



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Arun Patel / Rudra, LLC. Phone: 505-263-1794

Address: 5811 Signal Ave. NE Email:

City: Albq. State: NM Zip: 87113

Professional/Agent (if any): Alan White Signs, LLC. Phone: 505-228-2031

Address: 10433 Ralph Ave. NE Email: AB@LED@aol.com

City: Albq. State: NM Zip: 87112

Proprietary Interest in Site: Sign Contractor List all owners: Arun Patel / Rudra, LLC

BRIEF DESCRIPTION OF REQUEST

Comfort Inn wishes to relinquish their spot on the tenant monument & erect their own freestanding sign facing Pan American Freeway

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 22A Block: 12 Unit:

Subdivision/Addition: N ABQ Acres Tr A Unit B MRGCD Map No.: UPC Code: 101886419833120402

Zone Atlas Page(s): C18 Existing Zoning: NR-C Proposed Zoning:

of Existing Lots: # of Proposed Lots: Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5811 Signal Ave. NE Between: Pan American Freeway and: San Pedro

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: AA Date: 10/27/20

Printed Name: Alan White Applicant or Agent

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Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-01232	AA	\$50			

Meeting/Hearing Date: Fee Total: **\$50**

Staff Signature: Vanessa A Segura Date: 10/30/2020 Project # PR-2020-004648

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

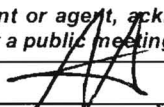

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

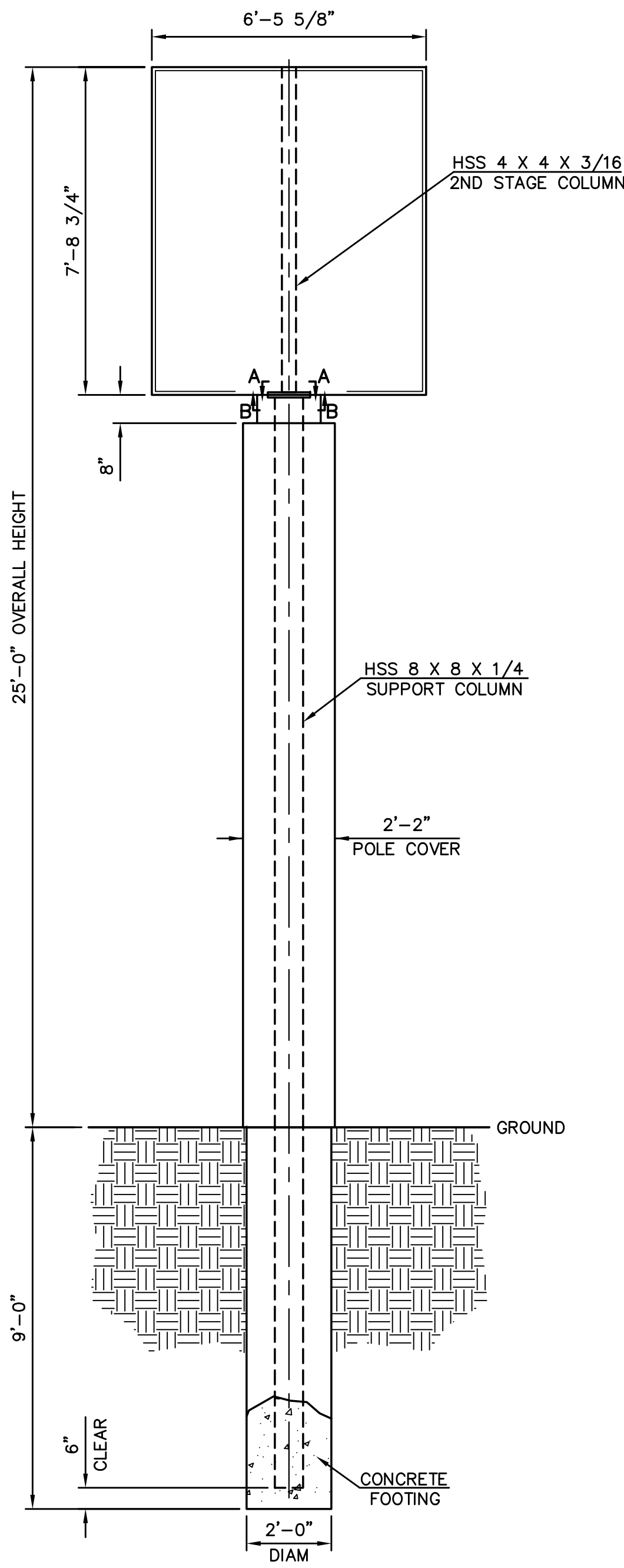
ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

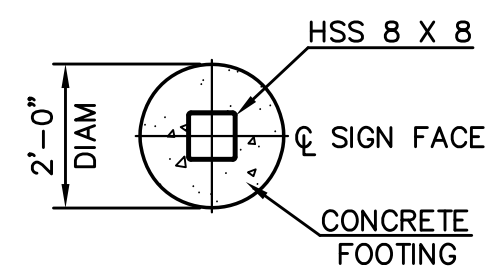
<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
Signature: 	Date: 7/14/20
Printed Name: Alan White	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number: PR-2020-004648	Case Numbers: SI-2020-01232
Staff Signature:	
Date:	

GENERAL NOTES:

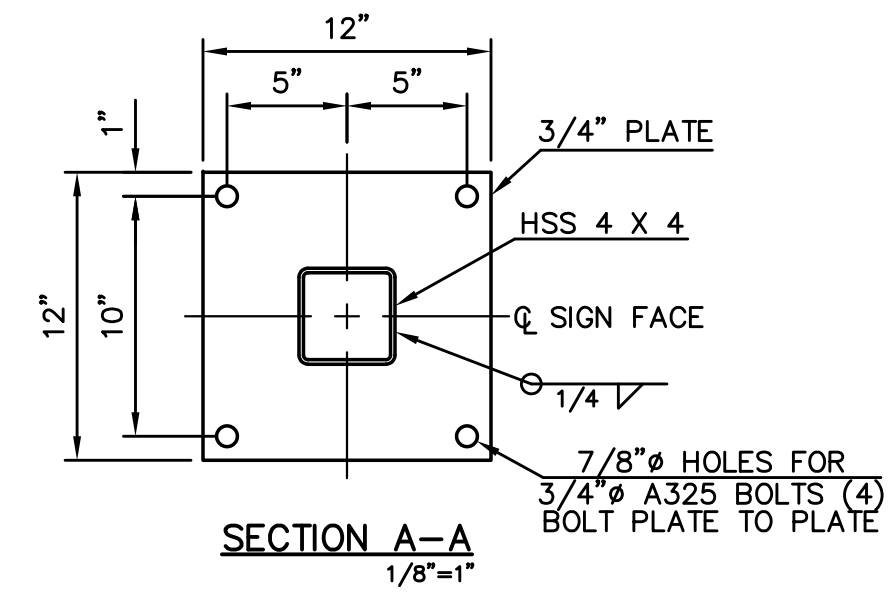
- All design, fabrication, installation and construction shall conform to the following specifications, unless specifically noted otherwise on the drawing:
 - The 2015 International Building Code
 - American Concrete Institute Building Code Requirements for Reinforced Concrete (318-14).
 - American Institute of Steel Construction, Inc Manual of Steel Construction (13th Edition).
 - American Welding Society ANSI/AWS D1.1 Structural Welding Code - Steel
- All steel components shall be as listed below, unless noted otherwise:
 - All rolled shapes, plates and bars shall be ASTM A36, or equal.
 - All pipe shall meet the requirements of ASTM A53, Type S or E, Gr B, or ASTM A500, Gr B.
 - All structural tubing shall be ASTM A500, Grade B, or equal.
 - All bolted connections shall be made with ASTM A325 Bolts and shall be installed as per AISC Specifications
 - All exposed materials shall be properly protected from weathering and/or corrosion.
- All field welds shall be made by a welder certified in the specified position.
 - All welds shall be made with E70XX electrode, or equal.
 - All welds shall be made in a sequence that will balance the applied heat of welding while the welding progresses.
- All concrete shall have a minimum compressive strength at 28 days of 3000 psi.
 - Signage may be installed on the structure after a minimum curing time of 3 days, provided the curing process has been properly maintained in accordance with ACI 318-14.
- No steel reinforcement is required in cube or auger style footings where the support column is embedded directly to the bottom of the footing.
- The structure has been designed to withstand a 115 mph (3-sec gust) design wind speed with a maximum design pressure of 41.6 psf according to ASCE 7-10. (Exposure C - Risk Cat. II)
 - The design pressure shown is prior to the 0.6 ASD design factor being applied per ASCE 7-10.
 - If the proposed structure is located in the proximity of a bluff, the top or base of a steep hill, or any other geographical feature that may affect the wind flow around the sign, the installer shall contact Cornerstone for potential redesign or re-evaluation.
- The foundation has been designed assuming the following average soil conditions:
 - Allowable Lateral Bearing Pressure of 150 psf/ft (This value is used for cube and auger footings.) The soil allowable is multiplied by two for isolated footing as per IBC 1806.3.4.
 - 150 psf/ft corresponds to sand, silty sand, clayey sand, silty gravel, clayey gravel or equal.
 - If soil conditions other than those assumed are encountered (including soft soils, unstable or collapsing soils, expansive soils, organic materials, groundwater, adjacent utilities, or any other condition of potential concern) cease excavation immediately and contact Cornerstone so that the foundation design can be re-evaluated.
 - If the structure is to be located in the proximity of a building or any other structure, Cornerstone shall be contacted prior to installation to evaluate any potential impact on the adjacent footings.
 - If the structure is located on the side or top of a slope in excess of 3:1, the installer shall contact Cornerstone for re-evaluation. The foundation shall not be placed in or near a fill slope without Cornerstone's approval.
 - All concrete shall be placed in direct contact with undisturbed soil. There shall be no backfilled soil placed in or around the foundation without written approval from Cornerstone.
- Cornerstone is in no way responsible for the safety of the work site during installation. The installer shall take appropriate measures to make sure that the installation of the foundation and the erection of the structure is performed using methods in compliance with applicable OSHA regulations.
- If existing and proposed conditions are not as detailed in this design drawing the installer shall cease work and notify Cornerstone immediately.
 - Cornerstone will not be performing on-site inspections or verification of conditions. It is the responsibility of the installer, the structure owner, and the property owner to identify the on-site conditions and to contact Cornerstone with any discrepancies or concerns. It is the owner's responsibility to locate and mark all underground utilities.
- Any deviation from these plans or non-compliance with the general notes without written approval from Cornerstone will render the entire design to be void.



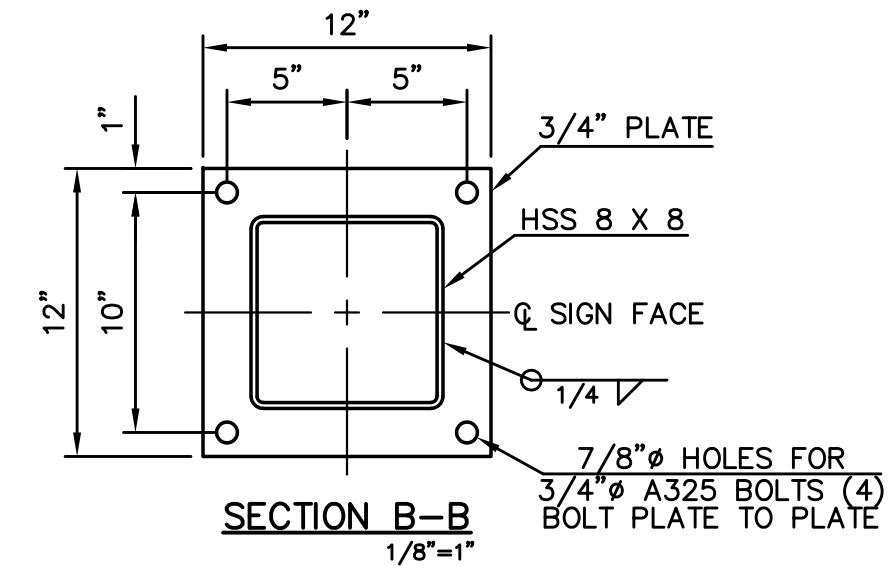
ELEVATION VIEW



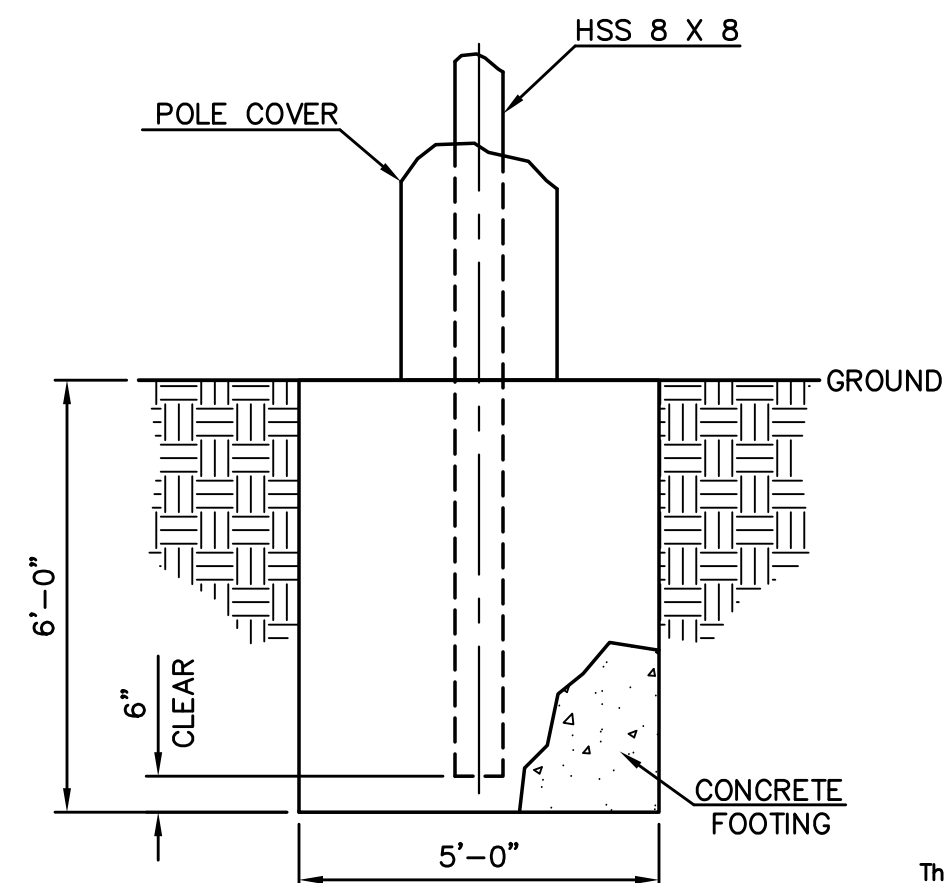
FOUNDATION PLAN VIEW



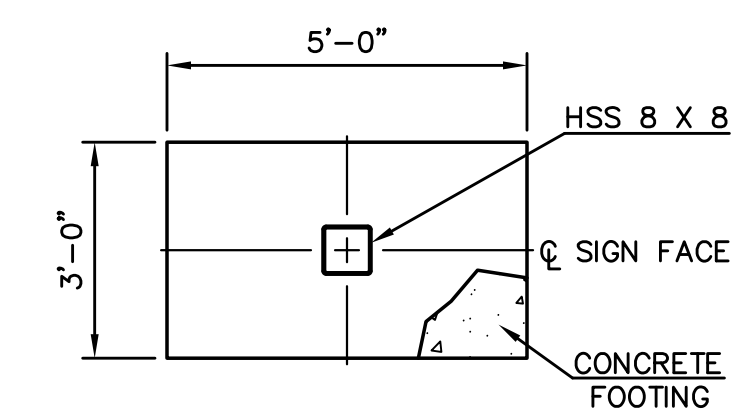
SECTION A-A
1/8"=1"



SECTION B-B
1/8"=1"



OPTIONAL WEDGE FOOTING



OPTIONAL WEDGE FOOTING PLAN VIEW

This item has been electronically signed and sealed by Andrew K. Lewis, P.E. on the date shown on the time stamp using a digital signature.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

NOTICE:
CORNERSTONE ENGINEERING, INC. IS RESPONSIBLE FOR COLUMN AND FOOTING DESIGN ONLY. SIGN CABINET COMPONENTS AND ATTACHMENT ARE THE RESPONSIBILITY OF THE SIGN MANUFACTURER.

ANDREW K. LEWIS



NM P.E. # 15930



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
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<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: <u>Arun Patel / Rudra, LLC.</u>		Phone: <u>505-263-1794</u>
Address: <u>5811 Signal Ave. NE</u>		Email:
City: <u>Albq.</u>	State: <u>NM</u>	Zip: <u>87113</u>
Professional/Agent (if any): <u>Alan White Signs, LLC.</u>		Phone: <u>505-228-2031</u>
Address: <u>10433 Ralph Ave. NE</u>		Email: <u>AB@LED@aob.com</u>
City: <u>Albq.</u>	State: <u>NM</u>	Zip: <u>87112</u>
Proprietary Interest in Site: <u>Sign Contractor</u>	List all owners: <u>Arun Patel / Rudra, LLC</u>	

BRIEF DESCRIPTION OF REQUEST

Comfort Inn wishes to relinquish their spot on the tenant monument & erect their own freestanding sign facing Pan American Freeway

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <u>22A</u>	Block: <u>12</u>	Unit:
Subdivision/Addition: <u>N ABQ Acres Tr A Unit B</u>	MRCGD Map No.:	UPC Code: <u>101886419833120402</u>
Zone Atlas Page(s): <u>C18</u>	Existing Zoning: <u>NR-C</u>	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5811 Signal Ave. NE Between: Pan American Freeway and: San Pedro

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: <u>AA</u>	Date: <u>10/27/20</u>
Printed Name: <u>Alan White</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
<u>SI-2020-01232</u>	<u>AA</u>				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project # <u>PR-2020-004648</u>

Submitted By: Jon Wiley
Project Number: 171012
Sales Rep: Jordan Gabriel
Sales Order: 238968
Quote Number: 899770
Flag: COMFORT INN & SUITES
Property Code: NM417
Location Address: 5811 Signal Ave. NE
Location City: Albuquerque
Location State: NM
Location Zip Code: 87113

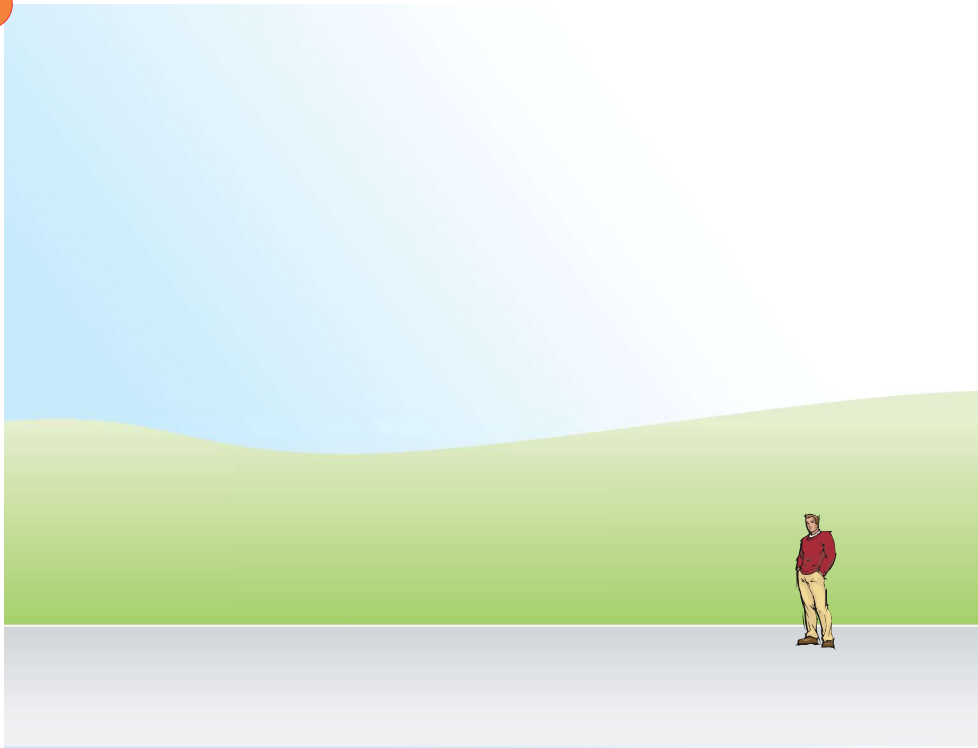
Need By Date:	2/18/2020
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****All cells must be entered, if information doesn't apply, please enter N/A.

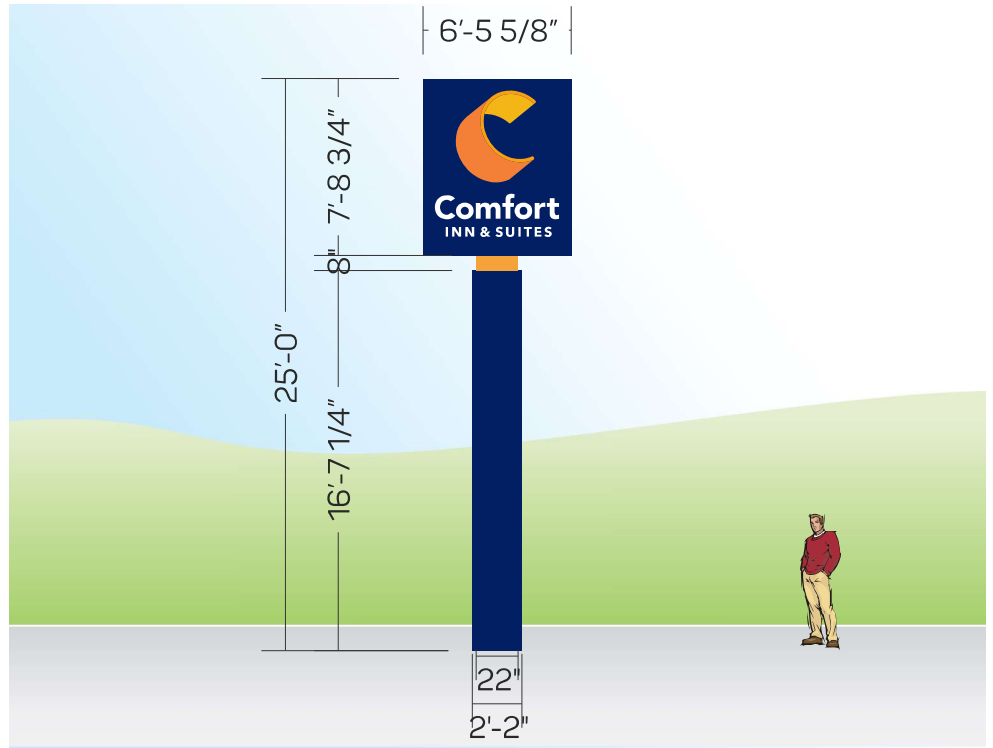
New Pole and Foundation Engineering:	Main Cabinet	Second Cabinet	Third Cabinet
Are Hard Copies Needed? Qty? Address sending to? (if not Person)	(3) Alan White Signs 10433 Ralph Ave. NE AlbuquerqueNM 87112		
Cabinet dimensions of Proposed Sign(s)?	7' 8 3/4" x 6' 5 5/8" x 30"		
OAH of Proposed Sign?	25'		
Width of Pole Cover? (NA if None)	2' 2"		
Distance between cabinets?			
Steel?	No Preference		
Foundation Type?	Caisson		
Anchorage?	Direct Bury		
Attachment Method (Specify if using plate other than plate listed on drawing)			

Construction Print of Cabinet(s)	Please attach to E-mail when sending		
Attach Precalc: (If applicable)	Please attach to E-mail when sending		
Rendering of proposed structure:	Please attach to E-mail when sending		
MCD Road Signs? (Soil Report Required)			
Additional Information			
<p>***Column B & C only for poles with more than one cabinet. Use column A for top cabinet, B for next highest, C for next highest. If there are more than 3 Cabinets use additional notes for that information clearly noted. Same method for attachment method.</p>			

6



BEFORE PICTURE



PROPOSED SIGNAGE

APPROVAL BOX - PLEASE INITIAL

CUSTOMER APPROVAL		Date
-------------------	--	------

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer: COMFORT INN & SUITES	Date: 12NOV19	Prepared By: SC	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>
Location: ALBUQUERQUE, NM	File Name: 171012 - R4 - ALBUQUERQUE, NM	Eng: -	

persona
SIGNS | LIGHTING | IMAGE

DISTRIBUTED BY SIGN UP COMPANY
700 21st Street Southwest
PO Box 210
Watertown, SD 57201-0210
1.800.843.9888 • www.personasigns.com

Dear City of Albuquerque,

I, Arun Patel, am the owner of the Comfort Inn & Suites on Alameda. I wanted to inform you that the new pole sign is in replacement of the old sign that was shared with Burger King and Chevron. We plan on having the old Comfort Inn sign removed. By no means is this an additional sign, therefore we will still have 3 total signs (which we currently already have).

If you have any questions or concerns please call (505) 263-1794.

Kind Regards,
Arun Patel

Jon Wiley

From: Jordan Gabriel
Sent: Tuesday, February 4, 2020 1:53 PM
To: Jon Wiley
Subject: RE: Albuquerque, NM project # 171012 Comfort Inn & Suites

Property Owner: Arun Patel
Property Address: 5811 Signal Ave NE
Business Name: Rudra LLC
Business Address: 5811 Signal Ave NE
Property Phone Number: (505) 384-6931
Owners Phone Number: (505)263-1794

From: Jon Wiley <jwiley@personasigns.com>
Sent: Tuesday, February 4, 2020 12:59 PM
To: Jordan Gabriel <jgabriel@personasigns.com>
Subject: Albuquerque, NM project # 171012 Comfort Inn & Suites

Jordan the installer will need the following info for permits

Property owners name , address, phone number
Business owners name , address, phone number.

Thanks



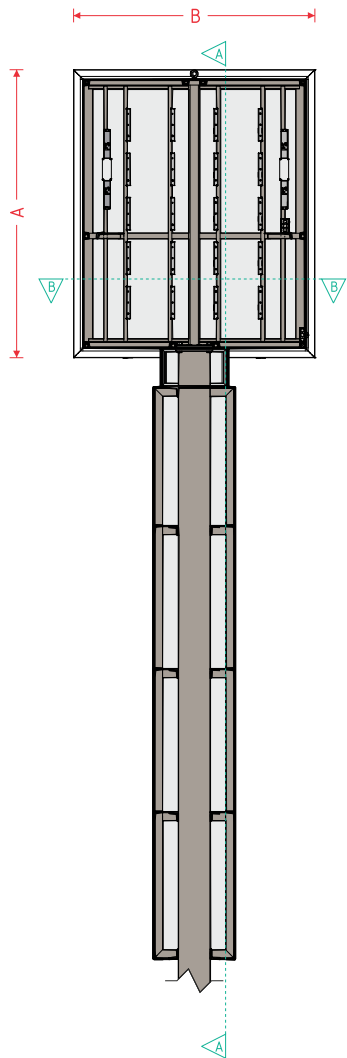
Jon Wiley

Installation Specialist

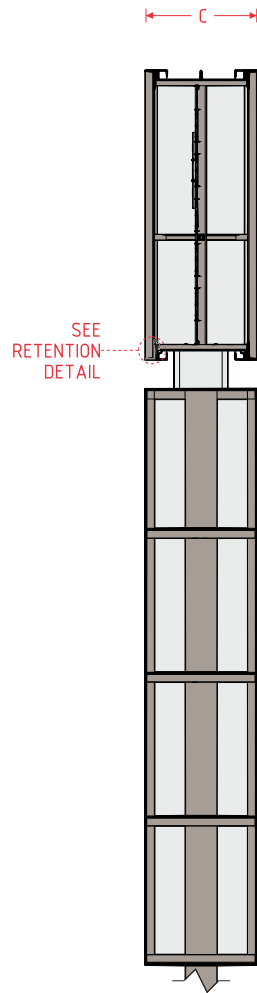
800.843.9888 ext.197

personasigns.com

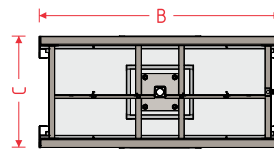




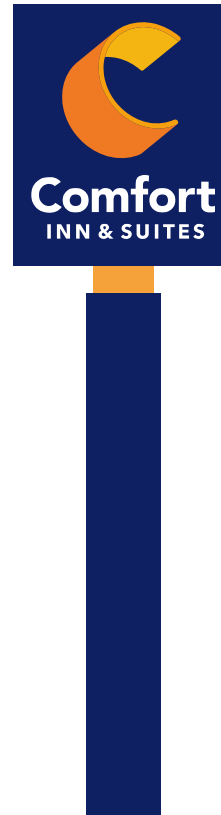
FRAME & LAMP DETAIL
NOT TO SCALE



CROSS SECTION A-A
NOT TO SCALE



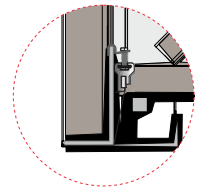
BOTTOM VIEW
NOT TO SCALE



GRAPHIC DETAIL
NOT TO SCALE

SPECIFICATIONS:

- REVERSE ANGLE IRON FRAME CONSTRUCTION
- BLEED FACES
- EXTERIOR FINISH:
 - CABINET: PAINT PANTONE® PLUS SERIES 1375 C GOLD
 - CONTOUR COVERS: PAINT PANTONE® PLUS SERIES 2757 BLUE, SATIN FINISH
 - REVEAL: PAINT PANTONE® PLUS SERIES 1375 C GOLD, SATIN FINISH
 - POLE COVER: PAINT PANTONE® PLUS SERIES 2757 C BLUE, SATIN FINISH
- INTERIOR FINISH: PAINT REFLECTIVE WHITE
- U.L. LISTED
- SWITCH LOCATED AT END OF CABINET
- .063" ALUMINUM SKIN ON CABINET
- .063" ALUMINUM SKIN ON POLE COVER
- WEDGE CLAMP RETENTION FOR FLEX FACE
- REMOVABLE SERVICE PANEL FOR SERVICE ACCESS
- GE 7100K WHITE LED'S AS REQUIRED
- 3M PANAGRAPHS III FLEXIBLE FACE
- DIGITALLY PRINTED DECORATION WITH OPAQUE BACKGROUND (1ST SURFACE)
- PLATE/MATCH PLATE INSTALLATION
- GE 3200K WHITE LED CONTOUR INSTALLED BENEATH ALUMINUM CONTOUR COVER, ON SIDES AND BOTTOM TO ILLUMINATE REVEAL.
- POLE COVER: ALUMINUM FRAME CONSTRUCTION
- REVEAL INCLUDED WITH POLE COVER
- DIRECT BURY POLE NOT INCLUDED



RETENTION DETAIL
NOT TO SCALE

ITEM #	HEIGHT	LENGTH	DEPTH	PLATE SIZE	BOLT PATTERN	MAX. PIPE/TUBE SIZE	CENTER TUBE SIZE	PERIMETER ANGLE	ELECTRICAL	BOXED SQUARE FOOTAGE
	A	B	C							
COMIS-4X4DFFMR18AT015-S	4'-10 1/2"	4'-1"	30"	3/4" X 10" X 10"	8" X 8"	8" / 6"	3" X 3" X 1/8"	5" X 2 1/2" X 3/16"	(1) 20A/120V CIRCUIT	19.90
COMIS-6X5DFFMR18AT020-S	6'-5 1/2"	5'-4 7/8"	30"	3/4" X 12" X 12"	10" X 10"	10" / 8"	4" X 4" X 3/16"	5" X 2 1/2" X 3/16"	(1) 20A/120V CIRCUIT	34.92
COMIS-7X6DFFMR18AT025-S	7'-8 3/4"	6'-5 5/8"	30"	3/4" X 12" X 12"	10" X 10"	10" / 8"	4" X 4" X 3/16"	5" X 2 1/2" X 3/16"	(1) 20A/120V CIRCUIT	50.01

Customer:

COMFORT INN & SUITES

Date:

05/13/20

Prepared By:

AP/JW/RA

Modeled By:

RS

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

File Name:

COMIS REGENT MID-RISE SIGNS

Revision:

6

persona
SIGNS | LIGHTING | IMAGE

DISTRIBUTED BY SIGN UP COMPANY
700 21st Street Southwest
PO Box 210
Watertown, SD 57201-0210
1.800.843.9888 • www.personasigns.com

700 21st St SW
PO Box 56
Watertown, SD 57201-0056
Phone: 800.843.9888
Fax: 800.843.9890

PROJECT: Comfort Inn & Suites

Name: Comfort Inn & Suites, Albuquerque, NM
Address: 5811 Signal Ave. NE - Albuquerque, NM 87113
Project Number: 171012

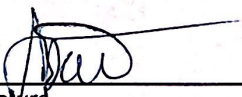
OWNER/LANDLORD: Arun Patel

Company Name: Rundra LLC
Representative Name: Arun Patel
Address: 5811 Signal Ave. Albuquerque, NM 87113
Phone Number: 505-263-1794
Email:

I, ARUN PATEL, am the Owner or the representative for the Owner/Landlord of the above listed company and/or project gives permission to: Persona, Inc. Watertown, SD to perform any and all sign work associated with the above referenced project location.

I approve of the sign drawings as submitted.

I further authorize: Persona, Inc. Watertown, SD and/or its representative to obtain any and all permits for this project.



Signature

10/29/2020

Date

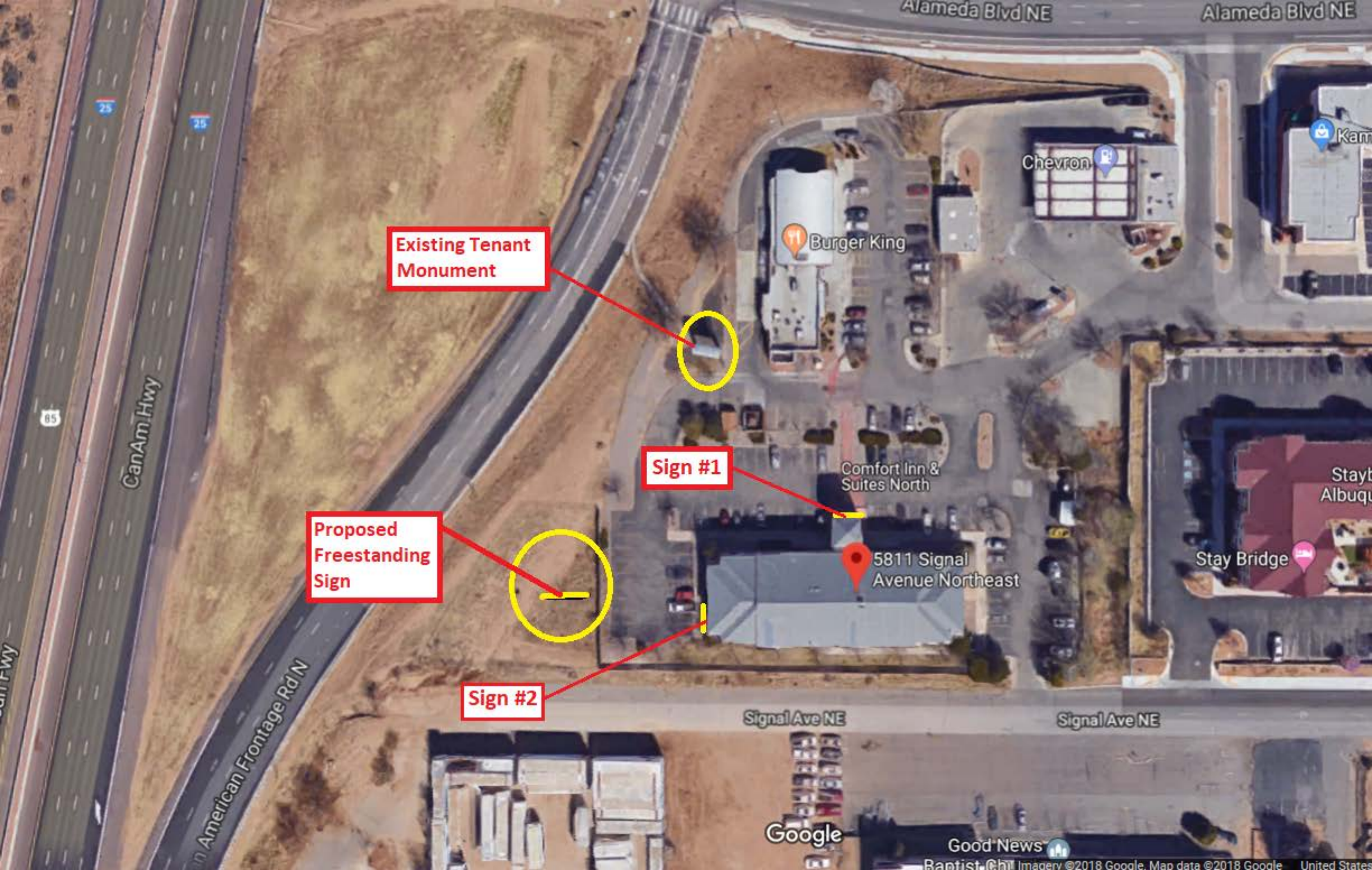
State of _____)

)SS

County of _____)

Before me, _____ the undersigned notary public, this day personally appeared _____ known to me or through _____ (description of identity card or other document) to be the person who name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____, 20_____.



Existing Tenant Monument

Sign #1

Proposed Freestanding Sign

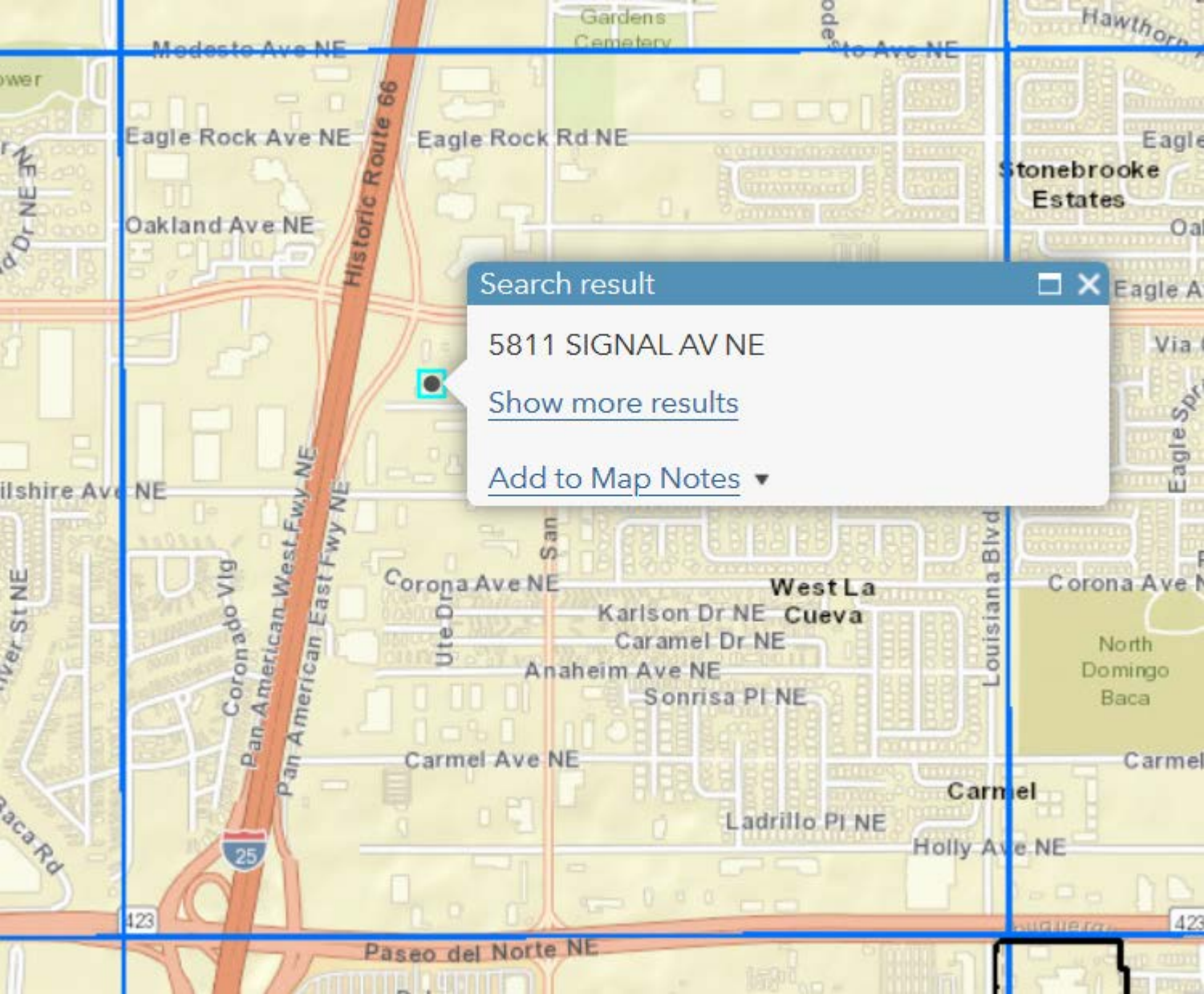
Sign #2

Comfort Inn & Suites North

5811 Signal Avenue Northeast

Stay Bridge

Staybridge Suites Albuquerque



Search result



5811 SIGNAL AV NE

[Show more results](#)

[Add to Map Notes](#) ▼