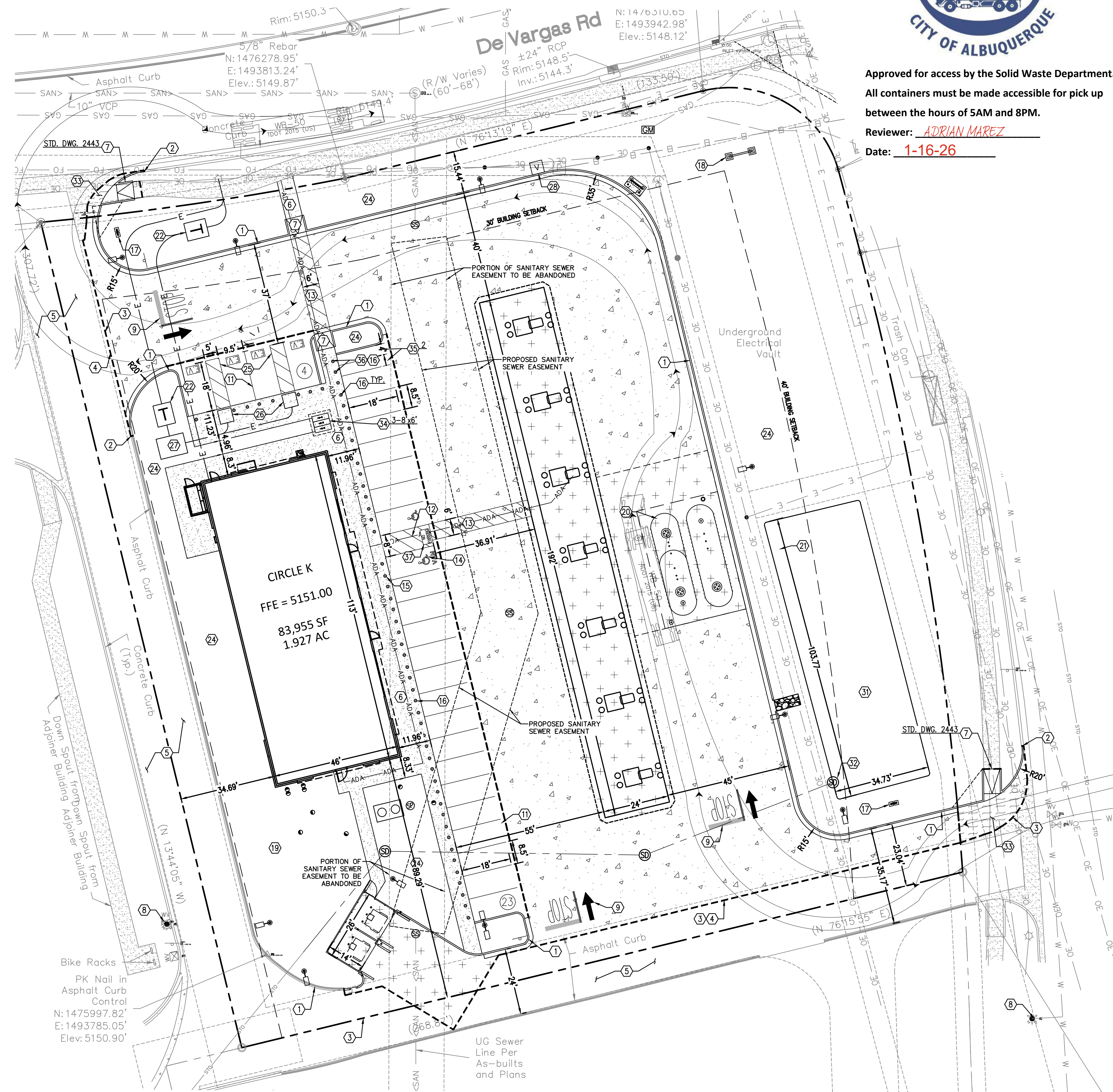
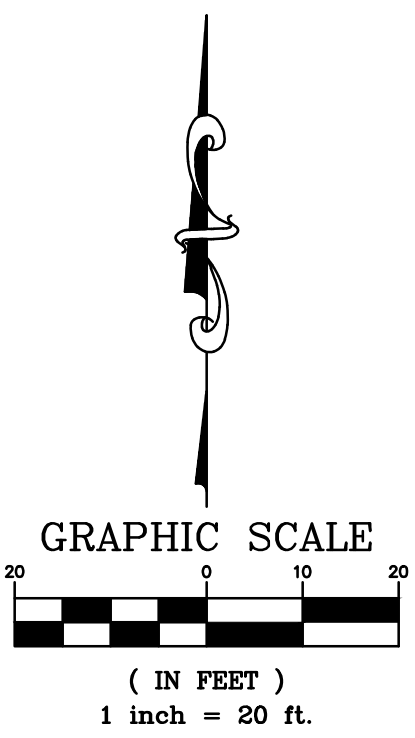
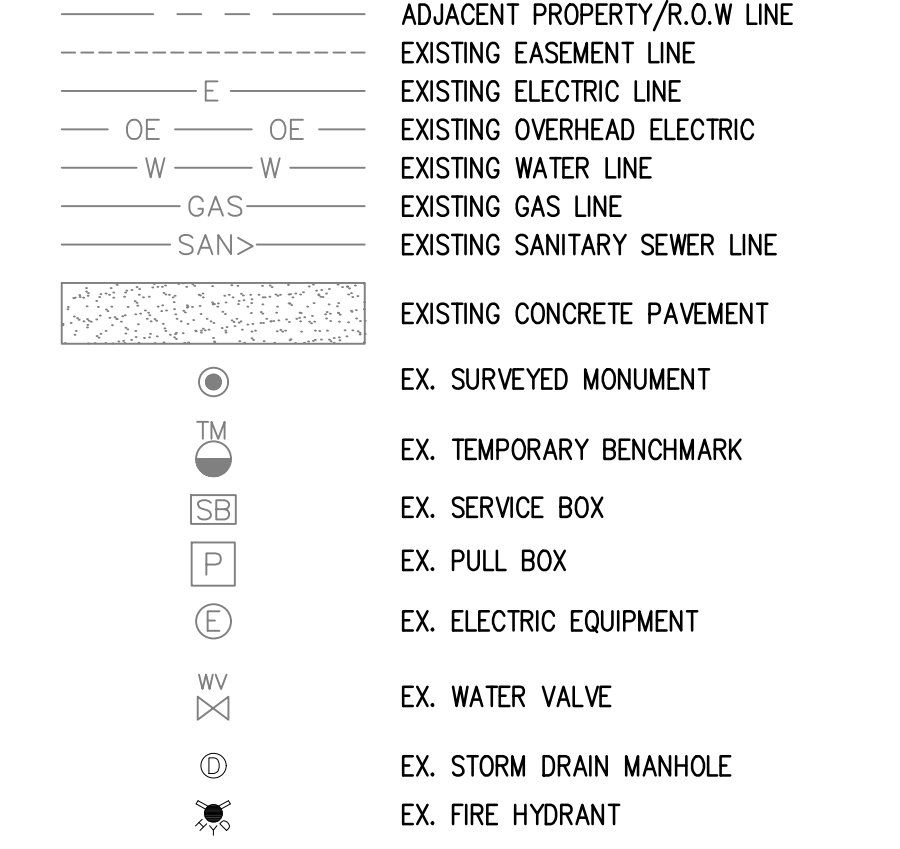
**SITE LEGEND:**



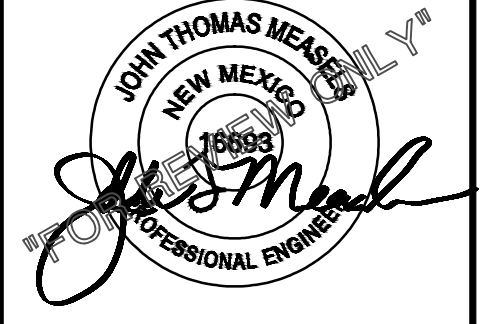
**PROPOSED PAVING LEGEND:**



**EXISTING LEGEND:**



**JM CIVIL**  
 1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measles, PE  
 CIVIL ENGINEER



1/16/2026

**TRAFFIC CIRCULATION LAYOUT**  
**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

NO.	DATE	DESCRIPTION
1	11/17/25	INITIAL SUBMITTAL
2	12/18/25	2ND SUBMITTAL

PROJECT NO.	DATE	ISSUE DATE
JM-DW25001	11/17/25	01/16/2026



**TCL**

J:\CIRCLE K\DW25001 98TH DE VARGAS RD - ALBUQUERQUE, NM\CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24X36 MASTER.DWG 1/16/2026 9:03 AM JOSEPH KIFFE



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)	
<input checked="" type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)		<b>PRE-APPLICATIONS</b>	
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)		<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)		<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)		<b>APPEAL</b>	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)		<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)	
<b>BRIEF DESCRIPTION OF REQUEST</b>			
Proposed Circle 5200 sf convenience store with 7 fuel pumps (14 fuel dispensers)			
<b>APPLICATION INFORMATION</b>			
Applicant/Owner: Andre Sutiono (JM Civil Engineering)		Phone: (214) 705-3182	
Address: 1101 Central Expressway S., Suite 215		Email: asutiono@jmcivileng.com	
City: Allen	State: TX	Zip: 75013	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>			
Lot or Tract No.: 1A		Block:	Unit:
Subdivision/Addition: Snow Vista Investors		MRGCD Map No.:	UPC Code: 100905515141520314
Zone Atlas Page(s): M-9	Existing Zoning: NR-C		Proposed Zoning same
# of Existing Lots: 1	# of Proposed Lots: 1.92		Total Area of Site (Acres): 1.93
<b>LOCATION OF PROPERTY BY STREETS</b>			
Site Address/Street: 9800 De Vargas Rd SW		Between:	and:
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>			
PRT 24-023, M09D012A, HYDR-2025-00417, TRANS-2025-00330, TRANS-2026-00009, ABCWUA Availability Statement#251106 ABCWUA WO20250014, PR-2020-004645			
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.			
<b>Signature:</b>		<b>Date:</b> 03/24/2026	
<b>Printed Name:</b> Andre Sutiono		<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent	

**FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022** **SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

**SITE PLAN DOCUMENTATION**

- 1) DFT Application form completed, signed, and dated
- 2) Form P2 with all the submittal items checked/marked
- 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- 4) Zone Atlas map with the entire site clearly outlined and labeled
- 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- 7) Infrastructure List, if required for building of public infrastructure
- 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):  
[https://documents.cabq.gov/planning/development-review-board/Sensitive\\_lands\\_analysis\\_form.pdf](https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf)
- 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic\\_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

**SUPPORTIVE DOCUMENTATION**

- 10) Completed Site Plan Checklist
- 11) Letter of authorization from the property owner if application is submitted by an agent
- 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)

NA 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

NA 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

**PUBLIC NOTICE DOCUMENTATION**

X 17) Sign Posting Agreement

NA 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

NA Office of Neighborhood Coordination neighborhood meeting inquiry response

NA Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

NA Completed neighborhood meeting request form(s)

NA If a meeting was requested or held, copy of sign-in sheet and meeting notes

X 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

X Office of Neighborhood Coordination notice inquiry response

NA Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

NA Proof of emailed notice to affected Neighborhood Association representatives

**FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Site Plan and related drawings
- \_\_\_ 5) Infrastructure List, if require
- \_\_\_ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ 7) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 8) Solid Waste Department signature on Site Plan
- \_\_\_ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ 10) Approved Grading and Drainage Plan
- \_\_\_ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director

Mayor Timothy M. Keller

December 23, 2025

John Measels, P.E.  
JM Civil Engineering  
1101 Central Expressway South, Suite 215  
Allen, TX 75013

**RE: Circle K  
9800 De Vargas Rd SW  
Grading and Drainage Plan  
Engineer's Stamp Date: 12/18/2025  
Hydrology File: M09D012A  
Case #: HYDR-2025-00417**

Dear Mr. Measels:

PO Box 1293

Based upon the information provided in your submittal received 12/19/2025, the Grading & Drainage plan **is approved** for Building Permit.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

NM 87103

If you have any questions, please contact me at 924-3695 or [tchen@cabq.gov](mailto:tchen@cabq.gov).

www.cabq.gov

Sincerely,



Tiequan Chen, P.E.  
Principal Engineer, Hydrology  
Planning Department, Development Review Services

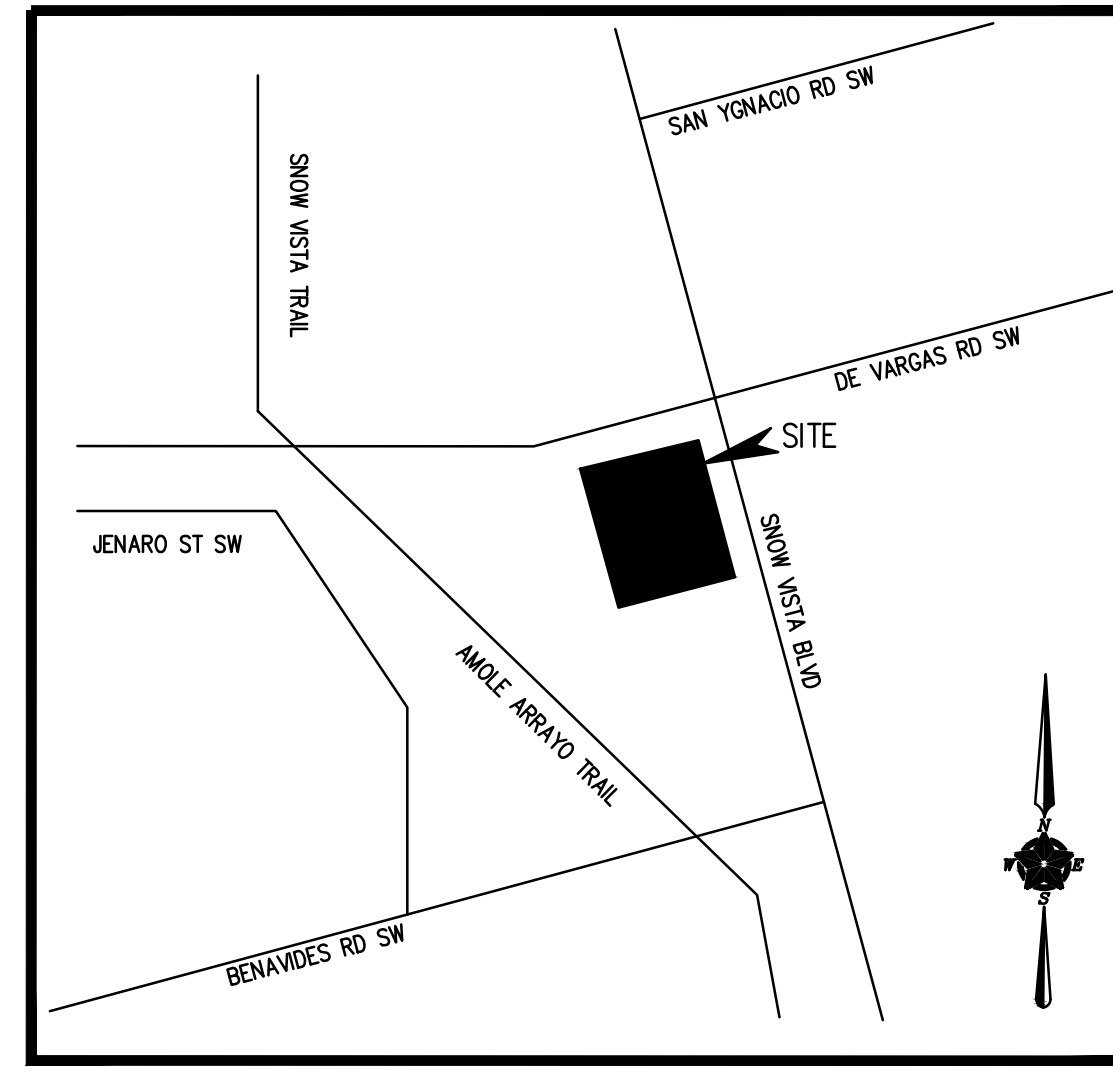


# SITE DEVELOPMENT PLANS FOR CIRCLE K 9800 DE VARGAS RD SW ALBUQUERQUE, NM 87121

## SHEET INDEX

- C 001 COVER SHEET
  - PLAT
  - ALTA
- C 050 GENERAL NOTES
- C 060 DEMOLITION PLAN
- C 100 SITE PLAN
- C 410 SOIL AND EROSION CONTROL DETAILS
- C 200 PAVING PLAN
- C 300 GRADING PLAN
- C 400 SOIL EROSION AND SEDIMENT CONTROL PLAN
- C 500 PRE DEV DRAINAGE AREA MAP
- C 510 POST DEV DRAINAGE AREA MAP
- C 530 STORM DRAIN PLAN
- C 600 UTILITY PLAN
- C 610 SANITARY SEWER PROFILE
- C 700 DETAILS
- C 710 CITY DETAILS
- C 720 CITY DETAILS
- C 800 TRAFFIC CONTROL LAYOUT
  - LP-1 PLANTING PLAN
  - LP-2 LANDSCAPE NOTES & SPECIFICATIONS
  - LP-3 LANDSCAPE DETAILS

### ZONING - NRC



LOCATION MAP  
NOT TO SCALE

OWNER/DEVELOPER:

## CIRCLE K

CONTACT: OLIVIA EAGLESON  
1130 W WARNER RD  
TEMPE, AZ  
602-728-8000

ENGINEER:

## JM CIVIL ENGINEERING

CONTACT: JOHN MEASELS, PE (ENGINEER)  
1101 CENTRAL EXPRESSWAY S., SUITE 215  
ALLEN, TEXAS 75013  
JMEASELS@JMCIVILENG.COM  
(214) 491-1830

SURVEYOR:

## CSI CARTESIAN SURVEYS INC.

CONTACT: BRIAN MARTINEZ  
PO BOX 44414  
RIO RANCHO, NM 87174  
CARTISIANBRIAN@GMAIL.COM  
505-896-3050

## UTILITY CONTACTS

**PLANNING**  
City of Albuquerque  
Robert Webb  
(505) 924-3910  
rwebb@cabq.gov

**STORM WATER**  
Anthony Montoya  
505-924-3314  
amontoya@cabq.gov

**GAS**  
New Mexico Gas Company  
Vincent Eramo  
(505) 362-3179  
vincent.eram@nmgco.com

**TELEPHONE/INTERNET**  
Jett Enterprises (Comcast Agent)  
Tim Fyke  
623-551-8595 (Office)  
602-363-1109 (Mobile)  
timfyke@jettenterprises.us

**FIRE DEPARTMENT**  
City of Albuquerque Fire Department  
Rogelio Rodriguez  
(505) 924-3611  
rogeliorodriguez@cabq.gov

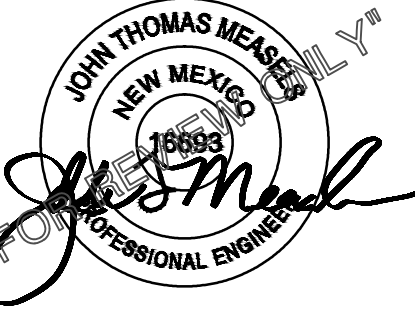
**ELECTRICITY**  
PNM New Service Delivery Program  
Jacqueline Delgado  
(505) 241-3425  
jacqueline.delgado@pnm.com

Michael Moyer  
(505) 241-3697  
michael.moyer@pnm.com

**WATER AND SEWER**  
Albuquerque Bernalillo County Water Utility  
Authority (ABCWUA)  
Renee Brissette, P.E.  
505-352-4479 (Mobile)  
rbrissette@abcwua.org



1101 Central Expressway South  
Suite 215  
Allen, TX 75013  
Ph. 214-491-1830  
John Measels, PE  
CIVIL ENGINEER



12/18/2025

## COVER SHEET

CIRCLE K, INC  
LOT 1A, SNOW VISTA INVESTORS  
9800 DE VARGAS RD.  
ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION
1	11/17/25	INITIAL SUBMITTAL
2	12/18/25	2ND SUBMITTAL

PROJECT NO.	DRAWN BY	CHECKED BY	DATE
JM-DW25001	ASB, JK, GPK	KWF	12/19/2025



Know what's below.  
Call before you dig.

2ND SUBMITTAL  
DATE: 12/19/2025

C 001

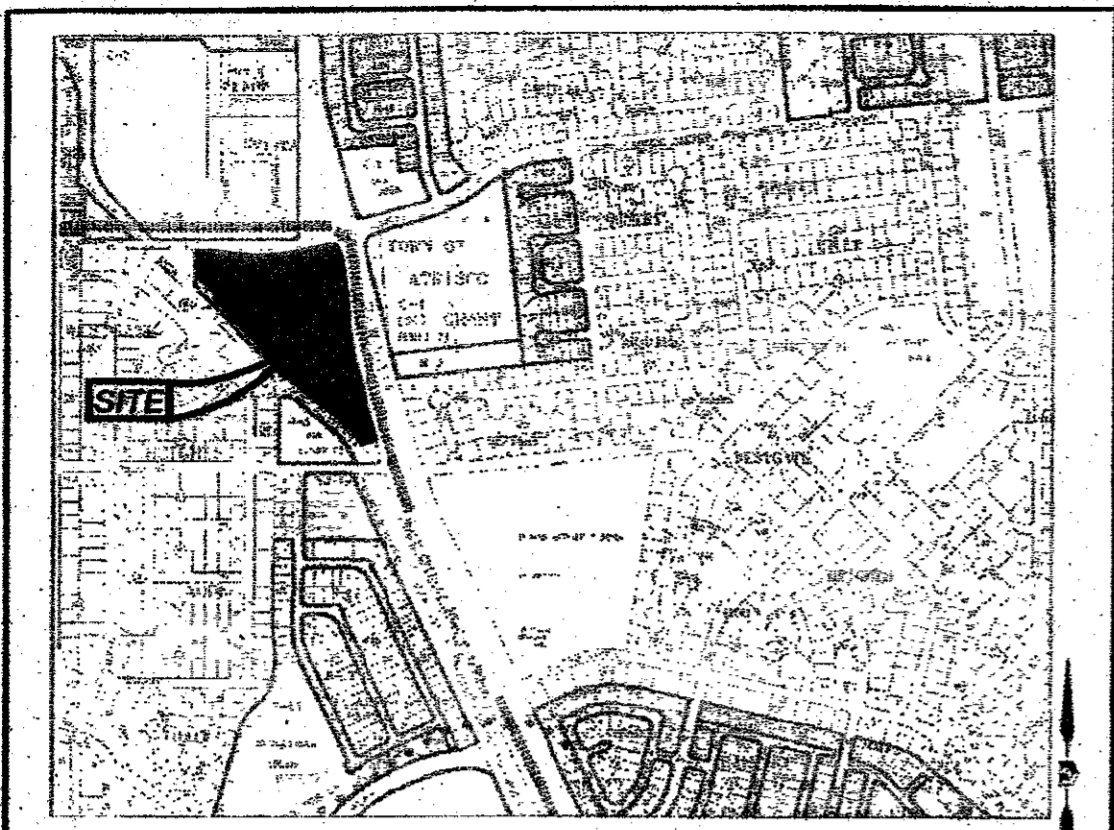
J:\CIRCLE K\DW25001\98TH DE VARGAS RD - ALBUQUERQUE, NM\CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24x36 MASTER.DWG 12/19/2025 1:41 PM GAVIN KLEINEBECKER



**CAUTION NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**BENCHMARKS**  
ACS MONUMENT 2\_L7 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'

**FLOODNOTE**  
BASED UPON SCALING THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY FEMA AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H AS PER ALTA SURVEY



Location Map  
Zone Atlas Map No. M-9-Z  
N.T.S.

### Subdivision Data:

GROSS SUBDIVISION ACREAGE: 10.7788 ACRES  
ZONE ATLAS INDEX NO: M-9-Z  
NO. OF TRACTS CREATED: 5  
NO. OF LOTS CREATED: 0  
MILES OF FULL-WIDTH STREETS CREATED: 0

### Notes:

- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.
- NO ENCROACHMENT SHALL TAKE PLACE WITHIN THE EXISTING PUBLIC SANITARY SEWER EASEMENT AND CONTINUED ACCESS SHALL BE PROVIDED FOR OPERATION AND MAINTENANCE BY THE WATER AUTHORITY.

### Public Utility Easements

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
  - B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
  - C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
  - D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTEE FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

### Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

DOCH 2022106470

12/14/2022 01:45 PM Page 1 of 2  
PLAT R: \$25.00 B: 2022C P: 0199 Linda Stover, Bernalillo County

BERNALILLO COUNTY CLERK'S OFFICE

### Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, COMPRISING OF TRACT LETTERED "A" SNOW VISTA INVESTORS, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 3, 2001, IN PLAT BOOK 2001C FOLIO 225, CONTAINING 10.7788 ACRES, MORE OR LESS, NOW COMPRISING TRACTS 1A, 1B, 1C, 1D AND 1E, SNOW VISTA INVESTORS.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC: 100905510538420307  
PROPERTY OWNER OF RECORD:  
Lawrence Goodman Rev  
BERNALILLO COUNTY TREASURER'S OFFICE  
Michelle Rodriguez 12-14-2022

### Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE ONE EXISTING TRACT INTO FIVE NEW TRACTS, TO GRANT AN EASEMENT AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY.

### Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

### Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFENSIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

CARY GOODMAN  
TRUSTEE  
LAWRENCE GOODMAN REVOCABLE TRUST

8/29/22  
DATE

### Acknowledgment

STATE OF NEW MEXICO) SS  
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29 DAY OF August 2021 BY:  
GARY GOODMAN, TRUSTEE, LAWRENCE GOODMAN REVOCABLE TRUST.

BY Yvonne Escajeda COMMISSION EXPIRES: September 03, 2024  
NOTARY PUBLIC

STATE OF NEW MEXICO  
NOTARY PUBLIC  
Yvonne Escajeda  
Commission No. 1130485  
September 03, 2024

### M.R.G.C.D. Note:

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED NIA DATE

# Plat of Lots 1A, 1B, 1C, 1D and 1E Snow Vista Investors

Town of Atrisco Grant, Projected Section 33,  
Township 10 North, Range 2 East, N.M.P.M.

Albuquerque, Bernalillo County, New Mexico  
December 2021

Project No. PR-2020-004645

Application No. SD-2022-00133

### Utility Approvals

	08/16/2022
	DATE
	9/13/2022
	DATE
NEW MEXICO GAS COMPANY	DATE
<u>Abdul A Bhuayan</u>	09/07/2022
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
<u>Mike Montoya</u>	08/10/2022
COMCAST	DATE

### City Approvals

<u>Dan Bar</u> P.S. for Loren Risenhoover, PS	11/16/2022
CITY SURVEYOR	DATE
<u>Ernest Armijo</u>	Dec 8, 2022
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<u>Joe G</u>	Dec 9, 2022
A.B.C.W.U.A.	DATE
<u>Cheryl Sorensen</u>	Dec 8, 2022
PARKS AND RECREATION DEPARTMENT	DATE
<u>Mike</u>	12/5/2022
AMAF	DATE
<u>Gregorio Cha</u>	Dec 8, 2022
CITY ENGINEER	DATE
<u>Yvonne Escajeda</u>	Dec 9, 2022
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
<u>Mike</u>	Dec 8, 2022
CODE ENFORCEMENT	DATE
<u>NIA</u>	DATE
M.R.G.C.D.	DATE

### Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO  
N.M.P.S. No. 11993  
DATE 9/13/2022

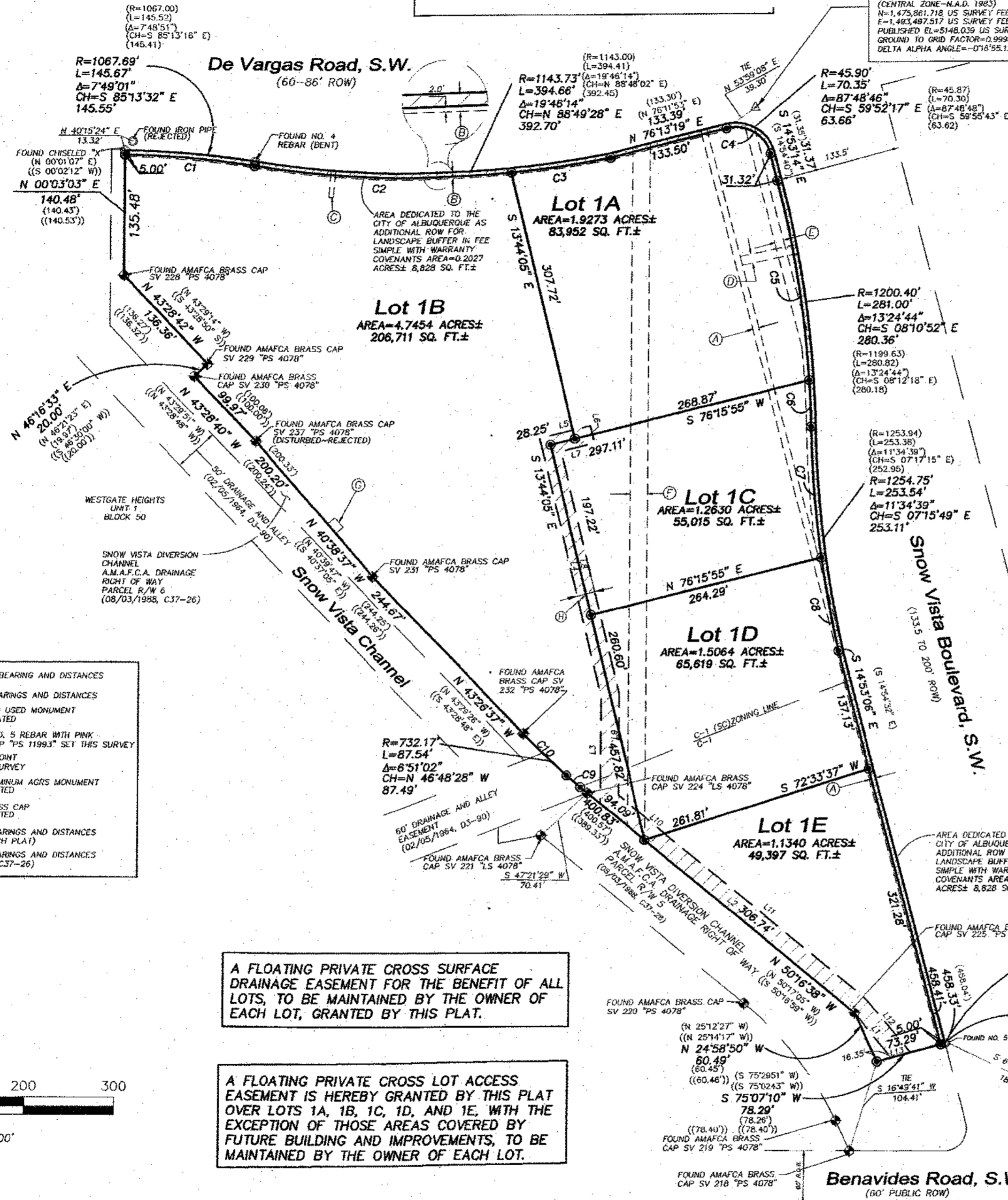


COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				INDEXING INFORMATION FOR COUNTY CLERK				PROJECT INFORMATION			
STATE PLANE ZONE: NM-C	GRID COORDINATES: GRID	TYPE: STANDARD			LAND GRANT: TOWN OF ATRISCO			PROPERTY OWNER: LAWRENCE GOODMAN REVOCABLE TRUST			 OFFICE LOCATION: 8299 San Mateo Boulevard, NE Albuquerque, NM 87113 505.856.5700 PHONE 505.856.7900 FAX	CREW/TECH: MT	DATE OF SURVEY: 10/30/2020		
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS: YES			SECTION 33	TOWNSHIP 10 NORTH	RANGE 02 EAST	MERIDIAN NMPM	SUBDIVISION NAME: SNOW VISTA INVESTORS		DRAWN BY: JK	CHECKED BY: LM		
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM		BASE POINT FOR SCALING AND/OR ROTATION: N=0 E=0				CITY ALBUQUERQUE	COUNTY BERNALILLO	STATE NM	UPC 100905510538420307	ADDRESS 1125 SNOW VISTA BOULEVARD, S.W.		PSI JOB NO. 216212	SHEET NUMBER 1 OF 2		
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000321233		DISTANCE ANNOTATION: GROUND													

Plat of  
**Lots 1A, 1B, 1C, 1D and 1E**  
**Snow Vista Investors**  
 Town of Atrisco Grant, Projected Section 33,  
 Township 10 North, Range 2 East, N.M.P.M.  
 Albuquerque, Bernalillo County, New Mexico  
 November 2022

DOCH 2022106470  
 12/14/2022 01:45 PM Page 2 of 2  
 PLAT R: 326.00 B: 20220.P: 0139 Linda Stover, Bernalillo County

A.G.R.S. MONUMENT "9\_M9"  
 STANDARD A.C.S. BRASS DISC  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE--N.A.D. 1983)  
 N=1,475,861.718 US SURVEY FEET  
 E=1,493,487.917 US SURVEY FEET  
 PUBLISHED EL=5148.039 US SURVEY FEET (NAVD 1988)  
 GROUND TO GRID FACTOR=0.999682417  
 DELTA ALPHA ANGLE=-07'55.12"



**Easement Notes**

- (A) EXISTING 7' PNM AND MST&T EASEMENT (01/29/1974, BK. MS. 351-PG.72)
- (B) EXISTING 7' PUBLIC UTILITY EASEMENT (04/23/1997, 97C-119)
- (C) EXISTING 5'x30' PUBLIC UTILITY EASEMENT (08/03/2001, 2001C-225)
- (D) EXISTING 10' PUBLIC UTILITY EASEMENT (08/03/2001, 2001C-225)
- (E) EXISTING 10' PUBLIC UTILITY EASEMENT-LOCATION SCALED NO DIMENSIONS PROVIDED (08/03/2001, 2001C-225)
- (F) EXISTING 20' SANITARY SEWER EASEMENT (02/05/1964, D3-90) REVISED (04/23/1997, 97C-119)-NO ENCROACHMENT SHALL TAKE PLACE WITHIN THE EXISTING PUBLIC SANITARY SEWER EASEMENT AND CONTINUED ACCESS SHALL BE PROVIDED FOR OPERATION AND MAINTENANCE BY THE WATER AUTHORITY.
- (G) 14'x10.53' PUBLIC UTILITY EASEMENT (08/03/2001, 2001C-225) REFERENCES (02/05/1964, D3-90)
- (H) 20' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1A, 1B, 1C, 1D, AND 1E TO BE MAINTAINED BY THE OWNER OF EACH LOT. GRANTED BY THIS PLAT

**Curve Table**

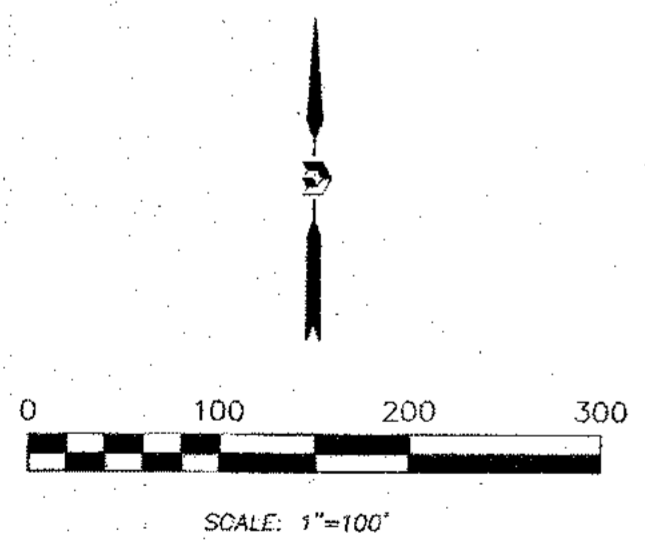
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1062.68'	144.91'	144.80'	S 85°13'26" E	7°48'47"
C2	1148.73'	285.06'	284.33'	S 88°23'58" E	14°13'05"
C3	1148.73'	111.40'	111.40'	N 81°42'44" E	5°33'30"
C4	40.90'	62.64'	56.69'	S 59°54'12" E	87°44'55"
C5	1205.40'	227.65'	227.31'	S 09°25'54" E	10°49'14"
C6	1205.40'	52.18'	52.17'	S 02°43'32" E	2°28'49"
C7	1259.75'	147.87'	147.79'	S 04°50'15" E	6°43'32"
C8	1259.75'	106.76'	106.73'	S 10°37'41" E	4°51'21"
C9	732.17'	20.46'	20.46'	S 49°25'58" E	1°36'03"
C10	732.17'	67.34'	67.31'	S 45°57'48" E	5°16'10"

**Easement Line Table**

LINE	BEARING	DISTANCE
L1	N 39°14'41" W	65.78'
L2	N 50°17'26" W	371.32'
L3	N 00°01'26" E	120.89'
L4	N 13°44'05" W	298.39'
L5	N 76°16'09" E	58.26'
L6	S 13°35'51" E	20.81'
L7	S 76°16'09" W	58.25'
L8	S 13°44'05" E	298.80'
L9	S 00°01'26" W	113.71'
L10	S 50°17'26" E	62.20'
L11	S 50°17'26" E	301.66'
L12	S 39°14'41" E	78.77'
L13	S 75°07'10" W	21.98'

**Legend**

- (N 90°00'00" E) MEASURED BEARING AND DISTANCES
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" SET THIS SURVEY
- ⊕ CONTROL POINT SET THIS SURVEY
- △ FOUND ALUMINUM A.G.R.S. MONUMENT AS DESIGNATED
- ⊙ FOUND BRASS CAP AS DESIGNATED
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES (2001 ADRICH PLAT)
- ((N 90°00'00" E)) RECORD BEARINGS AND DISTANCES PER PLAT (C37-26)



A FLOATING PRIVATE CROSS SURFACE DRAINAGE EASEMENT FOR THE BENEFIT OF ALL LOTS, TO BE MAINTAINED BY THE OWNER OF EACH LOT, GRANTED BY THIS PLAT.

A FLOATING PRIVATE CROSS LOT ACCESS EASEMENT IS HEREBY GRANTED BY THIS PLAT OVER LOTS 1A, 1B, 1C, 1D, AND 1E, WITH THE EXCEPTION OF THOSE AREAS COVERED BY FUTURE BUILDING AND IMPROVEMENTS, TO BE MAINTAINED BY THE OWNER OF EACH LOT.

<b>COORDINATE AND DIMENSION INFORMATION</b>		<b>PLSS INFORMATION</b>			<b>INDEXING INFORMATION FOR COUNTY CLERK</b>		<b>PROJECT INFORMATION</b>		
STATE PLANE ZONE: NM-C	GRID / GROUND COORDINATES: GRID	TYPE: STANDARD	LAND GRANT: TOWN OF ATRISCO	PROPERTY OWNER: LAWRENCE GOODMAN REVOCABLE TRUST	SUBDIVISION NAME: SNOW VISTA INVESTORS		CREW/TECH: MT	DATE OF SURVEY: 10/30/2020	
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	SECTION: 33	TOWNSHIP: 10 NORTH	RANGE: 02 EAST	MERIDIAN: NMPM	DRAWN BY: JK	CHECKED BY: LM	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM		BASE POINT FOR SCALING AND/OR ROTATION: N=0, E=0	CITY: ALBUQUERQUE	COUNTY: BERNALILLO	STATE: NM	UPC: 100905510538420307	ADDRESS: 1125 SNOW VISTA BOULEVARD, S.W.	PSI JOB NO: 216212P	SHEET NUMBER: 2 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000321233, GROUND TO GRID: 0.99967887		DISTANCE ANNOTATION: GROUND, BEARING ANNOTATION: GRID	ELEVATION TRANSLATION: NO		ELEVATIONS VALID: NO		OFFICE LOCATION: 9200 San Mateo Boulevard, NE Albuquerque, NM 87113 505.856.5700 PHONE 505.856.7900 FAX		



OFFICE LOCATION:  
 9200 San Mateo Boulevard, NE  
 Albuquerque, NM 87113  
 505.856.5700 PHONE  
 505.856.7900 FAX

**Topographic Map,  
Boundary Survey  
and  
ALTA/NSPS Land Title Survey  
for  
Lot 1A  
Snow Vista Investors  
City of Albuquerque  
Bernalillo County, New Mexico  
May 2025**

**Record and Measured Legal Description**

LOT 1A OF THE PLAT OF LOTS 1A, 1B, 1C, 1D AND 1E, SNOW VISTA INVESTORS, TOWN OF ATRISCO GRANT, WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 14, 2022, IN PLAT BOOK 2022C, PAGE 139.

**Surveyor's Certificate for Topographic Map**

I, BRIAN J. MARTINEZ, A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE TOPOGRAPHIC MAP SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Brian J. Martinez* 5/8/25  
 Brian J. Martinez Date  
 N.M.R.P.S. No. 18374



**Surveyor's Certificate for ALTA Survey**

To: Lawrence Goodman Revocable Trust U/A/D 12/6/77, Chicago Insurance Title Company, Fidelity National Title of New Mexico Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-5, 6(a), 6(b), 7(a), 7(b1), 7(b2), 8, 9, 11, 13, 16, 17, 18, 19 and 20 of Table A thereof. The Field Work was completed on April 2, 2025.

*Brian J. Martinez* 5/8/25  
 Brian J. Martinez Date  
 N.M.R.P.S. No. 18374



Revisions: 4/7/2025 - Original  
 5/8/2025 - Revised to show correct location of existing underground sewer line

**Surveyor's Certificate for Boundary Survey**

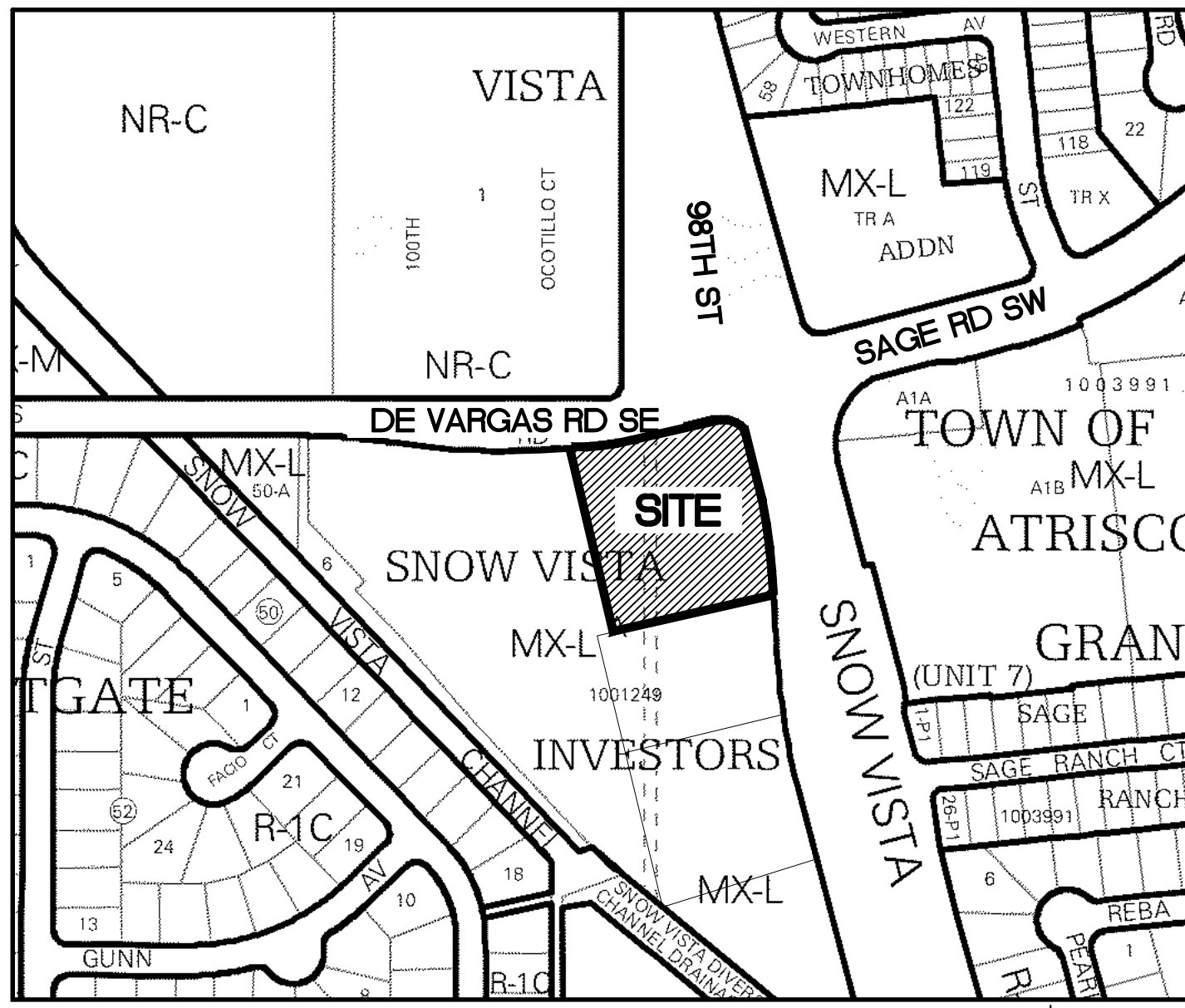
I, Brian J. Martinez, New Mexico Professional Surveyor No. 18374, do hereby certify that this boundary survey plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that I am responsible for this survey; that this survey meets the minimum standards for surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico subdivision act and that this instrument is a boundary survey plat of an existing tract or tracts.

*Brian J. Martinez* 5/8/25  
 Brian J. Martinez Date  
 N.M.R.P.S. No. 18374



**CSI-CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896 - 3050 Fax (505) 891 - 0244  
 cartesianbrian@gmail.com



**Vicinity Map - Zone Atlas M-9-Z**

**Indexing Information**

Section 33, Township 10 North, Range 2 East, N.M.P.M. as Projected into the Town of Atrisco Grant  
 Subdivision: Snow Vista Investors  
 Owner: Lawrence Goodman RVT  
 UPC #: 100905515141520314

**Flood Notes**

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H, DATED AUGUST 16, 2012.

**Documents**

- TITLE COMMITMENT PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, HAVING FILE NO. SP000162422 AND AN EFFECTIVE DATE OF FEBRUARY 29, 2024.
- PLAT FOR SNOW VISTA INVESTORS, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 14, 2022, IN BOOK 2022C, PAGE 139.
- WARRANTY DEED FOR TRACT A (NOW KNOWN AS LOTS 1A, 1B, 1C, 1D AND 1E), FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 18, 2018, AS DOCUMENT NO. 2018062592.

**Easement Notes**

- EXISTING 7' P.U.E. (4/23/1997, 97C-119)
- EXISTING 7' PNM AND MST&T EASEMENT (1/29/1974, BK. MISC. 351, PG. 72 DOC. NO. 9-1828) LAND AS SHOWN ON PLAT (12/14/2022, 2022C-139)
- EXISTING 7' P.U.E. (2/5/1964, D3-90)
- EXISTING 10' P.U.E. (8/3/2001, 2001C-225)
- EXISTING 20' SANITARY SEWER EASEMENT (02/05/1964, D3-90) REVISED BY PLAT (04/23/1997, 97C-119); NO ENCROACHMENT SHALL TAKE PLACE WITHIN THE EXISTING PUBLIC SANITARY SEWER EASEMENT AND CONTINUED ACCESS SHALL BE PROVIDED FOR OPERATION AND MAINTENANCE BY THE WATER AUTHORITY, AS SHOWN BY PLAT (12/14/2022, 2022C-139)
- EXISTING PERMANENT 24' PRIVATE ACCESS EASEMENT BENEFITING ALL LOTS AND MAINTAINED BY THE OWNER OF WHOSE LOT A PORTION OF THE PRIVATE ACCESS EASEMENT IS LOCATED. (12/15/2023, DOC. NO. 2023079584)
- EXISTING PERMANENT 20' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1A, 1B, 1C, 1D AND 1E TO BE MAINTAINED BY THE OWNER OF EACH LOT LOCATION AMBIGUOUS (12/15/2023, DOC. NO. 2023079584)
- EXISTING 7' P.U.E. AS SHOWN ON PLATS (1/7/1988, C35-118) AND (8/12/1989, C39-152)
- EXISTING 14' P.U.E. (2/5/1964, D3-90) SHOWN HEREON AS
- EXISTING VARIABLE WIDTH (MIN. 10') P.U.E. (8/3/2001, 2001C-225) SHOWN HEREON AS
- EXISTING 100' UTILITY EASEMENT (2/5/1964, D3-90)
- EXISTING FLOATING CROSS SURFACE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1A, 1B, 1C, 1D AND 1E, MAINTAINED BY THE OWNERS OF SAID LOTS (12/14/2022, 2022C-139)
- EXISTING FLOATING PRIVATE CROSS LOT ACCESS EASEMENT OVER LOTS 1A, 1B, 1C, 1D AND 1E, WITH THE EXCEPTION OF THOSE AREAS COVERED BY FUTURE BUILDING AND IMPROVEMENTS, TO BE MAINTAINED BE THE OWNER OF EACH LOT. (12/14/2022, 2022C-139)
- EXISTING PERPETUAL, NONEXCLUSIVE EASEMENT ON LOTS 1A, 1B, 1C, 1D AND 1E, FOR INGRESS AND EGRESS OF VEHICULAR AND PEDESTRIAN TRAFFIC OVER AND ACROSS ALL ACCESS POINTS, DRIVEWAYS AND VEHICULAR TRAFFIC LANES AND FOR THE PARKING OF MOTOR VEHICLES IN DESIGNATED PARKING AREAS. (12/15/2023, DOC. NO. 2023079585)
- EXISTING PERPETUAL, NONEXCLUSIVE EASEMENT FOR STORM DRAINAGE AND THE DISCHARGE OF WATER FROM, OVER AND ACROSS LOTS 1A, 1B, 1C, 1D AND 1E, BLANKET IN NATURE (12/15/2023, DOC. NO. 2023079585)
- EXISTING PERPETUAL, NONEXCLUSIVE EASEMENT FOR THE EXTENSION OF UNDERGROUND UTILITIES UNDER THE SURFACE OF THE LOTS, EXCLUSIVE OF BUILDING AREAS. (12/15/2023, DOC. NO. 2023079585)
- EXISTING TEMPORARY, NONEXCLUSIVE EASEMENT FOR CONSTRUCTION OVER AND ACROSS EACH LOT FOR THE PURPOSE OF CONSTRUCTION AND INSTALLATION OF UTILITIES. (12/15/2023, DOC. NO. 2023079585)

**Exceptions 9-19**

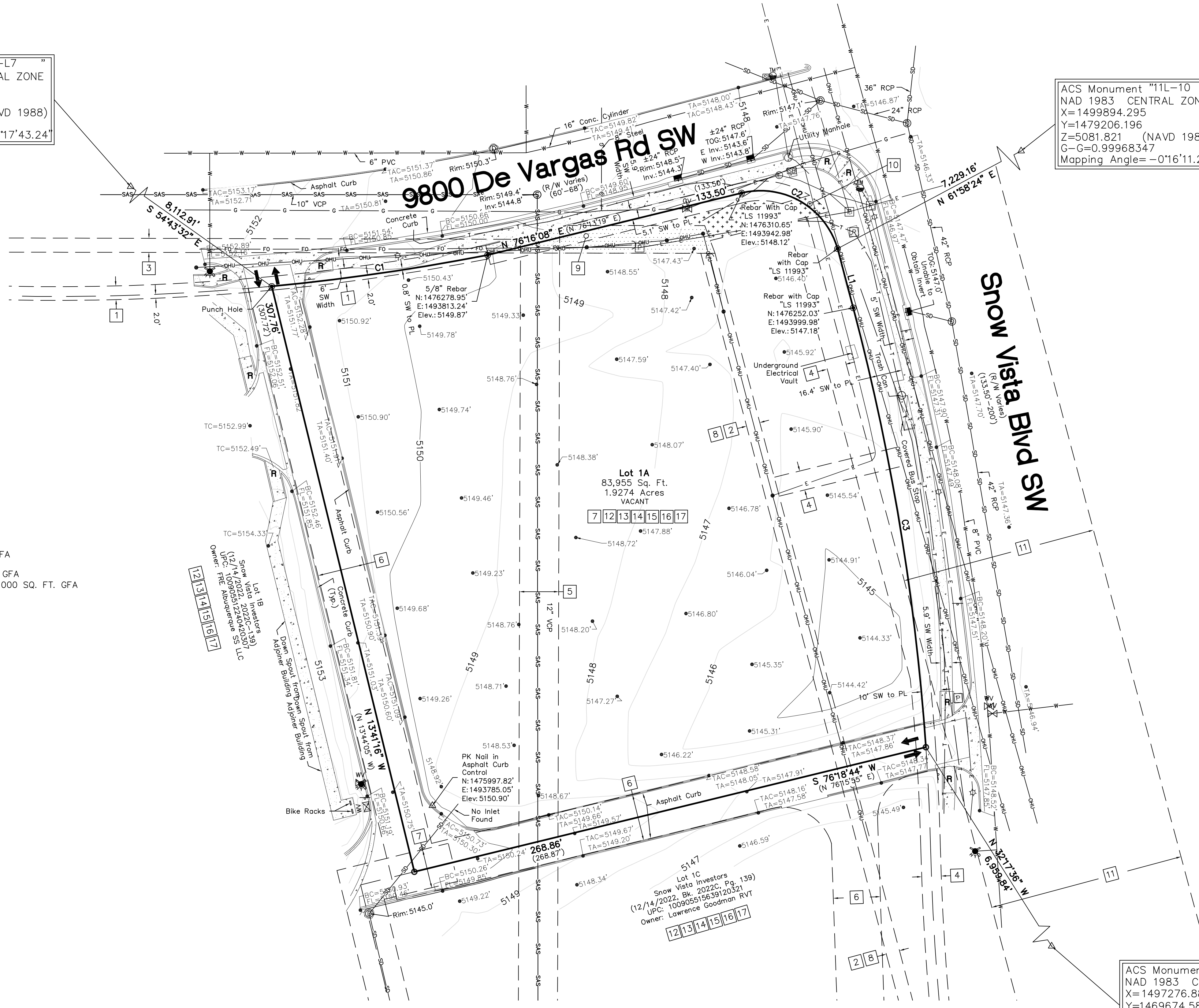
- RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA, RECORDED AUGUST 21, 1905 IN BOOK 35, PAGE 91, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**AFFECTS SUBJECT PROPERTY - BLANKET IN NATURE**
- EASEMENTS AND NOTES AS SHOWN, NOTED AND PROVIDED FOR ON THE PLATS {A} FILED FEBRUARY 5, 1964 IN PLAT BOOK D3, PAGE 88, 89 AND 90; {B} FILED JANUARY 7, 1988 IN PLAT BOOK C35, PAGE 118; {C} FILED AUGUST 22, 1989 IN PLAT BOOK C39, PAGE 152; {D} FILED APRIL 23, 1997, IN PLAT BOOK 97C, PAGE 119; {E} FILED AUGUST 3, 2001 IN PLAT BOOK 2001C, PAGE 225, AND {F} FILED DECEMBER 14, 2022, IN PLAT BOOK 2022C, PAGE 139, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
 {A} AFFECTS SUBJECT PROPERTY - EASEMENTS SHOWN HEREON AS **3 | 5 | 9 AND 11**  
 {B} AFFECTS SUBJECT PROPERTY - EASEMENTS SHOWN HEREON AS **3 | 5 | 8 AND 9**  
 {C} AFFECTS SUBJECT PROPERTY - EASEMENTS SHOWN HEREON AS **3 | 5 | 8 AND 9**  
 {D} AFFECTS SUBJECT PROPERTY - EASEMENTS SHOWN HEREON AS **1 | 2 | 3 | 5 | 8 AND 9**  
 {E} AFFECTS SUBJECT PROPERTY - EASEMENTS SHOWN HEREON AS **1 | 2 | 3 | 4 | 5 | 8 | 9 | 10 AND 11**  
 {F} AFFECTS SUBJECT PROPERTY - EASEMENTS SHOWN HEREON AS **1 | 2 | 3 | 4 | 5 | 8 | 9 | 10 | 11 | 2 AND 3**
- RESERVATION OF ALL MINERAL RIGHTS, INCLUDING OIL AND GAS, AS CONTAINED IN THE WARRANTY DEED FILED SEPTEMBER 28, 1959 IN BOOK D504, PAGE 417 AS DOCUMENT NO. 37421, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**NOT SURVEY RELATED**
- CERTIFICATE RECORDED JULY 21, 1959 IN BOOK MISC. 28, PAGE 273 AS DOCUMENT NO. 26972 AND RESTRICTIVE COVENANTS TO RUN WITH THE LAND RECORDED MAY 27, 1960 IN BOOK D 544, PAGE 383 AS DOCUMENT NO. 71759, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOTE: THIS EXCEPTION OMITS ANY COVENANT, CONDITION OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS PROVIDED IN 42 U.S.C. SEC. 3604, UNLESS AND ONLY TO THE EXTENT THAT THE COVENANT (A) IS NOT IN VIOLATION OF STATE OR FEDERAL LAW, (B) IS EXEMPT UNDER 42 U.S.C. SEC. 3607, OR (C) RELATES TO A HANDICAP, BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PEOPLE.  
**NOT SURVEY RELATED**
- EASEMENT, AND RIGHTS INCIDENT THERETO, IN FAVOR OF PUBLIC SERVICE COMPANY OF NEW MEXICO AND THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY RECORDED JANUARY 29, 1974 IN BOOK MISC. 351, PAGE 72, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**AFFECTS SUBJECT PROPERTY - SHOWN HEREON AS 2**
- RESTRICTIONS REGARDING PUBLIC UTILITY EASEMENTS, AS SET FORTH ON THE PLAT RECORDED AUGUST 3, 2001 IN PLAT BOOK 2001C, PAGE 225, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**AFFECTS SUBJECT PROPERTY - BLANKET IN NATURE**
- DECLARATION CONCERNING DEVELOPMENT INFRASTRUCTURE CONSTRUCTION DATED DECEMBER 14, 2023, BY LAWRENCE GOODMAN REVOCABLE TRUST U/A/D DECEMBER 6, 1977, FILED DECEMBER 15, 2023, AS DOCUMENT NO. 2023079584, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**AFFECTS SUBJECT PROPERTY - BLANKET IN NATURE - EASEMENTS SHOWN HEREON AS 6 AND 7**
- DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS DATED DECEMBER 14, 2023, BY LAWRENCE GOODMAN REVOCABLE TRUST U/A/D DECEMBER 6, 1977, FILED DECEMBER 15, 2023, AS DOCUMENT NO. 2023079585, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  
**AFFECTS SUBJECT PROPERTY - BLANKET IN NATURE - EASEMENTS SHOWN HEREON AS 14 | 15 | 16 AND 17**
- RIGHTS OF PARTIES IN POSSESSION AS TENANTS ONLY UNDER UNRECORDED RENTAL OR LEASE AGREEMENTS  
**NOT SURVEY RELATED**
- TITLE TO ALL OIL, GAS AND OTHER MINERALS IN, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES AND IMMUNITIES RELATING THERETO HERETOFORE RESERVED UNTO AND OR CONVEYED BY PREDECESSORS IN TITLE.  
**NOT SURVEY RELATED**
- ANY POSSIBLE ASSESSMENTS FOR PAVING, SEWER OR WATERLINE EXTENSIONS WHICH MAY EXIST, BUT HAVE NOT BEEN RECORDED.  
**NOT SURVEY RELATED**

Topographic Map,  
Boundary Survey  
and  
ALTA/NSPS Land Title Survey  
for  
**Lot 1A**  
Snow Vista Investors  
City of Albuquerque  
Bernalillo County, New Mexico  
May 2025

ACS Monument "2-L7"  
NAD 1983 CENTRAL ZONE  
X=1486604.908  
Y=1480475.091  
Z=5415.511 (NAVD 1988)  
G-G=0.999672027  
Mapping Angle=-0°17'43.24"

ACS Monument "11L-10"  
NAD 1983 CENTRAL ZONE  
X=1499894.295  
Y=1479206.196  
Z=5081.821 (NAVD 1988)  
G-G=0.99968347  
Mapping Angle=-0°16'11.25"

ACS Monument "3-N10"  
NAD 1983 CENTRAL ZONE  
X=1497276.885  
Y=1469674.583  
Z=5036.496 (NAVD 1988)  
G-G=0.999686488  
Mapping Angle=-0°16'28.38"



**Zoning Information**

"NR-C" (NON-RESIDENTIAL-COMMERCIAL DISTRICT)

- FRONT SET BACK: 5FT MINIMUM
- SIDE SET BACK: 0FT MINIMUM
- REAR SET BACK: 0FT MINIMUM
- BUILDING HEIGHT: 38FT MAXIMUM

**Parking Requirements**

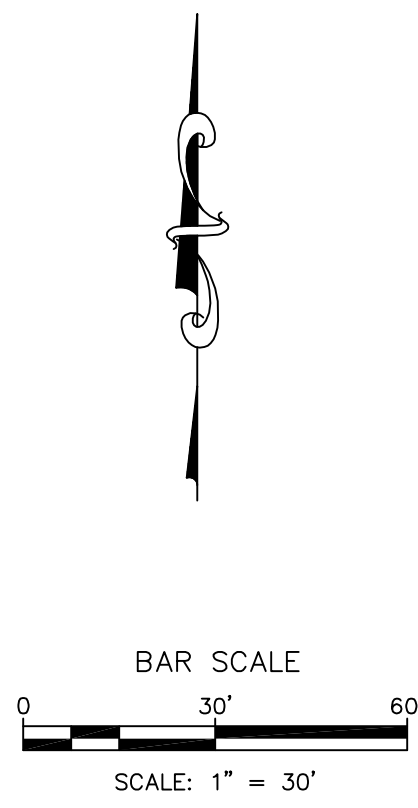
- LIGHT VEHICLE FUELING STATION: 4 SPACES/1000 SQ. FT. GFA
- GENERAL RETAIL STORE ESTABLISHMENTS: ≤ 10,000 SQ. FT. GFA  
3-5 SPACES/1000 SQ. FT. GFA

**Legend**

- N 90°00'00" E MEASURED BEARINGS AND DISTANCES
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES PER PLAT (12/14/2022, 2022C-139)
- FOUND MONUMENT AS INDICATED
- SET PK NAIL WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
- ▭ COVERED AREA
- ▬ CONCRETE
- OH— OVERHEAD UTILITY LINE
- UTILITY POLE
- ↕ ANCHOR
- ⊠ PULL BOX
- ☆ LIGHT POLE
- ⊙ ELECTRIC METER
- ⊞ SIGNAL BOX
- ⊙ TRAFFIC MAST
- ⊙ GAS VALVE
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM DRAIN MANHOLE
- ⊙ STORM DRAIN INLET
- OR— SIGN
- 5075.50 SPOT ELEVATION
- BC 5075.50 BACK OF CURB ELEVATION
- FL 5075.50 FLOW LINE ELEVATION
- EP 5075.50 EDGE OF PAVEMENT ELEVATION
- TA 5075.50 TOP OF ASPHALT ELEVATION
- TC 5075.50 TOP OF CONCRETE ELEVATION
- TAC 5075.50 TOP OF ASPHALT CURB ELEVATION
- G— UNDERGROUND GAS UTILITY LINE
- SAS— UNDERGROUND SANITARY SEWER LINE
- E— UNDERGROUND ELECTRIC UTILITY LINE
- T— UNDERGROUND TELEPHONE UTILITY LINE
- SD— UNDERGROUND STORM DRAIN UTILITY LINE
- W— UNDERGROUND WATER UTILITY LINE
- R RAMP
- ↕ CURB CUT/INDICATION OF ACCESS TO ROADWAY

Line #	Direction	Length (ft)
L1	S 14°50'25" E (S 14°53'14" E)	31.37' (31.37')

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	111.44' (111.14')	1148.73' (1148.73')	5°33'30"	111.40'	N 81°45'32" E
C2	62.63' (62.64')	40.90' (40.90')	87°44'28"	56.69'	N 59°51'23" W
C3	227.64' (227.65')	1205.05' (1205.40')	10°49'24"	227.30'	N 09°23'01" W



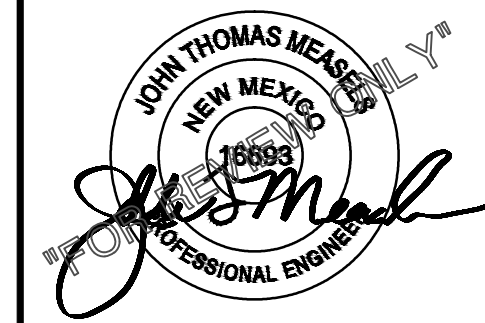


**CAUTION NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

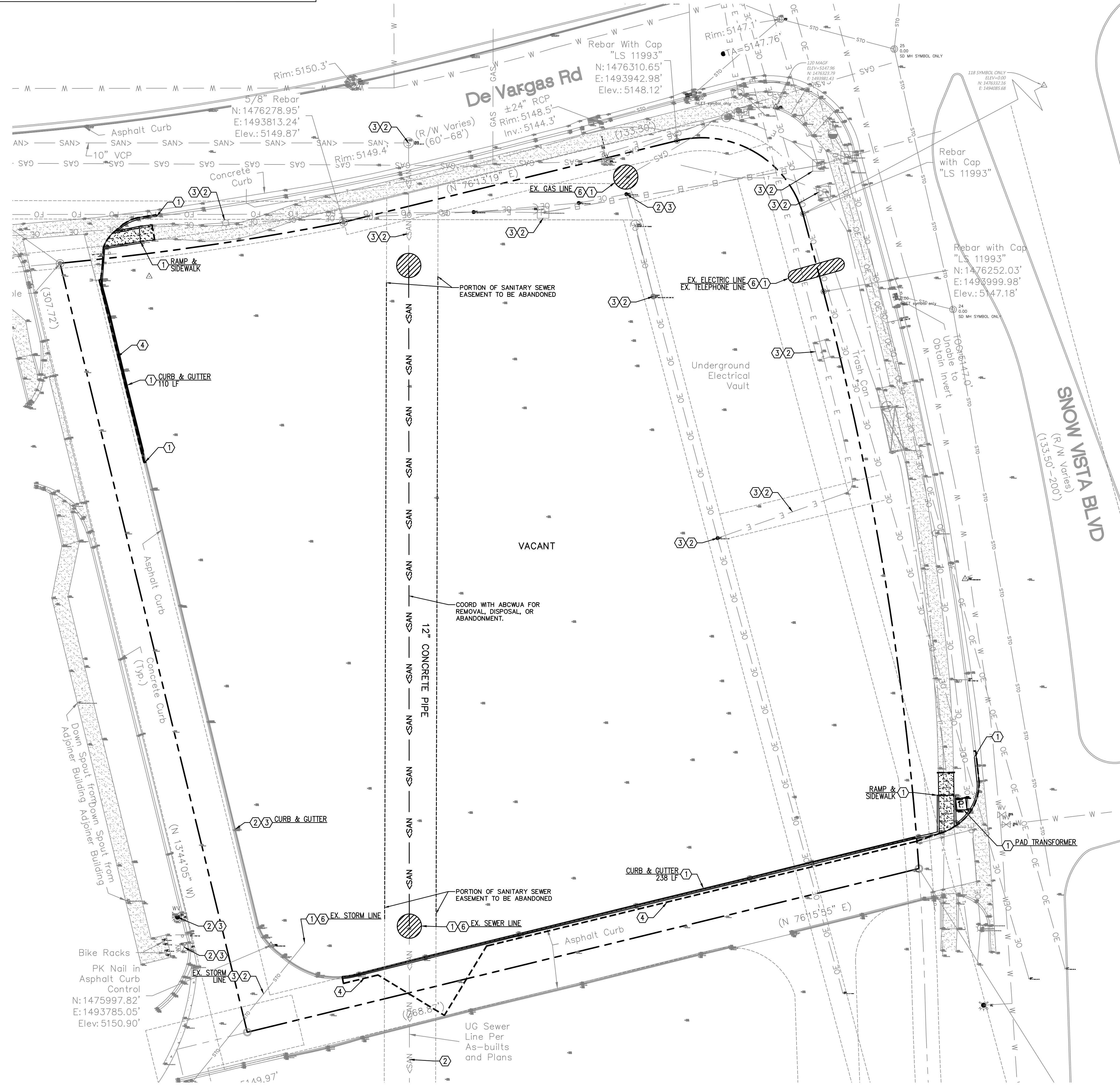
**BENCHMARKS**  
 ACS MONUMENT 2\_L7 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'

CONTRACTOR TO VERIFY EXISTING SANITARY SEWER & STORM DRAIN ELEVATIONS, AND UTILITY CONNECTIONS WITHIN 14 DAYS OF GROUNDBREAKING.

**JM CIVIL**  
 1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measles, PE  
 CIVIL ENGINEER



12/18/2025



**EXISTING LEGEND:**

- PROPERTY LINE
- - - EX. EASEMENT
- EXISTING CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- W EX. WATER LINE
- SAN> EX. SANITARY SEWER LINE
- OE EX. OVERHEAD ELECTRIC LINE
- GAS EX. GAS LINE
- T EX. TELEPHONE LINE
- FO EX. FIBER OPTIC LINE
- STO EX. STORM DRAIN LINE
- EX. CONCRETE SURFACE
- EX. CURB INLET
- ⊙ EX. STORM DRAIN MANHOLE
- ⊞ EX. POWER POLE
- ⊗ EX. GAS VALVE
- ⊕ EX. WATER VALVE
- ⊙ EX. FIRE HYDRANT
- ⊘ POTHOLE IN THE AREA INDICATED

**DEMOLITION KEY NOTES:**

- ① EXISTING TO BE REMOVED.
- ② EXISTING TO REMAIN.
- ③ EXISTING TO BE PROTECTED.
- ④ LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- ⑤ EXISTING TO BE RELOCATED.
- ⑥ POTHOLE & VERIFY EXISTING ELEVATION.

**POTHOLE NOTE:**

POTHOLE IN THE AREA INDICATED. FIELD VERIFY ALL UTILITIES LOCATION & DEPTH. NOTIFY ENGINEER OF ANY CONFLICTS AND/OR DISCREPANCIES FROM THE APPROVED PLANS.

**DEMOLITION PLAN**

**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION
1	11/17/25	INITIAL SUBMITTAL
2	12/18/25	2ND SUBMITTAL

PROJECT NO: JM-DW25001  
 DRAWN BY: ASR, JK, GPK  
 CHECKED BY: KWF  
 ISSUE DATE: 12/19/2025

**C 060**



J:\CIRCLE K\DW25001 98TH DE VARGAS RD - ALBUQUERQUE, NM\_CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24x36 MASTER.DWG 12/19/2025 1:41 PM GAVIN KLEINEBECKER

**CAUTION NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

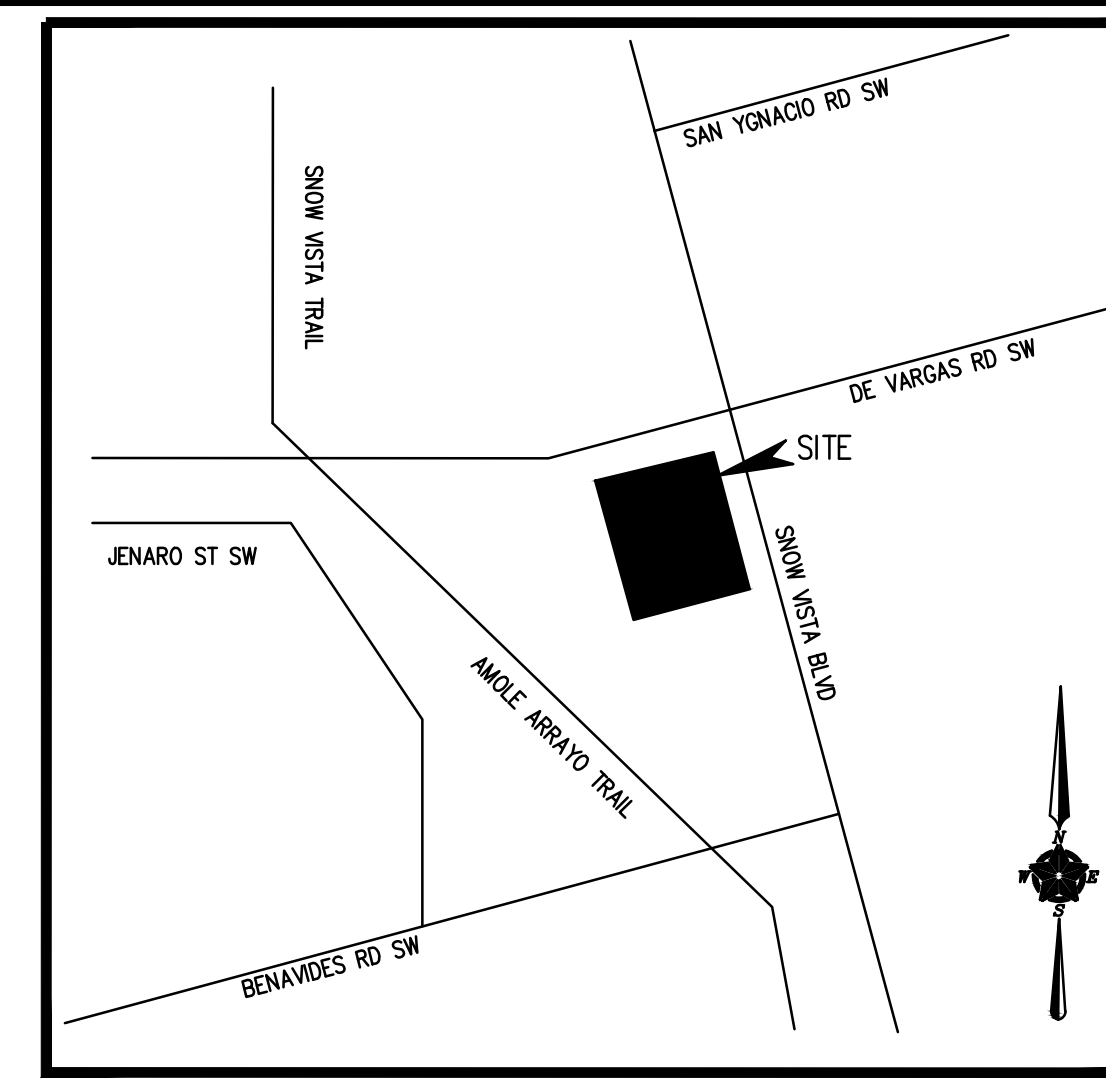
**FLOODNOTE**  
BASED UPON SCALING THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY FEMA AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H AS PER ALTA SURVEY

**BENCHMARKS**  
ACS MONUMENT 2\_L7 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.51'  
ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821

**ZONING: NR-C  
(COMMERCIAL)**

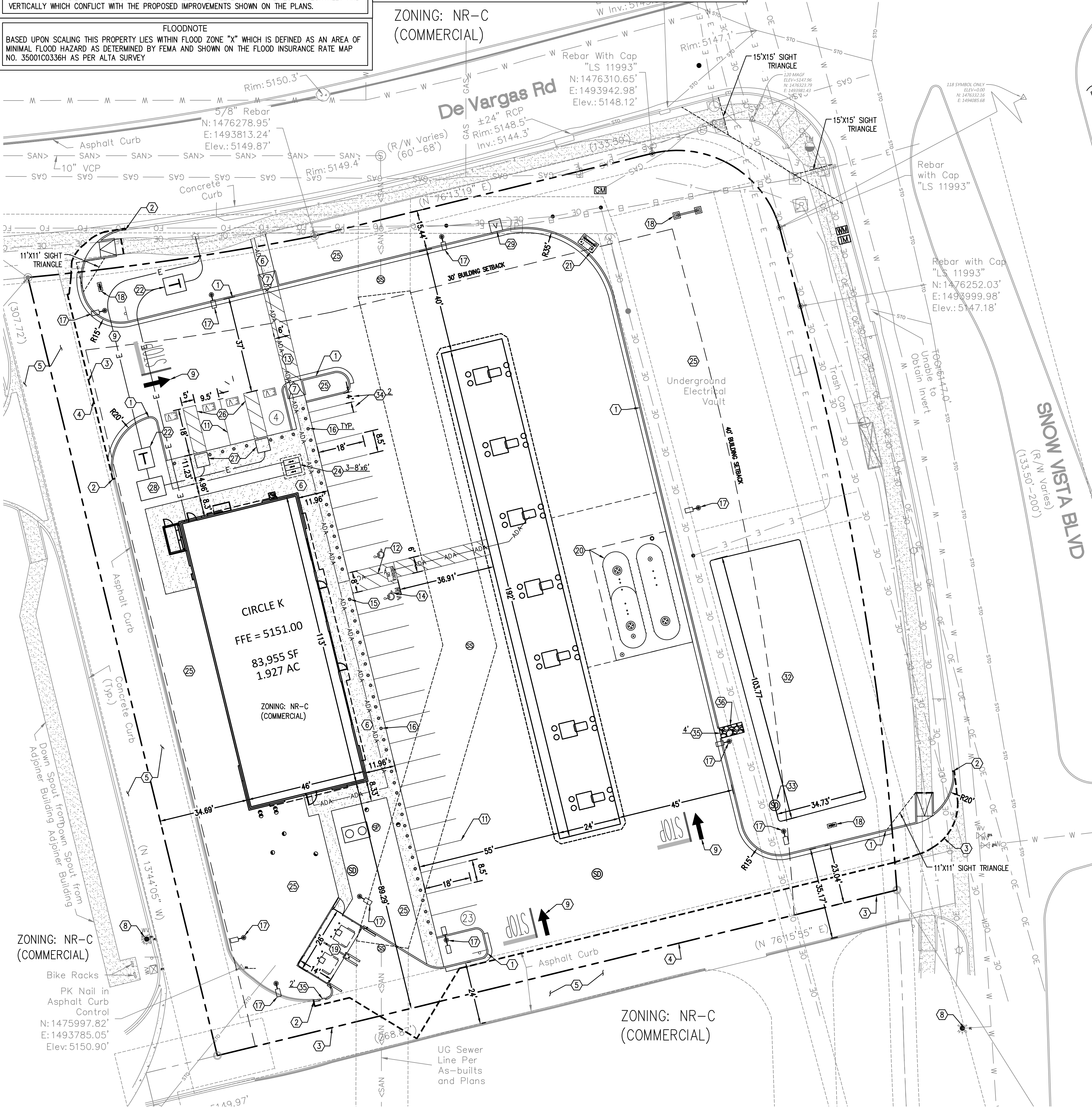
**NOTES:**

- 1. LANDSCAPING, SIGNAGE, WALLS, FENCE, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



**LOCATION MAP**  
NOT TO SCALE

**ZONING: MX-L  
(LOW-INTENSITY MIXED USE)**

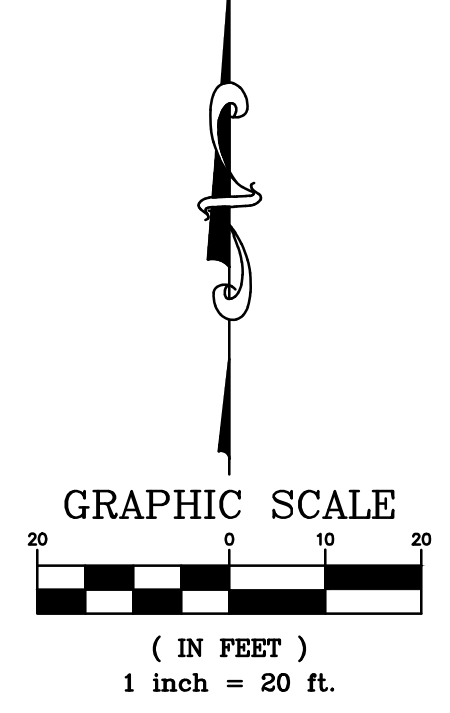


- EXISTING LEGEND:**
- PROPERTY LINE
  - EX. EASEMENT
  - EXISTING CURB & GUTTER
  - LIMITS OF FULL DEPTH SAWCUT
  - EX. WATER LINE
  - EX. SANITARY SEWER LINE
  - EX. OVERHEAD ELECTRIC LINE
  - EX. GAS LINE
  - EX. TELEPHONE LINE
  - EX. FIBER OPTIC LINE
  - EX. STORM DRAIN LINE
  - EX. CONCRETE SURFACE
  - EX. CURB INLET
  - EX. STORM DRAIN MANHOLE
  - EX. POWER POLE
  - POT HOLE IN THE AREA INDICATED
  - EX. GAS VALVE
  - EX. WATER VALVE
  - EX. FIRE HYDRANT

- SITE LEGEND:**
- PROPERTY LINE
  - PROPOSED CURB & GUTTER
  - LIMITS OF FULL DEPTH SAWCUT
  - PARKING COUNT
  - FIRELANE
  - ACCESSIBLE SPACES
  - ADA RAMP
  - BOLLARD
  - TRAFFIC SIGN
  - BOLLARD MOUNTED ACCESSIBLE SIGN
  - STOP BAR & SIGN
  - LIGHT POLE
  - AREA DRAIN
  - GREASE TRAP
  - SAMPLE PORT
  - CLEAN-OUT
  - DOUBLE CLEAN-OUT
  - GAS METER
  - WATER METER
  - IRRIGATION METER
  - SANITARY MANHOLE
  - STORM DRAIN MANHOLE

- SITE KEY NOTES:**
- 1 CONCRETE CURB AND GUTTER. (PER LOCAL CODES)
  - 2 TAPER CURB TO MATCH EXISTING.
  - 3 MATCH EXISTING PAVEMENT ELEVATION.
  - 4 LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
  - 5 EXISTING PAVEMENT TO REMAIN.
  - 6 CONCRETE SIDEWALK. 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE. (PER LOCAL CODES)
  - 7 SIDEWALK RAMP @ 8.33% MAX. (PER LOCAL CODES)
  - 8 EXISTING FIRE HYDRANT.
  - 9 STOP BAR. (PER LOCAL CODES)
  - 10 DIRECTIONAL TRAFFIC ARROW. (PER LOCAL CODES)
  - 11 PARKING STALL STRIPING. (PER LOCAL CODES)
  - 12 4" WIDE PAINTED STRIPES, 2' OFF CENTER @ 45'.
  - 13 PEDESTRIAN/ACCESSIBLE CROSSWALK STRIPING.
  - 14 ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
  - 15 ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
  - 16 BOLLARD.
  - 17 PROPOSED LIGHT POLE.
  - 18 MONUMENT/PYLON SIGN. (PER ARCH. PLANS)
  - 19 DUMPSTER ENCLOSURE. (PER ARCH. PLANS)
  - 20 FUEL STORAGE TANKS (PER M.E.P. PLANS)
  - 21 FUEL TANK VENTS (PER M.E.P. PLANS)
  - 22 PROPOSED PAD MOUNTED TRANSFORMER.
  - 23 "STOP" SIGN.
  - 24 BICYCLE PARKING. (PER ARCH. PLANS)
  - 25 LANDSCAPE AREA. (PER LANDSCAPE PLAN)
  - 26 EV PARKING STALLS.
  - 27 EV CHARGING EQUIPMENT.
  - 28 EV POWER BANK/GENERATOR.
  - 29 AIR/VAC. UNIT
  - 30 DIRECTIONAL SIGN FOR DRIVE THRU.
  - 31 STORAGE UNIT. (PER ARCH. PLANS)
  - 32 DETENTION BASIN.
  - 33 DETENTION OUTLET STRUCTURE. (SEE PLAN FOR SIZE)
  - 34 MOTORCYCLE PARKING.
  - 35 CURB OPENING.
  - 36 RIP RAP CHANNEL.

SITE DATA TABLE		
<b>LOCATION:</b>	SNOW VISTA BLVD DE VARGAS RD SW ALBUQUERQUE, NM 87121	
<b>LOT AREA:</b>	1.9274 AC. (83,955 S.F.)	
<b>ZONING:</b>	ZONING - NRC	
<b>CURRENT USE:</b>	VACANT	
<b>PROPOSED USE:</b>	C STORE W FUEL DISPENSING	
<b>BUILDING DATA:</b>		
BUILDING AREA	5,200 S.F.	
BUILDING HEIGHT	38' (1 STORY)	
BUILDING COVERAGE	6.19%	
F.A.R.	16:1	
<b>PARKING SUMMARY: 1 SP PER 200 SF (5,200 SF)</b>		
PARKING SPACES	25	25
ACCESSIBLE SPACES	1	2
TOTAL SPACES	26	27
MOTORCYCLE	2	2
BICYCLE	3	3



J:\CIRCLE K\DM25001 98TH DE VARGAS RD - ALBUQUERQUE, NM\\_CURRENT DRAWINGS\JM\\_DM25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24X36 MASTER.DWG 12/19/2025 1:41 PM GAVIN KLEINEBECKER

**JM CIVIL**  
1101 Central Expressway South  
Suite 215  
Allen, TX 75013  
Ph. 214-491-1830  
John Measles, PE  
CIVIL ENGINEER

Professional Engineer  
John Thomas Measles  
New Mexico License No. 18888

12/18/2025

**SITE PLAN**  
CIRCLE K, INC  
LOT 1A, SNOW VISTA INVESTORS  
9800 DE VARGAS RD.  
ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION	INITIALS	SUBMITTAL
	11/12/25	CSK		
	12/18/25	2ND SUBMITTAL		

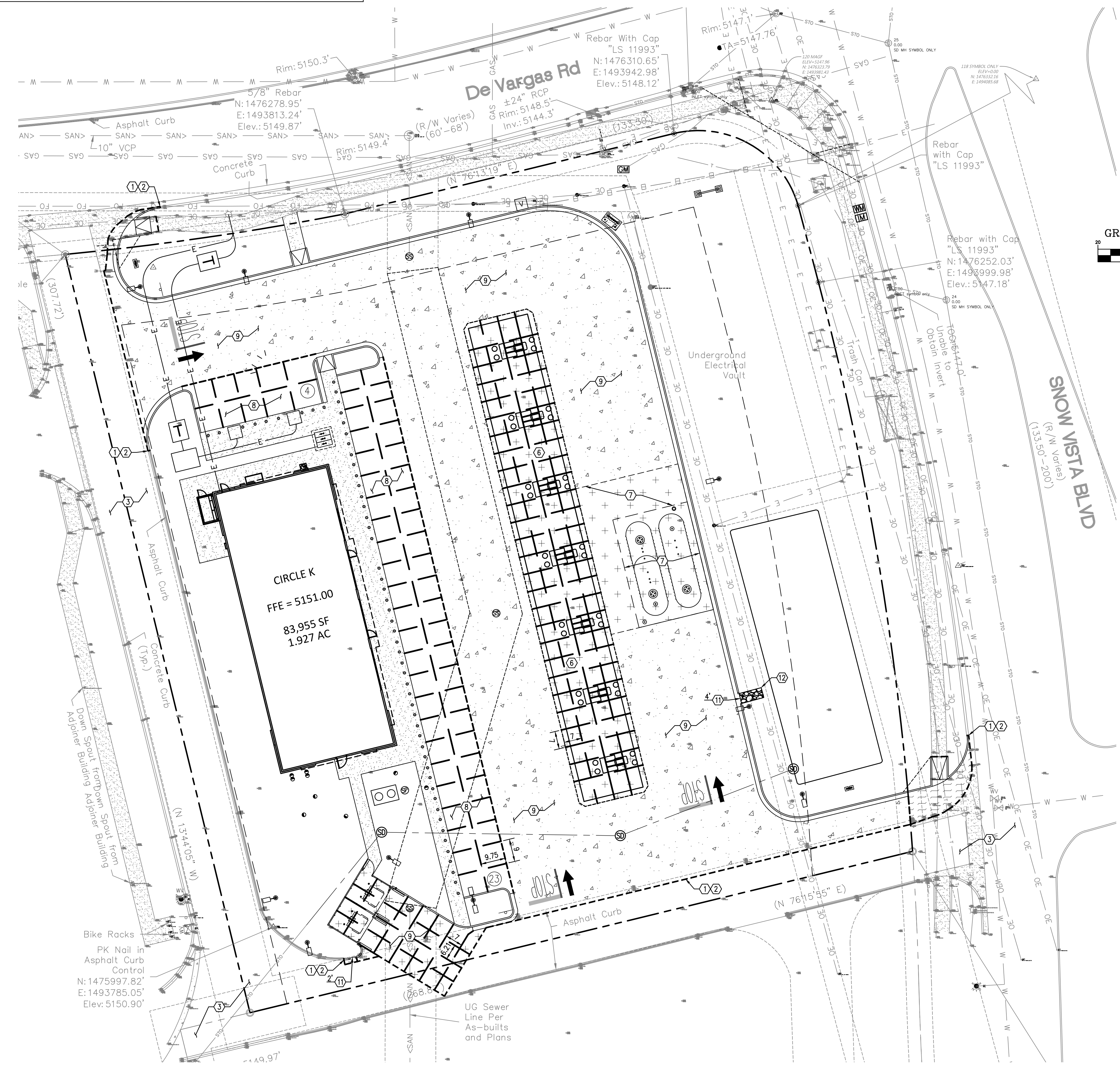


C 100



**CAUTION NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**BENCHMARKS**  
 ACS MONUMENT 2\_L7 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'



- EXISTING LEGEND:**
- PROPERTY LINE
  - - - EX. EASEMENT
  - - - EXISTING CURB & GUTTER
  - - - LIMITS OF FULL DEPTH SAWCUT
  - W EX. WATER LINE
  - SAN EX. SANITARY SEWER LINE
  - OE EX. OVERHEAD ELECTRIC LINE
  - GAS EX. GAS LINE
  - T EX. TELEPHONE LINE
  - FO EX. FIBER OPTIC LINE
  - STO EX. STORM DRAIN LINE
  - EX. CONCRETE SURFACE
  - EX. CURB INLET
  - EX. STORM DRAIN MANHOLE
  - EX. POWER POLE
  - EX. GAS VALVE
  - EX. WATER VALVE
  - EX. FIRE HYDRANT
  - POTHOLE IN THE AREA INDICATED

- SITE LEGEND:**
- PROPERTY LINE
  - - - PROPOSED CURB & GUTTER
  - - - LIMITS OF FULL DEPTH SAWCUT
  - FIRELANE
  - ADA RAMP
  - BOLLARD
  - TRAFFIC SIGN
  - BOLLARD MOUNTED ACCESSIBLE SIGN
  - STOP BAR & SIGN
  - LIGHT POLE
  - AREA DRAIN
  - GREASE TRAP
  - CLEAN-OUT
  - DOUBLE CLEAN-OUT
  - GAS METER
  - WATER METER
  - IRRIGATION METER
  - MANHOLE
  - CURB INLET

- PROPOSED PAVING LEGEND:**
- CONCRETE SIDEWALK, 4" MINIMUM WIDTH WITH MACRO FIBER REINFORCEMENT, 5'-5" TOoled JOINTS, AN FULL CONSTRUCTION JOINTS EVERY 50' W/ 6" COMPACTED SUBGRADE
  - 6" NORMAL DUTY CONCRETE PAVEMENT, AT A MINIMUM 4,000 PSI AT 28 DAYS, MACRO FIBER REINFORCED. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
  - 4" ASPHALTIC CONCRETE PAVEMENT WITH 6" FLEX BASE COURSE WITH 6" COMPACTED SUBGRADE.
  - 9" HEAVY DUTY CANOPY-TANK CONCRETE PAVEMENT, AT A MINIMUM 4,000 PSI AT 28 DAYS, MACRO FIBER REINFORCED. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
  - CITY OF ALBUQUERQUE STANDARD PAVING DETAIL #2405B.
  - CONSTRUCTION JOINT
  - EXPANSION JOINT
  - SAVED JOINT
  - LIMITS OF FULL DEPTH SAWCUT

- PAVING KEY NOTES:**
- 1 MATCH EXISTING PAVEMENT ELEVATION.
  - 2 LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
  - 3 EXISTING PAVEMENT TO REMAIN.
  - 4 CONCRETE SIDEWALK, 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE. (PER LOCAL CODES)
  - 5 SIDEWALK RAMP @ 8.33% MAX. (PER LOCAL CODES)
  - 6 CANOPY CONCRETE PAVEMENT.
  - 7 HEAVY DUTY FUEL TANK PAVEMENT PER MANUFACTURER'S SPECIFICATIONS.
  - 8 LIGHT DUTY CONCRETE PAVEMENT.
  - 9 HEAVY ASPHALTIC CONCRETE PAVEMENT.
  - 10 CONTRACTOR TO INSTALL EXPANSION JOINT. (AT INLINE DRAIN)
  - 11 CURB OPENING. SEE NOTE FOR SIZE.
  - 12 RIP RAP CHANNEL.

- PAVING NOTES:**
1. PANELS WIDTH/LENGTH SHALL BE BETWEEN 6'-10'.
  2. PANELS SHALL HAVE A MAXIMUM LENGTH TO WIDTH RATIO OF 1.25:1
  3. ALL JOINTS SHALL CONTINUE THROUGH THE CURBING
  4. EXPANSION JOINTS SHALL BE PLACED NO MORE THAN 60' O.C.E.W.

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 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measles, PE  
 CIVIL ENGINEER

**JOHN THOMAS MEASLES**  
 NEW MEXICO  
 1988  
 PROFESSIONAL ENGINEER

12/18/2025

**PAVING PLAN**  
 CIRCLE K, INC  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION	INITIAL	SUBMITTAL
1	11/12/25			
2	12/18/25			

PROJECT NO: JM-DW25001  
 DRAWN BY: ASR, JK, GPK  
 CHECKED BY: KWF  
 ISSUE DATE: 12/19/2025



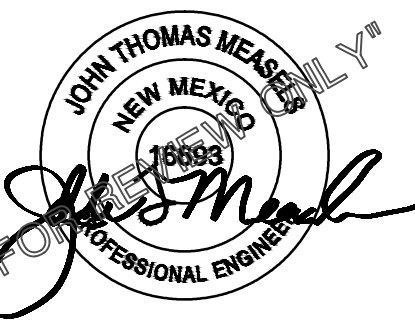
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J:\CIRCLE K\DW25001\_98TH DE VARGAS RD - ALBUQUERQUE, NM\CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24X36 MASTER.DWG 12/19/2025 1:42 PM GAVIN KLEINEBECKER

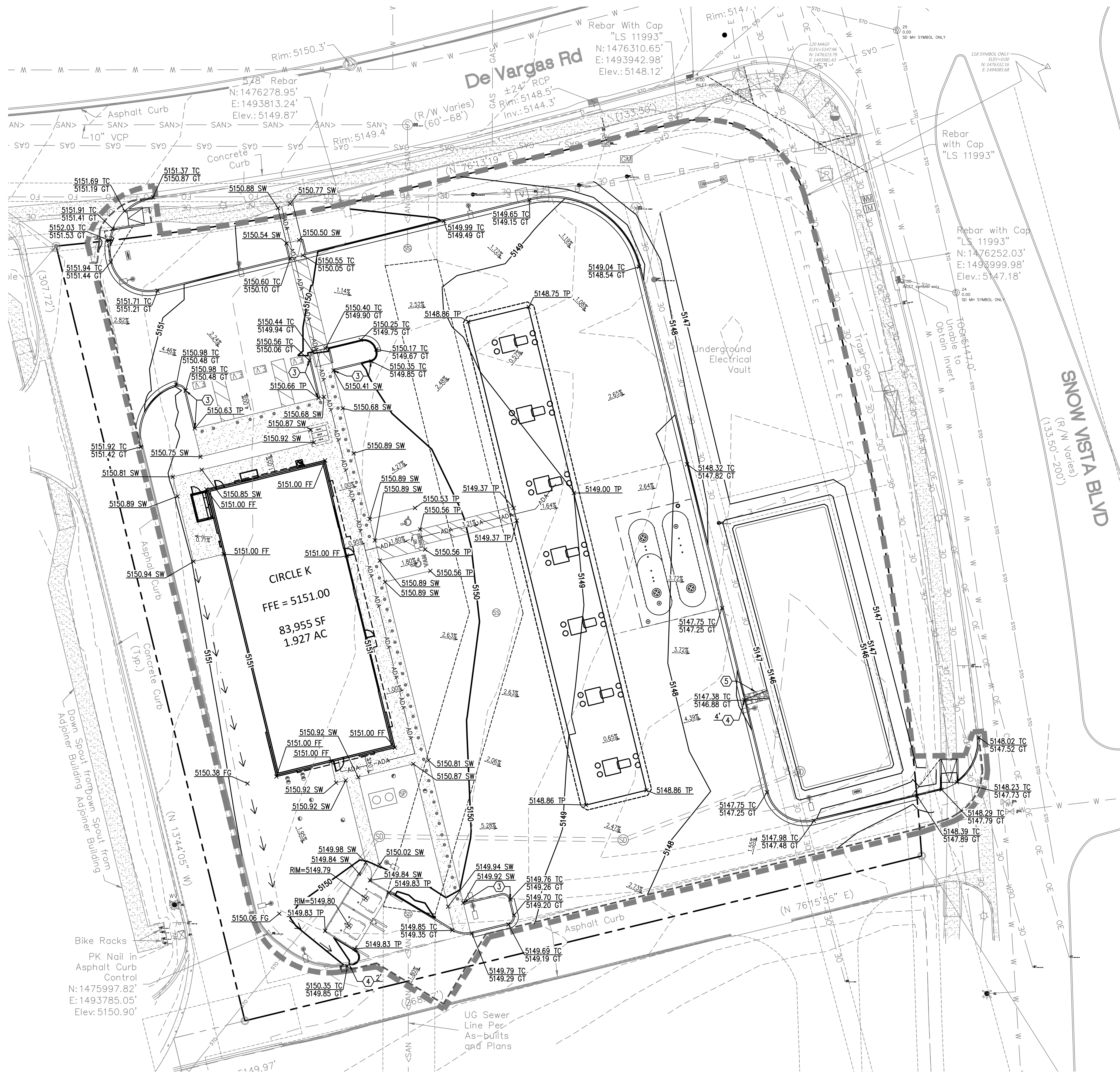
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12/18/2025



- EXISTING LEGEND:**
- PROPERTY LINE
  - - - EX. EASEMENT
  - - - EXISTING CURB & GUTTER
  - - - LIMITS OF FULL DEPTH SAWCUT
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  - EX. STORM DRAIN MANHOLE
  - EX. POWER POLE
  - EX. GAS VALVE
  - EX. WATER VALVE
  - EX. FIRE HYDRANT
  - POTHOLE IN THE AREA INDICATED

- GRADING LEGEND:**
- PROPERTY LINE
  - - - PROPOSED CURB & GUTTER
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - LIGHT POLE
  - AREA DRAIN
  - ACCESSIBLE SPACES
  - ADA RAMP
  - BOLLARD
  - TRAFFIC SIGN
  - BOLLARD MOUNTED ACCESSIBLE SIGN
  - GREASE TRAP
  - CLEAN-OUT
  - DOUBLE CLEAN-OUT
  - GAS METER
  - WATER METER
  - IRRIGATION METER
  - MANHOLE
  - CURB INLET
- × EXISTING SPOT ELEVATION  
 × TP TOP OF PAVEMENT ELEVATION  
 × TC TOP OF CURB  
 × GT GUTTER  
 × GR GROUND  
 × FF FINISH FLOOR  
 × SW SIDEWALK  
 × TG TOP OF GRATE

- GRADING KEY NOTES:**
- ① LIMITS OF FULL DEPTH SAW CUT.
  - ② MATCH EXISTING PAVEMENT ELEVATION.
  - ③ TAPER CURB FROM 6" TO 0".
  - ④ CURB CUT. SEE NOTE FOR SIZE.
  - ⑤ 4' RIP RAP CHANNEL.

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**GRADING PLAN**  
 CIRCLE K, INC  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD,  
 ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION
1	11/17/25	INITIAL SUBMITTAL
2	12/18/25	2ND SUBMITTAL

PROJECT NO: JM-DM25001  
 DRAWN BY: ASR, JK, CRK  
 CHECKED BY: KWF  
 ISSUE DATE: 12/19/2025



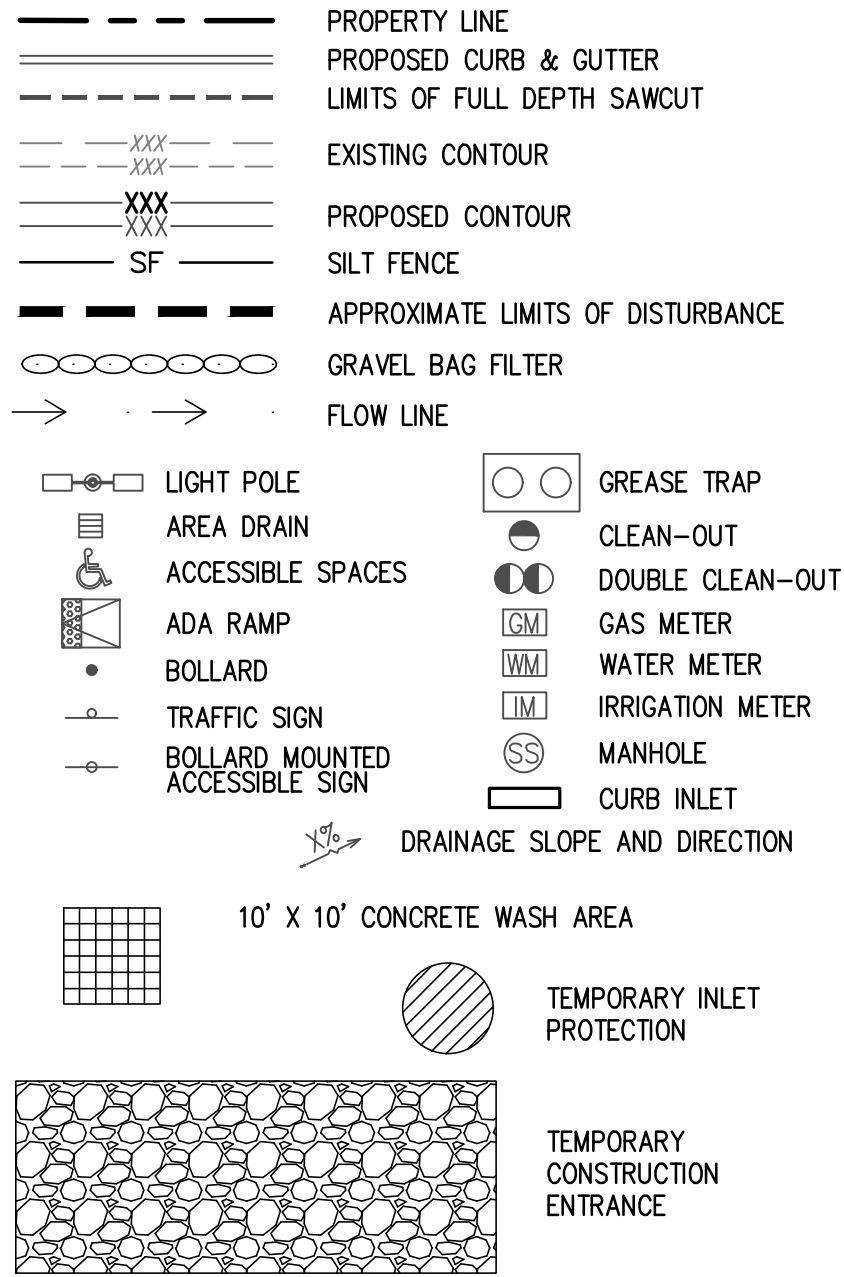
Know what's below.  
 Call before you dig.

C 300

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**BENCHMARKS**  
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**EROSION CONTROL LEGEND:**



**EROSION CONTROL KEY NOTES:**

- ① TEMPORARY CONSTRUCTION ENTRANCE.
- ② TEMPORARY SILT FENCE.
- ③ TEMPORARY INLET PROTECTION.
- ④ 10'x10' CONCRETE WASH AREA.
- ⑤ RIP RAP CHANNEL.

**SEQUENCE OF CONSTRUCTION ACTIVITIES:**

- A. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE AND SILT FENCE ACCORDING TO THE APPROXIMATE LOCATION SHOWN ON THE EROSION CONTROL PLAN.
- B. CONSTRUCT TEMPORARY INLET TREATMENT AROUND OPEN STORM DRAIN INLETS ACCORDING TO THE EROSION CONTROL PLAN.
- C. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- D. BEGIN CLEARING AND GRADING OF SITE.
- E. INSTALL WATER, SANITARY SEWER AND STORM DRAIN AS SPECIFIED ON PLAN SHEETS.
- F. PAVE STREETS AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
- G. RE-VEGETATE LOTS, PARKWAYS AND ALL DISTURBED AREAS.
- H. REMOVE ALL TEMPORARY EROSION CONTROL DEVICES.

**MAINTENANCE:**

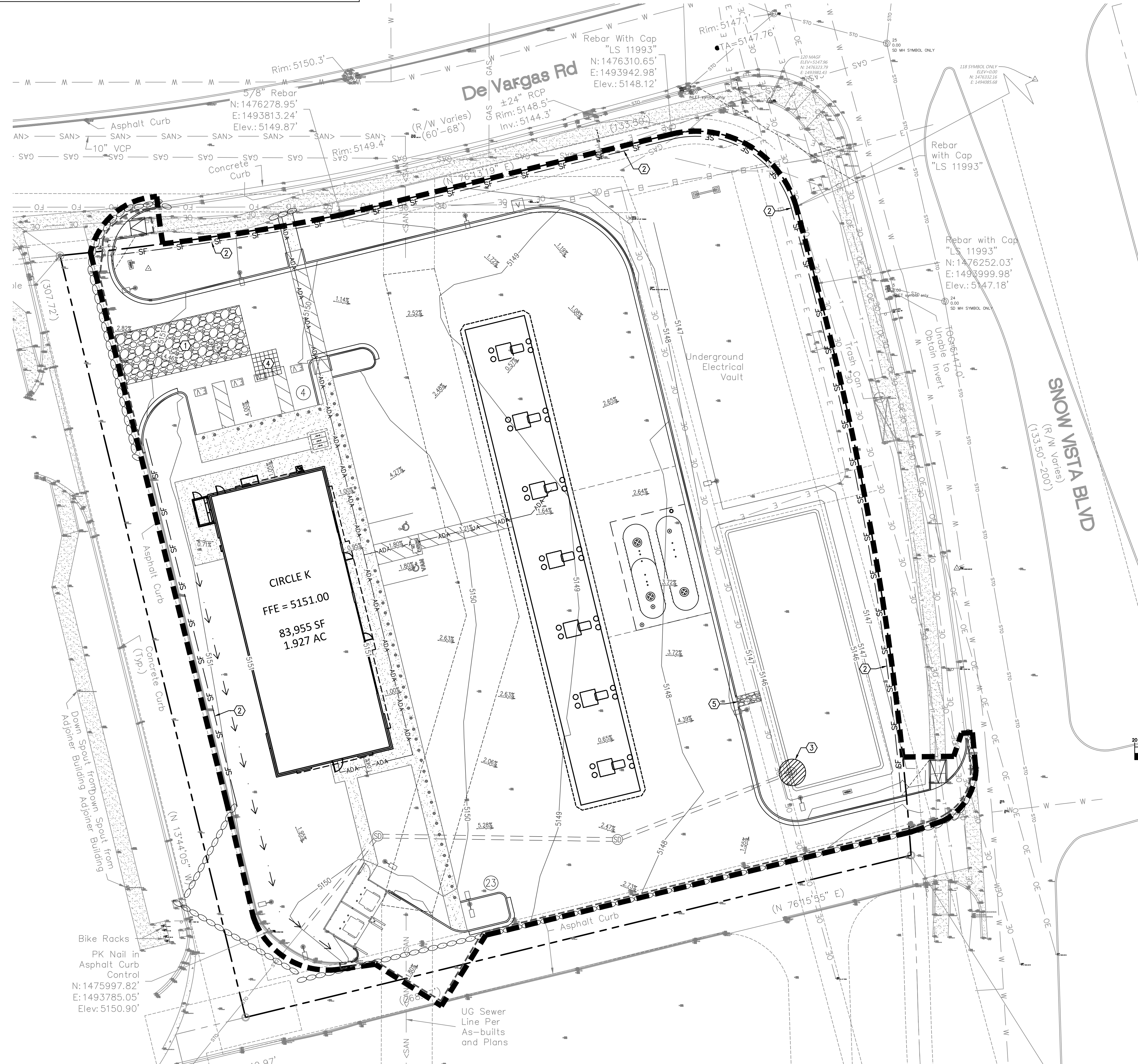
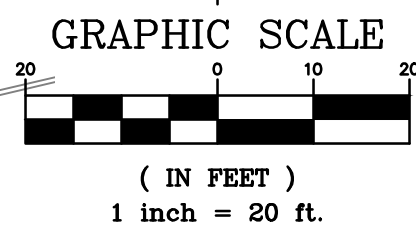
- A. CONTRACTOR TO KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE DURING CONSTRUCTION.
- B. CONTRACTOR SHALL MAINTAIN ALONG WITH THE SIGNED EFFECTIVE COPY OF SWP3 DRAWINGS AN UPDATED LIST IDENTIFYING ALL POTENTIAL SOURCES OF POLLUTION INCLUDING PORTA-POTTYS, FUEL TANKS, STAGING AREAS, WASTE CONTAINERS, CHEMICAL STORAGE AREAS, CONCRETE CURE, PAINTS SOLVENTS, ETC., AND A DESCRIPTION OF THE LOCATION.
- C. CONTRACTOR TO REMOVE ALL STORM WATER POLLUTION PREVENTION MEASURES AFTER CONSTRUCTION IS COMPLETE AND INSPECTED FOR APPROVAL. LONG TERM MAINTENANCE TO BE PROVIDED BY OWNER.

**NOTES:**

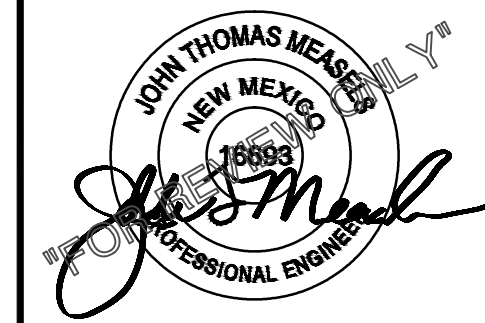
- 1. CONTRACTOR SHALL POLICE SITE REGULARLY AND AND KEEP SITE FREE OF TRASH AND CONSTRUCTION DEBRIS.
- 2. ALL EROSION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH CITY STANDARD EROSION CONTROL DETAILS
- 3. TOTAL DISTURBED AREA=1.93 ACRES.
- 4. REFER TO LANDSCAPE PLAN FOR FINAL GROUND STABILIZATION

**EROSION AND SEDIMENT CONTROL CONSTRUCTION PHASING:**

EROSION AND SEDIMENT CONTROL CONSTRUCTION PHASING:	DURATION OF PHASE	APPROX. DATE FOR START OF EACH PHASE
1. TOP SOIL REMOVAL, CLEARING, GRUBBING AND PAVING REMOVAL	15 DAYS	TBD
2. GRADING.	30 DAYS	TBD
3. UTILITY INSTALLATION.	30 DAYS	TBD
4. PAVING.	30 DAYS	TBD
5. BUILDING CONSTRUCTION.	60 DAYS	TBD
6. FINE GRADING.	15 DAYS	TBD
7. LANDSCAPE AND VEGETATION.	15 DAYS	TBD
8. BMP REMOVAL.	5 DAYS	TBD



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12/18/2025

**SOIL EROSION AND SEDIMENT CONTROL PLAN**  
**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

NAME	DATE	DESCRIPTION
CSK		INITIAL SUBMITTAL
CPK		2ND SUBMITTAL
REV	DATE	DESCRIPTION
	11/17/25	
	12/18/25	

PROJECT NO: JM-DW25001  
 DRAWN BY: ASR, JK, CPK  
 CHECKED BY: KWF  
 ISSUE DATE: 12/19/2025

**C 400**

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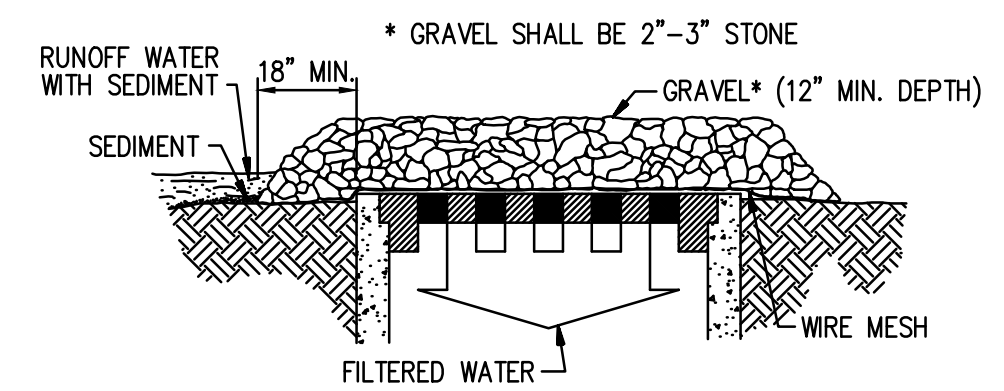
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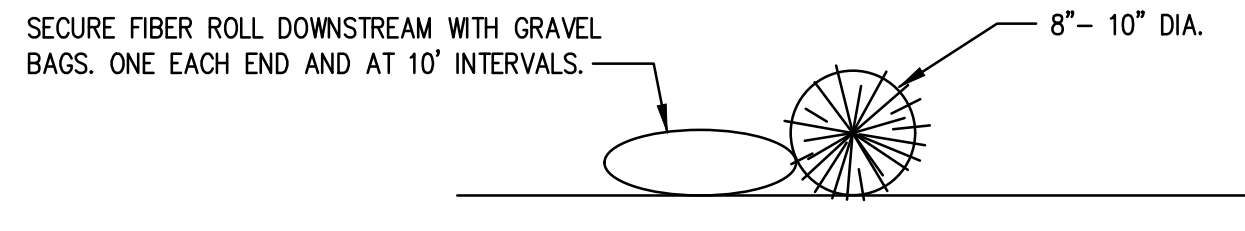
PROJECT NO.	DATE	ISSUE DATE
JM-DW25001	11/17/25	12/19/2025

**BEST MANAGEMENT PRACTICES**

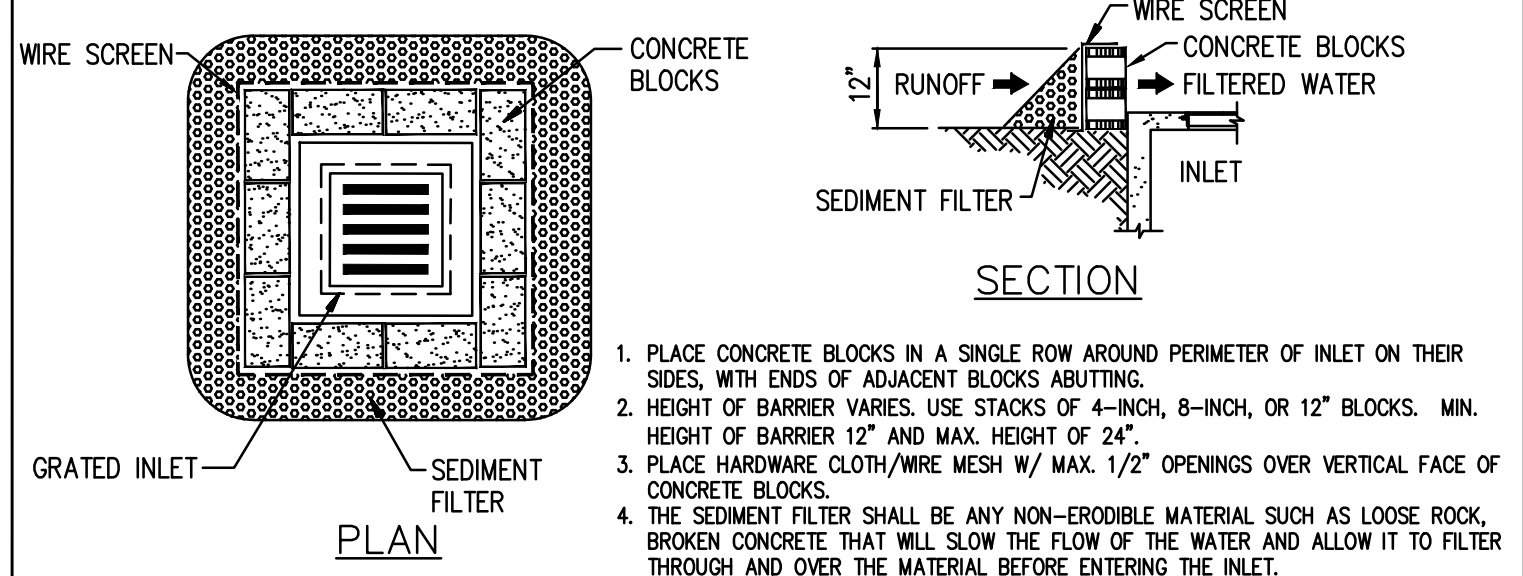
- STRUCTURAL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN EFFECTIVE OPERATING CONDITION.
  - DOCUMENTATION OF MAINTENANCE ACTIVITIES INCLUDING FREQUENCY, LOT DESIGNATION, INSPECTION OF STRUCTURAL CONTROLS, MATERIAL STORAGE AREAS, VEHICLE ENTRANCES AND EXITS: ACTIONS TAKEN AND INSPECTORS NAME.
  - CONSTRUCTION SITE NOTICE WILL BE MAINTAINED ON SITE
  - COPY OF SWPPP SHALL BE KEPT ON SITE
  - PERIMETER MUST RETAIN THE SWPPP, NOI AND INSPECTION LOG FOR A MINIMUM OF 3 YEARS FROM THE TERMINATION AND FINAL STABILIZATION OF PROJECT
- 
- WASTE MATERIALS  
ALL WASTE MATERIALS INCLUDING CONSTRUCTION DEBRIS, SHALL BE COLLECTED AND STORED IN A SECURED LIDDED METAL DUMPSTER. NO CONSTRUCTION MATERIALS SHALL BE BURIED ON SITE. THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9.04 (SOLID WASTE MANAGEMENT) AND THE TRASH BE HAULED TO A LICENSED LANDFILL.
  - HAZARDOUS WASTE  
AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS, ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION, CURING, COMPOUNDS AND ADDITIVES. IN EVENT OF SPILL WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRE DEPARTMENT AND NMED.
  - SANITARY WASTE  
ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - SPILL PREVENTION  
THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.
  - GOOD HOUSEKEEPING
    - STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB
    - NEATLY STORE MATERIALS ON-SITE IN A SECURE MANNER
    - KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER
    - DO NOT MIX SUBSTANCES WITH ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
    - USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING OF THE CONTAINER
    - FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROP USE AND DISPOSAL
  - HAZARDOUS CONDITIONS  
PRACTICES TO REDUCE RISKS:
    - KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE
    - RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS)
    - DISPOSE SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURERS
  - PETROLEUM PRODUCTS  
PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED, ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER RECOMMENDATION.
  - SPILL CONTROL PRACTICES:
    - MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURE
    - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE
    - ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY
    - SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN
    - ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY
    - MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING
  - MAINTENANCE AND INSPECTION PROCEDURES  
ALL POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY 14 DAYS AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR MORE BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A RECORD OF THE RESULTS OF THE INSPECTIONS OF THE SITE SHALL BE KEPT ON-SITE
  - REMARKS  
DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS. CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS



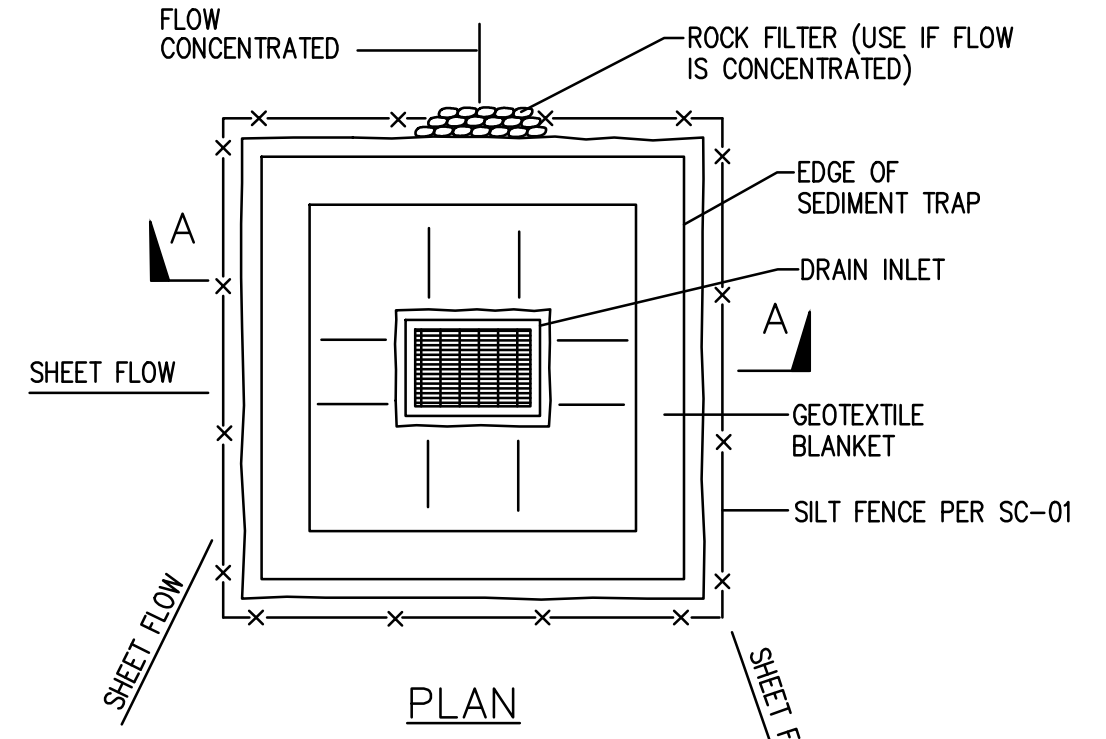
**GRAVEL AND WIRE MESH INLET SEDIMENT FILTER**  
N.T.S.



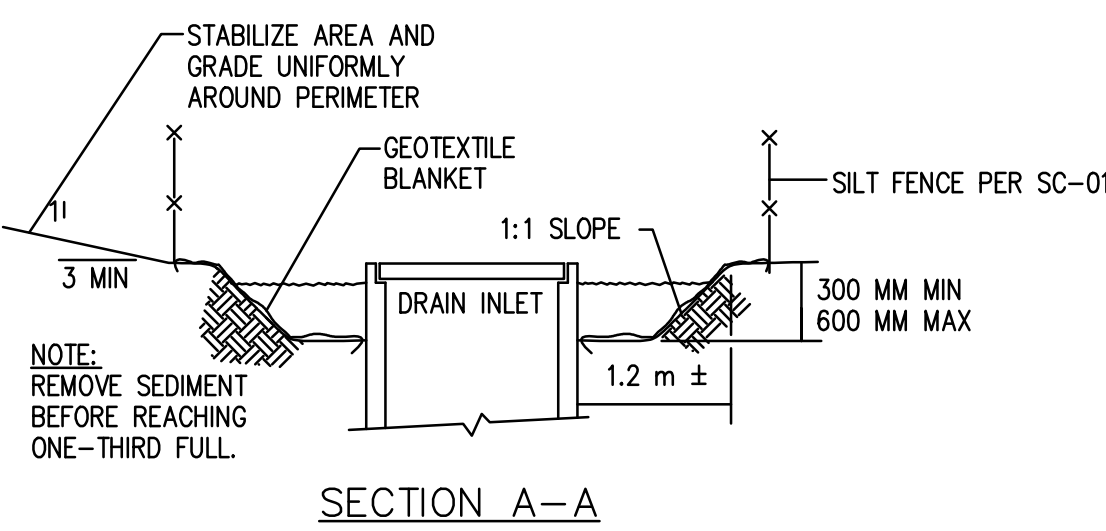
**FIBER ROLLS (WATTLES)**  
N.T.S.



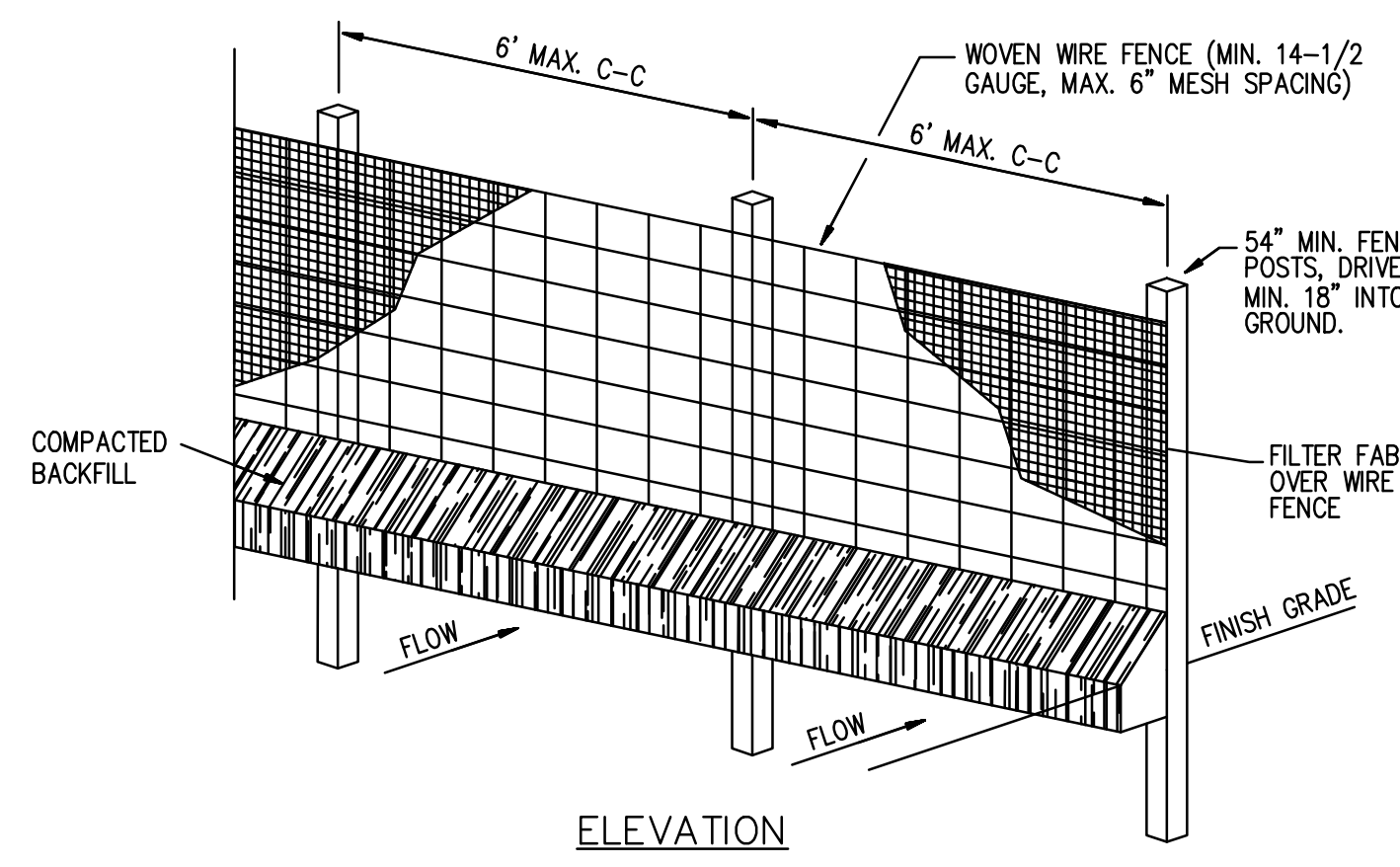
**BLOCK AND AGGREGATE INLET SEDIMENT FILTER**  
N.T.S.



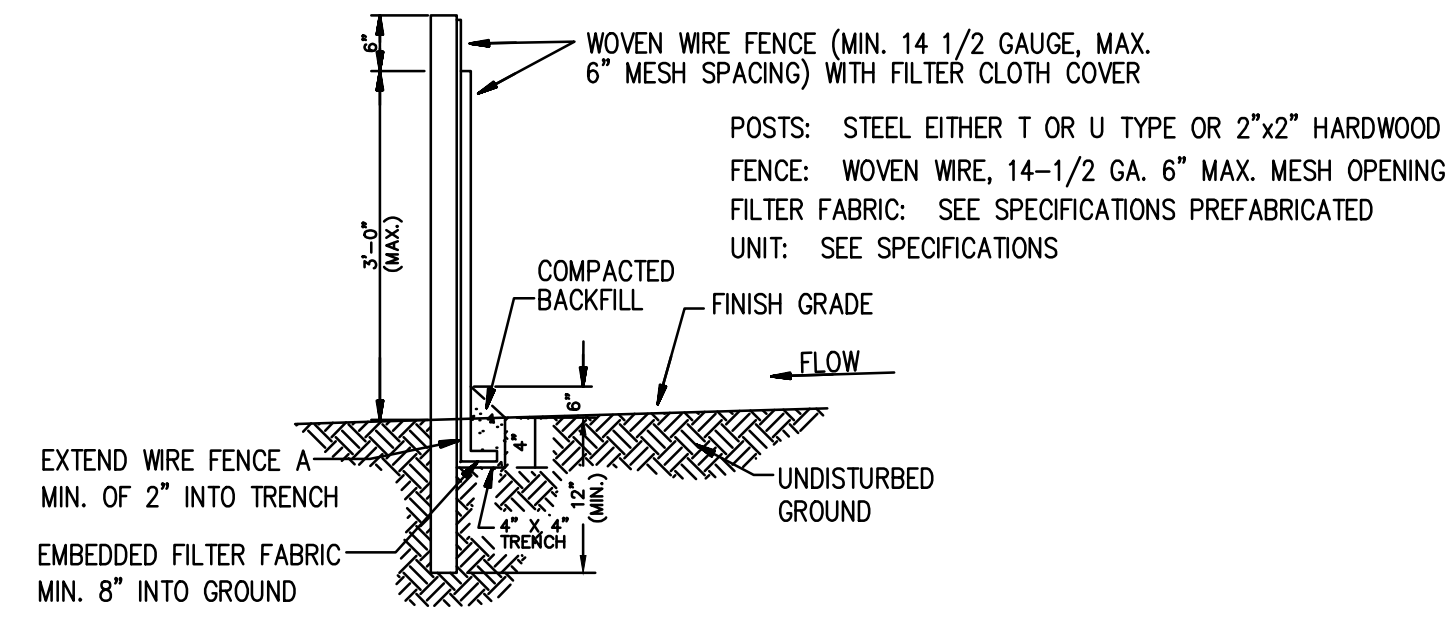
**DI PROTECTION TYPE 2**  
N.T.S.



**CATCH BASIN INLET PROTECTION DETAIL**  
N.T.S.



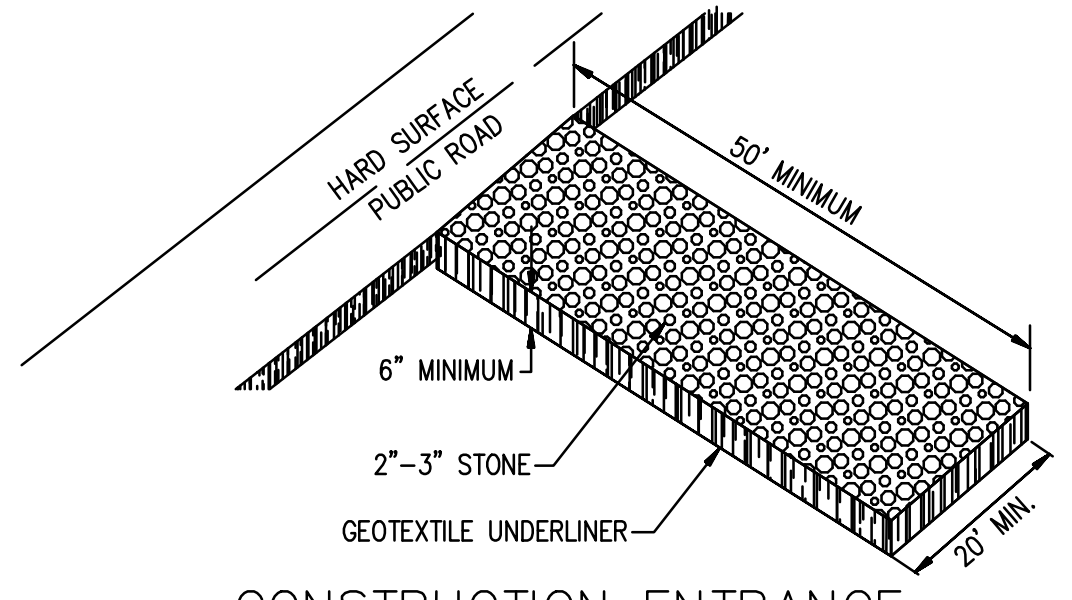
**ELEVATION**



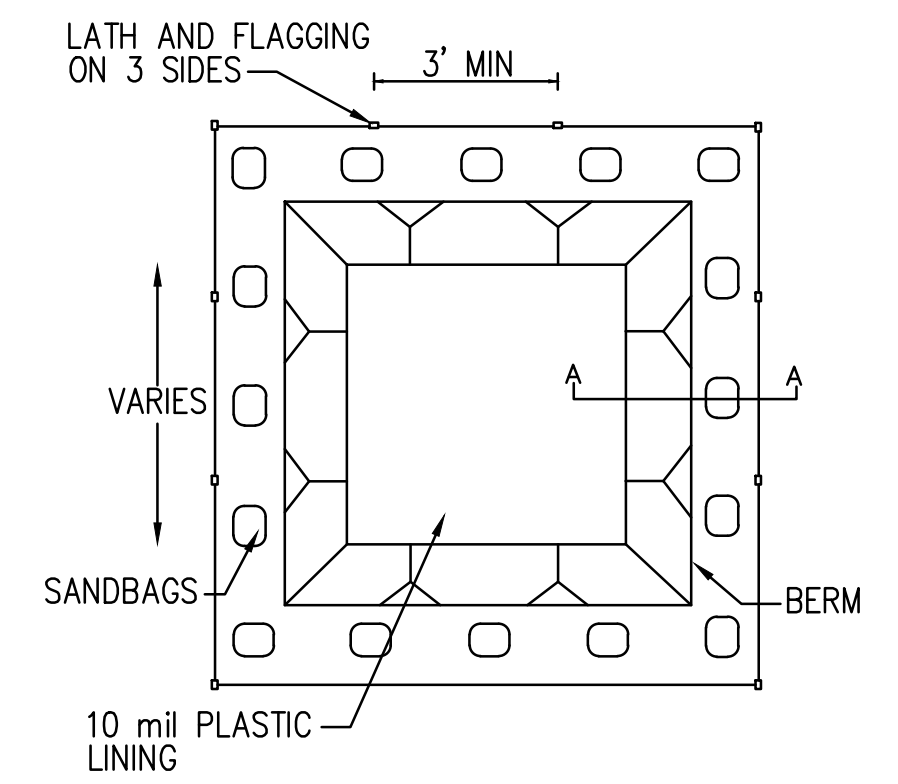
**CROSS-SECTION**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE**  
N.T.S.

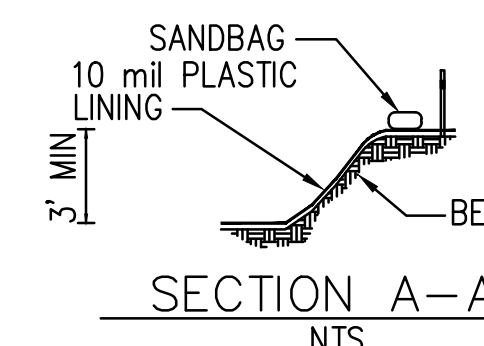


**CONSTRUCTION ENTRANCE**  
N.T.S.



**CONCRETE WASH OUT AREA**  
N.T.S.

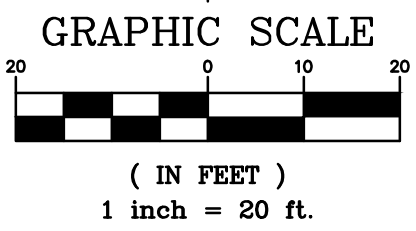
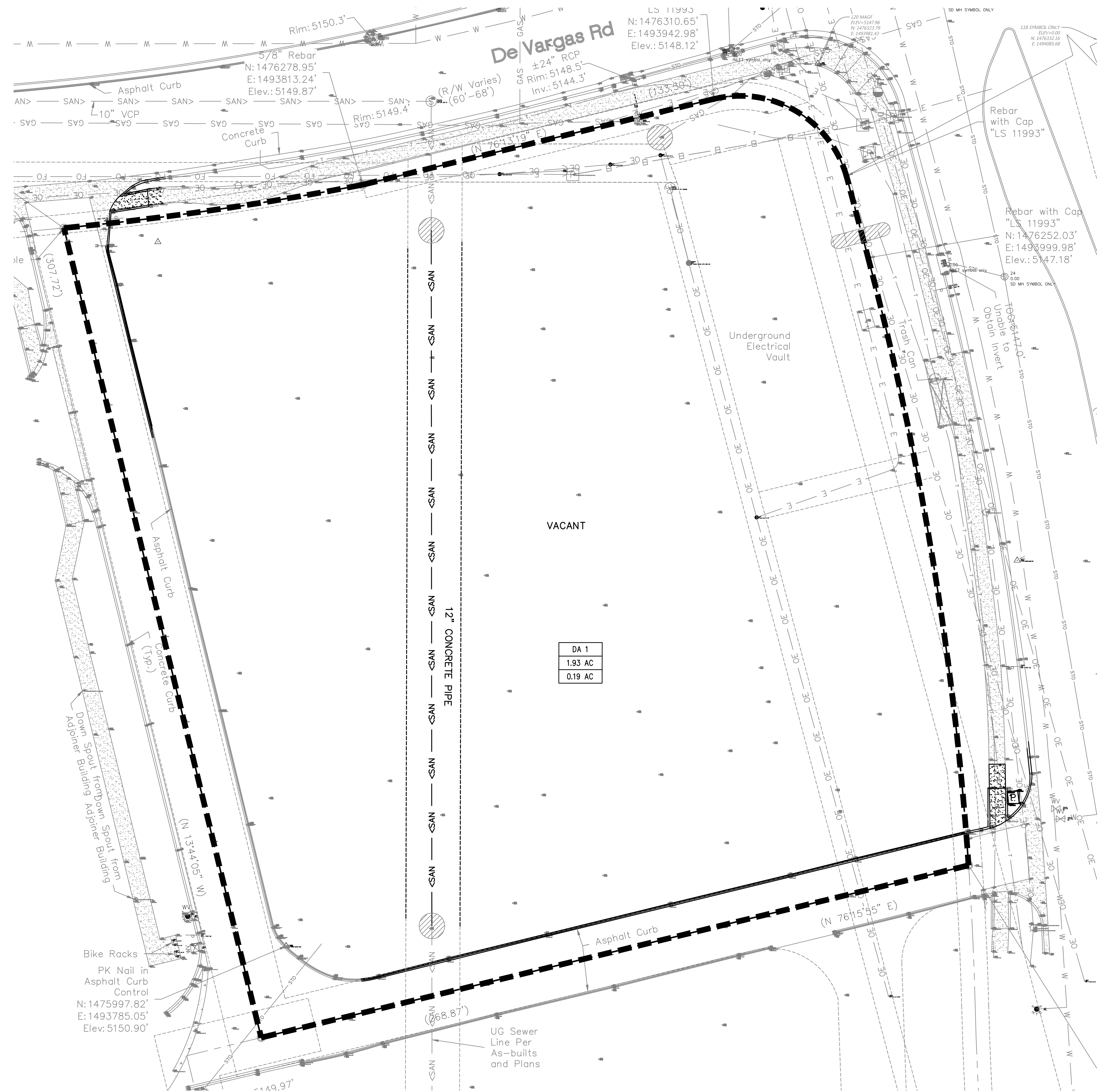
- NOTES:
- ACTUAL SIZE DETERMINED IN THE FIELD.
  - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



**SECTION A-A**  
N.T.S.

J:\CIRCLE K\DW25001 98TH DE VARGAS RD - ALBUQUERQUE, NM\CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24x36 MASTER.DWG 12/19/2025 1:41 PM GAVIN KLEINEBECKER

**CAUTION NOTICE TO CONTRACTOR**  
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**PRE DEV. DRAINAGE AREA MAP LEGEND:**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- EXISTING CONTOUR
- DRAINAGE DIVIDE
- ADA RAMP
- BOLLARD
- TRAFFIC SIGN
- BOLLARD MOUNTED ACCESSIBLE SIGN
- IRRIGATION METER
- MANHOLE
- CURB INLET
- DRAINAGE SLOPE AND DIRECTION
- LIGHT POLE
- AREA DRAIN
- GREASE TRAP
- CLEAN-OUT
- DOUBLE CLEAN-OUT
- GAS METER
- WATER METER

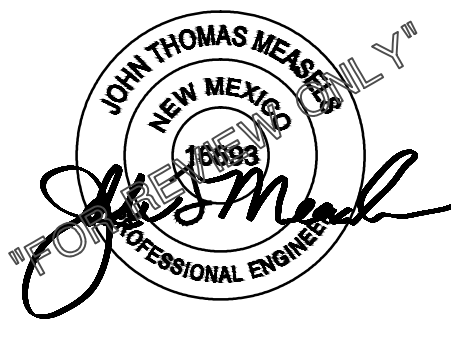
**PRE DEVELOPMENT DRAINAGE AREA KEY:**

- DRAINAGE DIVIDE
- X Area
- X.XX AC Acreage
- X.XX AC IMPERVIOUS ACREAGE

DA1
A = 1.93 AC
C = 0.36
i = 4.27 IN/HR
Q = 2.97 CFS



1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measels, PE  
 CIVIL ENGINEER



12/18/2025

**PRE DEV DRAINAGE AREA MAP**  
**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD,  
 ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION
1	11/12/25	INITIAL SUBMITTAL
2	12/18/25	2ND SUBMITTAL

PROJECT NO: JM-DW25001  
 DRAWN BY: ASB, JK, GPK  
 CHECKED BY: KWF  
 ISSUE DATE: 12/19/2025



Know what's below.  
 Call before you dig.

**C 500**

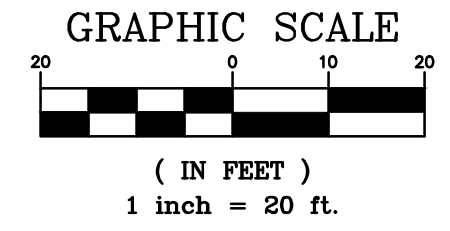
J:\CIRCLE K\DW25001 98TH DE VARGAS RD - ALBUQUERQUE, NM\CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24x36 MASTER.DWG 12/19/2025 1:42 PM GAVIN KLEINEBECKER

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**POST DEV. DRAINAGE AREA MAP LEGEND:**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- EXISTING CONTOUR
- DRAINAGE DIVIDE
- ADA RAMP
- BOLLARD
- TRAFFIC SIGN
- BOLLARD MOUNTED ACCESSIBLE SIGN
- IRRIGATION METER
- MANHOLE
- CURB INLET
- DRAINAGE SLOPE AND DIRECTION
- LIGHT POLE
- AREA DRAIN
- GREASE TRAP
- CLEAN-OUT
- DOUBLE CLEAN-OUT
- GAS METER
- WATER METER
- IMPERVIOUS AREA



**POST DEVELOPMENT DRAINAGE AREA KEY:**

- DRAINAGE DIVIDE
- X Area
- X.XX AC Acreage
- X.XX AC Impervious Acreage

**SWM NARRATIVE:**

AS AGREED UPON WITH CITY OF ALBUQUERQUE STAFF, THIS DEVELOPMENT AS PROPOSED IS WITHIN THE DESIGN PARAMETERS FOR DISCHARGE PER APPROVED DRAINAGE PLAN. AS SHOWN ON THE PRE/POST DEVELOPMENT DRAINAGE DIVIDES, THE GRADING AND STORM SEWER COLLECTION SYSTEM HONORS DESIGNED DISCHARGE POINTS. THE PROPOSED IMPERVIOUS AREA, THEREFOR, DISCHARGE IS LESS THAN THE ALLOWABLE. THIS DEVELOPMENT PROPOSES A C FACTOR OF 0.69. THIS MEANS SWM WAS NOT NEGATIVELY EFFECTED NOR ADDITIONAL CAPACITY/HGL ISSUES. PER WATER QUALITY TREATMENT & FUEL DISPENSING ACTIVITIES, 0.62" FIRST FLUSH AS WELL AS FILTERING APPARATUS ARE REQUIRED. THAT HAS BEEN PROVIDED BY DETENTION/INFILTRATION BASIN WHICH HAS A DRAIN-DOWN TIME OF GREATER THAN 48 HRS. THEREFOR, ALL SWM REQUIREMENTS PER CITY OF ALBUQUERQUE HAVE BEEN MET.

0.62 INCHES / 12 INCHES/FOOT \* 1.93 ACRES /43,560 SQ FT/ACRE = 4,343.66 CU FT  
 DEPTH = 1.19 FEET  
 48 HRS \* 60 MIN/HR \* 60 SEC/MIN = 172,800 SEC / (1/4,343.66 CU FT) = 0.025 CU FT/ SEC

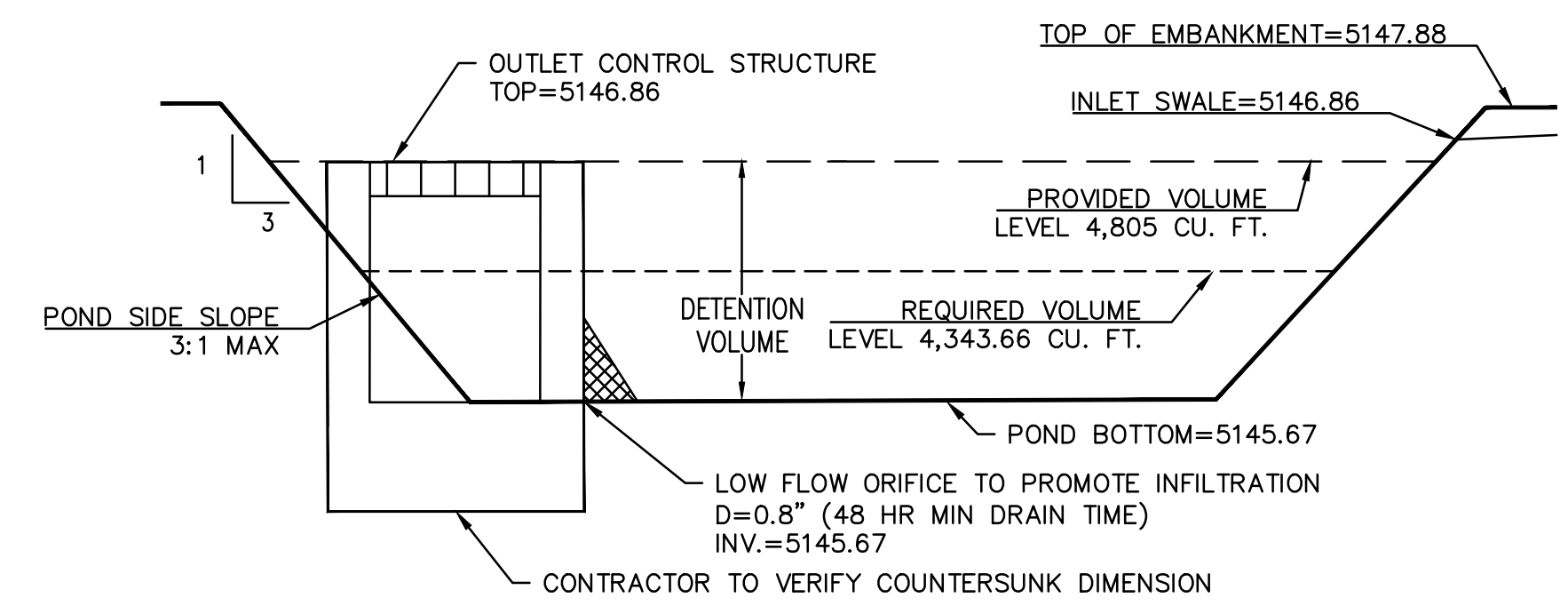
$Q = Cd * A * (2*gh)^{1/2}$   
 $A = 051 \text{ IN}^2$   
 $D = 0.81 \text{ IN}$

THEREFOR, AN ORIFICE OF 0.80 INCHES ALLOWS FOR GREATER THAN 48HR DRAIN-DOWN TIME.

REFERENCE:  
 SAGE PLAZA MASTER DRAINAGE SYSTEM

Elevation (ft)	Area (SQ FT)	Incremental Vol (CU-FT)	Cumulative Vol(CU-FT)	Cumulative Vol(AC-FT)
5145.67	3639	0	0	0.00
5146	3921	1247	1247	0.03
5146.86	4357	3558	4805	0.11

DAI	
A =	1.93 AC
C =	0.69
i =	4.27 IN/HR
Q =	5.69 CFS



**DETENTION / INFILTRATION POND DIAGRAM**  
 N.T.S.



12/18/2025

**POST DEV DRAINAGE AREA MAP**

**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

NAME	DATE	DESCRIPTION
CSK	11/17/25	INITIAL SUBMITTAL
CPK	12/18/25	2ND SUBMITTAL

PROJECT NO.	DRAWN BY	CHECKED BY	ISSUE DATE
JM-DW25001	ASR, JK, CPK	KWF	12/19/2025



**C 510**

J:\CIRCLE K\DW25001\98TH DE VARGAS RD - ALBUQUERQUE, NM\_CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24x36 MASTER.DWG 12/19/2025 1:42 PM GAVIN KLEINEBECKER

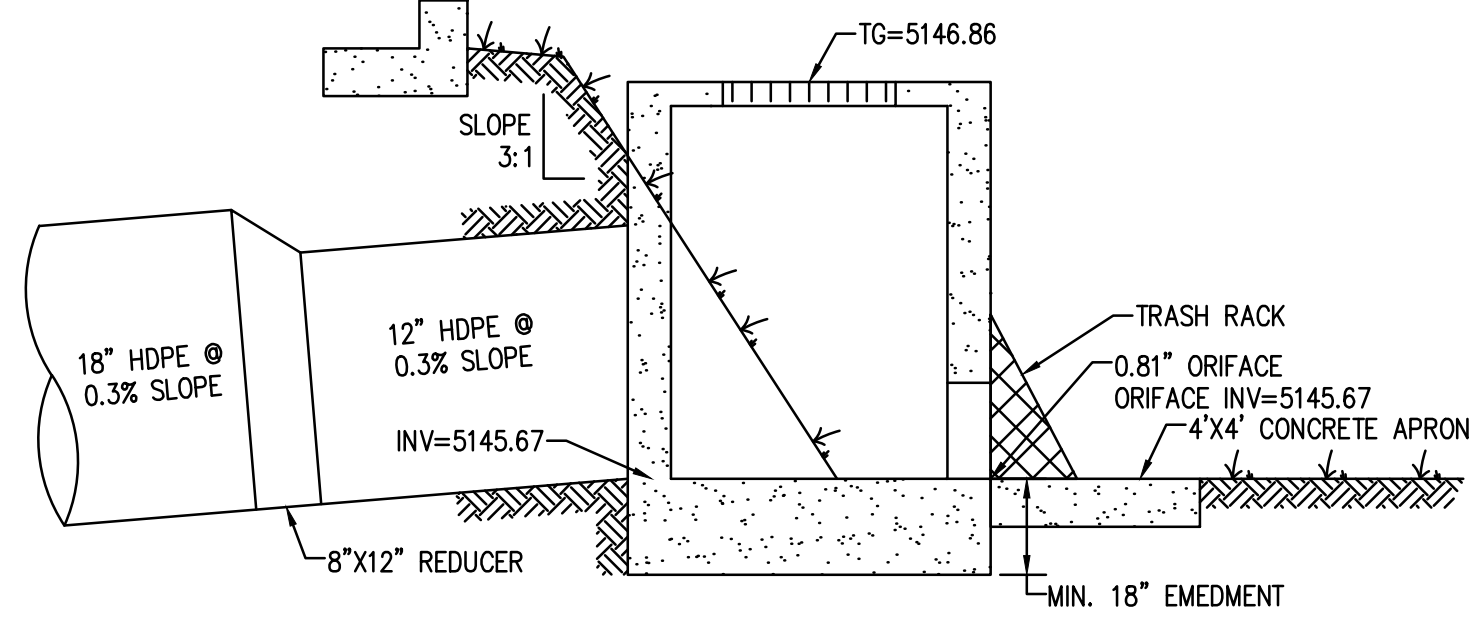
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**BENCHMARKS**  
 ACS MONUMENT 2\_L7 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'

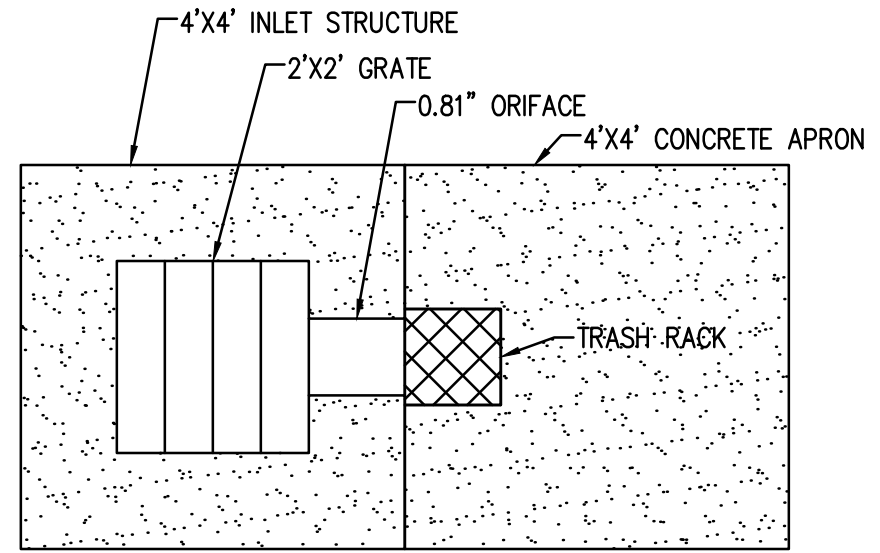
**FLOODNOTE**  
 BASED UPON SCALING THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY FEMA AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H AS PER ALTA SURVEY

- STORM DRAIN LEGEND:**
- PROPERTY LINE
  - PROPOSED CURB & GUTTER
  - LIMITS OF FULL DEPTH SAWCUT
  - EXISTING CONTOUR
  - STORM DRAIN PIPE
  - SANITARY SEWER LINE
  - WATER LINE
  - GAS LINE
  - ELECTRIC SERVICE LINE
  - TELEPHONE SERVICE LINE
- ADA RAMP
  - BOLLARD
  - TRAFFIC SIGN
  - BOLLARD MOUNTED ACCESSIBLE SIGN
  - IRRIGATION METER
  - MANHOLE
  - CURB INLET
  - LIGHT POLE
  - AREA DRAIN
  - GREASE TRAP
  - CLEAN-OUT
  - DOUBLE CLEAN-OUT
  - GAS METER
  - WATER METER

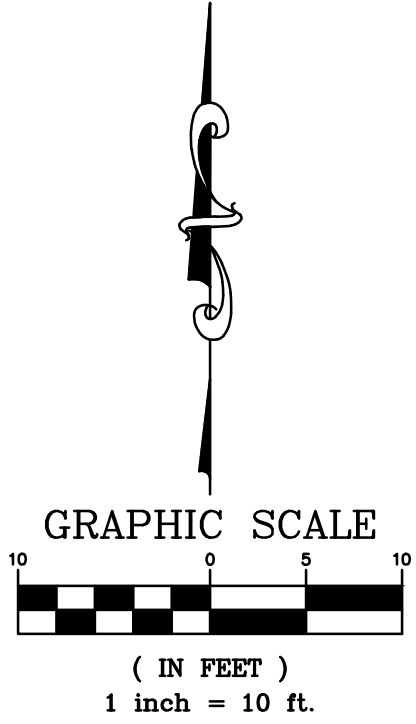
**STORM CALCULATIONS:**  
 Q = 5.69 CFS  
 D = 18 IN.  
 n = 0.012  
 SLOPE = 0.30%  
 V = 4.24



**DETENTION INLET STRUCTURE SECTION SECTION A-A**



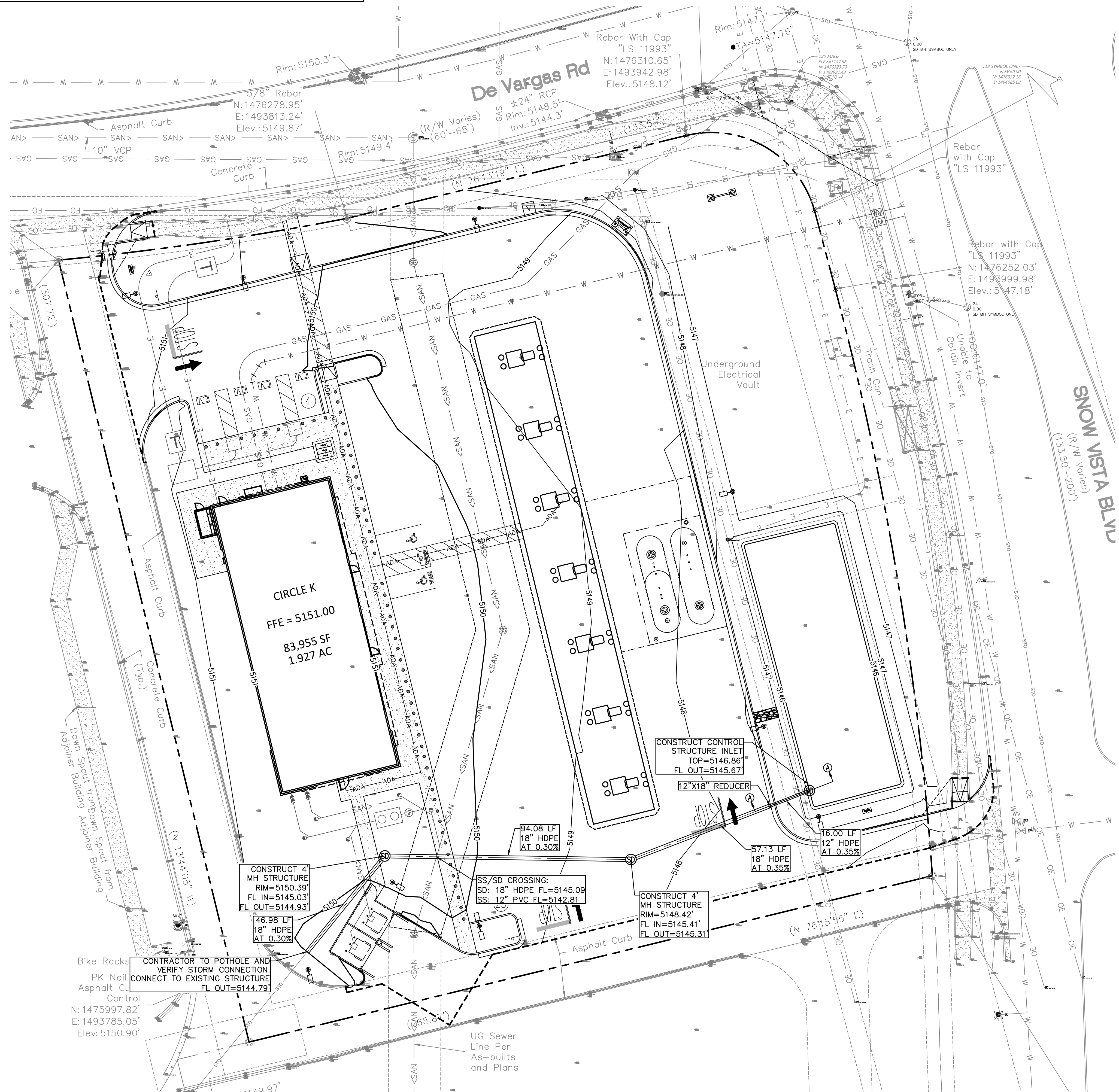
**OUTFALL STRUCTURE DIAGRAM**



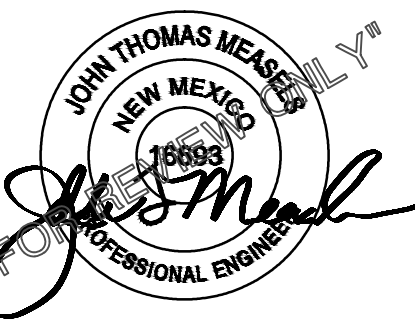
**PIPING MATERIAL SCHEDULE**

STORM SEWER SMALLER THAN 12"	SDR-35 PVC PER ATSM D3034
STORM SEWER - 12" OR LARGER (PRIVATE)	DUAL WALLED HDPE, AASHTO M252 & M294
STORM SEWER - WITHIN PUBLIC EASEMENT OR RIGHT-OF-WAY.	RCP, C-76, CLASS III

CONTRACTOR TO VERIFY EXISTING SANITARY SEWER & STORM DRAIN ELEVATIONS, AND UTILITY CONNECTIONS WITHIN 14 DAYS OF GROUNDBREAKING.



1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measels, PE  
 CIVIL ENGINEER



12/18/2025

**STORM DRAIN PLAN**

CIRCLE K, INC  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

NO.	DATE	DESCRIPTION
1	11/17/25	INITIAL SUBMITTAL
2	12/18/25	2ND SUBMITTAL



Know what's below.  
 Call before you dig.

**C 530**

J:\CIRCLE K\DM25001 98TH DE VARGAS RD - ALBUQUERQUE, NM\CURRENT DRAWINGS\JM-DM25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24x36 MASTER.DWG 12/19/2025 1:42 PM GAVIN KLEINEBECKER

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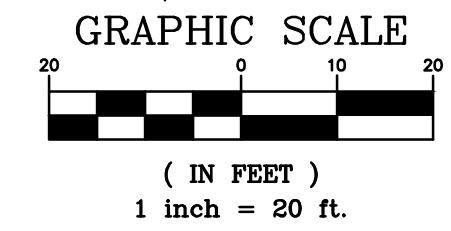
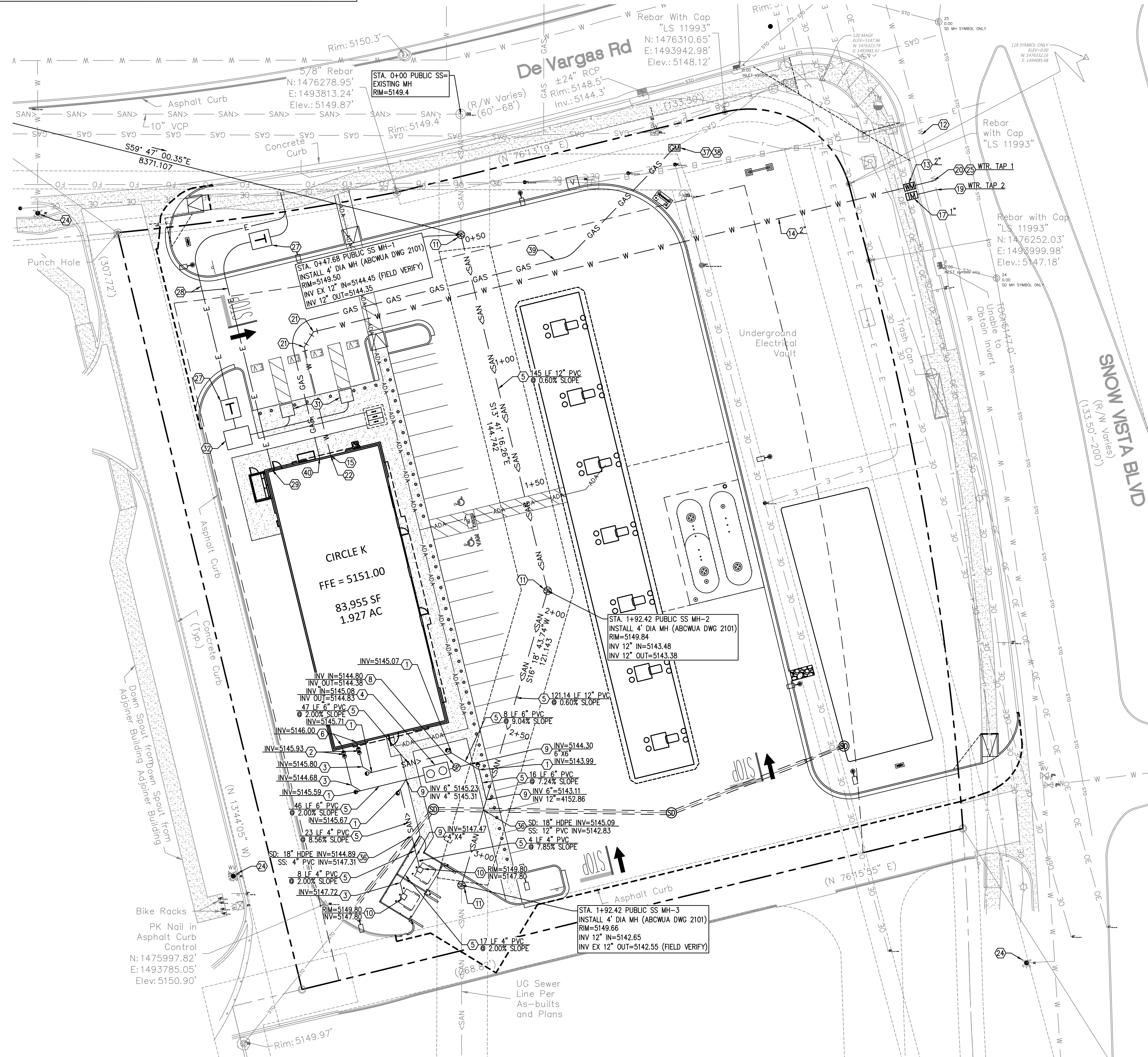
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**UTILITY LEGEND:**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- EXISTING CONTOUR
- SAN> STORM DRAIN PIPE
- SAN< SANITARY SEWER LINE
- W W WATER LINE
- GAS GAS LINE
- E ELECTRIC SERVICE LINE
- T TELEPHONE SERVICE LINE
- DOM DOMESTIC WATER SERVICE LINE
- FIRE FIRE LINE
- ADA RAMP
- BOLLARD
- TRAFFIC SIGN
- BOLLARD MOUNTED ACCESSIBLE SIGN
- IRRIGATION METER
- MANHOLE
- CURB INLET
- LIGHT POLE
- AREA DRAIN
- GREASE TRAP
- CLEAN-OUT
- DOUBLE CLEAN-OUT
- GAS METER
- WATER METER

**UTILITY KEY NOTES:**

- 1 SANITARY SEWER CLEAN-OUT.
- 2 SANITARY SEWER DOUBLE CLEAN-OUT.
- 3 45° BEND.
- 4 GREASE TRAP. (UNIT SPECIFICATIONS PER MEP PLANS)
- 5 SANITARY SEWER LINE. (SEE NOTE FOR TYPE, SIZE AND SLOPE)
- 6 SANITARY SEWER POINT OF ENTRY. (PER MEP PLANS)
- 7 SANITARY SEWER POINT OF CONNECTION. (CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)
- 8 SANITARY SEWER SAMPLE PORT. (UNIT SPECIFICATIONS PER MEP PLANS)
- 9 SANITARY SEWER WYE. SDR-26.
- 10 2'X2' SANITARY SEWER DRAIN INLET WITH "P" TRAP.
- 11 SANITARY SEWER MANHOLES LESS THAN 6' PER ABCWJA DWG 2101.
- 12 WATER MAIN LINE. (SEE NOTE FOR SIZE)
- 13 DOMESTIC WATER METER. (SEE NOTE FOR SIZE)
- 14 DOMESTIC WATER LINE. (SEE NOTE FOR SIZE)
- 15 DOMESTIC WATER LINE POINT OF ENTRY. (PER MEP PLANS)
- 16 DOMESTIC WATER LINE POINT OF CONNECTION PER ABCWJA DWG 2363.
- 17 IRRIGATION WATER METER. (SEE NOTE FOR SIZE)
- 18 IRRIGATION WATER LINE. (SEE NOTE FOR SIZE)
- 19 IRRIGATION WATER LINE POINT OF CONNECTION. 1" SERVICE TAP.
- 20 2" SERVICE TAP PER ABCWJA DWG 2363.
- 21 M.J. BEND. (SEE NOTE FOR SIZE)
- 22 BACKFLOW & PRESSURE REDUCER INSIDE BUILDING PER M.E.P. PLANS
- 23 REDUCED PRESSURE BACKFLOW PREVENTER.
- 24 EXISTING FIRE HYDRANT.
- 25 CONTRACTOR SHALL COORDINATE WITH WATER UTILITY DEPARTMENT TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.
- 26 PROPOSED LIGHT POLE.
- 27 PAD MOUNTED TRANSFORMER.
- 28 UNDERGROUND ELECTRIC LINE. (COORDINATE WITH ELECTRIC COMPANY FOR CONDUIT SIZES)
- 29 METERING EQUIPMENT AND ELECTRIC LINE POINT OF ENTRY. (PER MEP PLANS)
- 30 ELECTRIC LINE POINT OF CONNECTION.
- 31 E.V. EQUIPMENT PER M.E.P. PLANS.
- 32 E.V. SWITCHGEAR PER M.E.P. PLANS.
- 33 UNDERGROUND TELEPHONE LINE ~ 2-1" CONDUITS. (VERIFY SIZE WITH TELEPHONE COMPANY)
- 34 TELEPHONE LINE POINT OF ENTRY. (PER MEP PLANS)
- 35 TELEPHONE LINE POINT OF CONNECTION.
- 36 STORM/SANITARY PIPE CROSSING.
- 37 GAS METER (PER GAS COMPANY).
- 38 GAS POINT OF CONNECTION (PER GAS COMPANY).
- 39 GAS LINE (SIZE AND METERING PER GAS COMPANY).
- 40 GAS POINT OF ENTRY (PER M.E.P.).



**SITE PIPING MATERIAL SCHEDULE**

SANITARY SEWER - 6"	SDE-26 PVC
SANITARY SEWER - 12"	SDR-35 PVC.
WATER LINE SMALLER THAN 4"	SCHEDULE 40 PVC AS PER ATSM D1785
WATER LINE 4" - 12"	PVC CLASS 150, DR-18, ANWA C-900

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 John Measles, PE  
 CIVIL ENGINEER



12/18/2025

**UTILITY PLAN**

CIRCLE K, INC  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION
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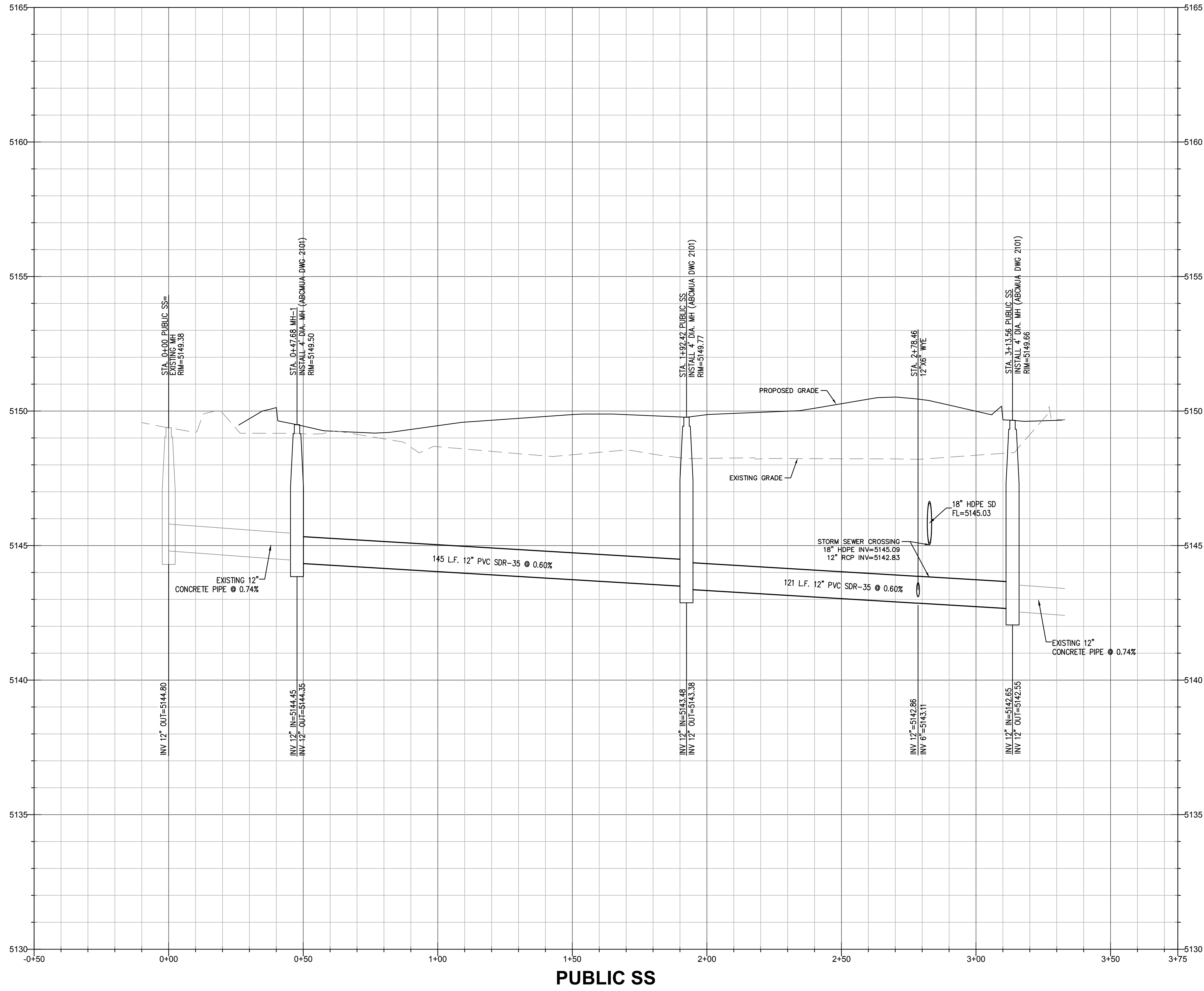
PROJECT NO:	JM-DW25001
DRAWN BY:	ASR, JK, GFK
CHECKED BY:	KWF
ISSUE DATE:	12/19/2025

C 600

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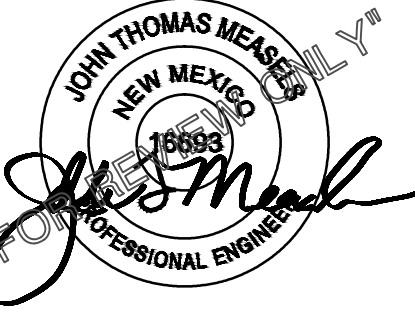
**PUBLIC SS**

HORIZONTAL SCALE:  
1"=20'

VERTICAL SCALE:  
1"=2'



1101 Central Expressway South  
Suite 215  
Allen, TX 75013  
Ph. 214-491-1830  
John Measels, PE  
CIVIL ENGINEER



12/18/2025

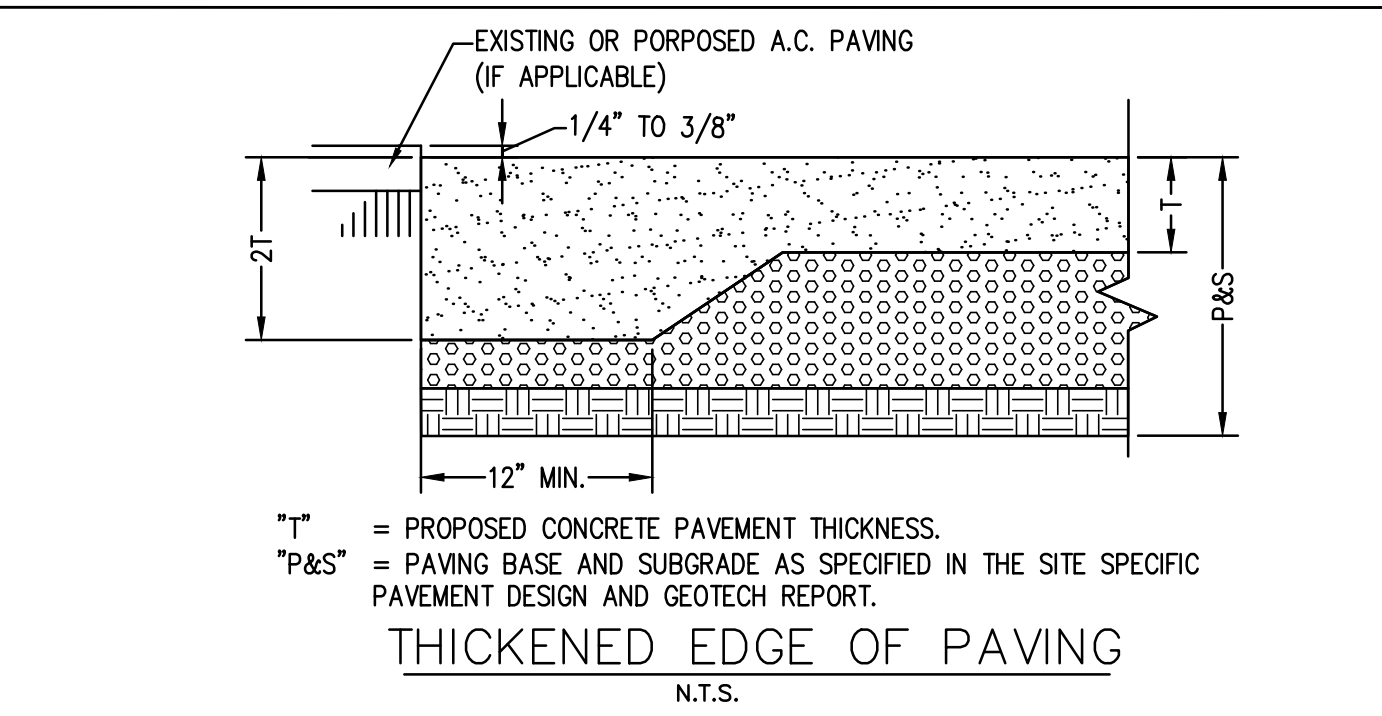
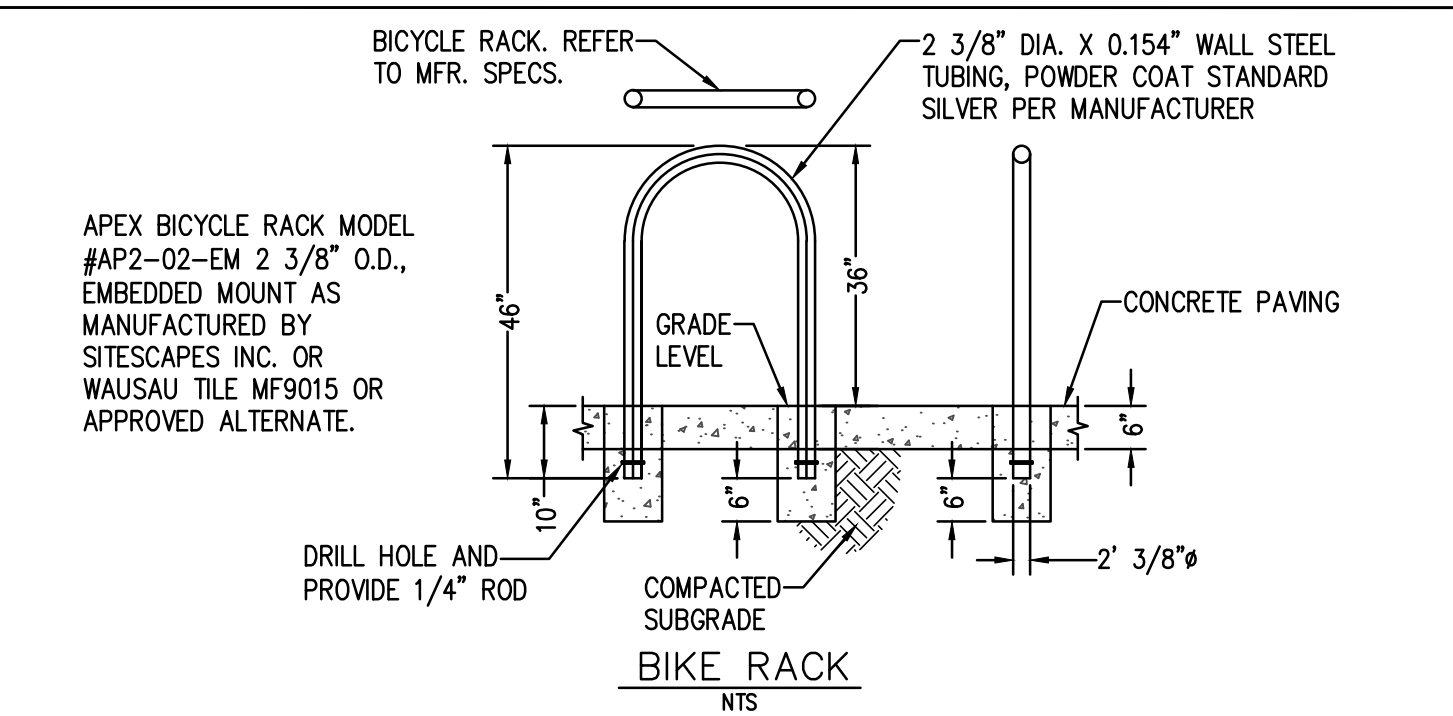
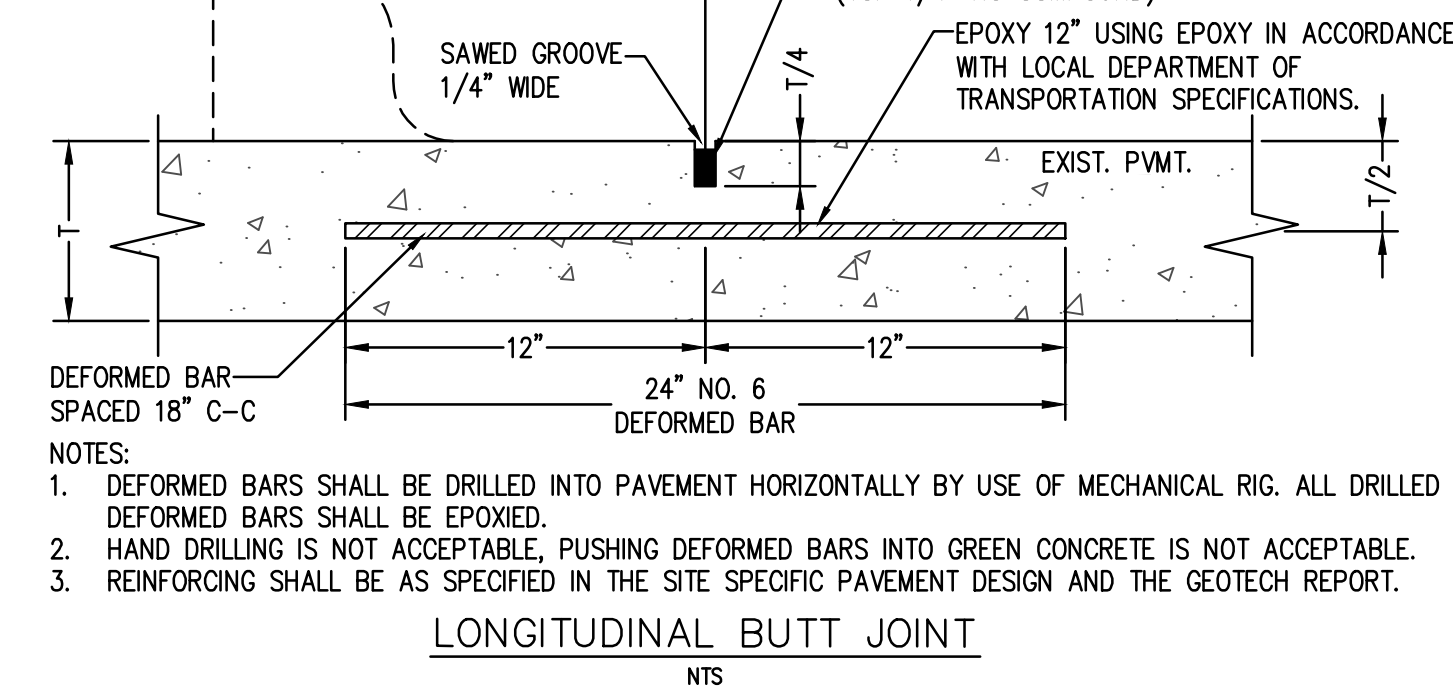
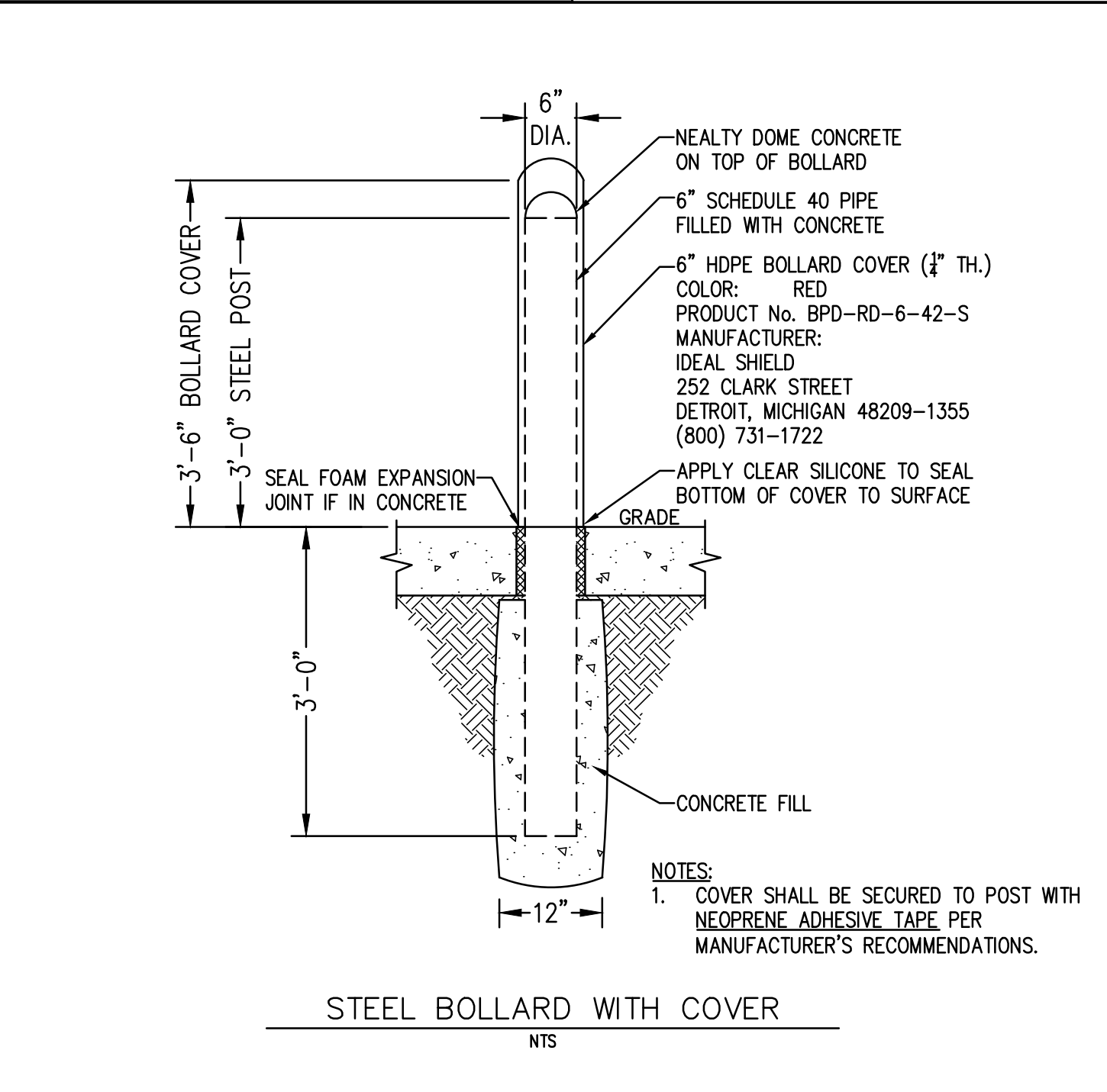
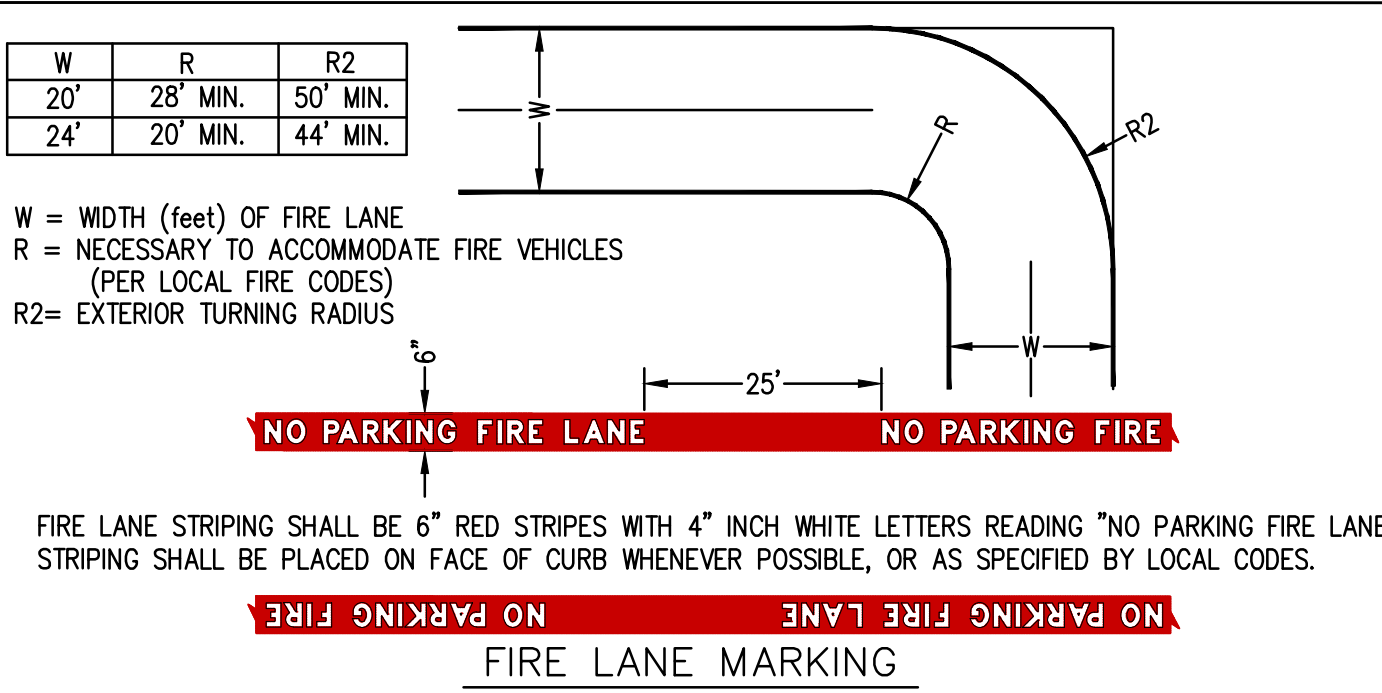
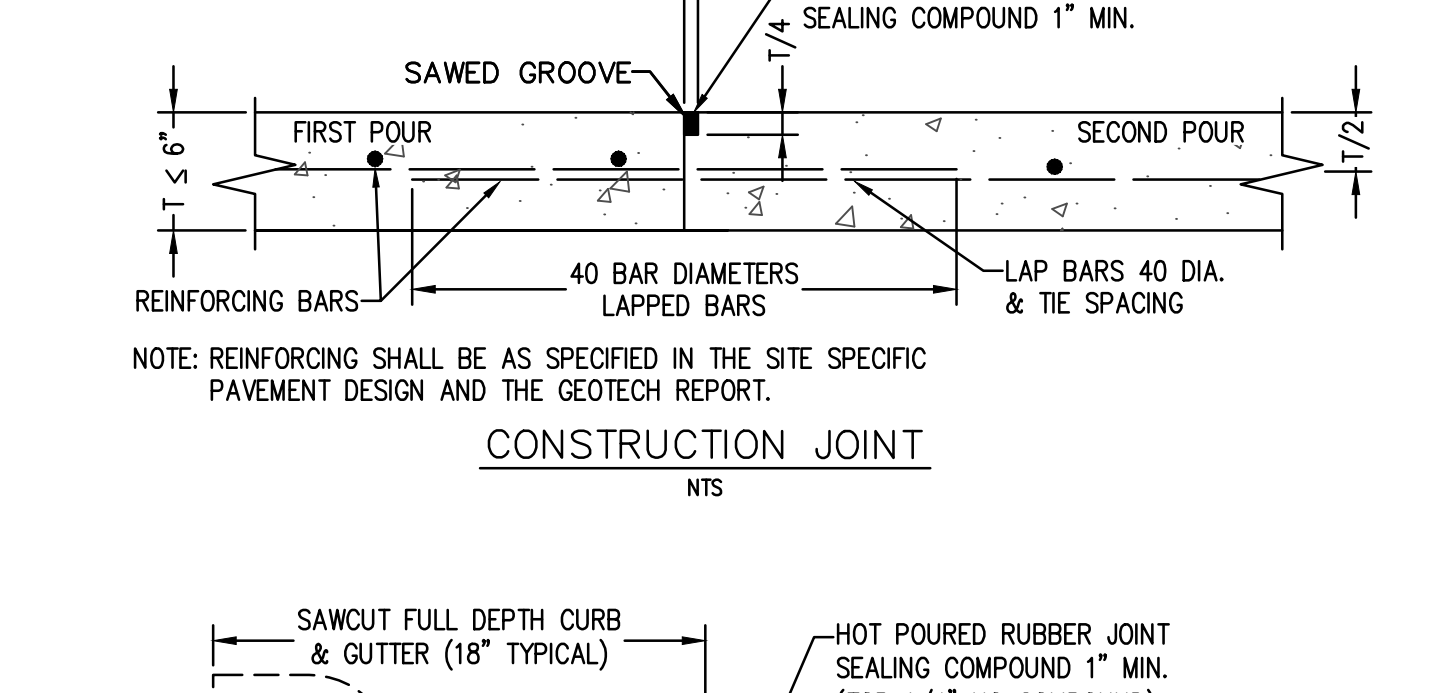
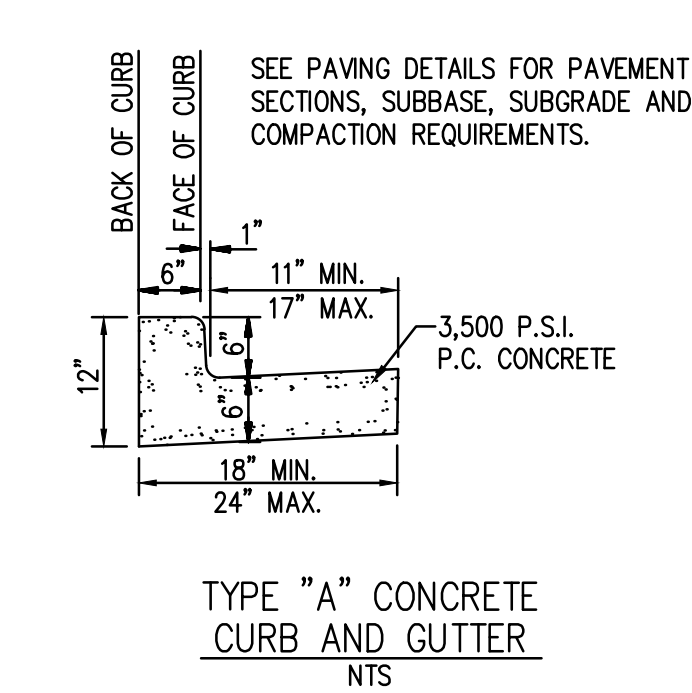
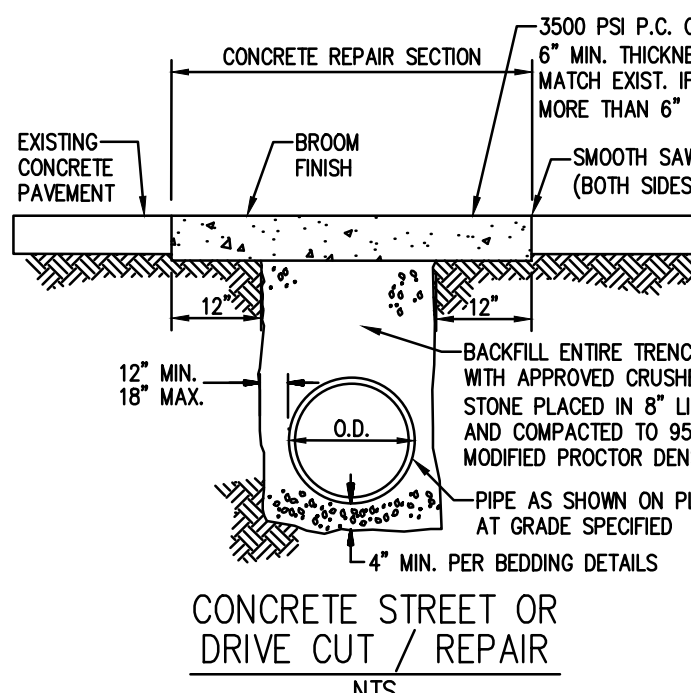
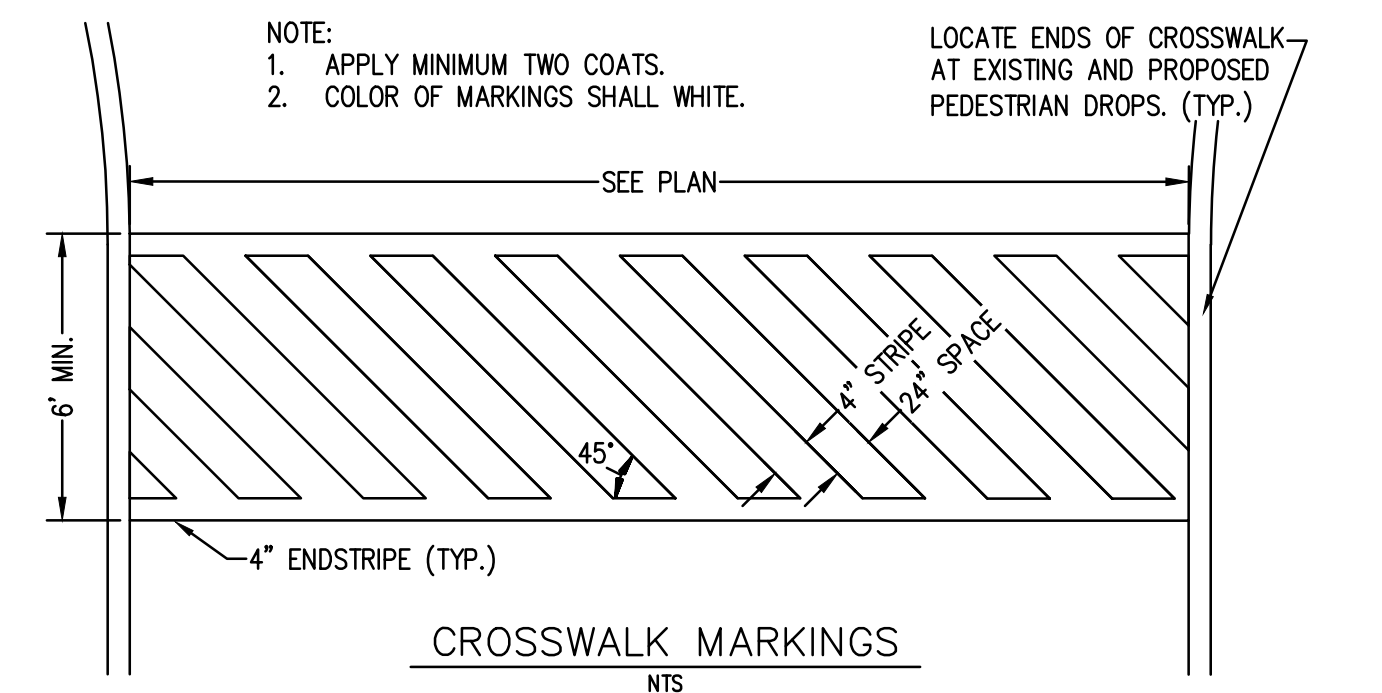
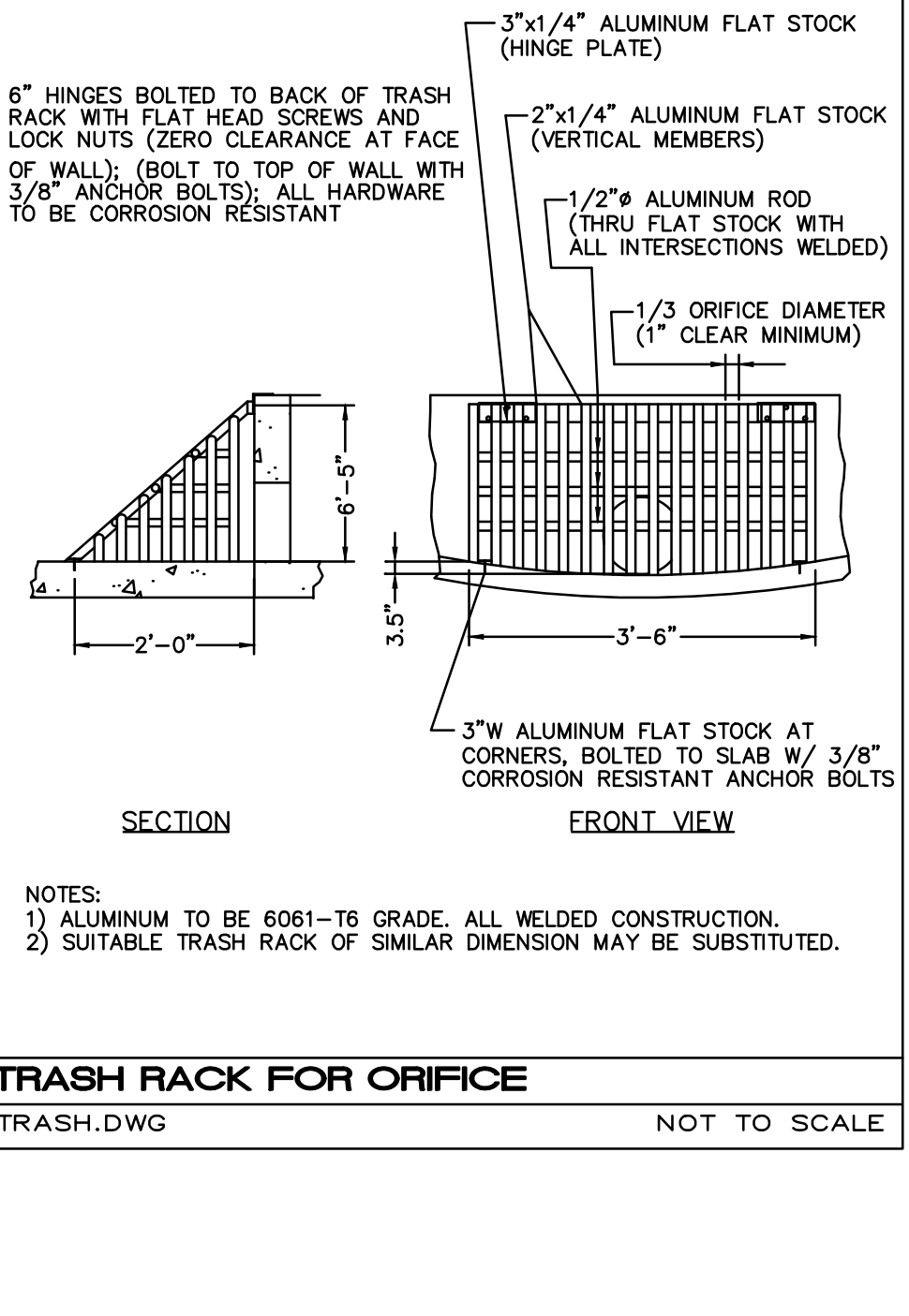
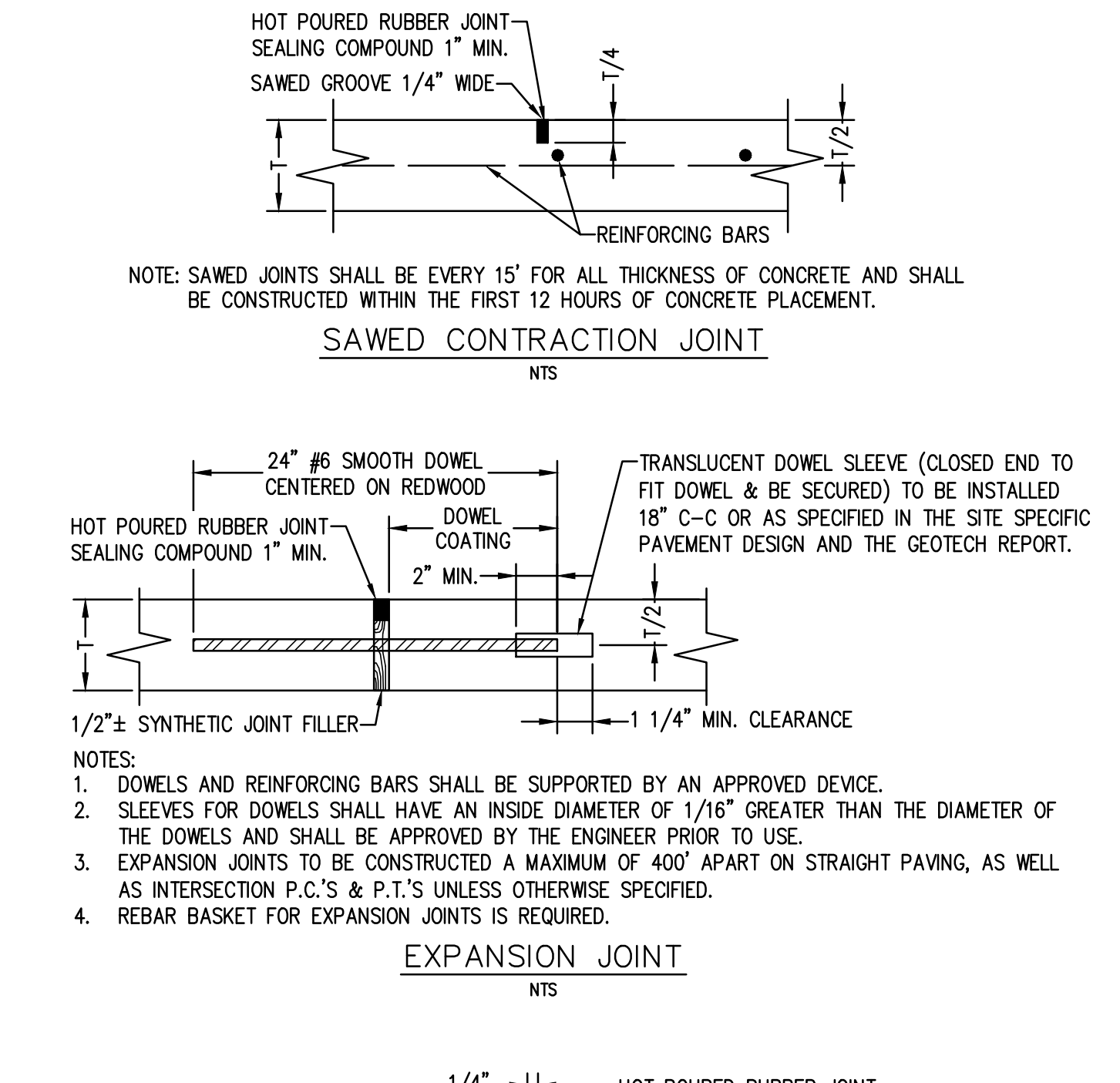
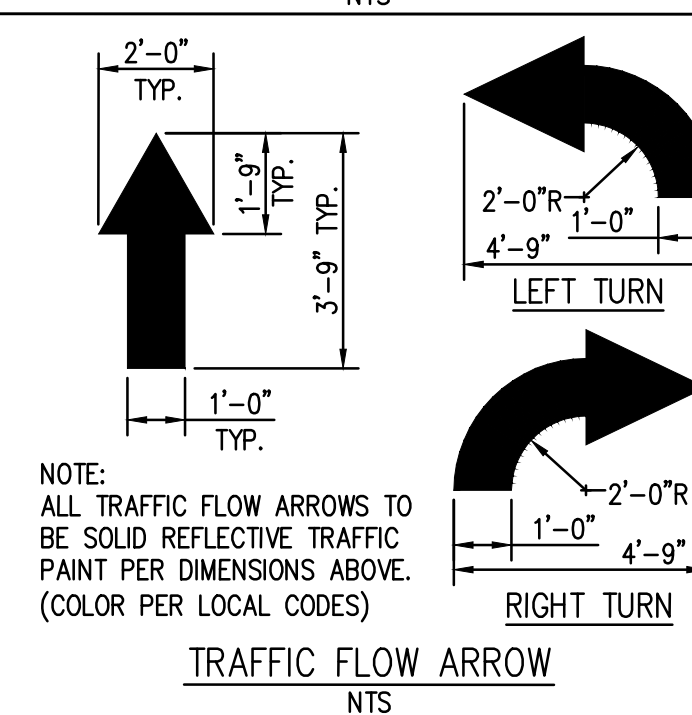
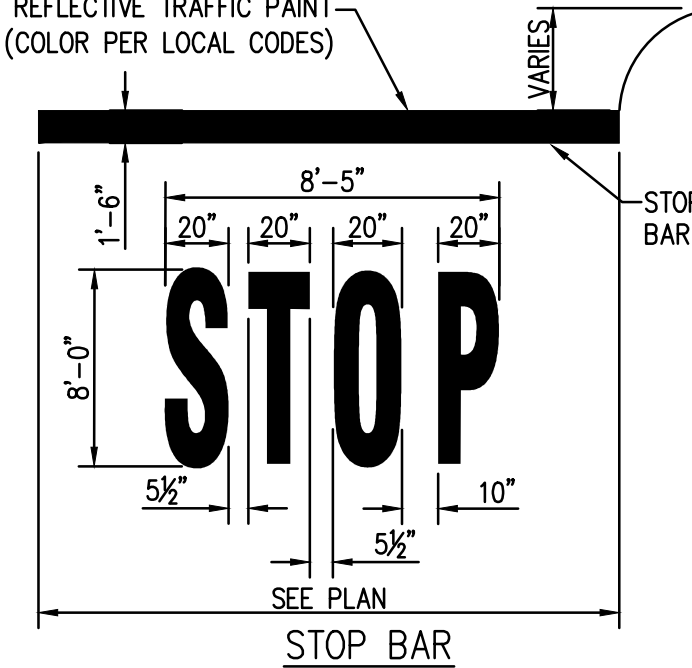
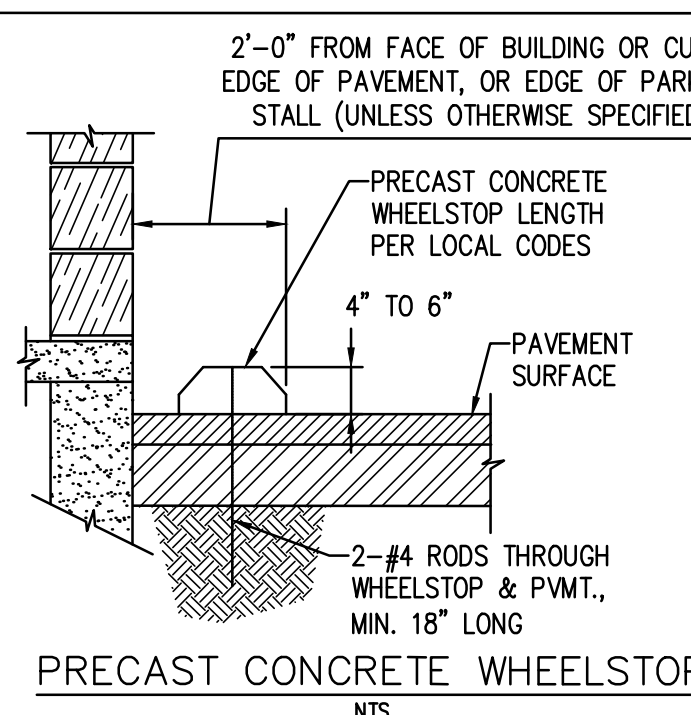
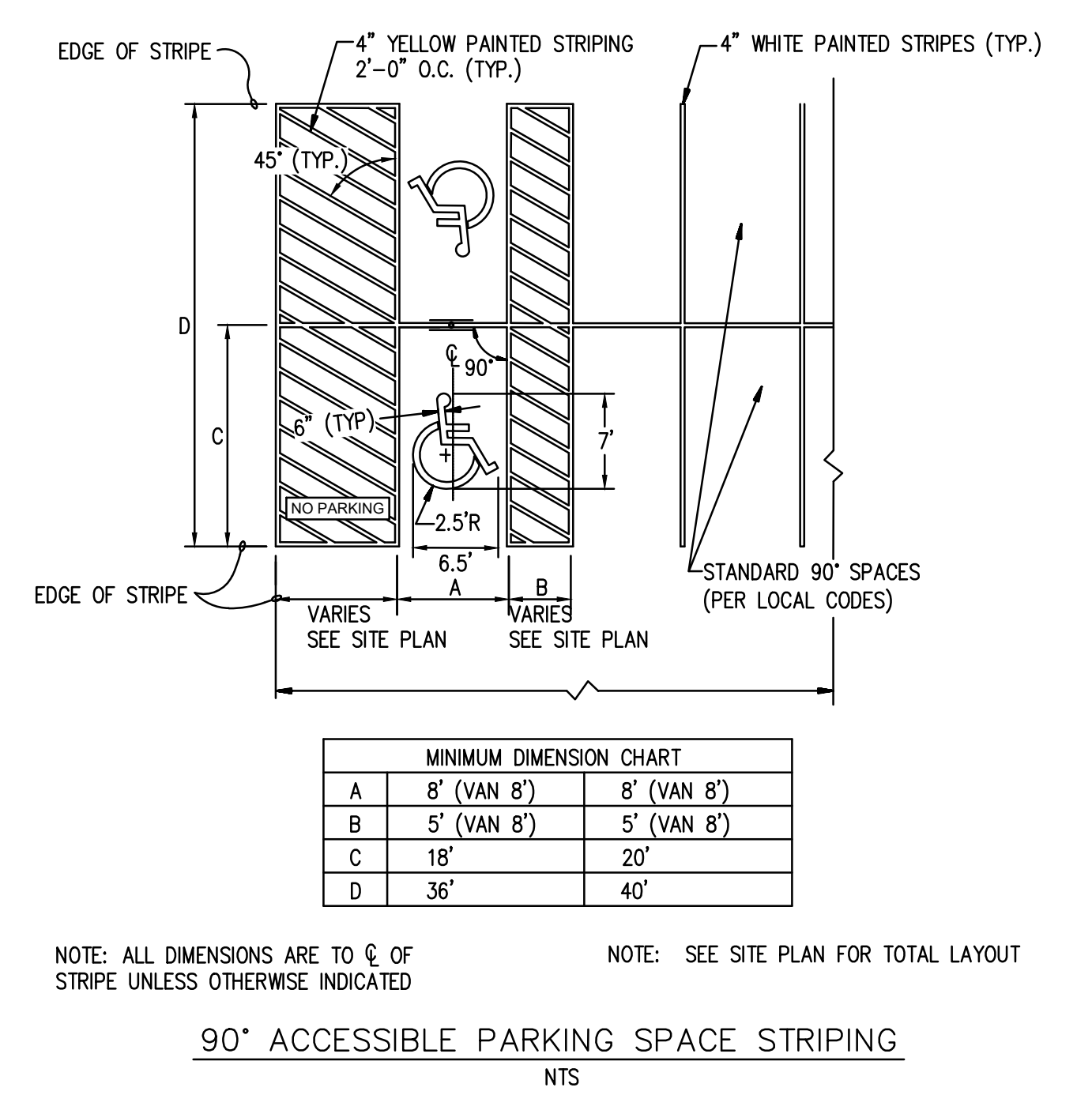
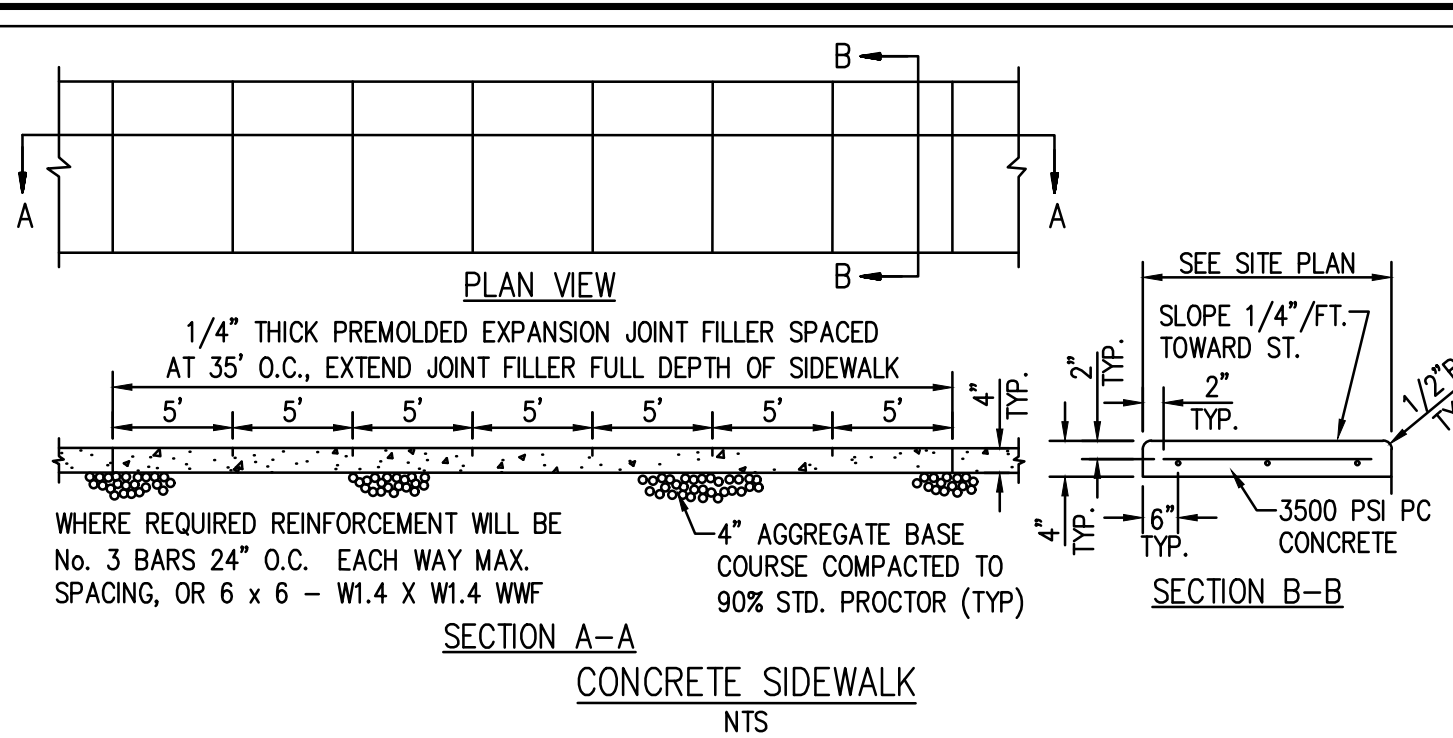
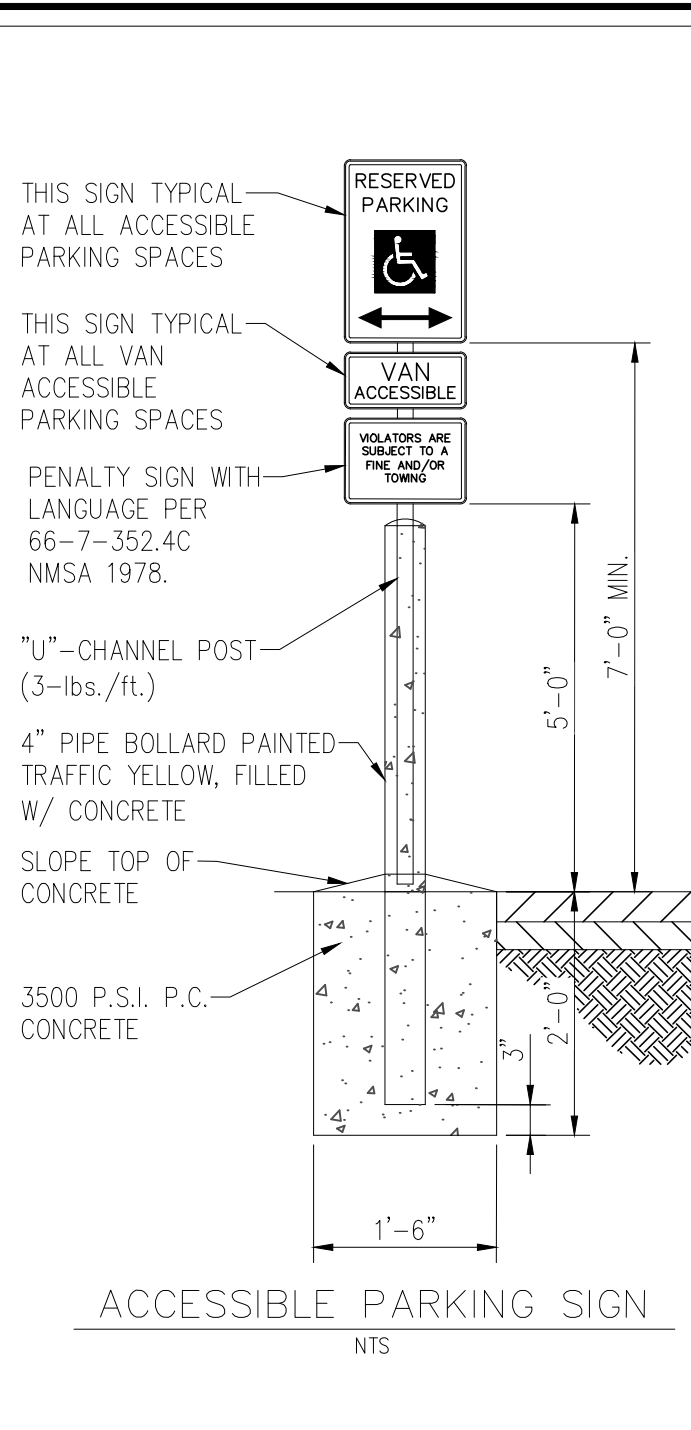
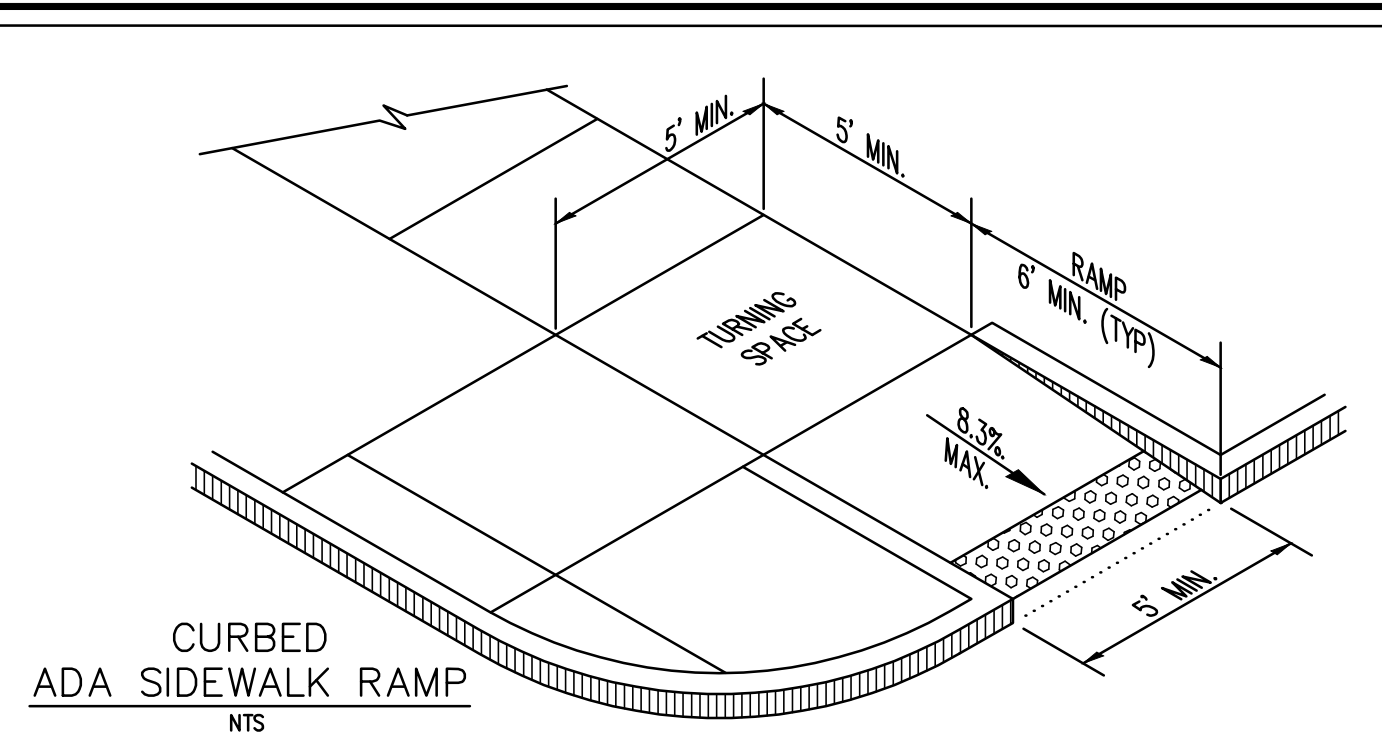
**SANITARY SEWER PROFILE**

**CIRCLE K, INC**  
LOT 1A, SNOW VISTA INVESTORS  
9800 DE VARGAS RD.  
ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION	NAME	
			CSK	CPK
	11/12/25	INITIAL SUBMITTAL		
	12/18/25	2ND SUBMITTAL		

PROJECT NO: JM-DW25001	DRAWN BY: ASB, JK, GPK	CHECKED BY: KWF	ISSUE DATE: 12/19/2025
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**C 610**



PROJECT NO.	DATE	DESCRIPTION
JM-DW25001	11/12/25	INITIAL SUBMITTAL
	12/18/25	2ND SUBMITTAL

J:\CIRCLE K\DW25001 98TH DE VARGAS RD - ALBUQUERQUE, NM\CURRENT DRAWINGS\JM-DW25001 - 24X36 MASTER.DWG 12/19/2025 1:42 PM GAVIN KLENEBECKER

# CITY DETAILS

CIRCLE K, INC  
LOT 1A, SNOW VISTA INVESTORS  
9800 DE VARGAS RD,  
ALBUQUERQUE, NEW MEXICO 87121

REV#	DATE	DESCRIPTION	NAME
1	11/17/25	INITIAL SUBMITTAL	CSK
2	12/18/25	2ND SUBMITTAL	CSK

PROJECT NO.	DATE	ISSUE DATE	DETAILS
JM-DW25001	12/19/2025		

## C 710

**24" MANHOLE COVER SECTION A-A**

**24" MANHOLE COVER PICKBAR SECTION B-B**

**24" MANHOLE FRAME SECTION A-A**

**24" MANHOLE TOP VIEW**

**24" MANHOLE BOTTOM VIEW**

**36" MANHOLE COVER PICKBAR SECTION D-D**

**36" MANHOLE COVER SECTION C-C**

**36" MANHOLE TOP VIEW**

**36" MANHOLE BOTTOM VIEW**

**36" MANHOLE FRAME SECTION C-C**

STOCK NO. \_\_\_\_\_

**GENERAL NOTES**

- USE TYPE "C" MANHOLE FOR DEPTHS OF LESS THAN 6' MEASURED FROM INVERT TO FIN.
- CONTRACTOR HAS OPTION TO CONSTRUCT TYPE "C" MANHOLE IN LIEU OF TYPE "E" MANHOLE FOR DEPTHS OF 6' OR MORE.
- MANHOLES GREATER THAN 16" IN DEPTH SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS ONLY.
- DESIGN APPLIES TO 4" TO 8" I.D. MANHOLES.
- COMPACT ALL BACKFILL AROUND MANHOLE TO 95% (ASTM).
- USE NON-SINK GROUT FOR JOINTS, FILLETS AND PIPE PENETRATIONS.
- POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAN LINE.
- MANHOLES GREATER THAN 24" IN DEPTH WILL REQUIRE A SEPARATE STRUCTURAL DESIGN.

**CONSTRUCTION NOTES**

- CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF MANHOLE TO RELY ON FIRST JOINT AND SHALL CRADLE PIPE TO SPRING LINE NOT APPLICABLE FOR FLEXIBLE PIPE.
- PIPE PENETRATION INTO MANHOLE SHALL BE FLUSH TO 2" MAX. MEASURED AT SPRINGLINE OF PIPE.
- MANHOLE MAY BE CONSTRUCTED OF CONCRETE BLOCK, POURED CONCRETE, OR PRECAST REINFORCED CONCRETE. IF BLOCK IS USED, APPLY 1/2" THICK MORTAR COATING TO EXTERIOR AND INTERIOR OF MANHOLE. IF PRECAST CONCRETE IS USED, USE MASTIC GASKETS AND APPLY NON-SINK GROUT TO EXTERIOR AND INTERIOR OF SEPARATION JOINTS OR USE WATER-TIGHT RUBBER GASKETS. IF RUBBER GASKETS ARE USED, THE MANHOLE SECTIONS DO NOT NEED TO BE GROUTED BUT THE MANUFACTURER MUST STAMP THE INTERIOR OF EACH PRECAST SECTION WITH THE TYPE OF GASKET USED.
- PRECAST CONCRETE TOP SLAB, SEE STANDARD DRAWING 2212.
- USE MAX. 4 COURSES GRADE MS BRICK ON UNPAVED STREET FOR FUTURE ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE.
- CONCRETE BASE TO BE POURED IN PLACE USING NO. 4 BARS AT 6" O.C. EACH WAY FOR MANHOLE DEPTHS OF 16" OR GREATER. NO. 4 BARS AT 12" O.C. EACH WAY FOR MANHOLE DEPTH OF LESS THAN 16".
- INVERT ELEVATION AS SHOWN ON PLANS. PROVIDE 0.1% (MINIMUM) OF FALL BETWEEN INVERT(S)-IN AND INVERT-OUT.
- 6" GROUT FILL ON UPPER HALF OF PIPE AND AROUND BASE.
- OPTIONAL CONCRETE PAD, SEE STANDARD DWG. 2461 FOR REFERENCE.
- MANHOLE FRAME AND COVER, SEE DRAWING 2210.
- CONCRETE, SEE SPECIFICATION SECTION 101.
- SLOPE 1" PER FT. FROM PIPE CROWN.
- NO. SHELF TO BE 3/4" WIDE MIN.
- APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.
- STEPS TO BE INSTALLED PER STANDARD SPECIFICATION SECTION 920 AND DRAWING 2229.
- ELECTRONIC MARKER DEVICE (EMD) SEE STANDARD SPECIFICATION SECTION 170.
- CONCRETE COLLAR IN UNPAVED AREAS, SEE STANDARD DRAWING 2461.
- APPLY 1/2" THICK MORTAR COATING TO INTERIOR OF OPENING.
- #4 REBAR PER STANDARD DRAWING 2461.
- TOP OF CHORICE COLLAR SHALL BE STAMPED WITH LINE SIZE AND FLOW DIRECTION ARROWS MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT.

**REVISIONS**

NO.	DESCRIPTION	DATE
1	DRAINAGE STORM SEWER MANHOLE TYPE "C"	JUNE 2019
2		

**24" MANHOLE TOP VIEW**

**24" MANHOLE BOTTOM VIEW**

**36" MANHOLE TOP VIEW**

**36" MANHOLE BOTTOM VIEW**

**SECTION B-B**

**SECTION A-A**

10 SPACES AT 3 1/4" O.C. = 36"

8 SPACES AT 3 1/4" O.C. = 31 1/2"

**GENERAL NOTES**

- ALL BARS SHALL BE GRADE A36 STRUCTURAL STEEL.
- THE GRATE SHALL BE WELDED TO 1/4" FILLET WELD AROUND BOTH SIDES OF CROSS BARS. 1/4" FILLET WELD BOTH SIDES OF BEARING BARS TO END BARS.
- AFTER CLEANING SURFACE OF SCALE, RUST, OILS, ETC., PAINT GRATE WITH ONE SHOP COAT RED OXIDE, TWO FINISH COATS ALUMINUM PAINT (CASHTO II 60).
- TOP OF CROSS BARS SHALL BE FLUSH WITH TOP OF GRATE.
- GRIND WELDS FLUSH WITH BEARING BARS.
- WHEN INSTALLED IN FRAME, PUSH TIGHT TO THE FRAME ON THE ROAD SIDE SO THAT IT IS FLUSH WITH THE FRAME. THE SIDE ALONG THE CURB LINE SIDE SHALL HAVE 1/8" MAX. OPENING SPACERS WELDED TO FRAME MAY BE USED IF REQUIRED TO KEEP 1/8" SPACE OR LESS.
- WHEN INSPECTING OR DOING ROAD REPAIR PROJECTS, IF THE GRATE IS NOT FLUSH WITH THE FRAME ON THE ROAD SIDE EDGE, COVER PLATES WELDED TO THE FRAME MAY BE USED TO COVER ANY GAPS.
- INSTALLED VOID SPACE AREA: 3.72 SQUARE FEET OR 0.36 SQUARE METERS. VOID SPACE CALCULATED AS TOTAL AREA EXCLUSIVE OF BEARING BARS, CROSS BARS, END BARS, FRAME, AND WELDS.

**CONSTRUCTION NOTES**

- BEARING BARS, (13) PL 1/2 x 3/8 x 39".
- END BARS, (2) PL 1/2 x 3 x 25".
- CROSS BARS, (9) 1/4 x 2 1/2 ROD.
- FRAME, SEE DWG. 2216.

**REVISIONS**

NO.	DESCRIPTION	DATE
1	DRAINAGE STORM INLET ALBUQUERQUE GRATE	JUNE 2019
2		

**HP STORM TRENCH INSTALLATION DETAIL**

**NOTES**

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2221. STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS. LATEST EDITION WITH THE EXCEPTION THAT THE RAIL BACKFILL MAY EXTEND TO THE CROWN OF THE PIPE. RAIL CLASSIFICATIONS ARE PER THE LATEST EDITION OF ASTM D2221. CLASS I, II MATERIALS (M, H) AS DEFINED IN PREVIOUS VERSIONS OF ASTM D2221 ARE NOT APPROPRIATE BACKFILL MATERIALS.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II, OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. COMPACTED SHALL BE 90% OF MAXIMUM DENSITY PER ASTM D1557 OR AS SHOWN ON THE PLANS. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 12"-24" (300mm-600mm) DIAMETER PIPE, 6" (150mm) FOR 30"-60" (750mm-1500mm) DIAMETER PIPE. THE MIDDLE 13 BENEATH THE PIPE INVERT SHALL BE LOGSIL FILLING.
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II, OR III IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2221. LATEST EDITION. FOR TRAFFIC APPLICATIONS, CLASS I, II MATERIAL SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 80% OF MAXIMUM DENSITY PER ASTM D1557. CLASS IV MATERIALS AS DEFINED IN ASTM D2221 ARE NOT APPROPRIATE BACKFILL MATERIALS.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (SEWERS OR LANDSCAPE AREAS) IS 12" (300mm) FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTTATION. FOR TRAFFIC APPLICATIONS, CLASS I OR II MATERIAL, COMPACTED TO 90% 9PD AND CLASS II COMPACTED TO 80% 9PD IS REQUIRED. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" (300mm) UP TO 48" (1200mm) DIAMETER PIPE AND 24" (600mm) OF COVER FOR 60" (1500mm) DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO BOTTOM OF RIGID PAVEMENT.
- FOR ADDITIONAL INFORMATION SEE TECHNICAL NOTE 2.04.

**TABLE 1. RECOMMENDED MINIMUM TRENCH WIDTHS**

PIPE DIAM.	MIN. TRENCH WIDTH
12" (300mm)	30" (762mm)
15" (375mm)	34" (863mm)
18" (450mm)	38" (965mm)
24" (600mm)	42" (1067mm)
30" (750mm)	46" (1169mm)
36" (900mm)	50" (1271mm)
42" (1050mm)	54" (1373mm)
48" (1200mm)	58" (1475mm)
54" (1350mm)	62" (1577mm)

**TABLE 2. MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS**

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-20	HEAVY CONSTRUCTION (100 kIP AXLE LOAD)
12" - 48" (300mm - 1200mm)	12" (305mm)	48" (1219mm)
60" (1500mm)	24" (610mm)	60" (1524mm)

**TABLE 3. MAXIMUM COVER FOR HP STORM PIPE A**

PIPE DIA.	SURFACE LIVE LOADING CONDITION	
	CLASS I	CLASS II
12"	4"	8"
15"	6"	12"
18"	8"	16"
24"	12"	24"
30"	16"	32"
36"	20"	40"
42"	24"	48"
48"	28"	56"
54"	32"	64"
60"	36"	72"
66"	40"	80"
72"	44"	88"
78"	48"	96"
84"	52"	104"
90"	56"	112"
96"	60"	120"
102"	64"	128"
108"	68"	136"
114"	72"	144"
120"	76"	152"
126"	80"	160"
132"	84"	168"
138"	88"	176"
144"	92"	184"
150"	96"	192"

FILL HEIGHT TABLE GENERATED USING AASHTO SECTION 12. LOAD RESISTANCE FACTOR DESIGN (LRFD) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS:  
NO HYDROSTATIC PRESSURE  
UNIT WEIGHT OF SOIL (γs) = 120 PCF

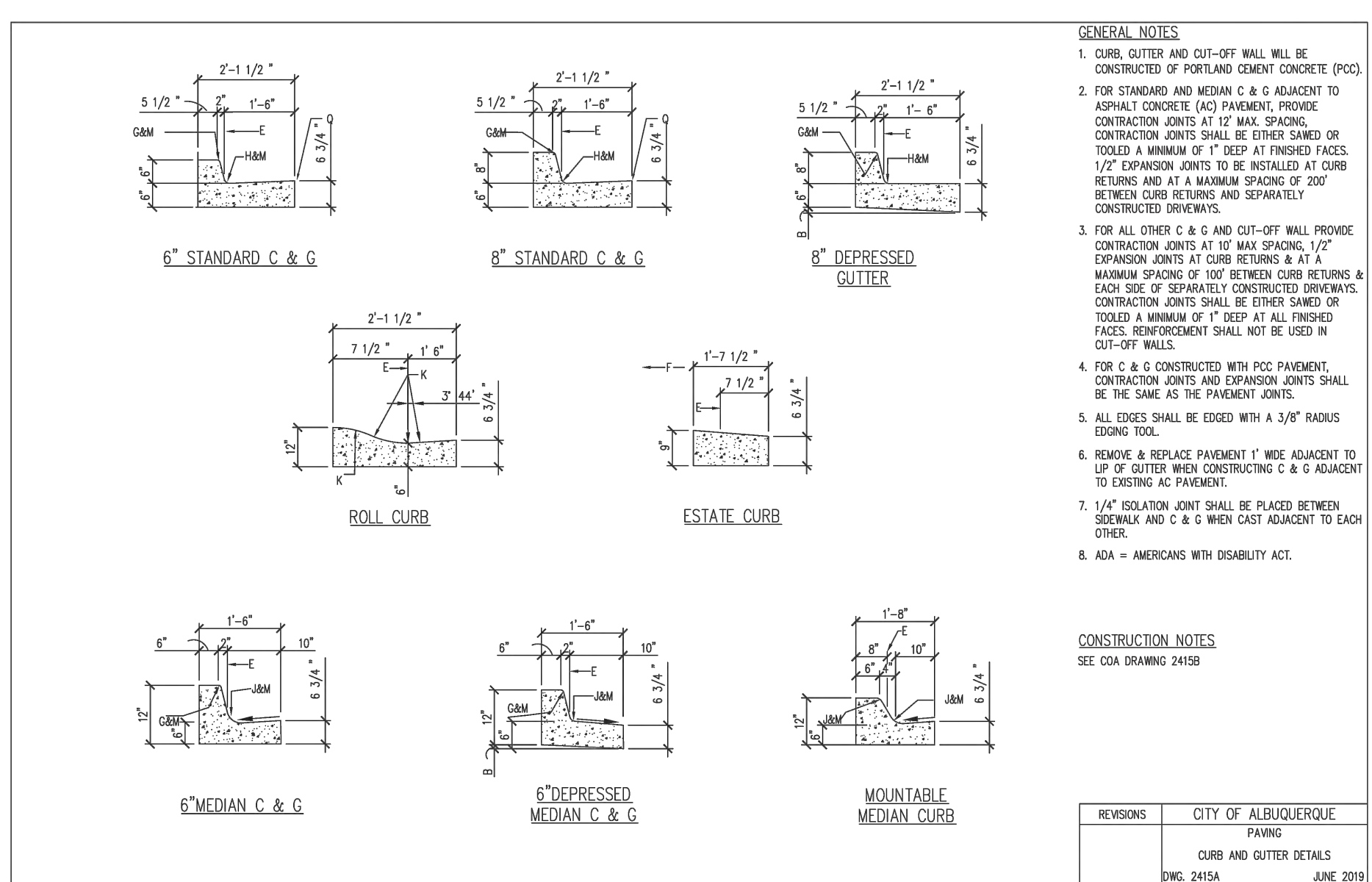
**REVISIONS**

NO.	DESCRIPTION	DATE
1	DRAINAGE HP PP STORM TRENCH INSTALLATION	MAY 2020
2		

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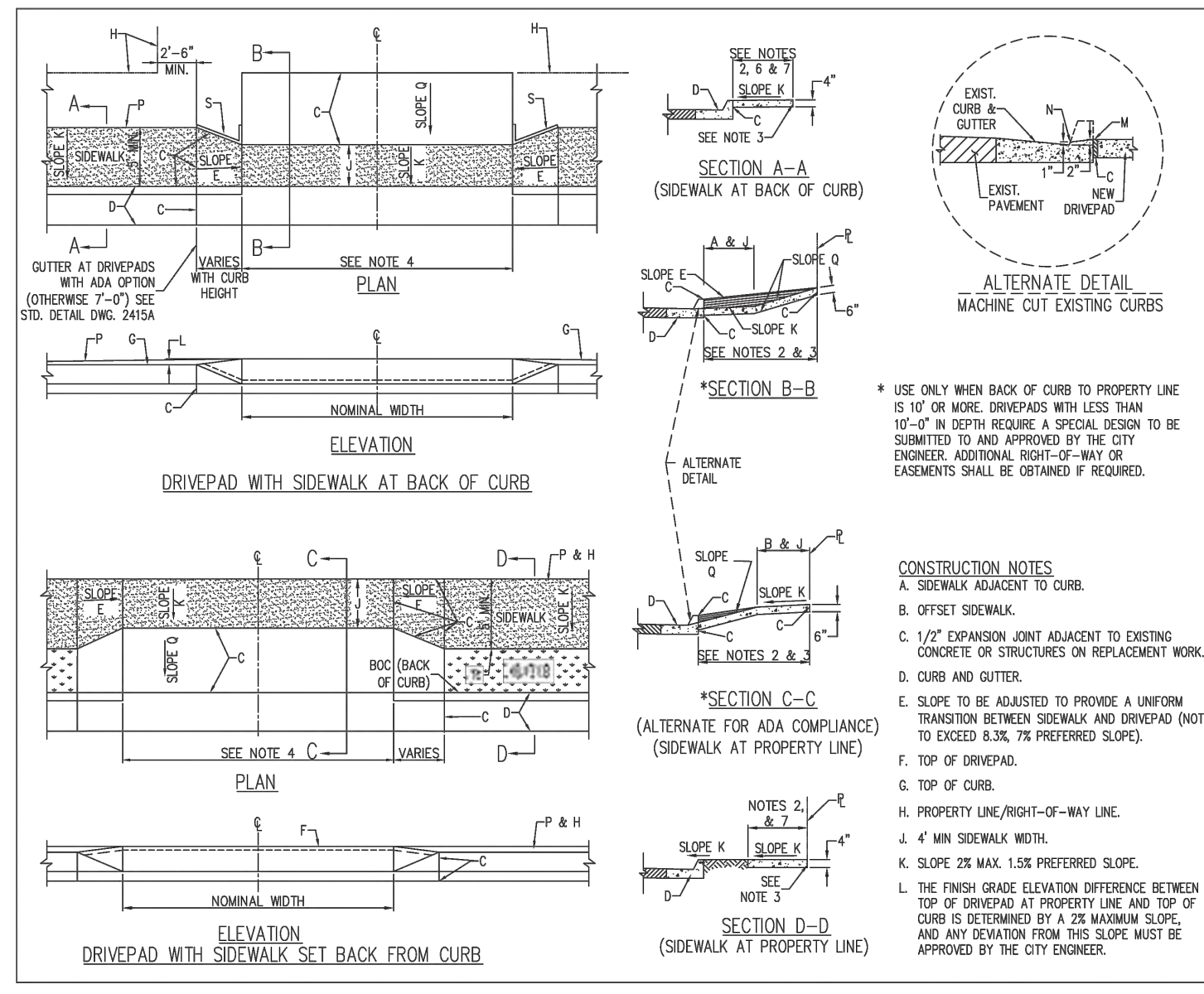


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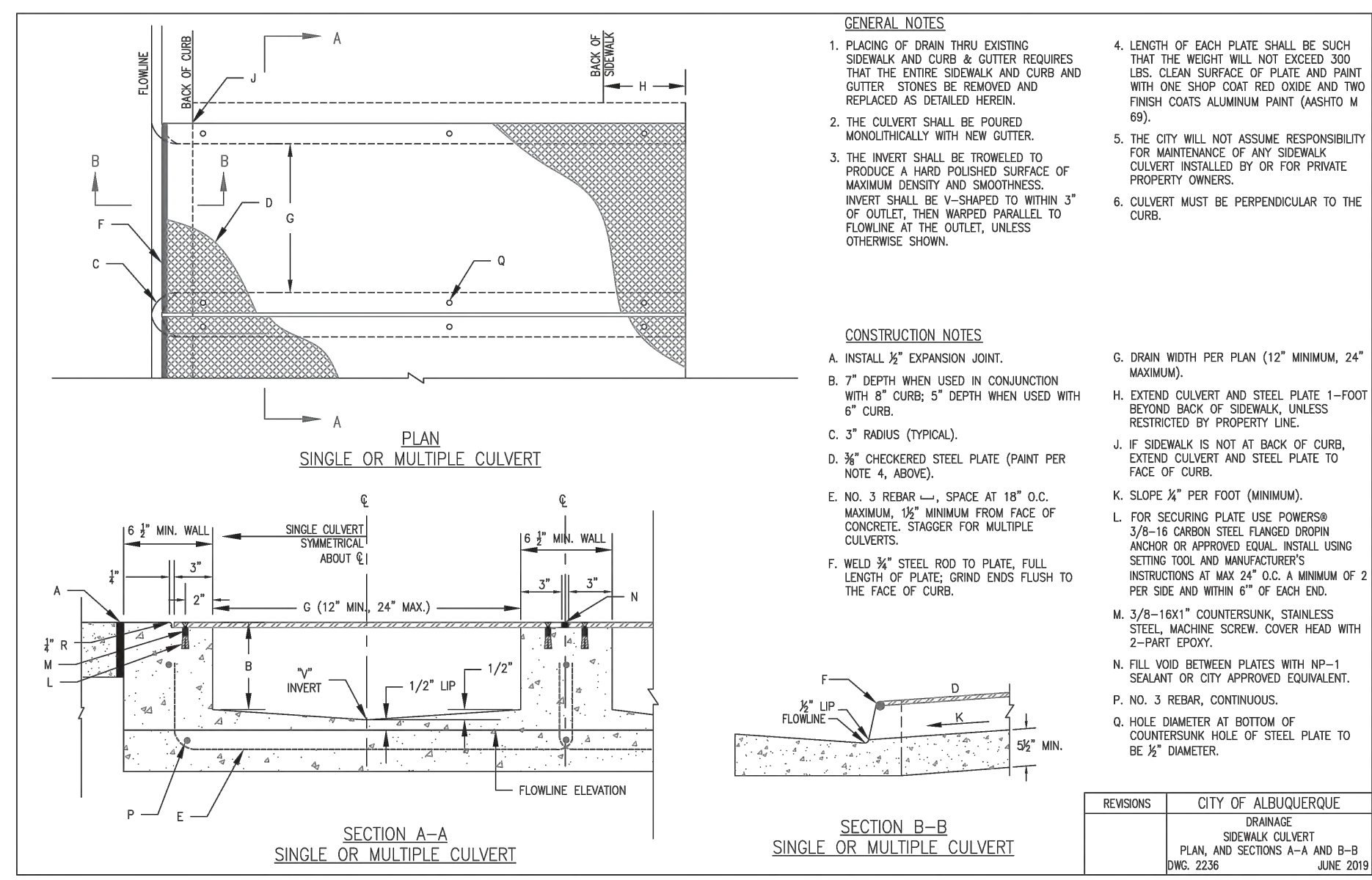
**GENERAL NOTES**  
1. CURB, GUTTER AND CUT-OFF WALL SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC) WITH A MINIMUM 3,000 PSI COMPACTED SUBGRADE.  
2. FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT PAVEMENT (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING. CONTRACTION JOINTS SHALL BE EITHER SAND OR TOoled A MINIMUM OF 1\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
CURB AND GUTTER DETAILS	DWG. 2415A
	JUNE 2019



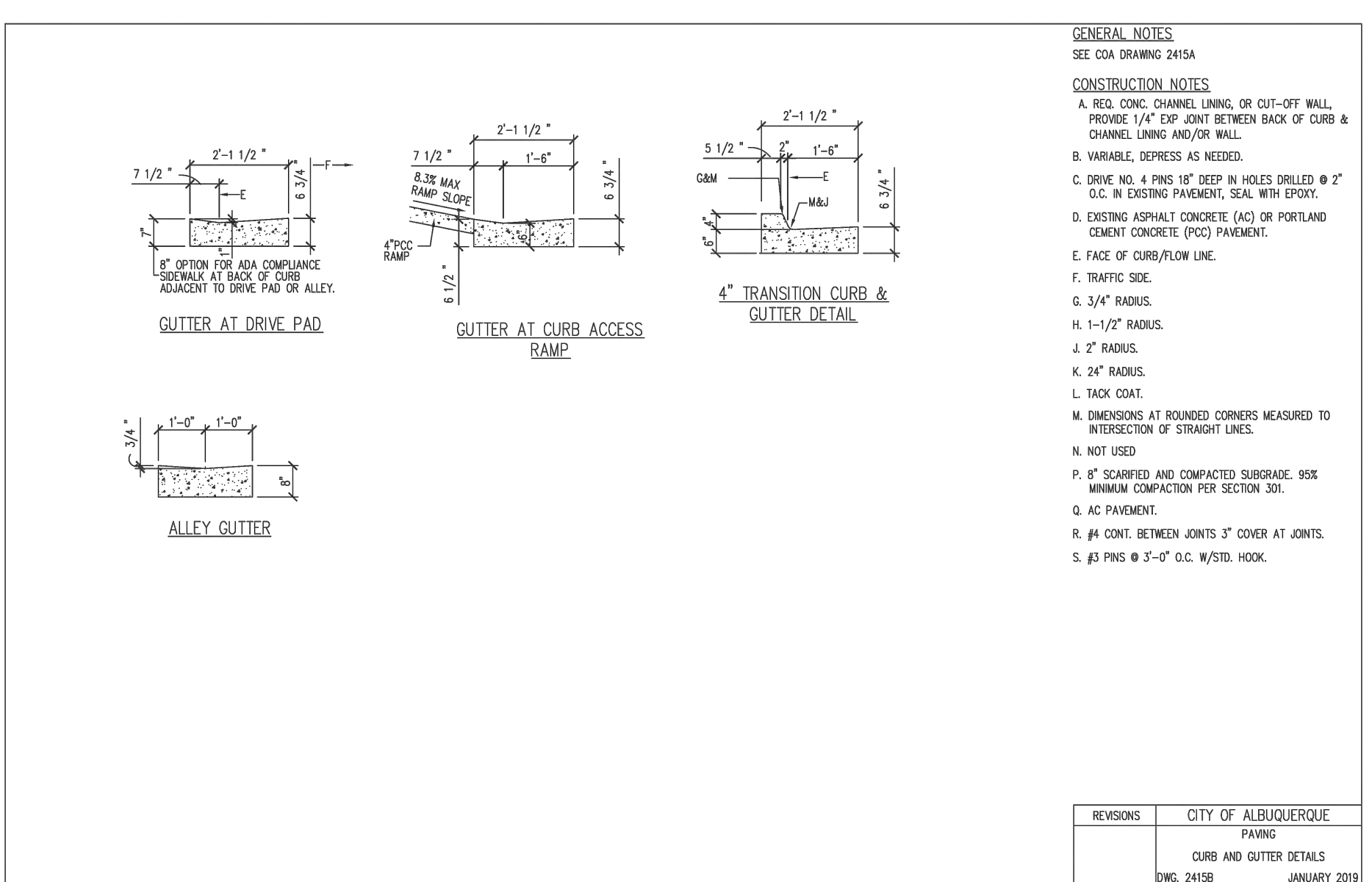
**GENERAL NOTES**  
1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.  
2. REQUEST FOR SIDEWALK VARIANCES SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW BOARD.  
3. USE 1/2\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
DRIVEPADS	DWG. 2425A
	JUNE 2019



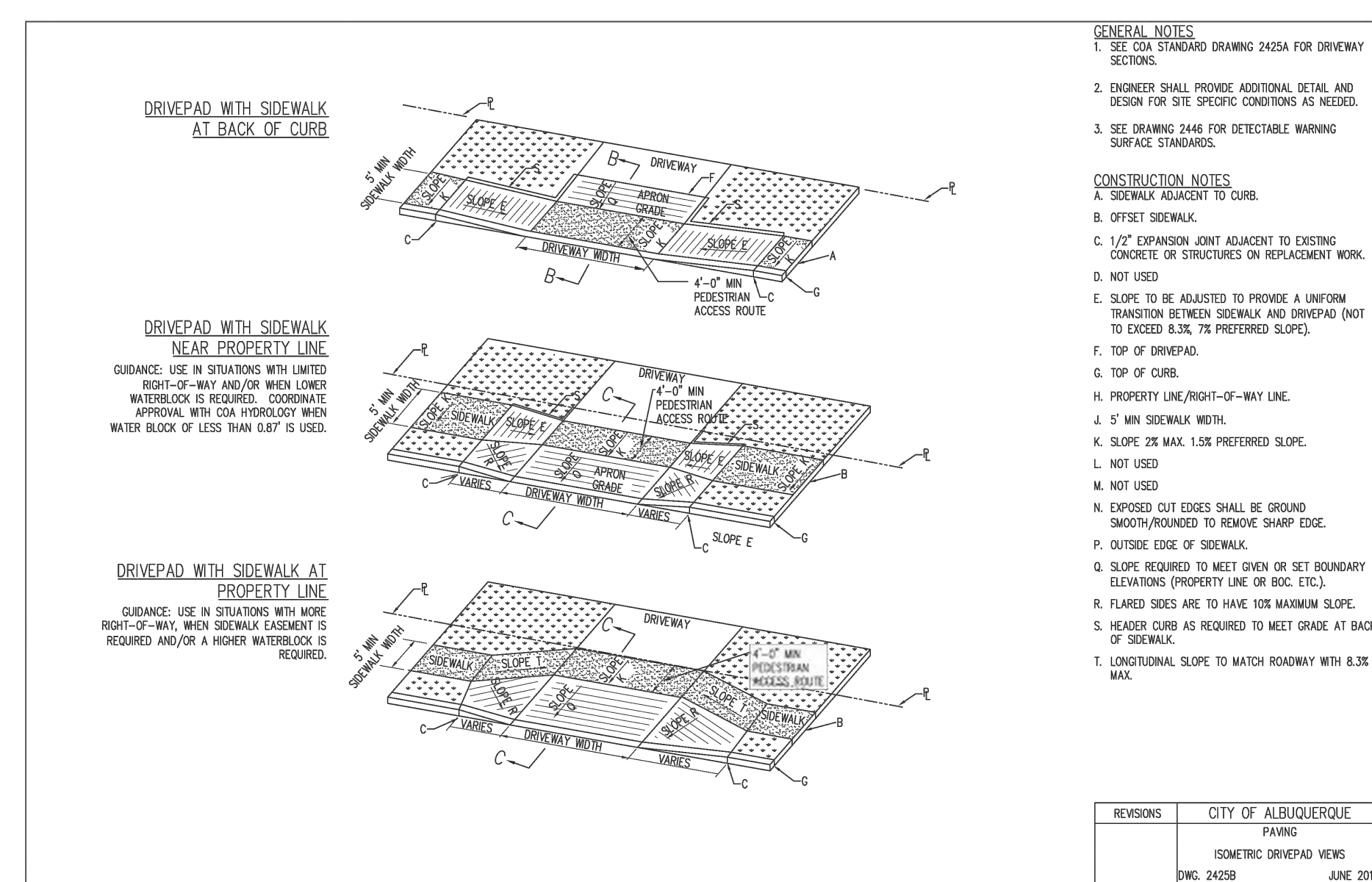
**GENERAL NOTES**  
1. PLACING OF DRAIN THRU EXISTING SIDEWALK AND CURB & GUTTER REQUIRES THAT THE ENTIRE SIDEWALK AND CURB AND GUTTER STORIES BE REMOVED AND TWO FINISH COATS ALUMINUM PAINT (ASHITO M 89).  
2. THE CURB SHALL BE POLISHED MONOCOLORIALLY WITH NEW GUTTER.  
3. THE INVERT SHALL BE TROTTLED TO PRODUCE A HARD POLISHED SURFACE OF MAXIMUM DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 1\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
SIDEWALK GUTTER PLAN AND SECTIONS A-A AND B-B	DWG. 2236
	JUNE 2019



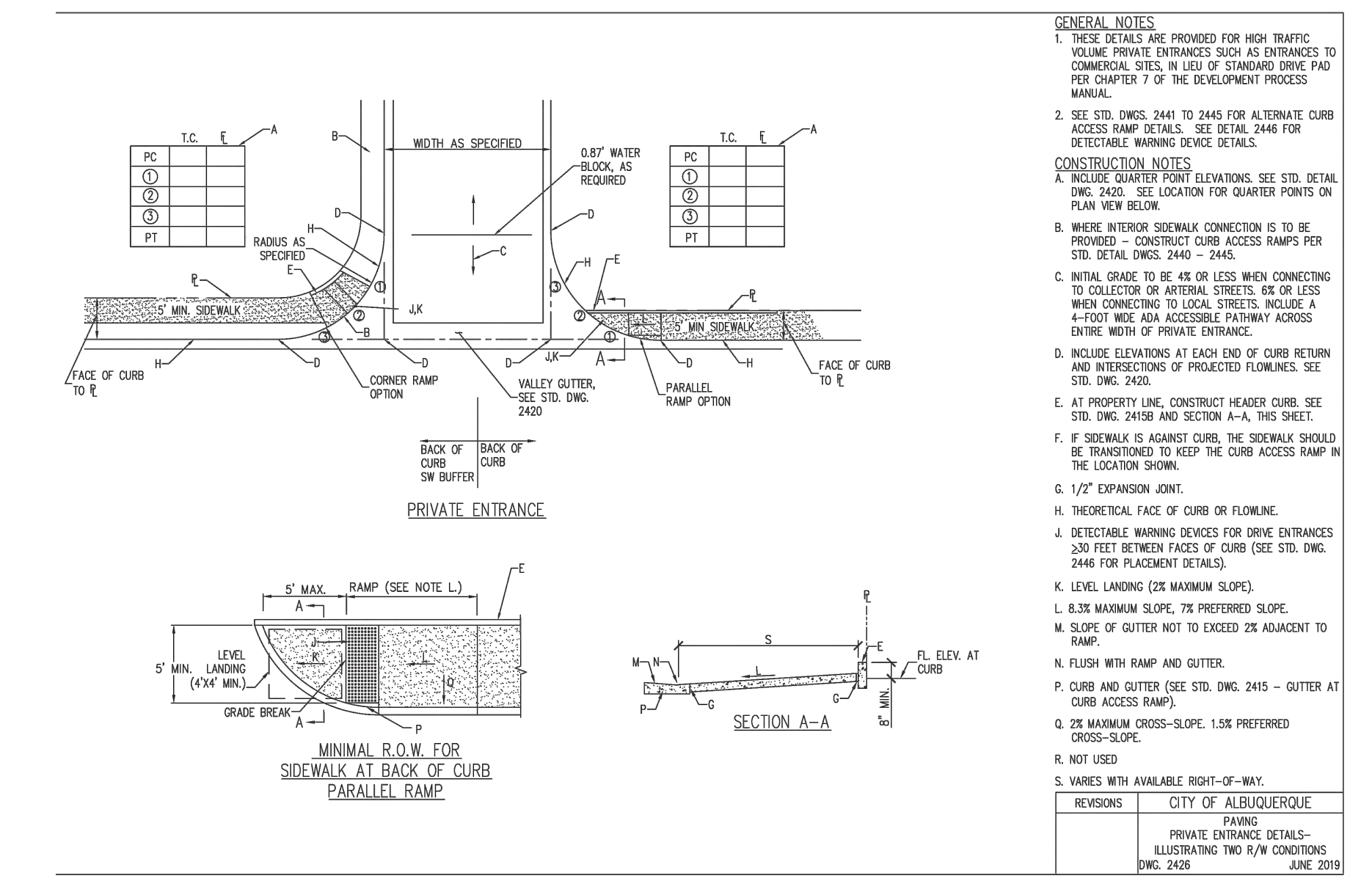
**GENERAL NOTES**  
1. SEE CGA STANDARD DRAWING 2425A.  
**CONSTRUCTION NOTES**  
A. REG. CONC. CHANNEL LINING, OR CUT-OFF WALL, PROVIDE 1/4\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
CURB AND GUTTER DETAILS	DWG. 2415B
	JANUARY 2019



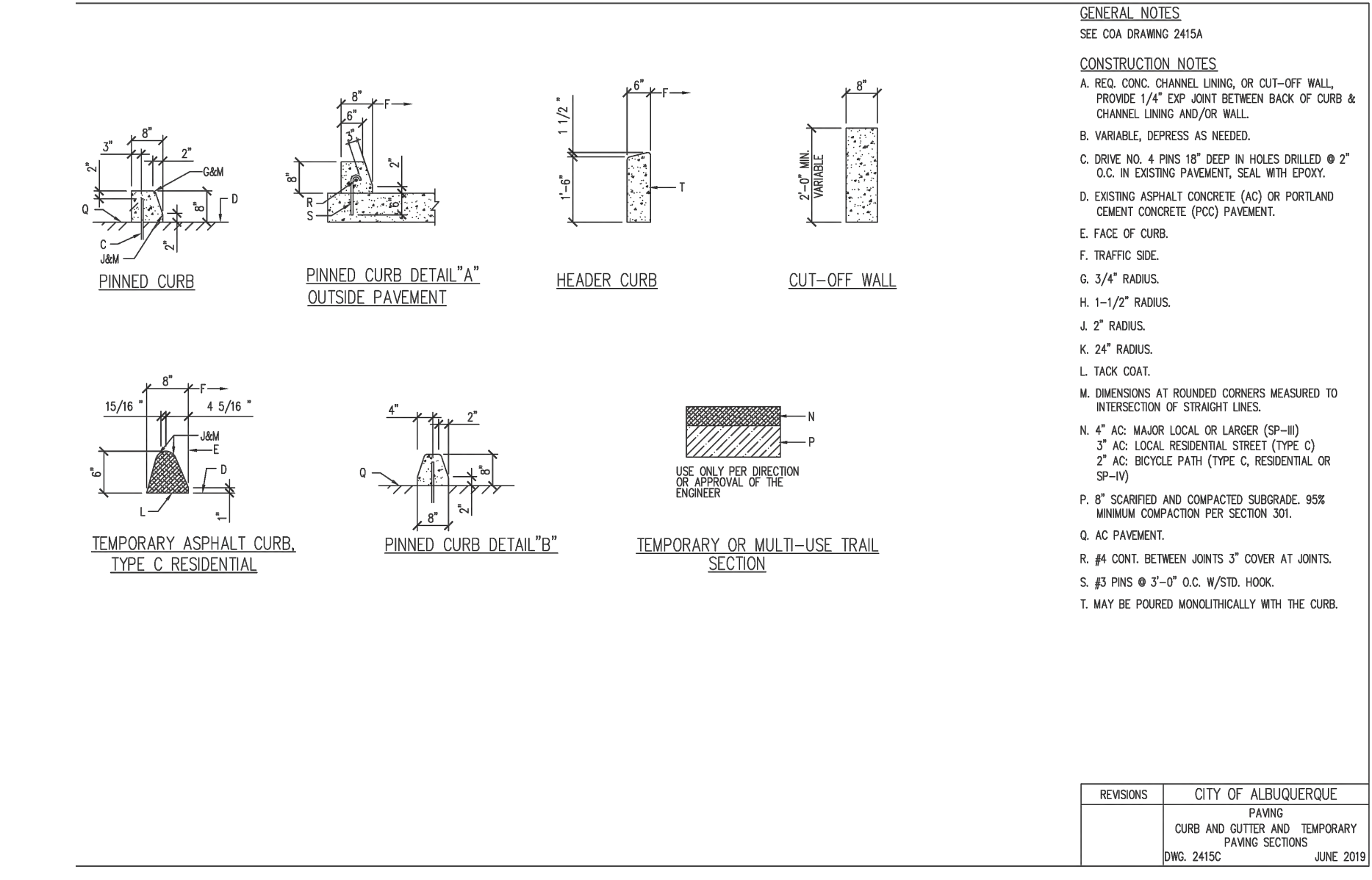
**GENERAL NOTES**  
1. SEE CGA STANDARD DRAWING 2425A FOR DRIVEWAY SECTIONS.  
2. ENGINEER SHALL PROVIDE ADDITIONAL DETAIL AND DESIGN FOR SITE SPECIFIC CONDITIONS AS NEEDED.  
3. SEE DRAWING 2446 FOR DETECTABLE WARNING SURFACE STANDARDS.  
**CONSTRUCTION NOTES**  
A. SIDEWALK ADJACENT TO CURB.  
B. OFFSET SIDEWALK.  
C. 1/2\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
ISOMETRIC DRIVEPAD VIEW	DWG. 2425B
	JUNE 2019



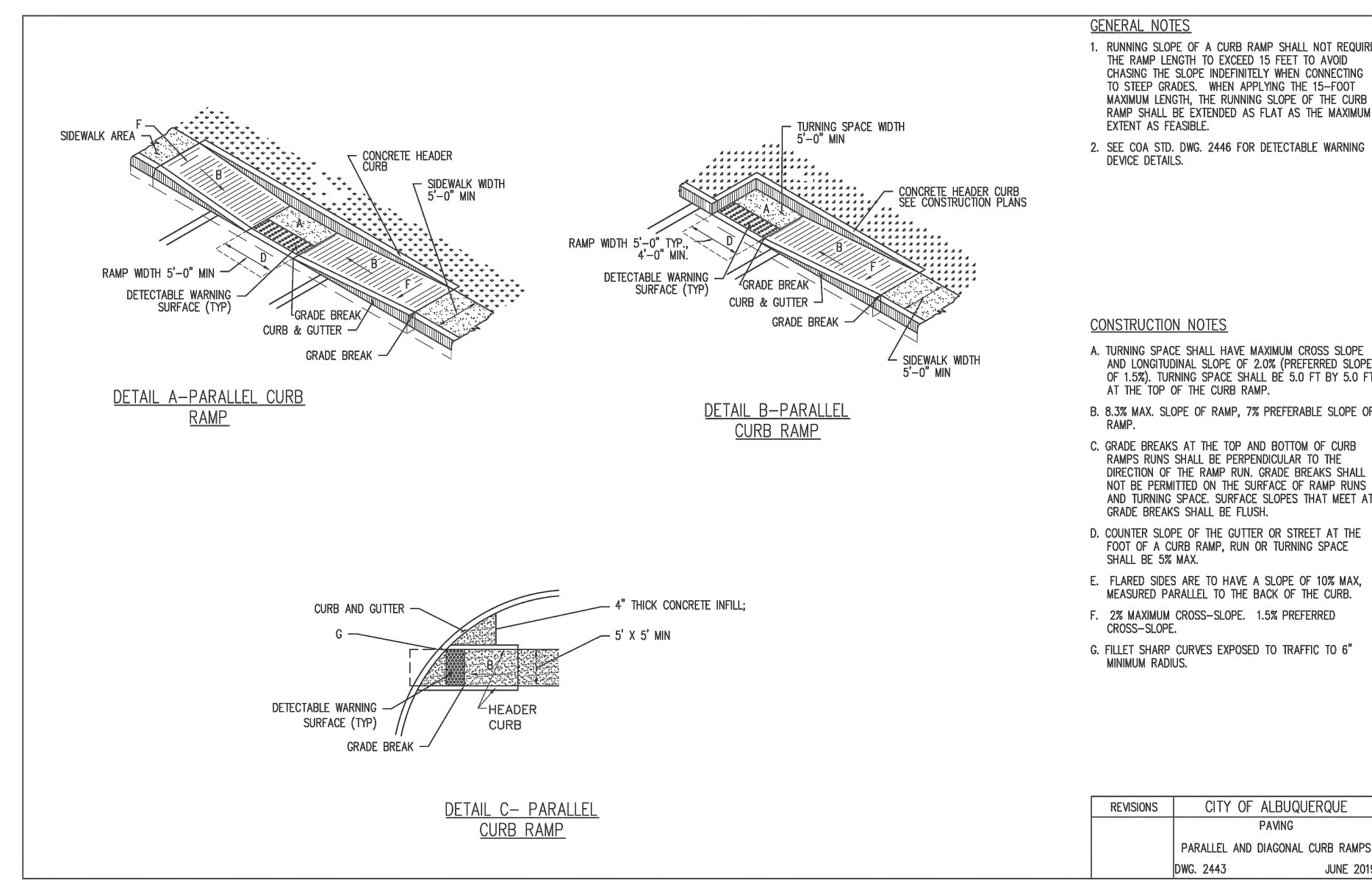
**GENERAL NOTES**  
1. THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC VOLUME PRIVATE ENTRANCES SUCH AS ENTRANCES TO COMMERCIAL SITES IN LEU OF STANDARD DRIVE PAD PER CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL.  
2. SEE STD. DWG. 2441 TO 2445 FOR ALTERNATE CURB ACCESS RAMP DETAILS. SEE DETAIL 2446 FOR DETECTABLE WARNING SURFACE STANDARDS.  
**CONSTRUCTION NOTES**  
A. WALKER GUTTER POINT ELEVATIONS: SEE STD. DETAIL DWG. 2420. SEE LOCATION FOR QUARTER POINTS ON PLAN VIEW BELOW.  
B. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PROVIDED - CONSTRUCT CURB ACCESS RAMP PER STD. DETAIL DWG. 2440 - 2445.  
C. INITIAL GRADE TO BE AS OR LESS WHEN CONNECTING TO COLLECTOR OR ARTERIAL STREETS, OR LESS WHEN CONNECTING TO LOCAL STREETS, INCLUDING A 4-FOOT WIDE ADA ACCESSIBLE PATHWAY ACROSS DRIVEWAY INTO PRIVATE ENTRANCE.  
D. INCLUDE ELEVATIONS AT EACH END OF CURB RETURN AND INTERSECTIONS OF PROJECTED FLOWLINES. SEE STD. DWG. 2420.  
E. AT PROPERTY LINE, CONSTRUCT HEADER CURB. SEE STD. DWG. 2415 AND SECTION A-A, THIS SHEET.  
F. SIDEWALK IS ADJACENT CURB: THE SIDEWALK SHOULD BE TRANSDUCED TO KEEP THE CURB ACCESS RAMP IN THE LOCATION SHOWN.  
G. 1/2\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
PRIVATE ENTRANCE DETAILS- ILLUSTRATING TWO R/W CONDITIONS	DWG. 2426
	JUNE 2019



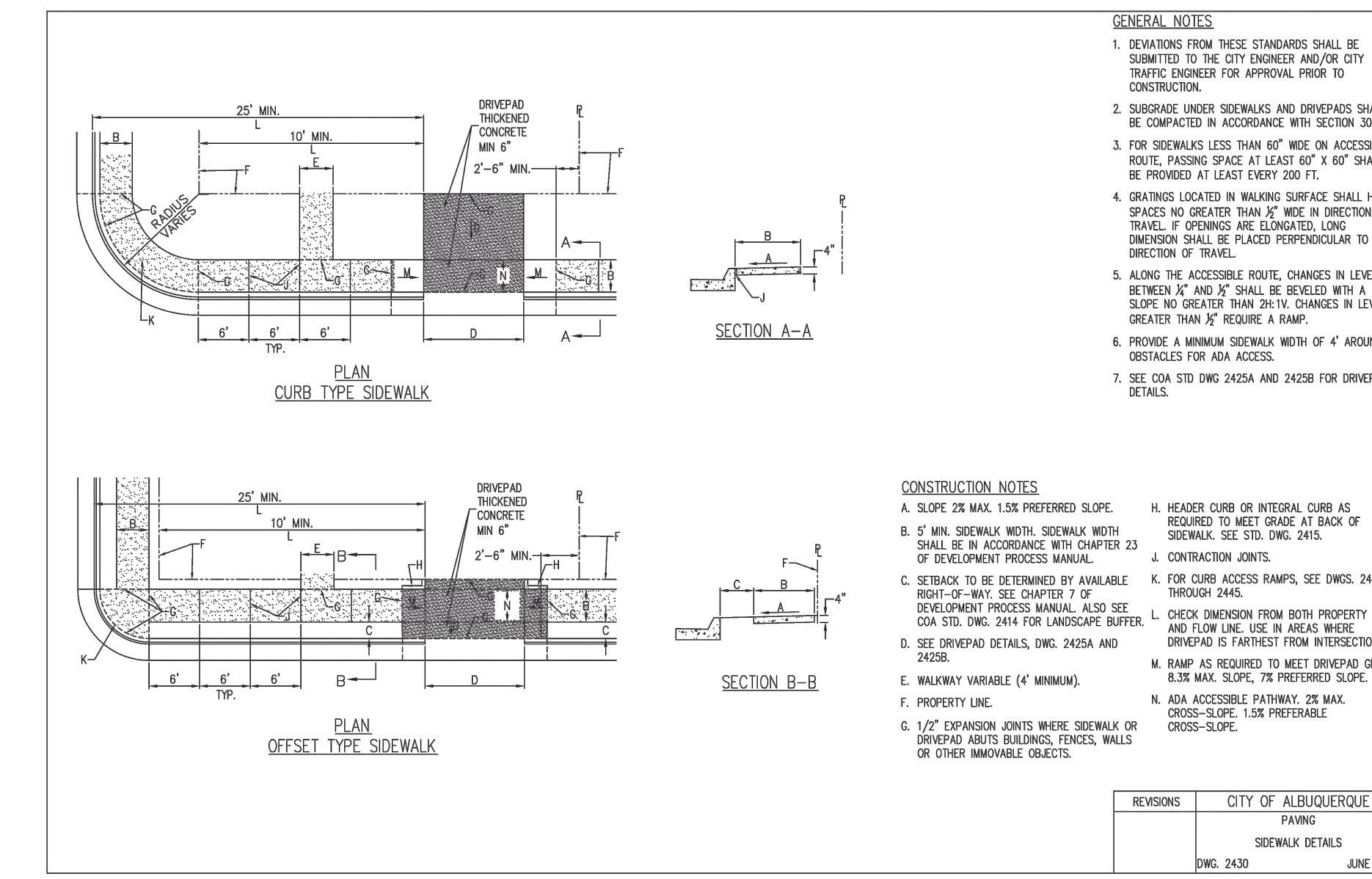
**GENERAL NOTES**  
1. SEE CGA DRAWING 2415A.  
**CONSTRUCTION NOTES**  
A. REG. CONC. CHANNEL LINING, OR CUT-OFF WALL, PROVIDE 1/4\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
CURB AND GUTTER AND TEMPORARY PAVING SECTIONS	DWG. 2415C
	JUNE 2019



**GENERAL NOTES**  
1. TURNING SPACE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 10 FEET TO AVOID CHANGING THE SLOPE DRASTICALLY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 10-FOOT MAXIMUM TURNING SPACE, THE TURNING SPACE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.  
2. SEE CGA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.  
**CONSTRUCTION NOTES**  
A. TURNING SPACE SHALL HAVE MAXIMUM CROSS-SLOPE AND LONGITUDINAL SLOPE OF 1.5% PREFERRED SLOPE OF 1.5%. TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.  
B. 0.3% MAX. SLOPE OF RAMP, 7% PREFERRED SLOPE OF RAMP.  
C. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RINGS SHALL BE PERPENDICULAR TO THE DIRECTION OF RAMP. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.  
D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP AND/OR TURNING SPACE SHALL BE 2% MAX.  
E. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX. THROUGH 24\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
PARALLEL AND DIAGONAL CURB RAMP	DWG. 2443
	JUNE 2019



**GENERAL NOTES**  
1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.  
2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 301.  
3. FOR SIDEWALKS LESS THAN 6\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	
SIDEWALK DETAILS	DWG. 2430
	JUNE 2019

**CITY DETAILS**  
CIRCLE K, INC  
LOT 1A, SNOW VISTA INVESTORS  
9800 DE VARGAS RD.  
ALBUQUERQUE, NEW MEXICO 87121

PROJECT NO.	DRAWN BY	CHECKED BY	DATE	REVISIONS	DATE
JM-DW25001	ASR, JK, GFK	JK, GFK	11/17/23	1	11/17/23
				2	12/18/25

ISSUE DATE: 12/19/2025

C 720

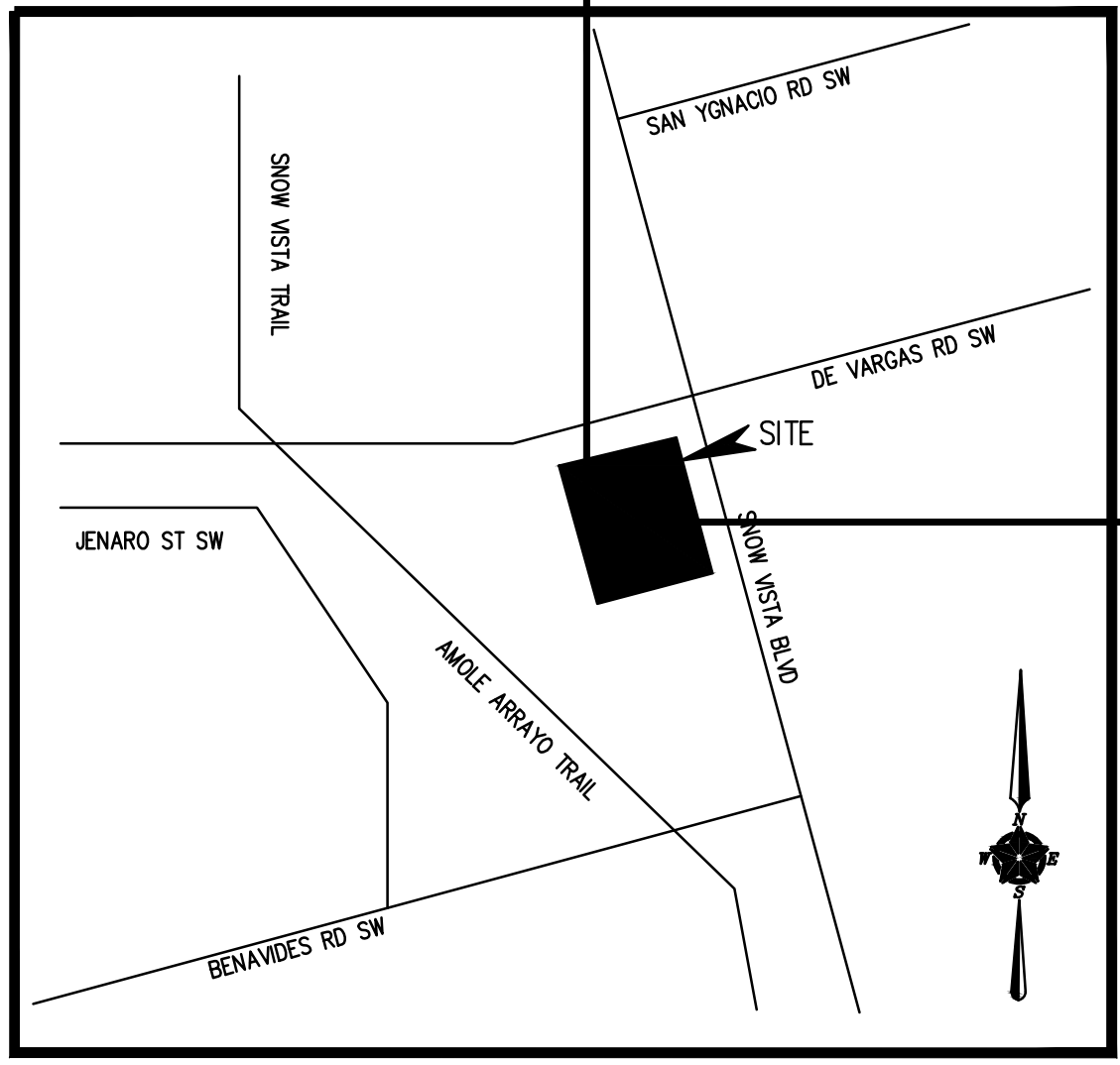
C:\CIRCLE K\DW25001\98TH DE VARGAS RD - ALBUQUERQUE, NM\_CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE NM - 2426 MASTER.DWG 12/19/2025 1:43 PM GAVIN KLEINEBECKER

**CAUTION NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**BENCHMARKS**  
 ACS MONUMENT 2\_L7 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'

**FLOODNOTE**  
 BASED UPON SCALING THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY FEMA AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H AS PER ALTA SURVEY

SITE DATA TABLE		
LOCATION:	SNOW VISTA BLVD DE VARGAS RD SW ALBUQUERQUE, NM 87121	
LOT AREA:	1.9274 AC. (83,955 S.F.)	
ZONING:	ZONING - NRC	
CURRENT USE:	VACANT	
PROPOSED USE:	C STORE W FUEL DISPENSING	
<b>BUILDING DATA:</b>		
BUILDING AREA	5,200 S.F.	
BUILDING HEIGHT	38' (1 STORY)	
BUILDING COVERAGE	6.19%	
F.A.R.	16:1	
<b>PARKING SUMMARY:</b>		
1 SP PER 200 SF (5,200 SF)	REQUIRED	PROVIDED
PARKING SPACES	25	25
ACCESSIBLE SPACES	1	2
TOTAL SPACES	26	27
MOTORCYCLE	2	2
BICYCLE	3	3



**JM CIVIL**  
 1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measels, PE  
 CIVIL ENGINEER



12/18/2025

**LOCATION MAP**  
 ZONE ATLAS MAP NO. M-9-Z  
 NOT TO SCALE

**SITE LEGEND:**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- PARKING COUNT
- FIRELANE
- ACCESSIBLE SPACES
- ADA RAMP
- BOLLARD
- TRAFFIC SIGN
- BOLLARD MOUNTED ACCESSIBLE SIGN
- STOP BAR & SIGN
- LIGHT POLE
- AREA DRAIN
- GREASE TRAP
- CLEAN-OUT
- DOUBLE CLEAN-OUT
- GAS METER
- WATER METER
- IRRIGATION METER
- MANHOLE
- CURB INLET

**PROPOSED PAVING LEGEND:**

- CONCRETE SIDEWALK, 4" MINIMUM WIDTH WITH MACRO FIBER REINFORCEMENT, 5'x5' TOoled JOINTS, AN FULL CONSTRUCTION JOINTS EVERY 50' W/ 6" COMPACTED SUBGRADE
- 6" NORMAL DUTY CONCRETE PAVEMENT, AT A MINIMUM 4,000 PSI AT 28 DAYS, MACRO FIBER REINFORCED. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- 4" ASPHALTIC CONCRETE PAVEMENT WITH 6" FLEX BASE COURSE WITH 6" COMPACTED SUBGRADE.
- 9" HEAVY DUTY CANOPY-TANK CONCRETE PAVEMENT, AT A MINIMUM 4,000 PSI AT 28 DAYS, MACRO FIBER REINFORCED. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- CITY OF ALBUQUERQUE STANDARD PAVING DETAIL #2405B.
- CONSTRUCTION JOINT
- EXPANSION JOINT
- SAWED JOINT
- LIMITS OF FULL DEPTH SAWCUT

**EXISTING LEGEND:**

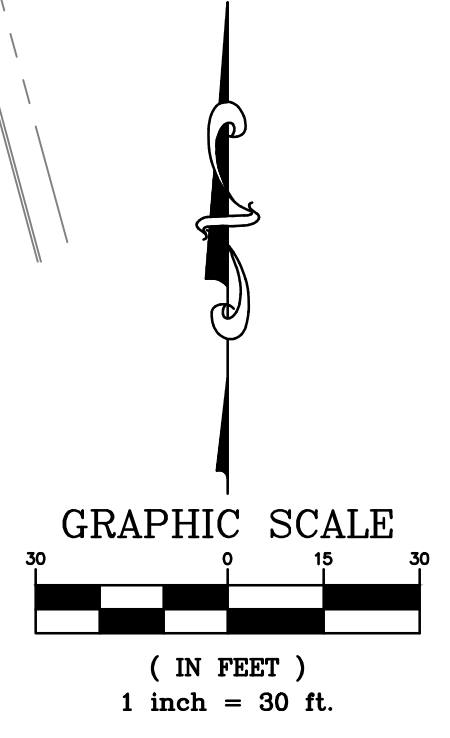
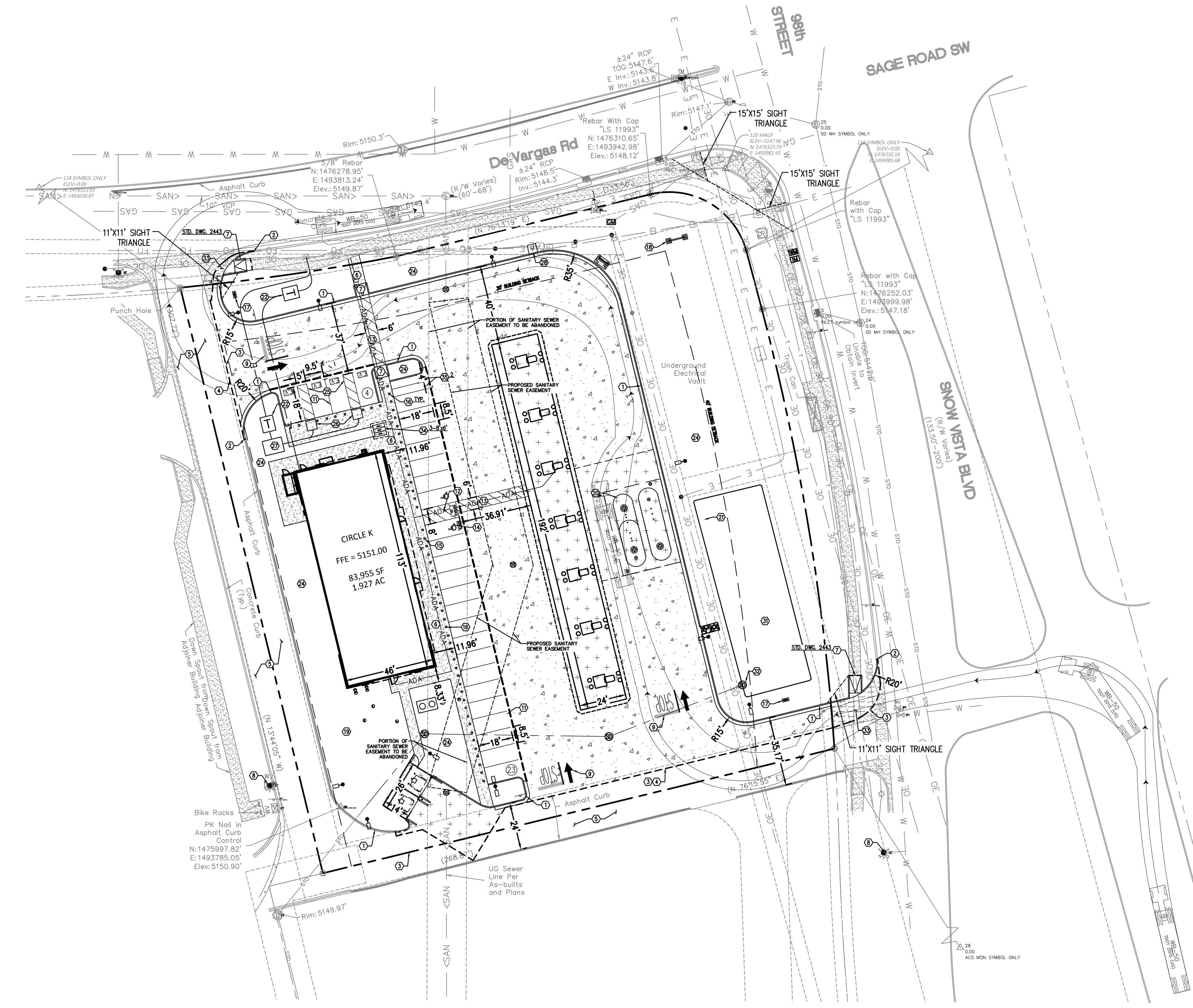
- ADJACENT PROPERTY/R.O.W LINE
- EXISTING EASEMENT LINE
- EXISTING ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- EXISTING CONCRETE PAVEMENT
- EX. SURVEYED MONUMENT
- EX. TEMPORARY BENCHMARK
- EX. SERVICE BOX
- EX. PULL BOX
- EX. ELECTRIC EQUIPMENT
- EX. WATER VALVE
- EX. STORM DRAIN MANHOLE
- EX. FIRE HYDRANT

**NOTES:**

1. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
2. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT. THEREFORE, SIGNS WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

**SITE KEY NOTES:**

- 1 CONCRETE CURB AND GUTTER. (CITY DETAIL #2415A & #2415B)
- 2 TAPER CURB TO MATCH EXISTING.
- 3 MATCH EXISTING PAVEMENT ELEVATION.
- 4 LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- 5 EXISTING PAVEMENT TO REMAIN.
- 6 CONCRETE SIDEWALK. 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE. (CITY DETAIL #2430)
- 7 SIDEWALK RAMP @ 8.33% MAX. (CITY DETAIL #2443)
- 8 EXISTING FIRE HYDRANT.
- 9 STOP BAR. (PER LOCAL CODES)
- 10 DIRECTIONAL TRAFFIC ARROW. (PER LOCAL CODES)
- 11 PARKING STALL STRIPING. (PER LOCAL CODES)
- 12 4" WIDE PAINTED STRIPES, 2' OFF CENTER @ 45'.
- 13 PEDESTRIAN/ACCESSIBLE CROSSWALK STRIPING.
- 14 ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- 15 ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- 16 BOLLARD.
- 17 PROPOSED LIGHT POLE.
- 18 MONUMENT/PYLON SIGN. (PER ARCH. PLANS)
- 19 DUMPSTER ENCLOSURE. (PER ARCH. PLANS)
- 20 FUEL STORAGE TANKS (PER M.E.P. PLANS)
- 21 FUEL TANK VENTS (PER M.E.P. PLANS)
- 22 PROPOSED PAD MOUNTED TRANSFORMER.
- 23 "STOP" SIGN.
- 24 LANDSCAPE AREA. (PER LANDSCAPE PLAN)
- 25 EV PARKING STALLS.
- 26 EV CHARGING EQUIPMENT.
- 27 EV POWER BANK/GENERATOR.
- 28 AIR/VAC. UNIT
- 29 DIRECTIONAL SIGN FOR DRIVE THRU.
- 30 STORAGE UNIT. (PER ARCH. PLANS)
- 31 DETENTION BASIN.
- 32 INLET. (SEE PLAN FOR SIZE)
- 33 CITY PAVEMENT PER DETAIL #2405B
- 34 BICYCLE PARKING. (PER ARCH. PLANS)
- 35 MOTORCYCLE PARKING.



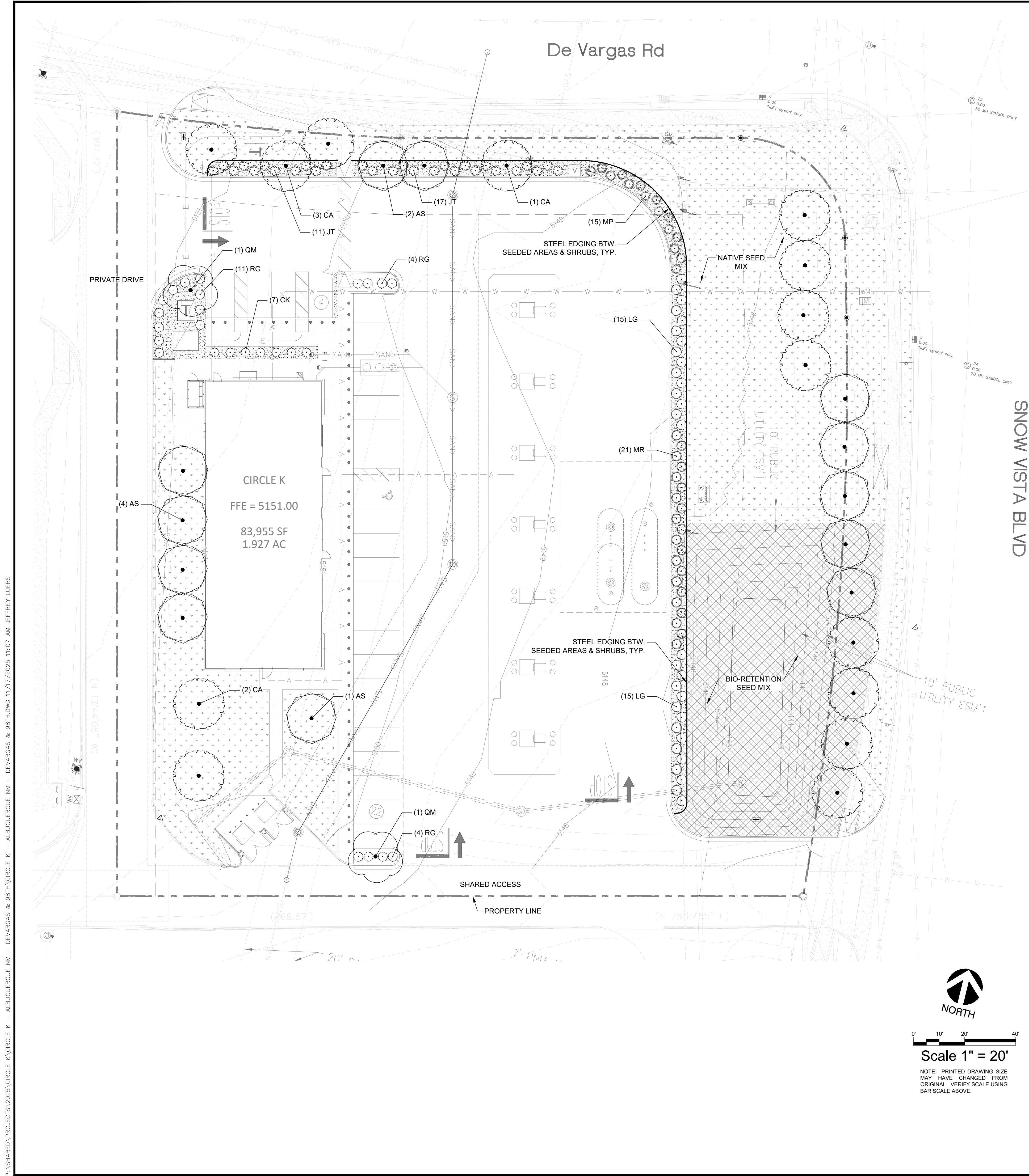
**TRAFFIC CIRCULATION LAYOUT**  
 CIRCLE K, INC  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION
1	11/17/25	INITIAL SUBMITTAL
2	12/18/25	2ND SUBMITTAL

**TCL**



J:\CIRCLE K\DM25001\98TH DE VARGAS RD - ALBUQUERQUE, NM - CURRENT DRAWINGS\JM-DM25001 - 24X36 MASTER.DWG 12/19/2025 1:43 PM GAVIN KLEINEBECKER



**LANDSCAPE CALCULATIONS**

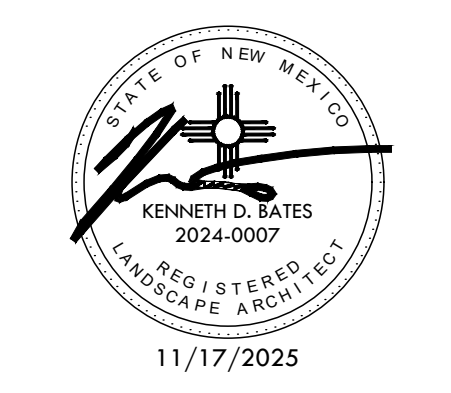
JURISDICTION:	CITY OF ALBUQUERQUE, NM
ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
NET SITE AREA:	83,942 SF / 1.92 AC
LANDSCAPE AREA REQUIRED:	12,591.3 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	34,786 SF (41% OF SITE AREA)
<b>STREET FRONTAGE LANDSCAPING</b>	
FRONTAGE LENGTH - DE VARGAS RD.:	297 LF
STREET TREES REQUIRED:	12 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	12 TREE*
*SOME TREES LOCATED IN ALTERNATIVE LOCATIONS DUE TO UTILITY CONFLICTS	
<b>FRONTAGE LENGTH - SNOW VISTA BLVD.:</b>	
FRONTAGE LENGTH - SNOW VISTA BLVD.:	313 LF
STREET TREES REQUIRED:	13 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	13 TREE*
*SOME TREES LOCATED IN ALTERNATIVE LOCATIONS DUE TO UTILITY CONFLICTS	
<b>PARKING LOT LANDSCAPING</b>	
TOTAL VEHICULAR USE AREA:	33,610 SF
SHARED ACCESS AREA:	3,756 SF
PARKING LOT AREA:	27,636 SF
LANDSCAPE AREA REQUIRED:	2,764 SF (10% OF PARKING AREA)
LANDSCAPE AREA PROVIDED:	2,764+ SF (10% OF PARKING AREA) PROVIDED
PERIMETER SCREENING:	
<b>TOTAL PARKING SPACES:</b>	
TOTAL PARKING SPACES:	26 SPACES
TREES REQUIRED:	3 TREE (1 TREE PER 10 SPACES)
TREES PROVIDED:	3 TREES*
*SOME TREES LOCATED IN ALTERNATIVE LOCATIONS DUE TO UTILITY CONFLICTS	
<b>TOTAL LANDSCAPE AREA:</b>	
TOTAL LANDSCAPE AREA:	34,786 SF
MINIMUM REQUIRED COVERAGE:	26,090 SF (75% OF LANDSCAPE AREA)
COVERAGE PROVIDED OVERALL:	32,739 SF (94%)
PROVIDED GROUND LEVEL COVERAGE:	32,739 SF (94%)

**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>TREES</b>					
	AS	Acer negundo 'Sensation' / Sensation Box Elder	2" Cal.	Cont. or B&B	12
	CA	Chilopsis linearis 'Art's Seedless' / Art's Seedless Desert Willow	2" Cal.	Cont. or B&B	14
	QM	Quercus muehlenbergii / Chinkapin Oak	2" Cal.	Cont. or B&B	2
<b>SHRUBS</b>					
	CK	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	3 gal.	Cont.	7
	JT	Juniperus chinensis 'Monlep' / Mint Julep® Chinese Juniper	5 gal.	Cont.	28
	LG	Leucophyllum frutescens 'Green Cloud' / Green Cloud Texas Sage	5 gal.	Cont.	30
	RG	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	1 gal.	Cont.	19
<b>GRASSES</b>					
	MR	Muhlenbergia rigens / Deer Grass	3 gal.	Cont.	21
	MP	Muhlenbergia rigida / Purple Muhly	3 gal.	Cont.	15
<b>GROUND COVERS</b>					
	LA	Bio-Retention Seed Mix Bouteloua gracilis 'Hachita' - 2 pls per 1 ac. Artemisia frigida - 25 pls per 1 ac. Sphaeralcea parvifolia - 25 pls per 1 ac. Oenothera pallida - 25 pls per 1 ac. Baileya multiradiata - 25 pls per 1 ac. Berlandiera lyrata - 25 pls per 1 ac.	seed		8,629 sf
	NM	Earthwise Seed Company / Southwest Native Meadowscape Mix Alter	seed		22,564 sf
<b>ROCK / STONE</b>					
	DR	Buildology Brown Fine 3" Compacted Rock Mulch over weed barrier/landscape fabric.			2,047 sf



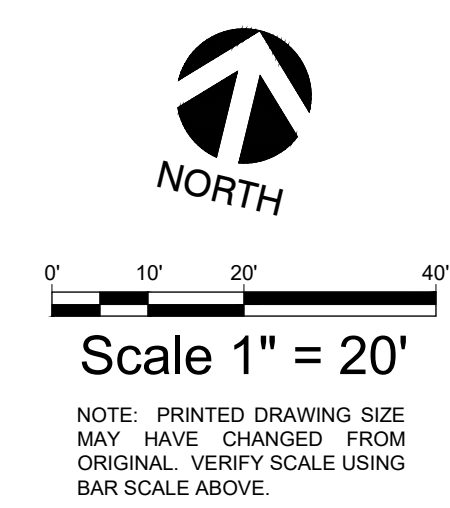
1101 Central Expressway South  
Suite 215  
Allen, TX 75013  
Ph. 214-491-1830  
John Measels, PE  
CIVIL ENGINEER



**LANDSCAPE PLANTING PLAN**  
CIRCLE K, INC  
5100 DE VARGAS RD AND SNOW VISTA BLVD  
ALBUQUERQUE, NEW MEXICO

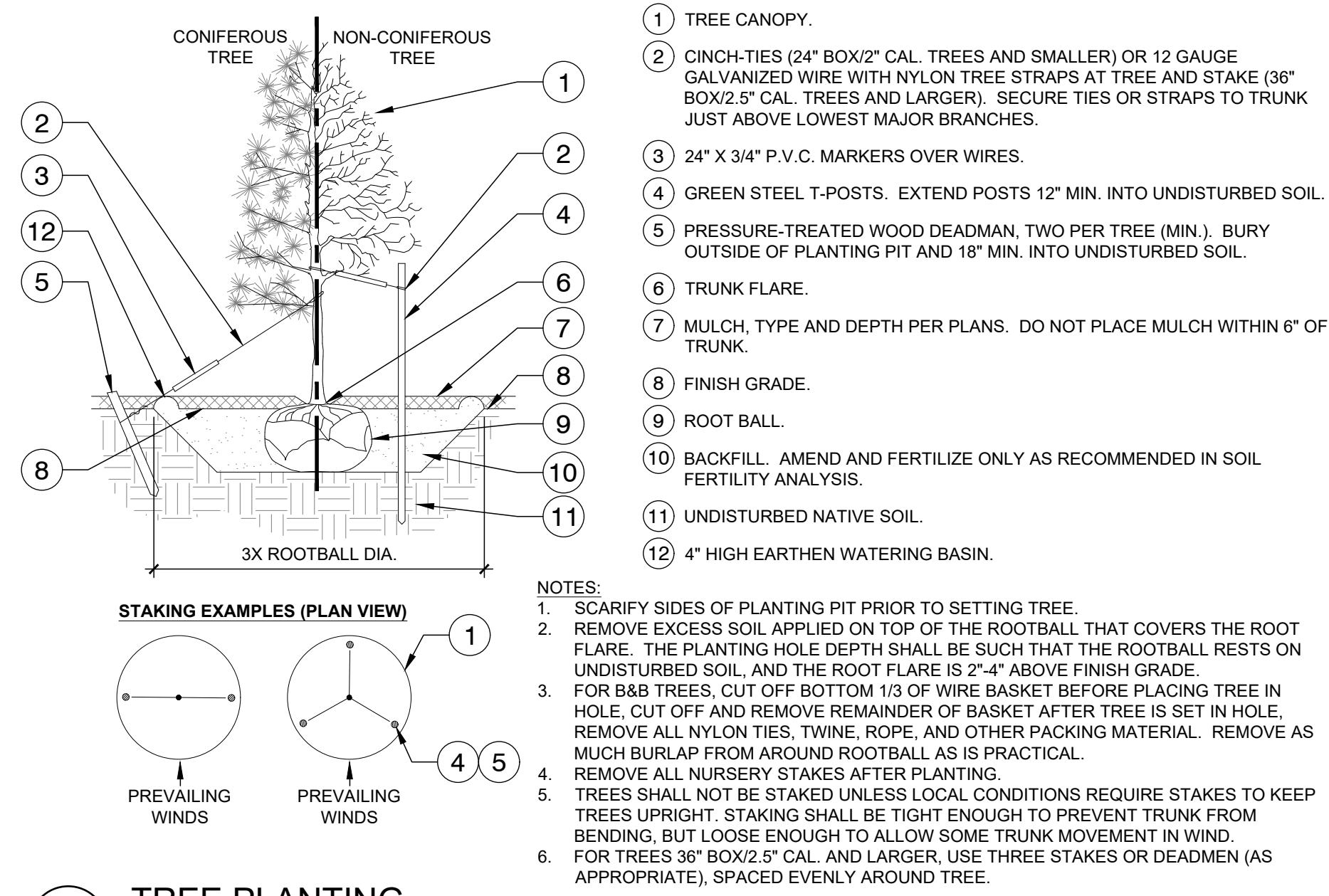
PROJECT NO:	JM-DWG25001
DRAWN BY:	JML
CHECKED BY:	KB
ISSUE DATE:	11/17/2025
REVISION	DESCRIPTION
1	SCHEMATIC, CIRCUIT
2	ADD SEWER RE-ROUTE
DATE	05/07/25
DATE	05/09/25
NAME	ASB

P:\SHARED\PROJECTS\2025\CIRCLE K - ALBUQUERQUE NM - DE VARGAS & 98TH\CIRCLE K - ALBUQUERQUE NM - DE VARGAS & 98TH.DWG 11/17/2025 11:07 AM JEFFREY\_LUERS



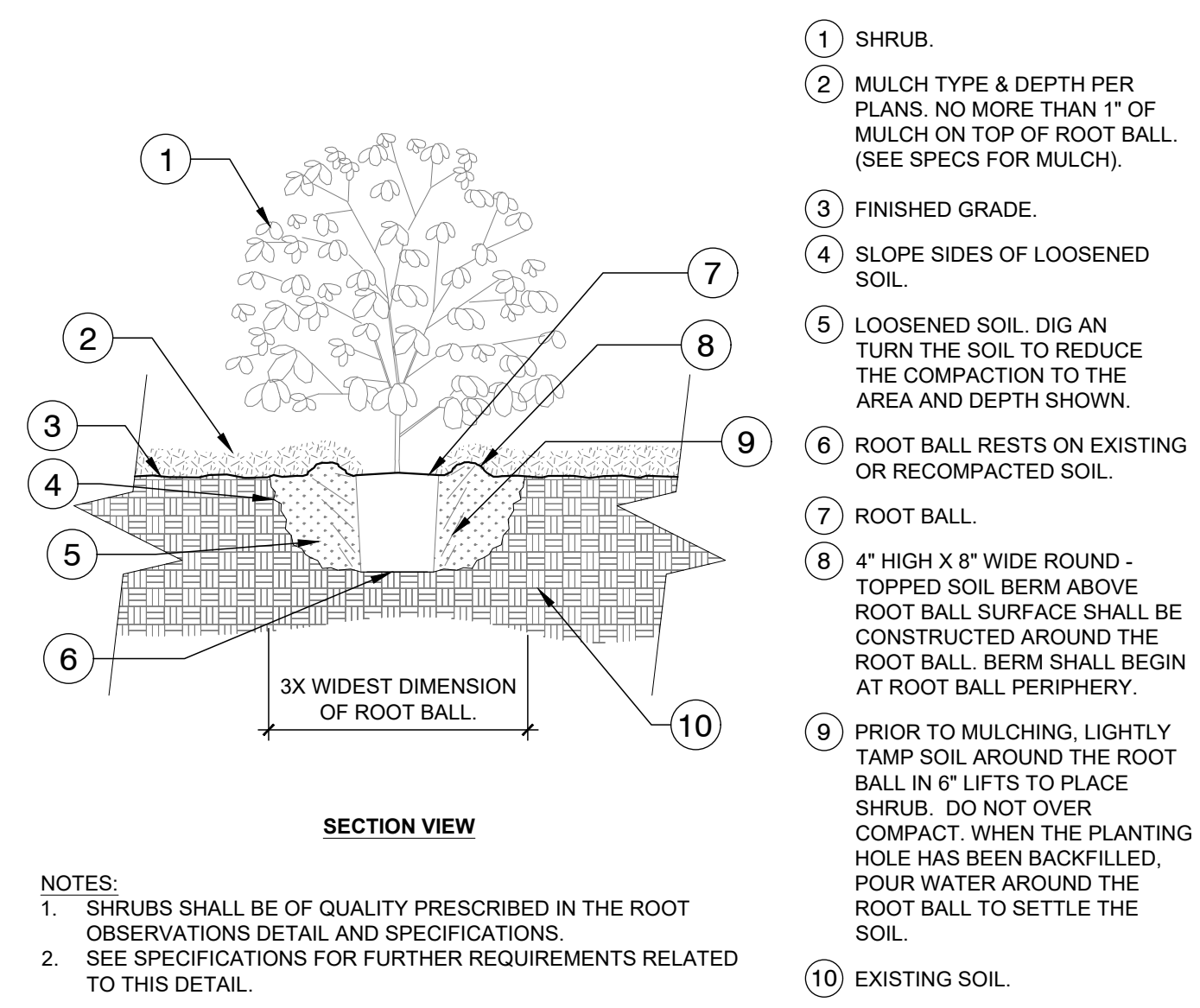


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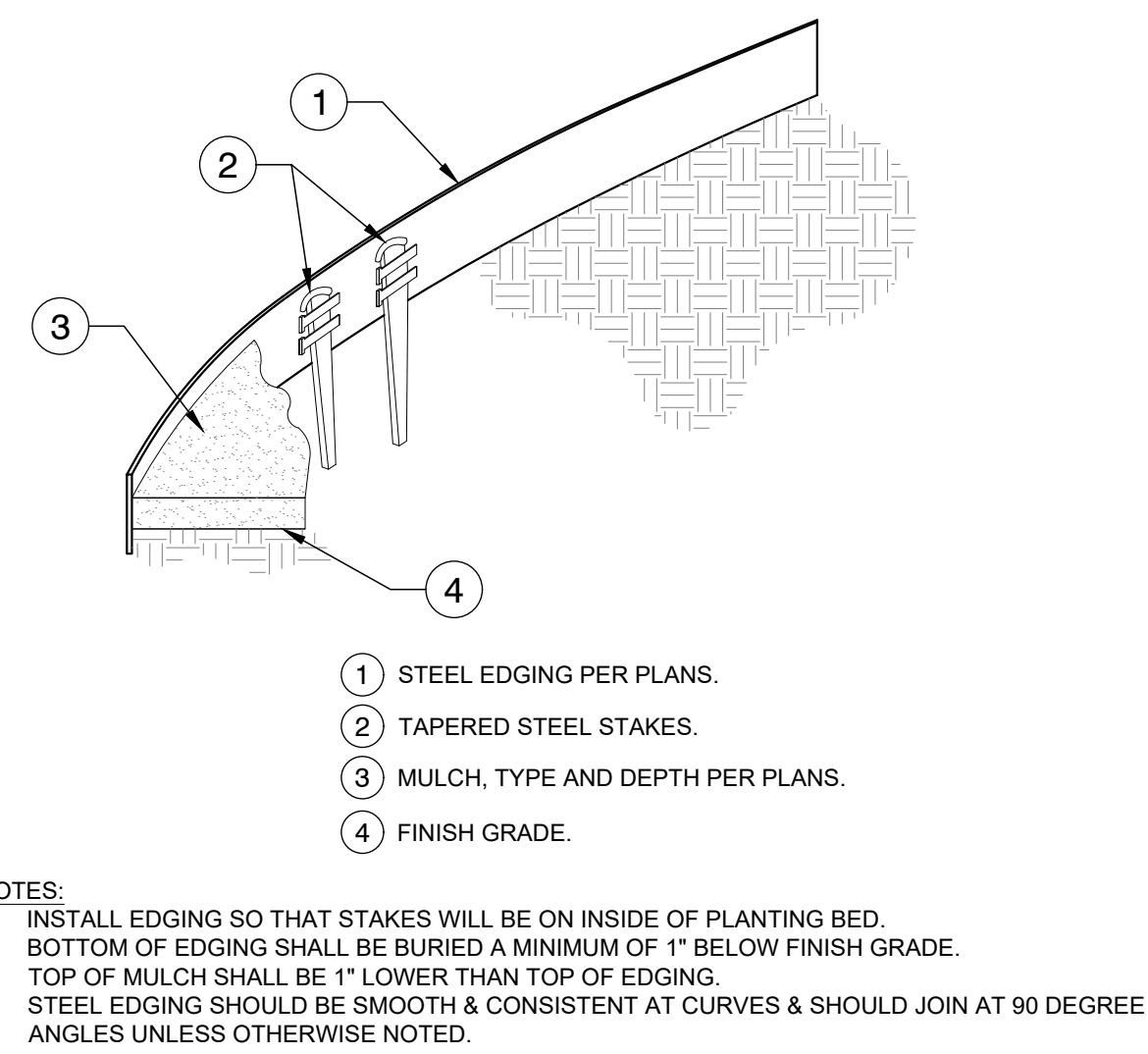
**A** TREE PLANTING  
NTS

000-PL-06



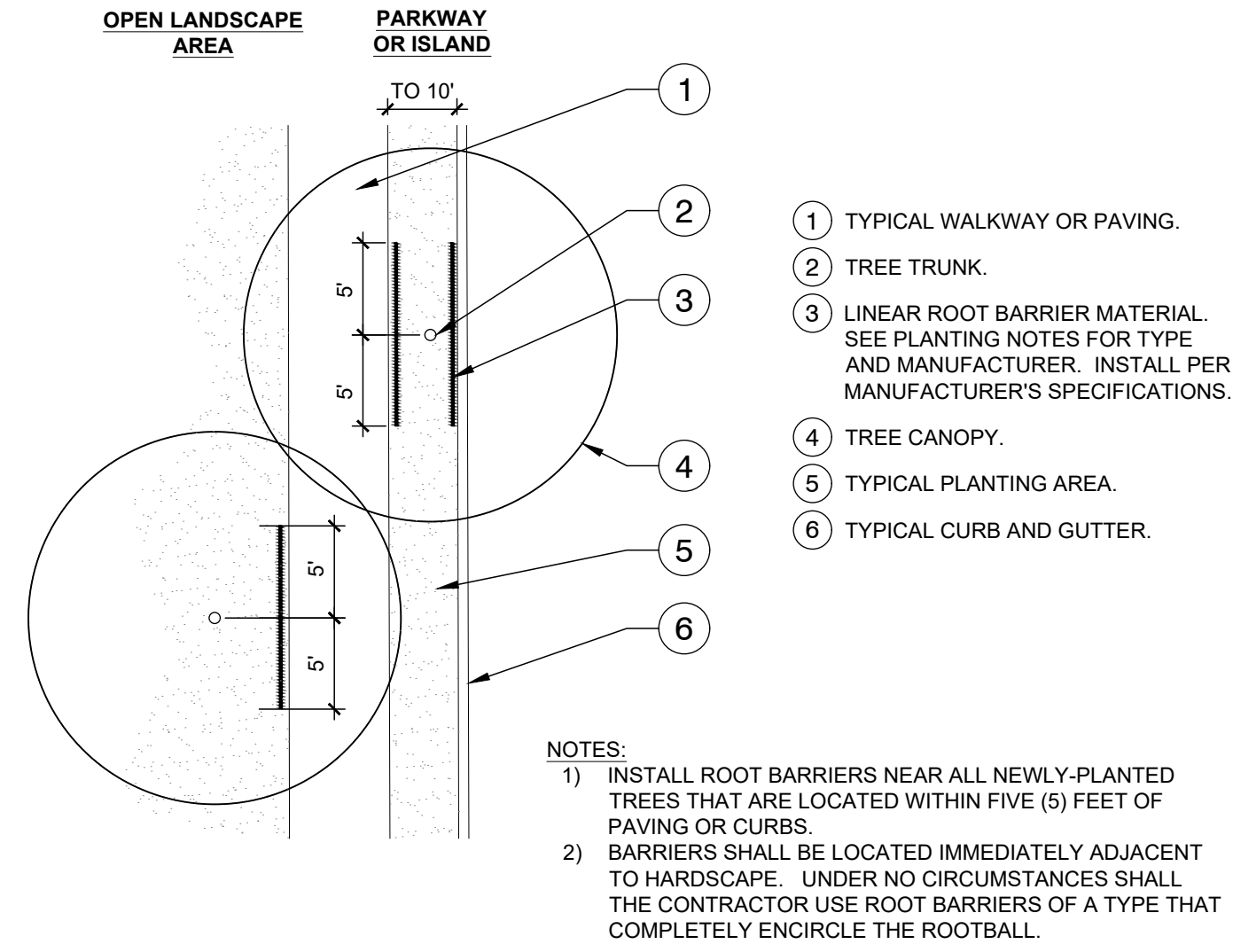
**B** SHRUB PLANTING  
NTS

000-PL-02



**C** STEEL EDGING  
NTS

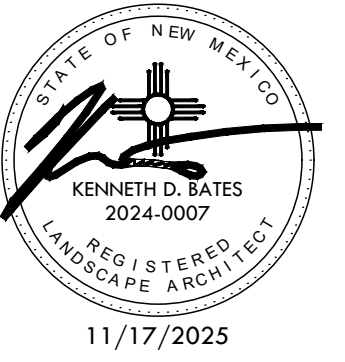
000-ED-12



**D** ROOT BARRIER - PLAN VIEW  
NTS



1101 Central Expressway South  
Suite 215  
Allen, TX 75013  
Ph. 214-491-1830  
John Measels, PE  
CIVIL ENGINEER



11/17/2025

**LANDSCAPE  
DETAILS**  
CIRCLE K, INC  
5100 DE VARGAS RD AND SNOW VISTA BLVD  
ALBUQUERQUE, NEW MEXICO

REV	DATE	DESCRIPTION	NAME
05/07/25		SCHEDULE SUBMITTAL	ASB
05/09/25		ADD SENIOR RE-ROUTE	ASB

PROJECT NO:	JM-DW25001
DRAWN BY:	JML
CHECKED BY:	KB
ISSUE DATE:	11/17/2025





**ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION**  
**PERMIT**  
PERMIT NUMBER: 25-100651  
APPROVED DATE: 11/17/2025  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
**FIRE FLOW: 2000 GPM, 2 HYDRANTS**

SITE DATA TABLE		
LOCATION:	SNOW VISTA BLVD DE VARGAS RD SW ALBUQUERQUE, NM 87121	
LOT AREA:	1.9274 AC. (83,955 S.F.)	
ZONING:	ZONING - NRC	
CURRENT USE:	VACANT	
PROPOSED USE:	C STORE W FUEL DISPENSING	
<b>BUILDING DATA:</b>		
BUILDING AREA:	5,200 S.F.	
BUILDING HEIGHT:	38' (1 STORY)	
BUILDING COVERAGE:	6.19%	
F.A.R.:	16:1	
<b>PARKING SUMMARY:</b>		
1 SP PER 200 SF (5,200 SF)	REQUIRED	PROVIDED
PARKING SPACES:	25	25
ACCESSIBLE SPACES:	1	1
TOTAL SPACES:	26	26

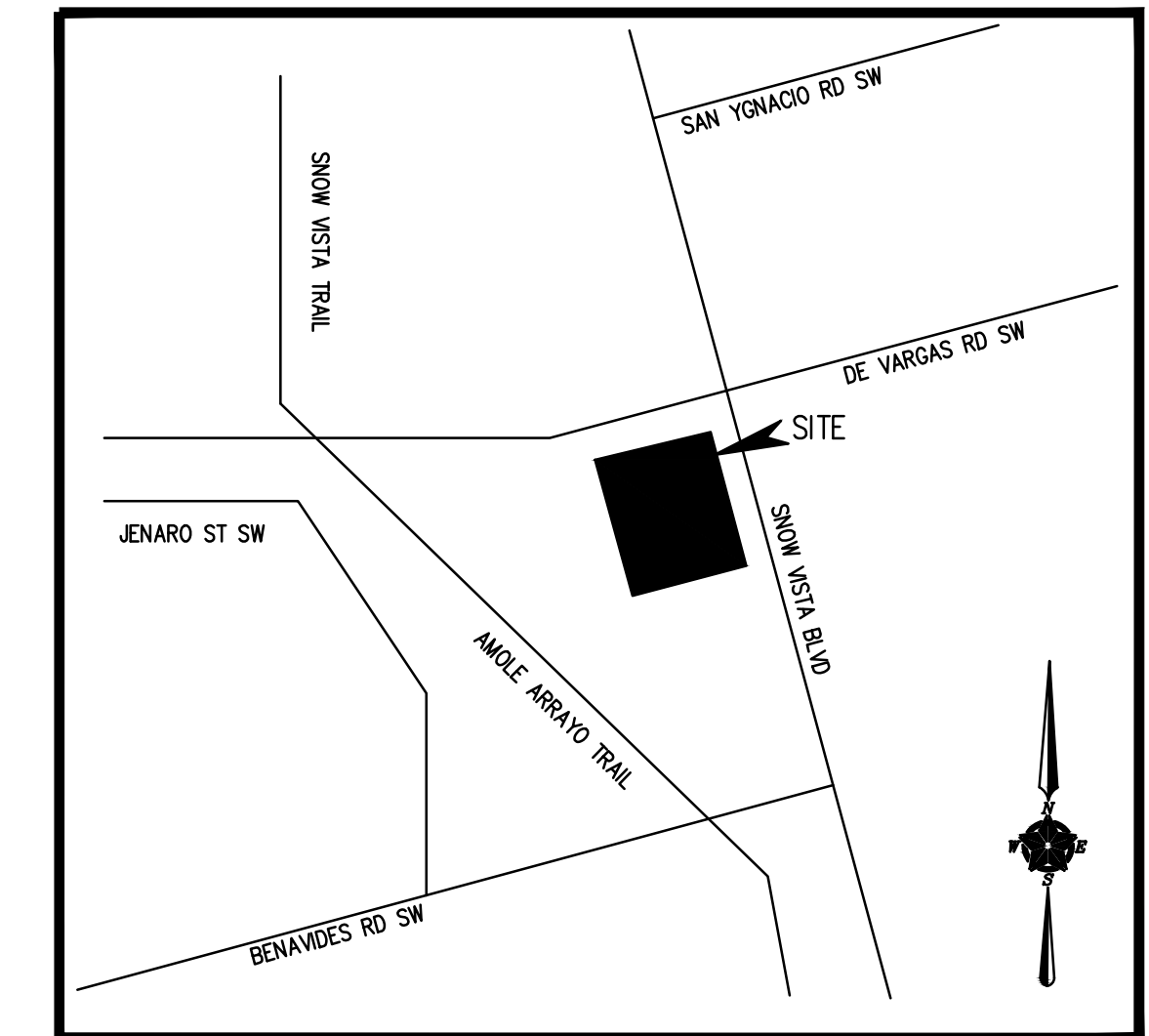
**EXISTING LEGEND:**

- PROPERTY LINE
- EXISTING CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- EXISTING WATER LINE
- EXISTING STORM LINE
- EXISTING FIBER OPTIC CABLE LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD ELETRIC LINE
- EXISTING TREE LINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINES
- EXISTING FENCE LINE
- EXISTING IRON PIN FOUND, AS NOTED
- EXISTING IRON PIN SET
- EXISTING IRON PIN SET
- EXISTING BOLLARD
- EXISTING SIGN, AS NOTED
- EXISTING SEWER CLEAN OUT
- ⊕ EXISTING SEWER MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER METER
- ⊕ EXISTING WATER SPIGOT
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING GUY WIRE
- ⊕ EXISTING GATE POST
- ⊕ EXISTING IRRIGATION VALVE
- ⊕ EXISTING TELEPHONE BOX
- ⊕ EXISTING CURB INLET
- ⊕ EXISTING STORM MANHOLE
- ⊕ EXISTING TRAFFIC SIGNAL

**CODE AND LIFE SAFETY DATA**

**PROJECT INFORMATION**  
Project Name: CIRCLE K FUELING STATION  
Project Description: Ground Up Construction, including Site Work of Single Story, fuel dispensing, storage tanks, parking, and infrastructure.  
Project Address: DE VARGAS RD  
Proposed Use/ Occupancy: Albuquerque, NM 87121 (M) Mercantile

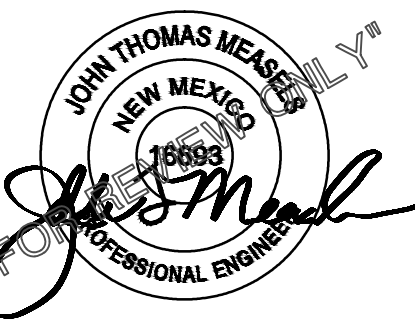
**APPLICABLE CODES**  
BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE  
PLUMBING CODE: 2015 UNIFORM PLUMBING CODE W/ NEW MEXICO AND CITY AMENDMENTS  
ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE W/ NEW MEXICO AND CITY AMENDMENTS  
ENERGY CODE: 2018 INTERNATIONAL ENERGY CONSERVATION CODE  
MECHANICAL CODE: 2015 UNIFORM MECHANICAL CODE W/ NEW MEXICO AND CITY AMENDMENTS  
FIRE CODE: 2015 INTERNATIONAL FIRE CODE  
ACCESSIBILITY STANDARD: ICC/ANSI A117.1-2009 ACCESSIBILITY  
OTHER CODE: 2012 INTERNATIONAL FUEL GAS CODE  
2015 NEW MEXICO COMMERCIAL BUILDING CODE



**LOCATION MAP**  
ZONE ATLAS MAP NO. M-9-Z  
NOT TO SCALE



1101 Central Expressway South  
Suite 215  
Allen, TX 75013  
Ph. 214-491-1830  
John Measles, PE  
CIVIL ENGINEER



11/12/2025

**SITE LEGEND:**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- ⊕ PARKING COUNT
- ⊕ LIGHT POLE
- ⊕ FIRELANE
- ⊕ ACCESSIBLE SPACES
- ⊕ ADA RAMP
- ⊕ BOLLARD
- ⊕ TRAFFIC SIGN
- ⊕ BOLLARD MOUNTED ACCESSIBLE SIGN
- ⊕ STOP BAR & SIGN
- ⊕ AREA DRAIN
- ⊕ GREASE TRAP
- ⊕ CLEAN-OUT
- ⊕ DOUBLE CLEAN-OUT
- ⊕ GAS METER
- ⊕ WATER METER
- ⊕ IRRIGATION METER
- ⊕ MANHOLE
- ⊕ CURB INLET

**PROPOSED PAVING LEGEND:**

- CONCRETE SIDEWALK, 4' MINIMUM WIDTH WITH FIBER REINFORCEMENT, 5x5' TOOLED JOINTS, AN FULL CONSTRUCTION JOINTS EVERY 50'.
- 6" LIGHT DUTY CONCRETE PAVEMENT, AT A MINIMUM 4,000 PSI AT 28 DAYS. #3 BARS @ 18" ON CENTER EACH WAY. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- 4" HEAVY DUTY ASPHALT. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- 9" HEAVY DUTY CANOPY-TANK CONCRETE PAVEMENT, AT A MINIMUM 4,000 PSI AT 28 DAYS. #4 BARS @ 16" ON CENTER EACH WAY. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- CITY OF ALBUQUERQUE STANDARD PAVING DETAIL #2405B.
- CONSTRUCTION JOINT
- EXPANSION JOINT
- SAWED JOINT
- LIMITS OF FULL DEPTH SAWCUT

**SITE KEY NOTES:**

- 1 CONCRETE CURB AND GUTTER. (PER LOCAL CODES)
- 2 CONCRETE CURB W/NO GUTTER. (SEE DTL #X ON SHT C-700)
- 3 TAPER CURB TO MATCH EXISTING.
- 4 MATCH EXISTING PAVEMENT ELEVATION.
- 5 LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- 6 EXISTING PAVEMENT TO REMAIN.
- 7 CONCRETE SIDEWALK, 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE (PER LOCAL CODES).
- 8 SIDEWALK RAMP @ 8.33% MAX. (PER LOCAL CODES)
- 9 EXISTING FIRE HYDRANT.
- 10 PARKING STALL STRIPING. (PER LOCAL CODES)
- 11 4" WIDE PAINTED STRIPES, 2' OFF CENTER @ 45'.
- 12 PEDESTRIAN/ACCESSIBLE CROSSWALK STRIPING.
- 13 ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- 14 ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- 15 BOLLARD.
- 16 DUMPSTER ENCLOSURE. (PER ARCH. PLANS)
- 17 EXISTING CONCRETE DRIVEPAD
- 18 "THANK YOU" AND "DO NOT ENTER" SIGN.
- 19 LANDSCAPE AREA. (PER LANDSCAPE PLAN)
- 20 INLET. (SEE GRADING PLAN)
- 21 STORM MANHOLE. (SEE GRADING PLAN)
- 22 STOP BAR PER LOCAL CODES.
- 23 CITY PAVEMENT PER DETAIL #2405B

**BASIC BUILDING DATA**  
Construction Type:  I-A  II-A  III-A  IV  V-A  
 I-B  II-B  III-B  V-B  
Sprinklers: (Chapter 9)  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 13D  
Non-Sprinklered  
Standpipes: (Section 905)  No  Yes  
Building Height: (Stories) 28-7' 1 STORY (2 STORY ALLOWED PER 503)

Occupancies: (M) Mercantile  
Gross Building Area: 5,200 (EXISTING SF) 5,200 (NEW SQ.FT) 9,000 (ALLOWABLE (506.2))

**FLOOR** EXISTING (SF) NEW (SQ.FT) ALLOWABLE (506.2)  
LEVEL 01 - 5,200 5,200 9,000

**EXIT REQUIREMENTS**

NUMBER AND ARRANGEMENT OF EXITS

FLOOR, ROOM, OR SPACE DESIGNATION	MINIMUM NUMBER OF EXITS		TRAVEL DISTANCE	ARRANGEMENT MEANS OF EGRESS	
	REQUIRED	SHOWN ON PLANS		ALLOWABLE TRAVEL DISTANCE	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS
LEVEL 01	1	1	100'-0" MAX	30'-0"	--

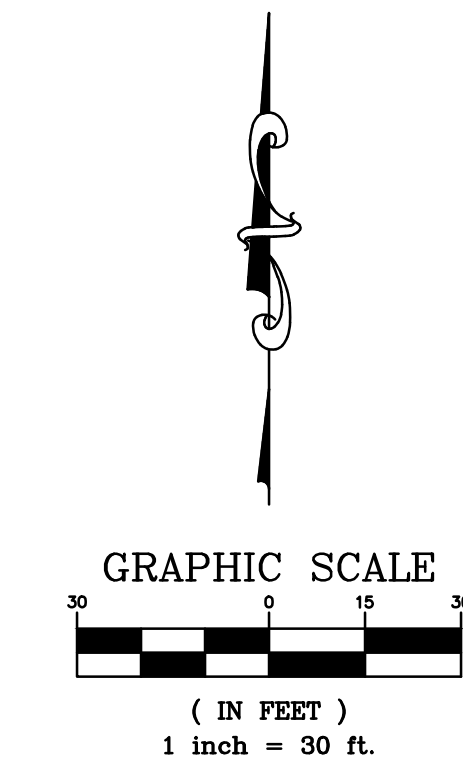
**OCCUPANT LOAD AND EXIT WIDTH**

USE GROUP OR SPACE DESCRIPTION	(a)		CALCULATED OCCUPANT LOAD (a/b)	(c)		Exit Width (in)	
	AREA (sq. ft.)	AREA PER OCCUPANT		EGRESS WIDTH PER OCCUPANT	REQUIRED WIDTH (a/b) x c	ACTUAL WIDTH SHOWN ON PLANS	
	STAIR	LEVEL		STAIR	LEVEL		
LEVEL 01	--	--	14	0.3'	0.2'	N/A	2.8'
							36"

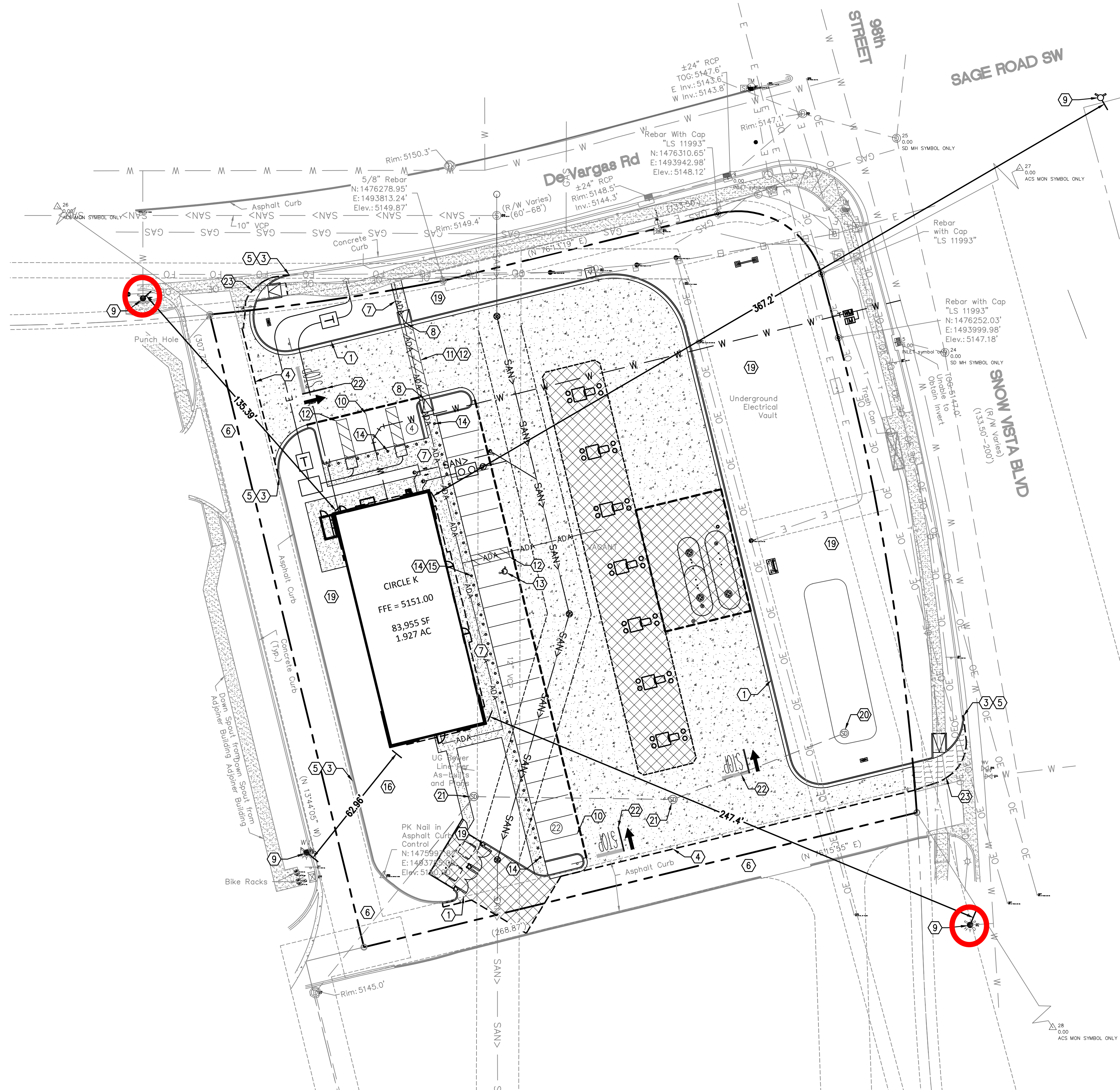
**BUILDING ELEMENT REQUIRED RATING**

BUILDING ELEMENT	REQUIRED RATING
PRIMARY STRUCTURAL FRAME:	
BEARING WALLS	
EXTERIOR:	0 HRS
INTERIOR:	0 HRS
NONBEARING WALLS & PARTITIONS	
EXTERIOR:	0 HRS
INTERIOR:	0 HRS
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	
EXTERIOR:	0 HRS
INTERIOR:	0 HRS
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBER	0 HRS

REFER TO OCCUPANCY, EGRESS AND PLUMBING CALCULATIONS ON THIS SHEET FOR ADDITIONAL INFORMATION



- FIRE 1 CHECKLIST NOTES:**
- FIRE 1 CHECKLIST ITEM 2: CONSTRUCTION TYPE V-B, 5200 SF BUILDING AREA
  - FIRE 1 CHECKLIST ITEM 6: THERE WILL BE NO NEW FIRE HYDRANT INSTALLED ON SITE.
  - FIRE 1 CHECKLIST ITEM 21, 22 & 23: THERE ARE NO FIRE LANES ON SITE DUE TO THE VICINITY TO OF THE SITE BUILDING TO THE EXISTING PUBLIC ROAD.
  - FIRE 1 CHECKLIST ITEM 26: BUILDING WILL BE NONSPRINKLERED.
  - FIRE 1 CHECKLIST ITEM 32: BUILDING IDENTIFICATION WILL BE PLACED ON THE BUILDING TO BE LEGIBLE AND VISIBLE FROM BOTH DE VARGAS RD & SNOW VISTA BLVD.



J:\CIRCLE K\DM25001 98TH DE VARGAS RD - ALBUQUERQUE, NM\_CURRENT DRAWINGS\JM-DM25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24x36 MASTER.DWG 11/14/2025 9:16 AM GAVIN KLEINEBECKER

**FIRE 1 SITE PLAN**

CIRCLE K, INC  
LOT 1A, SNOW VISTA INVESTORS  
9800 DE VARGAS RD.  
ALBUQUERQUE, NEW MEXICO 87121

NO.	DATE	DESCRIPTION	BY
1	11/17/25	INITIAL SUBMITTAL	CPK



**FIRE 1**

# Albuquerque Site & Building Design Considerations

**This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. *The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).***

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

## **Design Considerations for Compliance with IDO Section 5-2 (D)**

*In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. **Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.***

### **Section A.**

#### **General Site Arrangement and Building Orientation:**

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.

Achieved       Achieved in Part       Evaluated Only

2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.

Achieved       Achieved in Part       Evaluated Only

3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.

Achieved       Achieved in Part       Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved  Achieved in Part  Evaluated Only

5. Design should allow for natural ventilation as much as possible.

Achieved  Achieved in Part  Evaluated Only

**Building Entries and Windows:**

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved  Achieved in Part  Evaluated Only

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved  Achieved in Part  Evaluated Only

8. North facing windows are encouraged as they require little to no shading.

Achieved  Achieved in Part  Evaluated Only

9. Any west facing building entries and windows should mitigate solar effects.

Achieved  Achieved in Part  Evaluated Only

**Outdoor Elements (Integration):**

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved  Achieved in Part  Evaluated Only

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved  Achieved in Part  Evaluated Only

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved  Achieved in Part  Evaluated Only

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved  Achieved in Part  Evaluated Only

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved  Achieved in Part  Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved  Achieved in Part  Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved  Achieved in Part  Evaluated Only

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved  Achieved in Part  Evaluated Only

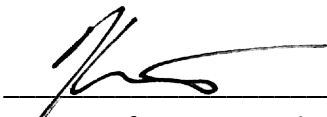
Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved  Achieved in Part  Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project \_\_\_\_\_ and Application No \_\_\_\_\_.

\_\_\_\_\_  
Signature of Project Architect/License No.

  
\_\_\_\_\_  
Signature of Project Landscape Architect/License No. 2024-0007

## **Section B.**

### **Sun and Shade Analysis requirements in compliance with 5-2(D)(1):**

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that **summer sun** be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of **winter sun** should reach transparent windows and doors at noon on each facade.

**The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations.** Screen shots from a program like SketchUp are acceptable.

#### **Summer Sun Analysis**

1. Show the effects of summer sun on windows on the following date and times:
  - a. May 21<sup>st</sup> analysis:
    - 9:00 AM
    - Noon
    - 4:00 PM
  - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
  - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
  - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
  - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

#### **Winter Sun Analysis**

2. Show the effects of winter sun on windows on the following date and time:
  - a. November 21st analysis:
    - Noon
  - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**

## Andre Sutiono

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**From:** Andre Sutiono  
**Sent:** Monday, November 24, 2025 4:57 PM  
**To:** 'jgallegoswccdgd@gmail.com'; 'housealbchrome@gmail.com'  
**Cc:** Joseph Kiffe  
**Subject:** Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative  
**Attachments:** Emailed-Notice-Administrative-Print&Fill.pdf; Circle K 9800 De Vargas Elevations.pdf; Circle K 9800 De Vargas SITE PLAN.pdf; Contact List.pdf; M-9.pdf

Hi Jerry Gallego and Lorenzo Otero  
I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.  
Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

## Andre Sutiono

---

**From:** Andre Sutiono  
**Sent:** Monday, November 24, 2025 5:00 PM  
**To:** 'mattearchuleta1@hotmail.com'; 'gering.mark@yahoo.com'  
**Cc:** Joseph Kiffe  
**Subject:** Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative  
**Attachments:** Emailed-Notice-Administrative-Print&Fill.pdf; Circle K 9800 De Vargas Elevations.pdf; Circle K 9800 De Vargas SITE PLAN.pdf; Contact List.pdf; M-9.pdf

Hi Matthew Aechuleta & Mark Gering  
I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.  
Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

## Andre Sutiono

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**From:** Andre Sutiono  
**Sent:** Monday, November 24, 2025 5:03 PM  
**To:** 'westgate9901@gmail.com'  
**Cc:** Joseph Kiffe  
**Subject:** FW: Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative  
**Attachments:** Emailed-Notice-Administrative-Print&Fill.pdf; Circle K 9800 De Vargas Elevations.pdf; Circle K 9800 De Vargas SITE PLAN.pdf; Contact List.pdf; M-9.pdf

Hi Westgate Heights NA Association  
I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.  
Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)



## Andre Sutiono

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**From:** Andre Sutiono  
**Sent:** Monday, November 24, 2025 4:55 PM  
**To:** 'paulfava@gmail.com'; cherquezada@yahoo.com  
**Cc:** Joseph Kiffe  
**Subject:** Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative  
**Attachments:** Emailed-Notice-Administrative-Print&Fill.pdf; Circle K 9800 De Vargas Elevations.pdf; Circle K 9800 De Vargas SITE PLAN.pdf; Contact List.pdf; M-9.pdf

Hi Cherise Quezada and Paul Fava  
I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.  
Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

## Andre Sutiono

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**From:** Andre Sutiono  
**Sent:** Monday, November 24, 2025 5:02 PM  
**To:** 'wescona0@gmail.com'; 'aboard111@gmail.com'; 'jane.baechle@gmail.com'  
**Cc:** Joseph Kiffe  
**Subject:** Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative  
**Attachments:** Emailed-Notice-Administrative-Print&Fill.pdf; Circle K 9800 De Vargas Elevations.pdf; Circle K 9800 De Vargas SITE PLAN.pdf; Contact List.pdf; M-9.pdf

Hi Rene Horvath & Jane Baechle  
I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.  
Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

## Andre Sutiono

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**From:** Westgate Heights <westgate9901@gmail.com>  
**Sent:** Tuesday, November 25, 2025 9:46 AM  
**To:** Andre Sutiono  
**Cc:** Joseph Kiffe  
**Subject:** Re: FW: Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative

Thank you for your email. B. Davis with Westgate NA

On Mon, Nov 24, 2025 at 4:04 PM Andre Sutiono <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)> wrote:

Hi Westgate Heights NA Association

I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.

Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**

1101 Central Expy S., Ste. 215

Allen, Texas 75013  
214.705.3182 (direct)

[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

## Andre Sutiono

---

**From:** Parhar, Alec <Alec.Parhar@pnm.com>  
**Sent:** Thursday, March 26, 2026 8:15 AM  
**To:** Andre Sutiono  
**Cc:** Kyle Flaming; Abby Brown; Karla McCommon; Moyer, Michael  
**Subject:** RE: [External] FW: Plan SP-2026-00038 Circle K 9800 De Vargas Rd Albuquerque - PNM

Good Morning Andre,

Based on your site plan, PNM does not have any infrastructure within 20 feet of your proposed structures.

If required, PNM can issue a Will Serve letter ([Will Serve Request](#)). Otherwise, I can look into providing a separate letter confirming that there are no conflicts with your proposed site plan.

I do not see any issues with the transformer locations shown on your site plan. If we proceed with that layout, we will need to loop the two transformers.

Thank you,

### Alec Parhar

Commercial Engineering Manager  
PNM | New Service Delivery  
4401 Masthead St NE, Suite 200  
Albuquerque, NM 87109  
Office: (505) 241-3408  
Email: [Alec.Parhar@pnm.com](mailto:Alec.Parhar@pnm.com)



---

**From:** Andre Sutiono <asutiono@jmcivileng.com>  
**Sent:** Wednesday, March 25, 2026 2:47 PM  
**To:** Moyer, Michael <michael.moyer@pnm.com>; Parhar, Alec <Alec.Parhar@pnm.com>  
**Cc:** Kyle Flaming <kflaming@jmcivileng.com>; Abby Brown <abrown@dimensiongroup.com>; Karla McCommon <kmcccommon@dimensiongroup.com>  
**Subject:** RE: [External] FW: Plan SP-2026-00038 Circle K 9800 De Vargas Rd Albuquerque - PNM

Thank you Michael.

Alec,  
please let us know if you have any questions and/or if you have any comments.

Thank You



**Andre Sutiono, P.E.**

Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

Please note: JMCE office is open for a half day on Fridays.

**From:** Moyer, Michael <[michael.moyer@pnm.com](mailto:michael.moyer@pnm.com)>

**Sent:** Wednesday, March 25, 2026 3:43 PM

**To:** Andre Sutiono <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)>; Parhar, Alec <[Alec.Parhar@pnm.com](mailto:Alec.Parhar@pnm.com)>

**Cc:** Kyle Flaming <[kflaming@jmcivileng.com](mailto:kflaming@jmcivileng.com)>; Abby Brown <[abrown@dimensiongroup.com](mailto:abrown@dimensiongroup.com)>; Karla McCommon <[kmcccommon@dimensiongroup.com](mailto:kmcccommon@dimensiongroup.com)>

**Subject:** RE: [External] FW: Plan SP-2026-00038 Circle K 9800 De Vargas Rd Albuquerque - PNM

Good afternoon Andre,

I have included my manager Alec as he is the commercial manager for NSD and he can assist you with your request.

Thanks,

Michael Moyer

Director, Distribution Engineering, System Reliability and Joint Use  
Public Service Company of New Mexico (PNM)

4401 Masthead St NE, Suite 200

Albuquerque, NM 87109

Office: 505.241.3697

Email: [Michael.Moyer@pnm.com](mailto:Michael.Moyer@pnm.com)



**From:** Andre Sutiono <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)>

**Sent:** Wednesday, March 25, 2026 2:12 PM

**To:** Moyer, Michael <[michael.moyer@pnm.com](mailto:michael.moyer@pnm.com)>

**Cc:** Kyle Flaming <[kflaming@jmcivileng.com](mailto:kflaming@jmcivileng.com)>; Abby Brown <[abrown@dimensiongroup.com](mailto:abrown@dimensiongroup.com)>; Karla McCommon <[kmcccommon@dimensiongroup.com](mailto:kmcccommon@dimensiongroup.com)>

**Subject:** [External] FW: Plan SP-2026-00038 Circle K 9800 De Vargas Rd Albuquerque - PNM

\*\*\*\*\*

\*\*\*\*\*

**Is this a phishing email? - Look again!**

**CAUTION:** This email was received from an **EXTERNAL** source, use caution when clicking links or opening attachments

This email is from [asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com) - do you know them?

Look for discrepancies in email addresses. Does the displayed "From" email address match?

Good afternoon Michael,

I hope this email finds you well.

We are currently working on a proposed Circle K project at 9800 De Vargas Rd SW (please see the attached plans for reference). We recently submitted the Site Plan to the City for review and received several comments. One of the requests is to provide a PNM No Conflict/Relocation Agreement letter if any proposed structure is located within 20 feet of a PNM utility pole.

Based on the Site Plan, there are no proposed structures within 20 feet of any PNM utility poles. Could you please assist us in obtaining the required letter, or advise if we should contact someone else for this request?

Additionally, could you review the attached Utility Plan and confirm whether the proposed electric routing for the Circle K building is acceptable?

We would greatly appreciate any feedback or guidance you can provide.

Thank you,



**Andre Sutiono, P.E.**

Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

Please note: JMCE office is open for a half day on Fridays.

---

**From:** NoReply EPL <[NoReplyEPL@cabq.gov](mailto:NoReplyEPL@cabq.gov)>

**Sent:** Wednesday, March 25, 2026 12:59 PM

**To:** Andre Sutiono <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)>

**Cc:** Zamora, Renee C. <[rczamora@cabq.gov](mailto:rczamora@cabq.gov)>; Rodenbeck, Jay B. <[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)>; Webb, Robert L. <[rwebb@cabq.gov](mailto:rwebb@cabq.gov)>; Boylan, Jacob <[jboylan@cabq.gov](mailto:jboylan@cabq.gov)>; Ibarra, Marcelo X. <[marceloibarra@cabq.gov](mailto:marceloibarra@cabq.gov)>; Montoya, Antoni <[antonimontoya@cabq.gov](mailto:antonimontoya@cabq.gov)>

**Subject:** Plan SP-2026-00038

Good morning,

Thank you for your submittal.

Additional information is required before we are able to complete the review of your submittal.

Please log into ABQ-PLAN to make updates regarding the following:

- Please provide a Justification letter describing and justifying the request per the criteria in IDO §14-16-6-5(G)(3). The letter provided needs additional information. Basically, explaining the justification and explanation of your Site Plan project.

- Please provide a signed letter of authorization from the property owner that clearly includes your name. The current signed letter of authorization does not include your name.
- Please provide a PNM Letter or No Conflict/Relocation Agreement if any proposed structure is within 20-feet of a PNM utility pole
- Provide a current Office of Neighborhood Coordination inquiry response <https://www.cabq.gov/office-of-neighborhood-coordination> - The neighborhood association contact information submitted is valid for 30 calendar days. The date on the inquiry is November 18, 2025.
- Provide current Notice and attachments (e.g., letter and site plan sheets) sent to Neighborhood Association representatives <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Provide Proof of email and/or first-class mailing to Neighborhood Association representatives.

If you need additional assistance, feel free to reach out to me at 505-924-3358.

Thank you

**RENEE ZAMORA**

Senior Administrative/Navigator

o 505-924-3358

e [rczamora@cabq.gov](mailto:rczamora@cabq.gov)

[cabq.gov/planning](https://cabq.gov/planning)

**This is a no-reply e-mail address. To contact us, please send an e-mail to [rczamora@cabq.gov](mailto:rczamora@cabq.gov)**

PNM  
Electric Service Center  
4401 Masthead Street NE  
Albuquerque, NM 87109  
Fax 505-241-3415  
www.PNM.com



03/27/2026

Andre Sutiono/JM Civil Engineering  
1101 Central Expressway South, Suite 215  
ALLEN TX, 75013

Subject: Electric Service Availability  
Project Location: 9800 De Vargas Road SW, Albuquerque NM 87121

To: Andre Sutiono/JM Civil Engineering,

Thank you for your inquiry concerning availability of electrical service.

For the property you identified to Public Service Company of New Mexico, (PNM), via an email request for service at the location above, PNM already has 3-phase utilities North and East and 1 – phase located of North of your proposed project location.

In order to extend electric facilities to your proposed property, right-of-way must be granted to PNM and costs that will be incurred as a result of extending electric service facilities must be paid in advance. PNM will provide service according to the Rules and Regulations covering electrical service as filed with the New Mexico Public Regulatory Commission, (NMPRC).

For PNM to respond to your request for service in an effective and timely manner, please refer to PNM's Electric Service Guide (ESG) Single Business or Commercial Subdivision: Electric Service Requirements for additional information that our office will need. The ESG is available at <https://www.pnm.com/esg>. In addition, PNM will require an online application to be submitted, and you can find that at <https://pnmnsd.powerclerk.com/MvcAccount/Login>.

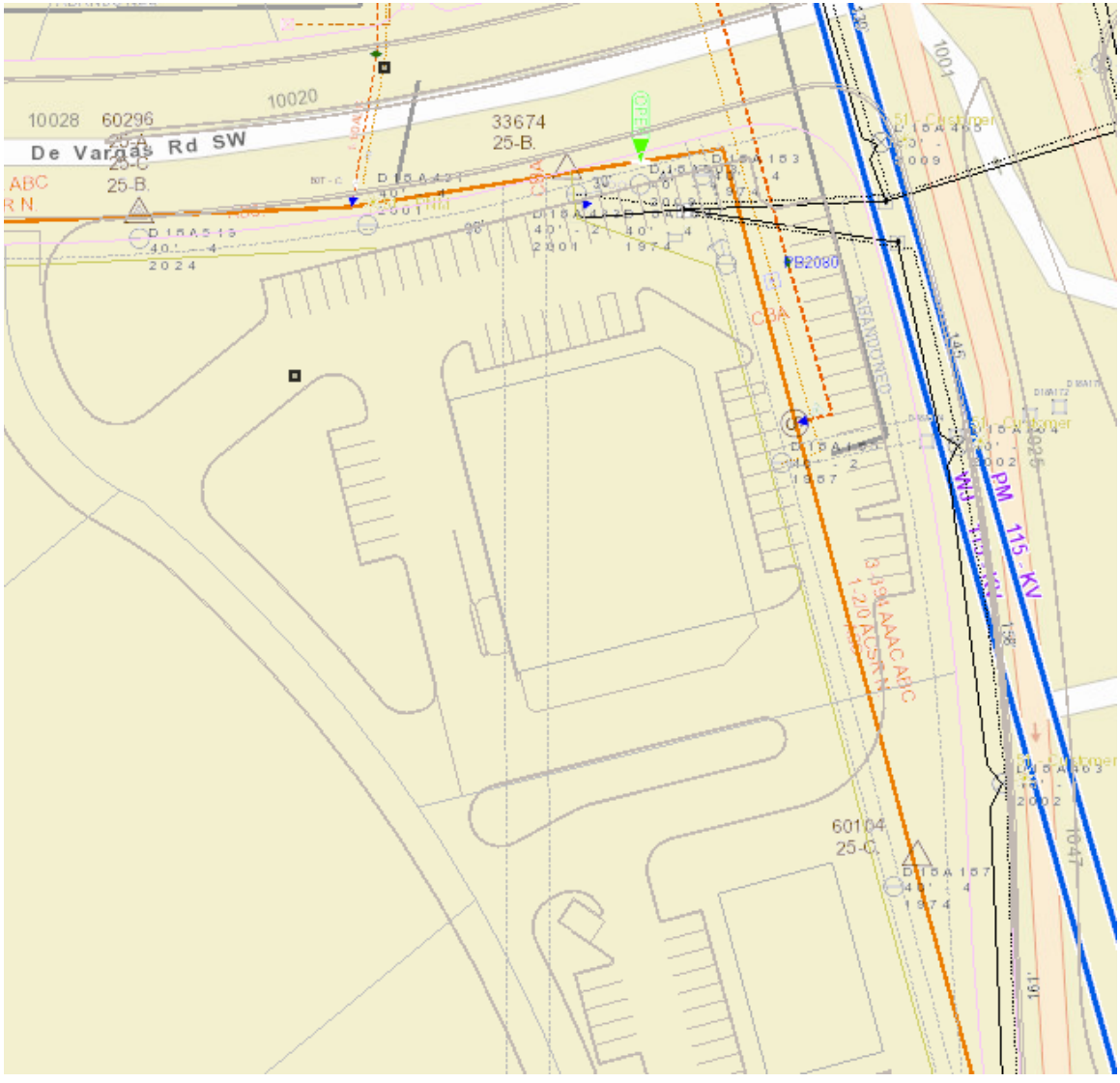
Please provide this information as early as possible. Sufficient lead time is required to design the electrical distribution system, prepare work orders, obtain right-of-way, order needed materials, and take care of many other details which are necessary before any construction can begin.

Should you need additional information, please contact me at 505-241-3438.

Very truly yours,

Jacqueline Delgado  
Engineering Tech  
PNM







## Andre Sutiono

---

**From:** Flores, Suzanna A. <Suzannaflores@cabq.gov>  
**Sent:** Wednesday, March 25, 2026 3:49 PM  
**To:** Andre Sutiono  
**Subject:** 9800 De Vargas Rd SW \_ Public Notice Inquiry Sheet Submission  
**Attachments:** M-9.pdf

**PLEASE NOTE:**

**The neighborhood association contact information listed below is valid for 30 calendar days after today's date (3/25/26).**

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1
Route 66 West NA		Cherise	Quezada	<a href="mailto:cherquezada@yahoo.com">cherquezada@yahoo.com</a>	10304 Paso Fino P
Route 66 West NA		Paul	Fava	<a href="mailto:paulfava@gmail.com">paulfava@gmail.com</a>	505 Parnelli Drive
South West Alliance of Neighborhoods (SWAN Coalition)		Jerry	Gallegos	<a href="mailto:jgallegoswccdg@gmail.com">jgallegoswccdg@gmail.com</a>	6301 Central Aven
South West Alliance of Neighborhoods (SWAN Coalition)		Lorenzo	Otero	<a href="mailto:housealbchrome@gmail.com">housealbchrome@gmail.com</a>	1413 Hilda Ct NW
Westgate Heights NA	<a href="mailto:westgate9901@gmail.com">westgate9901@gmail.com</a>	Matthew	Archuleta	<a href="mailto:mattearchuleta1@hotmail.com">mattearchuleta1@hotmail.com</a>	1628 Summerfield
Westgate Heights NA	<a href="mailto:westgate9901@gmail.com">westgate9901@gmail.com</a>	Mark	Gering	<a href="mailto:gering.mark@yahoo.com">gering.mark@yahoo.com</a>	9309 Rhonda ST SW
Westside Coalition of Neighborhood Associations	<a href="mailto:wescona0@gmail.com">wescona0@gmail.com</a>	Rene	Horvath	<a href="mailto:aboard111@gmail.com">aboard111@gmail.com</a>	5515 Palomino Dri
Westside Coalition of Neighborhood Associations	<a href="mailto:wescona0@gmail.com">wescona0@gmail.com</a>	Jane	Baechle	<a href="mailto:jane.baechle@gmail.com">jane.baechle@gmail.com</a>	7021 Lamar Avenu

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.

- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist you need for notifying neighborhood associations can be found here: <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/public-notice>
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

*Suzie*



**Suzie Flores**

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

**From:** [webmaster@cabq.gov](mailto:webmaster@cabq.gov) <[webmaster@cabq.gov](mailto:webmaster@cabq.gov)>

**Sent:** Tuesday, November 18, 2025 1:31 PM

**To:** Office of Neighborhood Coordination <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)>

**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Applicant Information

Contact Name

Andre Sutiono

Telephone Number

2147053182

Email Address

[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

Company Name

JM Civil Engineering

Company Address

1101 Central Expressway South, Suite 215

City

Allen

State

TX

ZIP

75013

Subject Site Information

Legal description of the subject site for this project:

Lot 1A Snow Vista Investors

Physical address of subject site:

9800 De Vargas Rd SW

Subject site cross streets:

Snow Vista Blvd. SW

Other subject site identifiers:

This site is located on the following zone atlas page:

M-9-Z

Link for map

Captcha

## Andre Sutiono

---

**From:** Andre Sutiono  
**Sent:** Tuesday, March 31, 2026 1:43 PM  
**To:** 'cherquezada@yahoo.com'; paulfava@gmail.com  
**Cc:** Kyle Flaming; Karla McCommon; Abby Brown  
**Subject:** Circle K 9800 De Vargas Rd SW DFT Site Plan Administrative (Route 66 West NA)  
**Attachments:** Circle K 98th & De Vargas, Albuquerque NM C 100 SITE PLAN.pdf; M-9.pdf; Circle K 9800 De Vargas Elevations.pdf; Emailed-Notice-Administrative-Print&Fill.pdf; Contact Inquiry.pdf

Hi Cherise Quezada,  
I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.  
Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**

Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

Please note: JMCE office is open for a half day on Fridays.

## Andre Sutiono

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**From:** Andre Sutiono  
**Sent:** Tuesday, March 31, 2026 1:47 PM  
**To:** jgallegoswccd@gmail.com; housealbchrome@gmail.com  
**Cc:** Kyle Flaming; Karla McCommon; Abby Brown  
**Subject:** Circle K 9800 De Vargas Rd SW DFT Site Plan Administrative (SWAN Coalition)  
**Attachments:** Circle K 98th & De Vargas, Albuquerque NM C 100 SITE PLAN.pdf; M-9.pdf; Circle K 9800 De Vargas Elevations.pdf; Emailed-Notice-Administrative-Print&Fill.pdf; Contact Inquiry.pdf

Good afternoon Jerry Gallegos and Lorenzo Otero

I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations. Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**

Director of Engineering

**JM Civil Engineering**

1101 Central Expy S., Ste. 215

Allen, Texas 75013

214.705.3182 (direct)

[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

Please note: JMCE office is open for a half day on Fridays.

## Andre Sutiono

---

**From:** Andre Sutiono  
**Sent:** Tuesday, March 31, 2026 1:49 PM  
**To:** Westagate Heights; mattearchuleta1@hotmail.com; gering.mark@yahoo.com  
**Cc:** Kyle Flaming; Karla McCommon; Abby Brown  
**Subject:** Circle K 9800 De Vargas Rd SW DFT Site Plan Administrative (Westgate Heights)  
**Attachments:** Circle K 98th & De Vargas, Albuquerque NM C 100 SITE PLAN.pdf; M-9.pdf; Circle K 9800 De Vargas Elevations.pdf; Emailed-Notice-Administrative-Print&Fill.pdf; Contact Inquiry.pdf

Good afternoon, Matthew Archuleta and Mark Gering

I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations. Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**

Director of Engineering

**JM Civil Engineering**

1101 Central Expy S., Ste. 215

Allen, Texas 75013

214.705.3182 (direct)

[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

Please note: JMCE office is open for a half day on Fridays.



## Andre Sutiono

---

**From:** Andre Sutiono  
**Sent:** Tuesday, March 31, 2026 1:51 PM  
**To:** wescona0@gmail.com; aboard111@gmail.com; jane.baechle@gmail.com  
**Cc:** Kyle Flaming; Karla McCommon; Abby Brown  
**Subject:** Circle K 9800 De Vargas Rd SW DFT Site Plan Administrative (Westside Coalition of Neighborhood Associations)  
**Attachments:** Circle K 98th & De Vargas, Albuquerque NM C 100 SITE PLAN.pdf; M-9.pdf; Circle K 9800 De Vargas Elevations.pdf; Emailed-Notice-Administrative-Print&Fill.pdf; Contact Inquiry.pdf

Good afternoon Rene Horvath and Jane Baechle

I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations. Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**

Director of Engineering

**JM Civil Engineering**

1101 Central Expy S., Ste. 215

Allen, Texas 75013

214.705.3182 (direct)

[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

Please note: JMCE office is open for a half day on Fridays.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice\*: 3/31/26

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(K\) Public Notice](#). This notice is being provided to the Neighborhood Representatives on the attached list from the City of Albuquerque’s Office of Neighborhood Coordination.

### Project Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 9800 De Vargas Road SW  
Location Description SW corner of De Vargas Road SW and Snow Vista Blvd. SW
2. Property Owner\* Gary Goodman, Trustee of the Lawrence Goodman Revocable Trust u/a/d 12/6/77
3. Agent/Contractor [if other than the property owner] Andre Sutiono
4. Application(s) Type\* per IDO [Table 6-1-1](#)
  - Historic Certificate of Appropriateness – Minor
  - Sign Permit
  - Alternative Signage Plan
  - Wall/Fence Permit
  - Site Plan – Administrative

Summary of project/request\*:  
Proposed Circle K Convenience Store with 7 Fuel pumps (14 Fuel Dispensers)  
\_\_\_\_\_  
\_\_\_\_\_

5. This application will be decided by staff. Please contact [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 and select option for Development Review Services.
6. Where more information about the project can be found\*: [SEE SITE PLAN](#)

Preferred project contact information:  
Name: Andre Sutiono  
Email: asutiono@jmcivileng.com  
Phone: (214) 705-3182

[Note: Items with an asterisk (\*) are required.]

- Attachments:
  - Neighborhood Association Representative Contact List from the City’s Office of Neighborhood Coordination\*
  - Others: Site Plan

Online website or project page: \_\_\_\_\_

**Project Information Required for Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>1</sup> M-9-Z

2. Project Illustrations, as relevant\*<sup>2</sup>

- Architectural drawings
- Elevations of the proposed building(s)
- Other illustrations of the proposed application

*See attachments or the website/project page noted above for the items marked above*

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)
- Variance(s)<sup>3</sup>
- Waiver(s)<sup>4</sup>

Explanation\*: \_\_\_\_\_

None

4. **For Site Plan – Administrative Applications only\***,

Attach the proposed site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. \*
- b. Access and circulation for vehicles and pedestrians. \*
- c. Maximum height of any proposed structures, with building elevations. \*
- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

<sup>1</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

<sup>2</sup> While not required, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project.

<sup>3</sup> Separate notice is required for Variance Applications.

<sup>4</sup> Separate notice is required for Waiver Applications.

[Note: Items with an asterisk (\*) are required.]

Pre-submittal Neighborhood Meeting date, if it occurred: N/A

Brief Meeting Summary:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

**Additional Information from IDO Zoning Map<sup>5</sup>:**

- 1. Area of Property [typically in acres] 1.93
- 2. IDO Zone District(s) NR-C
- 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
- 4. Center or Corridor Area [if applicable] N/A
- 5. Current Land Use(s) [vacant, if none] Vacant

**NOTE:** Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice for a Site Plan – Administrative application that proposes more than 100 multi-family dwelling units or more than 50,000 s.f. of nonresidential development. To request a facilitated meeting, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3860 and select the option for “Development Review Services”.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map:**

<https://tinyurl.com/idozoningmap>

<sup>5</sup> Available here: <https://tinyurl.com/idozoningmap>

# Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

## **Notificación de Acceso Lingüístico.**

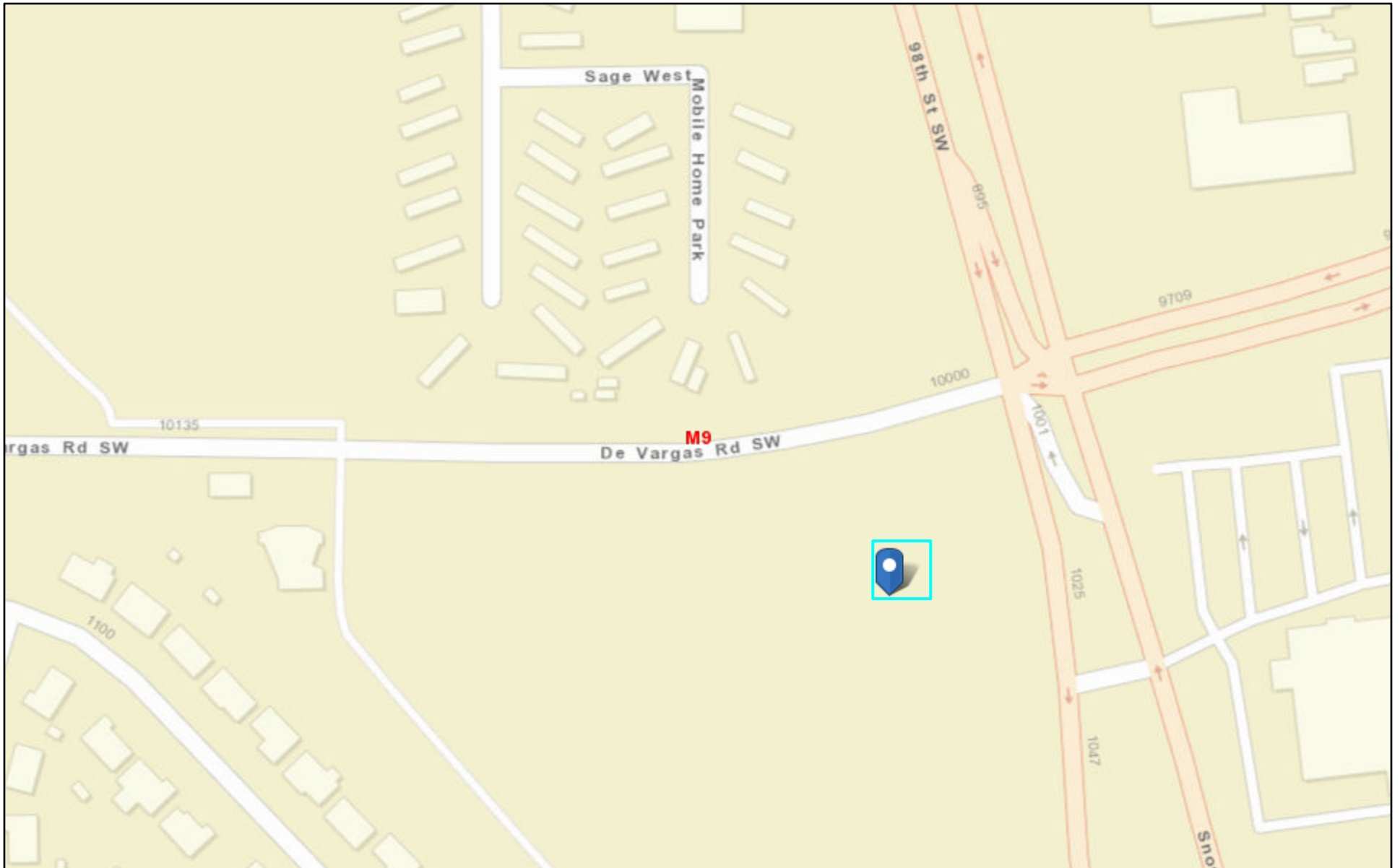
Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

**語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。**

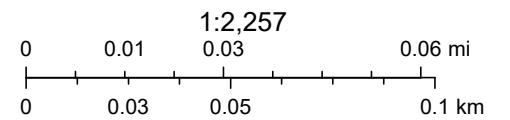
**Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.**

**Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaaszil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihgii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.**

# M-9



November 14, 2025



City of Albuquerque, Bernalillo County, NM, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, NGA, USGS



COPYRIGHT

This drawing is the property of the above referenced Professional and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from the professional.

PROFESSIONAL

REVISION

Δ	ISSUE	DATE

PROFESSIONAL IN CHARGE

AM

PROJECT MANAGER

CD

QUALITY CONTROL

AM

DRAWN BY

CD

PROJECT NAME

**CIRCLE K STORES, INC.**

SWC 98th ST & SAGE RD.  
 ALBUQUERQUE, NM 87121

PROTOCOL # R0 03/07/25



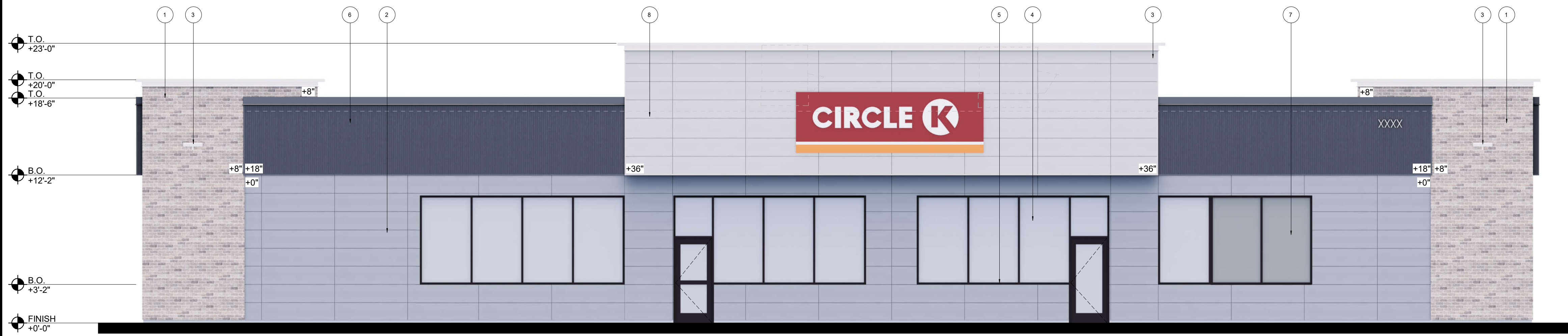
CIRCLE K STORES, INC.

PROJECT NUMBER:

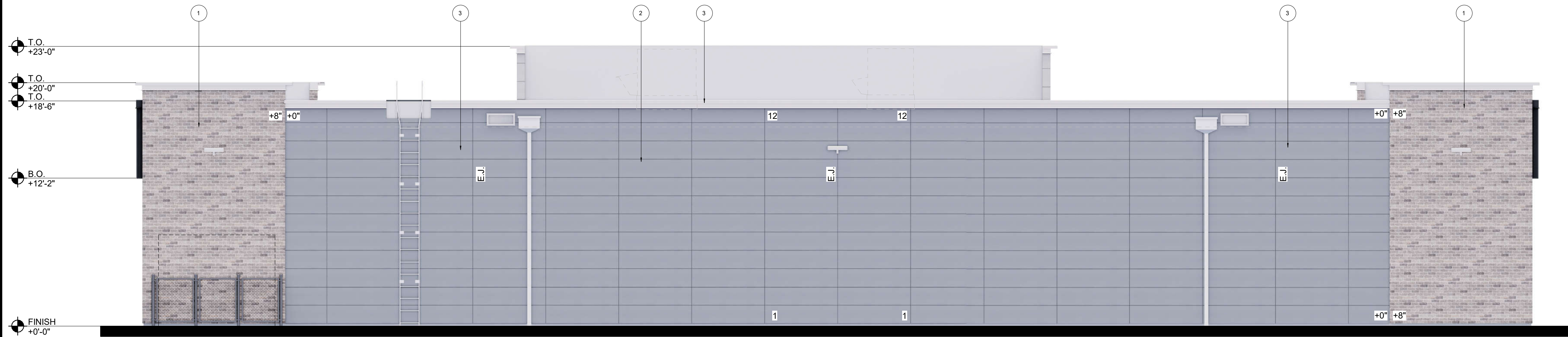
230-603

5200 V2.0 COLOR ELEVATIONS

**A2.01**



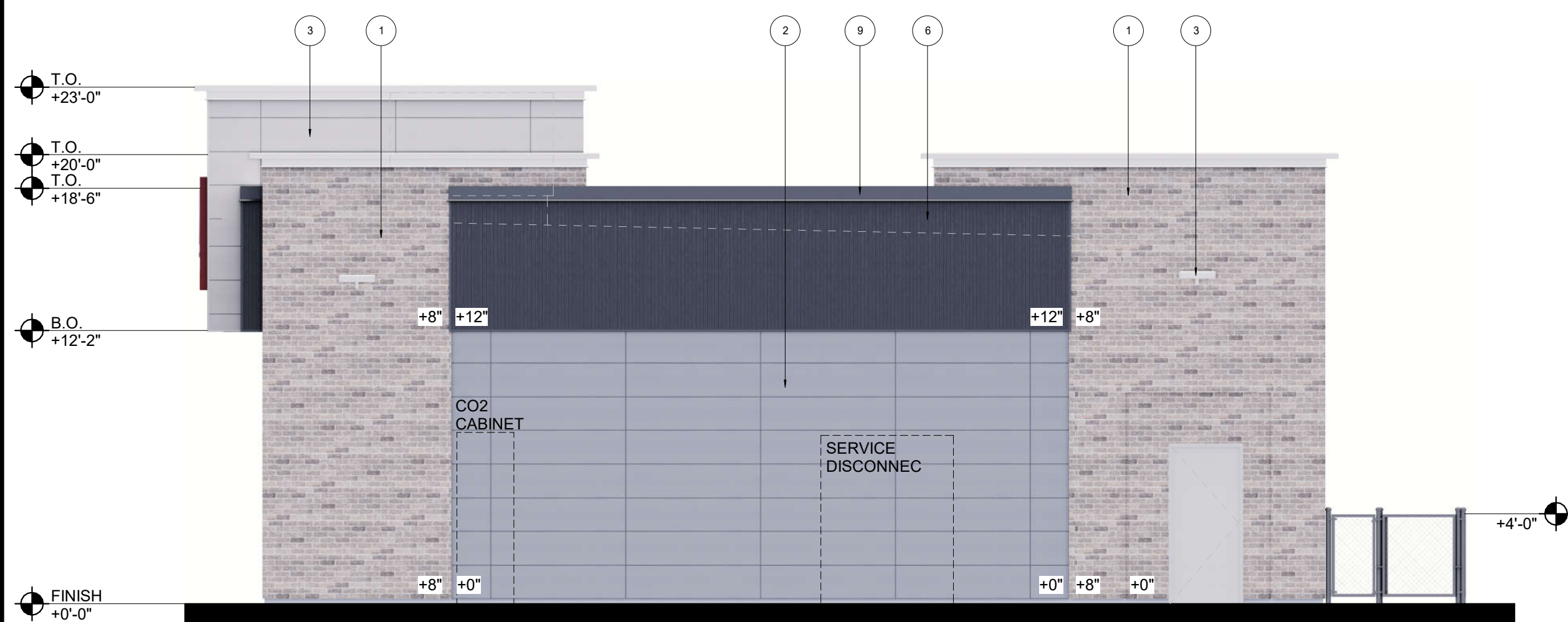
**FRONT ELEVATION (EAST) | 1**  
 12" = 1'-0"



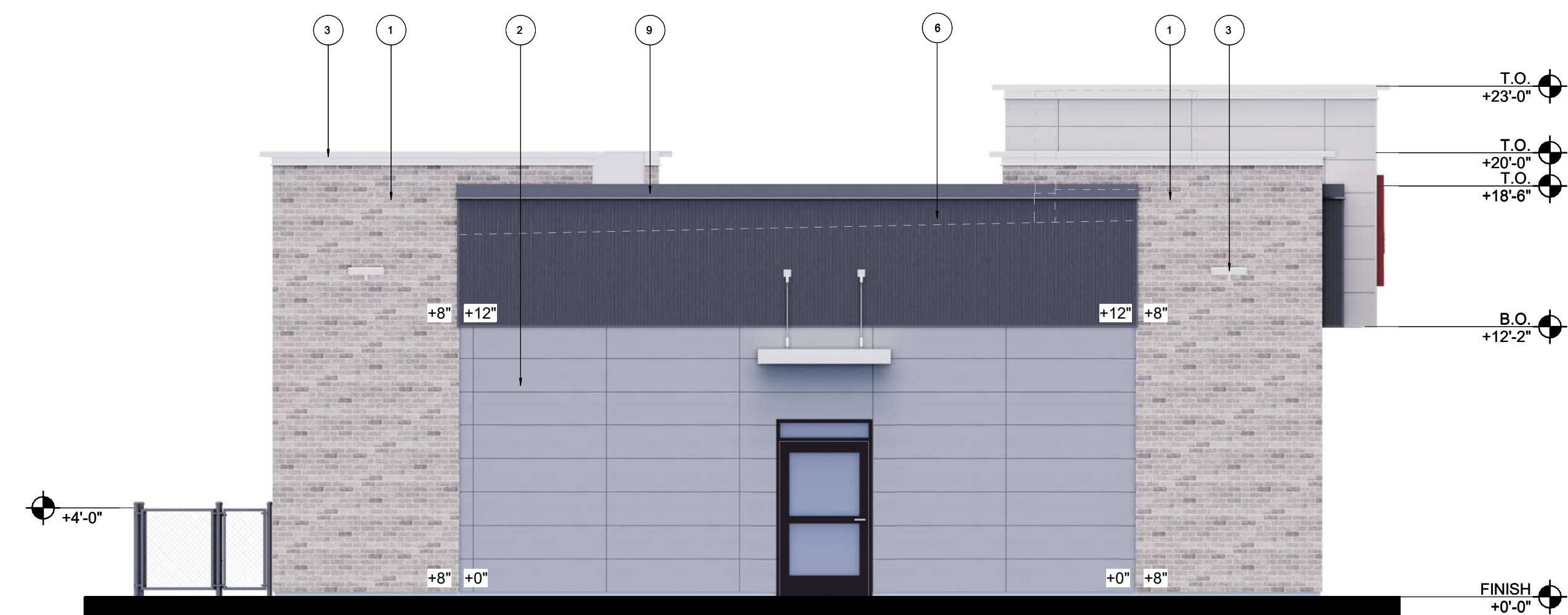
**REAR ELEVATION (WEST) | 2**  
 12" = 1'-0"

- 9. METAL COPING, CORNICE AND GUTTER  
SHERMAN WILLIAMS 1051 "WEB GRAY"
- 8. NICHHA TUFFBLOCK  
SHERMAN WILLIAMS 9101 "DUSTY OF SEIT"
- 7. SPANDREL GLASS
- 6. NICHHA RIBBED  
SHERMAN WILLIAMS 1051 "WEB GRAY"
- 5. ANODIZED WINDOW AND DOOR FRAMING  
COLOR: DAWN BRONZE
- 4. 1" INSULATED CLEAR GLASS
- 3. METAL COPING, CORNICE AND GUTTER  
SHERMAN WILLIAMS 1051 "SNOWBOUND"
- 2. NICHHA  
SHERMAN WILLIAMS 9101 "MORNING FOG"
- 1. NICHHA CANYONBRICK  
"SMALL BROWN"

**MATERIAL LEGEND |**  
 N.T.S.



**SIDE ELEVATION (NORTH) | 3**  
 12" = 1'-0"



**SIDE ELEVATION (SOUTH) | 4**  
 12" = 1'-0"



## Andre Sutiono

---

**From:** Westgate Heights <westgate9901@gmail.com>  
**Sent:** Tuesday, November 25, 2025 9:46 AM  
**To:** Andre Sutiono  
**Cc:** Joseph Kiffe  
**Subject:** Re: FW: Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative

Thank you for your email. B. Davis with Westgate NA

On Mon, Nov 24, 2025 at 4:04 PM Andre Sutiono <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)> wrote:

Hi Westgate Heights NA Association

I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.

Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
JM Civil Engineering

1101 Central Expy S., Ste. 215

Allen, Texas 75013  
214.705.3182 (direct)

[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

## Andre Sutiono

---

**From:** Flores, Suzanna A. <Suzannaflores@cabq.gov>  
**Sent:** Wednesday, March 25, 2026 3:49 PM  
**To:** Andre Sutiono  
**Subject:** 9800 De Vargas Rd SW \_ Public Notice Inquiry Sheet Submission  
**Attachments:** M-9.pdf

**PLEASE NOTE:**

**The neighborhood association contact information listed below is valid for 30 calendar days after today's date (3/25/26).**

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1
Route 66 West NA		Cherise	Quezada	<a href="mailto:cherquezada@yahoo.com">cherquezada@yahoo.com</a>	10304 Paso Fino P
Route 66 West NA		Paul	Fava	<a href="mailto:paulfava@gmail.com">paulfava@gmail.com</a>	505 Parnelli Drive
South West Alliance of Neighborhoods (SWAN Coalition)		Jerry	Gallegos	<a href="mailto:jgallegoswccdg@gmail.com">jgallegoswccdg@gmail.com</a>	6301 Central Aven
South West Alliance of Neighborhoods (SWAN Coalition)		Lorenzo	Otero	<a href="mailto:housealbchrome@gmail.com">housealbchrome@gmail.com</a>	1413 Hilda Ct NW
Westgate Heights NA	<a href="mailto:westgate9901@gmail.com">westgate9901@gmail.com</a>	Matthew	Archuleta	<a href="mailto:mattearchuleta1@hotmail.com">mattearchuleta1@hotmail.com</a>	1628 Summerfield
Westgate Heights NA	<a href="mailto:westgate9901@gmail.com">westgate9901@gmail.com</a>	Mark	Gering	<a href="mailto:gering.mark@yahoo.com">gering.mark@yahoo.com</a>	9309 Rhonda ST SW
Westside Coalition of Neighborhood Associations	<a href="mailto:wescona0@gmail.com">wescona0@gmail.com</a>	Rene	Horvath	<a href="mailto:aboard111@gmail.com">aboard111@gmail.com</a>	5515 Palomino Dri
Westside Coalition of Neighborhood Associations	<a href="mailto:wescona0@gmail.com">wescona0@gmail.com</a>	Jane	Baechle	<a href="mailto:jane.baechle@gmail.com">jane.baechle@gmail.com</a>	7021 Lamar Avenu

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.

- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist you need for notifying neighborhood associations can be found here: <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/public-notice>
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

*Suzie*



**Suzie Flores**

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

**From:** [webmaster@cabq.gov](mailto:webmaster@cabq.gov) <[webmaster@cabq.gov](mailto:webmaster@cabq.gov)>

**Sent:** Tuesday, November 18, 2025 1:31 PM

**To:** Office of Neighborhood Coordination <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)>

**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Applicant Information

Contact Name

Andre Sutiono

Telephone Number

2147053182

Email Address

[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

Company Name

JM Civil Engineering

Company Address

1101 Central Expressway South, Suite 215

City

Allen

State

TX

ZIP

75013

Subject Site Information

Legal description of the subject site for this project:

Lot 1A Snow Vista Investors

Physical address of subject site:

9800 De Vargas Rd SW

Subject site cross streets:

Snow Vista Blvd. SW

Other subject site identifiers:

This site is located on the following zone atlas page:

M-9-Z

Link for map

Captcha

**SPECIAL EXCEPTION REQUEST**

Property Address: 9800 De Vargas Rd SW  
 Property Owner: Grandma Lawrence, RVT  
 Name of Applicant: Karla McCaman The Immersion Group  
 Summary of Request: Conditional Use Request For Liquor Retail Establishment at Creek & Lawrence Sts - TOD Action # 16-4-386(C)

**A public hearing is required and will be held online via Zoom at: <https://cabq.zoom.us/j/9756087372>, or by phone at +1(719) 359-4580 Meeting ID: 975 608 7372 on Tuesday 26th, 2026 at 9:00 AM.**  
**Required posting dates January 05 2026 to February 9 2026**  
**For information, contact the City of Albuquerque Planning Department at (505)924-3894.**  
 REFER TO FILE# CU-2025-00041 BR2025 022169

It is illegal for an unauthorized person to remove or tamper with this sign.

**PUBLIC NOTICE**

AN APPLICATION FOR SITE PLAN - ADMINISTRATIVE HAS BEEN FILED WITH THE PLANNING DEPARTMENT.  
 VIEW THE APPLICATION HERE: <https://cabq.gov/ard-plan>  
 CONTACT ZONING REVIEW STAFF: 505-924-3890 OR ZONING@CABQ.GOV

PROPERTY ADDRESS: 9800 De Vargas Rd SW

CASE # / PROJECT # OR AM# PE-2025-0000510-2026-000192

PROJECT DESCRIPTION: Proposed Creek & Lawrence store with 7 fuel pumps (14 Fuel Dispensers)

FOR MORE INFORMATION, CONTACT:  
Karla McCaman (505) 343-7400 karlamccam@immersiongroup.com  
 PROPERTY OWNER AND APPLICANT/AGENT NAME (IF APPLICABLE):  
Lawrence@immersiongroup.com  
 PHONE: (505) 343-7400 EMAIL: Lawrence@immersiongroup.com

REQUIRED TO BE POSTED FROM \_\_\_\_\_ TO 15 DAYS AFTER THE DECISION.

It is illegal for an unauthorized person to remove or tamper with this sign.  
 2025-10-8 of the National Codebook of Albuquerque, NM 2025

Galaxy S22



**SPECIAL EXCEPTION REQUEST**  
 Property Address 9800 De Vargas Rd SW  
 Property Owner Goodman Lawrence RV  
 Name of Applicant Kash McComan The Division Group  
 Summary of Request Conditional Use Request for liquor retail establishment at Circle K Convenience Store - ID Section 44.4.2.6(a)(3)  
 A public hearing is required and will be held online via Zoom at: <https://cabq.zoom.us/j/9756087372>, or by phone at +1(719) 359-4580 Meeting ID: 975 608 7372 on January 20<sup>th</sup>, 2024 at 9:00 AM.  
 Required posting dates January 05 2024 to February 19 2024  
 For information, contact the City of Albuquerque Planning Department at (505)924-3894.  
 REFER TO FILE # CD-2023-00041 / PR-2023-02019

**PUBLIC NOTICE**  
 AN APPLICATION FOR SITE PLAN - ADMINISTRATIVE HAS BEEN FILED WITH THE PLANNING DEPARTMENT.  
 VIEW THE APPLICATION HERE: <https://cabq.gov/plan>  
 CONTACT ZONING REVIEW STAFF: 505.924.3843 OR COMMUNITY@CABQ.GOV  
 PROPERTY ADDRESS: 9800 De Vargas Road SW  
 CASE # / PROJECT # (if any): PR-2023-00041/PR-2023-02019  
 PROJECT DESCRIPTION: Proposed Circle K Convenience Store w/ 7 Fuel Pumps (A Fuel Dispenser)  
 FOR MORE INFORMATION, CONTACT:  
Kash McComan  
 PROPERTY OWNER AND APPLICANT/AGENT NAME (if different)  
 PHONE: (505) 343-9960 EMAIL: Lawrence@the-division-group.com  
 REQUIRED TO BE POSTED FROM \_\_\_\_\_ TO 15 DAYS AFTER THE DECISION.  
It is illegal for an unauthorized person to remove or tamper with this sign.  
 18-206-9 of the Unified Ordinance of Albuquerque, New Mexico.

Galaxy S22

## PRE-APPLICATION REVIEW NOTES

PA#: PRT 24-023 Notes Provided (date): 04/03/2024

Site Address and/or Location: 9800 De Vargas Rd SW

Pre-application notes are for informational purposes only and are non-binding and do not constitute any type of approval and are not certificates of zoning. Additional research may be necessary to determine the exact type of process and/or application required. Factors unknown and/or thought of as minor at this time could become significant as a case progresses.

**Request:** Build a convenience store with 7 fuel dispensers (14 gas pumps)

### Basic Site Information

Current Use: vacant Size (acreage): approx 2.0 ac

Zoning: NR-C Overlay Zone: n/a

### Comprehensive Plan Designations

Corridors: n/a

Development Area: Southwest Mesa, Area of Change Near Major Public Open Space (MPOS)? n/a

Center: n/a

### Integrated Development Ordinance (IDO)

**Please refer to the IDO for requirements regarding dimensional standards, parking, landscaping, walls, signage, etc.** <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

Proposed Use(s): Light Vehicle Fueling Station

Use Specific Standards: IDO 14-16-4-3(D)(18)

### Applicable Definition(s)

Permissive Use: A land use that is allowed by-right in a particular zone district, either as a primary or accessory use. Permissive Primary uses are listed as P in Table 4-2-1. Permissive Accessory uses are listed as A in Table 4-2-1.

Light Vehicle: A vehicle that has a gross vehicle weight rating of less than 10,000 pounds, including but not limited to automobiles, light trucks, sport utility vehicles, vans, boats, recreational vehicles, trailers, motorcycles, mopeds, scooters, and ATVs.

Light Vehicle Fueling Station: An establishment primarily engaged in the retail dispensing or sale of light vehicle fuels, including but not limited to gasoline, gas/oil mixtures, diesel fuel, compressed natural gas, electricity, and hydrogen through fixed, approved dispensing equipment. Incidental activities include, but are not limited to car washes; vehicle service and maintenance; and the sale of convenience items, food, beverages, household necessities, lubricants, and batteries. This use does not include any facility meeting the definition of light vehicle repair (except those incidental services listed above), light vehicle sales and rental, outdoor vehicle storage, or liquor retail.

Sensitive Lands: Please see IDO §14-16-5-2 for information about required analysis, development standards, and changes to process that may result if this Section applies.

### Notice

Neighborhood Meeting Offer Required? (see IDO Table 6-1-1). If yes, please refer to:

<https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

## Process

Decision Type(s) (see IDO Table 6-1-1): Site Plan - Administrative

Specific Procedure(s)\*: IDO Part 14-16-6-5(G)

*\*Please refer to specific procedures for relevant decision criteria required to be addressed.*

Decision Making Body/ies: City Staff Is this a PRT requirement? no

## Handouts Provided

- |   |   |  |   |
|---|---|--|---|
| <input type="checkbox"/> Zoning Map Amendment                 | <input type="checkbox"/> Site Plan Amendments | <input type="checkbox"/> Site Plan- EPC  | <input type="checkbox"/> Site Plan- DHO |
| <input checked="" type="checkbox"/> Site Plan- Administrative | <input type="checkbox"/> Variance-ZHE         | <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision    |
| <input type="checkbox"/> Site History/Research                | <input type="checkbox"/> Transportation       | <input type="checkbox"/> Hydrology       | <input type="checkbox"/> Fire           |

*If you have additional questions after reviewing these notes, or would like to schedule a follow up call or meeting, please contact Staff at [planningprt@cabq.gov](mailto:planningprt@cabq.gov). Please include the PA# with your inquiry.*

## Additional Notes:

- Prior subject Site History cases, but not relevant to this specific PRT: DRB-87-609, DRB-97-90, Z-88-66, Z-98-13, PR-2020-004645, 1001249, 1003294, 1006995
  - The subject site was originally zoned C-1, a Neighborhood Commercial Zone, for office, service, institutional, and limited commercial uses to satisfy the day-to-day needs of residential areas.
- For Non-Residential – Commercial (NR-C) requirements, please see IDO Part 14-16-2-5(A).

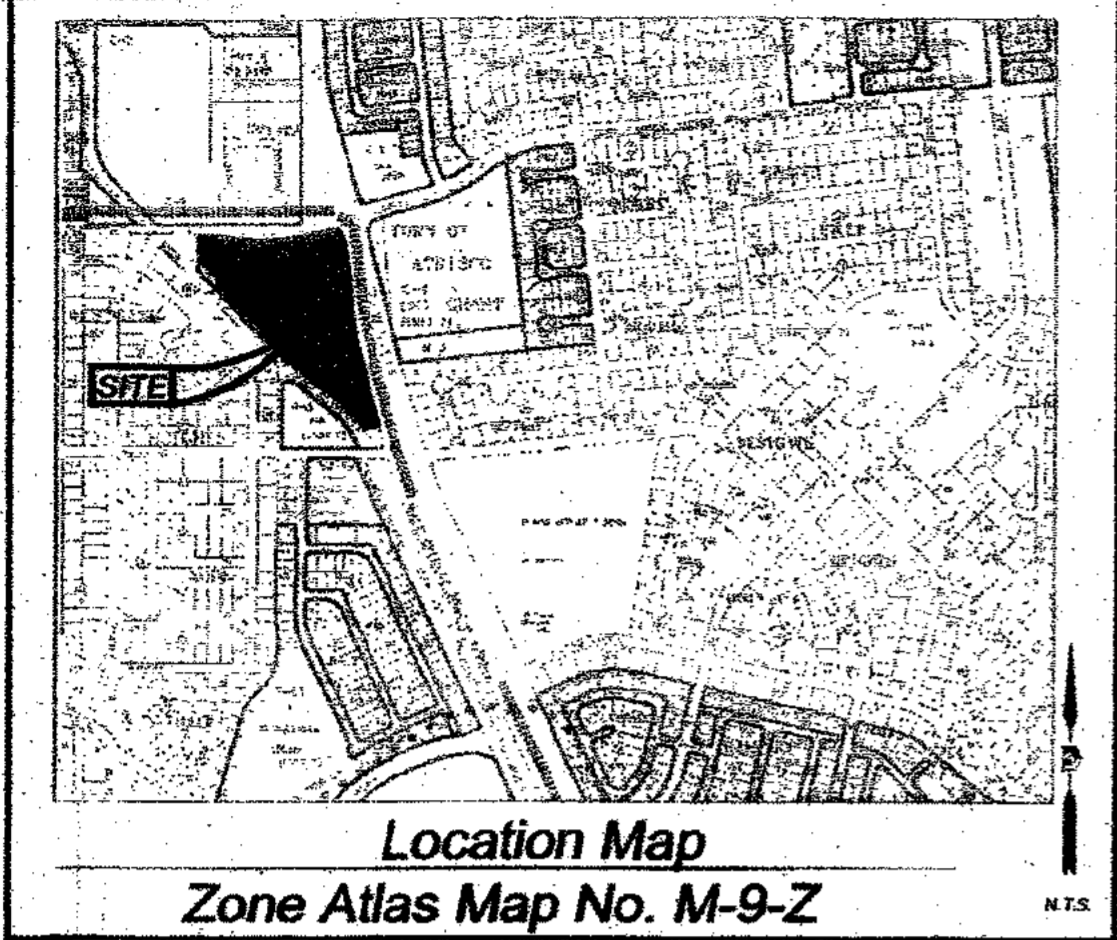
## Applicant Questions:

1. We want to confirm allowed use, setbacks, zoning, etc. ...What are the required landscape buffer requirements? What are the access requirements?
  - For setback and landscape buffers please see the NR-C Zone District Dimensional Standards Summary Table 2-5-1 in the IDO Part 14-16-2-5(A)(2).
  - Light Vehicle Fueling Station is permissible in a NR-C Zone District.
  - For Light Vehicle Fueling Station Use Specific Standards, see IDO Part 14-16-4-3(D)(18) - Light Vehicle Fueling Station.
  - Per the provided plat, there are several utility easements that cross this site where no encroachment is allowed. This should be reviewed by the Development Facilitation Team (DFT); contact information is below.
2. What is the planning/permitting process for building and fuel? What is needed for transportation (TIA/TIS)?
  - We recommend that you apply for a Sketch Plat/Plan with the DFT to obtain information and feedback about what is required for all infrastructure engineering, transportation (e.g., TIA/TIS) and parking lot access, and regulations questions as well as any other considerations that applicants should keep in mind as they prepare their applications for Site Plan - Administrative.
    - For information on the sketch plat/plan process please see: <https://www.cabq.gov/planning/boards-commissions/development-review-board/sketch-plat> and contact Robert Webb, Senior Planner, Development Review Services, (505) 924-3910 [rwebb@cabq.gov](mailto:rwebb@cabq.gov) or Jay Rodenbeck, Planning Manager, Development Review Services, (505) 924-3994 [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov) .
  - The site does not require any conditional use or special use permits for Light Fueling Stations.



- The development then can be approved through a Site Plan pursuant to the applicability, procedures, and criteria in IDO Subsection 14-16- 6-5(G) – Site Plan – Administrative since it is a permissive use within the NR-C zone district. Once the site plan is approved administratively by the DFT (Development Facilitation Team), the applicant may submit to building permit.
3. Is fire included in the building review or is it a separate submittal?
- This would be part of the Sketch Plat/Plan DFT review.
  - Contact the following for more information:
    - Fire Marshal's Office Plans Review Section, (505) 924-3611
4. Is water/sewer available to the site?
- Per the provided plat, there are several utility easements that cross this site. Utility availability should be discussed with the Development Facilitation Team (DFT) per the information above.
  - Contact the following for more information:
    - David Gutierrez, Water Authority Engineer
    - Email: [dggutierrez@abcwua.org](mailto:dggutierrez@abcwua.org)
5. What are the review timelines?
- Times vary depending on which processes are required. We recommend that you apply for a Sketch Plat/Plan with the DFT to obtain information and feedback. This would be a good time to ask about a timeline.





DOCH 2022106470
12/14/2022 01:45 PM Page 1 of 2
PLAT R: \$25.00 B: 2022C/P: 0159 Linda Stover, Bernalillo County

Plat of
Lots 1A, 1B, 1C, 1D and 1E
Snow Vista Investors

Town of Atresco Grant, Projected Section 33,
Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
December 2021

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, COMPRISING OF TRACT LETTERED "A" SNOW VISTA INVESTORS, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON AUGUST 3, 2021, IN PLAT BOOK 2001C FOLIO 225, CONTAINING 10.7788 ACRES, MORE OR LESS, NOW COMPRISING TRACTS 1A, 1B, 1C, 1D AND 1E, SNOW VISTA INVESTORS.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPCY: 100905510538420307
PROPERTY OWNER OF RECORD:
Lawrence Goodman Revocable Trust
BERNALILLO COUNTY TREASURER'S OFFICE
Michelle Rodriguez 12-14-2022

Project No. PR-2020-004645
Application No. SD-2022-00133

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE ONE EXISTING TRACT INTO FIVE NEW TRACTS, TO GRANT AN EASEMENT AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER, EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

[Signature]
LAWRENCE GOODMAN
TRUSTEE
LAWRENCE GOODMAN REVOCABLE TRUST

STATE OF NEW MEXICO
NOTARY PUBLIC
Yvonne Escajeda
Commission No. 1130485
September 03, 2024

Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29 DAY OF August, 2021 BY:
GARY GOODMAN, TRUSTEE, LAWRENCE GOODMAN REVOCABLE TRUST.

[Signature]
NOTARY PUBLIC
COMMISSION EXPIRES: September 03, 2024

M.R.G.C.D. Note:

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIFNS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED: [Signature] NIA DATE:

Utility Approvals

Table with utility approvals including New Mexico Gas Company, Qwest Corporation, and Comcast.

City Approvals

Table with city approvals from various departments including Surveyor, Traffic Engineering, Parks and Recreation, and Code Enforcement.

NIA
Surveyor's Certificate

LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 9/13/2022
LARRY W. MEDRANO
N.M.P.S. No. 11993



Subdivision Data:

GROSS SUBDIVISION ACRES: 10.7788 ACRES
ZONE ATLAS INDEX NO: M-9-Z
NO. OF TRACTS CREATED: 5
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0

Notes:

- 1. PLAT SHOWS ALL EASEMENTS OF RECORD.
2. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.
3. NO ENCROACHMENT SHALL TAKE PLACE WITHIN THE EXISTING PUBLIC SANITARY SEWER EASEMENT AND CONTINUED ACCESS SHALL BE PROVIDED FOR OPERATION AND MAINTENANCE BY THE WATER AUTHORITY.

Public Utility Easements

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTEE FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

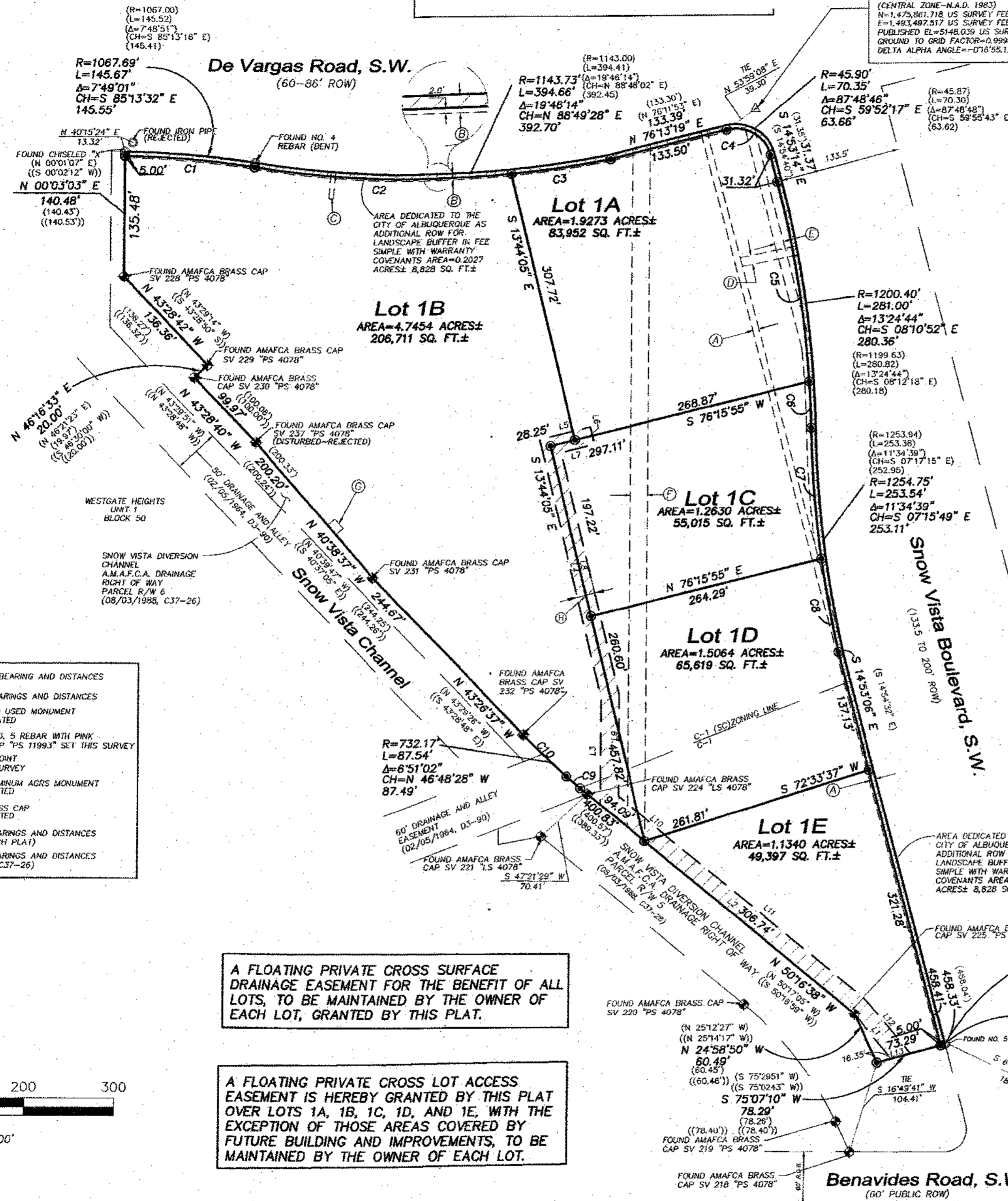
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION, D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

Coordinate and Dimension Information, PLS Information, Indexing Information for County Clerk, Project Information, Precision Surveys, Inc. office location and contact info.

Plat of  
**Lots 1A, 1B, 1C, 1D and 1E**  
**Snow Vista Investors**  
 Town of Atrisco Grant, Projected Section 33,  
 Township 10 North, Range 2 East, N.M.P.M.  
 Albuquerque, Bernalillo County, New Mexico  
 November 2022

DOCH 2022106470  
 12/14/2022 01:45 PM Page 2 of 2  
 PLAT R: \$26.00 B: 2022C.P. 0139 Linda Stover, Bernalillo County

A.G.R.S. MONUMENT "9\_M9"  
 STANDARD A.C.S. BRASS DISC  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1,475,861.718 US SURVEY FEET  
 E=1,483,487.517 US SURVEY FEET  
 PUBLISHED EL=5148.039 US SURVEY FEET (NAVD 1988)  
 GROUND TO GRID FACTOR=0.999682417  
 DELTA ALPHA ANGLE=-07'55.12"



**Easement Notes**

- (A) EXISTING 7' PNM AND MST&T EASEMENT (01/29/1974, BK. MS. 351-PG.72)
- (B) EXISTING 7' PUBLIC UTILITY EASEMENT (04/23/1997, 97C-119)
- (C) EXISTING 5'x30' PUBLIC UTILITY EASEMENT (08/03/2001, 2001C-225)
- (D) EXISTING 10' PUBLIC UTILITY EASEMENT (08/03/2001, 2001C-225)
- (E) EXISTING 10' PUBLIC UTILITY EASEMENT-LOCATION SCALED NO DIMENSIONS PROVIDED (08/03/2001, 2001C-225)
- (F) EXISTING 20' SANITARY SEWER EASEMENT (02/05/1964, D3-90) REVISED (04/23/1997, 97C-119)-NO ENCROACHMENT SHALL TAKE PLACE WITHIN THE EXISTING PUBLIC SANITARY SEWER EASEMENT AND CONTINUED ACCESS SHALL BE PROVIDED FOR OPERATION AND MAINTENANCE BY THE WATER AUTHORITY.
- (G) 14'x10.53' PUBLIC UTILITY EASEMENT (08/03/2001, 2001C-225) REFERENCES (02/05/1964, D3-90)
- (H) 20' WIDE PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1A, 1B, 1C, 1D, AND 1E TO BE MAINTAINED BY THE OWNER OF EACH LOT. GRANTED BY THIS PLAT

**Curve Table**

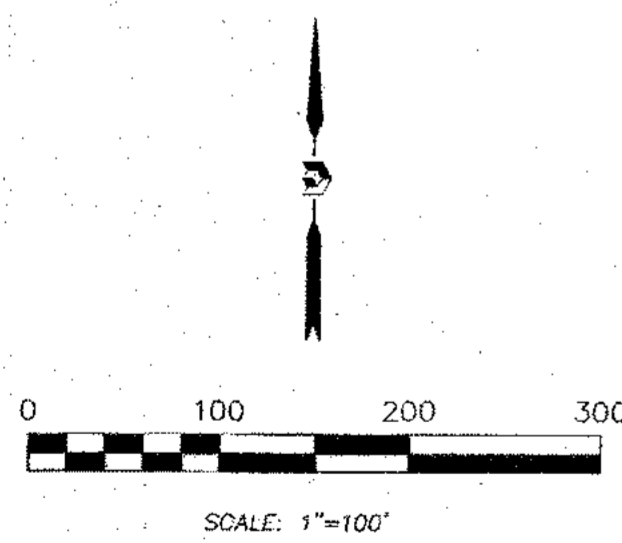
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1062.68'	144.91'	144.80'	S 85°13'26" E	7°48'47"
C2	1148.73'	285.06'	284.33'	S 88°23'58" E	14°13'05"
C3	1148.73'	111.40'	111.40'	N 81°42'44" E	5°33'30"
C4	40.90'	62.64'	56.69'	S 59°54'12" E	87°44'55"
C5	1205.40'	227.65'	227.31'	S 09°25'54" E	10°49'14"
C6	1205.40'	52.18'	52.17'	S 02°43'32" E	2°28'49"
C7	1259.75'	147.87'	147.79'	S 04°50'15" E	6°43'32"
C8	1259.75'	106.76'	106.73'	S 10°37'41" E	4°51'21"
C9	732.17'	20.46'	20.46'	S 49°25'58" E	1°36'03"
C10	732.17'	67.34'	67.31'	S 45°57'48" E	5°16'10"

**Easement Line Table**

LINE	BEARING	DISTANCE
L1	N 39°14'41" W	65.78'
L2	N 50°17'26" W	371.32'
L3	N 00°01'26" E	120.89'
L4	N 13°44'05" W	298.39'
L5	N 76°16'09" E	58.26'
L6	S 13°35'51" E	20.81'
L7	S 76°16'09" W	58.25'
L8	S 13°44'05" E	260.80'
L9	S 00°01'26" W	113.71'
L10	S 50°17'26" E	62.20'
L11	S 50°17'26" E	301.66'
L12	S 39°14'41" E	78.72'
L13	S 75°07'10" W	21.98'

**Legend**

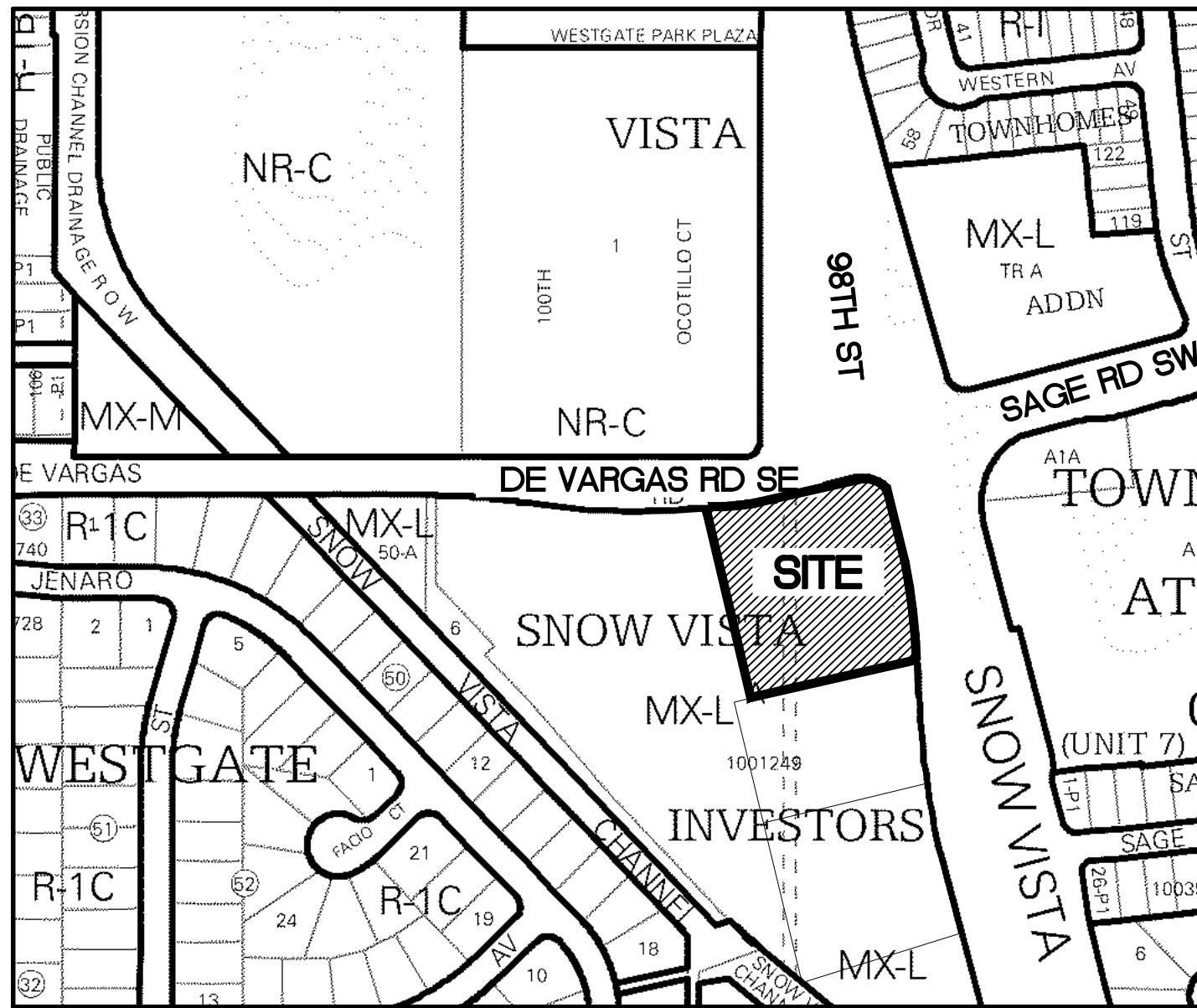
- (N 90°00'00" E) MEASURED BEARING AND DISTANCES (N 90°00'00" E)
- RECORD BEARINGS AND DISTANCES AS DESIGNATED
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" SET THIS SURVEY
- CONTROL POINT SET THIS SURVEY
- △ FOUND ALUMINUM A.G.R.S. MONUMENT AS DESIGNATED
- FOUND BRASS CAP AS DESIGNATED
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES (2001 ADRICH PLAT)
- ((N 90°00'00" E)) RECORD BEARINGS AND DISTANCES PER PLAT (C37-26)



A FLOATING PRIVATE CROSS SURFACE DRAINAGE EASEMENT FOR THE BENEFIT OF ALL LOTS, TO BE MAINTAINED BY THE OWNER OF EACH LOT, GRANTED BY THIS PLAT.

A FLOATING PRIVATE CROSS LOT ACCESS EASEMENT IS HEREBY GRANTED BY THIS PLAT OVER LOTS 1A, 1B, 1C, 1D, AND 1E, WITH THE EXCEPTION OF THOSE AREAS COVERED BY FUTURE BUILDING AND IMPROVEMENTS, TO BE MAINTAINED BY THE OWNER OF EACH LOT.

COORDINATE AND DIMENSION INFORMATION		PLSS INFORMATION		INDEXING INFORMATION FOR COUNTY CLERK		PROJECT INFORMATION		
STATE PLANE ZONE: NM-C	GRID / GROUND COORDINATES: GRID	TYPE: STANDARD	LAND GRANT: TOWN OF ATRISCO	PROPERTY OWNER: LAWRENCE GOODMAN REVOCABLE TRUST	PRECISION SURVEYS, INC.		CREW/TECH: MT	DATE OF SURVEY: 10/30/2020
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	SECTION: 33	TOWNSHIP: 10 NORTH	RANGE: 02 EAST	MERIDIAN: NMPM	DRAWN BY: JK	CHECKED BY: LM
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM		MATCHES DRAWING UNITS: YES	CITY: ALBUQUERQUE	COUNTY: BERNALILLO	STATE: NM	UPC: 100905510538420307	PSI JOB NO: 216212P	SHEET NUMBER: 2 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000321233		BASE POINT FOR SCALING AND/OR ROTATION: N=0, E=0	SUBDIVISION NAME: SNOW VISTA INVESTORS		ADDRESS: 1125 SNOW VISTA BOULEVARD, S.W.		OFFICE LOCATION: 9200 San Mateo Boulevard, NE Albuquerque, NM 87113	
DISTANCE ANNOTATION: GROUND		BEARING ANNOTATION: GRID	ELEVATION TRANSLATION: NO		ELEVATIONS VALID: NO		505.856.5700 PHONE 505.856.7900 FAX	



Vicinity Map - Zone Atlas M-9-Z

N.T.S.

**Notes**

1. FIELD SURVEY PERFORMED IN MARCH AND APRIL 2025.
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. THIS PRELIMINARY / FINAL PLAT WAS APPROVED BY THE DEVELOPMENT HEARING OFFICER FOR THE CITY OF ALBUQUERQUE AT A PUBLIC HEARING HELD ON \_\_\_\_\_, 20\_\_\_\_\_.

**Documents**

1. TITLE COMMITMENT PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, HAVING FILE NO. SP000162422 AND AN EFFECTIVE DATE OF FEBRUARY 29, 2024.
2. PLAT FOR SNOW VISTA INVESTORS, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 14, 2022, IN BOOK 2022C, PAGE 139.
3. WARRANTY DEED FOR TRACT A (NOW KNOWN AS LOTS 1A, 1B, 1C, 1D AND 1E), FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 18, 2018, AS DOCUMENT NO. 2018062592.

**Indexing Information**

Section 33, Township 10 North, Range 2 East, N.M.P.M. as Projected into the Town of Atrisco Grant  
 Subdivision: Snow Vista Investors  
 Owner: Lawrence Goodman RVT  
 UPC #: 100905515141520314

**Purpose of Plat**

1. VACATE PORTIONS OF EXISTING EASEMENT AS SHOWN HEREON.
2. GRANT EASEMENTS AS SHOWN HEREON.

**Subdivision Data**

GROSS ACREAGE..... 1.9274 ACRES  
 ZONE ATLAS PAGE NO..... M-9-Z  
 NUMBER OF EXISTING LOTS..... 1  
 NUMBER OF LOTS CREATED..... 1  
 MILES OF FULL-WIDTH STREETS..... 0.0000 MILES  
 MILES OF HALF-WIDTH STREETS..... 0.0000 MILES  
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE..... 0.0000 ACRES  
 DATE OF SURVEY..... APRIL 2025

**Legal Description**

LOT 1A OF THE PLAT OF LOTS 1A, 1B, 1C, 1D AND 1E, SNOW VISTA INVESTORS, TOWN OF ATRISCO GRANT, WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 14, 2022, IN PLAT BOOK 2022C, PAGE 139.

**Flood Notes**

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H, DATED AUGUST 16, 2012.

**Solar Collection Note**

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

**Treasurer's Certificate**

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_100905515141520314\_\_\_\_\_

PROPERTY OWNER OF RECORD  
 \_\_\_\_\_  
 BERNALILLO COUNTY TREASURER'S OFFICE

**Plat for Lot 1A-1  
 Snow Vista Investors  
 Being Comprised of Lot 1A  
 Snow Vista Investors**

City of Albuquerque, Bernalillo County, New Mexico  
 February 2026

Project Number: \_\_\_\_\_ PR-2020-004645

Application Number: \_\_\_\_\_

**Plat Approvals:**

PNM Electric Services

Qwest Corp. d/b/a CenturyLink QC

New Mexico Gas Company

Comcast

Ezee Fiber

**City Approvals:**

City Surveyor

Traffic Engineering, Transportation Division

ABCWUA

Parks and Recreation Department

AMAFCA

Hydrology

Code Enforcement

Planning Department

City Engineer

**Surveyor's Certificate**

I, BRIAN J. MARTINEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS FOR THE CITY OF ALBUQUERQUE AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BRIAN J. MARTINEZ  
 N.M.R.P.S. No. 18374

Date

**CSI-CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896 - 3050 Fax (505) 891 - 0244  
 cartesianbrian@gmail.com



This Page Shows Existing Conditions and Portion of Easement 5 to be Vacated

**Plat for  
Lot 1A-1  
Snow Vista Investors  
Being Comprised of  
Lot 1A, Snow Vista Investors  
City of Albuquerque, Bernalillo County, New Mexico  
February 2026**

ACS Monument "11L-10"  
NAD 1983 CENTRAL ZONE  
X=1499894.295  
Y=1479206.196  
Z=5081.821 (NAVD 1988)  
G-G=0.99968347  
Mapping Angle=-0°16'11.25"

**Legend**

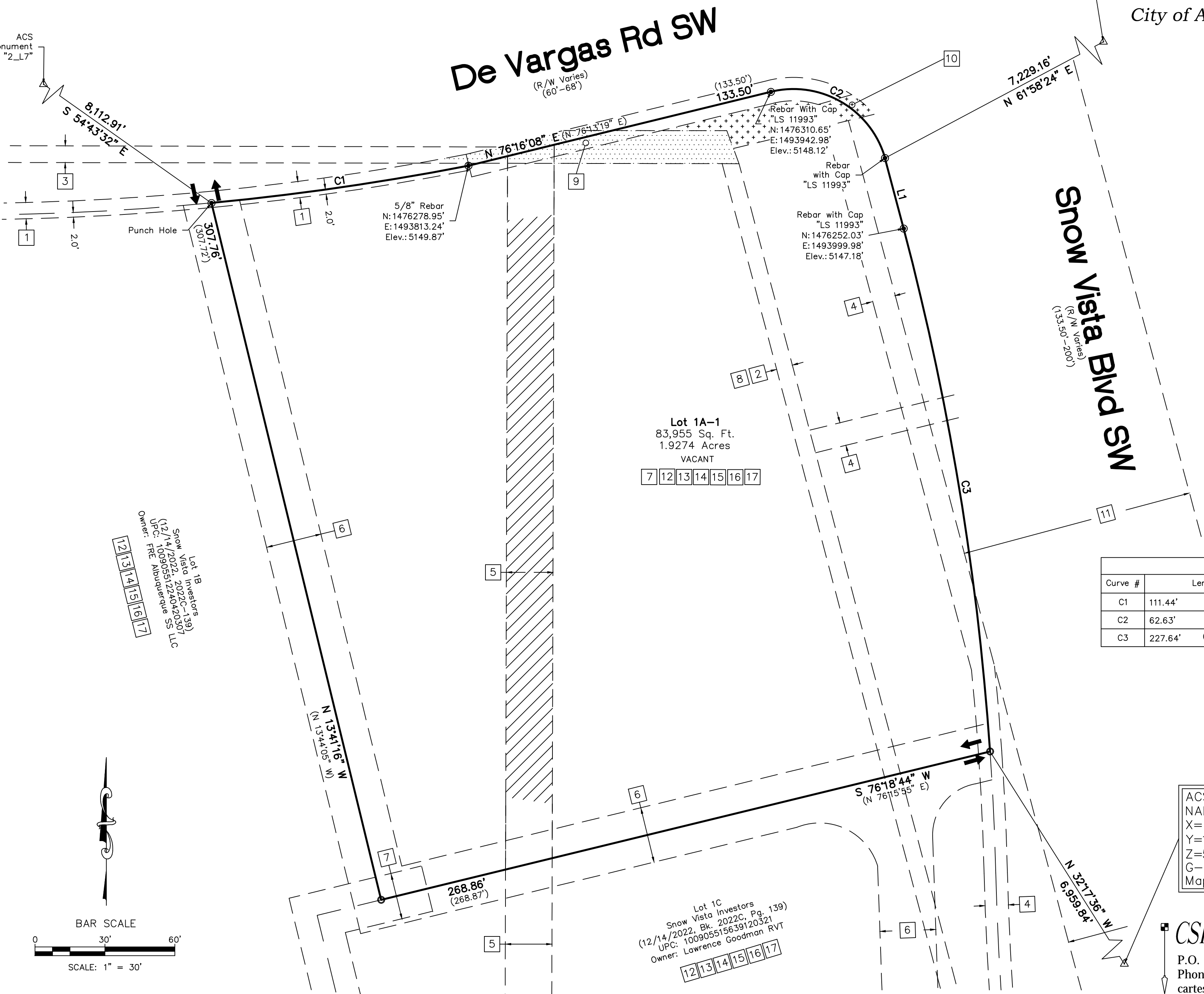
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (12/14/2022, 2022C-139)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED

**Line Table**

Line #	Direction	Length (ft)
L1	S 14°50'25" E (S 14°53'14" E)	31.37' (31.37')

**Curve Table**

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	111.44' (111.14')	1148.73' (1148.73')	5°33'30"	111.40'	N 81°45'32" E
C2	62.63' (62.64')	40.90' (40.90')	87°44'28"	56.69'	N 59°51'23" W
C3	227.64' (227.65')	1205.05' (1205.40')	10°49'24"	227.30'	N 09°23'01" W

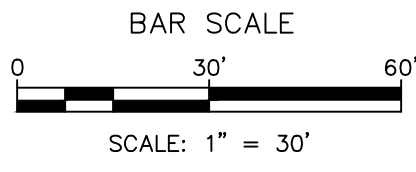


ACS Monument "3-N10"  
NAD 1983 CENTRAL ZONE  
X=1497276.885  
Y=1469674.583  
Z=5036.496 (NAVD 1988)  
G-G=0.999686488  
Mapping Angle=-0°16'28.38"

**CSI-CARTESIAN SURVEYS INC.**  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244  
cartesianbrian@gmail.com

Lot 1C  
Snow Vista Investors  
(12/14/2022, Bk. 2022C, Pg. 139)  
UPC: 100905515639120321  
Owner: Lawrence Goodman RVT

Lot 1B  
Snow Vista Investors  
(12/14/2022, 2022C-139)  
UPC: 100905512240420507  
Owner: FFE Albuquerque SS LLC



This Page Shows Post-Plat Conditions,  
including Easement 18 to be Granted

**Plat for  
 Lot 1A-1**  
**Snow Vista Investors**  
 Being Comprised of  
 Lot 1A, Snow Vista Investors  
 City of Albuquerque, Bernalillo County, New Mexico  
 February 2026

ACS Monument "11L-10"  
 NAD 1983 CENTRAL ZONE  
 X=1499894.295  
 Y=1479206.196  
 Z=5081.821 (NAVD 1988)  
 G-G=0.99968347  
 Mapping Angle=-0°16'11.25"

**Legend**

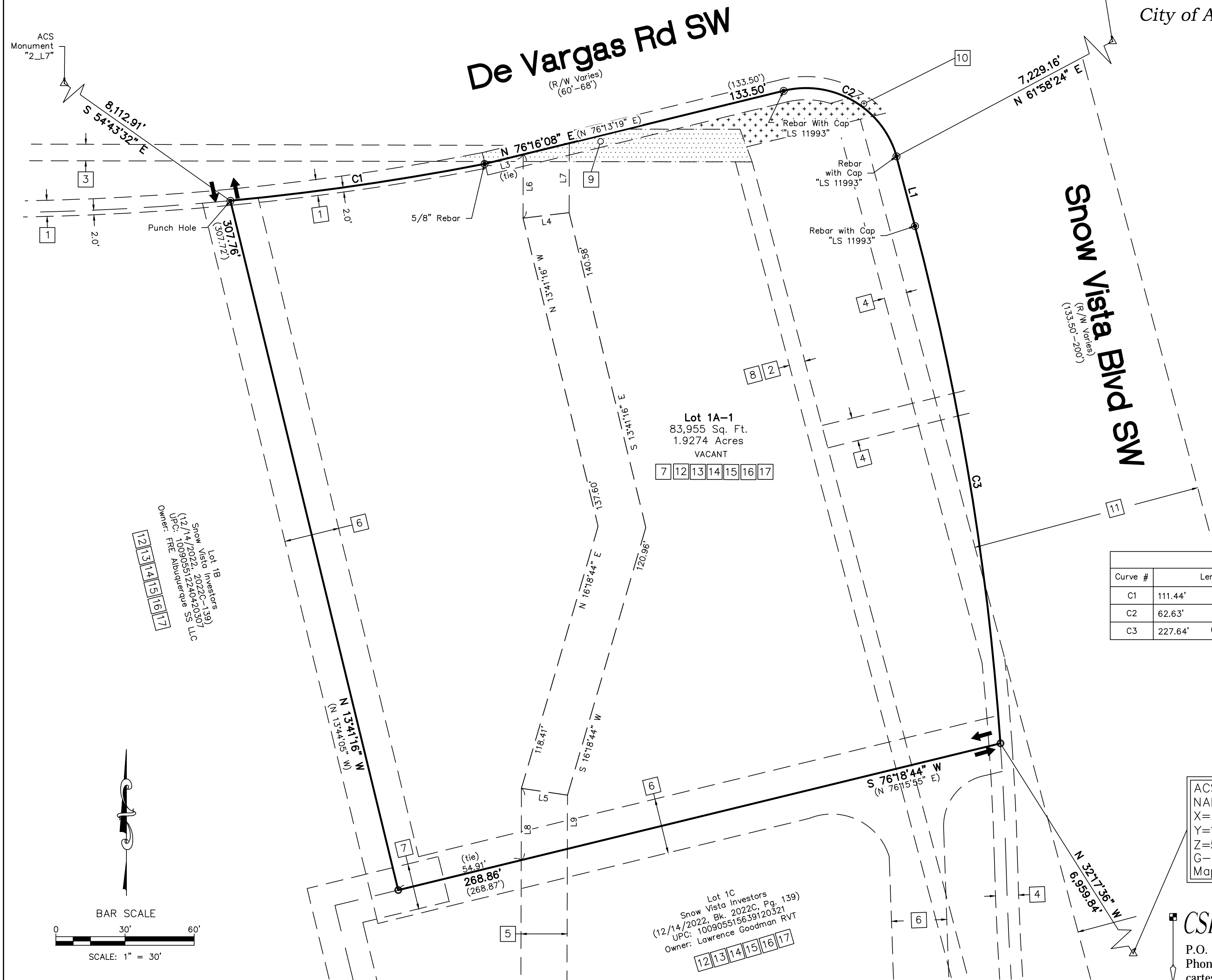
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (12/14/2022, 2022C-139)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED

**Line Table**

Line #	Direction	Length (ft)
L1	S 14°50'25" E (S 14°53'14" E)	31.37' (31.37')
L3	N 76°16'08" E (N 76°13'19" E)	17.29'
L4	N 83°06'07" E	20.14'
L5	N 81°41'13" W	20.20'
L6	S 00°09'43" W	27.64'
L7	N 00°09'40" E	30.11'
L8	S 00°09'43" W	31.11'
L9	S 00°09'40" W	23.32'

**Curve Table**

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	111.44' (111.14')	1148.73' (1148.73')	5°33'30"	111.40'	N 81°45'32" E
C2	62.63' (62.64')	40.90' (40.90')	87°44'28"	56.69'	N 59°51'23" W
C3	227.64' (227.65')	1205.05' (1205.40')	10°49'24"	227.30'	N 09°23'01" W

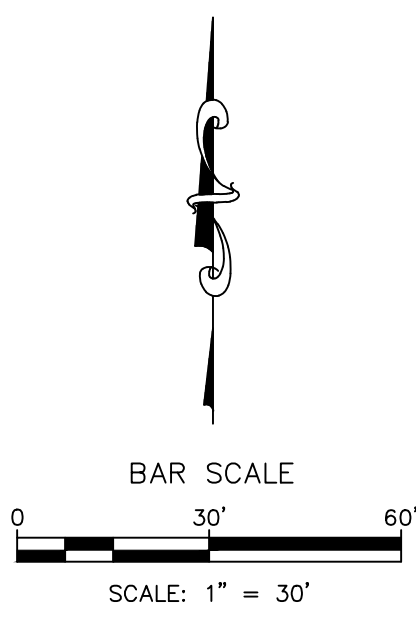


Lot 1B  
 Snow Vista Investors  
 (12/14/2022, 2022C-139)  
 (12/14/2022, 2022C-1307)  
 UPC: 1009055122404205 SS LLC  
 Owner: FFE Albuquerque

Lot 1C  
 Snow Vista Investors  
 (12/14/2022, Bk. 2022C, Pg. 139)  
 UPC: 100905515639120321  
 Owner: Lawrence Goodman RVT

ACS Monument "3-N10"  
 NAD 1983 CENTRAL ZONE  
 X=1497276.885  
 Y=1469674.583  
 Z=5036.496 (NAVD 1988)  
 G-G=0.999686488  
 Mapping Angle=-0°16'28.38"

**CSI-CARTESIAN SURVEYS INC.**  
 P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244  
 cartesianbrian@gmail.com







Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	111.44' (111.14')	1148.73' (1148.73')	5°33'30"	111.40'	N 81°45'32" E
C2	62.63' (62.64')	40.90' (40.90')	87°44'28"	56.69'	N 59°51'23" W
C3	227.64' (227.65')	1205.05' (1205.40')	10°49'24"	227.30'	N 09°23'01" W

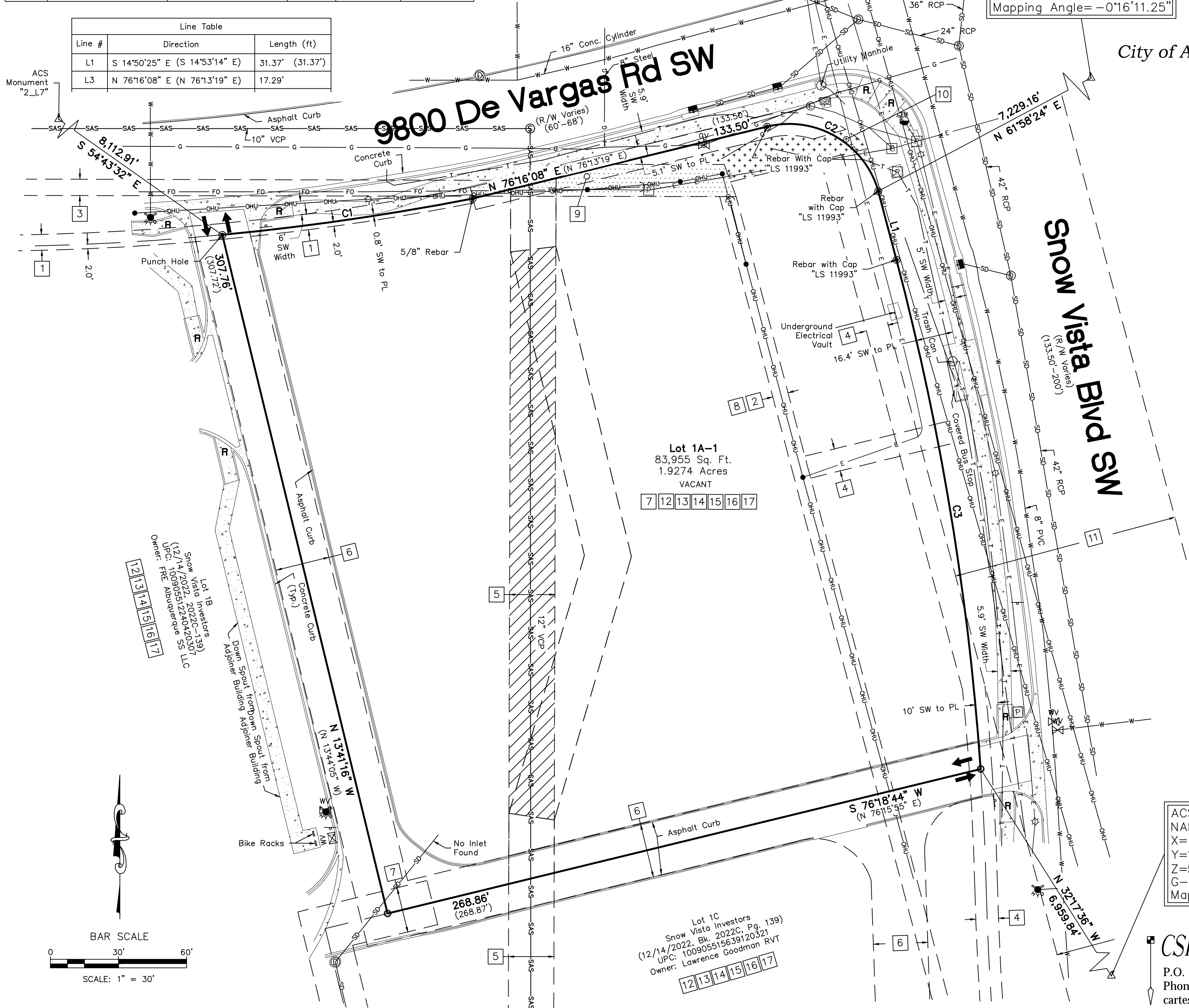
Line Table		
Line #	Direction	Length (ft)
L1	S 14°50'25" E (S 14°53'14" E)	31.37' (31.37')
L3	N 76°16'08" E (N 76°13'19" E)	17.29'

**Site Sketch for  
Lot 1A-1  
Snow Vista Investors  
Being Comprised of  
Lot 1A, Snow Vista Investors  
City of Albuquerque, Bernalillo County, New Mexico  
December 2025**

ACS Monument "11L-10"  
NAD 1983 CENTRAL ZONE  
X=1499894.295  
Y=1479206.196  
Z=5081.821 (NAVD 1988)  
G-G=0.99968347  
Mapping Angle=-0°16'11.25"

**Legend**

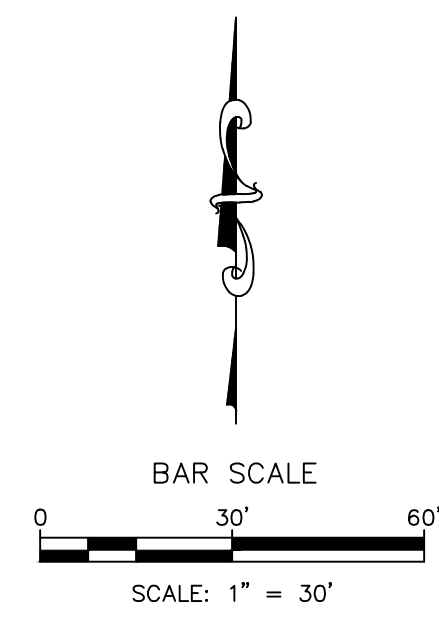
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (12/14/2022, 2022C-139)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
⊠	COVERED AREA
▨	CONCRETE
—OHU—	OVERHEAD UTILITY LINE
•	UTILITY POLE
⌋	ANCHOR
□	PULL BOX
☆	LIGHT POLE
⊙	ELECTRIC METER
⊠	SIGNAL BOX
⊠	TRAFFIC MAST
⊠	GAS VALVE
⊠	WATER VALVE
⊠	FIRE HYDRANT
⊙	SANITARY SEWER MANHOLE
⊙	STORM DRAIN MANHOLE
⊠	STORM DRAIN INLET
—OR—	SIGN
—G—	UNDERGROUND GAS UTILITY LINE
—SAS—	UNDERGROUND SANITARY SEWER LINE
—E—	UNDERGROUND ELECTRIC UTILITY LINE
—T—	UNDERGROUND TELEPHONE UTILITY LINE
—SD—	UNDERGROUND STORM DRAIN UTILITY LINE
—W—	UNDERGROUND WATER UTILITY LINE
R	RAMP



ACS Monument "3-N10"  
NAD 1983 CENTRAL ZONE  
X=1497276.885  
Y=1469674.583  
Z=5036.496 (NAVD 1988)  
G-G=0.999686488  
Mapping Angle=-0°16'28.38"

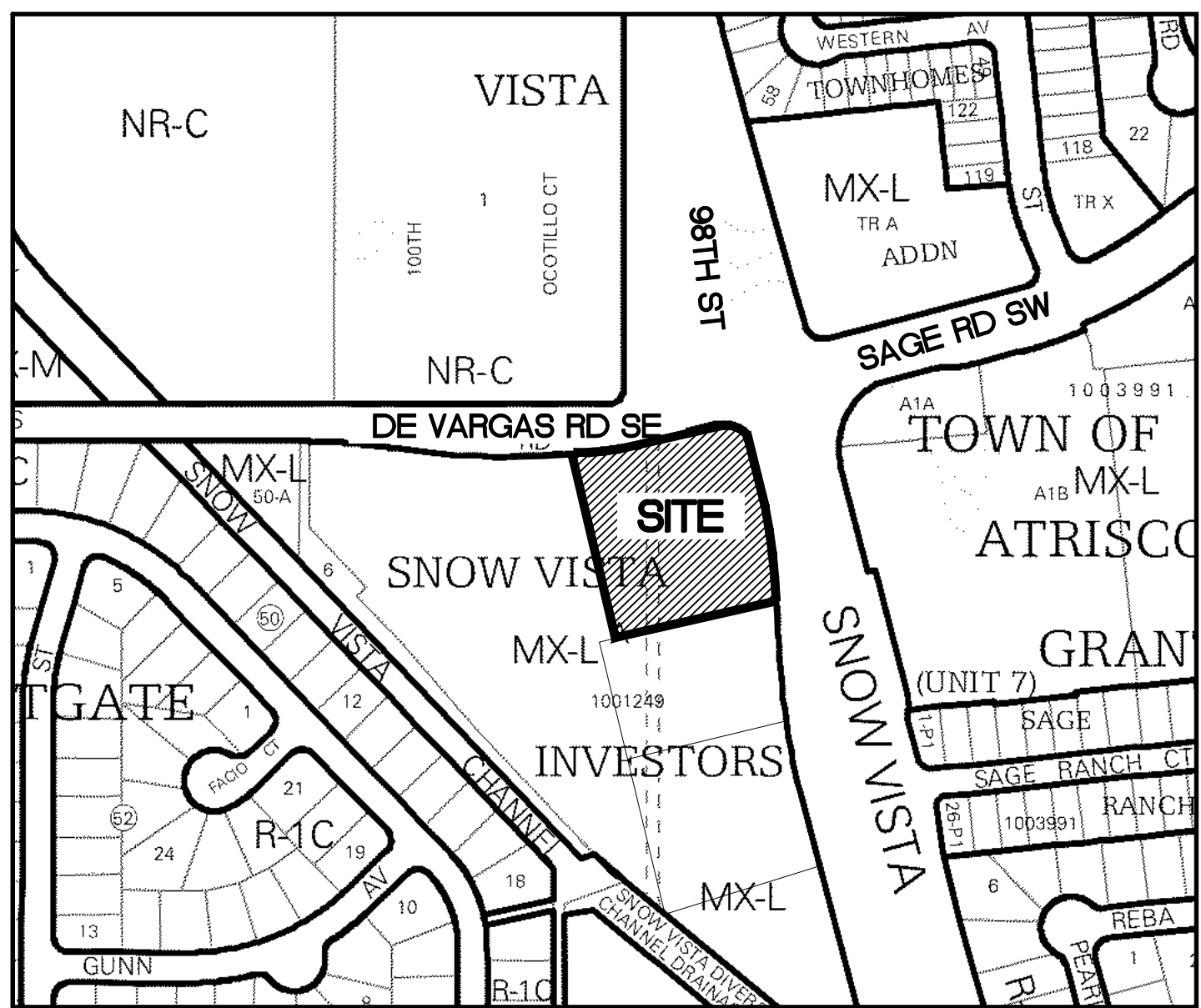
**CSI-CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244  
cartesianbrian@gmail.com



Lot 1C  
Snow Vista Investors  
(12/14/2022, Bk. 2022C, Pg. 139)  
UPC: 100905515639120321  
Owner: Lawrence Goodman RVT

Lot 1B  
Snow Vista Investors  
(12/14/2022, 2022C-139)  
UPC: 1009055122404205  
Owner: FFE Albuquerque SS LLC



Vicinity Map - Zone Atlas M-9-Z

**Indexing Information**

Section 33, Township 10 North, Range 2 East, N.M.P.M. as Projected into the Town of Atrisco Grant  
 Subdivision: Snow Vista Investors  
 Owner: Lawrence Goodman RVT  
 UPC #: 100905515141520314

**Flood Notes**

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H, DATED AUGUST 16, 2012.

**Documents**

- TITLE COMMITMENT PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, HAVING FILE NO. SP000162422 AND AN EFFECTIVE DATE OF FEBRUARY 29, 2024.
- PLAT FOR SNOW VISTA INVESTORS, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 14, 2022, IN BOOK 2022C, PAGE 139.
- WARRANTY DEED FOR TRACT A (NOW KNOWN AS LOTS 1A, 1B, 1C, 1D AND 1E), FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 18, 2018, AS DOCUMENT NO. 2018062592.

**Easement Notes**

- EXISTING 7' P.U.E. (4/23/1997, 97C-119)
- EXISTING 7' PNM AND MST&T EASEMENT (1/29/1974, BK. MISC. 351, PG. 72 DOC. NO. 9-1828) LAND AS SHOWN ON PLAT (12/14/2022, 2022C-139)
- EXISTING 7' P.U.E. (2/5/1964, D3-90)
- EXISTING 10' P.U.E. (8/3/2001, 2001C-225)
- EXISTING 20' SANITARY SEWER EASEMENT (02/05/1964, D3-90) REVISED BY PLAT (04/23/1997, 97C-119); NO ENCROACHMENT SHALL TAKE PLACE WITHIN THE EXISTING PUBLIC SANITARY SEWER EASEMENT AND CONTINUED ACCESS SHALL BE PROVIDED FOR OPERATION AND MAINTENANCE BY THE WATER AUTHORITY, AS SHOWN BY PLAT (12/14/2022, 2022C-139)
- EXISTING PERMANENT 24' PRIVATE ACCESS EASEMENT BENEFITING ALL LOTS AND MAINTAINED BY THE OWNER OF WHOSE LOT A PORTION OF THE PRIVATE ACCESS EASEMENT IS LOCATED. (12/15/2023, DOC. NO. 2023079584)
- EXISTING PERMANENT 20' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1A, 1B, 1C, 1D AND 1E TO BE MAINTAINED BY THE OWNER OF EACH LOT LOCATION AMBIGUOUS (12/15/2023, DOC. NO. 2023079584)
- EXISTING 7' P.U.E. AS SHOWN ON PLATS (1/7/1988, C35-118) AND (8/12/1989, C39-152)
- EXISTING 14' P.U.E. (2/5/1964, D3-90) SHOWN HEREON AS
- EXISTING VARIABLE WIDTH (MIN. 10') P.U.E. (8/3/2001, 2001C-225) SHOWN HEREON AS
- EXISTING 100' UTILITY EASEMENT (2/5/1964, D3-90)
- EXISTING FLOATING CROSS SURFACE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1A, 1B, 1C, 1D AND 1E, MAINTAINED BY THE OWNERS OF SAID LOTS (12/14/2022, 2022C-139)
- EXISTING FLOATING PRIVATE CROSS LOT ACCESS EASEMENT OVER LOTS 1A, 1B, 1C, 1D AND 1E, WITH THE EXCEPTION OF THOSE AREAS COVERED BY FUTURE BUILDING AND IMPROVEMENTS, TO BE MAINTAINED BE THE OWNER OF EACH LOT. (12/14/2022, 2022C-139)
- EXISTING PERPETUAL, NONEXCLUSIVE EASEMENT ON LOTS 1A, 1B, 1C, 1D AND 1E, FOR INGRESS AND EGRESS OF VEHICULAR AND PEDESTRIAN TRAFFIC OVER AND ACROSS ALL ACCESS POINTS, DRIVEWAYS AND VEHICULAR TRAFFIC LANES AND FOR THE PARKING OF MOTOR VEHICLES IN DESIGNATED PARKING AREAS. (12/15/2023, DOC. NO. 2023079585)
- EXISTING PERPETUAL, NONEXCLUSIVE EASEMENT FOR STORM DRAINAGE AND THE DISCHARGE OF WATER FROM, OVER AND ACROSS LOTS 1A, 1B, 1C, 1D AND 1E, BLANKET IN NATURE (12/15/2023, DOC. NO. 2023079585)
- EXISTING PERPETUAL, NONEXCLUSIVE EASEMENT FOR THE EXTENSION OF UNDERGROUND UTILITIES UNDER THE SURFACE OF THE LOTS, EXCLUSIVE OF BUILDING AREAS. (12/15/2023, DOC. NO. 2023079585)
- EXISTING TEMPORARY, NONEXCLUSIVE EASEMENT FOR CONSTRUCTION OVER AND ACROSS EACH LOT FOR THE PURPOSE OF CONSTRUCTION AND INSTALLATION OF UTILITIES. (12/15/2023, DOC. NO. 2023079585)

**Benchmark -NAVD 88**

ACS MONUMENT 2\_L7 HAVING AN ELEVATION OF 5415.511 FEET.

**Utility Company Contacts**

- PNM: RODNEY FUENTES  
 RODNEY.FUENTES@PNMRESOURCES.COM  
 (505)241-4476  
 2401 AZTEC RD. NE, MS 2110  
 ALBUQUERQUE, NM 87109
- LUMEN: DON DAVALOS  
 DON.DAVALOS@LUMEN.COM  
 (505)886-4673  
 OR  
 ABDUL A. BHUIYAN  
 ABDUL.BHUIYAN2@LUMEN.COM  
 (505)886-4665  
 4301 BOGAN AVE. NE  
 ALBUQUERQUE, NM 87109
- NM GAS CO.: STEPHEN ASP II  
 STEPHEN.ASPII@NMGCCO.COM  
 (505)377-1448  
 7120 WYOMING BLVD. NE, STE. 20,  
 ALBUQUERQUE, NM 87109
- COMCAST: MIKE MORTUS  
 MIKE\_MORTUS@COMCAST.COM  
 (505)269-4006  
 4611 MONTBEL PL. NE  
 ALBUQUERQUE, NM 87103
- ABCWUA(WATER): DAVID G. GUTIERREZ  
 DGGUTIERREZ@ABCWUA.ORG  
 (505)289-3307  
 1441 MISSION AVE. NE  
 ALBUQUERQUE, NM 87107

**Notes**

- FIELD SURVEY PERFORMED IN MARCH AND APRIL 2025.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
- PERTAINING TO TABLE A OPTION 11, WITH REGARD TO UNDERGROUND UTILITY LOCATIONS, SOURCE INFORMATION FROM PLANS AND MARKINGS WERE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.iv. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, WHICH MAY AFFECT THIS SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. INVERT DATA SHOWN WITH A ± SHOULD BE CONSIDERED TAKEN FROM AS-BUILTS. (NMB11 TICKET NO. 25MAT10715)
- PERTAINING TO TABLE A OPTION 7, NO BUILDING EXIST ON THE SURVEYED PROPERTY, THEREFORE NOT SHOWN HEREON.
- PERTAINING TO TABLE A OPTION 16, NO EVIDENCE WAS OBSERVED INDICATING RECENT EARTHWORK, BUILDING CONSTRUCTION OR ADDITIONS.
- PERTAINING TO TABLE A OPTION 9, NO PARKING SPACES WERE OBSERVED ON THE SUBJECT PROPERTY DURING THE COURSE OF THE SURVEY, THEREFORE ARE NOT SHOWN HEREON.
- PERTAINING TO TABLE A OPTION 17, WHILE NO SPECIFIC INFORMATION IS AVAILABLE BY THE CONTROLLING JURISDICTION CONCERNING PLANNED STREET WIDENING, THE SURVEYOR REFERS TO THE FOLLOWING WEBSITE FOR LONG RANGE STREET CLASSIFICATION, THE STREET WIDTH AND RETURN REQUIREMENTS FOR THE DIFFERENT CLASSIFICATIONS AND EVEN SPECIAL PLANNED CORRIDOR AND MASTER PLANS: HTTP://WWW.CABQ.GOV/GIS
- NO WETLAND DELINEATION MARKERS WERE OBSERVED IN THE FIELD DURING THIS SURVEY.
- PERTAINING TO THE OFFSITE EASEMENTS AND SERVITUDES (TABLE A OPTION 18), NO ADDITIONAL EASEMENTS OR SERVITUDES WERE OBSERVED IN THE FIELD EITHER BURDENING NOR BENEFITING THE SUBJECT PROPERTY.
- PERTAINING TO TABLE A OPTION 2, THE ADDRESS AS SHOWN AND NOTED IN PUBLIC RECORDS IS AS FOLLOWS, 9800 DE VARGAS RD. SW ALBUQUERQUE, NM 87121.
- THE COORDINATES SHOWN HEREON REFERENCE MODIFIED NEW MEXICO STATE PLANE COORDINATES (NAD 83-GROUND-CENTRAL ZONE) USING A GROUND TO GRID FACTOR OF 0.9996806617, WITH AN ORIGIN OF (0, 0).
- NO TREES OR SHRUBS WERE OBSERVED ON THE SUBJECT PROPERTY DURING THE COURSE OF THIS SURVEY.

**Topographic Map,  
 Boundary Survey  
 and  
 ALTA/NSPS Land Title Survey  
 for  
 Lot 1A  
 Snow Vista Investors  
 City of Albuquerque  
 Bernalillo County, New Mexico  
 May 2025**

**Record and Measured Legal Description**

LOT 1A OF THE PLAT OF LOTS 1A, 1B, 1C, 1D AND 1E, SNOW VISTA INVESTORS, TOWN OF ATRISCO GRANT, WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 14, 2022, IN PLAT BOOK 2022C, PAGE 139.

**Surveyor's Certificate for Topographic Map**

I, BRIAN J. MARTINEZ, A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE TOPOGRAPHIC MAP SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Brian J. Martinez 5/8/25  
 Brian J. Martinez Date  
 N.M.R.P.S. No. 18374



**Surveyor's Certificate for ALTA Survey**

To: Lawrence Goodman Revocable Trust U/A/D 12/6/77, Chicago Insurance Title Company, Fidelity National Title of New Mexico Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-5, 6(a), 6(b), 7(a), 7(b1), 7(b2), 8, 9, 11, 13, 16, 17, 18, 19 and 20 of Table A thereof. The Field Work was completed on April 2, 2025.

Brian J. Martinez 5/8/25  
 Brian J. Martinez Date  
 N.M.R.P.S. No. 18374



Revisions: 4/7/2025 - Original  
 5/8/2025 - Revised to show correct location of existing underground sewer line

**Surveyor's Certificate for Boundary Survey**

I, Brian J. Martinez, New Mexico Professional Surveyor No. 18374, do hereby certify that this boundary survey plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that I am responsible for this survey; that this survey meets the minimum standards for surveying in New Mexico; and that it is true and correct to the best of my knowledge and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico subdivision act and that this instrument is a boundary survey plat of an existing tract or tracts.

Brian J. Martinez 5/8/25  
 Brian J. Martinez Date  
 N.M.R.P.S. No. 18374



**CSI-CARTESIAN SURVEYS INC.**

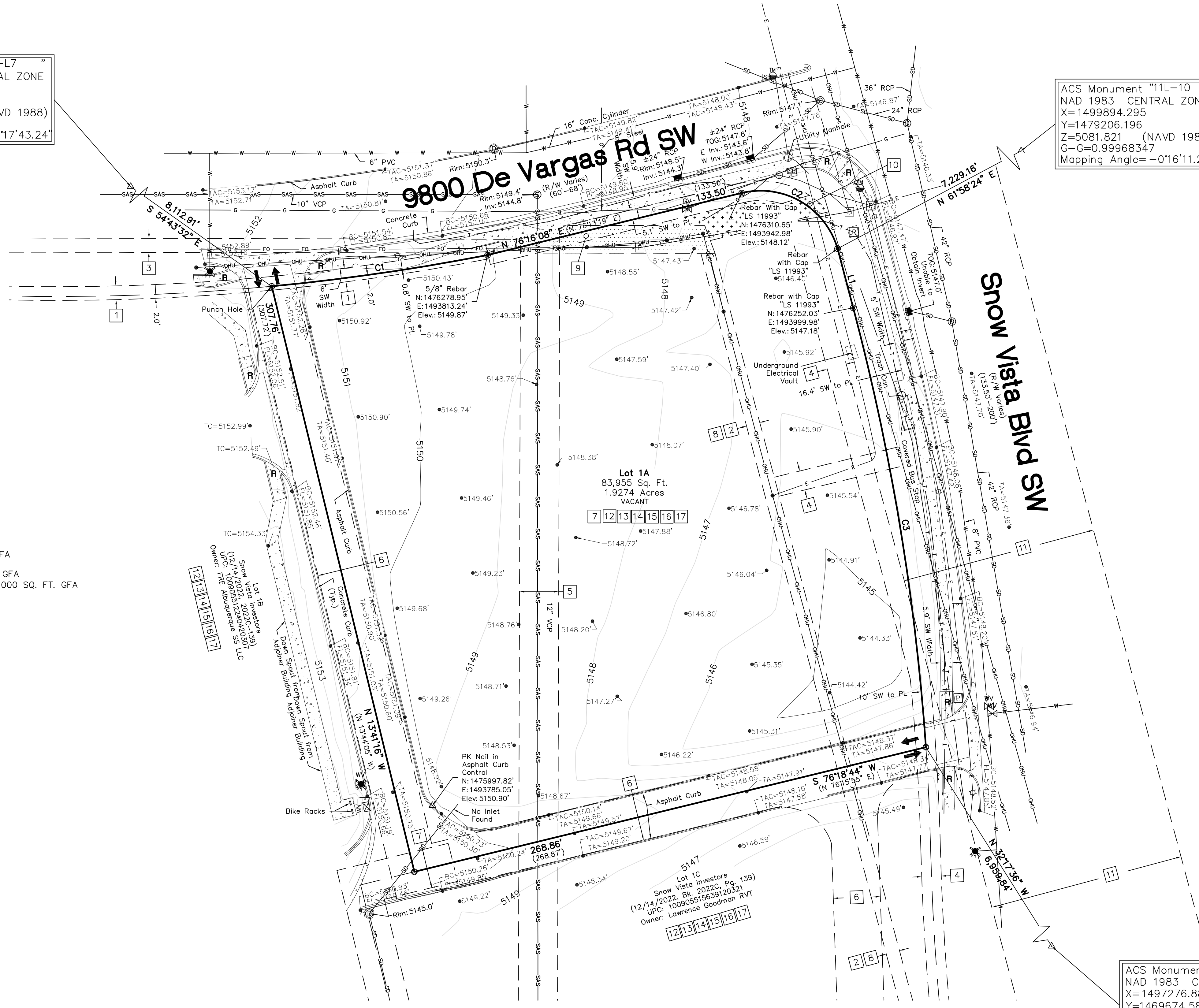
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896 - 3050 Fax (505) 891 - 0244  
 cartesianbrian@gmail.com

Topographic Map,  
Boundary Survey  
and  
ALTA/NSPS Land Title Survey  
for  
**Lot 1A**  
Snow Vista Investors  
City of Albuquerque  
Bernalillo County, New Mexico  
May 2025

ACS Monument "2-L7"  
NAD 1983 CENTRAL ZONE  
X=1486604.908  
Y=1480475.091  
Z=5415.511 (NAVD 1988)  
G-G=0.999672027  
Mapping Angle=-0°17'43.24"

ACS Monument "11L-10"  
NAD 1983 CENTRAL ZONE  
X=1499894.295  
Y=1479206.196  
Z=5081.821 (NAVD 1988)  
G-G=0.99968347  
Mapping Angle=-0°16'11.25"

ACS Monument "3-N10"  
NAD 1983 CENTRAL ZONE  
X=1497276.885  
Y=1469674.583  
Z=5036.496 (NAVD 1988)  
G-G=0.999686488  
Mapping Angle=-0°16'28.38"



**Zoning Information**

"NR-C" (NON-RESIDENTIAL-COMMERCIAL DISTRICT)

- FRONT SET BACK: 5FT MINIMUM
- SIDE SET BACK: 0FT MINIMUM
- REAR SET BACK: 0FT MINIMUM
- BUILDING HEIGHT: 38FT MAXIMUM

**Parking Requirements**

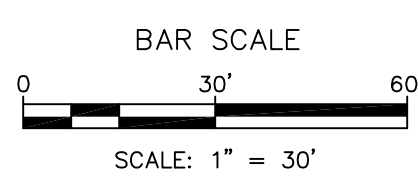
- LIGHT VEHICLE FUELING STATION: 4 SPACES/1000 SQ. FT. GFA
- GENERAL RETAIL STORE ESTABLISHMENTS: ≤ 10,000 SQ. FT. GFA  
3-5 SPACES/1000 SQ. FT. GFA

**Legend**

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (12/14/2022, 2022C-139)
●	FOUND MONUMENT AS INDICATED
○	SET PK NAIL WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
⊠	COVERED AREA
—	CONCRETE
—	OVERHEAD UTILITY LINE
—	UTILITY POLE
⌋	ANCHOR
⊡	PULL BOX
☆	LIGHT POLE
⊙	ELECTRIC METER
⊞	SIGNAL BOX
⊙	TRAFFIC MAST
⊙	GAS VALVE
⊙	WATER VALVE
⊙	FIRE HYDRANT
⊙	SANITARY SEWER MANHOLE
⊙	STORM DRAIN MANHOLE
⊙	STORM DRAIN INLET
—	SIGN
5075.50	SPOT ELEVATION
BC 5075.50	BACK OF CURB ELEVATION
FL 5075.50	FLOW LINE ELEVATION
EP 5075.50	EDGE OF PAVEMENT ELEVATION
TA 5075.50	TOP OF ASPHALT ELEVATION
TC 5075.50	TOP OF CONCRETE ELEVATION
TAC 5075.50	TOP OF ASPHALT CURB ELEVATION
—G—	UNDERGROUND GAS UTILITY LINE
—SAS—	UNDERGROUND SANITARY SEWER LINE
—E—	UNDERGROUND ELECTRIC UTILITY LINE
—T—	UNDERGROUND TELEPHONE UTILITY LINE
—SD—	UNDERGROUND STORM DRAIN UTILITY LINE
—W—	UNDERGROUND WATER UTILITY LINE
R	RAMP
↔	CURB CUT/INDICATION OF ACCESS TO ROADWAY

Line #	Direction	Length (ft)
L1	S 14°50'25" E (S 14°53'14" E)	31.37' (31.37')

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	111.44' (111.14')	1148.73' (1148.73')	5°33'30"	111.40'	N 81°45'32" E
C2	62.63' (62.64')	40.90' (40.90')	87°44'28"	56.69'	N 59°51'23" W
C3	227.64' (227.65')	1205.05' (1205.40')	10°49'24"	227.30'	N 09°23'01" W





**CAUTION NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

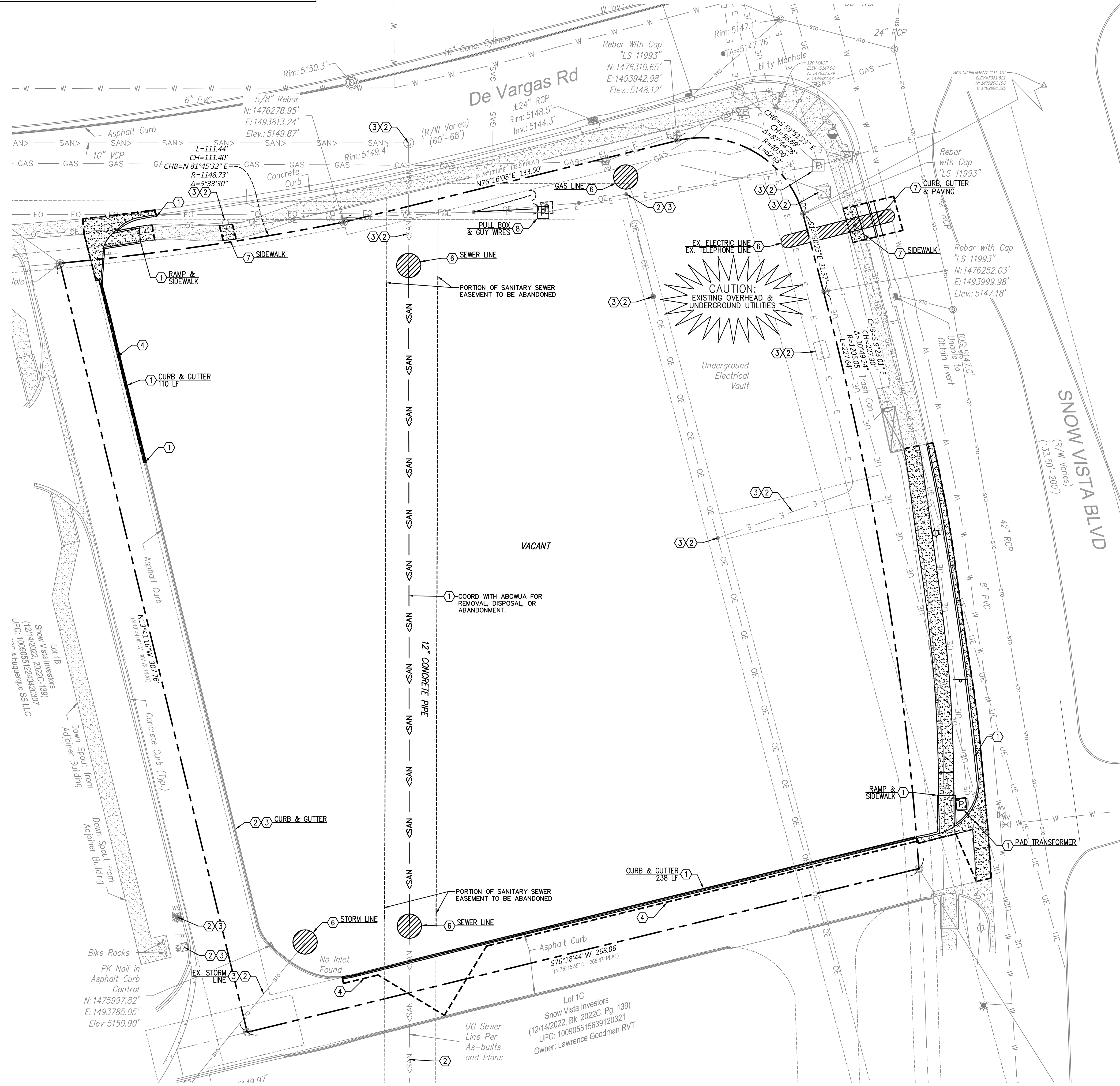
**BENCHMARKS**  
 ACS MONUMENT 2-L7 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'

CONTRACTOR TO VERIFY EXISTING SANITARY SEWER & STORM DRAIN ELEVATIONS, AND UTILITY CONNECTIONS WITHIN 14 DAYS OF GROUNDBREAKING.

**JM CIVIL**  
 1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measles, PE  
 CIVIL ENGINEER

**JOHN THOMAS MEASLES**  
 NEW MEXICO  
 1988  
 Professional Engineer

03/05/2026



**EXISTING LEGEND:**

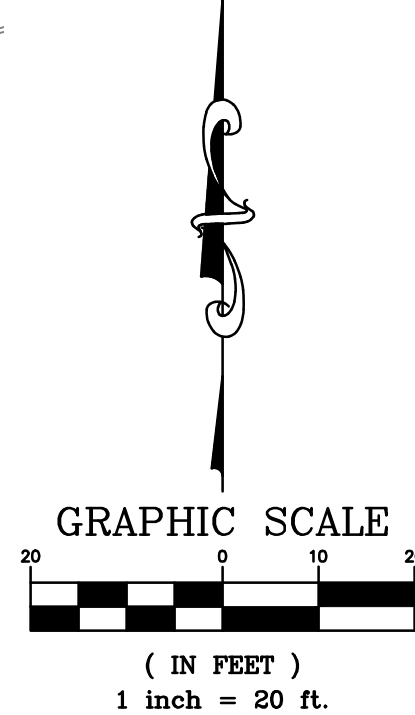
- PROPERTY LINE
- - - EX. EASEMENT
- EXISTING CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- W --- EX. WATER LINE
- SAN --- EX. SANITARY SEWER LINE
- OE --- EX. OVERHEAD ELECTRIC LINE
- GAS --- EX. GAS LINE
- T --- EX. TELEPHONE LINE
- FO --- EX. FIBER OPTIC LINE
- STO --- EX. STORM DRAIN LINE
- EX. CONCRETE SURFACE
- EX. CURB INLET
- ⊙ EX. STORM DRAIN MANHOLE
- ⊕ EX. POWER POLE
- ⊗ EX. GAS VALVE
- ⊗ EX. WATER VALVE
- ⊗ EX. FIRE HYDRANT
- ⊗ POTHOLE IN THE AREA INDICATED

**DEMOLITION KEY NOTES:**

- ① EXISTING TO BE REMOVED.
- ② EXISTING TO REMAIN.
- ③ EXISTING TO BE PROTECTED.
- ④ LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- ⑤ EXISTING TO BE RELOCATED.
- ⑥ POTHOLE & VERIFY EXISTING ELEVATION.
- ⑦ REPAIR/REPLACE AS NEEDED.
- ⑧ RELOCATE IN CASE OF CONFLICT.

**POTHOLE NOTE:**

POTHOLE IN THE AREA INDICATED. FIELD VERIFY ALL UTILITIES LOCATION & DEPTH. NOTIFY ENGINEER OF ANY CONFLICTS AND/OR DISCREPANCIES FROM THE APPROVED PLANS.



**DEMOLITION PLAN**

**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

PROJECT NO.	DATE	DESCRIPTION
JM-DW25001		
DRAWN BY:		
ASR, JK, CRK		
CHECKED BY:		
KWF		
ISSUE DATE:	03/23/2026	



**C 060**

J:\CIRCLE K\DW25001 98TH DE VARGAS RD - ALBUQUERQUE, NM\CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE NM - 24x36 MASTER.DWG 3/23/2026 2:47 PM GAVIN KLEINBECKER

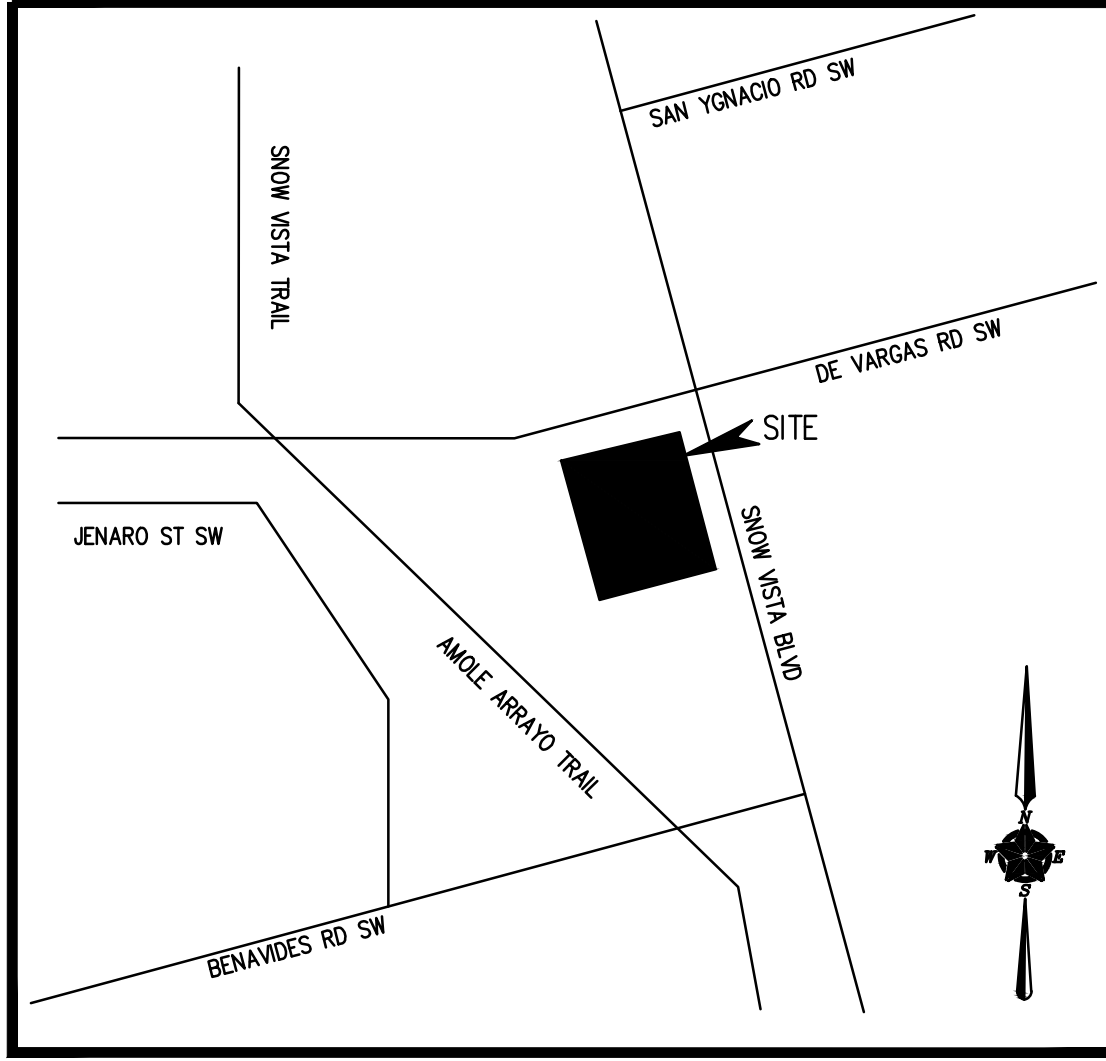
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**FLOODNOTE**  
 BASED UPON SCALING THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY FEMA AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H AS PER ALTA SURVEY

**BENCHMARKS**  
 ACS MONUMENT 2-L7 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'

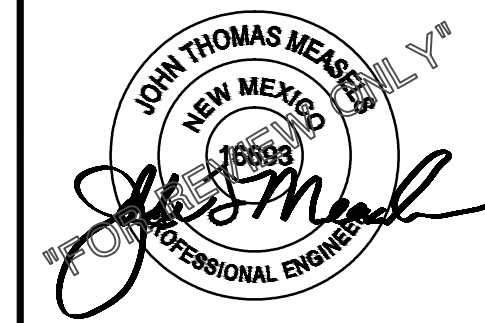
**ZONING: NR-C (COMMERCIAL)**

**NOTES:**  
 1. LANDSCAPING, SIGNAGE, WALLS, FENCE, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

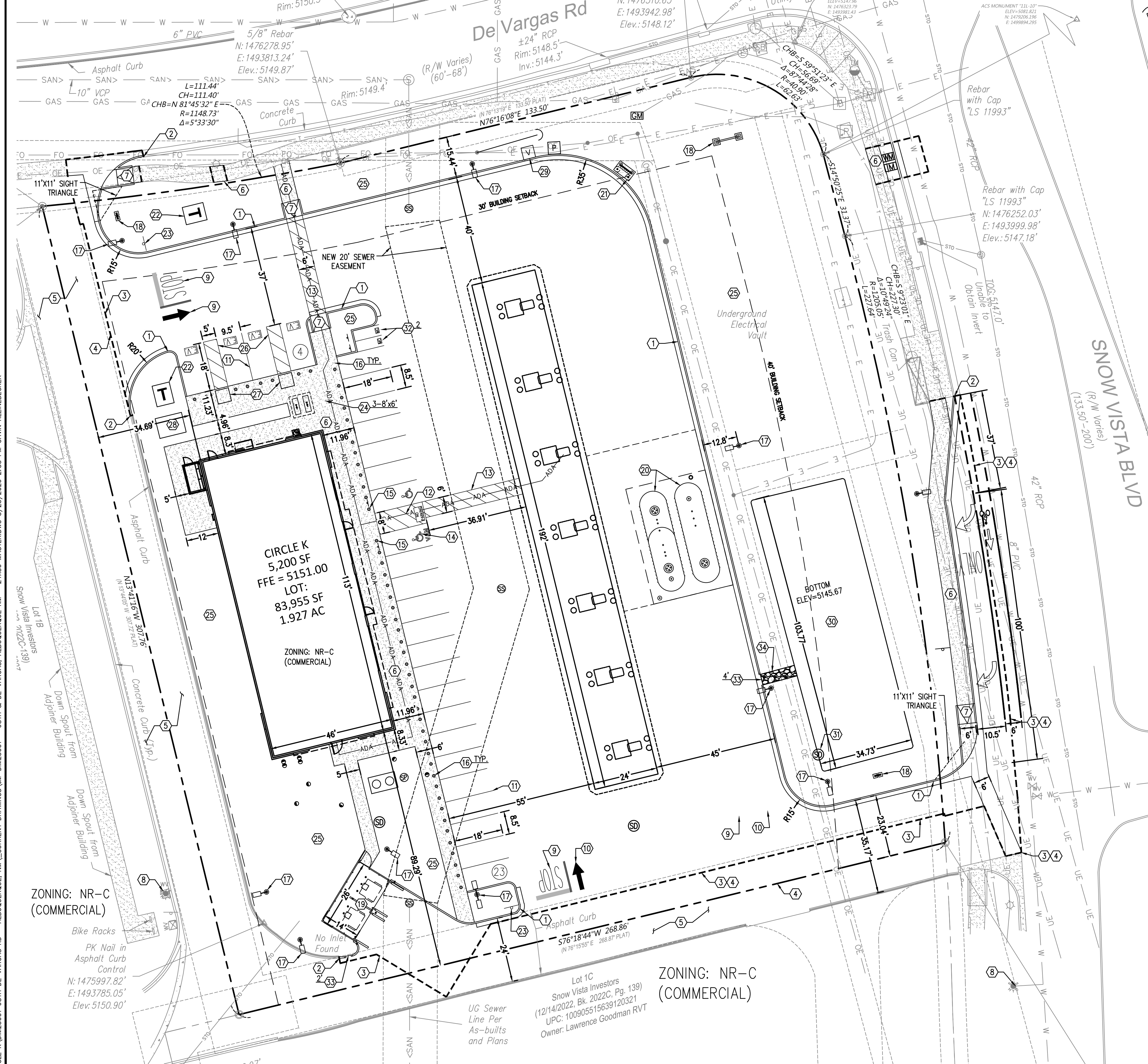


**LOCATION MAP**  
 NOT TO SCALE

**JM CIVIL**  
 1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measles, PE  
 CIVIL ENGINEER



03/05/2026



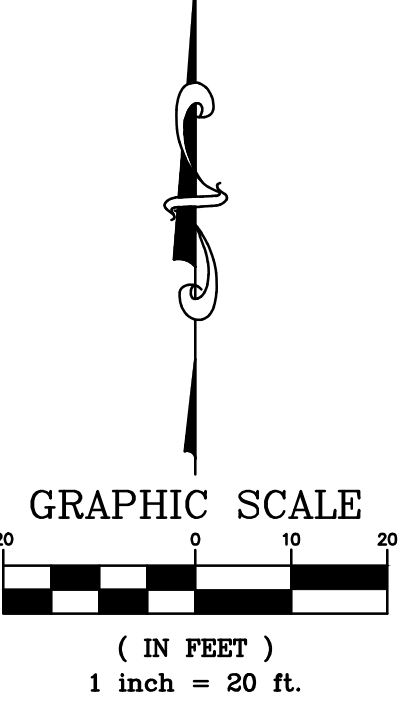
- EXISTING LEGEND:**
- PROPERTY LINE
  - EX. EASEMENT
  - EXISTING CURB & GUTTER
  - LIMITS OF FULL DEPTH SAWCUT
  - EX. WATER LINE
  - EX. SANITARY SEWER LINE
  - EX. OVERHEAD ELECTRIC LINE
  - EX. GAS LINE
  - EX. TELEPHONE LINE
  - EX. FIBER OPTIC LINE
  - EX. STORM DRAIN LINE
  - EX. CONCRETE SURFACE
  - EX. CURB INLET
  - EX. STORM DRAIN MANHOLE
  - EX. POWER POLE
  - POTHOLE IN THE AREA INDICATED

- SITE LEGEND:**
- PROPERTY LINE
  - PROPOSED CURB & GUTTER
  - LIMITS OF FULL DEPTH SAWCUT
  - PARKING COUNT
  - ACCESSIBLE SPACES
  - ADA RAMP
  - BOLLARD
  - TRAFFIC SIGN
  - BOLLARD MOUNTED ACCESSIBLE SIGN
  - STOP BAR & SIGN
  - LIGHT POLE
  - AREA DRAIN
  - GREASE TRAP
  - SAMPLE PORT
  - CLEAN-OUT
  - DOUBLE CLEAN-OUT
  - GAS METER
  - WATER METER
  - IRRIGATION METER
  - SANITARY MANHOLE
  - STORM DRAIN MANHOLE

**SITE DATA TABLE**

<b>LOCATION:</b>	SNOW VISTA BLVD DE VARGAS RD SW ALBUQUERQUE, NM 87121	
<b>LOT AREA:</b>	1.9274 AC. (83,955 S.F.)	
<b>ZONING:</b>	ZONING - NRC	
<b>CURRENT USE:</b>	VACANT	
<b>PROPOSED USE:</b>	C STORE W FUEL DISPENSING	
<b>BUILDING DATA:</b>		
BUILDING AREA	5,200 S.F.	
BUILDING HEIGHT	38' (1 STORY)	
BUILDING COVERAGE	6.19%	
F.A.R.	16:1	
<b>PARKING SUMMARY:</b>		
1 SP PER 200 SF (5,200 SF)	REQUIRED	PROVIDED
PARKING SPACES	25	25
ACCESSIBLE SPACES	1	2
TOTAL SPACES	26	27
MOTORCYCLE	2	2
BICYCLE	3	3

- SITE KEY NOTES:**
- CONCRETE CURB AND GUTTER. (PER LOCAL CODES)
  - TAPER CURB TO MATCH EXISTING.
  - MATCH EXISTING PAVEMENT ELEVATION.
  - LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
  - EXISTING PAVEMENT TO REMAIN.
  - CONCRETE SIDEWALK. 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE. (PER LOCAL CODES)
  - SIDEWALK RAMP @ 8.33% MAX. (PER LOCAL CODES)
  - EXISTING FIRE HYDRANT.
  - STOP BAR. (PER LOCAL CODES)
  - DIRECTIONAL TRAFFIC ARROW. (PER LOCAL CODES)
  - PARKING STALL STRIPING. (PER LOCAL CODES)
  - 4" WIDE PAINTED STRIPES, 2' OFF CENTER @ 45'.
  - PEDESTRIAN/ACCESSIBLE CROSSWALK STRIPING.
  - ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
  - ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
  - BOLLARD.
  - PROPOSED LIGHT POLE.
  - MONUMENT/PYLON SIGN. (PER ARCH. PLANS)
  - REFUSE/SOLID WASTE (DETAIL PER ARCH. PLANS)
  - FUEL STORAGE TANKS (PER M.E.P. PLANS)
  - FUEL TANK VENTS (PER M.E.P. PLANS)
  - PROPOSED PAD MOUNTED TRANSFORMER.
  - "STOP" SIGN.
  - BICYCLE PARKING. (PER ARCH. PLANS)
  - LANDSCAPE AREA. (PER LANDSCAPE PLAN)
  - EV PARKING STALLS.
  - EV CHARGING EQUIPMENT.
  - EV POWER BANK/GENERATOR.
  - AIR/VAC. UNIT
  - DETENTION BASIN.
  - DETENTION OUTLET STRUCTURE. (SEE PLAN FOR SIZE)
  - MOTORCYCLE PARKING.
  - CURB OPENING.
  - RIP RAP CHANNEL.



4. CIRCLE K 01M25001 98TH DE VARGAS RD - ALBUQUERQUE, NM - 24x36 MASTER.DWG 3/23/2026 2:55 PM GAVIN KLEINEBECKER

**SITE PLAN**  
 CIRCLE K, INC  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION

PROJECT NO: JM-DW25001  
 DRAWN BY: ASB, JK, GFK  
 CHECKED BY: KWF  
 ISSUE DATE: 03/23/2026



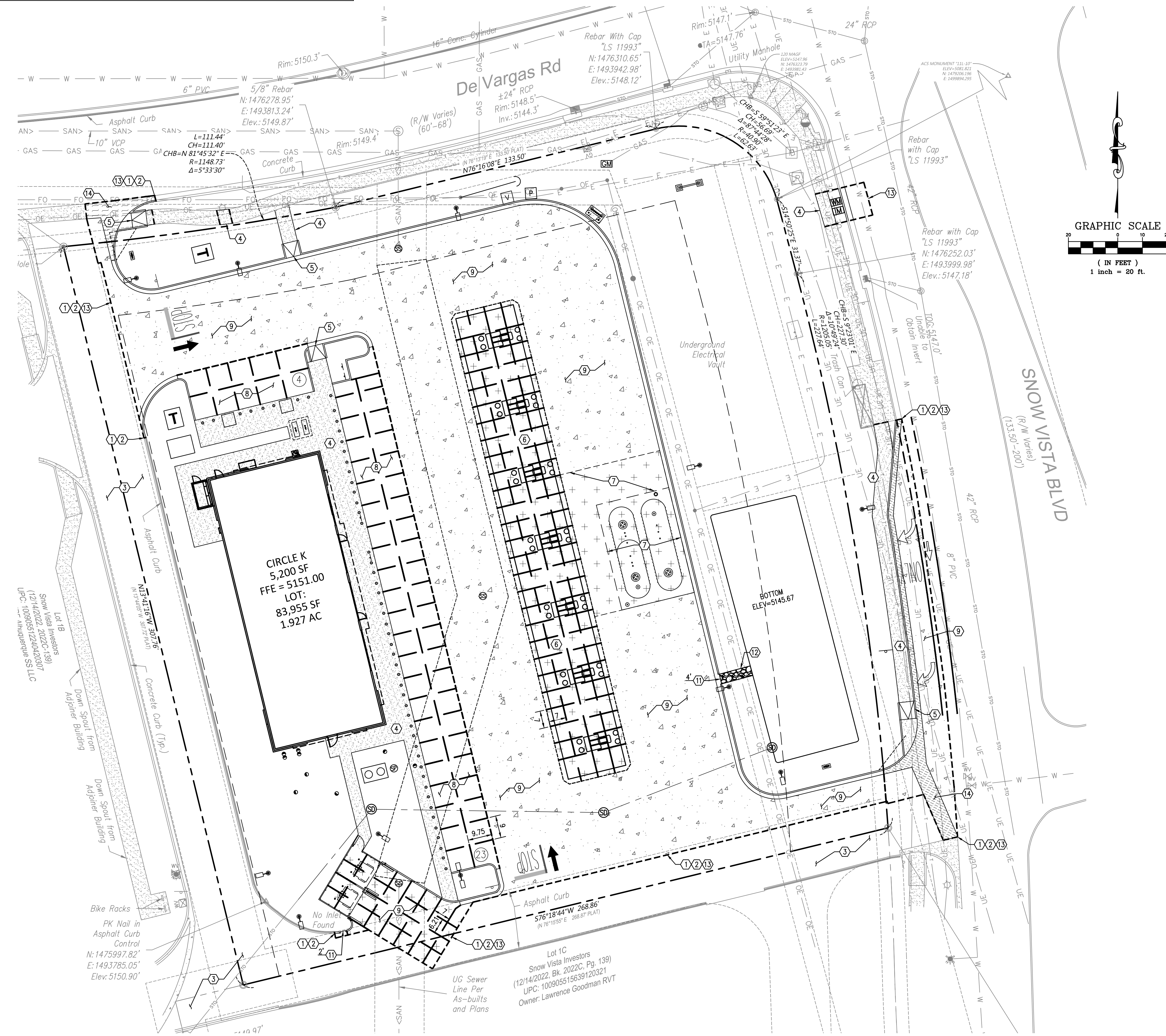
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& \$87,21 127, & ( 72 & 2175 \$ & 725

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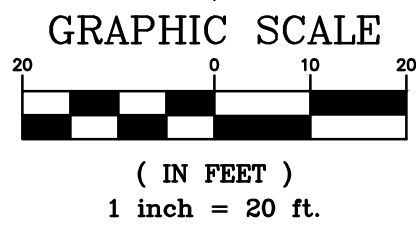
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ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'



( ; , 67 , 1 \* / ( \* ( 1 ' )

- PROPERTY LINE
- - - EX. EASEMENT
- - - EXISTING CURB & GUTTER
- - - LIMITS OF FULL DEPTH SAWCUT
- W - - - EX. WATER LINE
- SAN - - - EX. SANITARY SEWER LINE
- OE - - - EX. OVERHEAD ELECTRIC LINE
- GAS - - - EX. GAS LINE
- T - - - EX. TELEPHONE LINE
- FO - - - EX. FIBER OPTIC LINE
- STO - - - EX. STORM DRAIN LINE
- [Hatched Box] EX. CONCRETE SURFACE
- [C] EX. CURB INLET
- [M] EX. STORM DRAIN MANHOLE
- [P] EX. POWER POLE
- [V] EX. GAS VALVE
- [W] EX. WATER VALVE
- [F] EX. FIRE HYDRANT
- [Hatched Box] POTHOLE IN THE AREA INDICATED



6 , 7 ( / ( \* ( 1 ' )

- PROPERTY LINE
- - - PROPOSED CURB & GUTTER
- - - LIMITS OF FULL DEPTH SAWCUT
- [Circle] LIGHT POLE
- [Square] AREA DRAIN
- [Circle] GREASE TRAP
- [Circle] CLEAN-OUT
- [Circle] DOUBLE CLEAN-OUT
- [Square] GAS METER
- [Square] WATER METER
- [Square] IRRIGATION METER
- [Circle] MANHOLE
- [Circle] CURB INLET
- FIRELANE
- [Square] ADA RAMP
- [Circle] BOLLARD
- [Triangle] TRAFFIC SIGN
- [Square] BOLLARD MOUNTED ACCESSIBLE SIGN
- [Square] STOP BAR & SIGN

3 5 2 3 2 6 ( ' 3 \$ 9 , 1 \* / ( \* ( 1 ' )

- [Hatched Box] CONCRETE SIDEWALK. 4' MINIMUM WIDTH WITH MACRO FIBER REINFORCEMENT, 5x5' TOOLED JOINTS, AN FULL CONSTRUCTION JOINTS EVERY 50' W/ 6" COMPACTED SUBGRADE.
- [Hatched Box] 6" NORMAL DUTY CONCRETE PAVEMENT, AT A MINIMUM 4,000 PSI AT 28 DAYS, MACRO FIBER REINFORCED. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- [Hatched Box] 4" ASPHALTIC CONCRETE PAVEMENT WITH 6" FLEX BASE COURSE WITH 6" COMPACTED SUBGRADE.
- [Hatched Box] 9" HEAVY DUTY CANOPY-TANK CONCRETE PAVEMENT, AT A MINIMUM 4,000 PSI AT 28 DAYS, MACRO FIBER REINFORCED. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- [Hatched Box] CITY OF ALBUQUERQUE STANDARD PAVING DETAIL #2405B.
- - - CONSTRUCTION JOINT
- - - EXPANSION JOINT
- - - SAWED JOINT
- - - LIMITS OF FULL DEPTH SAWCUT

3 \$ 9 , 1 \* . ( < 1 2 7 ( 6 )

- 1 MATCH EXISTING PAVEMENT ELEVATION.
- 2 LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- 3 EXISTING PAVEMENT TO REMAIN.
- 4 CONCRETE SIDEWALK. 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE. (PER LOCAL CODES)
- 5 SIDEWALK RAMP @ 8.33% MAX. (PER LOCAL CODES)
- 6 CANOPY CONCRETE PAVEMENT.
- 7 HEAVY DUTY FUEL TANK PAVEMENT PER MANUFACTURER'S SPECIFICATIONS.
- 8 NORMAL DUTY CONCRETE PAVEMENT.
- 9 HEAVY ASPHALTIC CONCRETE PAVEMENT.
- 10 CONTRACTOR TO INSTALL EXPANSION JOINT. (AT INLINE DRAIN)
- 11 CURB OPENING. SEE NOTE FOR SIZE.
- 12 RIP RAP CHANNEL.
- 13 THICKENED EDGE.
- 14 CONCRETE CROSS GUTTER TO BE REPAIRED.

3 \$ 9 , 1 \* 1 2 7 ( 6 )

1. PANELS WIDTH/LENGTH SHALL BE BETWEEN 6'-10'.
2. PANELS SHALL HAVE A MAXIMUM LENGTH TO WIDTH RATIO OF 1.25:1
3. ALL JOINTS SHALL CONTINUE THROUGH THE CURBING
4. EXPANSION JOINTS SHALL BE PLACED NO MORE THAN 60' O.C.E.W.

**JM CIVIL**

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Suite 215  
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John Measles, PE  
CIVIL ENGINEER

**JOHN THOMAS MEASLES**  
NEW MEXICO  
1888  
*John Measles*  
PROFESSIONAL ENGINEER

03/05/2026

**PAVING PLAN**

**CIRCLE K, INC**  
LOT 1A, SNOW VISTA INVESTORS  
9800 DE VARGAS RD.  
ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION

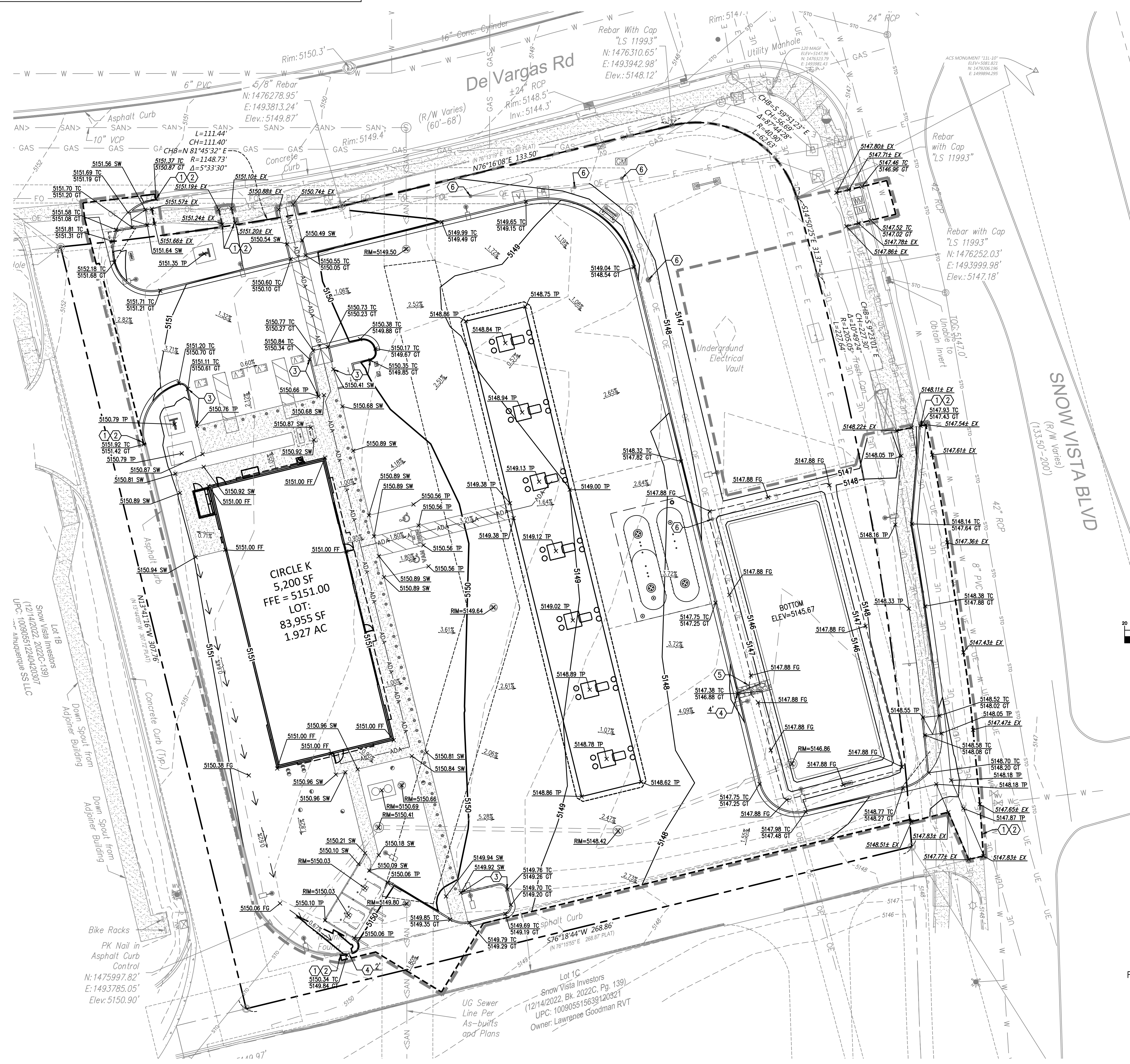
PROJECT NO: JM-DW25001  
DRAWN BY: ASR, JK, GFK  
CHECKED BY: KWF  
ISSUE DATE: 03/23/2026



**C 200**

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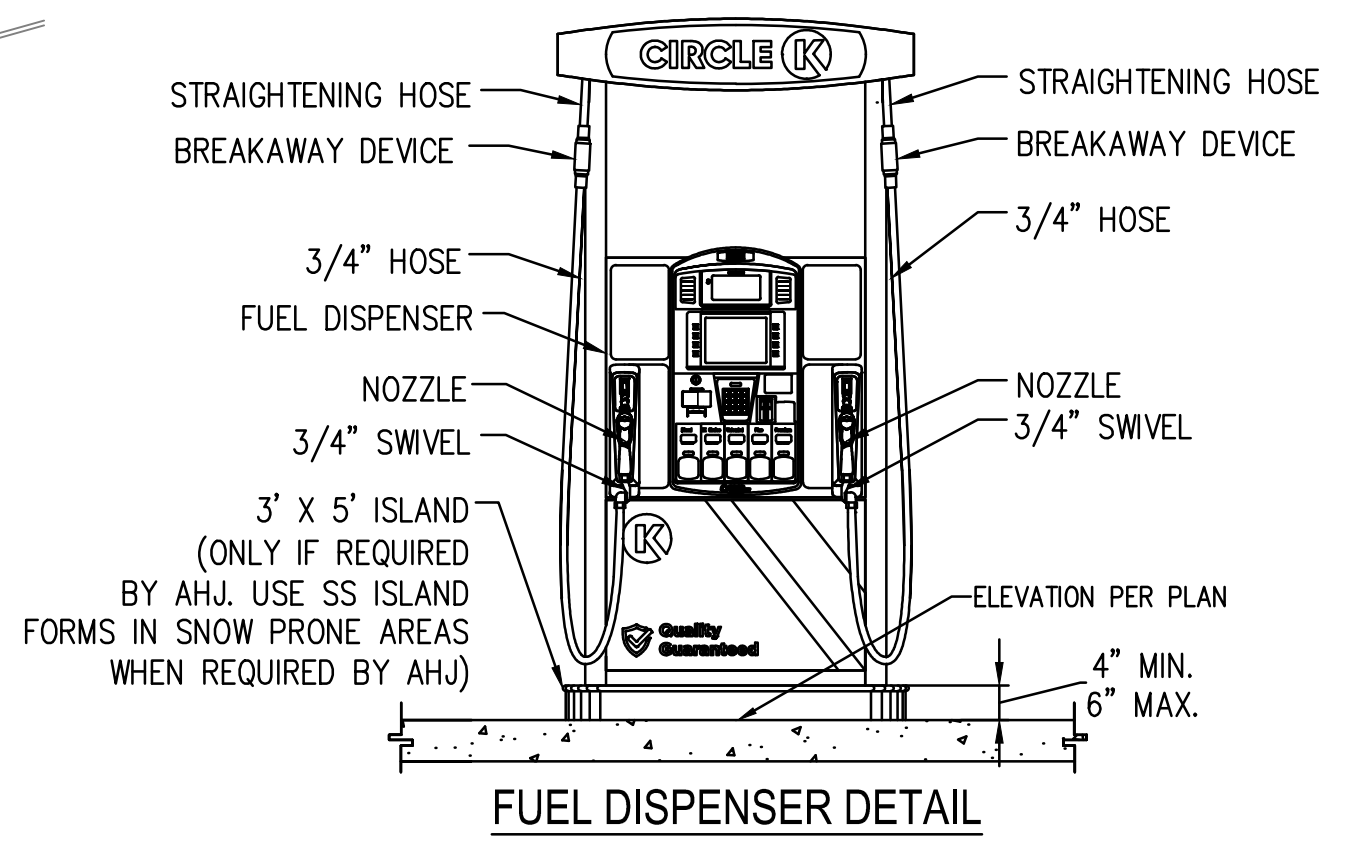
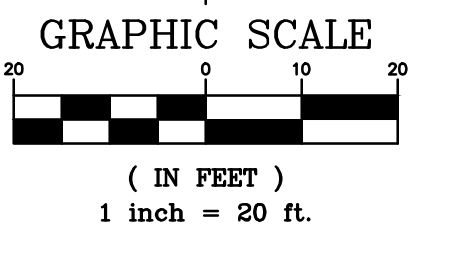
**CAUTION NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



- EXISTING LEGEND:**
- PROPERTY LINE
  - - - EX. EASEMENT
  - EXISTING CURB & GUTTER
  - LIMITS OF FULL DEPTH SAWCUT
  - W --- EX. WATER LINE
  - SAN-> EX. SANITARY SEWER LINE
  - OE --- EX. OVERHEAD ELECTRIC LINE
  - GAS --- EX. GAS LINE
  - FO --- EX. FIBER OPTIC LINE
  - STO --- EX. STORM DRAIN LINE
  - EX. CONCRETE SURFACE
  - EX. CURB INLET
  - EX. STORM DRAIN MANHOLE
  - EX. POWER POLE
  - EX. GAS VALVE
  - EX. WATER VALVE
  - EX. FIRE HYDRANT
  - POT HOLE IN THE AREA INDICATED

- GRADING LEGEND:**
- PROPERTY LINE
  - PROPOSED CURB & GUTTER
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - LIGHT POLE
  - AREA DRAIN
  - ACCESSIBLE SPACES
  - ADA RAMP
  - BOLLARD
  - TRAFFIC SIGN
  - BOLLARD MOUNTED ACCESSIBLE SIGN
  - GREASE TRAP
  - CLEAN-OUT
  - DOUBLE CLEAN-OUT
  - GAS METER
  - WATER METER
  - IRRIGATION METER
  - MANHOLE
  - CURB INLET

- GRADING KEY NOTES:**
- ① LIMITS OF FULL DEPTH SAW CUT.
  - ② MATCH EXISTING PAVEMENT ELEVATION.
  - ③ TAPER CURB FROM 6" TO 0".
  - ④ CURB CUT. SEE NOTE FOR SIZE.
  - ⑤ 4' RIP RAP CHANNEL.
  - ⑥ TO REMAIN AND BE PROTECTED.



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**GRADING PLAN**

**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.,  
 ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION



Know what's below.  
 Call before you dig.

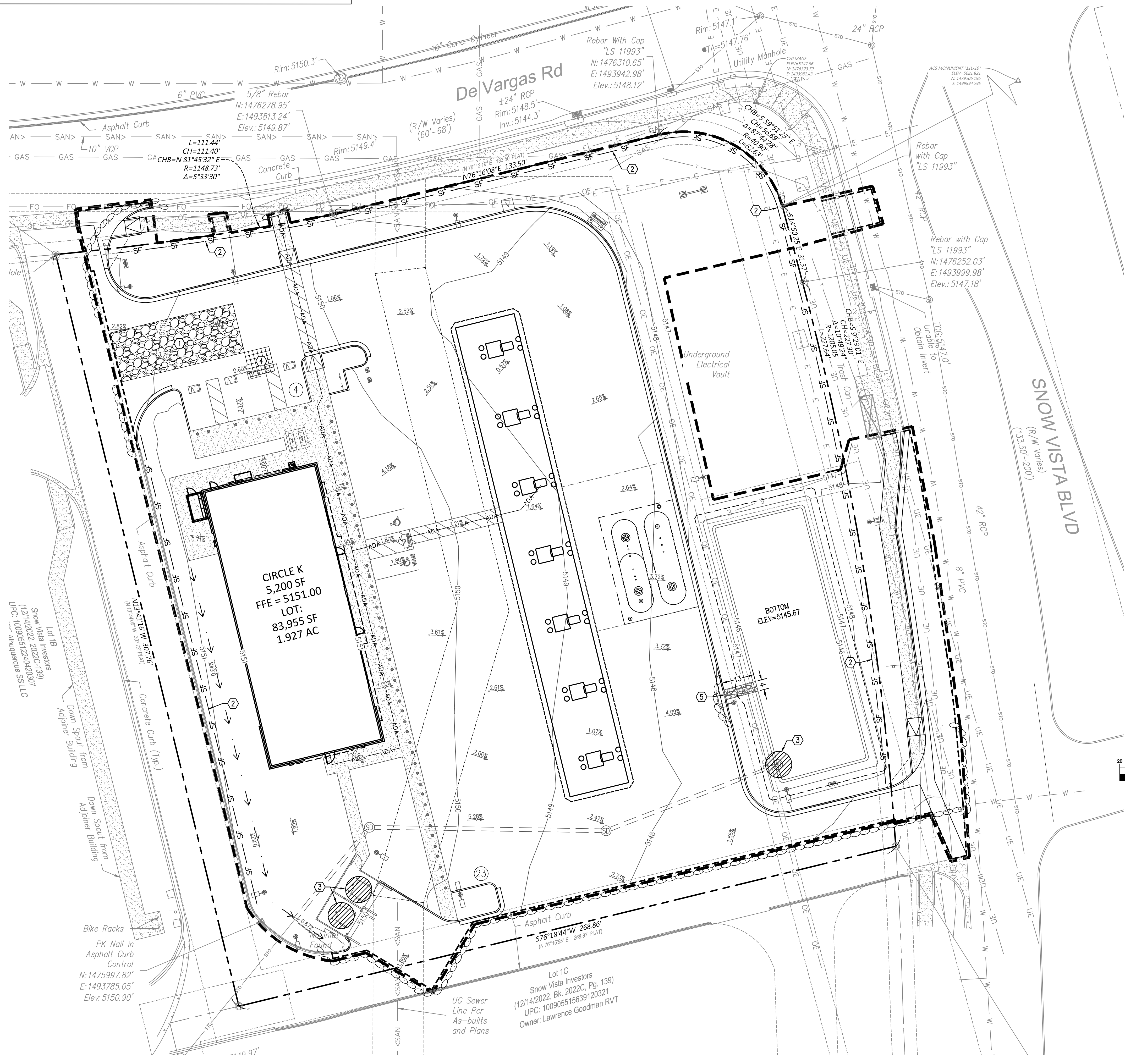
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**BENCHMARKS**  
 ACS MONUMENT 2-L7 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'



**EROSION CONTROL LEGEND:**

PROPERTY LINE  
 PROPOSED CURB & GUTTER  
 LIMITS OF FULL DEPTH SAWCUT  
 EXISTING CONTOUR  
 PROPOSED CONTOUR  
 SILT FENCE  
 APPROXIMATE LIMITS OF DISTURBANCE  
 GRAVEL BAG FILTER  
 FLOW LINE

LIGHT POLE  
 AREA DRAIN  
 ACCESSIBLE SPACES  
 ADA RAMP  
 BOLLARD  
 TRAFFIC SIGN  
 BOLLARD MOUNTED ACCESSIBLE SIGN

GREASE TRAP  
 CLEAN-OUT  
 DOUBLE CLEAN-OUT  
 GAS METER  
 WATER METER  
 IRRIGATION METER  
 MANHOLE  
 CURB INLET

10' X 10' CONCRETE WASH AREA  
 TEMPORARY INLET PROTECTION  
 TEMPORARY CONSTRUCTION ENTRANCE

**EROSION CONTROL KEY NOTES:**

- ① TEMPORARY CONSTRUCTION ENTRANCE.
- ② TEMPORARY SILT FENCE.
- ③ TEMPORARY INLET PROTECTION.
- ④ 10'x10' CONCRETE WASH AREA.
- ⑤ RIP RAP CHANNEL.

**SEQUENCE OF CONSTRUCTION ACTIVITIES:**

- A. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE AND SILT FENCE ACCORDING TO THE APPROXIMATE LOCATION SHOWN ON THE EROSION CONTROL PLAN.
- B. CONSTRUCT TEMPORARY INLET TREATMENT AROUND OPEN STORM DRAIN INLETS ACCORDING TO THE EROSION CONTROL PLAN.
- C. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- D. BEGIN CLEARING AND GRADING OF SITE.
- E. INSTALL WATER, SANITARY SEWER AND STORM DRAIN AS SPECIFIED ON PLAN SHEETS.
- F. PAVE STREETS AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
- G. RE-VEGETATE LOTS, PARKWAYS AND ALL DISTURBED AREAS.
- H. REMOVE ALL TEMPORARY EROSION CONTROL DEVICES.

**MAINTENANCE:**

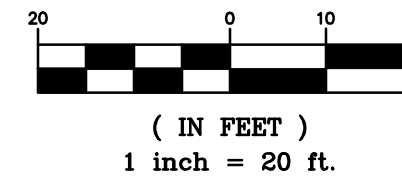
- A. CONTRACTOR TO KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE DURING CONSTRUCTION.
- B. CONTRACTOR SHALL MAINTAIN ALONG WITH THE SIGNED EFFECTIVE COPY OF SWP3 DRAWINGS AN UPDATED LIST IDENTIFYING ALL POTENTIAL SOURCES OF POLLUTION INCLUDING PORTA-POTTIES, FUEL TANKS, STAGING AREAS, WASTE CONTAINERS, CHEMICAL STORAGE AREAS, CONCRETE CURE, PAINTS SOLVENTS, ETC., AND A DESCRIPTION OF THE LOCATION.
- C. CONTRACTOR TO REMOVE ALL STORM WATER POLLUTION PREVENTION MEASURES AFTER CONSTRUCTION IS COMPLETE AND INSPECTED FOR APPROVAL. LONG TERM MAINTENANCE TO BE PROVIDED BY OWNER.

**NOTES:**

1. CONTRACTOR SHALL POLICE SITE REGULARLY AND KEEP SITE FREE OF TRASH AND CONSTRUCTION DEBRIS.
2. ALL EROSION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH CITY STANDARD EROSION CONTROL DETAILS.
3. TOTAL DISTURBED AREA=1.93 ACRES.
4. REFER TO LANDSCAPE PLAN FOR FINAL GROUND STABILIZATION.

EROSION AND SEDIMENT CONTROL CONSTRUCTION PHASING:	DURATION OF PHASE	APPROX. DATE FOR START OF EACH PHASE
1. TOP SOIL REMOVAL, CLEARING, GRUBBING AND PAVING REMOVAL	15 DAYS	TBD
2. GRADING.	30 DAYS	TBD
3. UTILITY INSTALLATION.	30 DAYS	TBD
4. PAVING.	30 DAYS	TBD
5. BUILDING CONSTRUCTION.	60 DAYS	TBD
6. FINE GRADING.	15 DAYS	TBD
7. LANDSCAPE AND VEGETATION.	15 DAYS	TBD
8. BMP REMOVAL.	5 DAYS	TBD

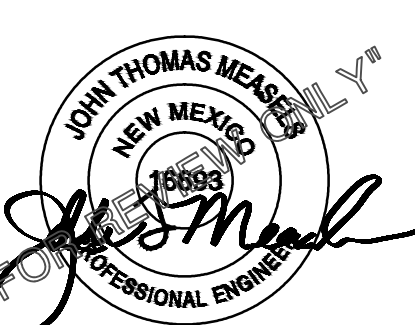
**GRAPHIC SCALE**



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**JM CIVIL**

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 John Measels, PE  
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03/05/2026

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD,  
 ALBUQUERQUE, NEW MEXICO 87121

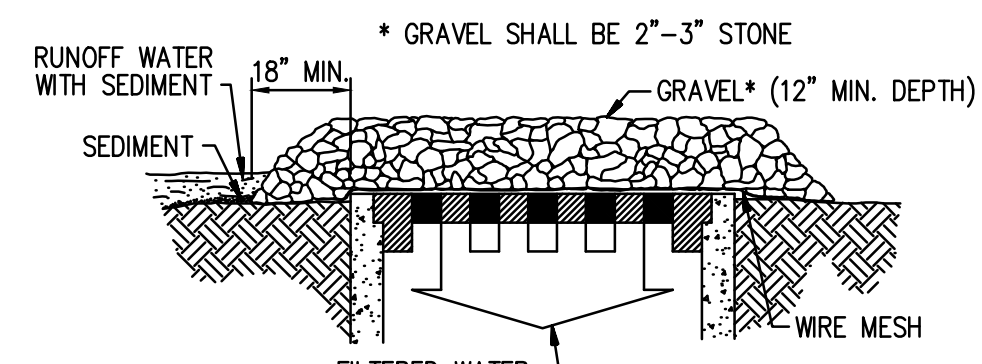
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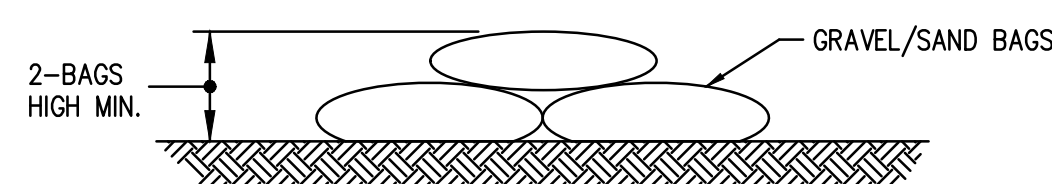
NO.	DATE	DESCRIPTION

**BEST MANAGEMENT PRACTICES**

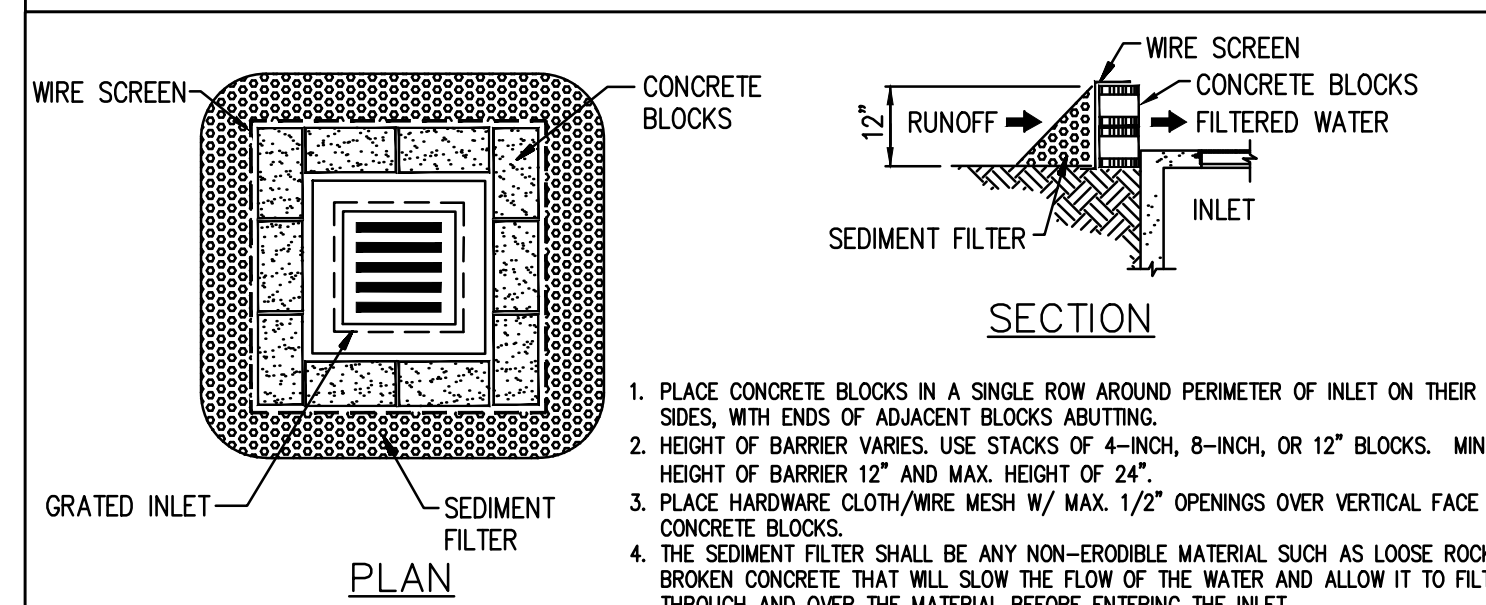
- STRUCTURAL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN EFFECTIVE OPERATING CONDITION.
  - DOCUMENTATION OF MAINTENANCE ACTIVITIES INCLUDING FREQUENCY, LOT DESIGNATION, INSPECTION OF STRUCTURAL CONTROLS, MATERIAL STORAGE AREAS, VEHICLE ENTRANCES AND EXITS: ACTIONS TAKEN AND INSPECTORS NAME.
  - CONSTRUCTION SITE NOTICE WILL BE MAINTAINED ON SITE
  - COPY OF SWPPP SHALL BE KEPT ON SITE
  - PERIMETER MUST RETAIN THE SWPPP, NOI AND INSPECTION LOG FOR A MINIMUM OF 3 YEARS FROM THE TERMINATION AND FINAL STABILIZATION OF PROJECT
- WASTE MATERIALS**  
ALL WASTE MATERIALS INCLUDING CONSTRUCTION DEBRIS, SHALL BE COLLECTED AND STORED IN A SECURED LIDDED METAL DUMPSTER. NO CONSTRUCTION MATERIALS SHALL BE BURIED ON SITE. THE DUMPSTER SHALL BE EMPTIED AS NECESSARY OR AS REQUIRED BY ORDINANCE 9.04 (SOLID WASTE MANAGEMENT) AND THE TRASH BE HAULED TO A LICENSED LANDFILL.
  - HAZARDOUS WASTE**  
AT A MINIMUM, ANY PRODUCTS IN THE FOLLOWING CATEGORIES SHALL BE CONSIDERED HAZARDOUS: PAINT, ACIDS FOR CLEANING MASONRY SURFACES, CLEANING SOLVENTS, ASPHALT PRODUCTS, CHEMICAL ADDITIVES FOR SPILL STABILIZATION, CURING, COMPOUNDS AND ADDITIVES. IN EVENT OF SPILL WHICH MAY BE HAZARDOUS, THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION AND CONTACT THE FIRE DEPARTMENT AND NMED.
  - SANITARY WASTE**  
ALL SANITARY WASTE SHALL BE COLLECTED FROM THE CONSTRUCTION PORTABLE UNITS AS NECESSARY BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - SPILL PREVENTION**  
THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURES OF MATERIALS TO STORM WATER RUNOFF.
    - GOOD HOUSEKEEPING
      - STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB
      - NEATLY STORE MATERIALS ON-SITE IN A SECURE MANNER
      - KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER
      - DO NOT MIX SUBSTANCES WITH ANOTHER, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
      - USE ENTIRE CONTENTS OF A PRODUCT BEFORE DISPOSING OF THE CONTAINER
      - FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROP USE AND DISPOSAL
    - HAZARDOUS CONDITIONS**  
PRACTICES TO REDUCE RISKS:
      - KEEP PRODUCTS IN THEIR ORIGINAL CONTAINER IF AT ALL POSSIBLE
      - RETAIN ORIGINAL LABELS, PRODUCT INFORMATION AND MATERIAL SAFETY DATA SHEETS (MSDS)
      - DISPOSE SURPLUS PRODUCT IN ACCORDANCE WITH MANUFACTURERS
    - PETROLEUM PRODUCTS**  
PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED, ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER RECOMMENDATION.
  - SPILL CONTROL PRACTICES:**
    - MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEAN UP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE WARE OF THE PROCEDURE
    - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE
    - ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY
    - SPILL AREA SHALL BE WELL VENTILATED AND APPROPRIATE CLOTHING WILL BE WORN
    - ANY SPILL SHALL BE REPORTED TO THE APPROPRIATE GOVERNMENTAL AGENCY
    - MEASURES SHALL BE TAKEN TO PREVENT A SPILL FROM REOCCURRING
  - MAINTENANCE AND INSPECTION PROCEDURES**  
ALL POLLUTION PREVENTION MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY 14 DAYS AND FOLLOWING A STORM EVENT OF 0.5 INCHES OR MORE BEST MANAGEMENT PRACTICES AND POLLUTION CONTROL PROCEDURES SHALL BE INSPECTED FOR ADEQUACY. A RECORD OF THE RESULTS OF THE INSPECTIONS OF THE SITE SHALL BE KEPT ON-SITE
  - REMARKS**  
DISPOSAL AREAS, STOCKPILES, AND HAUL ROADS SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE AND CONTROL THE AMOUNT OF SEDIMENT THAT MAY ENTER RECEIVING WATERS, CONSTRUCTION STAGING AREAS AND VEHICLE MAINTENANCE AREAS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN A MANNER TO MINIMIZE THE RUNOFF OF POLLUTANTS



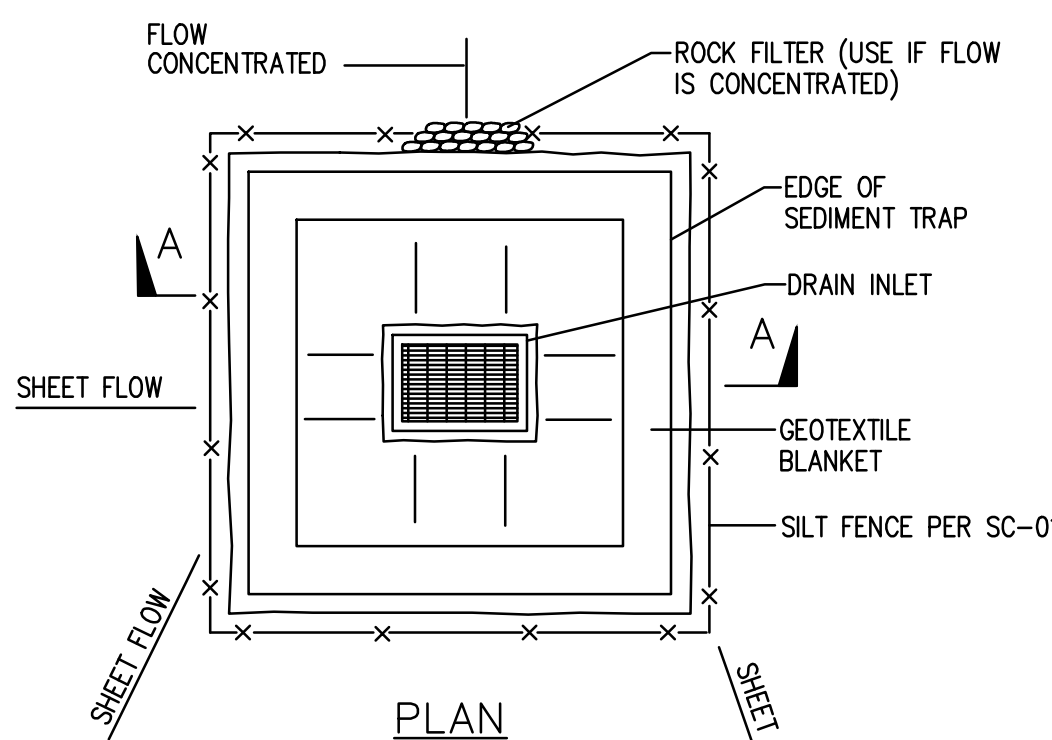
**GRAVEL AND WIRE MESH INLET SEDIMENT FILTER**  
N.T.S.



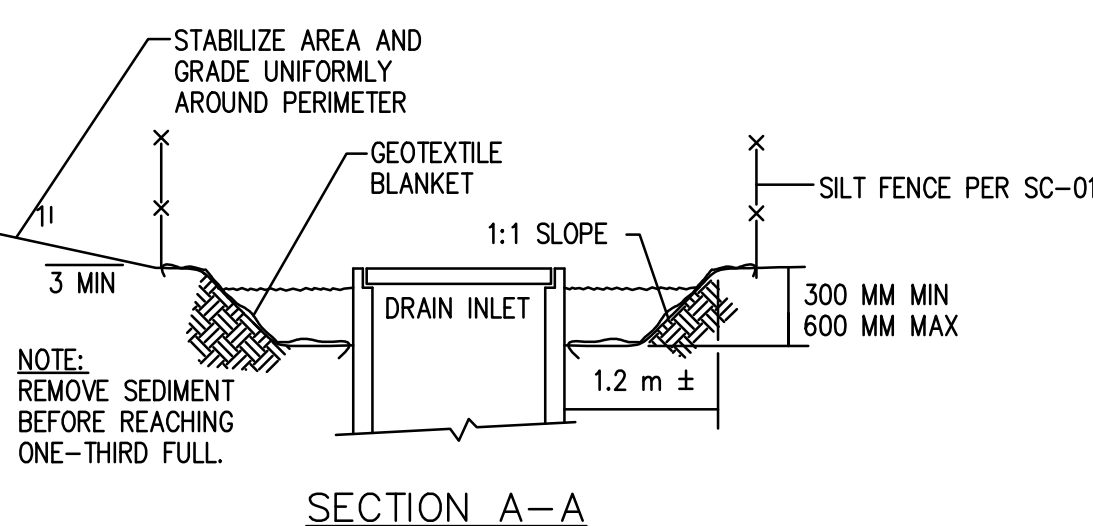
**GRAVEL BAG/SAND BAG INSTALLATION**  
N.T.S.



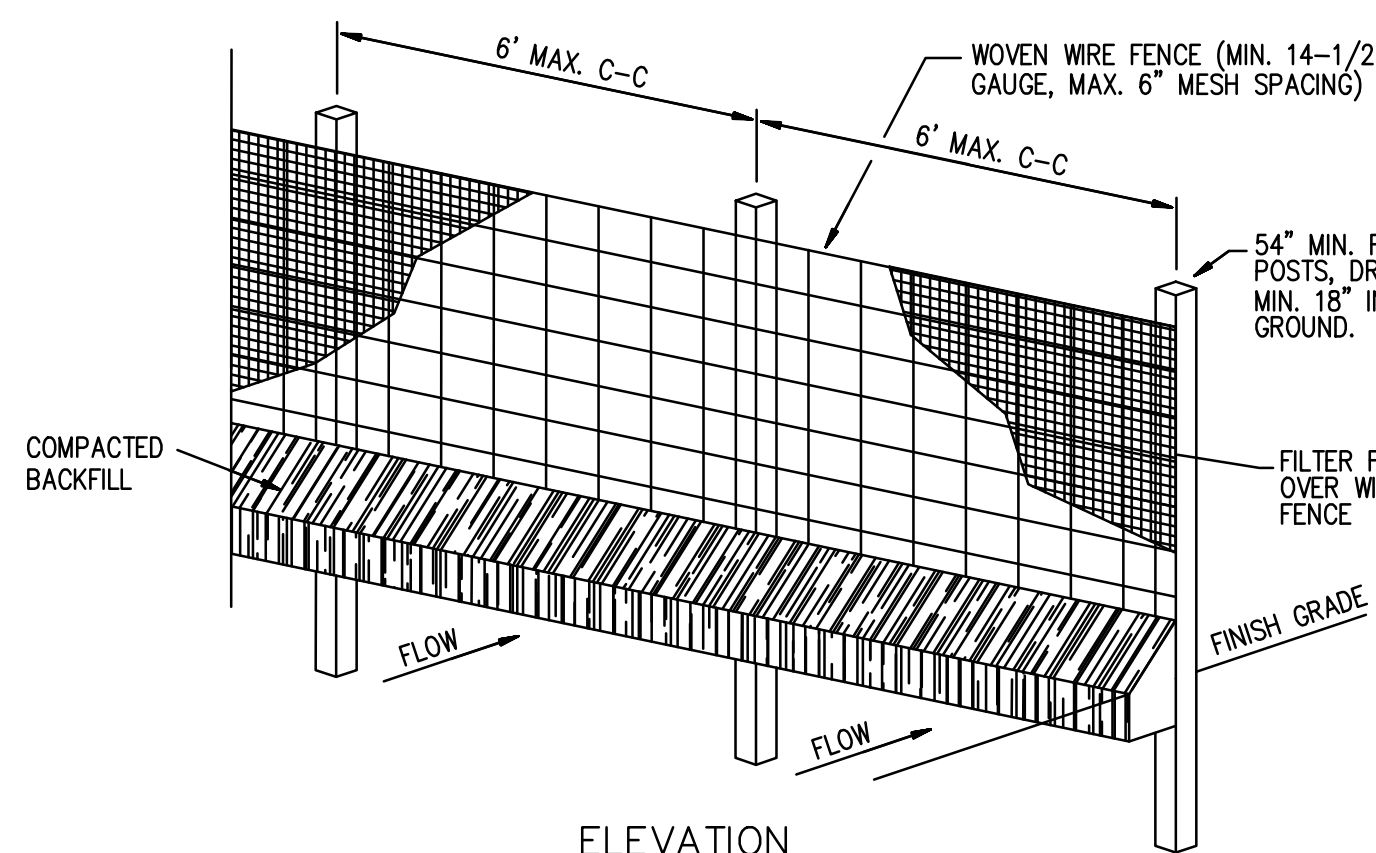
**BLOCK AND AGGREGATE INLET SEDIMENT FILTER**  
N.T.S.



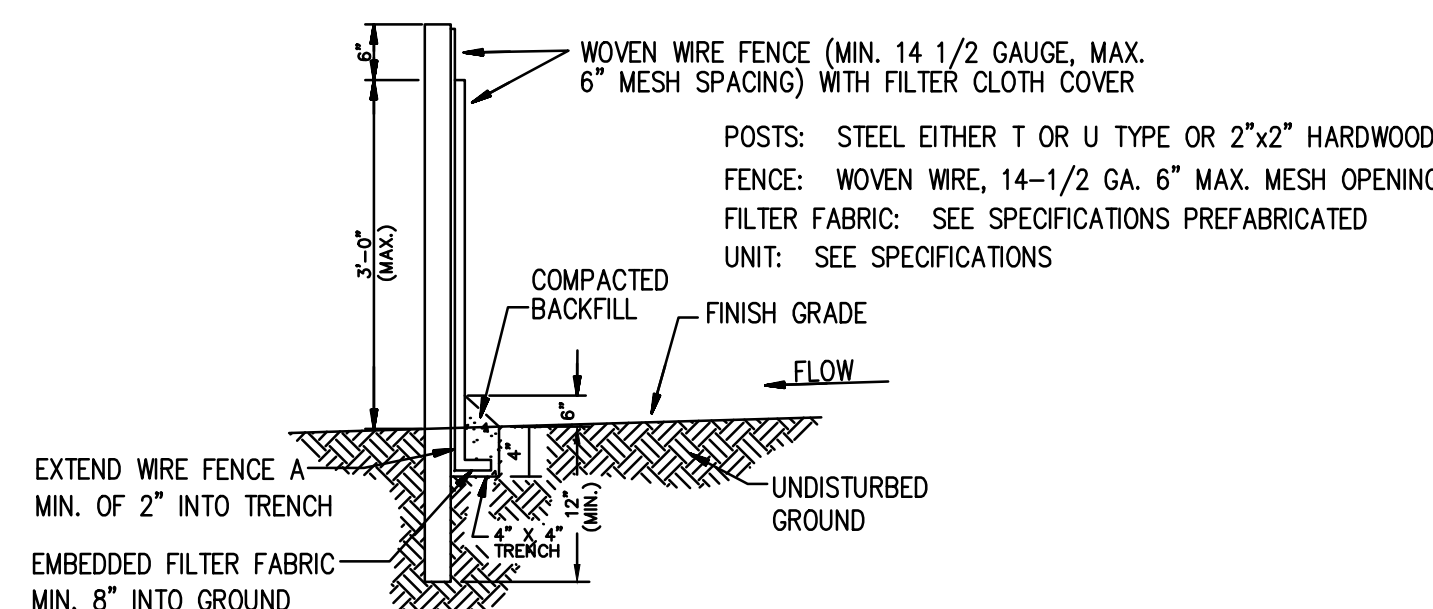
**DI PROTECTION TYPE 2**  
N.T.S.



**CATCH BASIN INLET PROTECTION DETAIL**  
N.T.S.



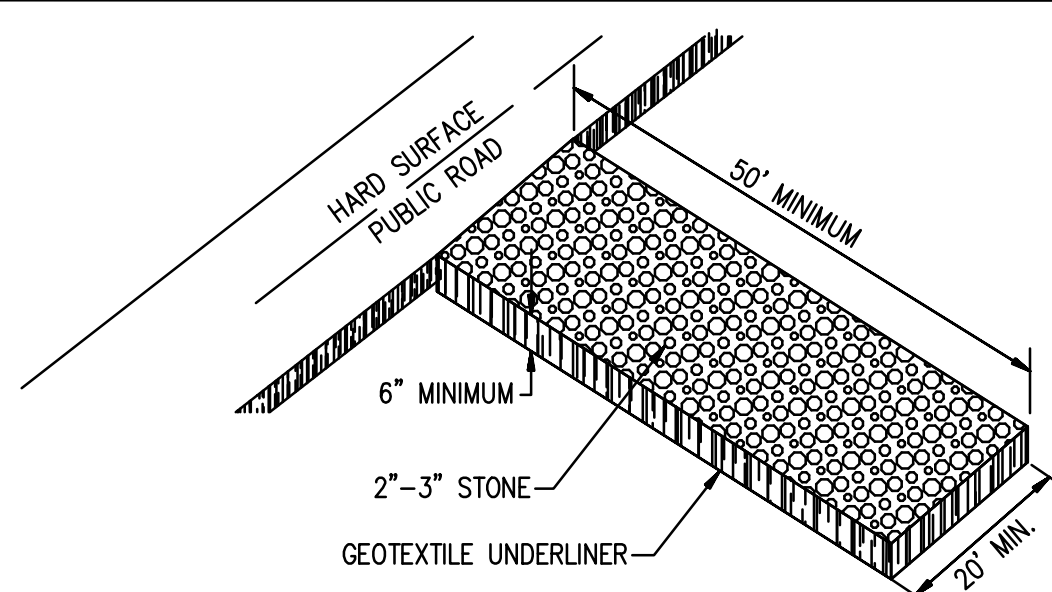
**ELEVATION**



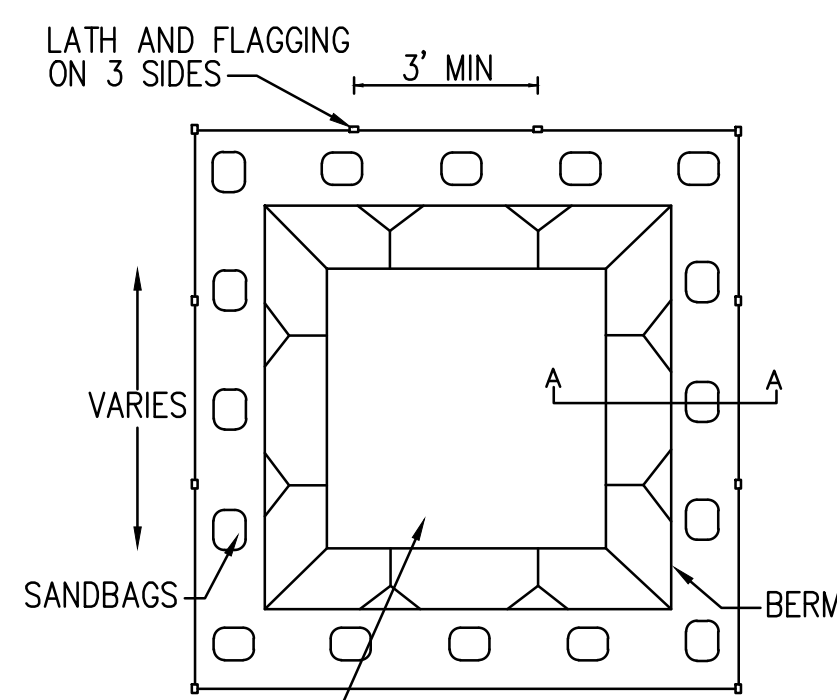
**CROSS-SECTION**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE**  
N.T.S.

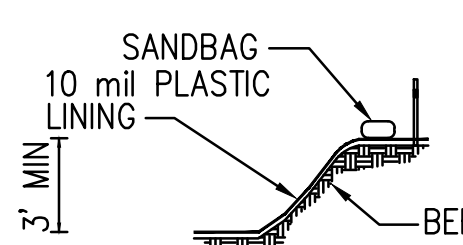


**CONSTRUCTION ENTRANCE**  
N.T.S.



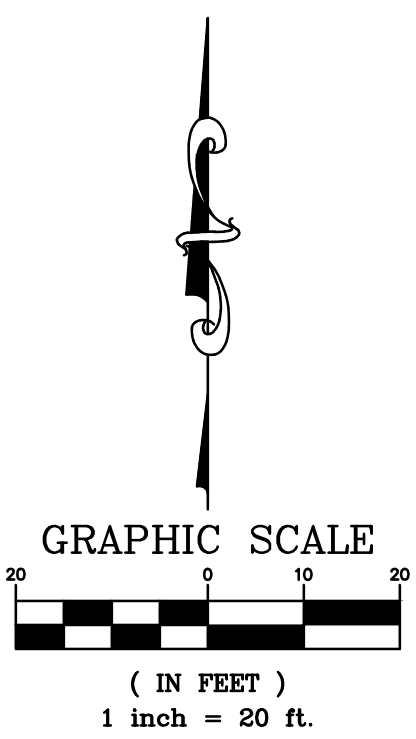
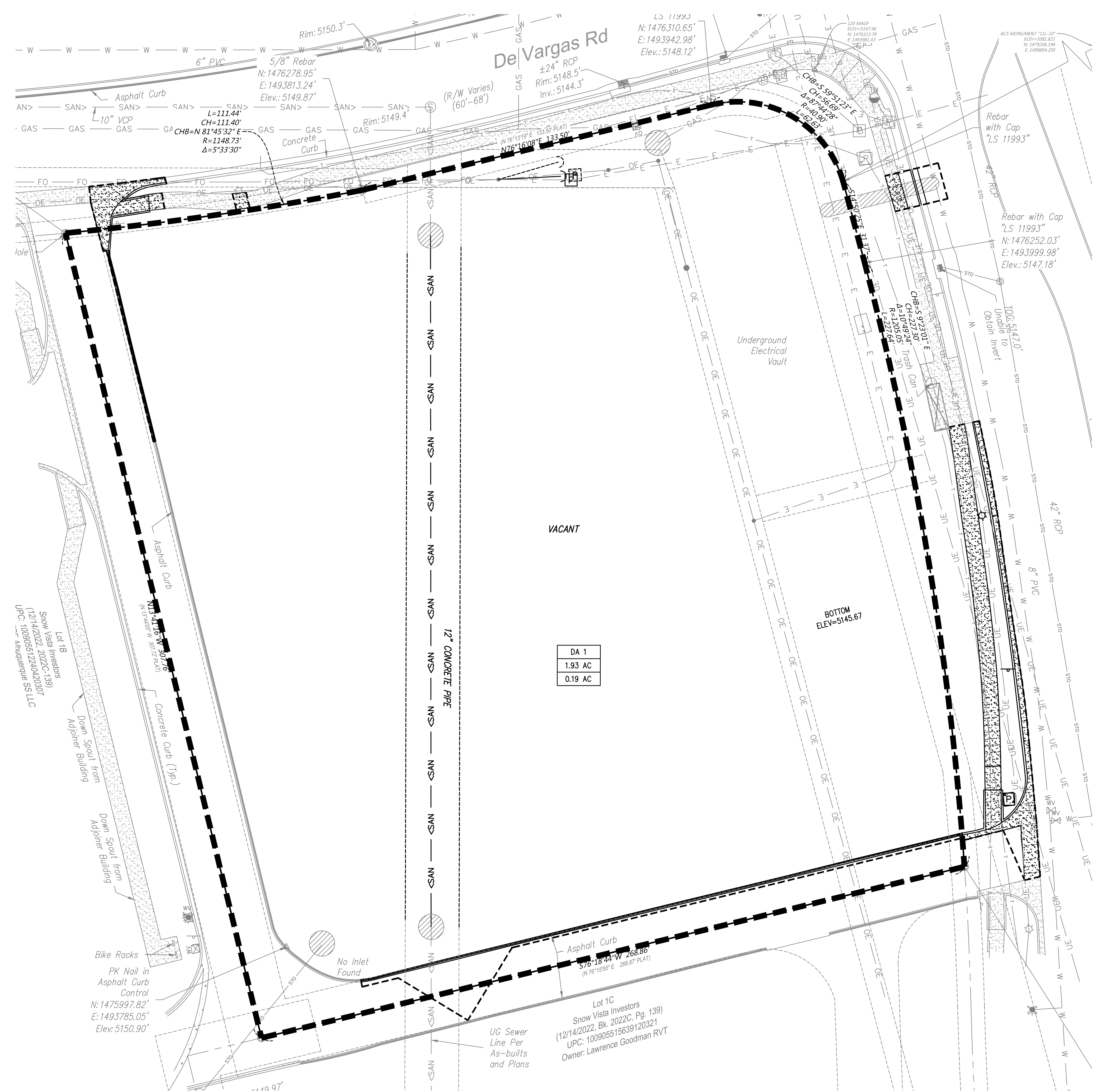
**CONCRETE WASH OUT AREA**  
N.T.S.

- NOTES:
- ACTUAL SIZE DETERMINED IN THE FIELD.
  - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



**SECTION A-A**  
N.T.S.

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- PRE DEV. DRAINAGE AREA MAP LEGEND:**
- — — — — PROPERTY LINE
  - — — — — PROPOSED CURB & GUTTER
  - --- --- LIMITS OF FULL DEPTH SAWCUT
  - --- --- EXISTING CONTOUR
  - - - - - DRAINAGE DIVIDE
- ◻ ADA RAMP
  - BOLLARD
  - ◒ TRAFFIC SIGN
  - ◓ BOLLARD MOUNTED ACCESSIBLE SIGN
  - ◐ IRRIGATION METER
  - ◑ MANHOLE
  - ◒ CURB INLET
  - ◓ DRAINAGE SLOPE AND DIRECTION
  - ◑ LIGHT POLE
  - ◒ AREA DRAIN
  - ◓ GREASE TRAP
  - ◐ CLEAN-OUT
  - ◑ DOUBLE CLEAN-OUT
  - ◒ GAS METER
  - ◓ WATER METER

- PRE DEVELOPMENT DRAINAGE AREA KEY:**
- - - - - DRAINAGE DIVIDE
- |         |                    |
|---------|--------------------|
| X       | Area               |
| X.XX AC | Acreage            |
| X.XX AC | IMPERVIOUS ACREAGE |

<b>DA1</b>
A = 1.93 AC
C = 0.36
i = 4.27 IN/HR
Q = 2.97 CFS

<b>DA 1</b>
1.93 AC
0.19 AC

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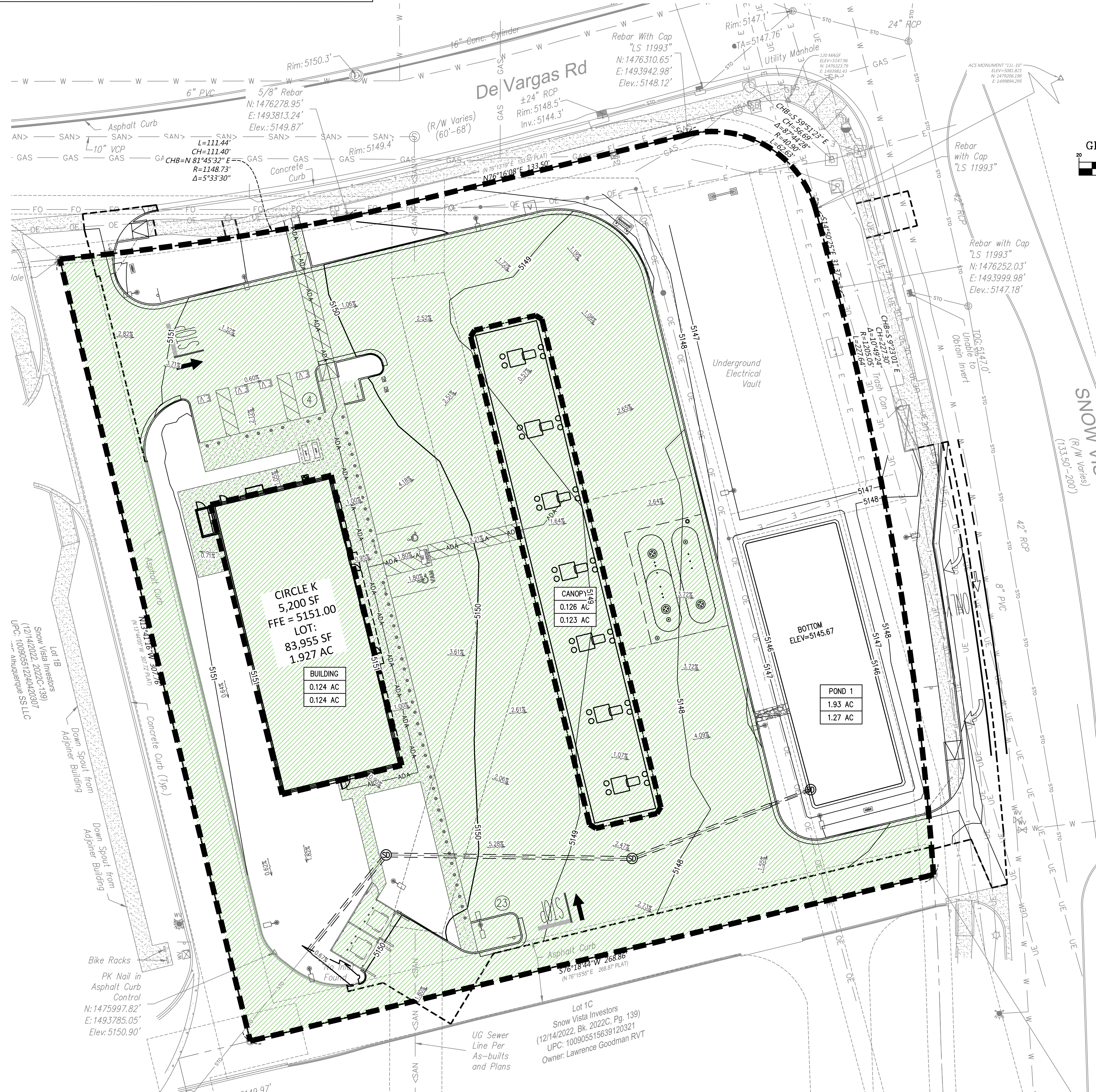
03/05/2026

**PRE DEV DRAINAGE AREA MAP**  
**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD, ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION

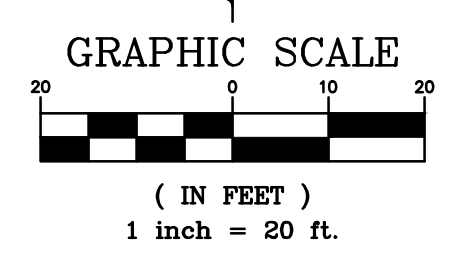


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**POST DEV. DRAINAGE AREA MAP LEGEND:**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- EXISTING CONTOUR
- DRAINAGE DIVIDE
- ADA RAMP
- BOLLARD
- TRAFFIC SIGN
- BOLLARD MOUNTED ACCESSIBLE SIGN
- IRRIGATION METER
- MANHOLE
- CURB INLET
- DRAINAGE SLOPE AND DIRECTION
- LIGHT POLE
- AREA DRAIN
- GREASE TRAP
- CLEAN-OUT
- DOUBLE CLEAN-OUT
- GAS METER
- WATER METER
- IMPERVIOUS AREA



**POST DEVELOPMENT DRAINAGE AREA KEY:**

- DRAINAGE DIVIDE
- X Area
- X.XX AC Acreage
- X.XX AC Impervious Acreage

**SWM NARRATIVE:**

AS AGREED UPON WITH CITY OF ALBUQUERQUE STAFF, THIS DEVELOPMENT AS PROPOSED IS WITHIN THE DESIGN PARAMETERS FOR DISCHARGE PER APPROVED DRAINAGE PLAN. AS SHOWN ON THE PRE/POST DEVELOPMENT DRAINAGE DIVIDES, THE GRADING AND STORM SEWER COLLECTION SYSTEM HONORS DESIGNED DISCHARGE POINTS. THE PROPOSED IMPERVIOUS AREA, THEREFOR, DISCHARGE IS LESS THAN THE ALLOWABLE. THIS DEVELOPMENT PROPOSES A C FACTOR OF 0.69. THIS MEANS SWM WAS NOT NEGATIVELY EFFECTED NOR ADDITIONAL CAPACITY/HGL ISSUES. PER WATER QUALITY TREATMENT & FUEL DISPENSING ACTIVITIES, 0.62" FIRST FLUSH AS WELL AS FILTERING APPARATUS ARE REQUIRED. THAT HAS BEEN PROVIDED BY DETENTION/INFILTRATION BASIN WHICH HAS A DRAIN-DOWN TIME OF GREATER THAN 48 HRS. THEREFOR, ALL SWM REQUIREMENTS PER CITY OF ALBUQUERQUE HAVE BEEN MET.

0.62 INCHES / 12 INCHES/FOOT \* 1.93 ACRES /43,560 SQ FT/ACRE = 4,343.66 CU FT  
 DEPTH = 1.19 FEET  
 $48 \text{ HRS} * 60 \text{ MIN/HR} * 60 \text{ SEC/MIN} = 172,800 \text{ SEC} / (1/4,343.66 \text{ CU FT}) = 0.025 \text{ CU FT/ SEC}$   
 $Q = C_d * A * (2 * g * H)^{1/2}$   
 $A = 0.51 \text{ IN}^2$   
 $D = 0.81 \text{ IN}$

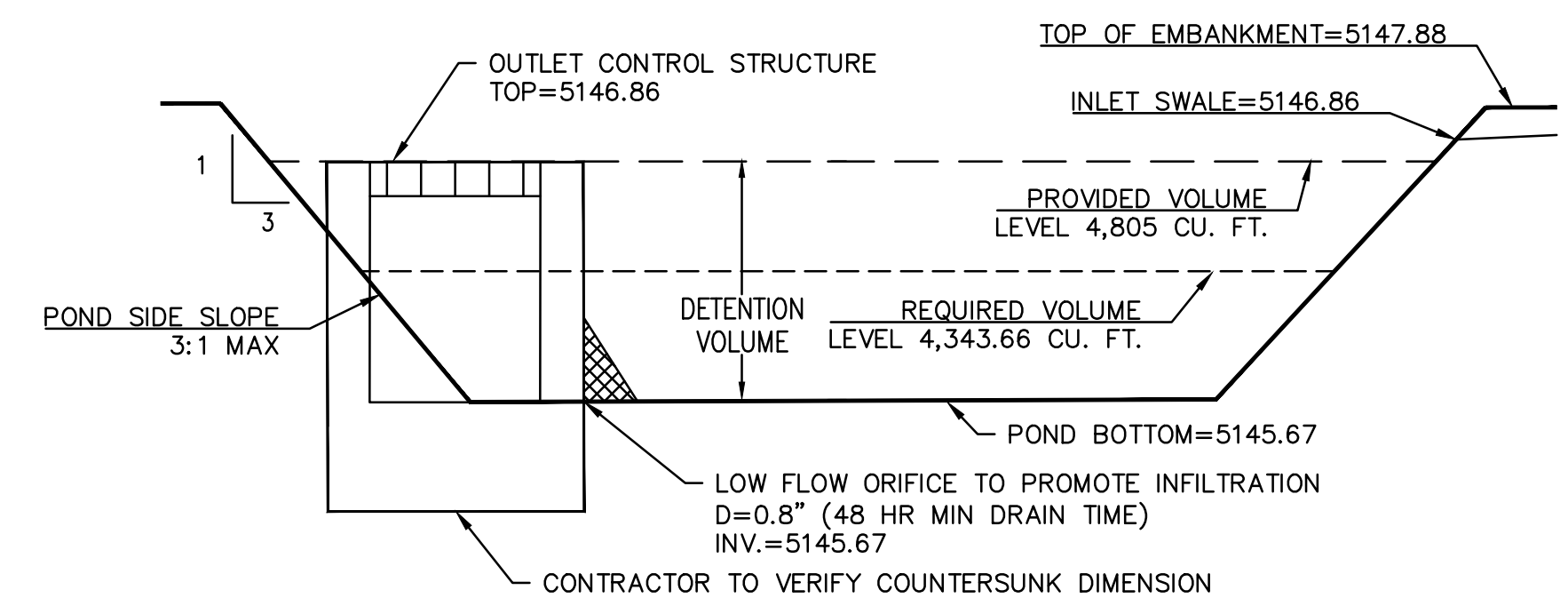
**DAI**

A = 1.93 AC
C = 0.69
i = 4.27 IN/HR
Q = 5.69 CFS

**REFERENCE:**

SAGE PLAZA MASTER DRAINAGE SYSTEM

Elevation (ft)	Area (SQ FT)	Incremental Vol (CU-FT)	Cumulative Vol (CU-FT)	Cumulative Vol (AC-FT)
5145.67	3639	0	0	0.00
5146	3921	1247	1247	0.03
5146.86	4357	3558	4805	0.11



**DETENTION / INFILTRATION POND DIAGRAM**  
 N.T.S.

03/05/2026

**POST DEV DRAINAGE AREA MAP**  
**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD,  
 ALBUQUERQUE, NEW MEXICO 87121

NO.	DATE	DESCRIPTION

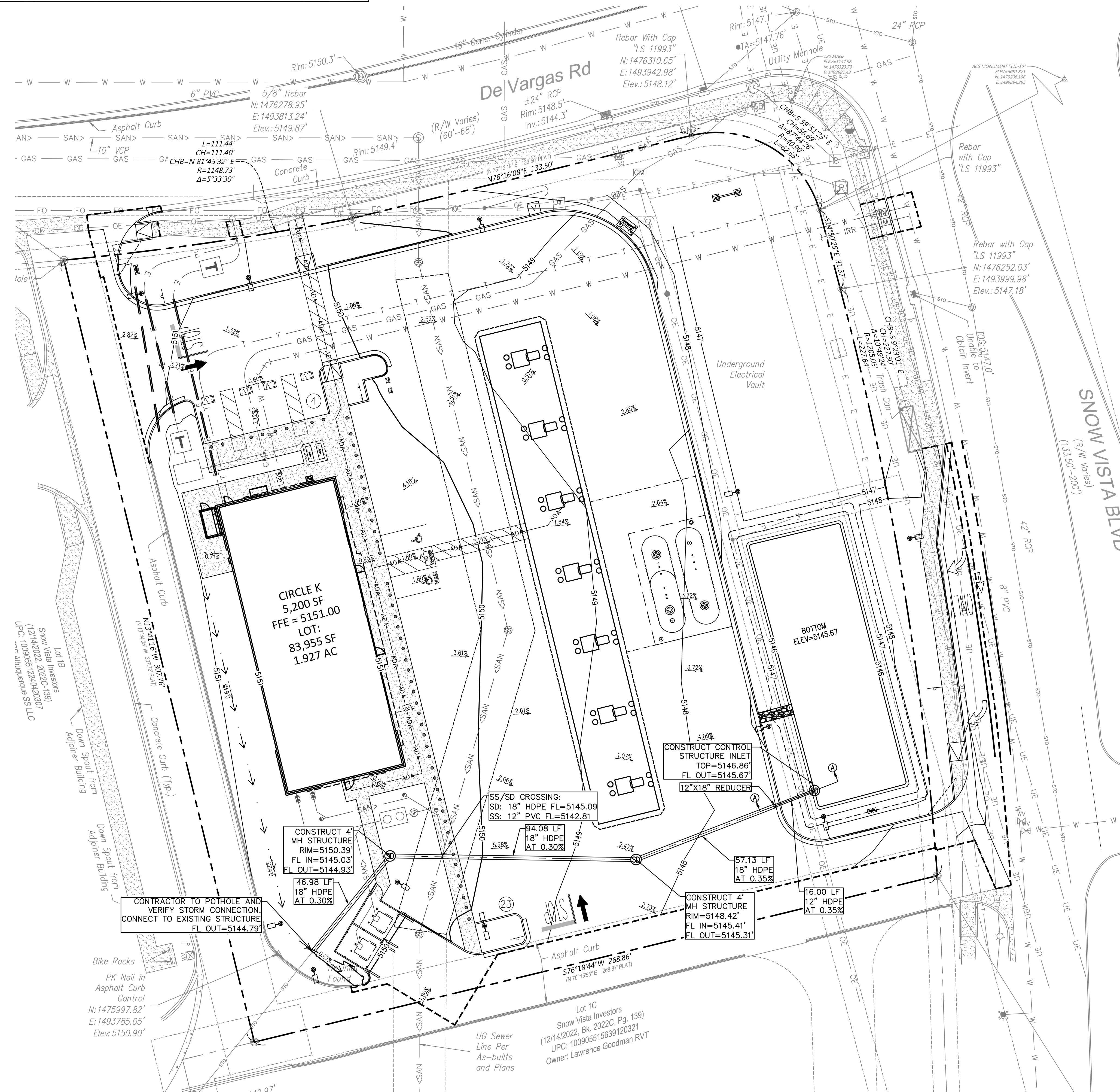


4: CIRCLE K DM25001 98TH DE VARGAS RD - ALBUQUERQUE, NM - CURRENT DRAWINGS - DM25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24X36 MASTER.DWG 3/23/2026 2:48 PM GAVIN KLEINEBECKER

**CAUTION NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**BENCHMARKS**  
 ACS MONUMENT 2-L7 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'

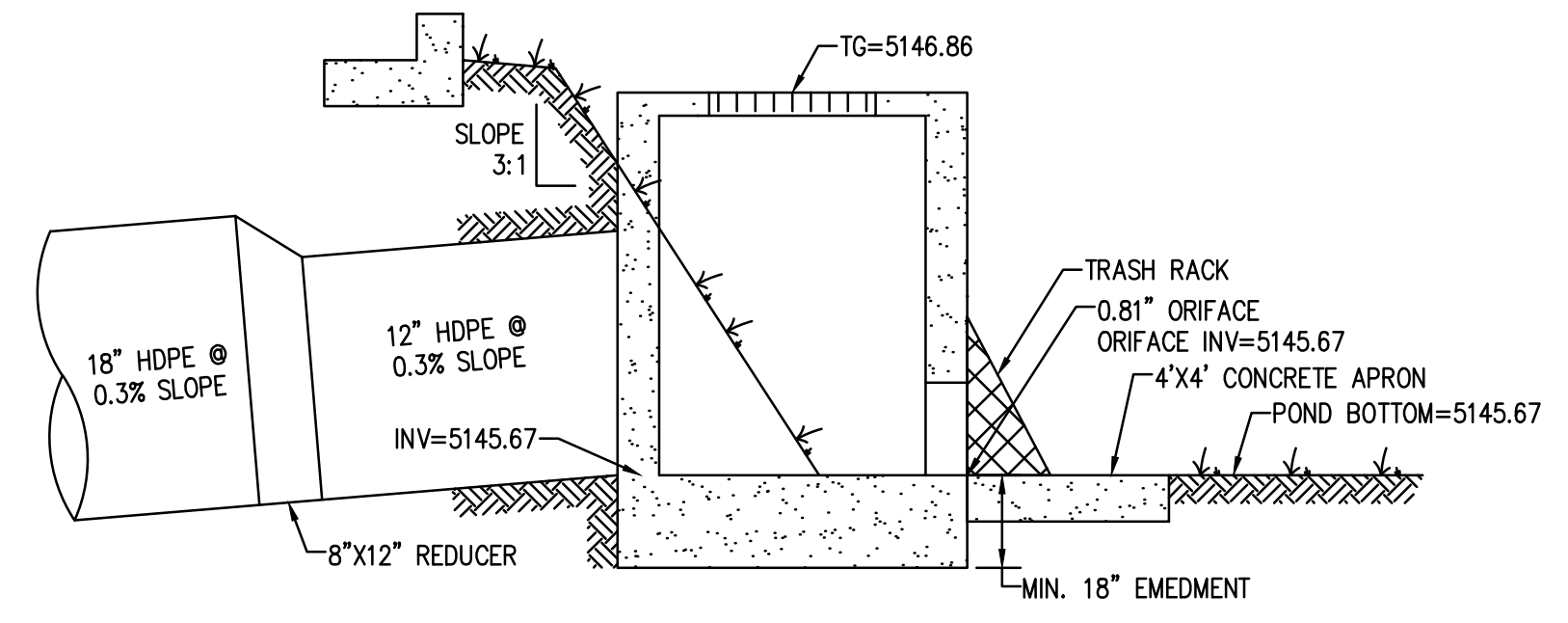
**FLOODNOTE**  
 BASED UPON SCALING THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY FEMA AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H AS PER ALTA SURVEY



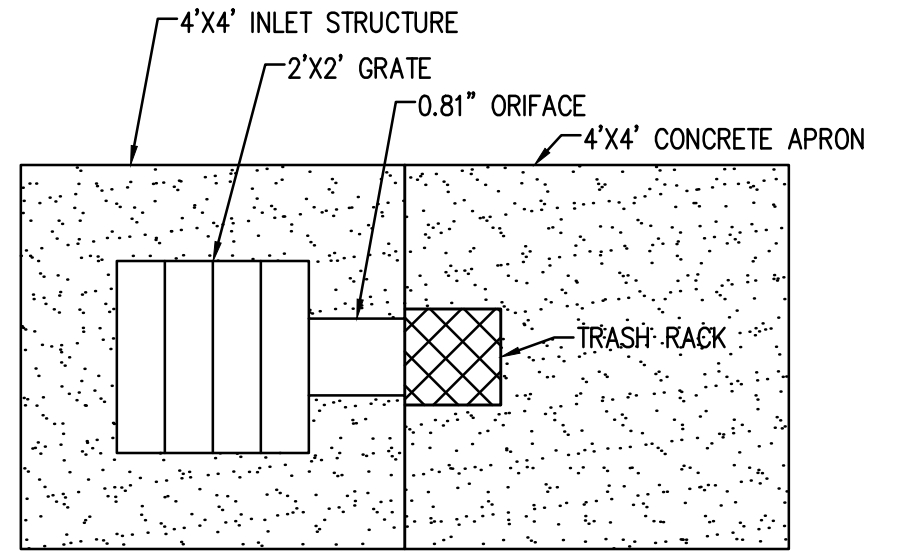
**STORM DRAIN LEGEND:**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- EXISTING CONTOUR
- STORM DRAIN PIPE
- SANITARY SEWER LINE
- WATER LINE
- GAS LINE
- ELECTRIC SERVICE LINE
- TELEPHONE SERVICE LINE
- ADA RAMP
- BOLLARD
- TRAFFIC SIGN
- BOLLARD MOUNTED ACCESSIBLE SIGN
- IRRIGATION METER
- MANHOLE
- CURB INLET
- LIGHT POLE
- AREA DRAIN
- GREASE TRAP
- CLEAN-OUT
- DOUBLE CLEAN-OUT
- GAS METER
- WATER METER

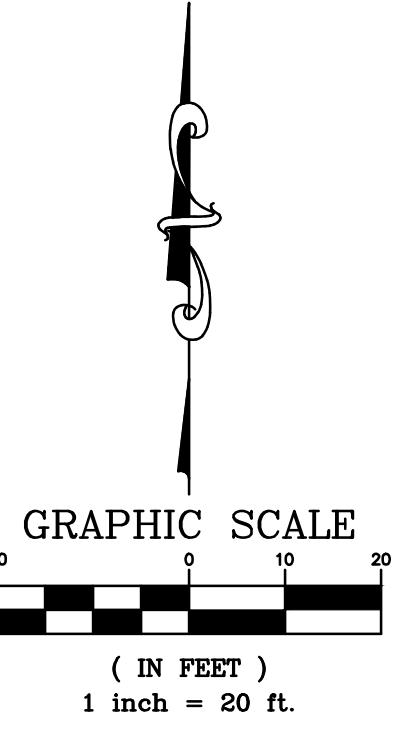
**STORM CALCULATIONS:**  
 Q = 5.69 CFS  
 D = 18 IN.  
 n = 0.012  
 SLOPE = 0.30%  
 V = 4.24



DETENTION INLET STRUCTURE SECTION SECTION A-A



OUTFALL STRUCTURE DIAGRAM



**PIPING MATERIAL SCHEDULE**

STORM SEWER SMALLER THAN 12"	SDR-35 PVC PER ATSM D3034
STORM SEWER - 12" OR LARGER (PRIVATE)	DUAL WALLED HDPE, AASHTO M252 & M294
STORM SEWER - WITHIN PUBLIC EASEMENT OR RIGHT-OF-WAY.	RCP, C-76, CLASS III

CONTRACTOR TO VERIFY EXISTING SANITARY SEWER & STORM DRAIN ELEVATIONS, AND UTILITY CONNECTIONS WITHIN 14 DAYS OF GROUNDBREAKING.

**JM CIVIL**  
 1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measels, PE  
 CIVIL ENGINEER

**JOHN THOMAS MEASELS**  
 NEW MEXICO  
 1988  
*John Measels*  
 PROFESSIONAL ENGINEER

03/05/2026

**STORM DRAIN PLAN**

**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

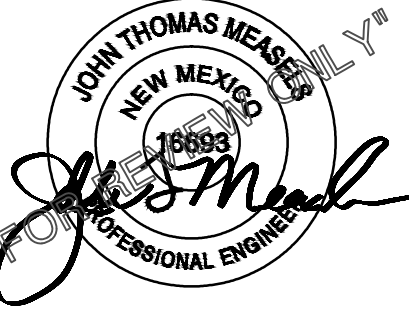
NO.	DATE	DESCRIPTION

PROJECT NO: JM-DW25001  
 DRAWN BY: ASB, JKC, CRK  
 CHECKED BY: KWF  
 ISSUE DATE: 03/23/2026



**C 530**

4. CIRCLE K DW25001 98TH DE VARGAS RD - ALBUQUERQUE, NM - CURRENT DRAWINGS: JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24X36 MASTER.DWG 3/23/2026 2:48 PM GAVIN KLEINEBECKER



03/05/2026

# UTILITY PLAN

CIRCLE K, INC  
LOT 1A, SNOW VISTA INVESTORS  
9800 DE VARGAS RD,  
ALBUQUERQUE, NEW MEXICO 87121

NO.	DATE	DESCRIPTION

PROJECT NO: JM-DW25001  
DRAWN BY: ASB, JK, GFK  
CHECKED BY: KW  
ISSUE DATE: 03/23/2026

# C 600

**CAUTION NOTICE TO CONTRACTOR**  
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**BENCHMARKS**  
ACS MONUMENT 2-L7 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1486604.908 Y=1480475.091  
ELEVATION=5415.511'  
ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1499894.295 Y=1479206.196  
ELEVATION=5081.821'

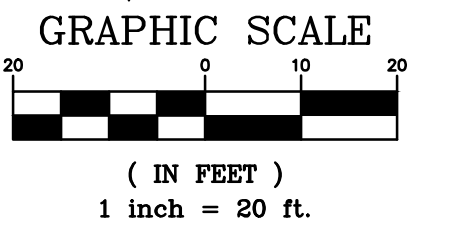
**FLOODNOTE**  
BASED UPON SCALING THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY FEMA AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H AS PER ALTA SURVEY

**UTILITY LEGEND:**

---	PROPERTY LINE	○	LIGHT POLE
----	PROPOSED CURB & GUTTER	□	AREA DRAIN
-----	LIMITS OF FULL DEPTH SAWCUT	○	GREASE TRAP
- - - -	EXISTING CONTOUR	○	CLEAN-OUT
----	SANITARY SEWER LINE	⊗	DOUBLE CLEAN-OUT
----	WATER LINE	⊙	GAS METER
---	GAS LINE	⊘	WATER METER
- - -	ELECTRIC SERVICE LINE		
- - -	TELEPHONE SERVICE LINE		
- - -	DOMESTIC WATER SERVICE LINE		
---	FIRE LINE		
▭	ADA RAMP		
●	BOLLARD		
+	TRAFFIC SIGN		
+	BOLLARD MOUNTED ACCESSIBLE SIGN		
⊗	IRRIGATION METER		
⊙	MANHOLE		
⊘	CURB INLET		

**UTILITY KEY NOTES:**

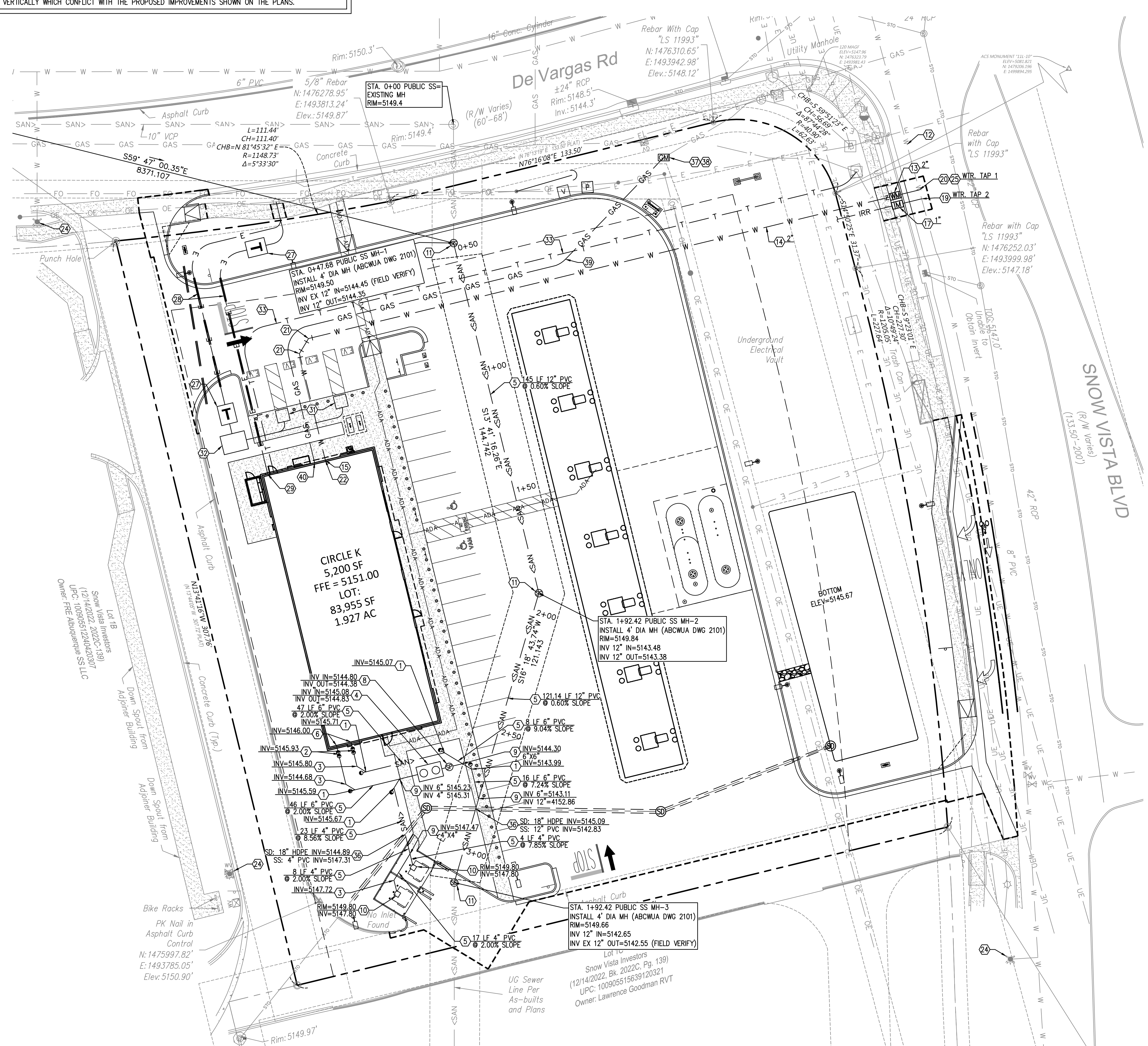
- SANITARY SEWER CLEAN-OUT.
- SANITARY SEWER DOUBLE CLEAN-OUT.
- 45° BEND.
- GREASE TRAP. (UNIT SPECIFICATIONS PER MEP PLANS)
- SANITARY SEWER LINE. (SEE NOTE FOR TYPE, SIZE AND SLOPE)
- SANITARY SEWER POINT OF ENTRY. (PER MEP PLANS)
- SANITARY SEWER POINT OF CONNECTION. (CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)
- SANITARY SEWER SAMPLE PORT. (UNIT SPECIFICATIONS PER MEP PLANS)
- SANITARY SEWER WYE. SDR-26.
- 2"x2" SANITARY SEWER DRAIN INLET WITH "P" TRAP.
- SANITARY SEWER MANHOLES LESS THAN 6' PER ABCWUA DWG 2101.
- WATER MAIN LINE. (SEE NOTE FOR SIZE)
- DOMESTIC WATER METER. (SEE NOTE FOR SIZE)
- DOMESTIC WATER LINE. (SEE NOTE FOR SIZE)
- DOMESTIC WATER LINE POINT OF ENTRY. (PER MEP PLANS)
- DOMESTIC WATER LINE POINT OF CONNECTION PER ABCWUA DWG 2363.
- IRRIGATION WATER METER. (SEE NOTE FOR SIZE)
- IRRIGATION WATER LINE. (SEE NOTE FOR SIZE)
- IRRIGATION WATER LINE POINT OF CONNECTION. 1" SERVICE TAP.
- 2" SERVICE TAP PER ABCWUA DWG 2363.
- M.J. BEND. (SEE NOTE FOR SIZE)
- BACKFLOW & PRESSURE REDUCER INSIDE BUILDING PER M.E.P. PLANS
- REDUCED PRESSURE BACKFLOW PREVENTER.
- EXISTING FIRE HYDRANT.
- CONTRACTOR SHALL COORDINATE WITH WATER UTILITY DEPARTMENT TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.
- PROPOSED LIGHT POLE.
- PAD MOUNTED TRANSFORMER.
- UNDERGROUND ELECTRIC LINE. (COORDINATE WITH ELECTRIC COMPANY FOR CONDUIT SIZES)
- METERING EQUIPMENT AND ELECTRIC LINE POINT OF ENTRY. (PER MEP PLANS)
- ELECTRIC LINE POINT OF CONNECTION.
- E.V. EQUIPMENT PER M.E.P. PLANS.
- E.V. SWITCHGEAR PER M.E.P. PLANS.
- UNDERGROUND TELEPHONE LINE ~ 2"-1" CONDUITS. (VERIFY SIZE WITH TELEPHONE COMPANY)
- TELEPHONE LINE POINT OF ENTRY. (PER MEP PLANS)
- TELEPHONE LINE POINT OF CONNECTION.
- STORM/SANITARY PIPE CROSSING.
- GAS METER (PER GAS COMPANY).
- GAS POINT OF CONNECTION (PER GAS COMPANY).
- GAS LINE (SIZE AND METERING PER GAS COMPANY).
- GAS POINT OF ENTRY (PER M.E.P.).



**SITE PIPING MATERIAL SCHEDULE**

SANITARY SEWER - 6"	SDE-26 PVC
SANITARY SEWER - 12"	SDR-35 PVC.
WATER LINE SMALLER THAN 4"	SCHEDULE 40 PVC AS PER ATSM D1785
WATER LINE 4" - 12"	PVC CLASS 150, DR-18, ANWA C-900

CONTRACTOR TO VERIFY EXISTING SANITARY SEWER & STORM DRAIN ELEVATIONS, AND UTILITY CONNECTIONS WITHIN 14 DAYS OF GROUND BREAKING.

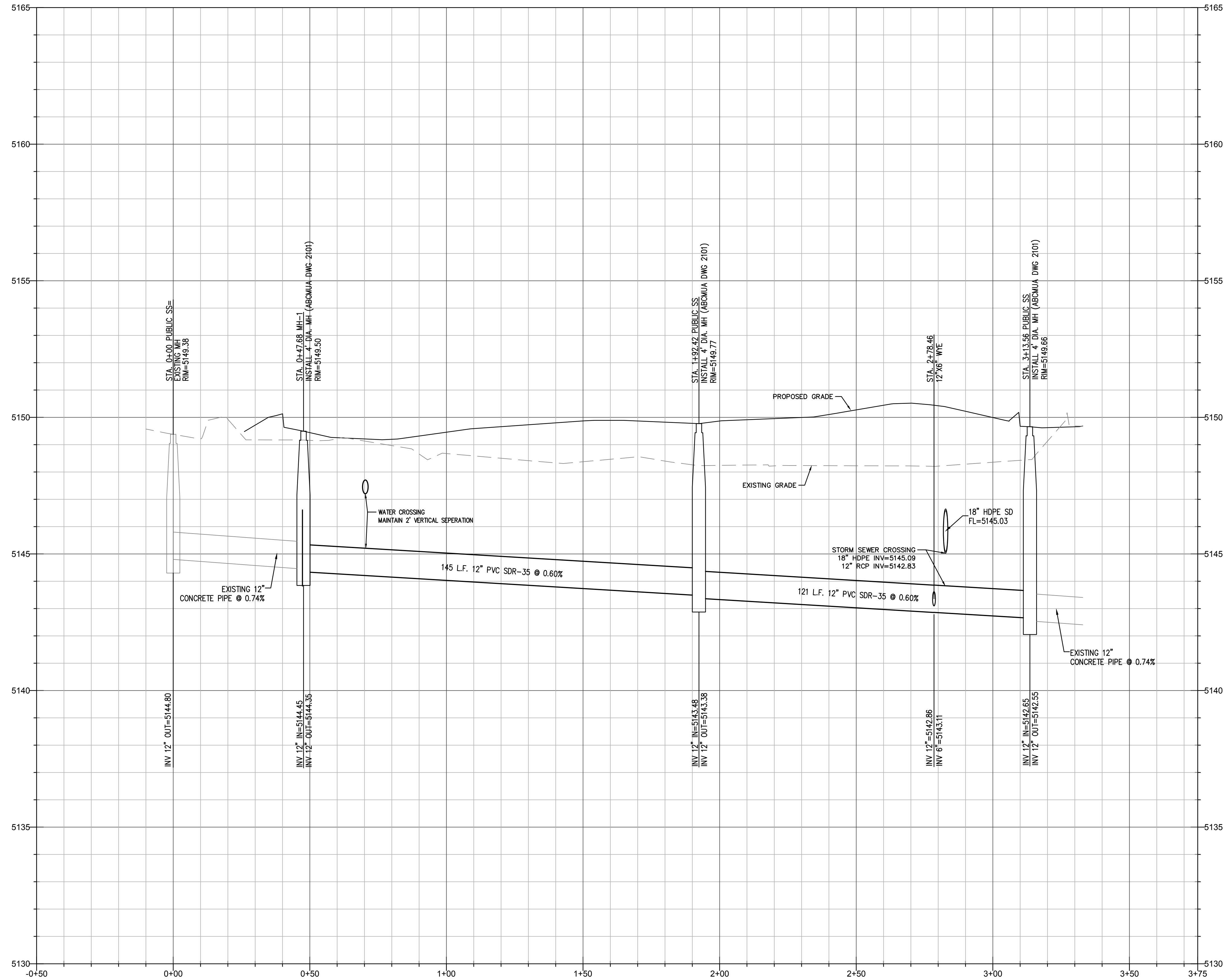


\\CIRCLE K\DW25001\_98TH DE VARGAS RD - ALBUQUERQUE, NM\_CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24X36 MASTER.DWG 3/23/2026 2:48 PM GAVIN KLEINBECKER

Owner: FFE Albuquerque SS LLC  
Snow Vista Investors  
(12/14/2022, 2022C-139)  
UPC: 10090515240220321

Owner: Lawrence Goodman RVT  
(12/14/2022, BK 2022C, Pg. 139)  
UPC: 10090515639120321

J:\CIRCLE K\DM25001 98TH DE VARGAS RD - ALBUQUERQUE, NM - CURRENT DRAWINGS\JM-DM25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24X36 MASTER.DWG 3/23/2026 2:48 PM GAVIN KLEINEBECKER



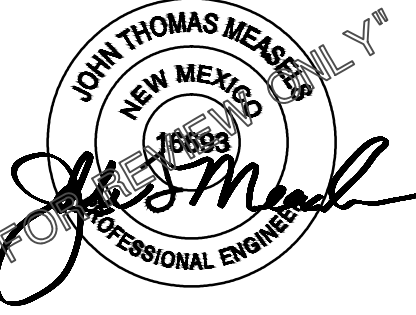
PUBLIC SS

HORIZONTAL SCALE:  
1"=20'

VERTICAL SCALE:  
1"=2'



1101 Central Expressway South  
Suite 215  
Allen, TX 75013  
Ph. 214-491-1830  
John Measels, PE  
CIVIL ENGINEER



03/05/2026

SANITARY SEWER PROFILE

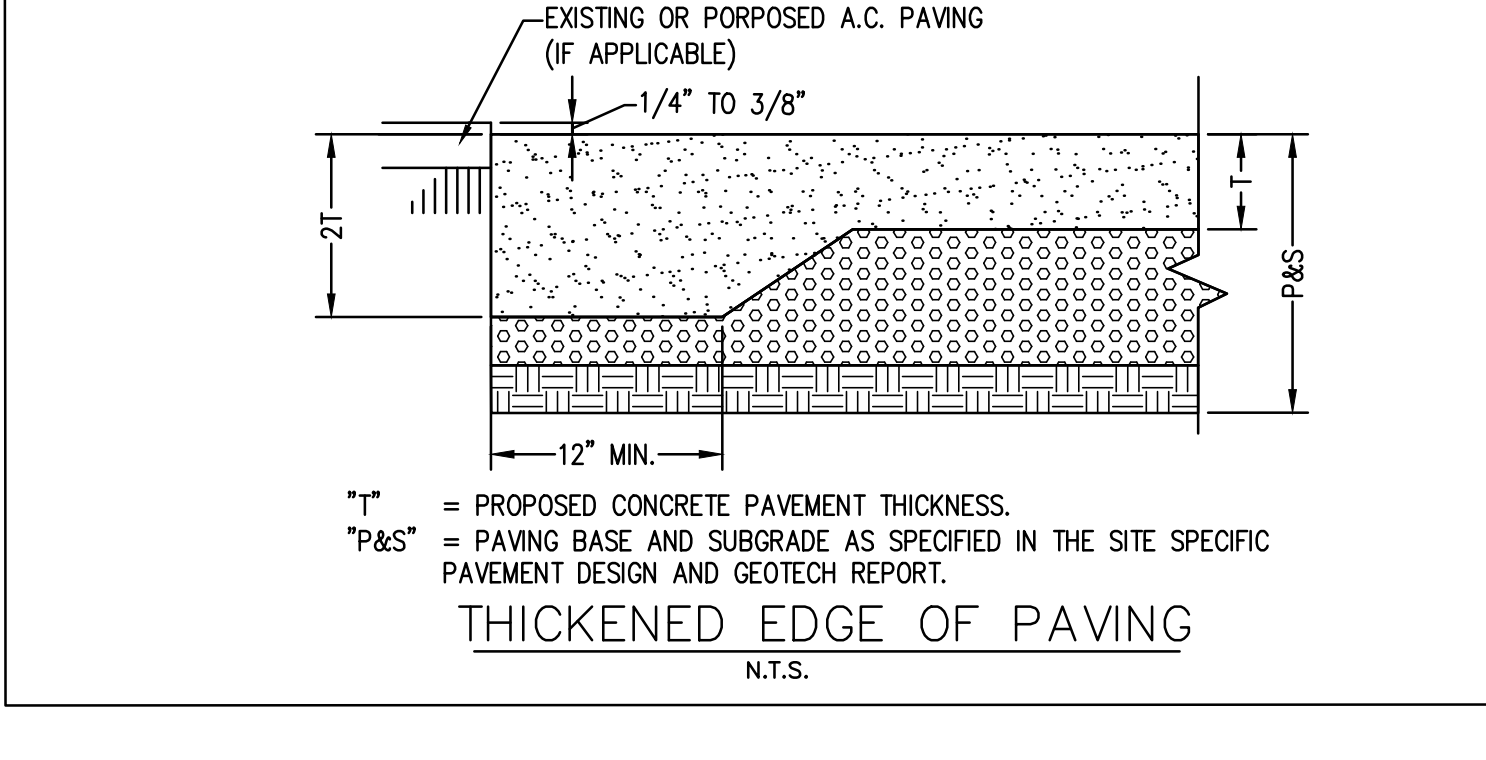
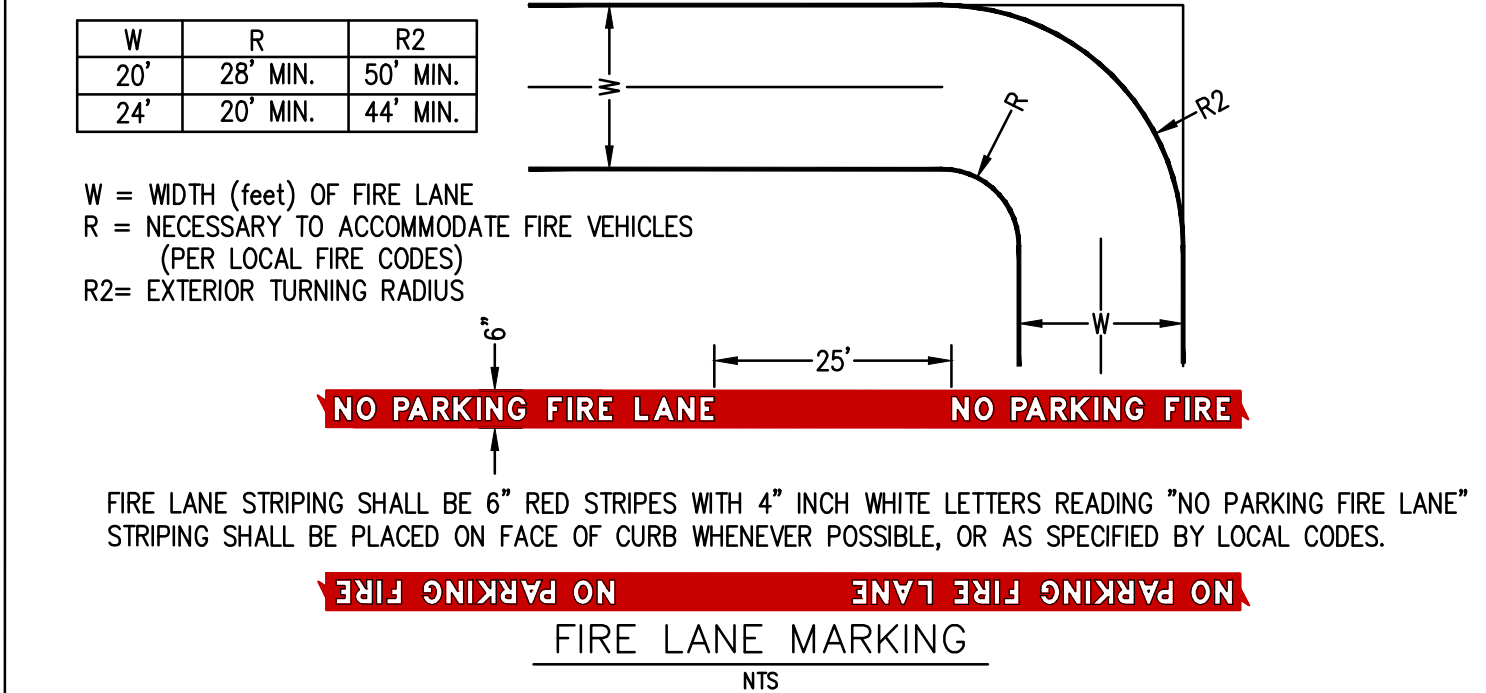
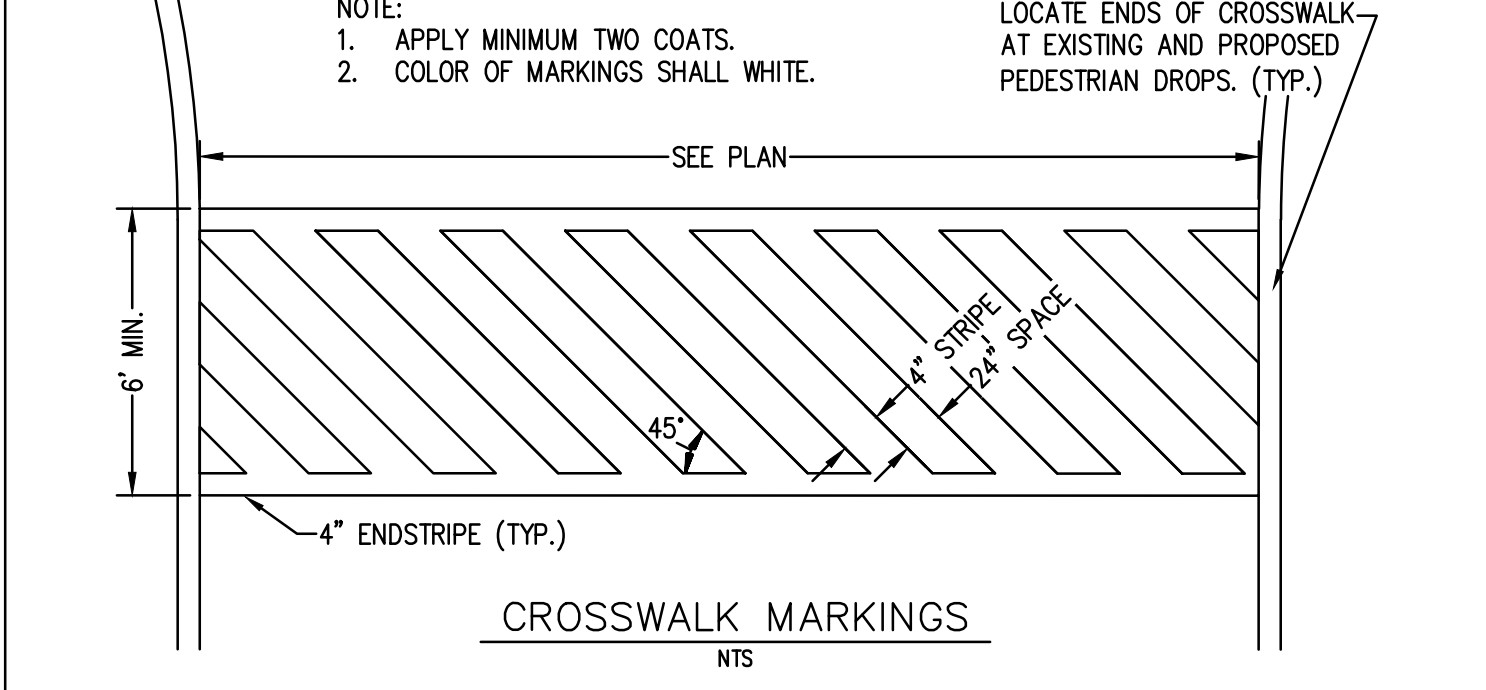
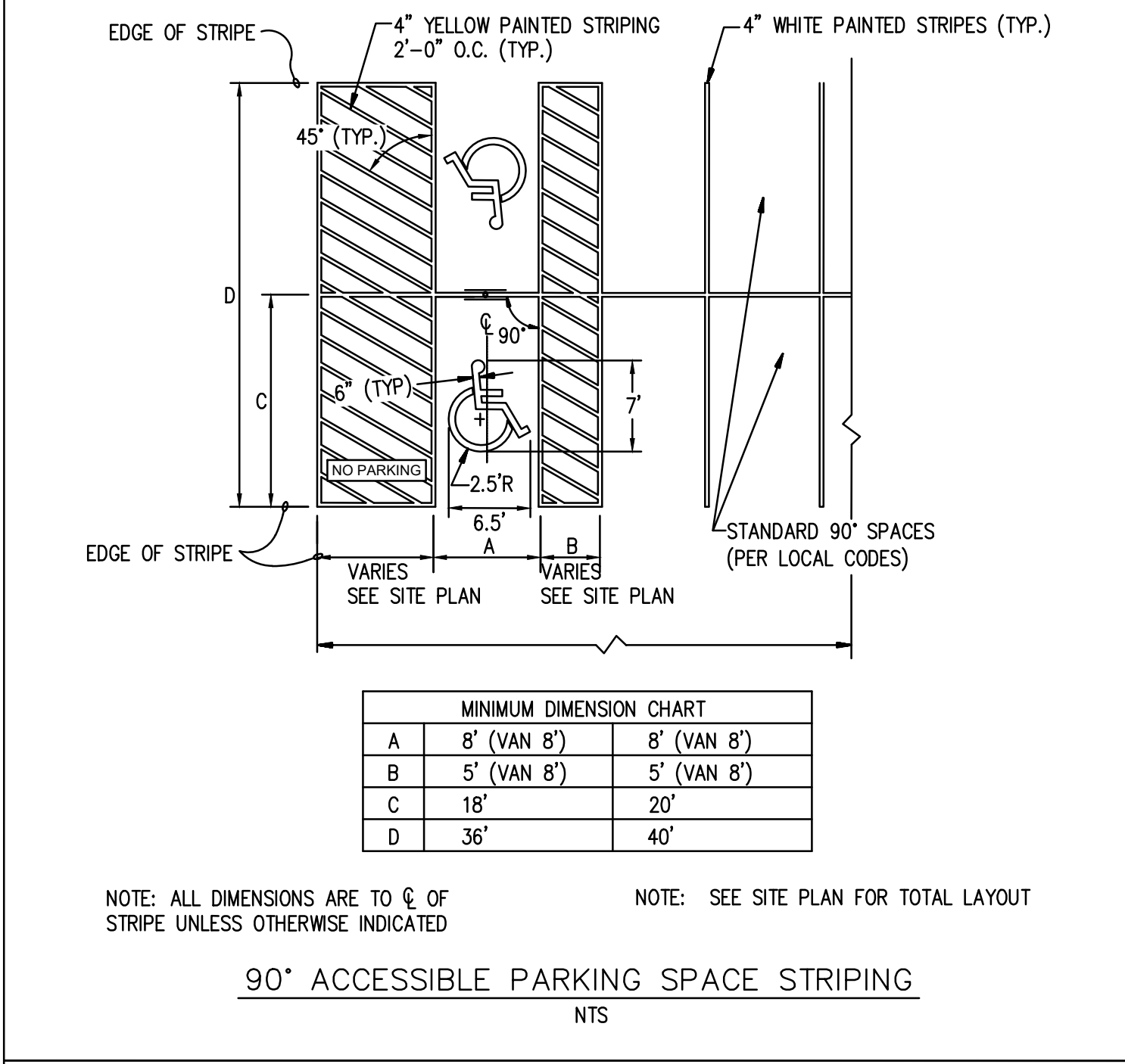
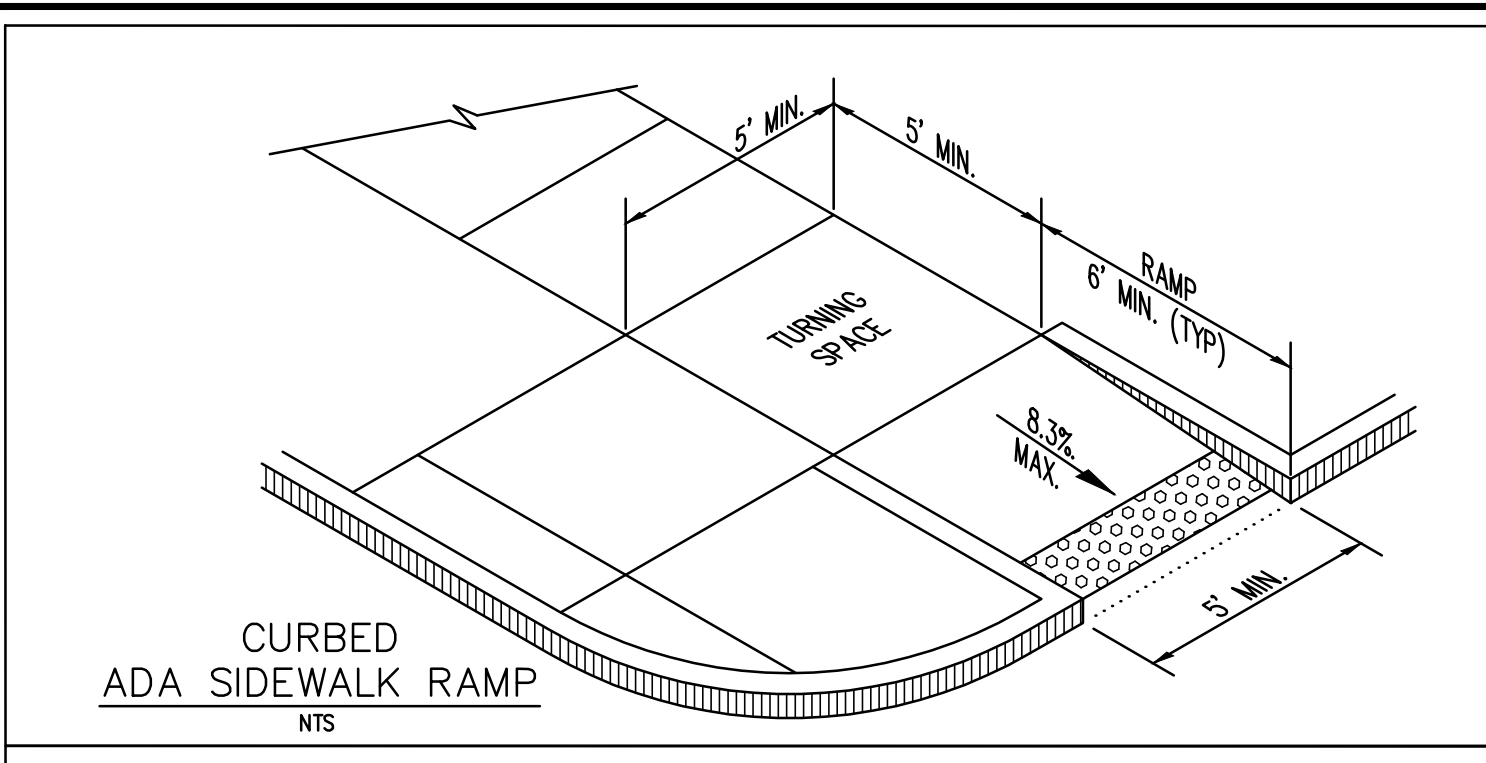
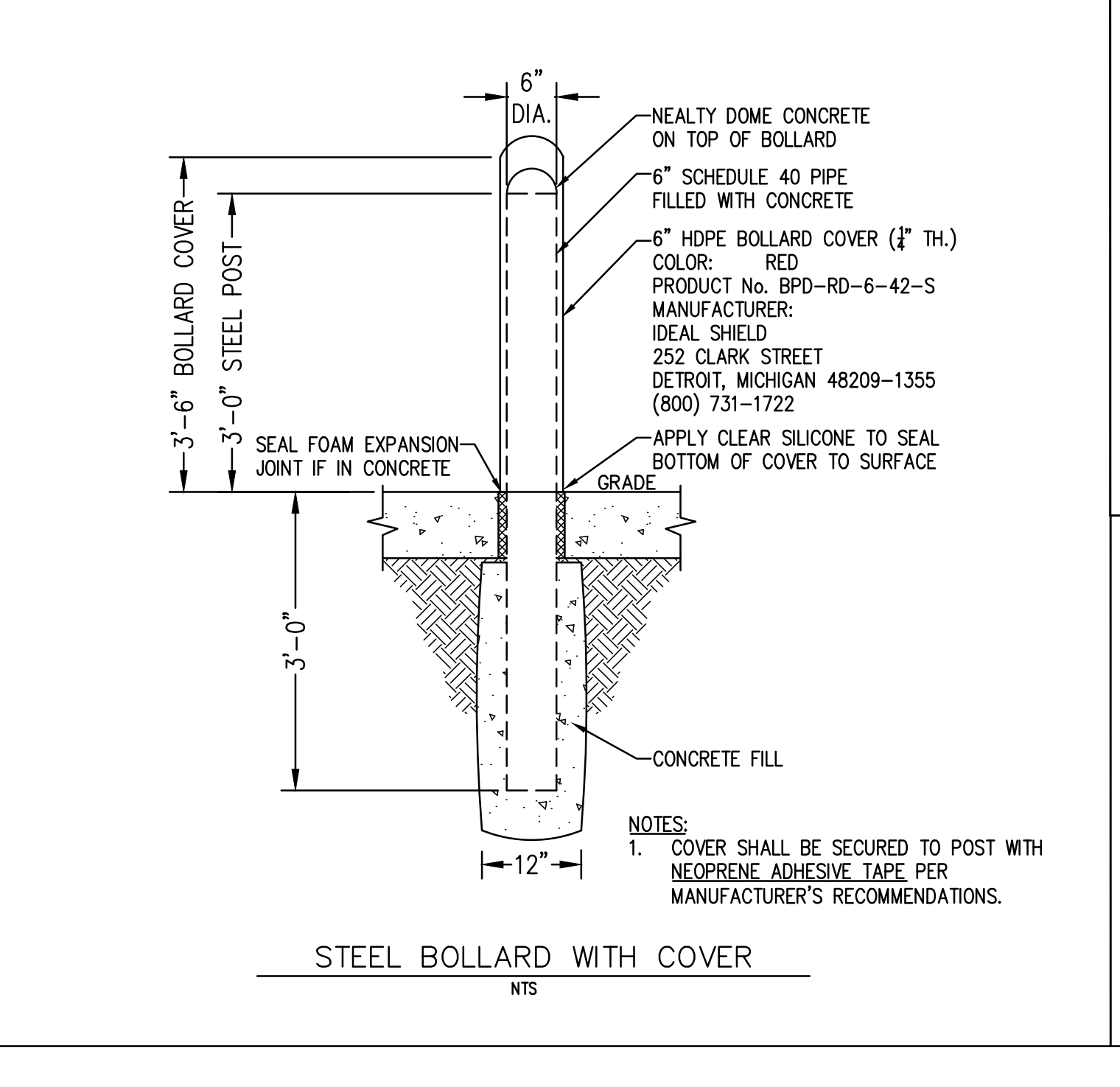
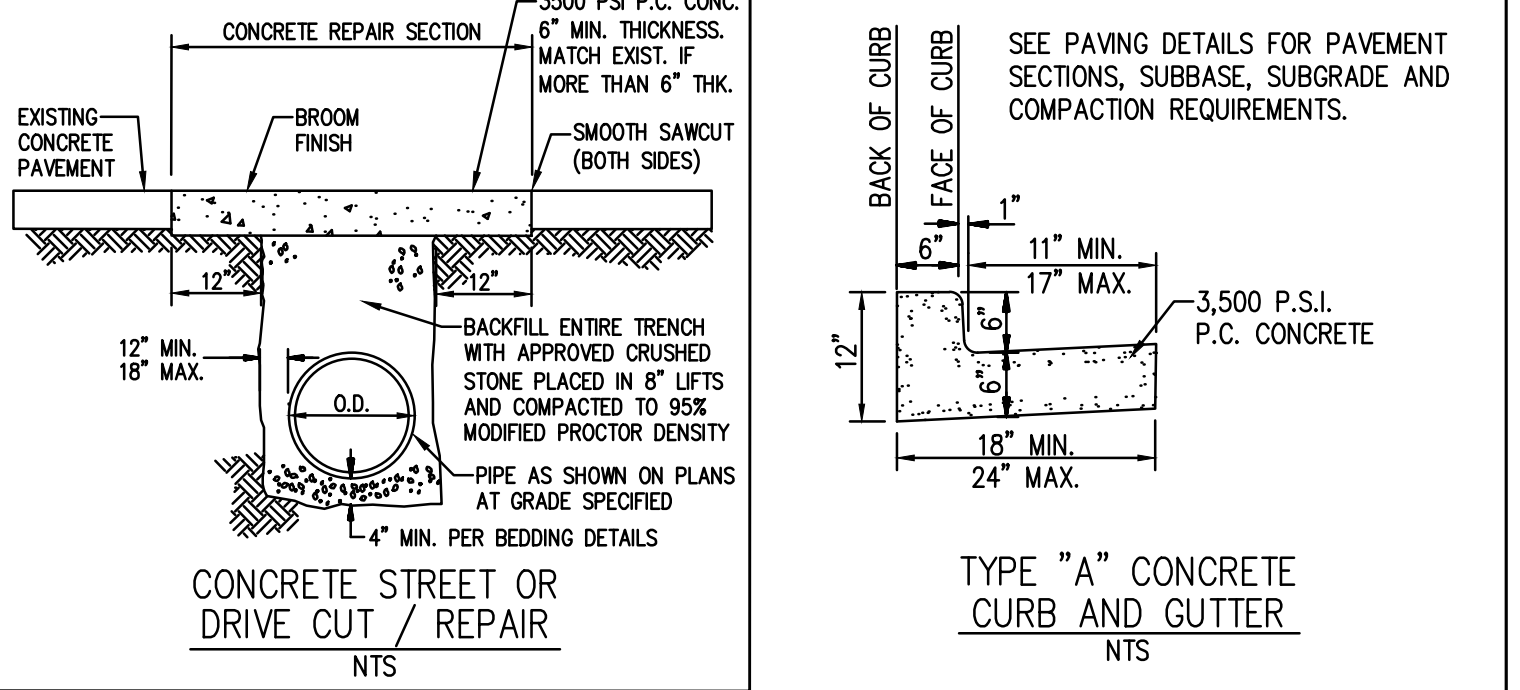
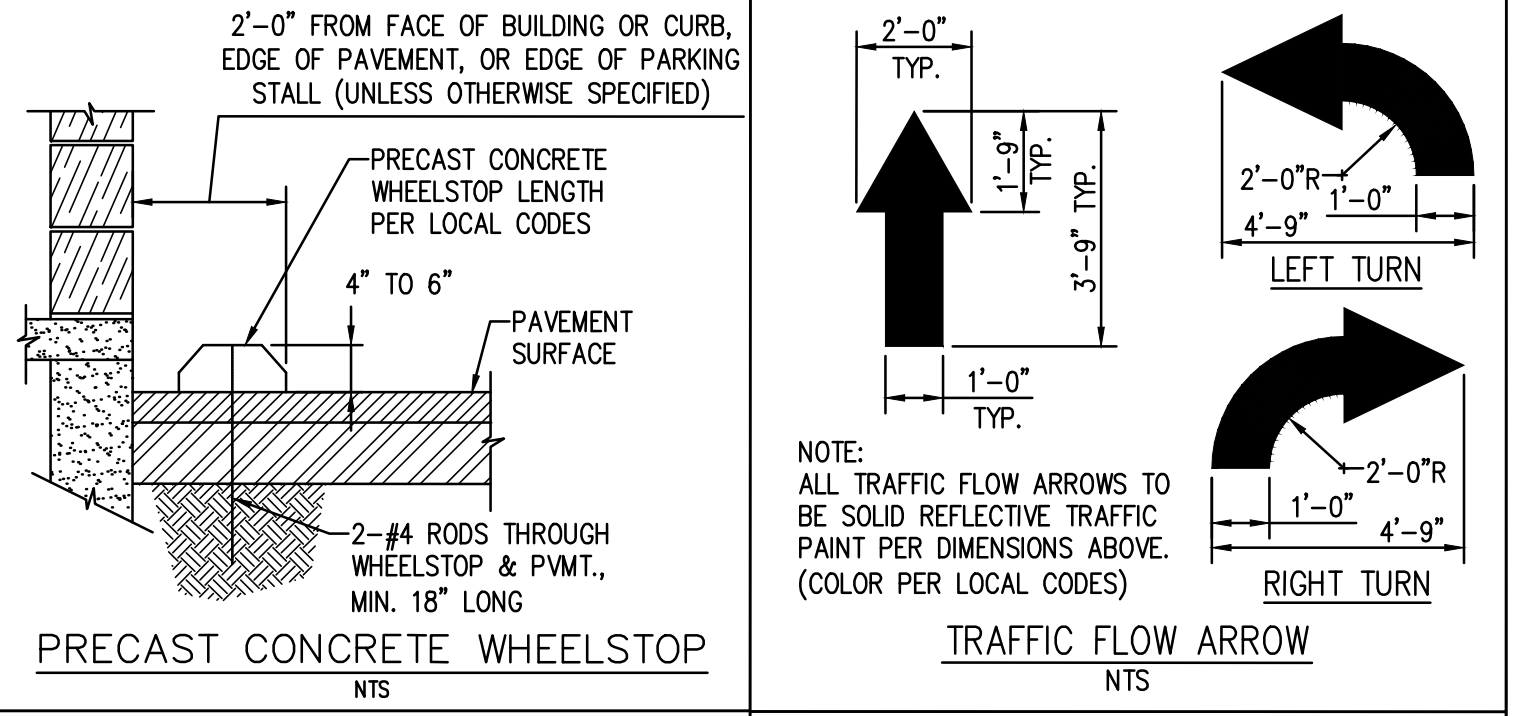
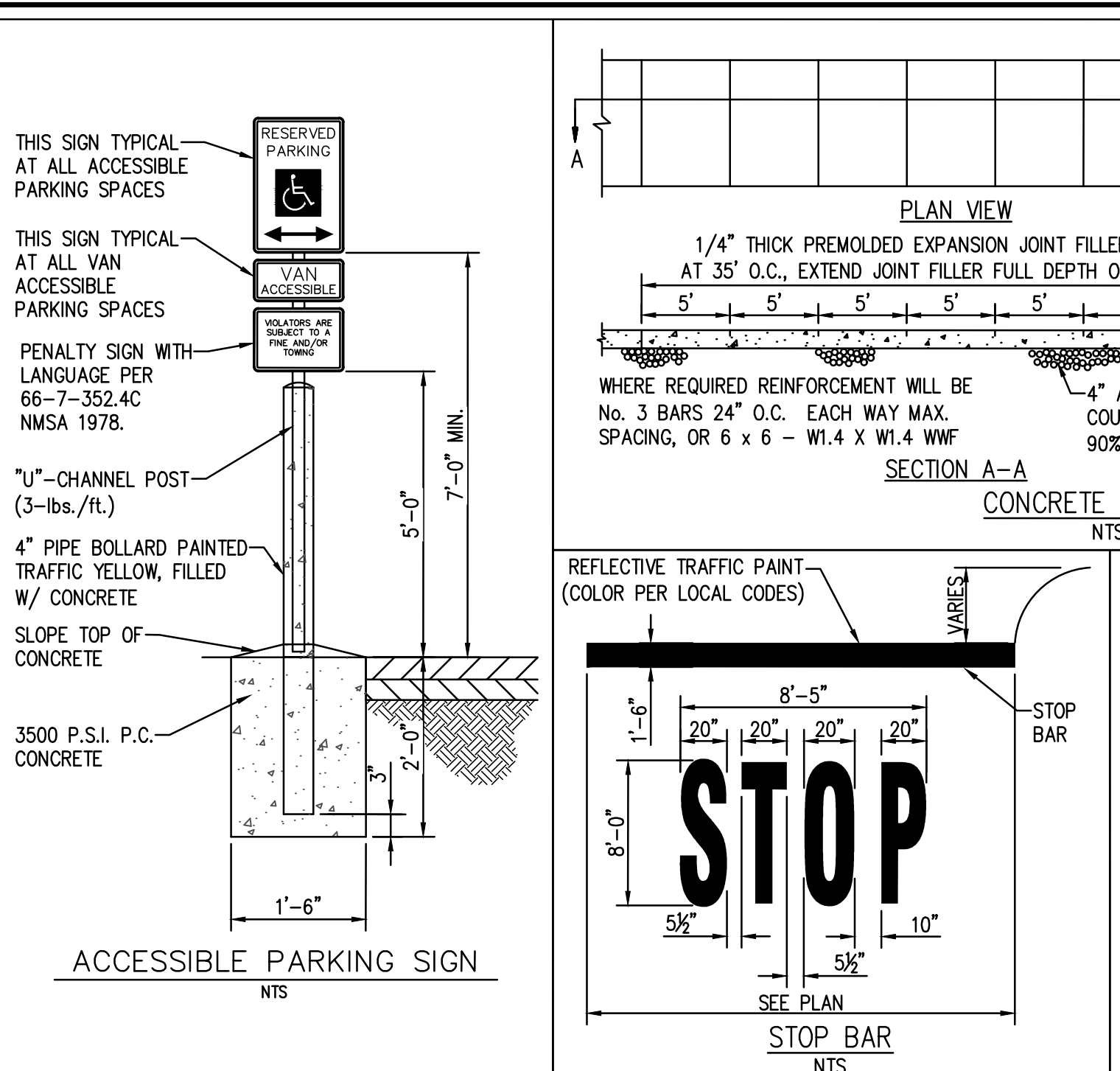
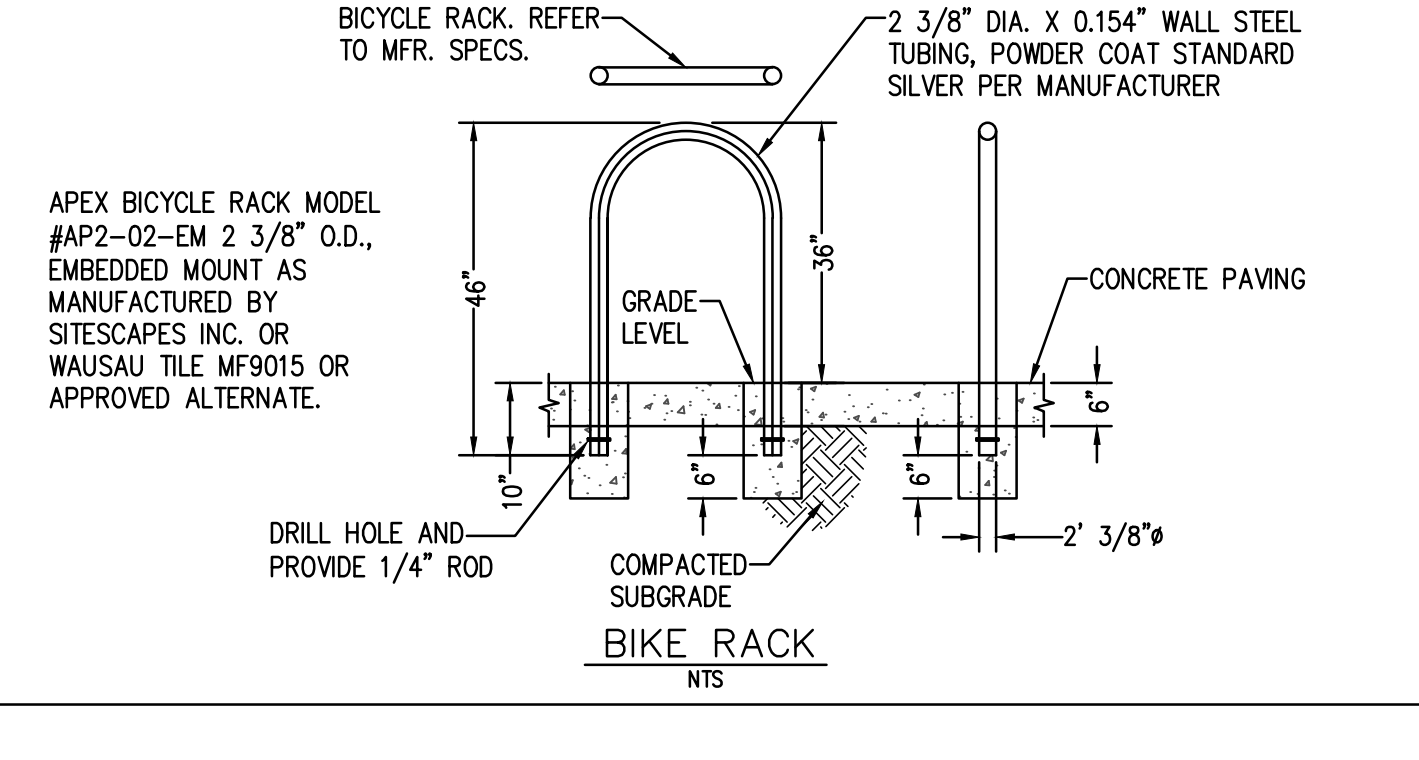
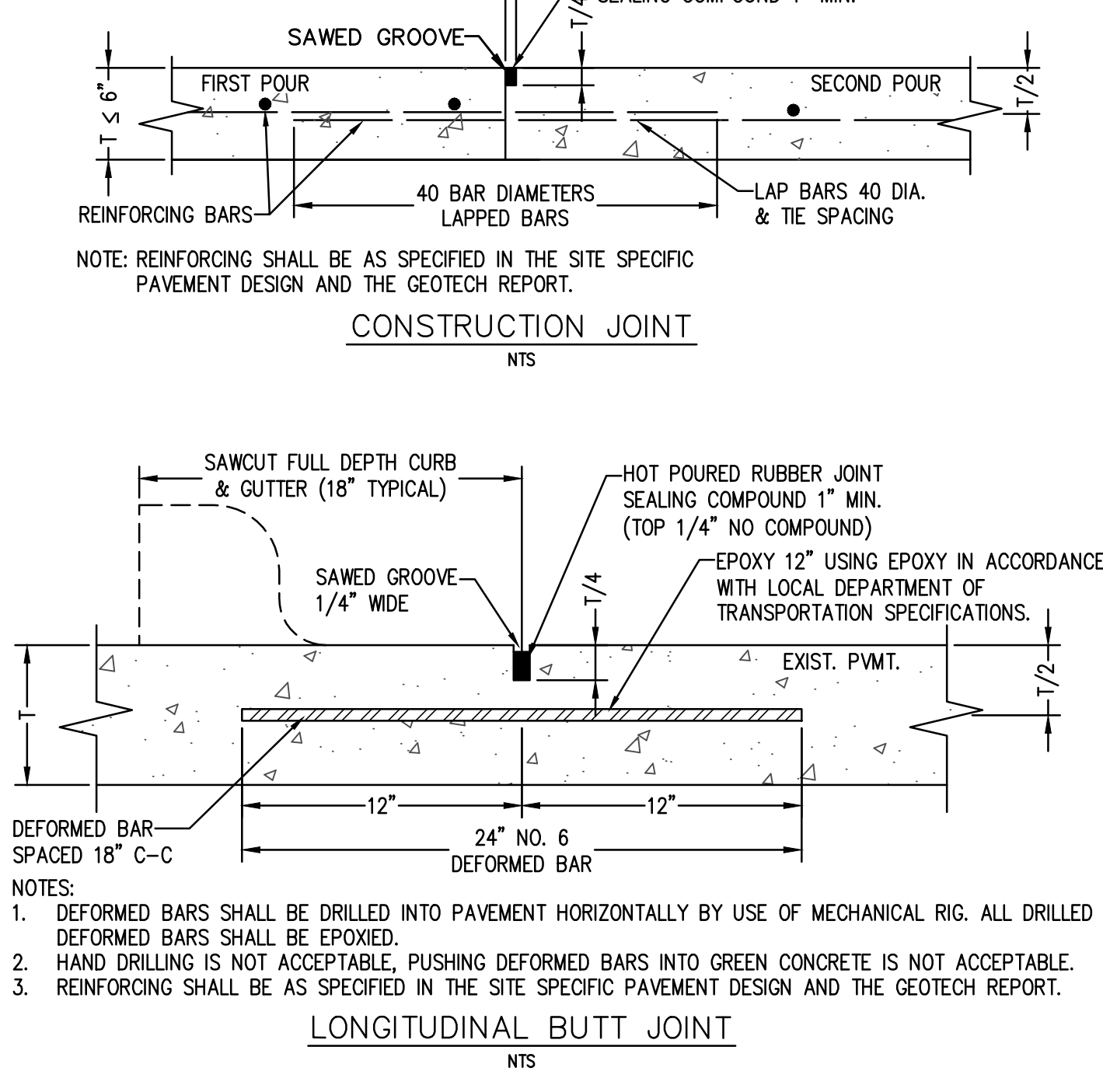
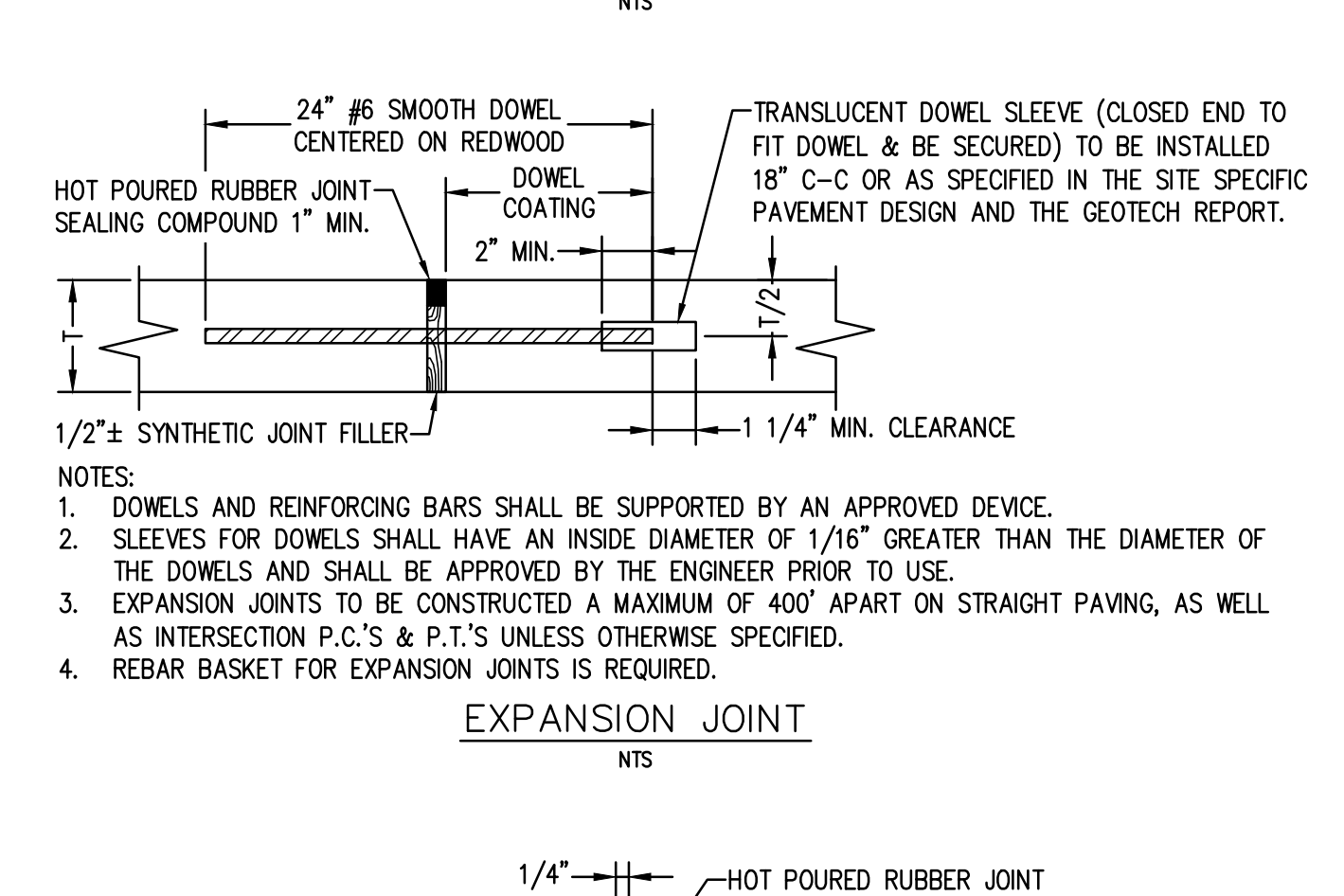
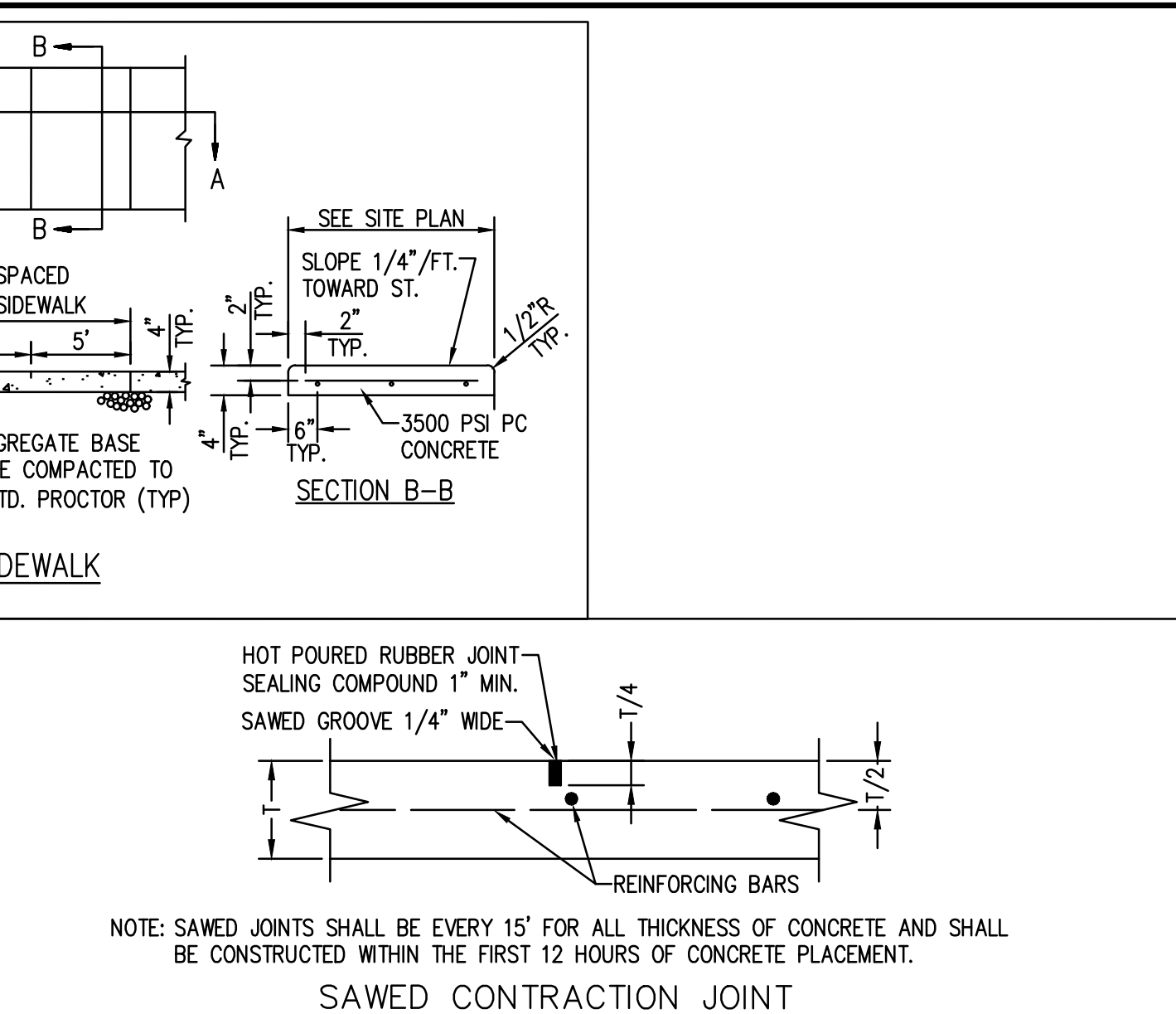
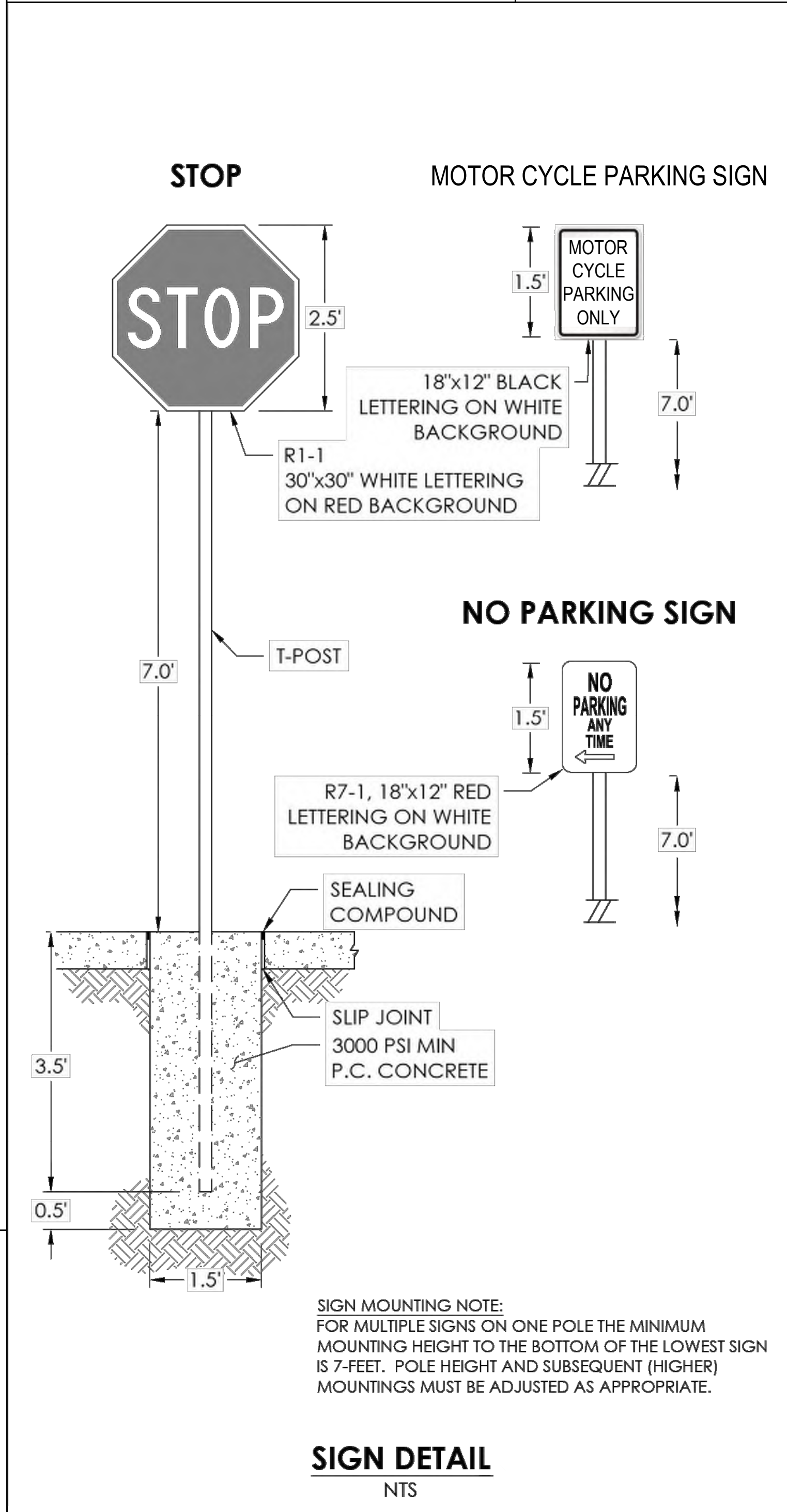
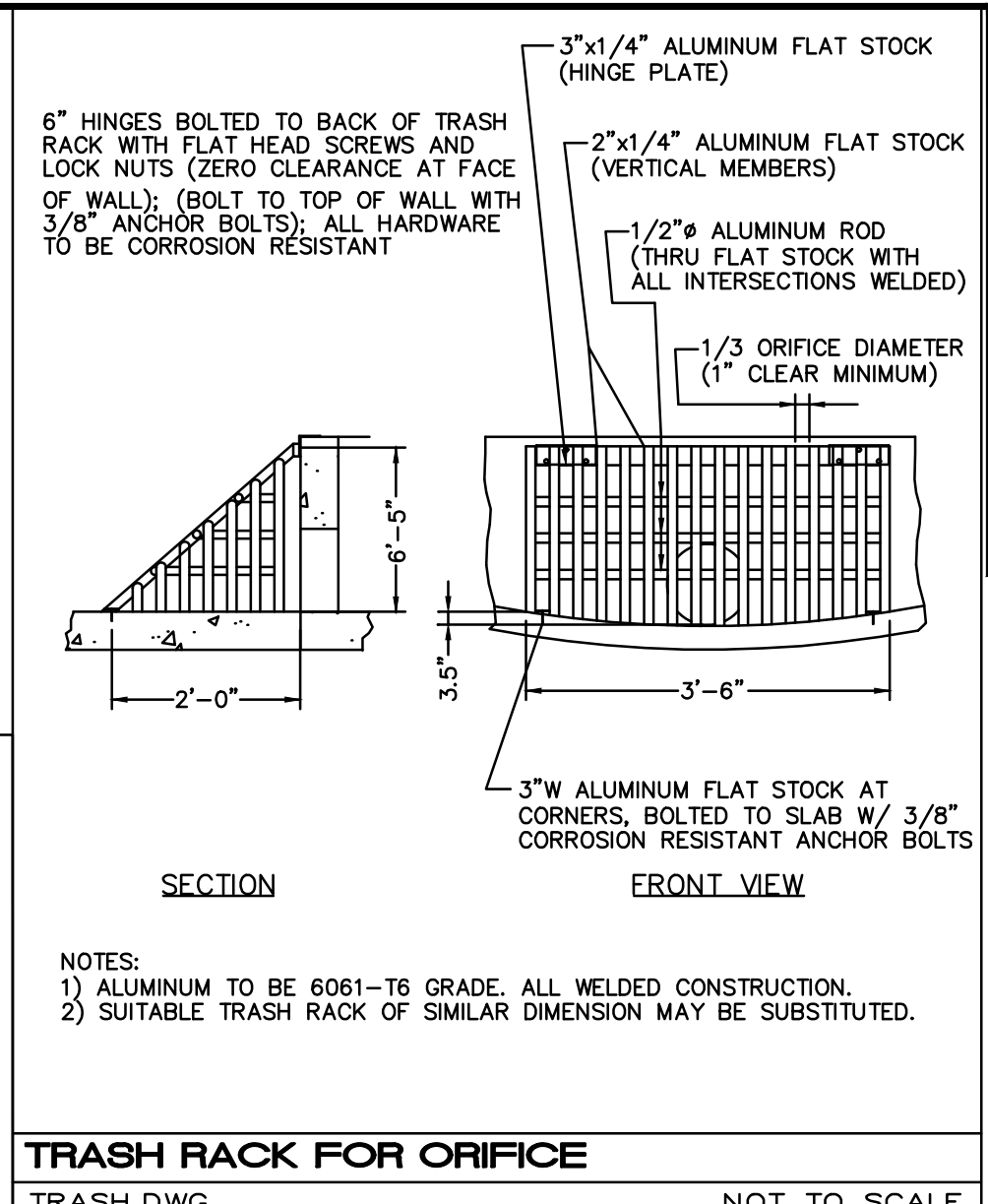
CIRCLE K, INC  
LOT 1A, SNOW VISTA INVESTORS  
9800 DE VARGAS RD.  
ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION	NAME

PROJECT NO: JM-DM25001  
DRAWN BY: ASB, JK, GFK  
CHECKED BY: KWF  
ISSUE DATE: 03/23/2026

C 610

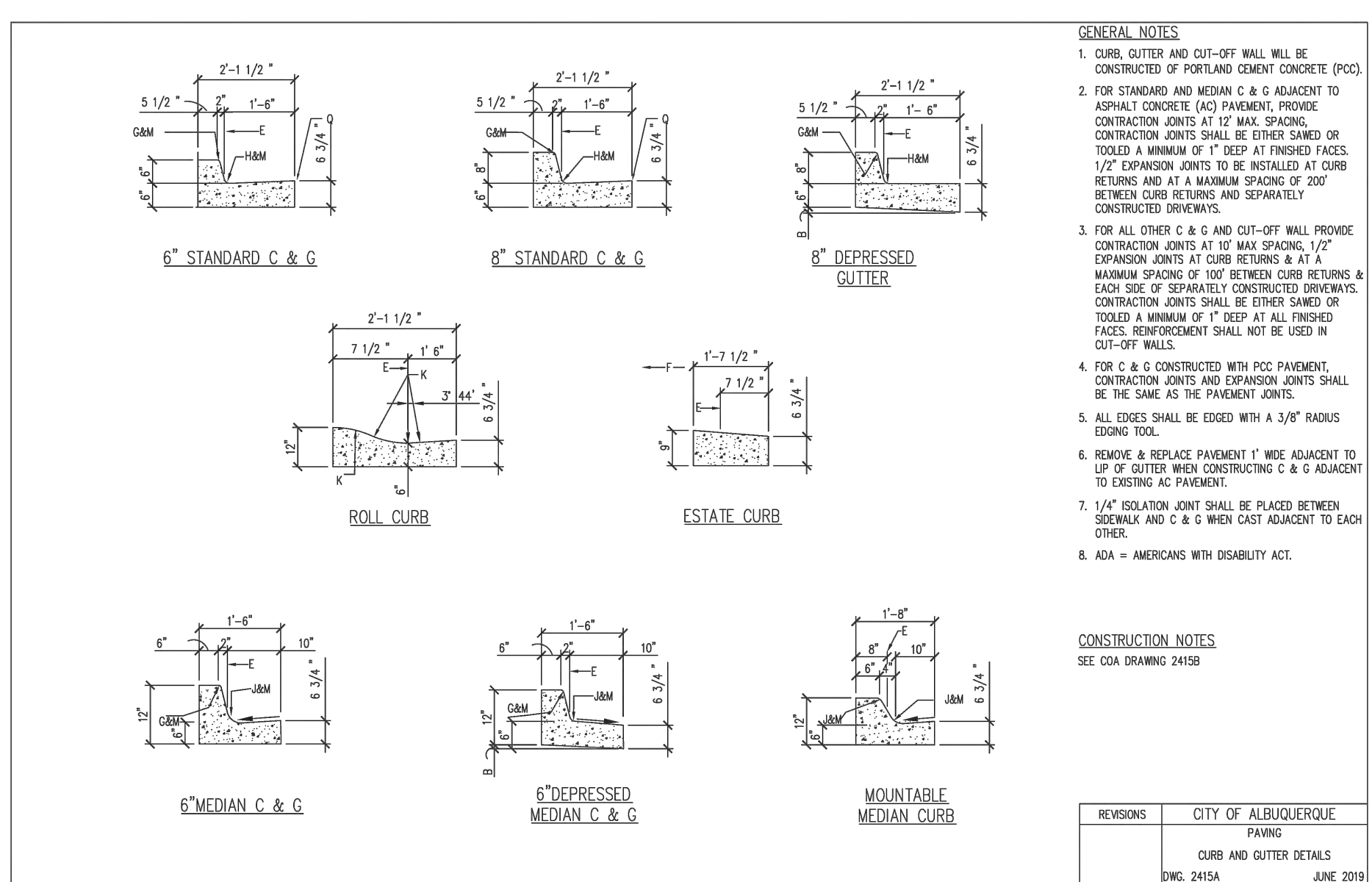
NO.	DATE	DESCRIPTION



J:\CIRCLE K\DW25001\98TH DE VARGAS RD - ALBUQUERQUE, NM - DW25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24x36 MASTER.DWG 3/23/2026 2:48 PM GAVIN KLEINEBECKER

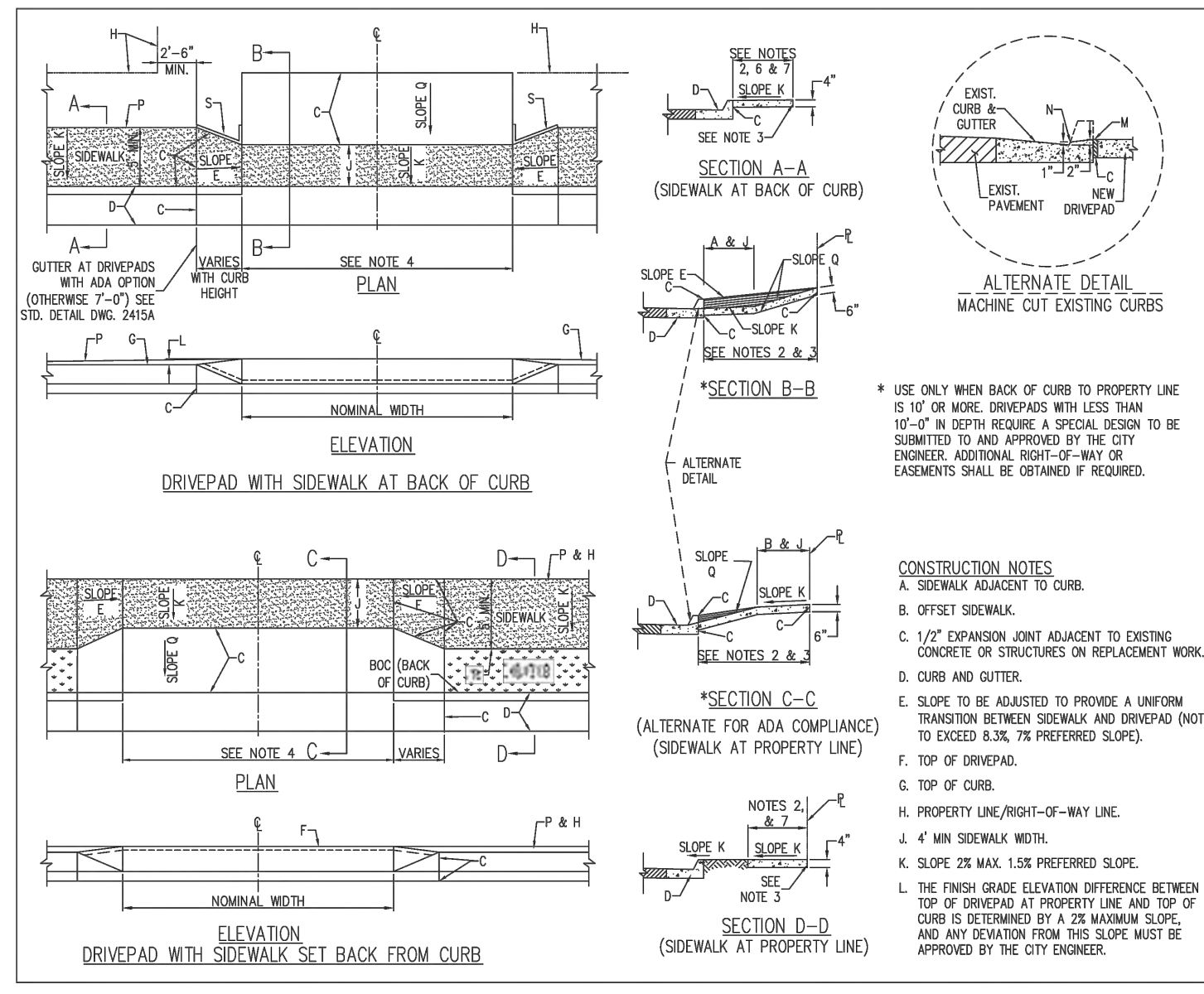






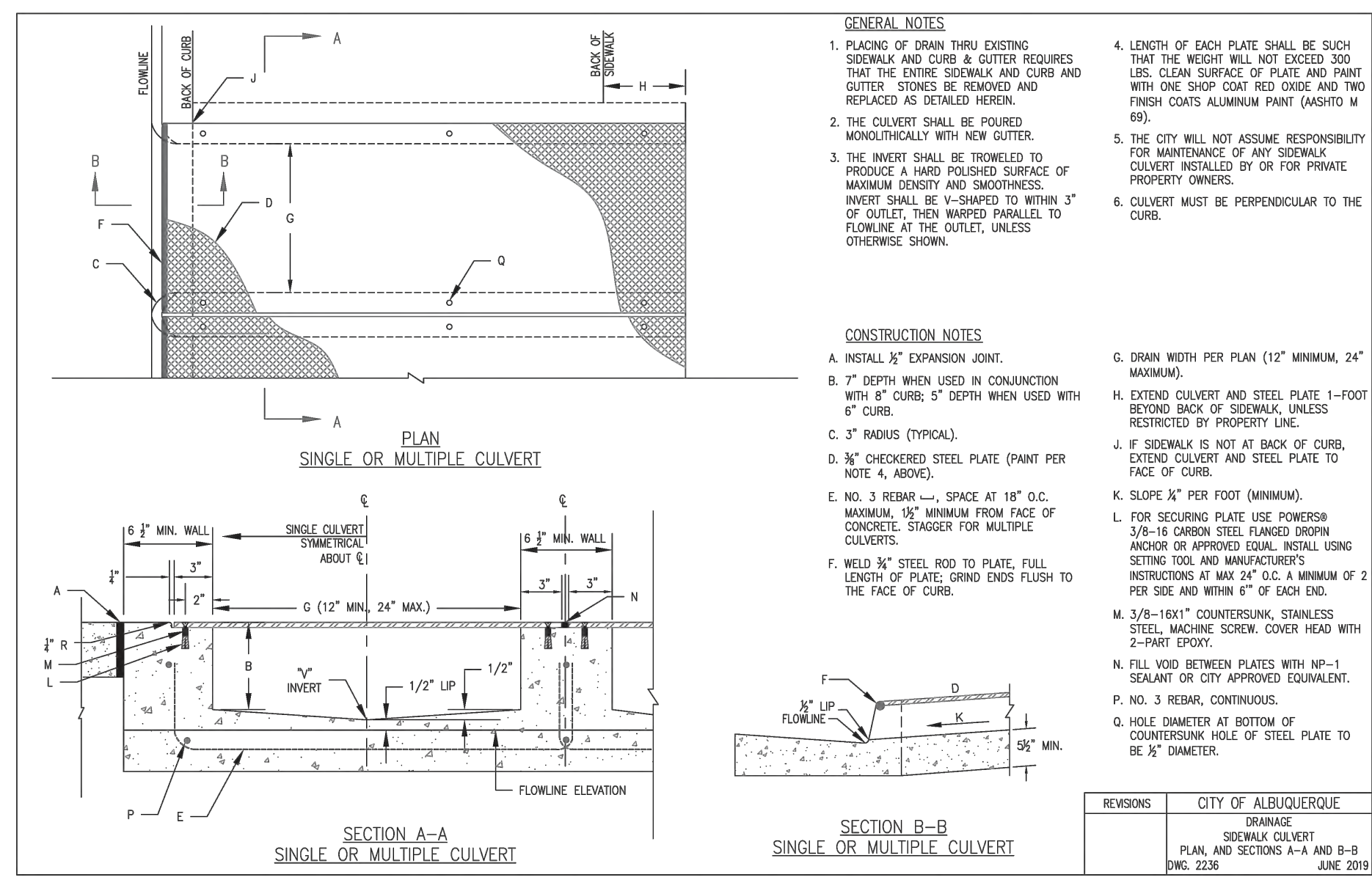
**GENERAL NOTES**  
 1. CURB, GUTTER AND CUT-OFF WALL SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC) WITH A MINIMUM FINISH SURFACE OF 3000 PSI.  
 2. FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING. CONTRACTION JOINTS SHALL BE EITHER SAND OR TOoled A MINIMUM OF 1\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	DRG. 2415A
CURB AND GUTTER DETAILS	JUNE 2019



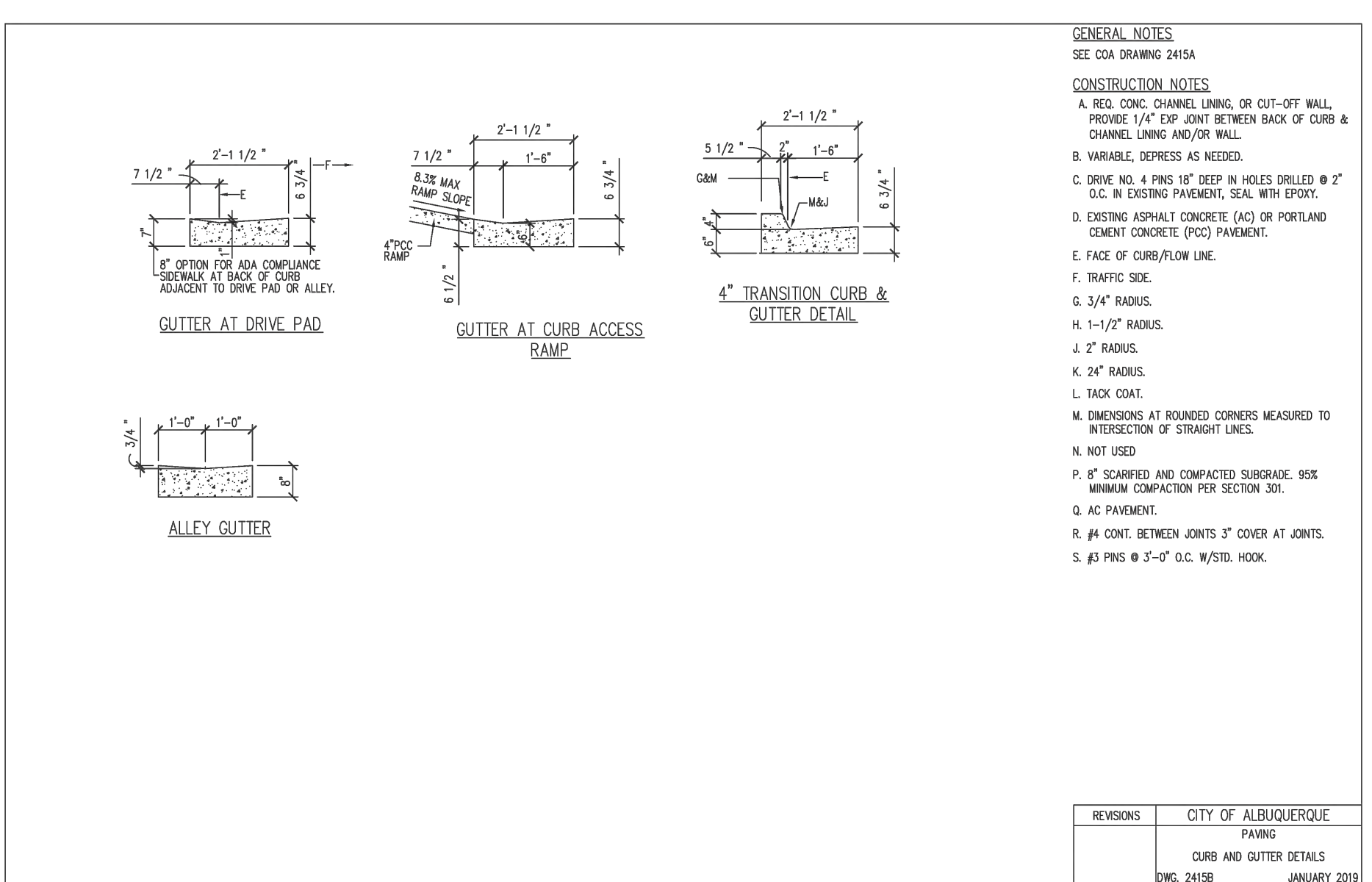
**GENERAL NOTES**  
 1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.  
 2. REQUEST FOR SIDEWALK VARIANCES SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW BOARD.  
 3. USE 1/2\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	DRG. 2425A
DRIVEPADS	JUNE 2019



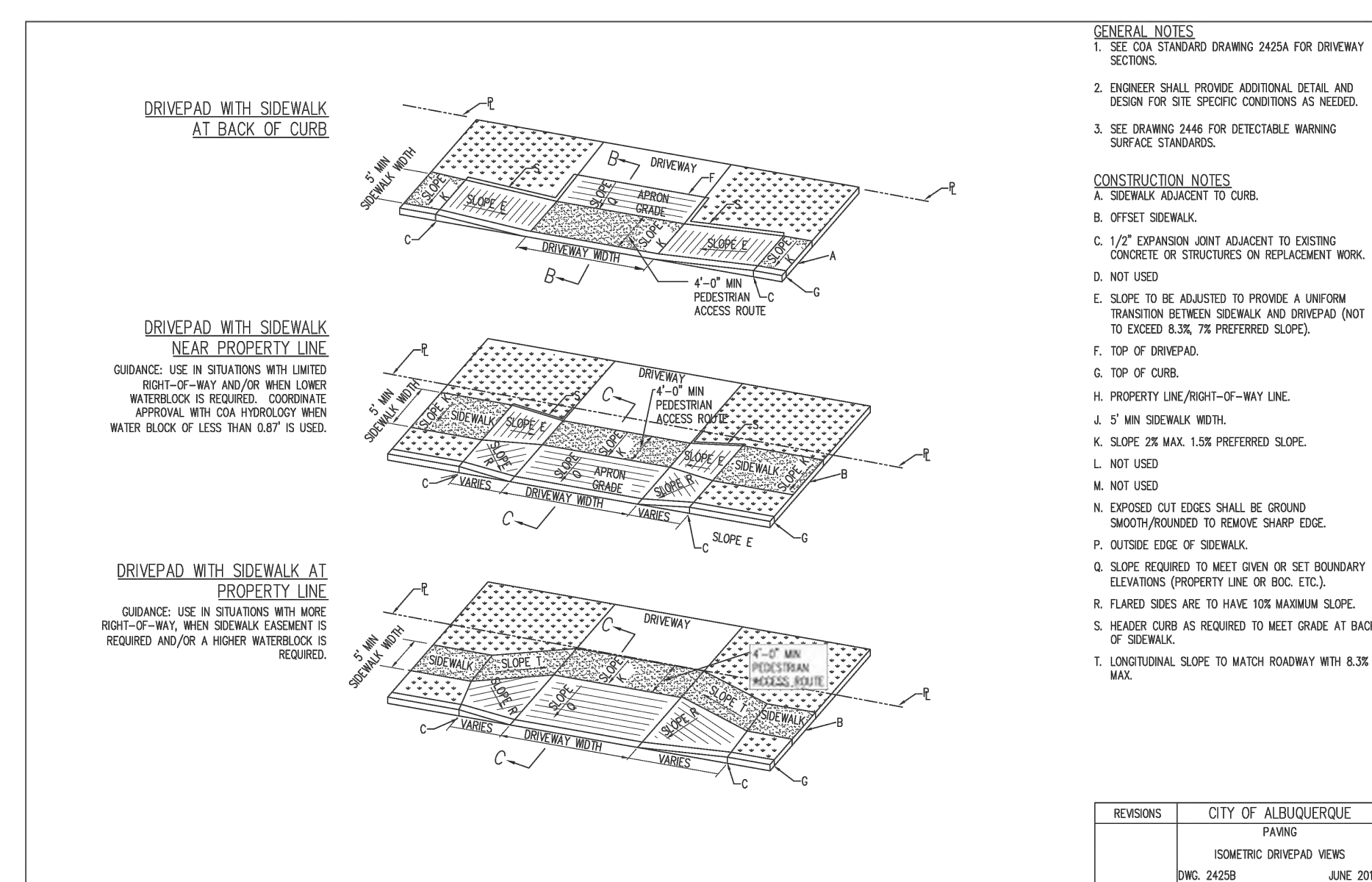
**GENERAL NOTES**  
 1. PLACING OF DRAIN THRU EXISTING SIDEWALK AND CURB & GUTTER REQUIRES THAT THE ENTIRE SIDEWALK AND CURB AND GUTTER STORIES BE REMOVED AND TWO FINISH COATS ALUMINUM PAINT (MASHITO M 89).  
 2. THE CURB SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.  
 3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAXIMUM DENSITY AND SMOOTHNESS.  
 4. CULVERT MUST BE PERPENDICULAR TO FLOWLINE AT THE OUTLET, UNLESS OTHERWISE SHOWN.

REVISIONS	CITY OF ALBUQUERQUE
PAVING	DRG. 2236
SIDEWALK CULVERT PLAN AND SECTIONS A-A AND B-B	JUNE 2019



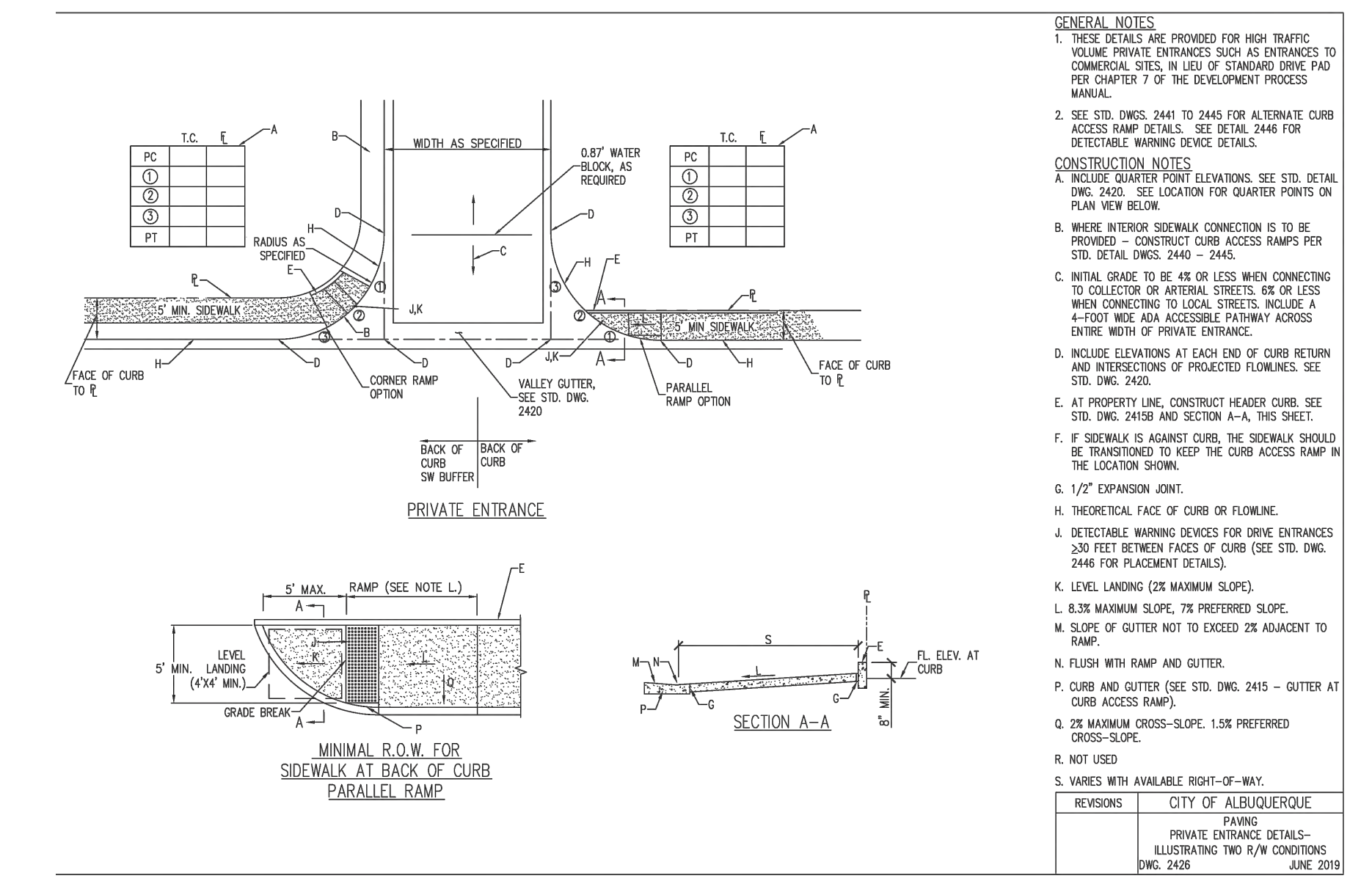
**GENERAL NOTES**  
 1. SEE CGA STANDARD DRAWING 2425A.  
**CONSTRUCTION NOTES**  
 A. REG. CONC. CHANNEL LINING, OR CUT-OFF WALL, PROVIDE 1/4\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	DRG. 2415B
CURB AND GUTTER DETAILS	JANUARY 2019



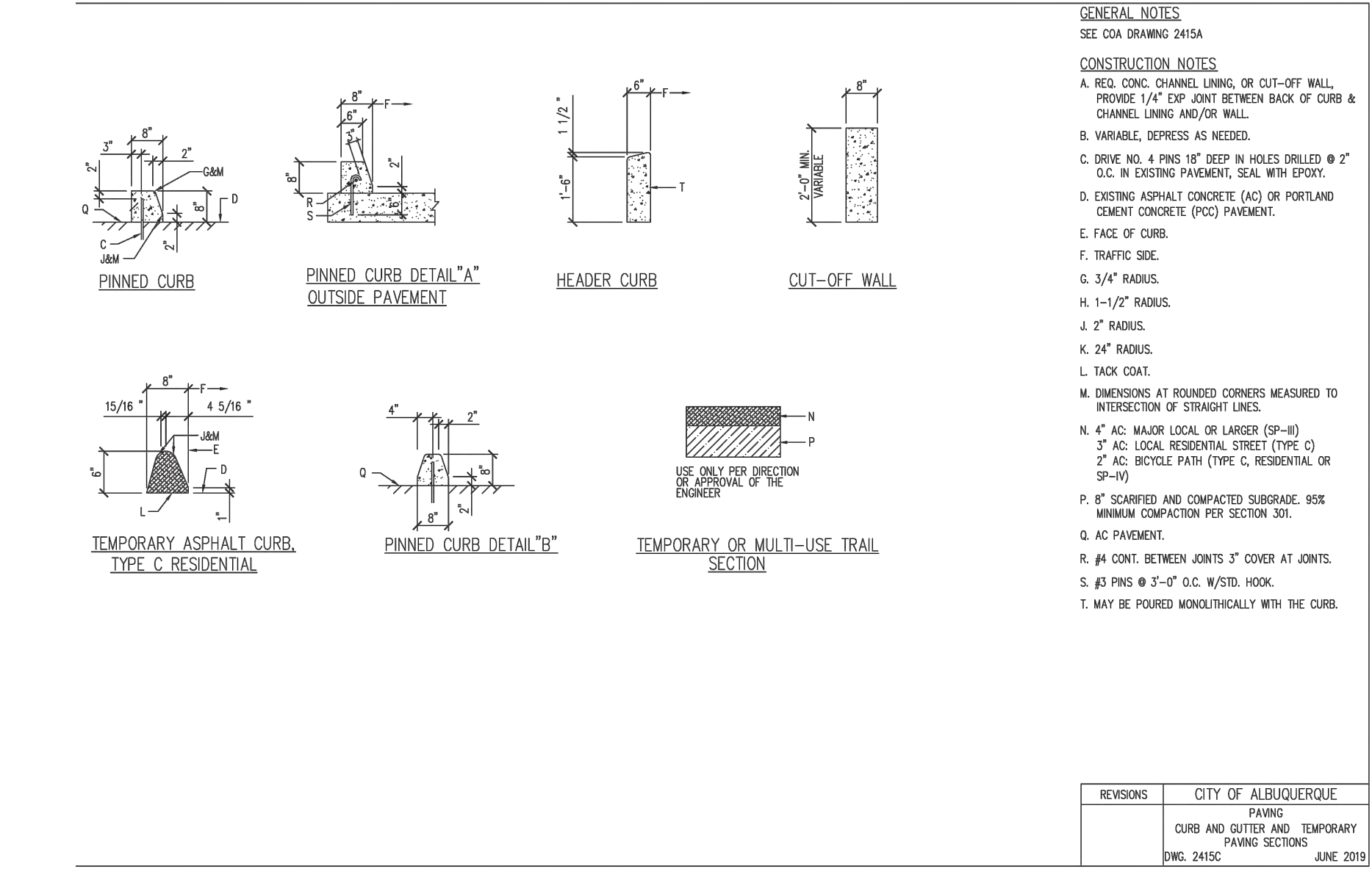
**GENERAL NOTES**  
 1. THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC VOLUME PRIVATE ENTRANCES SUCH AS ENTRANCES TO COMMERCIAL SITES, IN LIEU OF STANDARD DRIVEPAD PER CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL.  
 2. SEE STD. DWG. 2441 TO 2445 FOR ALTERNATE CURB ACCESS RAMP DETAILS. SEE DETAIL 2446 FOR DETECTABLE WARNING DEVICES.  
**CONSTRUCTION NOTES**  
 A. SIDEWALK ADJACENT TO CURB.  
 B. OFFSET SIDEWALK.  
 C. 1/2\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	DRG. 2425B
ISOMETRIC DRIVEPAD VIEW	JUNE 2019



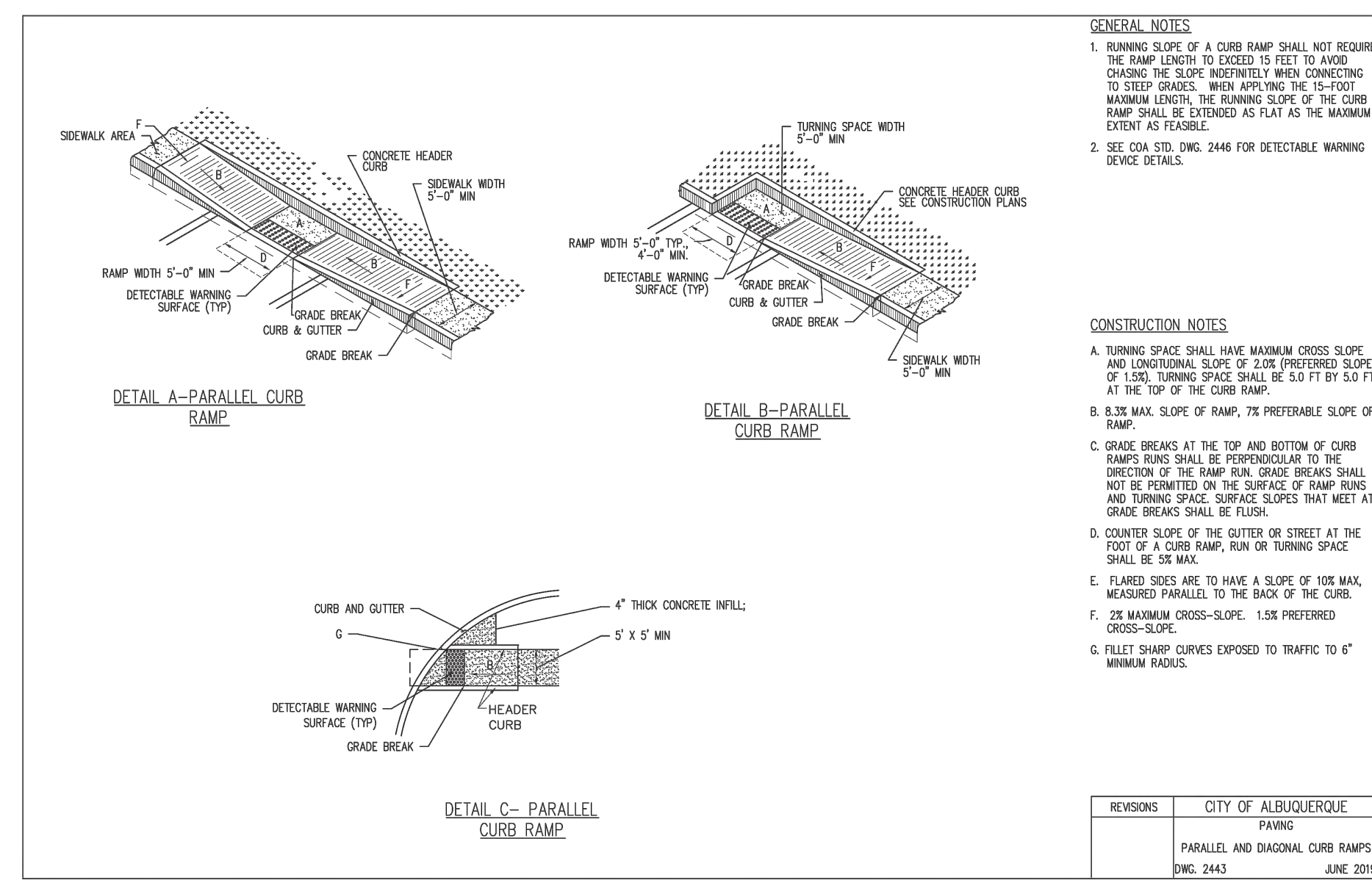
**GENERAL NOTES**  
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 2. SEE STD. DWG. 2441 TO 2445 FOR ALTERNATE CURB ACCESS RAMP DETAILS. SEE DETAIL 2446 FOR DETECTABLE WARNING DEVICES.  
**CONSTRUCTION NOTES**  
 A. WALKWAY GRATER POINT ELEVATIONS: SEE STD. DETAIL DWG. 2420. SEE LOCATION FOR QUARTER POINTS ON PLAN VIEW BELOW.  
 B. WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PROVIDED - CONSTRUCT CURB ACCESS RAMP PER STD. DETAIL DWG. 2440 - 2445.  
 C. INITIAL GRADE TO BE AS OR LESS WHEN CONNECTING TO COLLECTOR OR ARTERIAL STREETS, OR LESS WHEN CONNECTING TO LOCAL STREETS, IN ACCORDANCE WITH ADA ACCESSIBLE PATHWAY ACROSS DRIVEWAY INTO PRIVATE ENTRANCE.  
 D. INCLUDE ELEVATIONS AT EACH END OF CURB RETURN AND INTERSECTIONS OF PROJECTED FLOWLINES. SEE STD. DWG. 2420.  
 E. AT PROPERTY LINE, CONSTRUCT HEADER CURB. SEE STD. DWG. 2415 AND SECTION A-A, THIS SHEET.  
 F. SIDEWALK IS ADJACENT CURB. THE SIDEWALK SHOULD BE TRANSFERRED TO KEEP THE CURB ACCESS RAMP IN THE LOCATION SHOWN.  
 G. 1/2\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	DRG. 2426
PRIVATE ENTRANCE DETAILS - ILLUSTRATING TWO R/W CONDITIONS	JUNE 2019



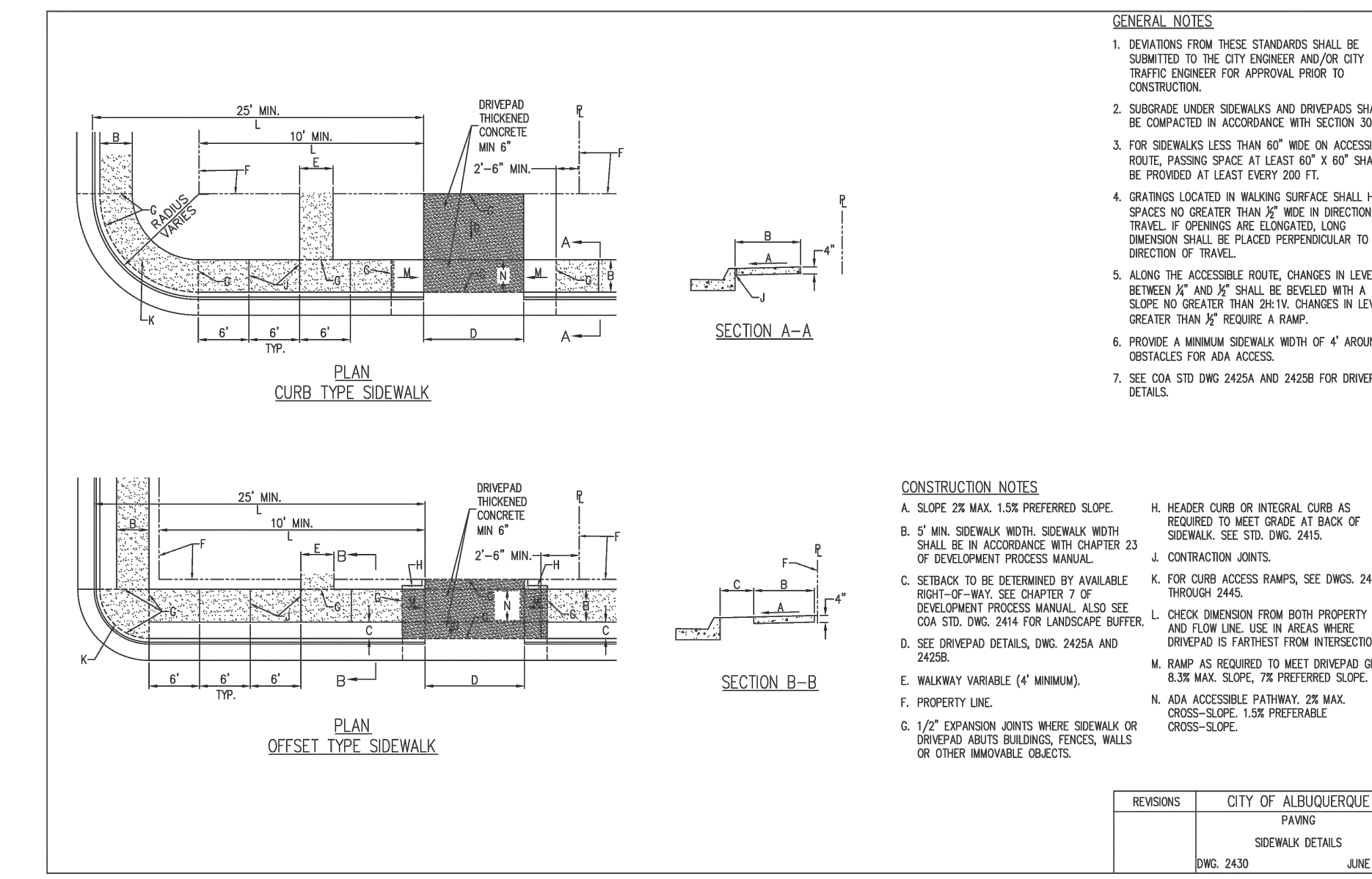
**GENERAL NOTES**  
 1. SEE CGA DRAWING 2415A.  
**CONSTRUCTION NOTES**  
 A. REG. CONC. CHANNEL LINING, OR CUT-OFF WALL, PROVIDE 1/4\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	DRG. 2415C
CURB AND GUTTER AND TEMPORARY PAVING SECTION	JUNE 2019



**GENERAL NOTES**  
 1. TURNING SPACE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHANGING THE SLOPE DIRECTIONALLY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM RAMP LENGTH, THE TURNING SPACE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.  
 2. SEE CGA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.  
**CONSTRUCTION NOTES**  
 A. TURNING SPACE SHALL HAVE MAXIMUM CROSS-SLOPE AND LONGITUDINAL SLOPE OF 1.5% PREFERRED SLOPE OF 1.5%. TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.  
 B. 8.3% MAX. SLOPE OF RAMP, 7% PREFERRED SLOPE OF RAMP.  
 C. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RINGS SHALL BE PERPENDICULAR TO THE DIRECTION OF RAMP. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RINGS AND TURNING SPACE. SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.  
 D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, FOR OR TURNING SPACE, SHALL BE 2% MAX.  
 E. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX. SLOPE.  
 F. 2% MAXIMUM CROSS-SLOPE, 1.5% PREFERRED CROSS-SLOPE.  
 G. FLLET SHARP CURVES EXPOSED TO TRAFFIC TO 6\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	DRG. 2443
PARALLEL AND DIAGONAL CURB RAMP	JUNE 2019



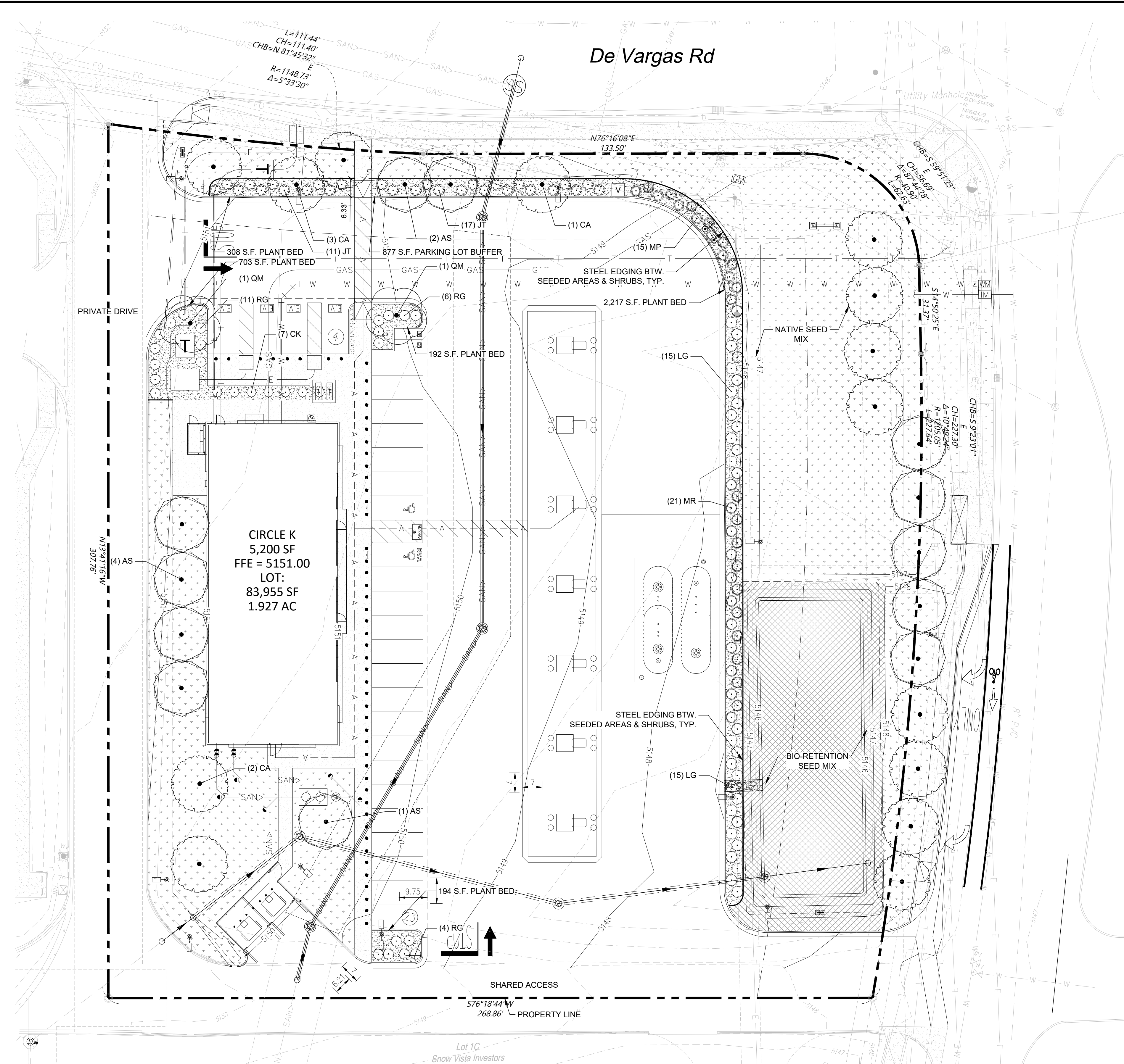
**GENERAL NOTES**  
 1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.  
 2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.  
 3. FOR SIDEWALKS LESS THAN 60\"/>

REVISIONS	CITY OF ALBUQUERQUE
PAVING	DRG. 2443
SIDEWALK DETAILS	JUNE 2019

CITY DETAILS

CIRCLE K, INC  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

PROJECT NO.	JM-DW25001
DRAWN BY:	ASR, JK, GFK
CHECKED BY:	KWF
ISSUE DATE:	03/23/2026
DATE	
DESCRIPTION	
REVISION	
DATE	



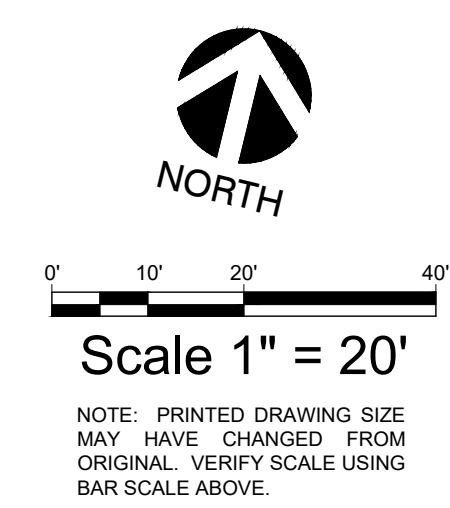
P:\SHARED\PROJECTS\CIRCLE K\CIRCLE K - ALBUQUERQUE NM - DE VARGAS & 98TH\CIRCLE K - DE VARGAS & 98TH.DWG 3/24/2026 2:02 PM JEFFREY LUERS

**LANDSCAPE CALCULATIONS**

JURISDICTION:	CITY OF ALBUQUERQUE, NM
ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
NET SITE AREA:	83,942 SF / 1.92 AC
LANDSCAPE AREA REQUIRED:	12,591.3 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	34,786 SF (41% OF SITE AREA)
TURF AREA PROVIDED:	0 SF
<b>STREET FRONTAGE LANDSCAPING</b>	
FRONTAGE LENGTH - DE VARGAS RD.:	297 LF
STREET TREES REQUIRED:	12 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	12 TREE*
*SOME TREES LOCATED IN ALTERNATIVE LOCATIONS DUE TO UTILITY CONFLICTS	
<b>FRONTAGE LENGTH - SNOW VISTA BLVD.:</b>	
FRONTAGE LENGTH - SNOW VISTA BLVD.:	313 LF
STREET TREES REQUIRED:	13 TREES (1 PER 25 LF OF FRONTAGE)
STREET TREES PROVIDED:	13 TREE*
*SOME TREES LOCATED IN ALTERNATIVE LOCATIONS DUE TO UTILITY CONFLICTS	
<b>PARKING LOT LANDSCAPING</b>	
TOTAL VEHICULAR USE AREA:	33,610 SF
SHARED ACCESS AREA:	3,756 SF
PARKING LOT AREA:	27,636 SF
LANDSCAPE AREA REQUIRED:	2,764 SF (10% OF PARKING AREA)
LANDSCAPE AREA PROVIDED:	2,764 SF (10% OF PARKING AREA)
PERIMETER SCREENING:	PROVIDED
<b>TOTAL PARKING SPACES:</b>	
TOTAL PARKING SPACES:	26 SPACES
TREES REQUIRED:	3 TREE (1 TREE PER 10 SPACES)
TREES PROVIDED:	3 TREES*
*SOME TREES LOCATED IN ALTERNATIVE LOCATIONS DUE TO UTILITY CONFLICTS	
<b>TOTAL LANDSCAPE AREA:</b>	
TOTAL LANDSCAPE AREA:	34,786 SF
MINIMUM REQUIRED COVERAGE:	26,090 SF (75% OF LANDSCAPE AREA)
COVERAGE PROVIDED OVERALL:	32,739 SF (94%)
PROVIDED GROUND LEVEL COVERAGE:	32,739 SF (94%)

**PLANT SCHEDULE**

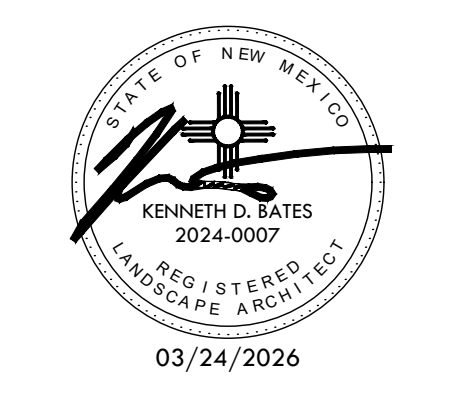
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	
<b>TREES</b>						
	AS	Acer negundo 'Sensation' / Sensation Box Elder	2" Cal.	Cont. or B&B	12	
	CA	Chilopsis linearis 'Art's Seedless' / Art's Seedless Desert Willow	2" Cal.	Cont. or B&B	14	
	QM	Quercus muehlenbergii / Chinkapin Oak	2" Cal.	Cont. or B&B	2	
<b>SHRUBS</b>						
	CK	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	3 gal.	Cont.	7	
	JT	Juniperus chinensis 'Monlep' / Mint Julep® Chinese Juniper	5 gal.	Cont.	28	
	LG	Leucophyllum frutescens 'Green Cloud' / Green Cloud Texas Sage	5 gal.	Cont.	30	
	RG	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	1 gal.	Cont.	23	
<b>GRASSES</b>						
	MR	Muhlenbergia rigens / Deer Grass	3 gal.	Cont.	21	
	MP	Muhlenbergia rigida / Purple Muhly	3 gal.	Cont.	15	
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING	QTY
<b>GROUND COVERS</b>						
	LA	Bio-Retention Seed Mix Bouteloua gracilis 'Hachita' - 2 pls per 1 ac. Artemisia frigida - 25 pls per 1 ac. Sphaeralcea parvifolia - 25 pls per 1 ac. Oenothera pallida - 25 pls per 1 ac. Baileya multiradiata - 25 pls per 1 ac. Berlandiera lyrata - 25 pls per 1 ac.	seed			8,629 sf
	NM	Earthwise Seed Company / Southwest Native Meadowscape Mix Alter	seed			22,564 sf
<b>ROCK / STONE</b>						
	DR	Buildology Brown Fine 3" Compacted Rock Mulch over weed barrier/landscape fabric.				2,308 sf



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



1101 Central Expressway South  
Suite 215  
Allen, TX 75013  
Ph. 214-491-1830  
John Measels, PE  
CIVIL ENGINEER



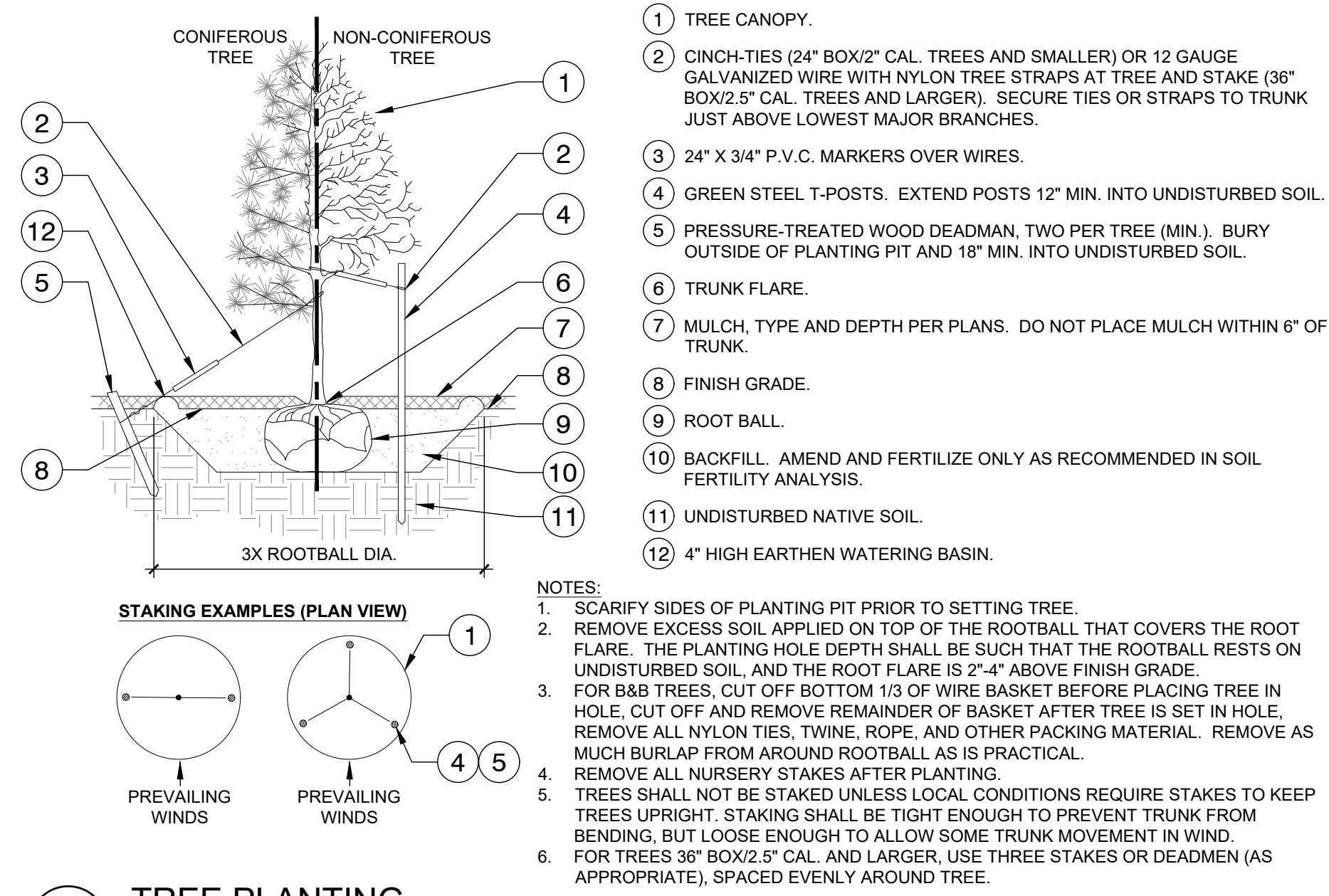
**LANDSCAPE PLANTING PLAN**  
CIRCLE K, INC  
5100 DE VARGAS RD AND SNOW VISTA BLVD  
ALBUQUERQUE, NEW MEXICO

REV	DATE	DESCRIPTION
1	05/07/25	SCHEMATIC, SUBMITTAL
2	05/09/25	ADD, SEWER, RE-ROUTE

PROJECT NO: JM-DWG25001  
DRAWN BY: JML  
CHECKED BY: KB  
ISSUE DATE: 03/24/2026

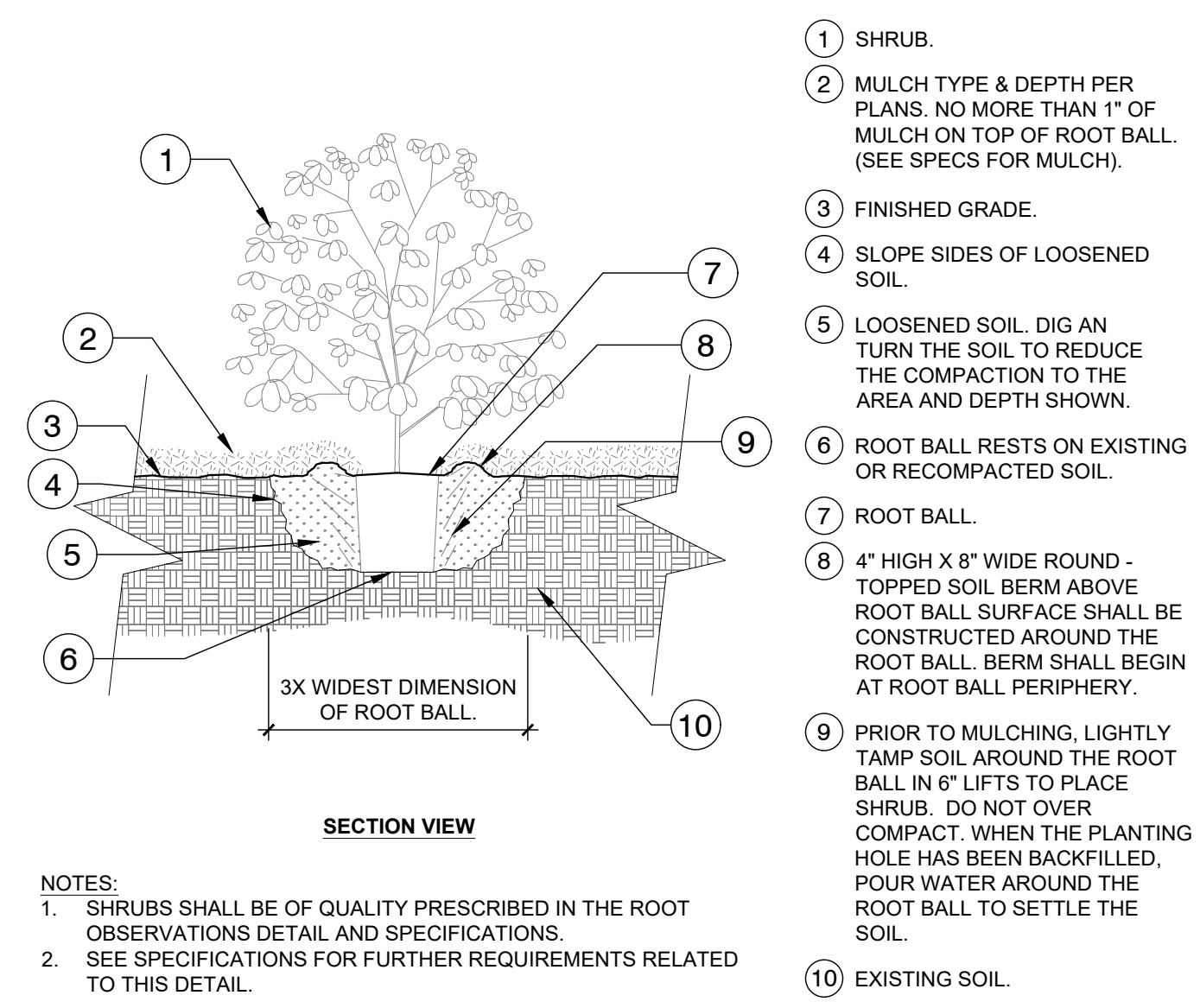


P:\SHARED\PROJECTS\2025\CIRCLE K\CIRCLE K - ALBUQUERQUE NM - DE VARGAS & 98TH.DWG 3/24/2026 2:02 PM JEFFREY LUERS



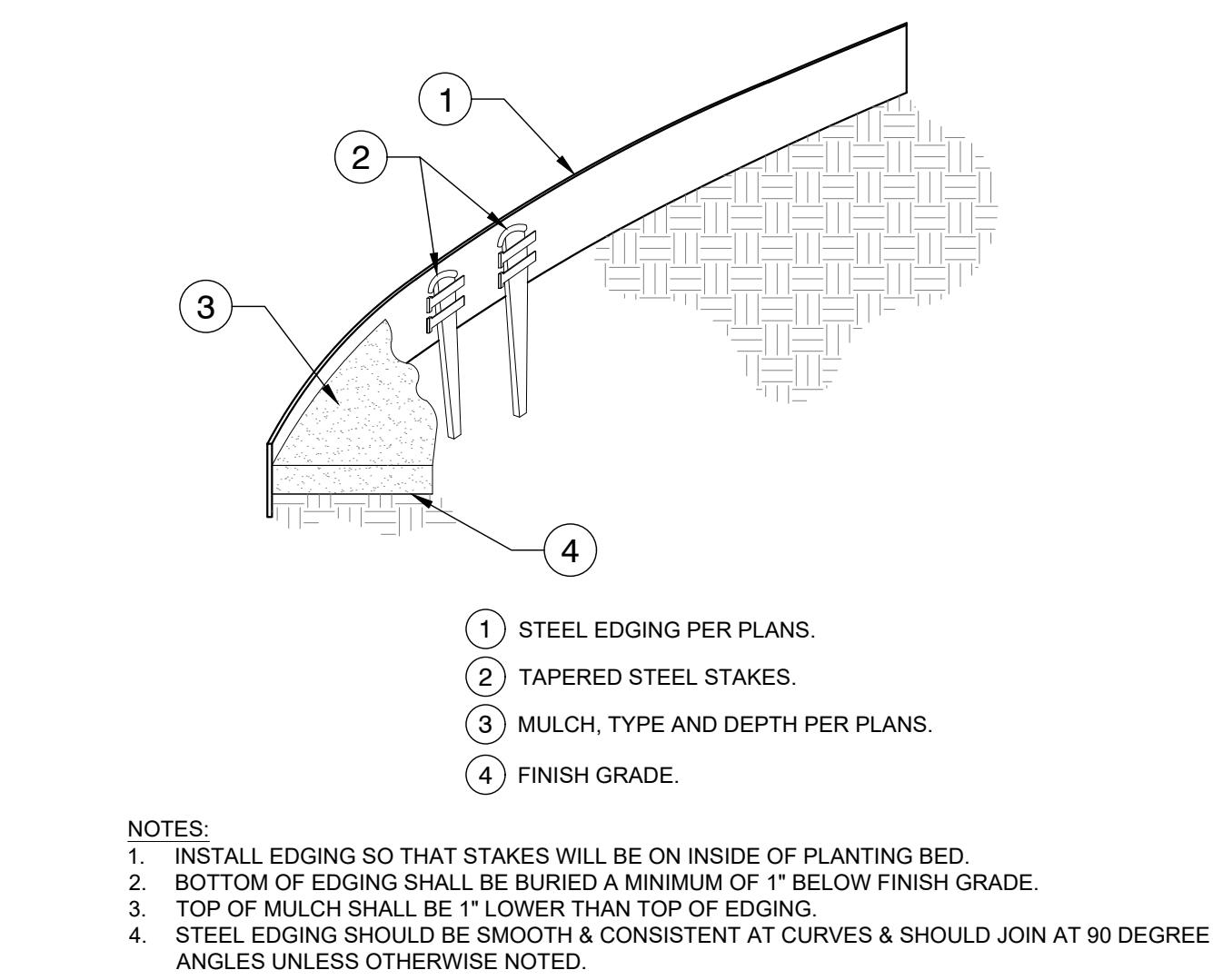
**A TREE PLANTING**  
NTS

000-PL-06



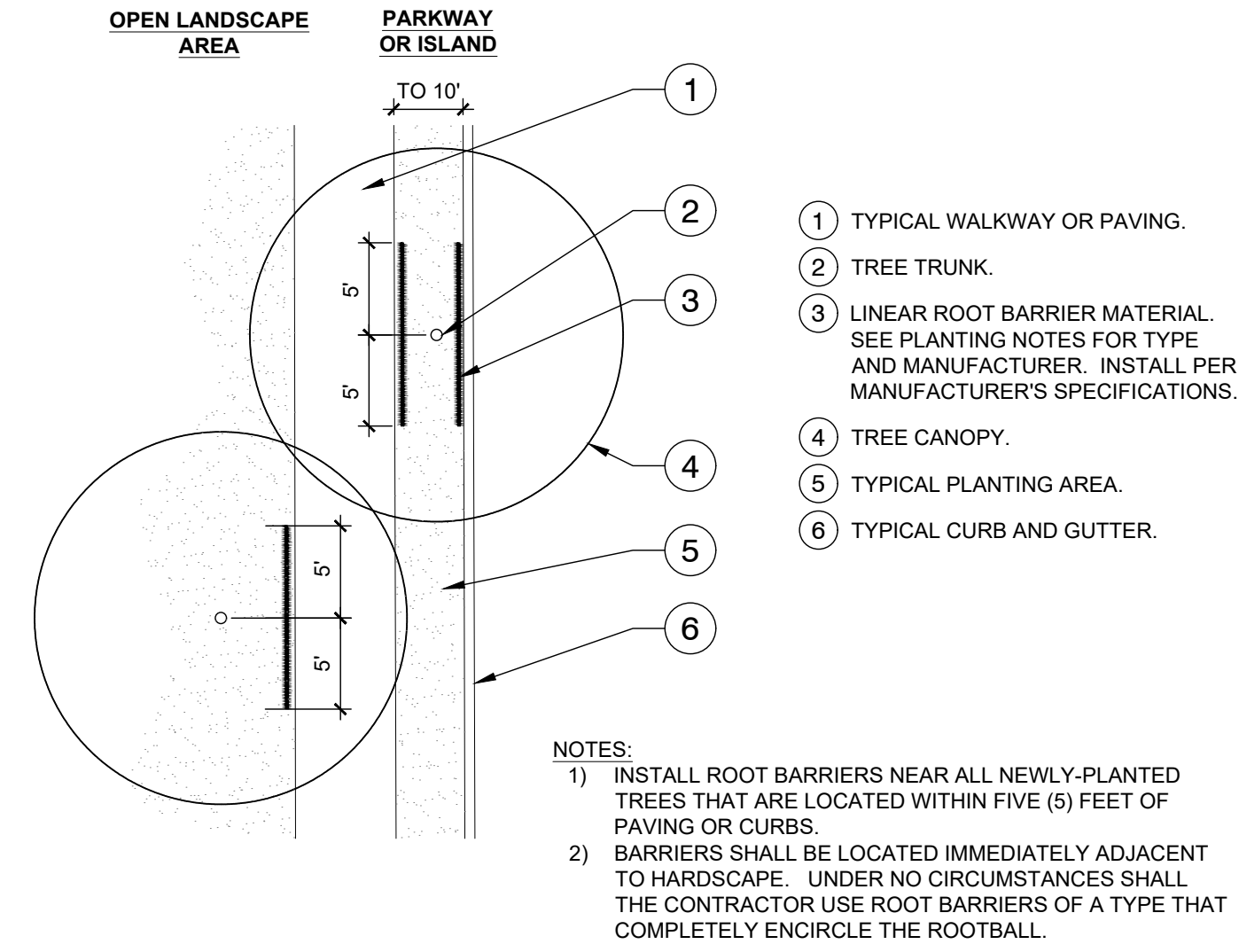
**B SHRUB PLANTING**  
NTS

000-PL-02



**C STEEL EDGING**  
NTS

000-ED-12



**D ROOT BARRIER - PLAN VIEW**  
NTS

000-PL-02

REV	DATE	DESCRIPTION	NAME
05/07/25		SCHEDULE SUBMITTAL	ASB
05/09/25		ADD SENIOR RE-ROUTE	ASB

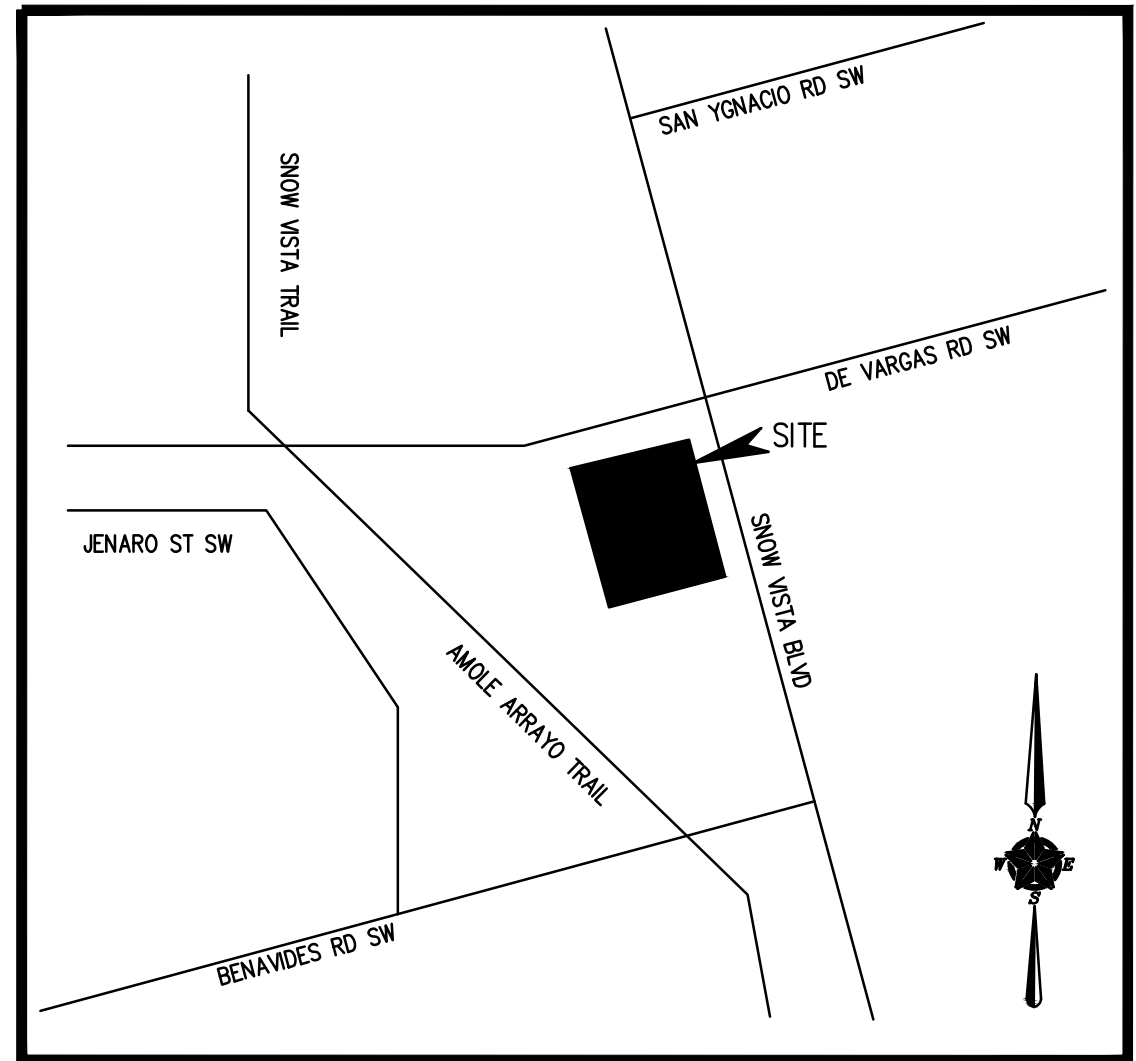
PROJECT NO: JM-DW25001  
DRAWN BY: JML  
CHECKED BY: KB  
ISSUE DATE: 03/24/2026

**CAUTION NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**FLOODNOTE**  
 BASED UPON SCALING THIS PROPERTY LIES WITHIN FLOOD ZONE "X" WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY FEMA AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H AS PER ALTA SURVEY

**BENCHMARKS**  
 ACS MONUMENT 2-L7 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'

SITE DATA TABLE		
LOCATION:	SNOW VISTA BLVD DE VARGAS RD SW ALBUQUERQUE, NM 87121	
LOT AREA:	1.9274 AC. (83,955 S.F.)	
ZONING:	ZONING - NRC	
CURRENT USE:	VACANT	
PROPOSED USE:	C STORE W FUEL DISPENSING	
<b>BUILDING DATA:</b>		
BUILDING AREA:	5,200 S.F.	
BUILDING HEIGHT:	38' (1 STORY)	
BUILDING COVERAGE:	6.19%	
F.A.R.:	16:1	
<b>PARKING SUMMARY:</b>		
1 SP PER 200 SF (5,200 SF)	REQUIRED	PROVIDED
PARKING SPACES	25	25
ACCESSIBLE SPACES	1	2
TOTAL SPACES	26	27
MOTORCYCLE	2	2
BICYCLE	3	3



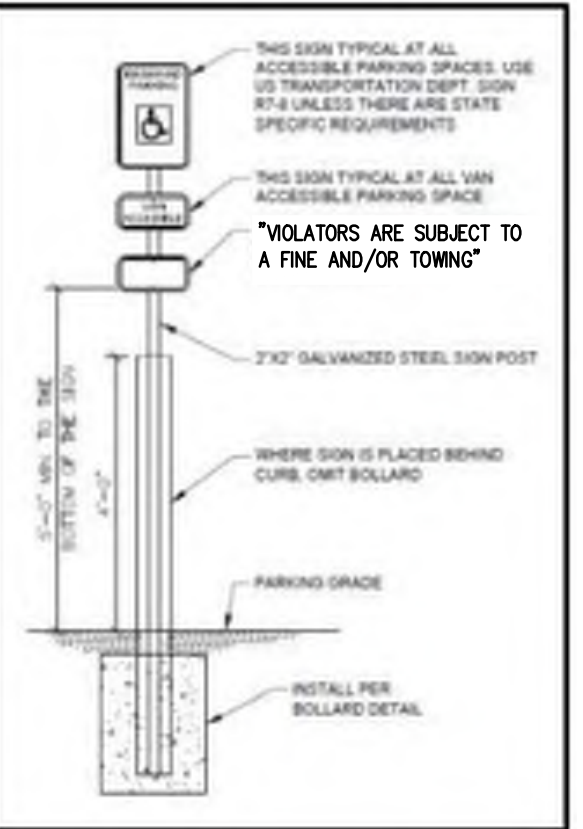
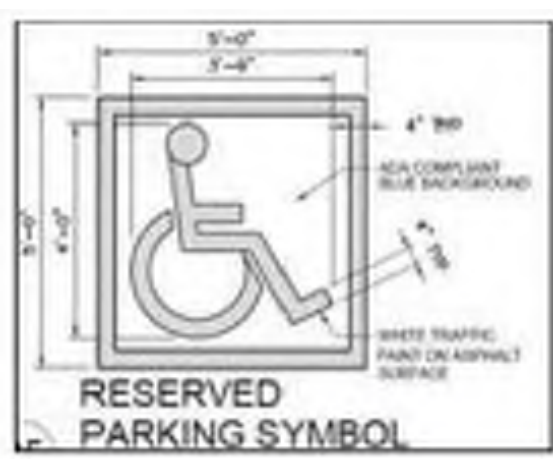
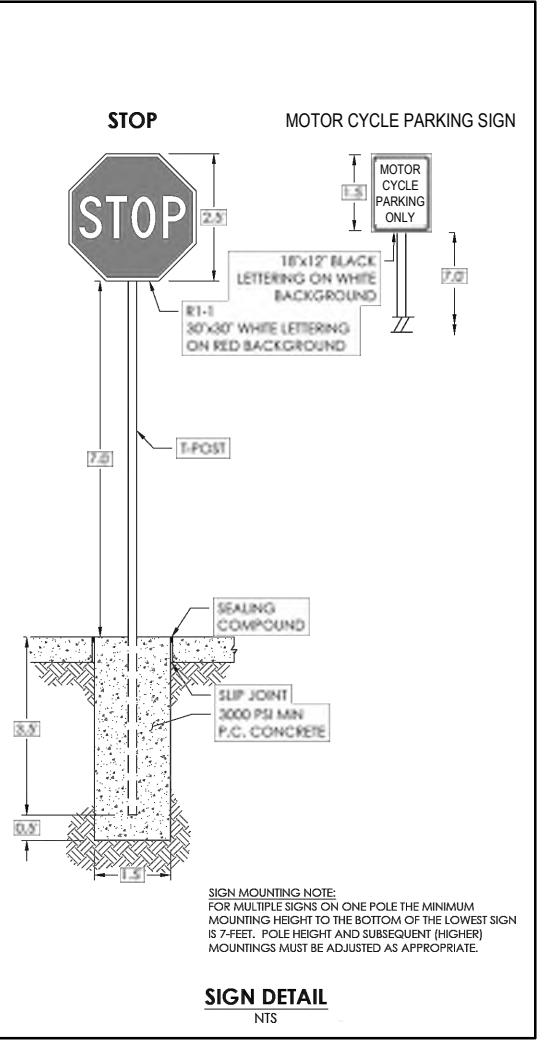
**LOCATION MAP**  
 ZONE ATLAS MAP NO. M-9-Z  
 NOT TO SCALE

- NOTES:**
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
  - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT. THEREFORE, SIGNS WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

**JM CIVIL**  
 1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measles, PE  
 CIVIL ENGINEER

JOHN THOMAS MEASLES  
 NEW MEXICO  
 1988  
 Professional Engineer  
 J. Measles

03/05/2026



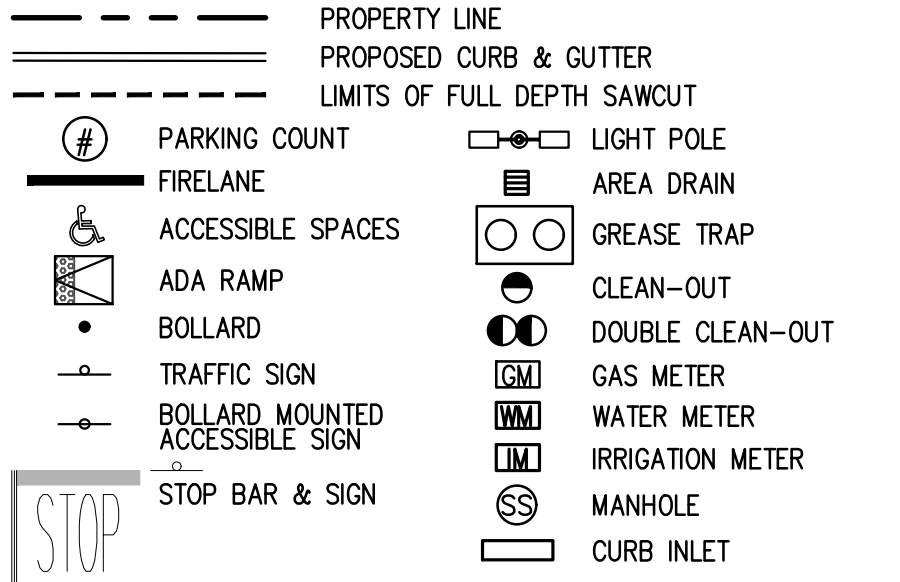
**TRAFFIC CIRCULATION LAYOUT APPROVED**  
 Ernest Armijo 3/20/2026  
 Signed Date



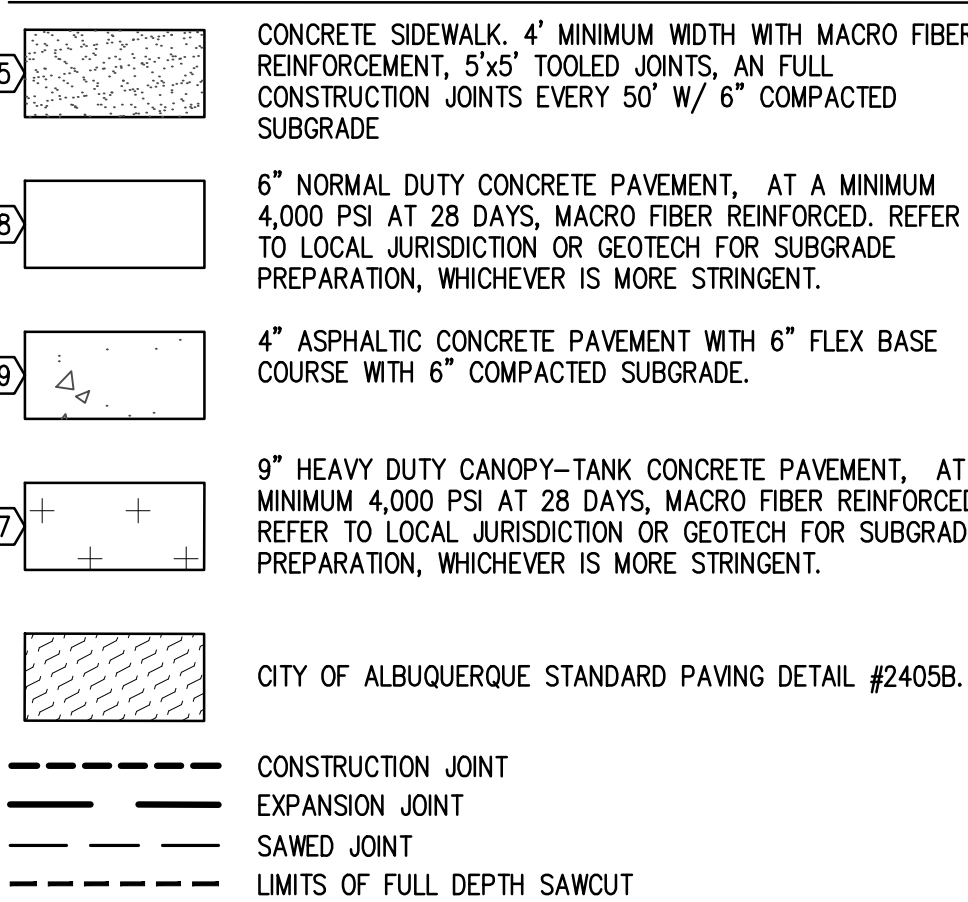
**SITE KEY NOTES:**

- CONCRETE CURB AND GUTTER. (CITY DETAIL #2415A & #2415B)
- TAPER CURB TO MATCH EXISTING.
- MATCH EXISTING PAVEMENT ELEVATION.
- LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- EXISTING PAVEMENT TO REMAIN.
- CONCRETE SIDEWALK. 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE. (CITY DETAIL #2430)
- SIDEWALK RAMP @ 8.33% MAX. (CITY DETAIL #2443)
- EXISTING FIRE HYDRANT.
- STOP BAR. (PER LOCAL CODES)
- DIRECTIONAL TRAFFIC ARROW. (PER LOCAL CODES)
- PARKING STALL STRIPING. (PER LOCAL CODES)
- 4" WIDE PAINTED STRIPES, 2" OFF CENTER @ 45'. (ALL HANDICAPPED PAINT SHALL BE BLUE)
- PEDESTRIAN/ACCESSIBLE CROSSWALK STRIPING.
- ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- BOLLARD.
- PROPOSED LIGHT POLE.
- MONUMENT/PYLON SIGN. (PER ARCH. PLANS)
- REFUSE/SOLID WASTE. (DETAIL PER ARCH. PLANS)
- FUEL STORAGE TANKS (PER M.E.P. PLANS)
- FUEL TANK VENTS (PER M.E.P. PLANS)
- PROPOSED PAD MOUNTED TRANSFORMER.
- "STOP" SIGN.
- LANDSCAPE AREA. (PER LANDSCAPE PLAN)
- EV PARKING STALLS.
- EV CHARGING EQUIPMENT.
- EV POWER BANK/GENERATOR.
- AIR/VAC. UNIT
- DIRECTIONAL SIGN FOR DRIVE THRU.
- STORAGE UNIT. (PER ARCH. PLANS)
- DETENTION BASIN.
- INLET. (SEE PLAN FOR SIZE)
- FLEXIBLE CITY PAVEMENT PER DETAIL #2405B
- BICYCLE PARKING. (PER ARCH. PLANS)
- MOTORCYCLE PARKING & "MC" STRIPING.
- MOTORCYCLE PARKING SIGN PER COA ZONING CODE.
- "NO PARKING" STRIPING.

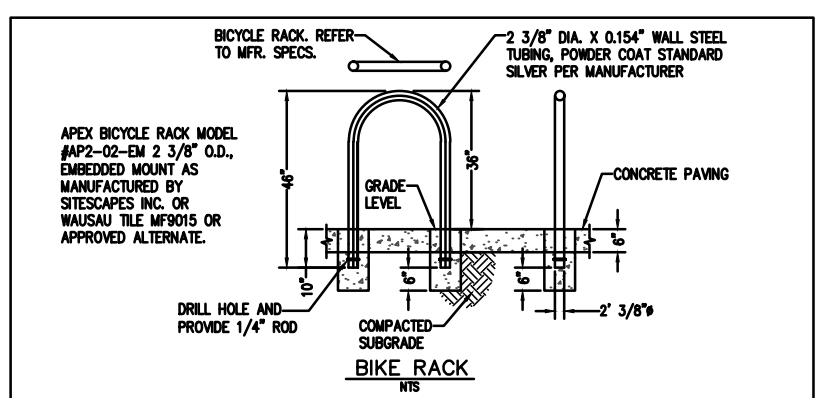
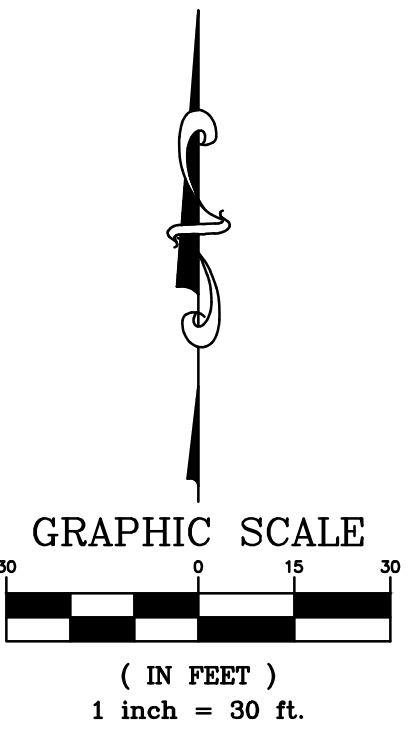
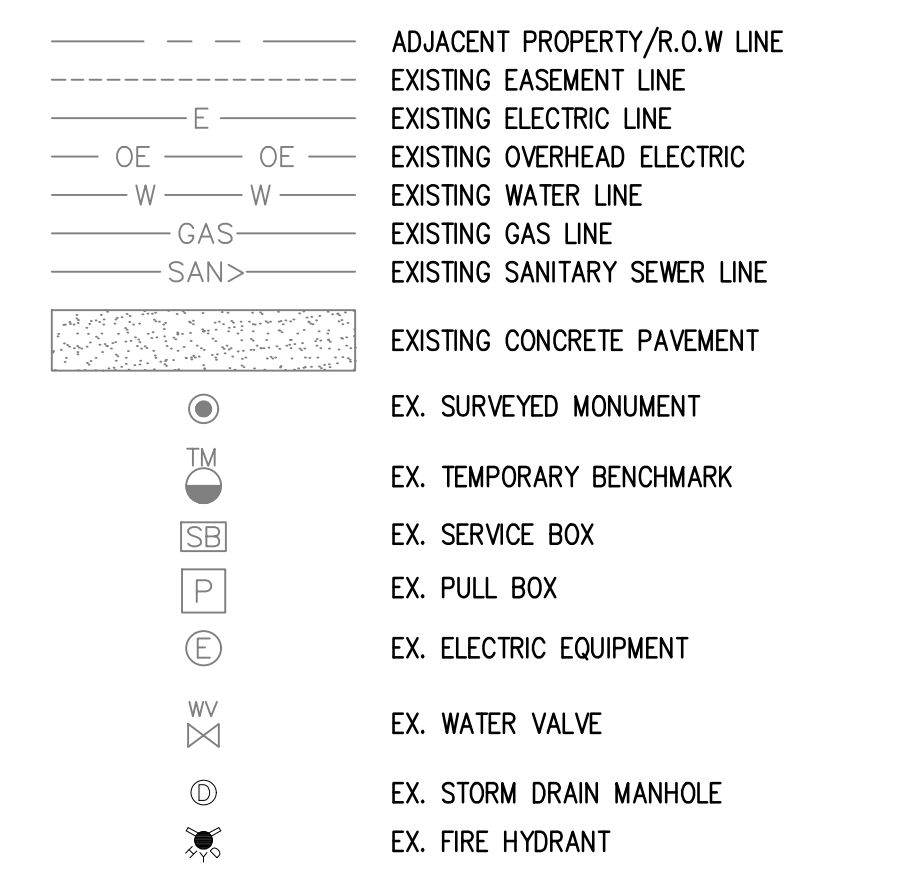
**SITE LEGEND:**



**PROPOSED PAVING LEGEND:**



**EXISTING LEGEND:**



**TRAFFIC CIRCULATION LAYOUT (TCL)**  
 CIRCLE K, INC  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD.  
 ALBUQUERQUE, NEW MEXICO 87121

NO.	DATE	DESCRIPTION
1	11/17/23	INITIAL SUBMITTAL
2	12/18/23	2ND SUBMITTAL

PROJECT NO.	DRAWN BY	CHECKED BY	DATE
JM-DW25001	ASR, JK, GFK	KWF	03/09/2026

PROJECT NO.	ISSUE DATE
C 800	03/09/2026

J:\CIRCLE K\DW25001 98TH DE VARGAS RD - ALBUQUERQUE, NM\CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24X36 MASTER.DWG 3/9/2026 2:20 PM JOSEPH KIFFE



**ALBUQUERQUE FIRE MARSHAL'S**  
**DIVISION OFFICE PLANS**  
**CHECKING DIVISION**  
**PERMIT**  
PERMIT NUMBER: 25-10065.1  
**APPROVED DATE: 11/17/2025**  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
**FIRE FLOW: 2000 GPM, 2 HYDRANTS**

### SITE DATA TABLE

LOCATION:	SNOW VISTA BLVD DE VARGAS RD SW ALBUQUERQUE, NM 87121	
LOT AREA:	1.9274 AC. (83,955 S.F.)	
ZONING:	ZONING - NRC	
CURRENT USE:	VACANT	
PROPOSED USE:	C STORE W FUEL DISPENSING	
<b>BUILDING DATA:</b>		
BUILDING AREA	5,200 S.F.	
BUILDING HEIGHT	38' (1 STORY)	
BUILDING COVERAGE	6.19%	
F.A.R.	16:1	
<b>PARKING SUMMARY:</b>		
1 SP PER 200 SF (5,200 SF)	REQUIRED	PROVIDED
	25	25
ACCESSIBLE SPACES	1	1
TOTAL SPACES	26	26

**EXISTING LEGEND:**

- PROPERTY LINE
- EXISTING CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- EXISTING WATER LINE
- EXISTING STORM LINE
- EXISTING FIBER OPTIC CABLE LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING TREE LINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINES
- EXISTING FENCE LINE
- EXISTING IRON PIN FOUND, AS NOTED
- EXISTING IRON PIN SET
- EXISTING BOLLARD
- EXISTING SIGN, AS NOTED
- EXISTING SEWER CLEAN OUT
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING WATER SPIGOT
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING GATE POST
- EXISTING IRRIGATION VALVE
- EXISTING TELEPHONE BOX
- EXISTING CURB INLET
- EXISTING STORM MANHOLE
- EXISTING TRAFFIC SIGNAL

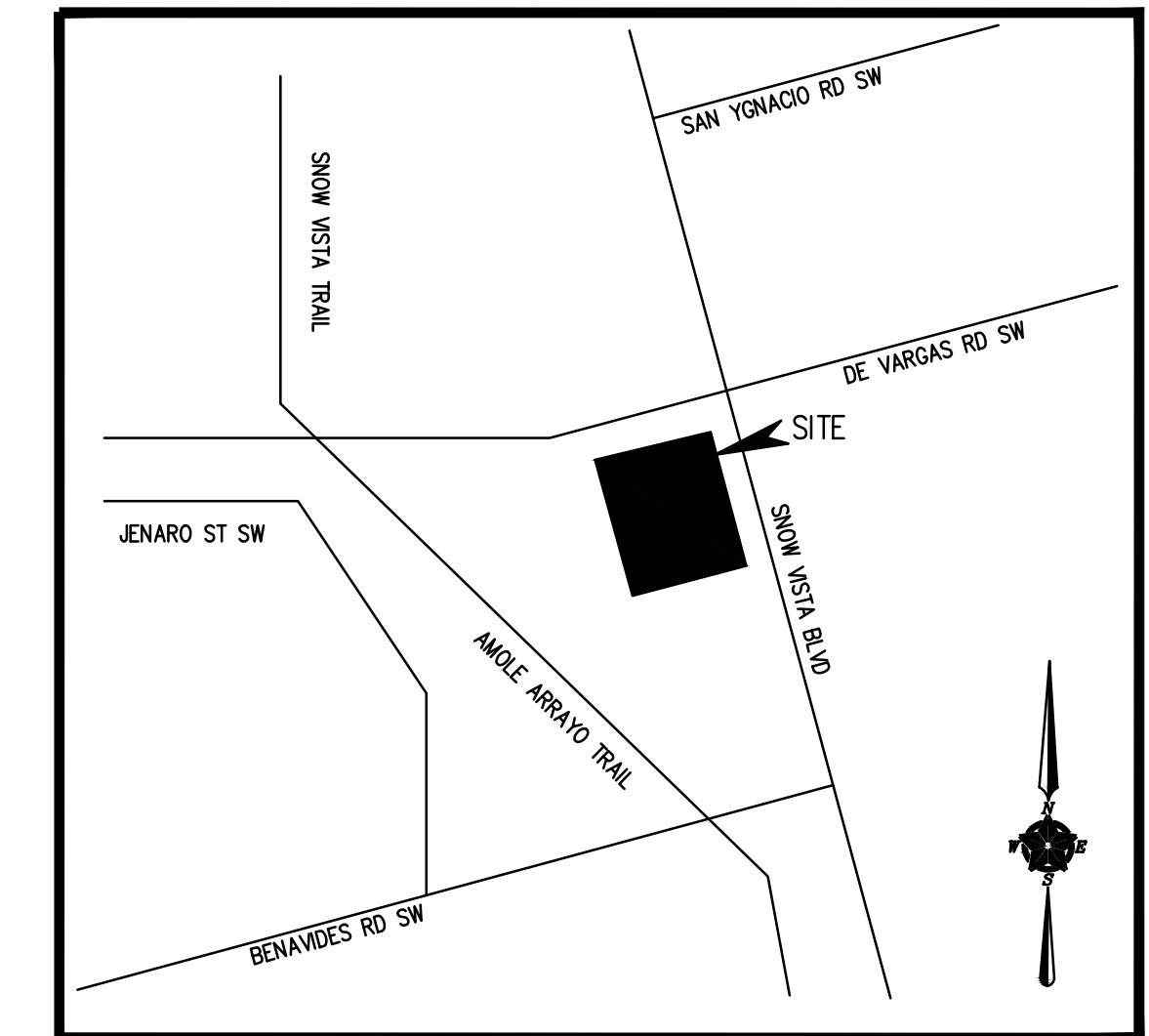
**CODE AND LIFE SAFETY DATA**

**PROJECT INFORMATION**

Project Name: CIRCLE K FUELING STATION  
Project Description: Ground Up Construction, including Site Work of Single Story, fuel dispensing, storage tanks, parking, and infrastructure.  
Project Address: DE VARGAS RD  
Proposed Use/ Occupancy: Albuquerque, NM 87121 (M) Mercantile

**APPLICABLE CODES**

- BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE
- PLUMBING CODE: 2015 UNIFORM PLUMBING CODE W/ NEW MEXICO AND CITY AMENDMENTS
- ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE W/ NEW MEXICO AND CITY AMENDMENTS
- ENERGY CODE: 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- MECHANICAL CODE: 2015 UNIFORM MECHANICAL CODE W/ NEW MEXICO AND CITY AMENDMENTS
- FIRE CODE: 2015 INTERNATIONAL FIRE CODE
- ACCESSIBILITY STANDARD: ICC/ANSI A117.1-2009 ACCESSIBILITY
- OTHER CODE: 2012 INTERNATIONAL FUEL GAS CODE, 2015 NEW MEXICO COMMERCIAL BUILDING CODE



LOCATION MAP  
ZONE ATLAS MAP NO. M-9-Z  
NOT TO SCALE

**SITE LEGEND:**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- PARKING COUNT
- LIGHT POLE
- FIRELANE
- AREA DRAIN
- ACCESSIBLE SPACES
- GREASE TRAP
- ADA RAMP
- CLEAN-OUT
- BOLLARD
- DOUBLE CLEAN-OUT
- TRAFFIC SIGN
- GAS METER
- BOLLARD MOUNTED ACCESSIBLE SIGN
- WATER METER
- STOP BAR & SIGN
- IRRIGATION METER
- MANHOLE
- CURB INLET

**PROPOSED PAVING LEGEND:**

- CONCRETE SIDEWALK, 4' MINIMUM WIDTH WITH FIBER REINFORCEMENT, 5"x5" TOOLED JOINTS, AN FULL CONSTRUCTION JOINTS EVERY 50'.
- 6" LIGHT DUTY CONCRETE PAVEMENT, AT A MINIMUM 4,000 PSI AT 28 DAYS. #3 BARS @ 18" ON CENTER EACH WAY. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- 4" HEAVY DUTY ASPHALT. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- 9" HEAVY DUTY CANOPY-TANK CONCRETE PAVEMENT, AT A MINIMUM 4,000 PSI AT 28 DAYS. #4 BARS @ 16" ON CENTER EACH WAY. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- CITY OF ALBUQUERQUE STANDARD PAVING DETAIL #2405B.
- CONSTRUCTION JOINT
- EXPANSION JOINT
- SAWED JOINT
- LIMITS OF FULL DEPTH SAWCUT

**SITE KEY NOTES:**

- CONCRETE CURB AND GUTTER. (PER LOCAL CODES)
- CONCRETE CURB W/NO GUTTER. (SEE DTL #X ON SHT C-700)
- TAPER CURB TO MATCH EXISTING.
- MATCH EXISTING PAVEMENT ELEVATION.
- LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- EXISTING PAVEMENT TO REMAIN.
- CONCRETE SIDEWALK, 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE (PER LOCAL CODES).
- SIDEWALK RAMP @ 8.33% MAX. (PER LOCAL CODES)
- EXISTING FIRE HYDRANT.
- PARKING STALL STRIPING. (PER LOCAL CODES)
- 4" WIDE PAINTED STRIPES, 2' OFF CENTER @ 45'.
- PEDESTRIAN/ACCESSIBLE CROSSWALK STRIPING.
- ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- BOLLARD.
- DUMPSTER ENCLOSURE. (PER ARCH. PLANS)
- EXISTING CONCRETE DRIVEPAD
- "THANK YOU" AND "DO NOT ENTER" SIGN.
- LANDSCAPE AREA. (PER LANDSCAPE PLAN)
- INLET. (SEE GRADING PLAN)
- STORM MANHOLE. (SEE GRADING PLAN)
- STOP BAR PER LOCAL CODES.
- CITY PAVEMENT PER DETAIL #2405B

**BASIC BUILDING DATA**

Construction Type:  I-A  II-A  III-A  IV  V-A  
 I-B  II-B  III-B  V-B

Sprinklers: (Chapter 9)  No  Partial  Yes  NFPA 13  NFPA 13R  NFPA 13D  
 Non-Sprinklered

Standpipes: (Section 905)  No  Yes  
 Building Height: (Stories) 28-7' 1 STORY (2 STORY ALLOWED PER 503)

Occupancies: (M) Mercantile

**Gross Building Area:**

FLOOR	EXISTING (SF)	NEW (SQ.FT)	ALLOWABLE (506.2)
LEVEL 01		5,200	9,000

**EXIT REQUIREMENTS**

NUMBER AND ARRANGEMENT OF EXITS

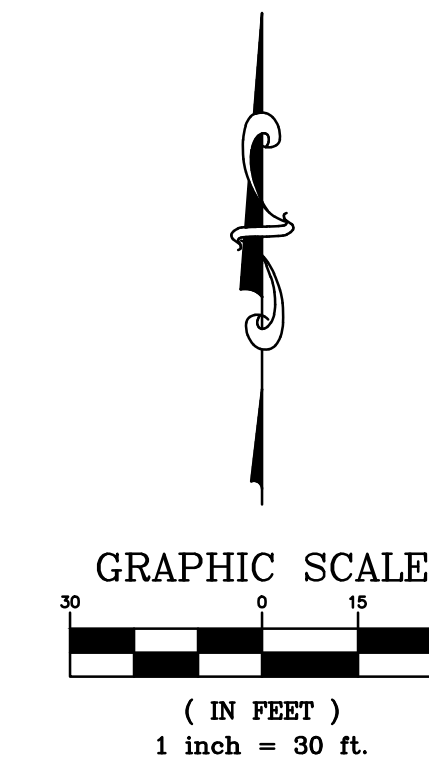
FLOOR, ROOM, OR SPACE DESIGNATION	MINIMUM NUMBER OF EXITS		TRAVEL DISTANCE	ARRANGEMENT MEANS OF EGRESS
	REQUIRED	SHOWN ON PLANS		
LEVEL 01	1	1	100'-0" MAX	30'-0"

OCCUPANT LOAD AND EXIT WIDTH

USE GROUP OR SPACE DESCRIPTION	AREA		CALCULATED OCCUPANT LOAD (a/b)	EGRESS WIDTH PER OCCUPANT		Exit Width (in)	
	(a)	(b)		STAIR	LEVEL	STAIR	LEVEL
LEVEL 01	--	--	14	0.3"	0.2"	N/A	2.8", N/A, 36"

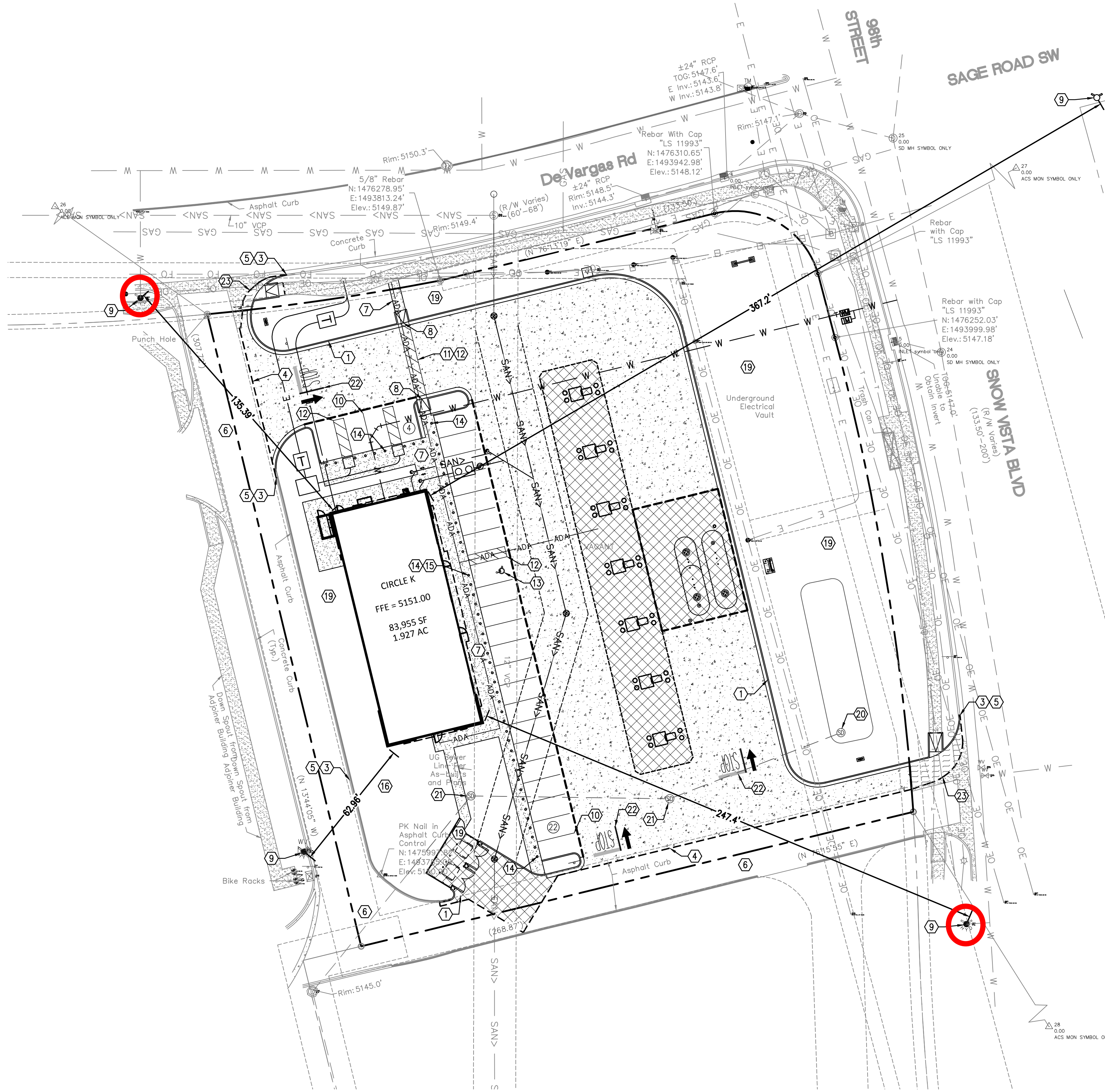
BUILDING ELEMENT	REQUIRED RATING
PRIMARY STRUCTURAL FRAME:	
BEARING WALLS	
EXTERIOR:	0 HRS
INTERIOR:	0 HRS
NONBEARING WALLS & PARTITIONS	
EXTERIOR:	0 HRS
INTERIOR:	0 HRS
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	
EXTERIOR:	0 HRS
INTERIOR:	0 HRS
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBER	0 HRS

REFER TO OCCUPANCY, EGRESS AND PLUMBING CALCULATIONS ON THIS SHEET FOR ADDITIONAL INFORMATION

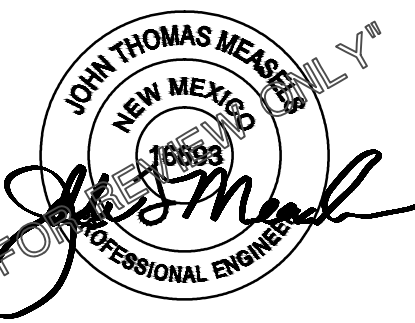


**FIRE 1 CHECKLIST NOTES:**

- FIRE 1 CHECKLIST ITEM 2: CONSTRUCTION TYPE V-B, 5200 SF BUILDING AREA
- FIRE 1 CHECKLIST ITEM 6: THERE WILL BE NO NEW FIRE HYDRANT INSTALLED ON SITE.
- FIRE 1 CHECKLIST ITEM 21, 22 & 23: THERE ARE NO FIRE LANES ON SITE DUE TO THE VICINITY TO OF THE SITE BUILDING TO THE EXISTING PUBLIC ROAD.
- FIRE 1 CHECKLIST ITEM 26: BUILDING WILL BE NONSPRINKLERED.
- FIRE 1 CHECKLIST ITEM 32: BUILDING IDENTIFICATION WILL BE PLACED ON THE BUILDING TO BE LEGIBLE AND VISIBLE FROM BOTH DE VARGAS RD & SNOW VISTA BLVD.



1101 Central Expressway South  
Suite 215  
Allen, TX 75013  
Ph. 214-491-1830  
John Measles, PE  
CIVIL ENGINEER



11/12/2025

**FIRE 1 SITE PLAN**

CIRCLE K, INC  
LOT 1A, SNOW VISTA INVESTORS  
9800 DE VARGAS RD.  
ALBUQUERQUE, NEW MEXICO 87121

REV	DATE	DESCRIPTION	INITIAL	SUBMITTAL
	11/17/25			

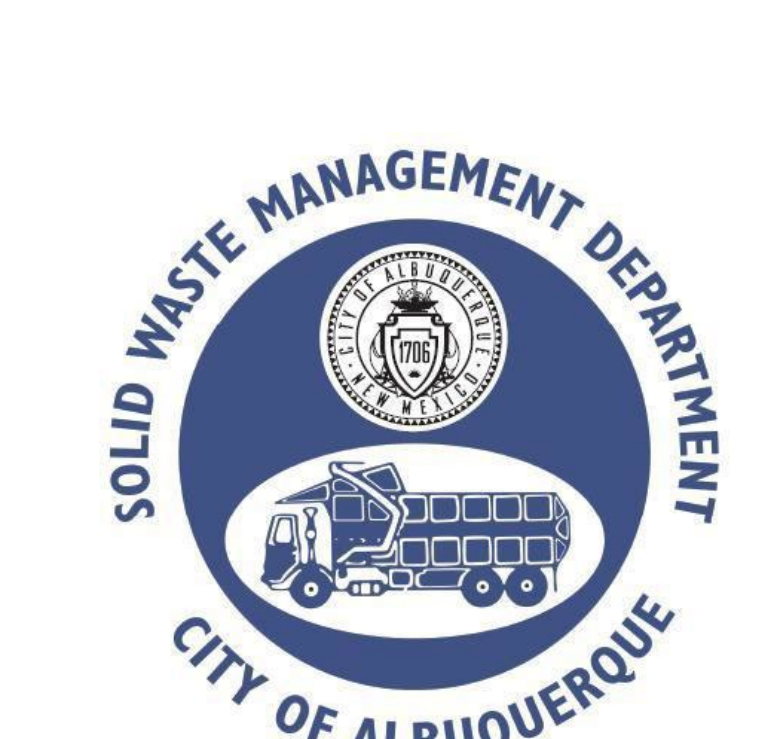
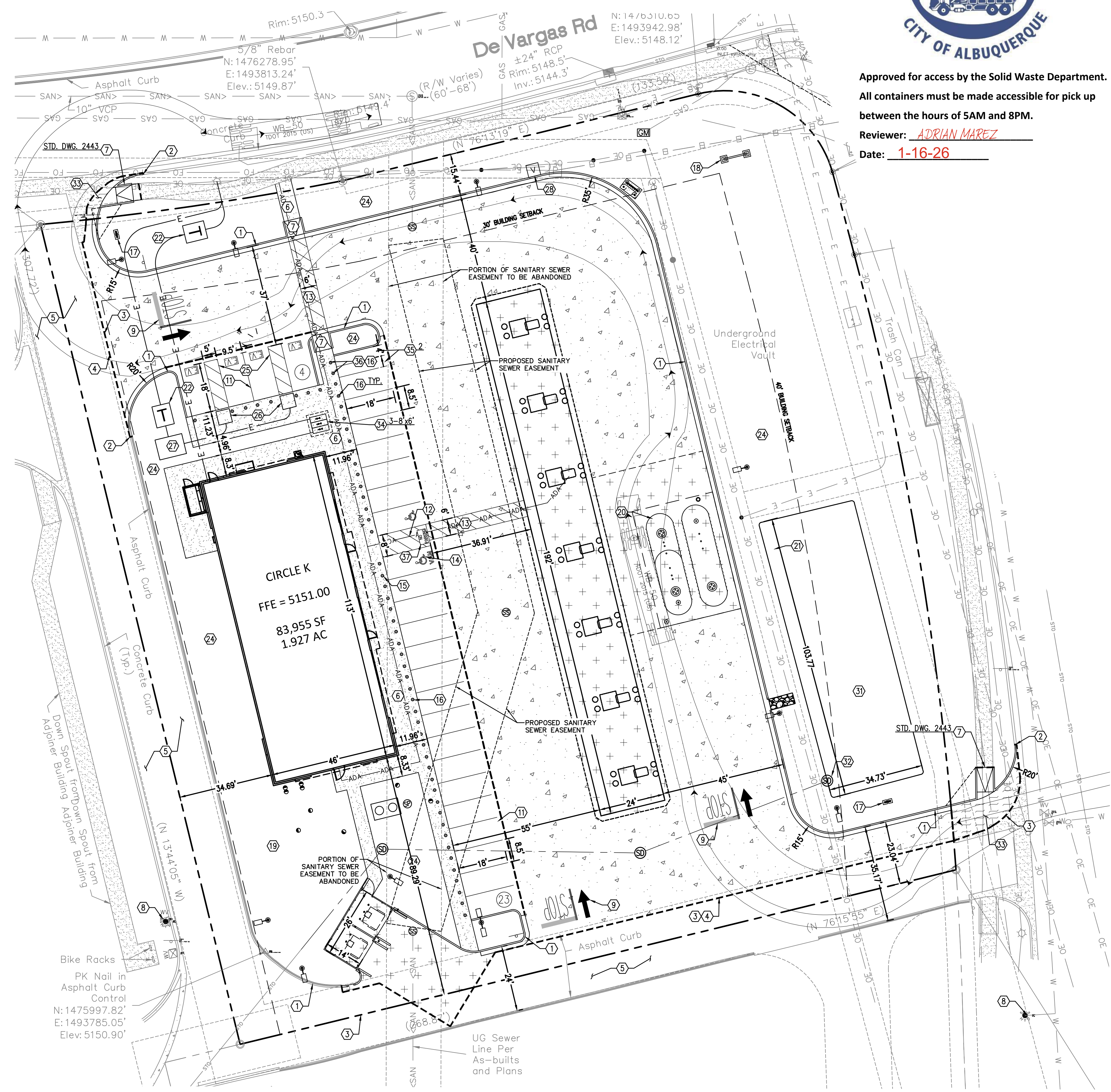


**FIRE 1**

J:\CIRCLE K\DM25001\98TH DE VARGAS RD - ALBUQUERQUE, NM\CURRENT DRAWINGS\JM-DM25001 - 98TH & DE VARGAS, ALBUQUERQUE, NM - 24X36 MASTER.DWG 11/14/2025 9:16 AM GAVIN KLEINEBECKER

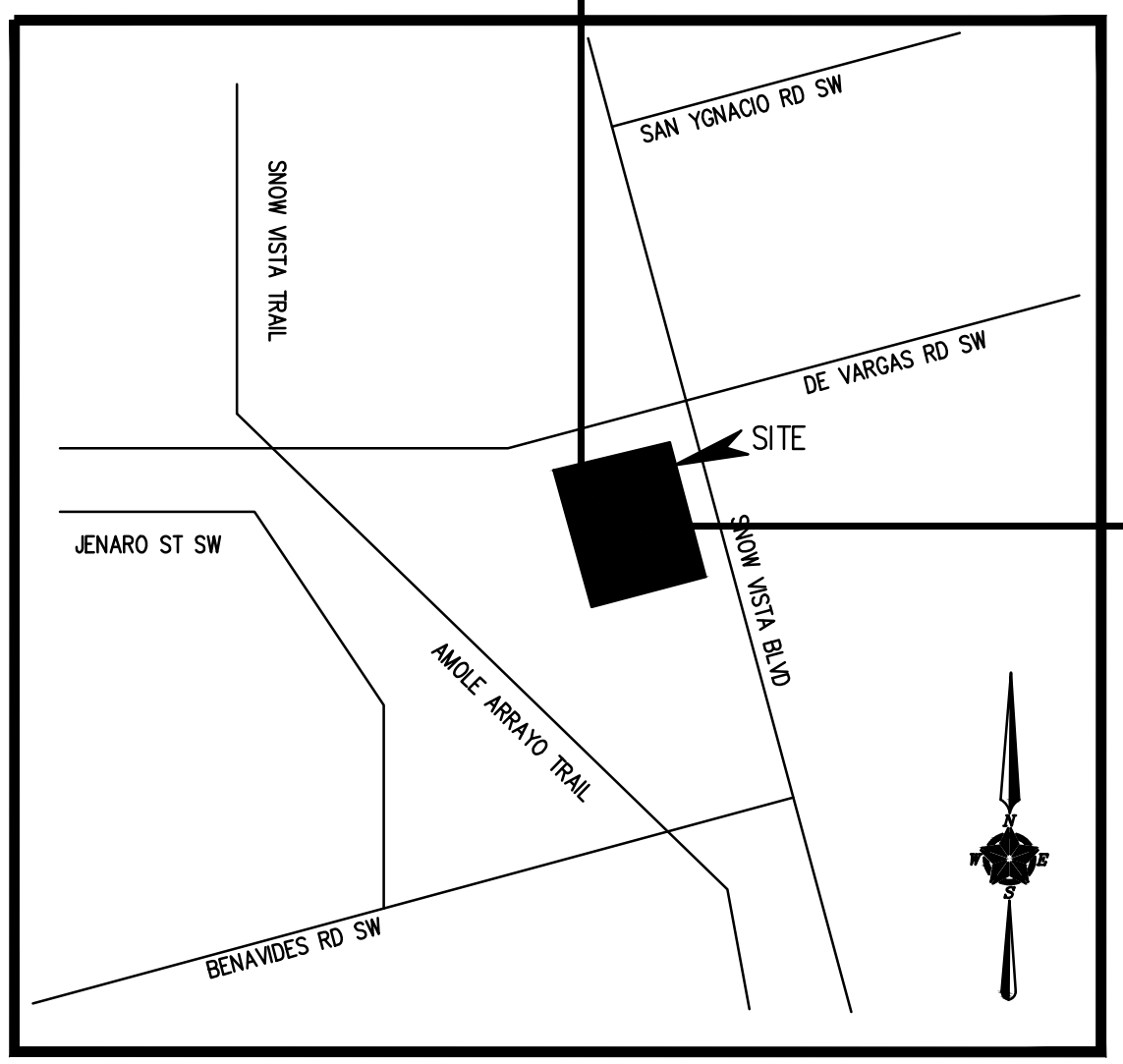
**CAUTION NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**BENCHMARKS**  
 ACS MONUMENT 2\_L7 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE - NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'



**Approved for access by the Solid Waste Department.**  
**All containers must be made accessible for pick up between the hours of 5AM and 8PM.**  
 Reviewer: ADRIAN MAREZ  
 Date: 1-16-26

SITE DATA TABLE		
LOCATION:	SNOW VISTA BLVD DE VARGAS RD SW ALBUQUERQUE, NM 87121	
LOT AREA:	1.9274 AC. (83,955 S.F.)	
ZONING:	ZONING - NRC	
CURRENT USE:	VACANT	
PROPOSED USE:	C STORE W FUEL DISPENSING	
<b>BUILDING DATA:</b>		
BUILDING AREA	5,200 S.F.	
BUILDING HEIGHT	38' (1 STORY)	
BUILDING COVERAGE	6.19%	
F.A.R.	16:1	
<b>PARKING SUMMARY:</b>		
1 SP PER 200 SF (5,200 SF)	REQUIRED	PROVIDED
PARKING SPACES	25	25
ACCESSIBLE SPACES	1	2
TOTAL SPACES	26	27
MOTORCYCLE	2	2
BICYCLE	3	3



**NOTES:**

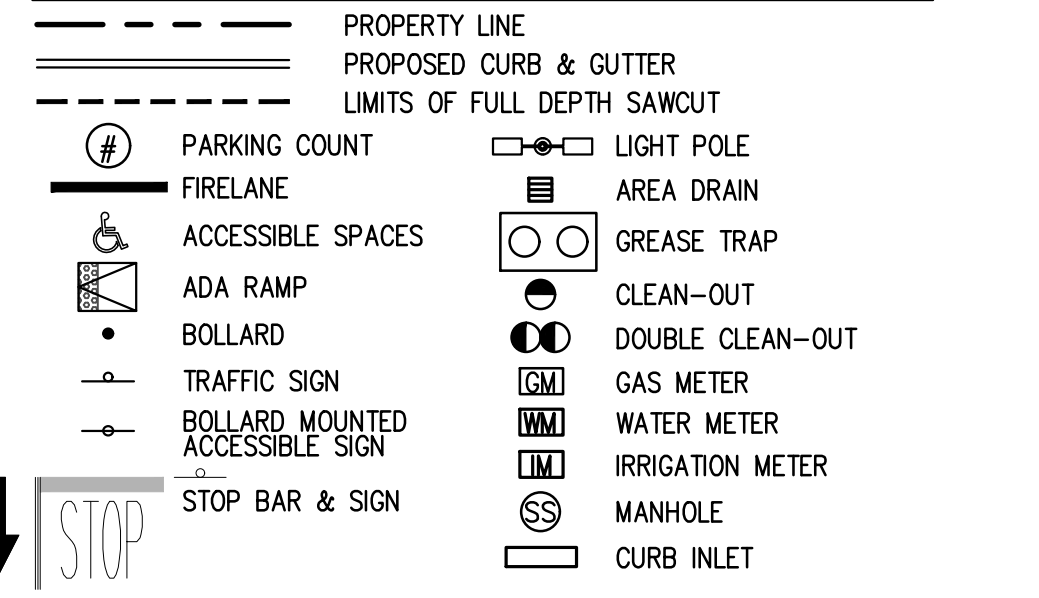
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

**LOCATION MAP**  
 ZONE ATLAS MAP NO. M-9-Z  
 NOT TO SCALE

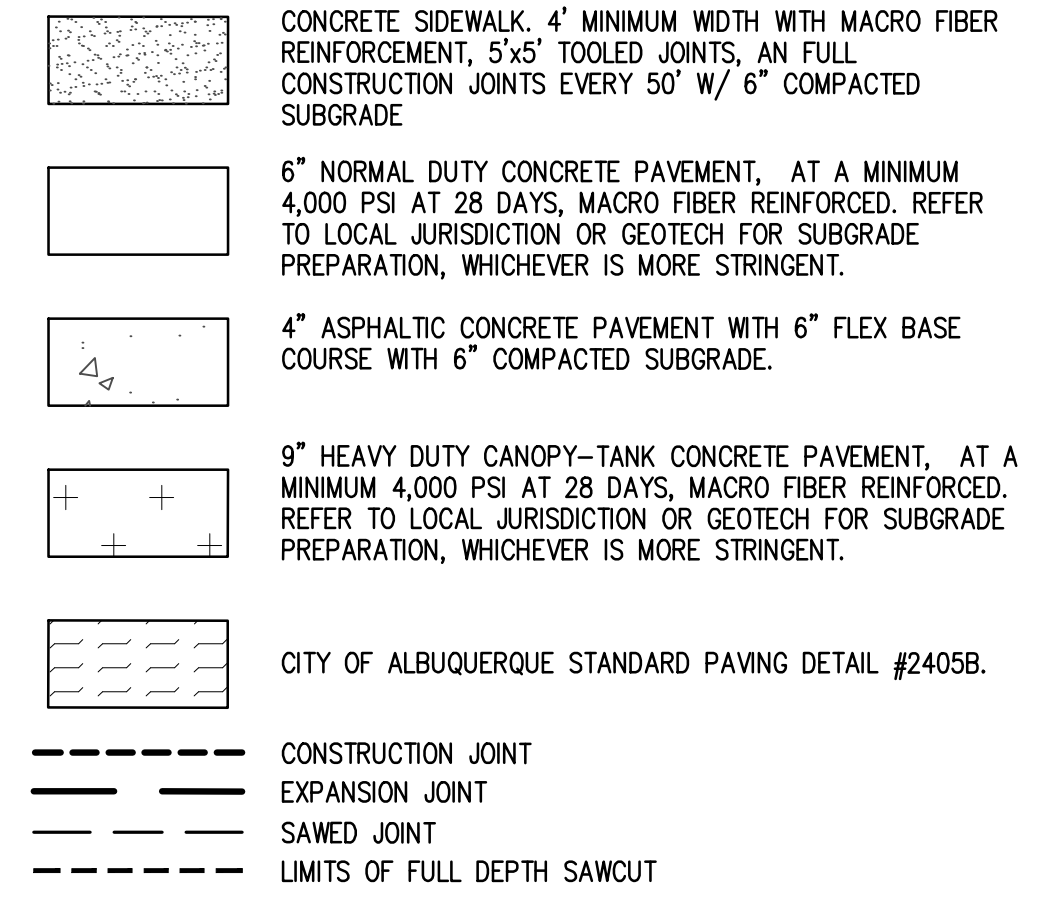
**SITE KEY NOTES:**

- CONCRETE CURB AND GUTTER. (CITY DETAIL #2415A & #2415B)
- TAPER CURB TO MATCH EXISTING.
- MATCH EXISTING PAVEMENT ELEVATION.
- LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- EXISTING PAVEMENT TO REMAIN.
- CONCRETE SIDEWALK. 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE. (CITY DETAIL #2430)
- SIDEWALK RAMP @ 8.33% MAX. (CITY DETAIL #2443)
- EXISTING FIRE HYDRANT.
- STOP BAR. (PER LOCAL CODES)
- DIRECTIONAL TRAFFIC ARROW. (PER LOCAL CODES)
- PARKING STALL STRIPING. (PER LOCAL CODES)
- 4" WIDE PAINTED STRIPES, 2" OFF CENTER @ 45'. (ALL HANDICAPPED PAINT SHALL BE BLUE)
- PEDESTRIAN/ACCESSIBLE CROSSWALK STRIPING.
- ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- BOLLARD.
- PROPOSED LIGHT POLE.
- MONUMENT/PYLON SIGN. (PER ARCH. PLANS)
- DUMPSTER ENCLOSURE. (PER ARCH. PLANS)
- FUEL STORAGE TANKS (PER M.E.P. PLANS)
- FUEL TANK VENTS (PER M.E.P. PLANS)
- PROPOSED PAD MOUNTED TRANSFORMER.
- "STOP" SIGN.
- LANDSCAPE AREA. (PER LANDSCAPE PLAN)
- EV PARKING STALLS.
- EV CHARGING EQUIPMENT.
- EV POWER BANK/GENERATOR.
- AIR/VAC. UNIT
- DIRECTIONAL SIGN FOR DRIVE THRU.
- STORAGE UNIT. (PER ARCH. PLANS)
- DETENTION BASIN.
- INLET. (SEE PLAN FOR SIZE)
- FLEXIBLE CITY PAVEMENT PER DETAIL #2405B
- BICYCLE PARKING. (PER ARCH. PLANS)
- MOTORCYCLE PARKING & "MC" STRIPING.
- MOTORCYCLE PARKING SIGN PER COA ZONING CODE.
- "NO PARKING" STRIPING.

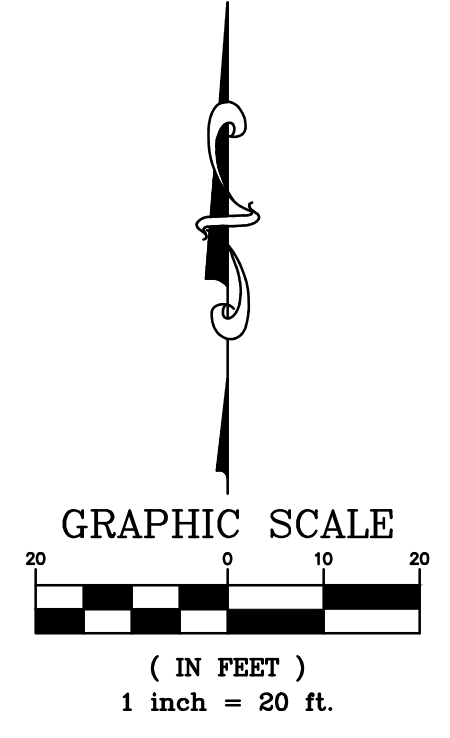
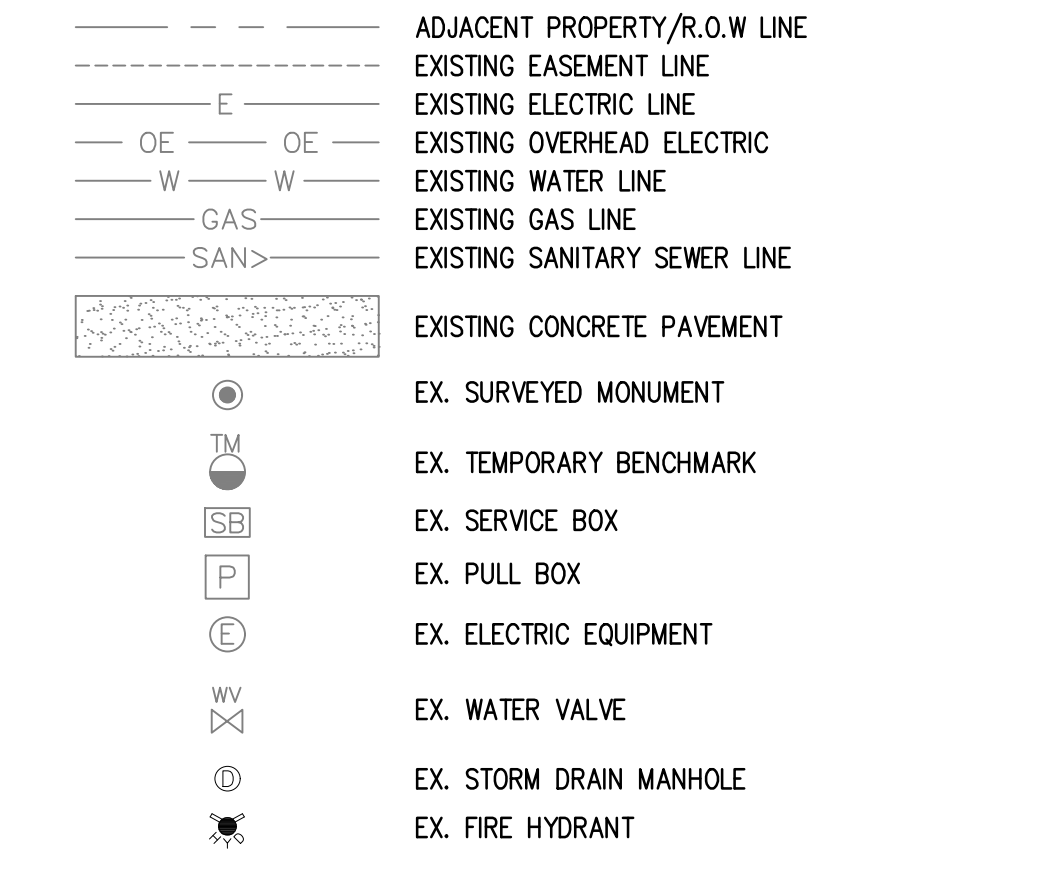
**SITE LEGEND:**



**PROPOSED PAVING LEGEND:**



**EXISTING LEGEND:**



1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measles, PE  
 CIVIL ENGINEER

1/16/2026

**TRAFFIC CIRCULATION LAYOUT**  
**CIRCLE K, INC**  
**LOT 1A, SNOW VISTA INVESTORS**  
**9800 DE VARGAS RD.**  
**ALBUQUERQUE, NEW MEXICO 87121**

NO.	DATE	DESCRIPTION
1	11/17/25	INITIAL SUBMITTAL
2	12/18/25	2ND SUBMITTAL

PROJECT NO.	DRAWN BY	CHECKED BY	DATE
JM-DW25001	ASR, JK, CRK	ASR, JK, CRK	01/16/2026

**TCL**





## Andre Sutiono

---

**From:** Flores, Suzanna A. <Suzannaflores@cabq.gov>  
**Sent:** Tuesday, November 18, 2025 2:24 PM  
**To:** Andre Sutiono  
**Cc:** Joseph Kiffe  
**Subject:** RE: Circle K - 9800 De Vargas Rd SW Neighborhood List for New Project requiring Site Plan - DFT

Hi Andre,

I will be happy to provide this information. Please submit an inquiry using the link below and I will process by end of day today.

<https://www.cabq.gov/office-of-neighborhood-coordination/notice-inquiry-sheet>

*Thank you,*

*Suzie*



### Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

**From:** Andre Sutiono <asutiono@jmcivileng.com>  
**Sent:** Monday, November 17, 2025 6:12 PM  
**To:** Office of Neighborhood Coordination <onc@cabq.gov>; Flores, Suzanna A. <Suzannaflores@cabq.gov>  
**Cc:** Joseph Kiffe <jkiffe@jmcivileng.com>  
**Subject:** Circle K - 9800 De Vargas Rd SW Neighborhood List for New Project requiring Site Plan - DFT

Hi ONC team,

Hopefully this email finds you doing well.

We are currently working on a new project for a proposed 5200 sf Circle-K Convenience Store with 7 pumps (14 fuel dispensers) on 9800 De Vargas Rd. SW (SW corner of De Vargas Rd SW and Snow Vista Blvd SW). The site is on Zone Atlas Page M-9-Z. Please see attached Preliminary Site Plan, Fire 1 Plan and Traffic Circulation Layout for your reference. We would like to start the coordination and notification to the neighborhoods. Can you provide us with the current Neighborhood Association Members and any Coalitions?

We really appreciate any guidance you can provide.

## Andre Sutiono

---

**From:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Sent:** Tuesday, November 18, 2025 2:40 PM  
**To:** Andre Sutiono  
**Subject:** 9800 De Vargas Rd SW \_ Public Notice Inquiry Sheet Submission  
**Attachments:** M-9.pdf

**PLEASE NOTE:**

**The neighborhood association contact information listed below is valid for 30 calendar days after today's date.**

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email
Route 66 West NA		Cherise	Quezada	cherquezada
Route 66 West NA		Paul	Fava	paulfava@g
South West Alliance of Neighborhoods (SWAN Coalition)		Jerry	Gallegos	jgallegoswcc
South West Alliance of Neighborhoods (SWAN Coalition)		Lorenzo	Otero	housealbchr
Westgate Heights NA	westgate9901@gmail.com	Matthew	Archuleta	mattearchul
Westgate Heights NA	westgate9901@gmail.com	Mark	Gering	gering.mark
Westside Coalition of Neighborhood Associations	wescona0@gmail.com	Rene	Horvath	aboard111@
Westside Coalition of Neighborhood Associations	wescona0@gmail.com	Jane	Baechle	jane.baechle

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist you need for notifying neighborhood associations can be found here: <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/public-notice>
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

*Suzie*



**Suzie Flores**

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque  
(505) 768-3334 Office

E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

**From:** webmaster@cabq.gov <webmaster@cabq.gov>  
**Sent:** Tuesday, November 18, 2025 1:31 PM  
**To:** Office of Neighborhood Coordination <asutiono@jmcivileng.com>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Applicant Information

Contact Name

Andre Sutiono

Telephone Number

2147053182

Email Address

asutiono@jmcivileng.com

Company Name

JM Civil Engineering

Company Address

1101 Central Expressway South, Suite 215

City

Allen

State

TX

ZIP

75013

Subject Site Information

Legal description of the subject site for this project:

Lot 1A Snow Vista Investors

Physical address of subject site:

9800 De Vargas Rd SW

Subject site cross streets:

Snow Vista Blvd. SW

Other subject site identifiers:

This site is located on the following zone atlas page:

M-9-Z

Link for map

Captcha

Thank You



**Andre Sutiono, P.E.**

Director of Engineering

**JM Civil Engineering**

1101 Central Expy S., Ste. 215

Allen, Texas 75013

214.705.3182 (direct)

[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice\*: 11/24/25

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [§14-16-6-4\(K\) Public Notice](#). This notice is being provided to the Neighborhood Representatives on the attached list from the City of Albuquerque’s Office of Neighborhood Coordination.

### Project Information Required by [IDO §14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 9800 De Vargas Road SW  
Location Description SW corner of De Vargas Road SW and Snow Vista Blvd. SW
2. Property Owner\* Gary Goodman, Trustee of the Lawrence Goodman Revocable Trust u/a/d 12/6/77
3. Agent/Contractor [if other than the property owner] Andre Sutiono
4. Application(s) Type\* per IDO [Table 6-1-1](#)

- Historic Certificate of Appropriateness – Minor
- Sign Permit
- Alternative Signage Plan
- Wall/Fence Permit
- Site Plan – Administrative

Summary of project/request\*:

Proposed Circle K Convenience Store with 7 Fuel pumps (14 Fuel Dispensers)

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5. This application will be decided by staff. Please contact [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860 and select option for Development Review Services.
6. Where more information about the project can be found\*: [SEE SITE PLAN](#)

Preferred project contact information:

Name: Andre Sutiono

Email: asutiono@jmcivileng.com

Phone: (214) 705-3182

[Note: Items with an asterisk (\*) are required.]

- Attachments:
  - Neighborhood Association Representative Contact List from the City’s Office of Neighborhood Coordination\*
  - Others: Site Plan
  
- Online website or project page: \_\_\_\_\_

**Project Information Required for Email Notice by [IDO §14-16-6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>1</sup> M-9-Z
2. Project Illustrations, as relevant\*<sup>2</sup>

- Architectural drawings
- Elevations of the proposed building(s)
- Other illustrations of the proposed application

*See attachments or the website/project page noted above for the items marked above*

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)
- Variance(s)<sup>3</sup>
- Waiver(s)<sup>4</sup>

Explanation\*:  
None  
 \_\_\_\_\_  
 \_\_\_\_\_

4. **For Site Plan – Administrative Applications only\***,

Attach the proposed site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. \*
- b. Access and circulation for vehicles and pedestrians. \*
- c. Maximum height of any proposed structures, with building elevations. \*
- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

<sup>1</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

<sup>2</sup> While not required, it is recommended that a site plan be included illustrating the location of existing buildings, if any, and the proposed project.

<sup>3</sup> Separate notice is required for Variance Applications.

<sup>4</sup> Separate notice is required for Waiver Applications.

[Note: Items with an asterisk (\*) are required.]

Pre-submittal Neighborhood Meeting date, if it occurred: N/A

Brief Meeting Summary:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

[Note: The meeting report by the Office of Alternative Dispute Resolution is required to be provided in the application materials.]

**Additional Information from IDO Zoning Map<sup>5</sup>:**

- 1. Area of Property [typically in acres] 1.93
- 2. IDO Zone District(s) NR-C
- 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
- 4. Center or Corridor Area [if applicable] N/A
- 5. Current Land Use(s) [vacant, if none] Vacant

**NOTE:** Pursuant to [IDO §14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice for a Site Plan – Administrative application that proposes more than 100 multi-family dwelling units or more than 50,000 s.f. of nonresidential development. To request a facilitated meeting, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3860 and select the option for “Development Review Services”.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map:**

<https://tinyurl.com/idozoningmap>

<sup>5</sup> Available here: <https://tinyurl.com/idozoningmap>



# Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

## Notificación de Acceso Lingüístico.

Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaaszil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihgii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

## Andre Sutiono

---

**From:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Sent:** Tuesday, November 18, 2025 2:40 PM  
**To:** Andre Sutiono  
**Subject:** 9800 De Vargas Rd SW \_ Public Notice Inquiry Sheet Submission  
**Attachments:** M-9.pdf

**PLEASE NOTE:**

**The neighborhood association contact information listed below is valid for 30 calendar days after today's date.**

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1
Route 66 West NA		Cherise	Quezada	cherquezada@yahoo.com	10304 Paso Fino P
Route 66 West NA		Paul	Fava	paulfava@gmail.com	505 Parnelli Drive
South West Alliance of Neighborhoods (SWAN Coalition)		Jerry	Gallegos	jgallegoswccd@gmail.com	6301 Central Aven
South West Alliance of Neighborhoods (SWAN Coalition)		Lorenzo	Otero	housealbchrome@gmail.com	1413 Hilda Ct NW
Westgate Heights NA	westgate9901@gmail.com	Matthew	Archuleta	mattearchuleta1@hotmail.com	1628 Summerfield
Westgate Heights NA	westgate9901@gmail.com	Mark	Gering	gering.mark@yahoo.com	9309 Rhonda ST SW
Westside Coalition of Neighborhood Associations	wescona0@gmail.com	Rene	Horvath	aboard111@gmail.com	5515 Palomino Dri
Westside Coalition of Neighborhood Associations	wescona0@gmail.com	Jane	Baechle	jane.baechle@gmail.com	7021 Lamar Avenu

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.

- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist you need for notifying neighborhood associations can be found here: <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/public-notice>
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

*Suzie*



**Suzie Flores**

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: [suzannaflores@cabq.gov](mailto:suzannaflores@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)

**From:** webmaster@cabq.gov <webmaster@cabq.gov>

**Sent:** Tuesday, November 18, 2025 1:31 PM

**To:** Office of Neighborhood Coordination <asutiono@jmcivileng.com>

**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>

**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Applicant Information

Contact Name

Andre Sutiono

Telephone Number

2147053182

Email Address

asutiono@jmcivileng.com

Company Name

JM Civil Engineering

Company Address

1101 Central Expressway South, Suite 215

City

Allen

State

TX

ZIP

75013

Subject Site Information

Legal description of the subject site for this project:

Lot 1A Snow Vista Investors

Physical address of subject site:

9800 De Vargas Rd SW

Subject site cross streets:

Snow Vista Blvd. SW

Other subject site identifiers:

This site is located on the following zone atlas page:

M-9-Z

Link for map

Captcha

## Andre Sutiono

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**From:** Andre Sutiono  
**Sent:** Monday, November 24, 2025 4:57 PM  
**To:** 'jgallegoswccdgd@gmail.com'; 'housealbchrome@gmail.com'  
**Cc:** Joseph Kiffe  
**Subject:** Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative  
**Attachments:** Emailed-Notice-Administrative-Print&Fill.pdf; Circle K 9800 De Vargas Elevations.pdf; Circle K 9800 De Vargas SITE PLAN.pdf; Contact List.pdf; M-9.pdf

Hi Jerry Gallego and Lorenzo Otero  
I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.  
Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

## Andre Sutiono

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**From:** Andre Sutiono  
**Sent:** Monday, November 24, 2025 5:00 PM  
**To:** 'mattearchuleta1@hotmail.com'; 'gering.mark@yahoo.com'  
**Cc:** Joseph Kiffe  
**Subject:** Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative  
**Attachments:** Emailed-Notice-Administrative-Print&Fill.pdf; Circle K 9800 De Vargas Elevations.pdf; Circle K 9800 De Vargas SITE PLAN.pdf; Contact List.pdf; M-9.pdf

Hi Matthew Aechuleta & Mark Gering  
I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.  
Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

## Andre Sutiono

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**From:** Andre Sutiono  
**Sent:** Monday, November 24, 2025 5:03 PM  
**To:** 'westgate9901@gmail.com'  
**Cc:** Joseph Kiffe  
**Subject:** FW: Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative  
**Attachments:** Emailed-Notice-Administrative-Print&Fill.pdf; Circle K 9800 De Vargas Elevations.pdf; Circle K 9800 De Vargas SITE PLAN.pdf; Contact List.pdf; M-9.pdf

Hi Westgate Heights NA Association  
I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.  
Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

## Andre Sutiono

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**From:** Andre Sutiono  
**Sent:** Monday, November 24, 2025 4:55 PM  
**To:** 'paulfava@gmail.com'; cherquezada@yahoo.com  
**Cc:** Joseph Kiffe  
**Subject:** Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative  
**Attachments:** Emailed-Notice-Administrative-Print&Fill.pdf; Circle K 9800 De Vargas Elevations.pdf; Circle K 9800 De Vargas SITE PLAN.pdf; Contact List.pdf; M-9.pdf

Hi Cherise Quezada and Paul Fava  
I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.  
Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)



## Andre Sutiono

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**From:** Andre Sutiono  
**Sent:** Monday, November 24, 2025 5:02 PM  
**To:** 'wescona0@gmail.com'; 'aboard111@gmail.com'; 'jane.baechle@gmail.com'  
**Cc:** Joseph Kiffe  
**Subject:** Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative  
**Attachments:** Emailed-Notice-Administrative-Print&Fill.pdf; Circle K 9800 De Vargas Elevations.pdf; Circle K 9800 De Vargas SITE PLAN.pdf; Contact List.pdf; M-9.pdf

Hi Rene Horvath & Jane Baechle  
I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.  
Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**  
1101 Central Expy S., Ste. 215  
Allen, Texas 75013  
214.705.3182 (direct)  
[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

## Andre Sutiono

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**From:** Westgate Heights <westgate9901@gmail.com>  
**Sent:** Tuesday, November 25, 2025 9:46 AM  
**To:** Andre Sutiono  
**Cc:** Joseph Kiffe  
**Subject:** Re: FW: Circle K 9800 De Vargas Rd SW - DFT Site Plan Administrative

Thank you for your email. B. Davis with Westgate NA

On Mon, Nov 24, 2025 at 4:04 PM Andre Sutiono <[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)> wrote:

Hi Westgate Heights NA Association

I hope this email finds you well.

We are in the process of applying for DFT Site Plan Administrative review and approval for a proposed Circle K development located at 9800 De Vargas Road SW, at the southwest corner of De Vargas Road SW and Snow Vista Blvd SW. The site is currently a vacant lot. The proposed development includes a 5,200-sf convenience store and seven fuel pumps (14 fuel dispensers).

Attached for your reference are the Public Notice form, Site Plan, and Building Elevations.

Please let us know if you have any questions.

Thank You



**Andre Sutiono, P.E.**  
Director of Engineering  
**JM Civil Engineering**

1101 Central Expy S., Ste. 215

Allen, Texas 75013  
214.705.3182 (direct)

[asutiono@jmcivileng.com](mailto:asutiono@jmcivileng.com)

## **DFT SIGN POSTING AGREEMENT – A PUBLIC NOTICE REQUIREMENT**

All development applications are required to complete public notice under the Integrated Development Ordinance, Section 6-1, Table 6-1-1. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1> All applicants are obligated to satisfy all of the public notice requirements, i.e., sending email notifications, mailing notices, and posting signage on the subject property. **This form covers posting signs.** Adherence to sign posting requirements will inform the public of a proposed project and relevant project details.

Signs should be picked up at the Development Review Services office, located at 600 2nd St in the Plaza Del Sol building. Signs are available upon the acceptance of the application. The cost for the signs is included in the project application fee. It is critical that the signs be prominently located and clearly visible without any obstructions from each street frontage.

Applicants are responsible to maintain posting from time of application through the appeal period (15 days following a final decision on the application). Signs must be posted for at least 5 calendar days and for the required appeal period after any final decision. Evidence of the sign posting must also be provided within 3 days of application acceptance. In addition, applicants must ensure that required signs are in place during the 15-day appeal period after the project approval. Evidence of posting includes: Time stamped photographs of the sign at the location which must be submitted as a supplement to the application.

Failure to install or replace the signs during the required timeframe may result in your application being deferred.

### **LOCATION**

- A. The sign shall be conspicuously located, i.e, within twenty feet of the public sidewalk (or edge of a street).
- B. The face of the sign shall be parallel to the street.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

### **NUMBER**

- A. One sign shall be posted on each street frontage.
- B. If the land does not abut a public street, a sign shall be placed at the edge of the public right-of-way of the nearest paved street, in addition to the sign placed on the property.

### **PHYSICAL POSTING**

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

I have read and understand all of the public notice requirements. By my signature, I acknowledge that: I understand (A) I have read the sign posting requirements; (B) I understand my obligation to keep the signs posted for (5) days at the time of application, and (15) days after application approval, (C) where/how the sign(s) should be posted, and (D) agree to provide evidence of posting.

I further certify that the required public notice signs were posted per the instructions above.

SIGNATURE & DATE:



03-23-2026

PROJECT NUMBER & ADDRESS:

Circle K, 9800 De Vargas Rd. SW, Albuquerque, NM 87121

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.*** \_\_\_\_\_  
**Applicant or Agent Signature / Date**

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

- X 1. Date of drawing and/or last revision
- X 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

# SITE PLAN CHECKLIST

- X 3. Bar scale
- X 4. North arrow
- X 5. Legend
- X 6. Scaled vicinity map
- X 7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- n/a 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- X A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- X B. Square footage of each structure
- X C. Proposed use of each structure
- X D. Signs (freestanding) and other improvements
- X E. Walls, fences, and screening: indicate height, length, color and materials
- X F. Dimensions of all principal site elements or typical dimensions
- X G. Loading facilities
- X H. Site lighting (indicate height & fixture type)
- X I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- X K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- X A. Parking layout with spaces numbered per aisle and totaled.
  - X 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - X 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - N/A 3. On street parking spaces
- X B. Bicycle parking & facilities
  - X 1. Bicycle racks – location and detail
  - N/A 2. Other bicycle facilities, if applicable
- X C. Vehicular Circulation (Refer to DPM and IDO)
  - X 1. Ingress and egress locations, including width and curve radii dimensions
  - X 2. Drive aisle locations, including width and curve radii dimensions
  - X 3. End aisle locations, including width and curve radii dimensions
  - X 4. Location & orientation of refuse enclosure, with dimensions
  - X 5. Loading, service area, and refuse service locations and dimensions
- X D. Pedestrian Circulation
  - X 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- X 2. Location and dimension of drive aisle crossings, including paving treatment
- X 3. Location and description of amenities, including patios, benches, tables, etc.
  
- X E. Off-Street Loading
  - N/A 1. Location and dimensions of all off-street loading areas
  
- N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - N/A 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - X N/A 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - N/A 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- X A. Locate and identify adjacent public and private streets and alleys.
  - X 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - X 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - N/A 3. Location of traffic signs and signals related to the functioning of the proposal
  - X 4. Identify existing and proposed medians and median cuts
  - X 5. Sidewalk widths and locations, existing and proposed
  - X 6. Location of street lights
  - X 7. Show and dimension clear sight triangle at each site access point
  - X 8. Show location of all existing driveways fronting and near the subject site.
  
- X B. Identify Alternate transportation facilities within site or adjacent to site
  - X 1. Bikeways and bike-related facilities
  - X 2. Pedestrian trails and linkages
  - X 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- X 1. Scale - must be same as scale on sheet #1 - Site plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Identify nature of ground cover materials
  - X A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - X B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - X C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- X 7. Identify type, location and size of plantings (common and/or botanical names).
  - X A. Existing, indicating whether it is to be preserved or removed.
  - X B. Proposed, to be established for general landscaping.
  - X C. Proposed, to be established for screening/buffering.
- X 8. Describe irrigation system – Phase I & II . . .
- X 9. Planting Beds, indicating square footage of each bed
- X 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- X 11. Responsibility for Maintenance (statement)
- X 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- X 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- X 14. Planting or tree well detail
- X 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- X 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- N/A 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- X 1. Scale - must be same as Sheet #1 - Site Plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Building footprints
- X 7. Location of Retaining walls

#### B. Grading Information

- X 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- X 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- X 3. Identify ponding areas, erosion and sediment control facilities.
- NA 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 20, 2026

John T. Measels, PE  
JM Civil Engineering  
1101 Central Expressway S.  
Suite 215  
Allen, TX 75013

**Re: Circle K, INC**  
**9800 De Vargas Rd. SW**  
**Albuquerque, NM 87121**  
**Traffic Circulation Layout**  
Engineer's Stamp 11-12-25 (M09D012A)

Dear Mr. Measels,

The TCL submittal received 02-19-2026 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification and the TCL to ABQ-Plan for log in and evaluation by Transportation. **SHARED ACCESS EASEMENT AND/OR APPROVED PLAT AND AN APPROVED WORK ORDER ARE CONDITIONS FOR RELEASING THE FINAL CO.**

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

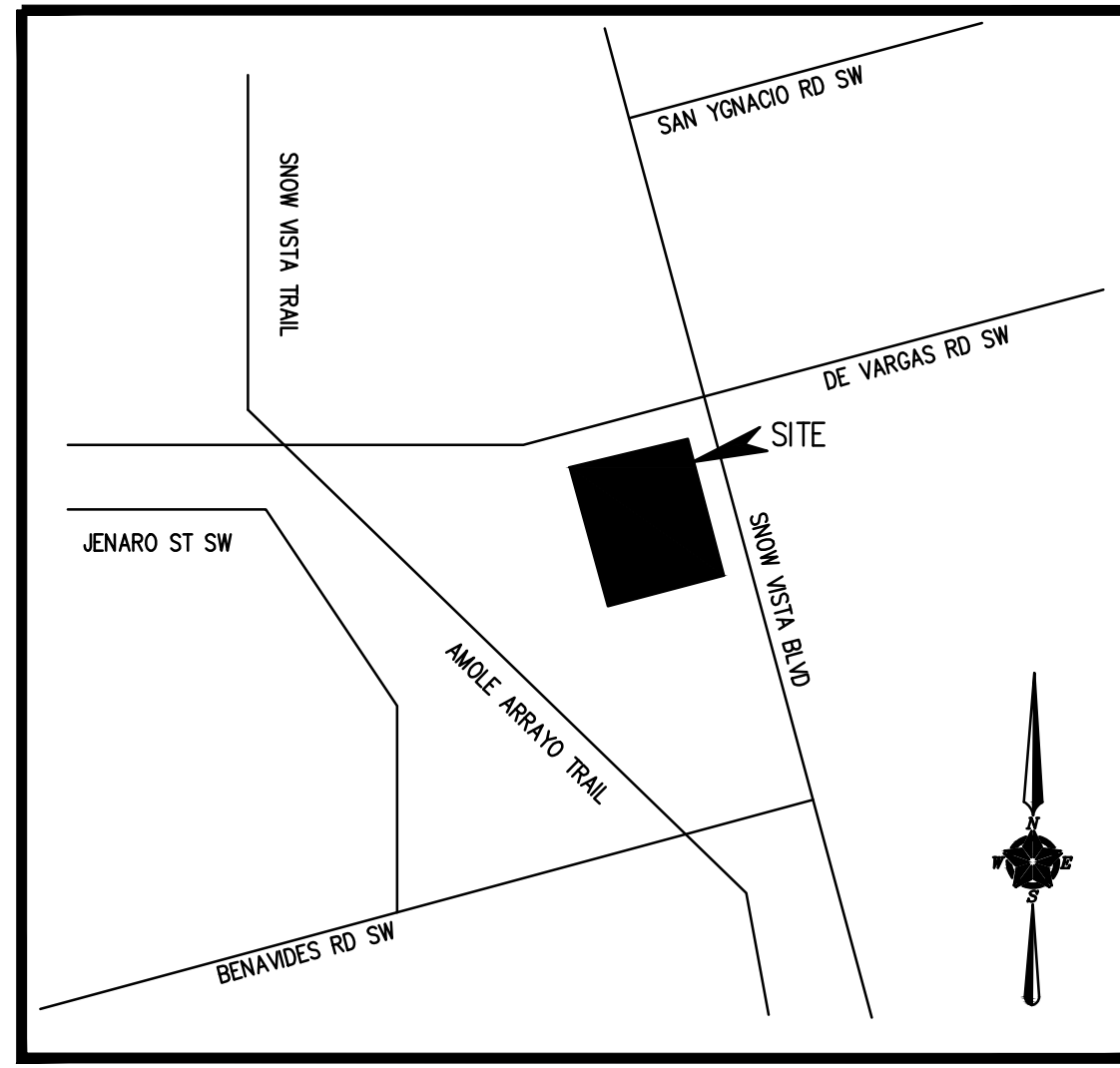
Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File

**CAUTION NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**BENCHMARKS**  
 ACS MONUMENT 2-17 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1486604.908 Y=1480475.091 ELEVATION=5415.511'  
 ACS MONUMENT 11L-10 NAD 1983 CENTRAL ZONE-NAVD 1988. X=1499894.295 Y=1479206.196 ELEVATION=5081.821'

SITE DATA TABLE			
<b>LOCATION:</b>		SNOW VISTA BLVD DE VARGAS RD SW ALBUQUERQUE, NM 87121	
<b>LOT AREA:</b>		1.9274 AC. (83,955 S.F.)	
<b>ZONING:</b>		ZONING - NRC	
<b>CURRENT USE:</b>		VACANT	
<b>PROPOSED USE:</b>		C STORE W FUEL DISPENSING	
<b>BUILDING DATA:</b>			
BUILDING AREA		5,200 S.F.	
BUILDING HEIGHT		38' (1 STORY)	
BUILDING COVERAGE		6.19%	
F.A.R.		16:1	
<b>PARKING SUMMARY:</b>			
<b>1 SP PER 200 SF (5,200 SF)</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
PARKING SPACES	25	25	
ACCESSIBLE SPACES	1	2	
TOTAL SPACES	26	27	
MOTORCYCLE	2	2	
BICYCLE	3	3	

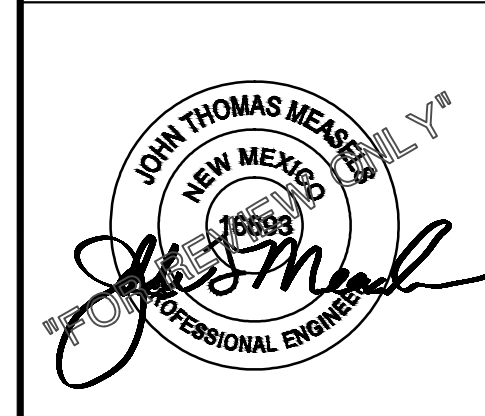


**LOCATION MAP**  
 ZONE ATLAS MAP NO. M-9-Z  
 NOT TO SCALE

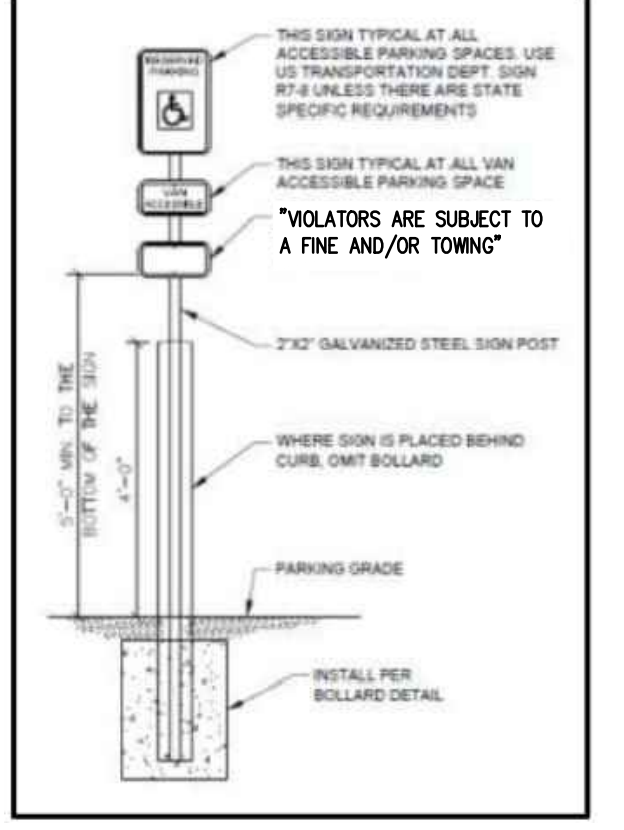
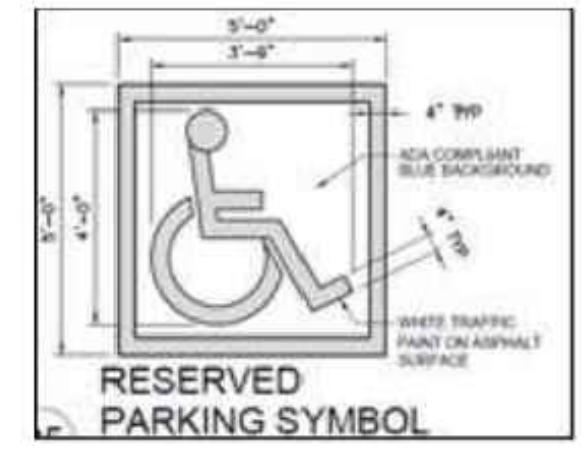
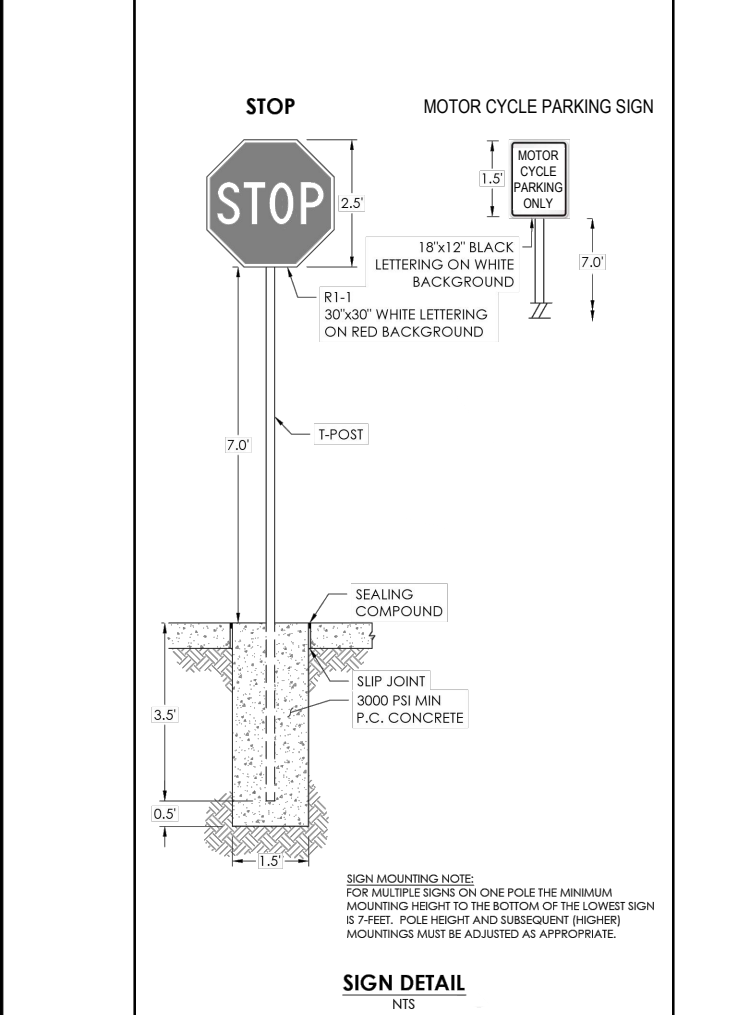
**NOTES:**

- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENT. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

**JM CIVIL**  
 1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measels, PE  
 CIVIL ENGINEER



03/05/2026



**HANDICAPPED STRIPING DETAIL**

**HANDICAPPED SIGN DETAIL**

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
*Ernest Armijo* 3/20/2026  
 Signed Date

**SITE KEY NOTES:**

- CONCRETE CURB AND GUTTER. (CITY DETAIL #2415A & #2415B)
- TAPER CURB TO MATCH EXISTING.
- MATCH EXISTING PAVEMENT ELEVATION.
- LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
- EXISTING PAVEMENT TO REMAIN.
- CONCRETE SIDEWALK. 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE. (CITY DETAIL #2430)
- SIDEWALK RAMP @ 8.33% MAX. (CITY DETAIL #2443)
- EXISTING FIRE HYDRANT.
- STOP BAR. (PER LOCAL CODES)
- DIRECTIONAL TRAFFIC ARROW. (PER LOCAL CODES)
- PARKING STALL STRIPING. (PER LOCAL CODES)
- 4" WIDE PAINTED STRIPES, 2" OFF CENTER @ 45'. (ALL HANDICAPPED PAINT SHALL BE BLUE)
- PEDESTRIAN/ACCESSIBLE CROSSWALK STRIPING.
- ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- BOLLARD.
- PROPOSED LIGHT POLE.
- MONUMENT/PYLON SIGN. (PER ARCH. PLANS)
- REFUSE/SOLID WASTE. (DETAIL PER ARCH. PLANS)
- FUEL STORAGE TANKS (PER M.E.P. PLANS)
- FUEL TANK VENTS (PER M.E.P. PLANS)
- PROPOSED PAD MOUNTED TRANSFORMER.
- "STOP" SIGN.
- LANDSCAPE AREA. (PER LANDSCAPE PLAN)
- EV PARKING STALLS.
- EV CHARGING EQUIPMENT.
- EV POWER BANK/GENERATOR.
- AIR/VAC. UNIT
- DIRECTIONAL SIGN FOR DRIVE THRU.
- STORAGE UNIT. (PER ARCH. PLANS)
- DETENTION BASIN.
- INLET. (SEE PLAN FOR SIZE)
- FLEXIBLE CITY PAVEMENT PER DETAIL #2405B
- BICYCLE PARKING. (PER ARCH. PLANS)
- MOTORCYCLE PARKING & "MC" STRIPING.
- MOTORCYCLE PARKING SIGN PER COA ZONING CODE.
- "NO PARKING" STRIPING.

**SITE LEGEND:**

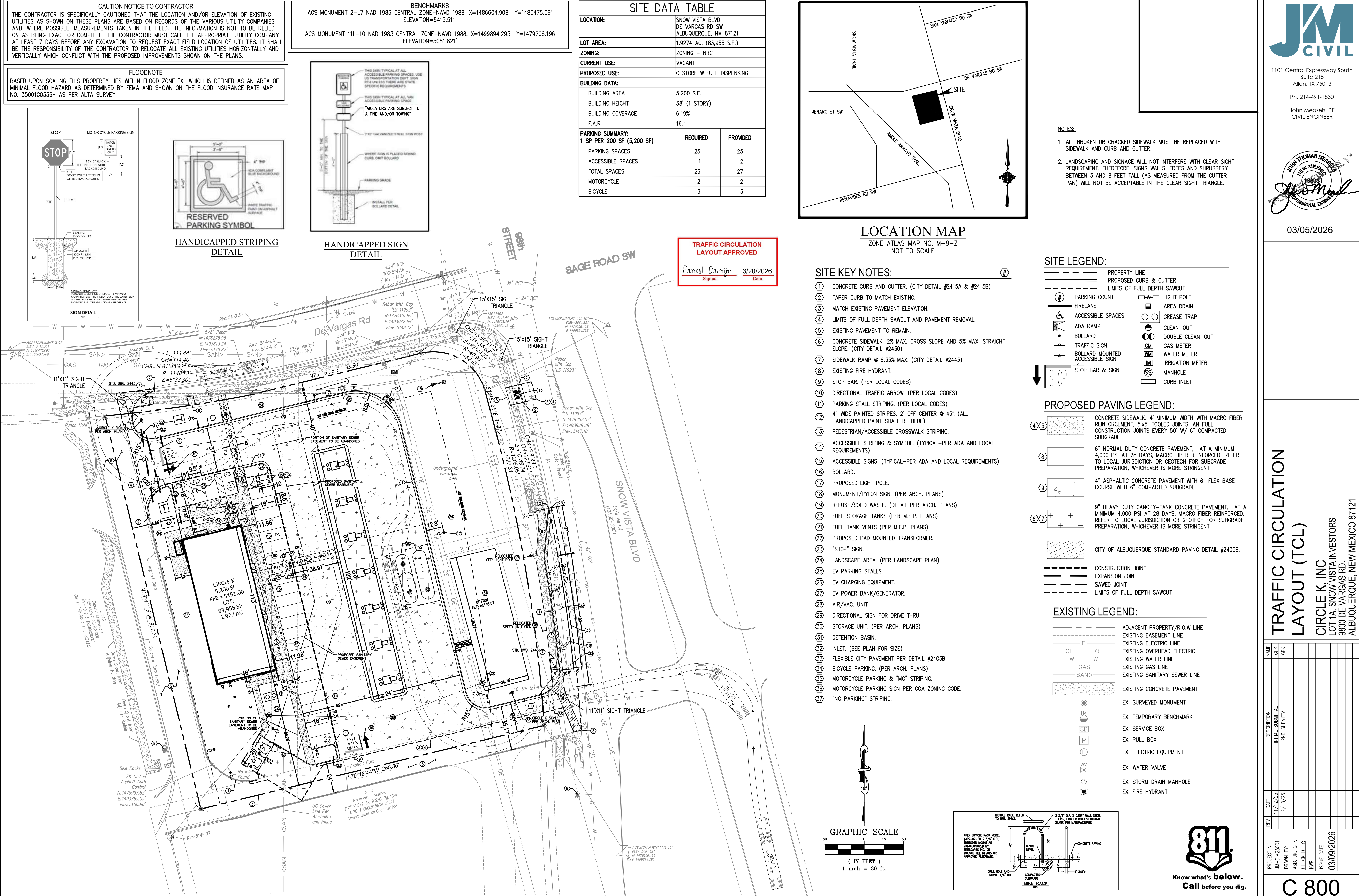
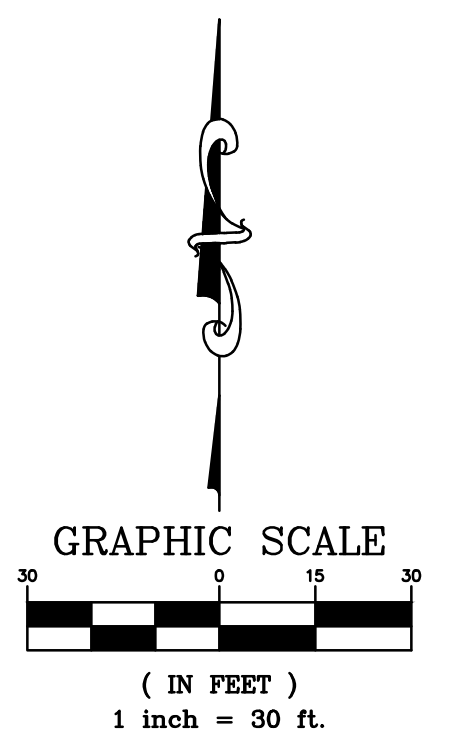
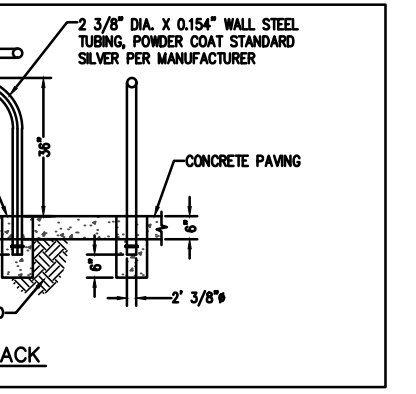
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- LIMITS OF FULL DEPTH SAWCUT
- PARKING COUNT
- FIRELANE
- ACCESSIBLE SPACES
- ADA RAMP
- BOLLARD
- TRAFFIC SIGN
- BOLLARD MOUNTED ACCESSIBLE SIGN
- STOP BAR & SIGN
- LIGHT POLE
- AREA DRAIN
- GREASE TRAP
- CLEAN-OUT
- DOUBLE CLEAN-OUT
- GAS METER
- WATER METER
- IRRIGATION METER
- MANHOLE
- CURB INLET

**PROPOSED PAVING LEGEND:**

- CONCRETE SIDEWALK. 4" MINIMUM WIDTH WITH MACRO FIBER REINFORCEMENT, 5'x5' TOoled JOINTS, AN FULL CONSTRUCTION JOINTS EVERY 50' W/ 6" COMPACTED SUBGRADE
- 6" NORMAL DUTY CONCRETE PAVEMENT. AT A MINIMUM 4,000 PSI AT 28 DAYS. MACRO FIBER REINFORCED. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- 4" ASPHALTIC CONCRETE PAVEMENT WITH 6" FLEX BASE COURSE WITH 6" COMPACTED SUBGRADE.
- 9" HEAVY DUTY CANOPY-TANK CONCRETE PAVEMENT. AT A MINIMUM 4,000 PSI AT 28 DAYS. MACRO FIBER REINFORCED. REFER TO LOCAL JURISDICTION OR GEOTECH FOR SUBGRADE PREPARATION, WHICHEVER IS MORE STRINGENT.
- CITY OF ALBUQUERQUE STANDARD PAVING DETAIL #2405B.

**EXISTING LEGEND:**

- ADJACENT PROPERTY/R.O.W LINE
- EXISTING EASEMENT LINE
- EXISTING ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- EXISTING CONCRETE PAVEMENT
- EX. SURVEYED MONUMENT
- EX. TEMPORARY BENCHMARK
- EX. SERVICE BOX
- EX. PULL BOX
- EX. ELECTRIC EQUIPMENT
- EX. WATER VALVE
- EX. STORM DRAIN MANHOLE
- EX. FIRE HYDRANT



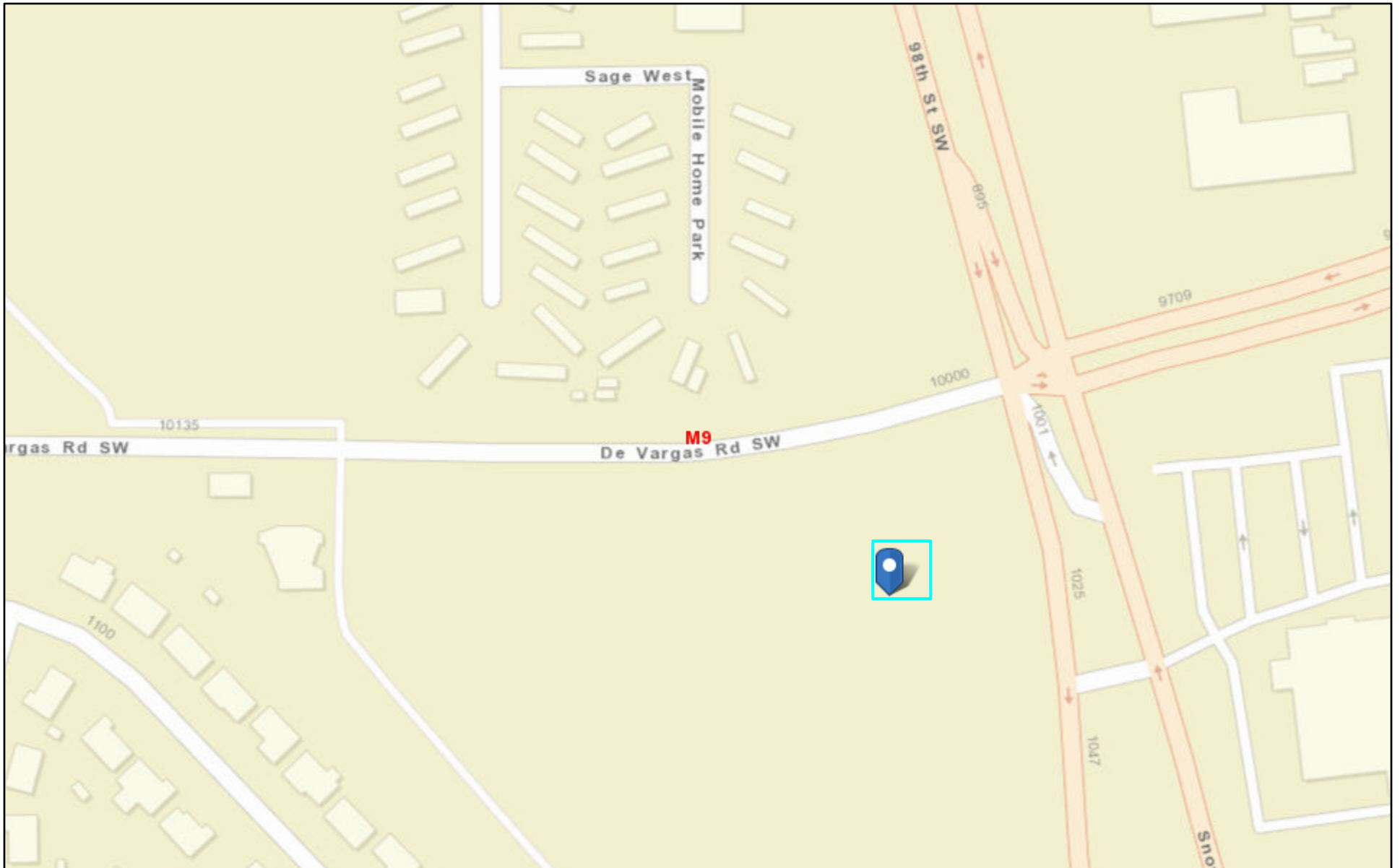
**TRAFFIC CIRCULATION LAYOUT (TCL)**

**CIRCLE K, INC**  
 LOT 1A, SNOW VISTA INVESTORS  
 9800 DE VARGAS RD,  
 ALBUQUERQUE, NEW MEXICO 87121

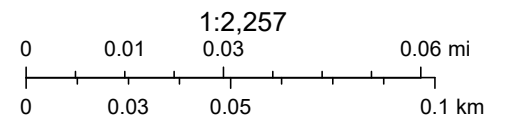
NAME	DATE	DESCRIPTION
CSK	11/17/25	INITIAL SUBMITTAL
CPK	12/18/25	2ND SUBMITTAL

J:\CIRCLE K\DW25001-98TH DE VARGAS RD - ALBUQUERQUE, NM\CURRENT DRAWINGS\JM-DW25001 - 98TH & DE VARGAS, ALBUQUERQUE NM - 24X36 MASTER.DWG 3/9/2026 2:20 PM JOSEPH KIFFE

# M-9



November 14, 2025



City of Albuquerque, Bernalillo County, NM, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, NGA, USGS