# Albuquerque



## **DEVELOPMENT REVIEW APPLICATION**

Effective 4/17/19

Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.							
Administrative Decisions	Decisions Requiring a Po	ublic Meeting or Hearing	Policy Decisions				
☐ Archaeological Certificate (Form P3)	☐ Site Plan – EPC including any Variances – EPC  ☐ Adoption or Amendment of Comprehensive						
☐ Historic Certificate of Appropriateness – Minor (Form L)	☐ Master Development Pl	an (Form P1)	☐ Adoption or Amendment of Historic Designation (Form L)				
☐ Alternative Signage Plan (Form P3)	☐ Historic Certificate of Ap (Form L)	ppropriateness – Major	☐ Amendment of IDO Text (Form Z)				
☐ Minor Amendment to Site Plan (Form P3)	☐ Demolition Outside of H	PO (Form L)	☐ Annexation of Land (Form Z)				
☐ WTF Approval (Form W1)	☐ Historic Design Standar	ds and Guidelines (Form L)	☐ Amendment to Zoning Map – EPC (Form Z)				
	☐ Wireless Telecommunic (Form W2)	cations Facility Waiver	☐ Amendment to Zoning Map – Council (Form Z)				
			Appeals				
			☐ Decision by EPC, LC, ZHE, or City Staff (Form				
ADDI LOATION INFORMATION			(A)				
Application Information	10- 116		Phone: 505-71-7-17911				
	dra, LLC.		Phone: 505-263-1794  Email:				
Address: 5811 Signal Av	re. NE	State: N M	Zip: 8-7//3				
	108-0-211		Phone: 505-228-2031				
	te Signs, LL	Ca	Email: ABQLED Caolo com				
Address: 10433 Raifh Ave. NE Email: ABQLEDEao.  City: Albq. State: NM. Zip: 87112							
Section of the sectio							
BRIEF DESCRIPTION OF REQUEST							
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)							
Lot or Tract No.: 22A Block: 12 Unit:							
Subdivision/Addition: N ABQ Acres	s Tr A Unit B	MRGCD Map No.:	UPC Code: 1018864198331204				
Zone Atlas Page(s): C18		R-C	Proposed Zoning:				
# of Existing Lots:	# of Proposed Lots:		Total Area of Site (acres):				
LOCATION OF PROPERTY BY STREETS							
Site Address/Street: 5811 Signal Ave. NE Between: Pan American Frey and: San Pedro							
CASE HISTORY (List any current or prior projection)							
Signature:							
Printed Name: Alan White							
FOR OFFICIAL USE ONLY							
Case Numbers Actio	n Fees	Case Numbers	Action Fees				
SI-2020-01232 AA	\$50						
Meeting/Hearing Date:			Fee Total: \$50				
Staff Signature: Vanessa A Segu	ıra	Date: 10/30/2020	Project # PR-2020-004648				

#### FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

ingle PDF file of the complete application including all plans and documents being submitted must be emailed to <u>PLNDRS@cabg.gov</u> or to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.
<ul> <li>INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS</li> <li>Letter of authorization from the property owner if application is submitted by an agent</li> <li>Zone Atlas map with the entire site clearly outlined and labeled</li> </ul>
ARCHEOLOGICAL CERTIFICATE  Archaeological Compliance Documentation Form with property information section completed Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB  Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)  Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded  Copy of the Official Notice of Decision associated with the prior approval  Three (3) copies of the proposed Site Plan, with changes circled and noted  Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.
MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO  Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)  Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded  Copy of the Official Notice of Decision associated with the prior approval  Three (3) copies of the proposed Site Development Plan, with changes circled and noted  Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.
ALTERNATIVE SIGNAGE PLAN  Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)  Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)  Required notices with content per IDO Section 14-16-6-4(K)(6)  Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives  Sign Posting Agreement

I, the applicant or agent, acknowledge that if scheduled for a public meeting or hearing, if rec	any required information is not submitted with t juired, or otherwise processed until it is complete.	his application, the application will not be
Signature:		Date: 7/14/20
Printed Name: Alan White		☐ Applicant or ☐ Agent
FOR OFFICIAL USE ONLY		
Project Number:	Case Numbers	The state of the s
PR-2020-004648	SI-2020-01232	
	-	17.06
Staff Signature:		W. C. C.
Date:		The state of the s

## **GENERAL NOTES:** All design, fabrication, installation and construction shall conform to the following specifications, unless specifically noted otherwise on the drawing: The 2015 International Building Code American Concrete Institute Building Code Requirements for Reinforced Concrete (318–14). American Institute of Steel Construction, Inc Manual of Steel Construction (13th Edition). · American Welding Society ANSI/AWS D1.1 Structural Welding Code — Steel 2. All steel components shall be as listed below, unless noted otherwise: All rolled shapes, plates and bars shall be ASTM A36, or equal. All pipe shall meet the requirements of ASTM A53, Type S or E, Gr B, or ASTM A500, Gr B. All structural tubing shall be ASTM A500, Grade B, or equal. All bolted connections shall be made with ASTM A325 Bolts and shall be installed as per All exposed materials shall be properly protected from weathering and/or corrosion

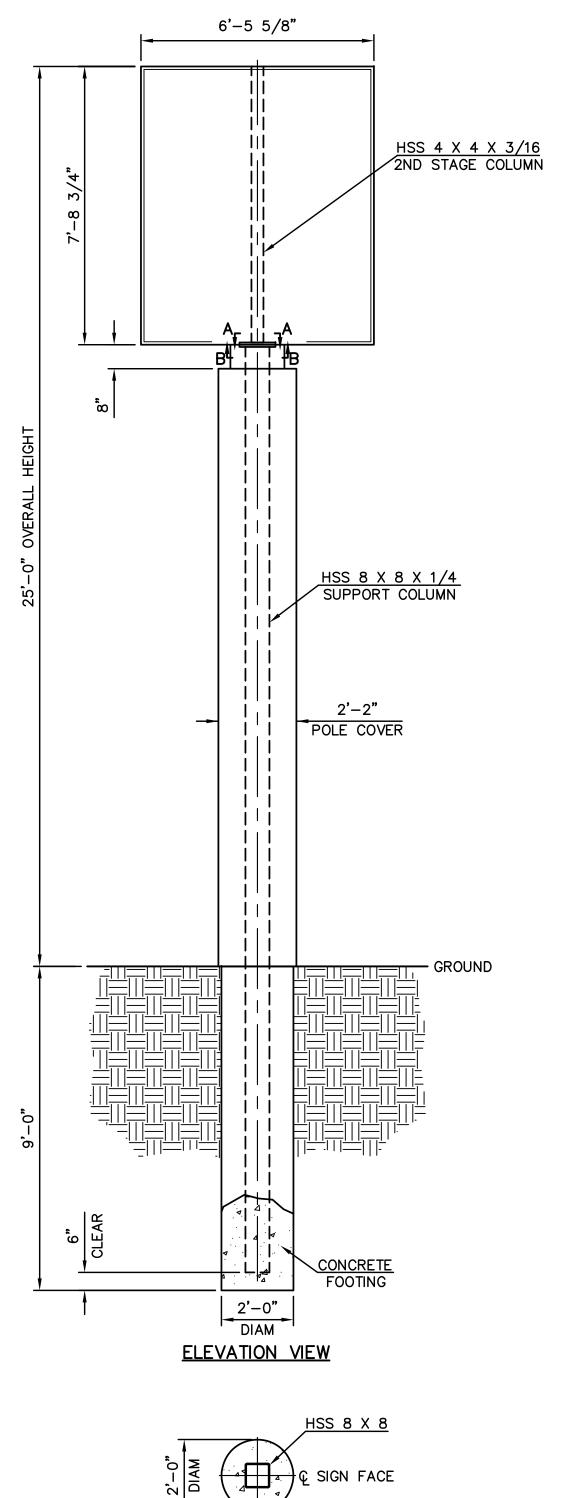
- 3. All field welds shall be made by a welder certified in the specified position.
- · All welds shall be made with E70XX electrode,
- All welds shall be made in a sequence that will balance the applied heat of welding while the welding progresses.
- 4. All concrete shall have a minimum compressive strength at 28 days of 3000 psi.
- Signage may be installed on the structure after a minimum curing time of 3 days, provided the curing process has been properly maintenanced in accordance with ACI 318—14.
- No steel reinforcement is required in cube or auger style footings where the support column is embedded directly to the bottom of the footing.
- 6. The structure has been designed to withstand a 115 mph (3—sec gust) design wind speed with a maximum design pressure of 41.6 psf according to ASCE 7—10. (Exposure C — Risk Cat. II)
- The design pressure shown is prior to the 0.6 ASD design factor being applied per ASCE 7-10. If the proposed structure is located in the steep hill, or any other geographical feature that may affect the wind flow around the sign, the installer shall contact Cornerstone for
- The foundation has been designed assuming the following average soil conditions:

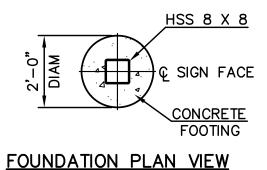
potential redesign or re-evaluation.

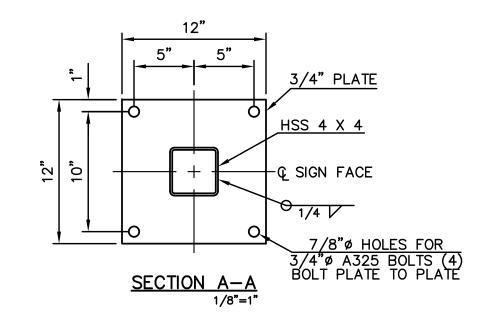
- Allowable Lateral Bearing Pressure of 150 psf/ft (This value is used for cube and auger footings.) The soil allowable is multiplied by two for isolated footing as per IBC 1806.3.4.
- · 150 psf/ft corresponds to sand, silty sand, clayey sand, silty gravel, clayey gravel or equal.
- If soil conditions other than those assumed are encountered (including soft soils, unstable or collapsing soils, expansive soils, organic materials, groundwater, adjacent utilities, or any other condition of potential concern) cease excavation immediately and contact Cornerstone so that the foundation design can be re-evaluated.
- · If the structure is to be located in the proximity of a building or any other structure, Cornerstone shall be contacted prior to installation to evaluate any potential impact on the adjacent footings.
- If the structure is located on the side or top of a slope in excess of 3:1, the installer shall contact Cornerstone for re—evaluation. The foundation shall not be placed in or near a fill slope without Cornerstone's approval.
- All concrete shall be placed in direct contact with undisturbed soil. There shall be no backfilled soil placed in or around the foundation without written approval from Cornerstone.
- 8. Cornerstone is in no way responsible for the safety of the work site during installation. The installer shall take appropriate measures to make sure that the installation of the foundation and the erection of the structure is performed using methods in compliance with applicable OSHA regulations. with applicable OSHA regulations.
- If existing and proposed conditions are not as detailed in this design drawing the installer shall cease work and notify Cornerstone immediately. Cornerstone will not be performing on-site the responsibility of the installer, the structure owner, and the property owner to identify the on—site conditions and to contact Cornerstone with any discrepancies or concerns. It is the owner's responsibility to locate and mark all underground utilities.
- Any deviation from these plans or non-compliance with the general notes without written approval from Cornerstone will render the entire design to be void.

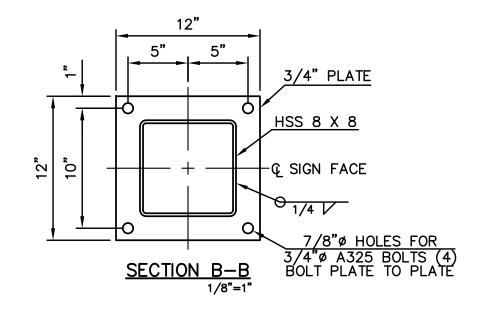
### **NOTICE:**

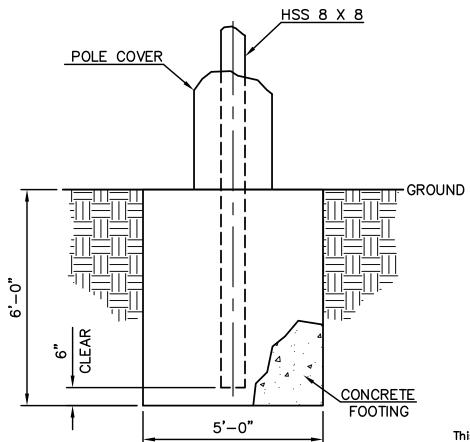
CORNERSTONE ENGINEERING, INC. IS RESPONSIBLE FOR COLUMN AND FOOTING DESIGN ONLY. SIGN CABINET COMPONENTS AND ATTACHMENT ARE THE RESPONSIBILITY OF THE SIGN MANUFACTURER.







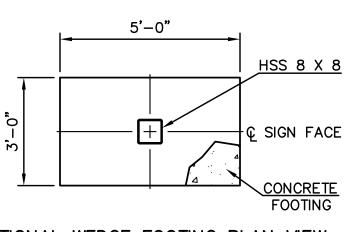




OPTIONAL WEDGE FOOTING

This item has been electronically signed and sealed by Andrew K. Lewis. P.E. on the date shown on the time stamp using a digital signature.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



OPTIONAL WEDGE FOOTING PLAN VIEW



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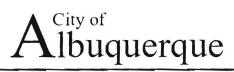
200080

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Project

PREPARED FOR:
PERSONA, INC.
Box 210 - Watertown, SD 5

NM P.E. # 15930





## **DEVELOPMENT REVIEW APPLICATION**

Effective 4/17/19

Administrative Decisions  Decisions Requiring a Public Meeting or Hearing  Archaeological Certificate of Appropriatoness – Minor  Historic Certificate of Appropriatoness – Minor  Historic Certificate of Appropriatoness – Minor  Alternative Signage Plan (Form P3)  Minor Amendment to Site (Form P3)  Appeals  Decisions — Manufacture (Form P3)  Appeals  Decisions — Manufacture (Form P3)  Minor Amendment of Comprehence  Appeals  Minor Amendment of Comprehence  Minor Amendment of District (Form P3)  Minor Amendment to Site (Form P3)  Mi	Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.							
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Commerce   Designation (Form 1)   Designation (Form 2)   Demonstrative Signage Plan (Form P3)   Demonstrate of Appropriateness – Major   Demonstrate of Loo Designation (Form 2)   Demonstrate of Do Test (Form 2)   Description of Do Test (Form 2)   Descr	☐ Archaeological Certificate (Form P3						Comprehensive	
Minor Amendment to Site Plan (Form P3)   Gram L)   Historic Design Standards and Guidelines (Form L1)   Annexation of Land (Form P3)   Historic Design Standards and Guidelines (Form L1)   Annexation of Land (Form P3)   Historic Design Standards and Guidelines (Form L1)   Annexation of Land (Form P3)   Historic Design Standards and Guidelines (Form L1)   Annexation of Land (Form P3)   Annexation of	Land Control of the C	ess – Minor	faster Development Pla	an (Form P1)				
Historic Design Standards and Guidelines (Form 1)	☐ Alternative Signage Plan (Form P3)		or a contract of the contract	propriateness – Major	□ Am	☐ Amendment of IDO Text (Form Z)		
Wireless Telecommunications Facility Waiver   Amendment to Zoning Map - Council (Form Z)	☐ Minor Amendment to Site Plan (For	rm P3) 🗆 🗅	emolition Outside of HI	PO (Form L)	☐ Anr	☐ Annexation of Land (Form Z)		
Appeals  Appeals  Decision by EPC. LC, ZHE, or City Staff (Form A)  Applicant Ar un Patel   Rudra   LLC.   Phone: 505-263-1794  Address: SBII Signal Ave. NE   Email:  City. Alag.   State: NM   Zip: 87113  Phone: 505-228-2031  Address: 10433 Rath Ave. NE   Email:  City. Alag.   State: NM   Zip: 87113  Phone: 505-228-2031  Address: 10433 Rath Ave. NE   Email: ABOLED@aot.com  Zip: 9711Z  Proprietary interest in Site: Sign Contractor   List all owners: Ar un Patel / Rudra   LLC.  Brills pessential of the state	☐ WTF Approval (Form W1)	ПН	listoric Design Standard	ds and Guidelines (Form L)	☐ Am	☐ Amendment to Zoning Map – EPC (Form Z)		
APPLICATION INFORMATION  Applicant: Ar un Partel   Rudra LLC  Applicant: Ar un Partel   Rudra LLC  Address: 581 Signal Ave. NE Email:  City: Alba.   State: NM Zip: 871/3  Professional/Agent (if any): Alan White Signa, LLC.   Phone: 505-228-2031  Address: 10433 Ray Ph. Ave. NE Email:  City: Alba.   Phone: 505-228-2031  Email:				ations Facility Waiver	□ Am	☐ Amendment to Zoning Map – Council (Form Z)		
APPLICATION INFORMATION  Applicant: Ar un Pate   Rudra LLC.  Address: SOI Signal Ave-NE Email:  City: Alba. State: NM Zip: 87113  Professional/Agent (if any): Alan White Signs, LLC.  British Description of REQUEST  Comfost Inn wishes to relinquest their spot on the tenant mornument of the Comfost Inn wishes to relinquest their spot on the tenant mornument of the Comfost Inn wishes to relinquest their spot on the tenant mornument of the Comfost Inn wishes to relinquest their spot on the tenant mornument of the Comfost Inn wishes to relinquest their spot on the tenant mornument of the Comfost Inn wishes and their spot on the tenant mornument of the Comfost Inn wishes and their spot on the Comfost Inn wishes and the Comfost Inn wishes Inn wishes and the Comfost Inn wishes Inn wishes and the Comfost Inn wishes Inn wis					Appea	ıls		
APPLICATION INFORMATION  Applicant: Arun Pate   Rudra LLC. Phone: 505-263-1794  Address: 5811 Signal Ave. NE Email: ASQLED Gaol. com  City. Alb. G. Phone: 505-228-2031  Edward: Alb. G. Phone: 505-228-2031  Email: ASQLED Gaol. com  City. Alb. G. State: N.M. Zip. 27112  Proprietary Interest in Site. Signal Ave. NE Email: ASQLED Gaol. com  City. Alb. G. State: N.M. Zip. 27112  Proprietary Interest in Site. Signal Ave. NE Email: ASQLED Gaol. com  City. Alb. G. State: N.M. Zip. 27112  Proprietary Interest in Site. Signal Ave. NE Block: And Fact. Signal Ave. Signal Gaol. Com  State: N.M. Zip. 27112  Briter Description of Requests  Comfort Tun. Wishesto. Punquist their spot on the tenant mornument of the existing legal description is circulal Attach a separate site if necessary.)  Lot of Tract No: 22A Block: I.Z. Unit:  Subdivision/Addition: N. A.D. C. A.D. Block: I.Z. Unit:  Subdivision/Addition: N. A.D. C. Broposed Zoning: NR-C Proposed Zoning:  ## of Existing Lots: Total Area of Site (acres):  LOCATION OF PROPERTY BY STREETS  Class History (List any current or prior project and case number(s) that may be relevant to your request.)  Signature: At Date: 10/27/20  Printed Name: Alan Wiff.  Case Numbers Action Fees Case Numbers Action Fees  SI-2020-01232 AA Beet Total:					□ Dec	cision by EPC, LC, ZHE	E, or City Staff (Form	
Applicant Ar un Patel   Rudra, LLC   Phone: 505-263-1794   Address: 5811 Signal Ave-NE   Email:  City: Albq:   State: NM   Zip: 871/3   Professional/Agent (if any): Alam White Signa, LLC.   Phone: 505-228-2031   Address: 10433 Ralph Ave. NE   Email: ABQLED@aols.com   City: Albq:   State: NM   Zip: 971/2   Proprietary Interest in Site: Sign Contractor   List all owners: Arun Patel   Rudra, Luc   BRIEF DESCRIPTION OF REQUEST   Contract I no tuishes to relinquish their spot on the tenent monument & erect their new freestanting sign tacing for atmospheric treeway   SITE INFORMATION (Accuracy of the existing legal description is crociall Attach a separate site if necessary)  Subdivision/Addition: N ADQ Acces Tr A Unit B   MRGCD Map No:   UPC Code/10/886419833/12040   Zone Allas Page(s): C 1 B   Existing Zoning: NR-C   Proposed Zoning:   of Existing Lots:   # of Proposed Lots:   Total Area of Site (acres):   LOCATION OF PROPERTY BY STREETS  Site Address/Street: 5811 Signal Ave. NE   Between: Ron American Fray ond: San Rosco   CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)  Signature: At   Date: 10/27/20   Printed Name: Alan White FOR OFFICIAL USE ONLY  Case Numbers   Action   Fees   Case Numbers   Action   Fees   SI-2020-01232   AA   Meeting/Hearing Date:   Fee Total:					A)			
Address: 5811 Signal Ave. NE  City: Albq.* State: NM Zip: 87113  Professional/Agent (if any): Alam White Signs, LLC. Phone, 505-228-2031  Address: 10433 Ralph Ave. NE Email: ABQLED Caols com  City: Albq.* State: NM Zip: 87112  Proposed y therest in Site: Sign Contractor  List all owners: Arun Patel / Rudra LLC  BRIEF DESCRIPTION OF REQUEST  Comfost Inntuishes to relinquish their spot on the tenant monument to the created their own free standing sign facing Ron American Freeway  SITE INFORMATION (Accuracy of the existing legal description is critical! Attach a separate sheet if necessary.)  Lot or Tract No: 22A  Block: 12 Unit:  Subdivision/Addition: N ABQ Acres Tr A Unit B MRGCD Map No: UPC Code: 101886419853120402  Zone Atlas Page(s): C 18 Existing Zoning: N R - C Proposed Zoning:  # of Existing Lots: # of Proposed Lots: Total Area of Site (acres):  LOCATION OF PROPERTY BY STREETS  Site Address/Street: 5811 Signal And N E Between: Ron American Froy. and San Redro  CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)  Meeting/Hearing Date: Fee Total:  Meeting/Hearing Date: Fee Total:	APPLICATION INFORMATION							
City: Albq:  Professional/Agent (if any): Alan White Signs, i.l.c.  Phone 505-228-2031  Email: ABQLED@aol. com  City: Albq:  State: N.M. Zip: 87112  Email: ABQLED@aol. com  City: Albq:  State: N.M. Zip: 87112  Email: ABQLED@aol. com  City: Albq:  Proprietary Interest in Site: Sign Con tractor  List all owners: Afrun Fatel / Rudra, i.l.c.  BRIEF DESCRIPTION OF REQUEST  Comfost Innitus is has to relinquish their sept on the tenent mornument of their own freestanding sign facing from American Freeway  SITE INFORMATION (Accuracy of the existing legal description is criticall Attach a separate site of increasary.)  Lot or Tract No.: 22A  Block: 12— Unit:  Subdivision/Addition: N. A.B.Q. Acres Tr. A. Unit B. MRGCD Map No.:  UPC Code: 101886419833120462  Zone Allas Page(s): C. L.B. Existing Zoning: N.RC. Proposed Zoning:  # of Existing Lots: Total Area of Site (acres):  LOCATION OF PROPERTY BY STREETS  Site Address/Street: 5.Bll. Signal Ave. N.B. Between: Ron American Froy. and: San Redo  CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)  Meeting/Hearing Date:  For Official USE ONLY  Case Numbers Action Fees Case Numbers Action Fees  SI-2020-01232 AA  Meeting/Hearing Date:  Fee Total:					Ph	one: 505-26	3-1794	
Professional/Agent (If any): Alam White Signs, LLC.  Phone: 505-228-2031  Address: 0433 Ralph Ave. NE  Email: ABQLED@aolocom  City: Alog.  Proprietary Interest in Site: Sign Contractor  BRIEF DESCRIPTION OF REQUEST  Contractor  Contractor  Contractor  List all owners: Arun Patel / Rudra / LLC  BRIEF DESCRIPTION OF REQUEST  Contractor  Contractor  Contractor  Contractor  List all owners: Arun Patel / Rudra / LLC  BRIEF DESCRIPTION OF REQUEST  Contractor  Contractor  Contractor  List all owners: Arun Patel / Rudra / LLC  BRIEF DESCRIPTION OF REQUEST  Contractor  Contractor  Contractor  Contractor  List all owners: Arun Patel / Rudra / LLC  BRIEF DESCRIPTION OF REQUEST  Contractor  Contractor  Contractor  Contractor  List all owners: Arun Patel / Rudra / LLC  BRIEF DESCRIPTION OF REQUEST  Contractor  Contractor  List all owners: Arun Patel / Rudra / LLC  BRIEF DESCRIPTION OF REQUEST  Contractor  Contractor  List all owners: Arun Patel / Rudra / LLC  Brook on the tenant mornument of the current of th	1 1 1	al Ave.	NE		En	nail:		
Email: ABQLED@aol.com  City: Alb Q. State: AM Zip: 27/12  Proprietary Interest in Site: Sign Contractor  BRIEF DESCRIPTION OF REQUEST  Combot Tun wishes to relinquish their spot on the tenent monument of the creating standing soon facing Pan theory and treeway  SITE INFORMATION (Accuracy of the existing legal description is crotiall attach a separate steet if necessary.)  Lot or Tract No.: 22A  Subdivision/Addition: N ABQ Acces Tr A With B MRGCD Map No.: UPC Code: 10/886419833120402  Zone Atlas Page(s): C 1B Existing Zoning: NR-C Proposed Zoning:  # of Existing Lots: # of Proposed Lots: Total Area of Site (acres):  LOCATION OF PROPERTY BY STREETS  Site Address/Street: 5811 Signal Area. NE Between: Ran Arred Conference and: San Radro  CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)  Signature: A Date: 10/27/20  Printed Name: A Lan White  FOR OFFICIAL USE ONLY  Case Numbers Action Fees Case Numbers Action Fees  SI-2020-01232 AA  Meeting/Hearing Date: Fee Total:	City: Alba.							
State: A M Zip: £711Z  Proprietary Interest in Site: Sign Contractor  BRIEF DESCRIPTION OF REQUEST  Comfost Inn to 15 hes to relinquish their spot on the tenent monument of erect their own free standing sign facing Ran American treeway  SITE INFORMATION (Accuracy of the existing legal description is criticall Attach a separate sheet if necessary.)  Lot or Tract No.: 22A  Block: 12  Unit:  UPC Code: 101886419833120402  Zone Atlas Page(s): Cib Existing Zoning: NR-C Proposed Zoning:  # of Existing Lots:  LOCATION OF PROPERTY BY STREETS  Site Address/Street: 5811 Signal And NE Between: Ran American Frey and San fed to  CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)  Signature:  Printed Name: Alan White  FOR OFFICIAL USE ONLY  Case Numbers Action Fees Case Numbers Action Fees  SI-2020-01232 AA  Meeting/Hearing Date:  Fee Total:	FIVE	n White	Signs, LLC	ep All Market	Ph			
Proprietary Interest in Site: Sign Contractor  BRIEF DESCRIPTION OF REQUEST  Comfost Innitus Shes to relinquist their spot on the tenant monument at executing stan facing from American Freeway.  SITE INFORMATION (Accuracy of the existing legal description is critical) Attach a separate sheet if necessary.)  Lot or Tract No.: 22A  Block: 12  Unit:  Subdivision/Addition: N ABB Acres Tr A Unit B MRGCD Map No.:  UPC Code: 101886419833120402  Zone Atlas Page(s): C1B  Existing Zoning: NR-C  Proposed Zoning:  # of Existing Lots:  # of Proposed Lots:  Total Area of Site (acres):  LOCATION OF PROPERTY BY STREETS  Site Address/Street: 5BIL Signal Ane. NE  Between: Ron American Frey.  and: San Redro  CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)  Signature: Alan white  For OFFICIAL USE ONLY  Case Numbers  Action Fees  Case Numbers  Action Fees  Case Numbers  Action Fees  Meeting/Hearing Date:  Fee Total:	Address: 10433 Ralph	Ave.	NE		En		Jeaolo com	
BRIEF DESCRIPTION OF REQUEST  Comfost Inn wishes to reling withheir spot on the tenant monument of expectations of the existing legal description is cruciall attach a separate sheet if necessary.)  Lot or Tract No.: 22A  Block: 12  Unit:  Subdivision/Addition: N ABB Acres Tr A With B MRGCD Map No.:  UPC Code: 101886419853120402  Zone Allas Page(s): C 1B  Existing Zoning: NR - C  Proposed Zoning:  # of Proposed Lots:  LOCATION OF PROPERTY BY STREETS  Site Address/Street: 5811 Signal Alv. NE  Between: Ran Americanticy.  And: San Redro  CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)  Between: Ran White  Printed Name: Alan White  FOR OFFICIAL USE ONLY  Case Numbers  Action  Fees  Case Numbers  Action  Fees  Meeting/Hearing Date:  Fee Total:		State: MM						
Centrost Inn wishes to relingwish their spot on the tenant monument of the continuous theorem their and free standing soon facing fan American treeway.  SITE INFORMATION (Accuracy of the existing legal description is cruciall Attach a separate sheet if necessary.)  Lot or Tract No.: 22A  Subdivision/Addition: N ABR Acres Tr A With B MRGCD Map No.: Upic Code:/0/886419833120402  Zone Atlas Page(s): CIB Existing Zoning: NR-C Proposed Zoning:  # of Existing Lots: # of Proposed Lots: Total Area of Site (acres):  LOCATION OF PROPERTY BY STREETS  Site Address/Street: 5811 Signal Are NE Between: Ron American tray. and: San Rodro  CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)  Signature: At Date: 10/27/20  Printed Name: Alan White  Gase Numbers Action Fees Case Numbers Action Fees  SI-2020-01232 AA  Meeting/Hearing Date: Fee Total:	Proprietary Interest in Site: Sign Contractor List all owners: Arun Patel/Rudsa, LLC							
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Site Address/Street: 5 Bll Signal Ave. NE Between: Pan American Frey and: San Redro  CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)  Signature: Alan White □ Date: 10/27/20  Printed Name: Alan White □ Applicant or □ Agent  FOR OFFICIAL USE ONLY  Case Numbers Action Fees Case Numbers Action Fees  SI-2020-01232 AA  Meeting/Hearing Date: Fee Total:	Zone Atlas Page(s): C18	E	Existing Zoning:	<b>₹-</b> C	Proposed Zoning:			
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SI-2020-01232 AA  Meeting/Hearing Date: Fee Total:								
Meeting/Hearing Date: Fee Total:	Case Numbers	Action	Fees	Case Numbers		Action	Fees	
Meeting/Hearing Date: Fee Total:	SI-2020-01232	AA						
Staff Signature: Project # PR-2020-004648	Meeting/Hearing Date:				Fee	e Total:		
	Staff Signature:			Date:	Pro	pject # PR-2020	-004648	

Submitted By:	Jon Wiley
Project Number:	171012
Sales Rep:	Jordan Gabriel
Sales Order:	238968
Quote Number:	899770
Flag:	COMFORT INN & SUITES
Property Code:	NM417
Location Address:	5811 Signal Ave. NE
Location City:	Albuquerque
Location State:	NM
Location Zip Code:	87113

\*\*\*\*All cells must be entered, if information doesn't apply, please enter N/A.

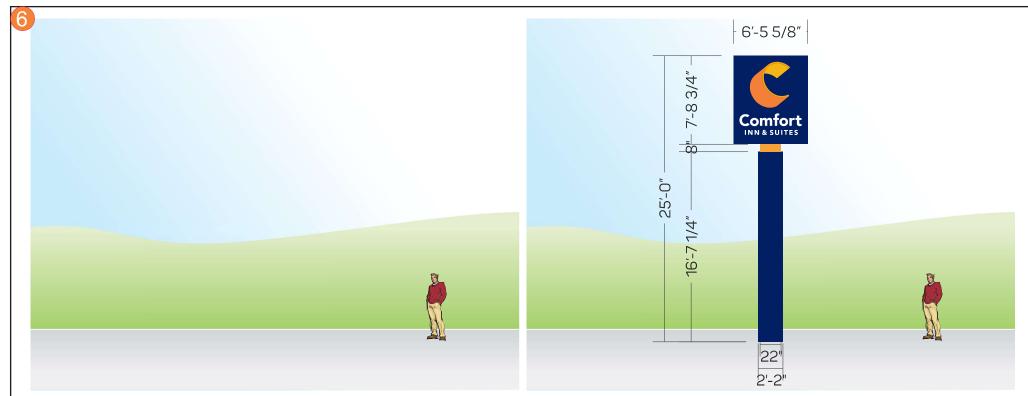
Need By Date:

New Pole and Foundation Engineering:	Main Cabinet	Second Cabinet	Third Cabinet			
Are Hard Copies Needed? Qty? Address sending to? (if						
not Persona)	(3) Alan White Signs 10	( 3 ) Alan White Signs 10433 Ralph Ave. NE AlbuquerqueNM 87112				
Cabinet dimensions of Proposed Sign(s)?	7' 8 3/4" x 6' 5 5/8" x 30"					
OAH of Proposed Sign?	25'					
Width of Pole Cover? (NA if None)	2' 2"					
Distance between cabinets?						
Steel?	No Preference					
Foundation Type?	Caisson					
Anchorage?	Direct Bury					
Attachment Method (Specify if using plate other than						
plate listed on drawing)						

2/18/2020

Construction Print of Cabinet(s)	Please attach to E-mail when sending		
Attach Precalc: (If applicable)	Please attach to E-mail when sending		
Rendering of proposed structure:	Please attach to E-mail when sending		
MCD Road Signs? (Soil Report Required)			
Additional Information			

<sup>\*\*\*</sup>Column B & C only for poles with more than one cabinet. Use column A for top cabinet, B for next highest, C for next highest. If there are more than 3 Cabinets use additional notes for that information clearly noted. Same method for attachment method.



BEFORE PICTURE PROPOSED SIGNAGE

**APPROVAL BOX - PLEASE INITIAL** 

CUSTOMER APPROVAL

Date

NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer:
COMFORT INN & SUITES

Date:
12NOV19

Prepared By:
SC

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the obsest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

Eng:
ALBUQUERQUE, NM

171012 - R4 - ALBUQUERQUE, NM

-



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700 21st Street Southwest
PO Box 210
Watertown, SD 57201-0210
1.800.843.9888 • www.personasigns.com

Dear City of Albuquerque,

I, Arun Patel, am the owner of the Comfort Inn & Suites on Alameda. I wanted to inform you that the new pole sign is in replacement of the old sign that was shared with Burger King and Chevron. We plan on having the old Comfort Inn sign removed. By no means is this an additional sign, therefore we will still have 3 total signs (which we currently already have).

If you have any questions or concerns please call (505) 263-1794.

Kind Regards, Arun Patel

#### **Jon Wiley**

From: Jordan Gabriel

Sent: Tuesday, February 4, 2020 1:53 PM

**To:** Jon Wiley

Subject: RE: Albuquerque, NM project # 171012 Comfort Inn & Suites

Property Owner: Arun Patel

Property Address: 5811 Signal Ave NE

Business Name: Rudra LLC

Business Address: 5811 Signal Ave NE Property Phone Number: (505) 384-6931 Owners Phone Number: (505)263-1794

From: Jon Wiley <jwiley@personasigns.com>
Sent: Tuesday, February 4, 2020 12:59 PM
To: Jordan Gabriel <jgabriel@personasigns.com>

Subject: Albuquerque, NM project # 171012 Comfort Inn & Suites

Jordan the installer will need the following info for permits

Property owners name, address, phone number Business owners name, address, phone number.

#### **Thanks**



#### Jon Wiley

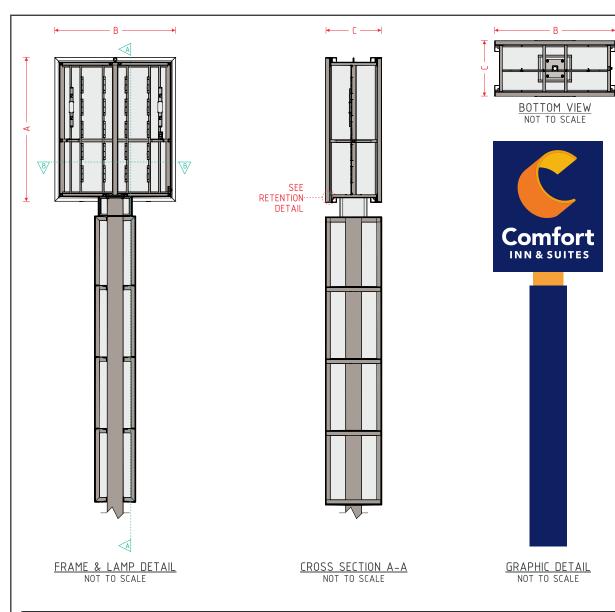
Installation Specialist

800.843.9888 ext.197 personasigns.com









#### SPECIFICATIONS:

- REVERSE ANGLE IRON FRAME CONSTRUCTION
- BLEED FACES
- EXTERIOR FINISH:

CABINET: PAINT PANTONE® PLUS SERIES 1375 C GOLD CONTOUR COVERS: PAINT PANTONE® PLUS SERIES 2757 BLUE, SATIN FINISH

REVEAL: PAINT PANTONE® PLUS SERIES 1375 C GOLD, SATIN FINISH POLE COVER: PAINT PANTONE® PLUS SERIES 2757 C BLUE, SATIN FINISH

- INTERIOR FINISH: PAINT REFLECTIVE WHITE
- U.L. LISTED
- SWITCH LOCATED AT END OF CABINET
- .063" ALUMINUM SKIN ON CABINET
- .063" ALUMINUM SKIN ON POLE COVER
- WEDGE CLAMP RETENTION FOR FLEX FACE
- REMOVABLE SERVICE PANEL FOR SERVICE ACCESS
- GE 7100K WHITE LED'S AS REQUIRED
- 3M PANAGRAPHICS III FLEXIBLE FACE
- DIGITALLY PRINTED DECORATION WITH OPAQUE BACKGROUND (1ST SURFACE)
- PLATE/MATCH PLATE INSTALLATION
- GE 3200K WHITE LED CONTOUR INSTALLED BENEATH ALUMINUM CONTOUR COVER, ON SIDES AND BOTTOM TO ILLUMINATE REVEAL.
- POLE COVER: ALUMINUM FRAME CONSTRUCTION
- REVEAL INCLUDED WITH POLE COVER
- DIRECT BURY POLE NOT INCLUDED



RETENTION DETAIL NOT TO SCALE

ITEM #	HEIGHT	LENGTH	DEPTH	PLATE SIZE	B OLT PATTERN	MAX. PIPE/TUBE SIZE	CENTER TUBE SIZE	PERIMETER ANGLE	ELECTRICAL	BOXED SQUARE FOOTAGE
	Α	В	С							TOOTAGE
COMIS-4X4DFFMR18ATO15-S	4'-10 1/2"	4'-1"	30"	3/4" X 10" X 10"	8" X 8"	8" / 6"	3" X 3" X 1/8"	5" X 2 1/2" X 3/16"	(1) 20A/120V CIRCUIT	19.90
COMIS-6X5DFFMR18ATO20-S	6'-5 1/2"	5'-4 7/8"	30"	3/4" X 12" X 12"	10" X 10"	10" / 8"	4" X 4" X 3/16"	5" X 2 1/2" X 3/16"	(1) 20A/120V CIRCUIT	34.92
COMIS-7X6DFFMR18AT025-S	7'-8 3/4"	6'-5 5/8"	30"	3/4" X 12" X 12"	10" X 10"	10" / 8"	4" X 4" X 3/16"	5" X 2 1/2" X 3/16"	(1) 20A/120V CIRCUIT	50.01

Customer:

**COMFORT INN & SUITES** 

Prepared By: Date: 05/13/20 AP/JW/RA Modeled By: RS

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

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File Name: **COMIS REGENT MID-RISE SIGNS** 

Revision 6



700 21st St SW P0 Box 56 Watertown, SD 57201-0056 Phone: 800.843.9888 Fax: 800.843.9890

PROJECT: Comfort Inn & Suites	
Name: Comfort Inn & Suites, Al. Address: 5811 Signal Ave. NE - A Project Number: 171012	buquerque, NM Albuquerque, NM 87113
OWNER/LANDLORD: Arun Patel Company Name: Rundra LLC Representative Name: Arun Patel Address: 5811 Signal Ave. Alborate Number: 505-263-1794 Email:	uquerque, NM 87113
to perform any and all sign work associated with	Owner or the representative for the Owner/Landlord spermission to: Persona, Inc. Watertown, SD the above referenced project location.
I approve of the sign drawings as submitted.	
I further authorize: <u>Persona, Inc. Watertown</u> permits for this project.	and/or its representative to obtain any and all
Signature	10/29/2020 Date
State of	
County of)	SS
Before me, known to me or through	the undersigned notary public, this day personally appeared
	scribed to the foregoing instrument and acknowledged to me
that he executed the same for the purposes and considerati	on therein expressed.

day of

Given under my hand and seal of office this



