

Hotel, Gas Station,
Auto Sales, Restaurant
North Alby Acres

PLANS/PLATS ON FILE

FILE DESC:

10-4-94

Z

94-87

PLANS/PLATS

8

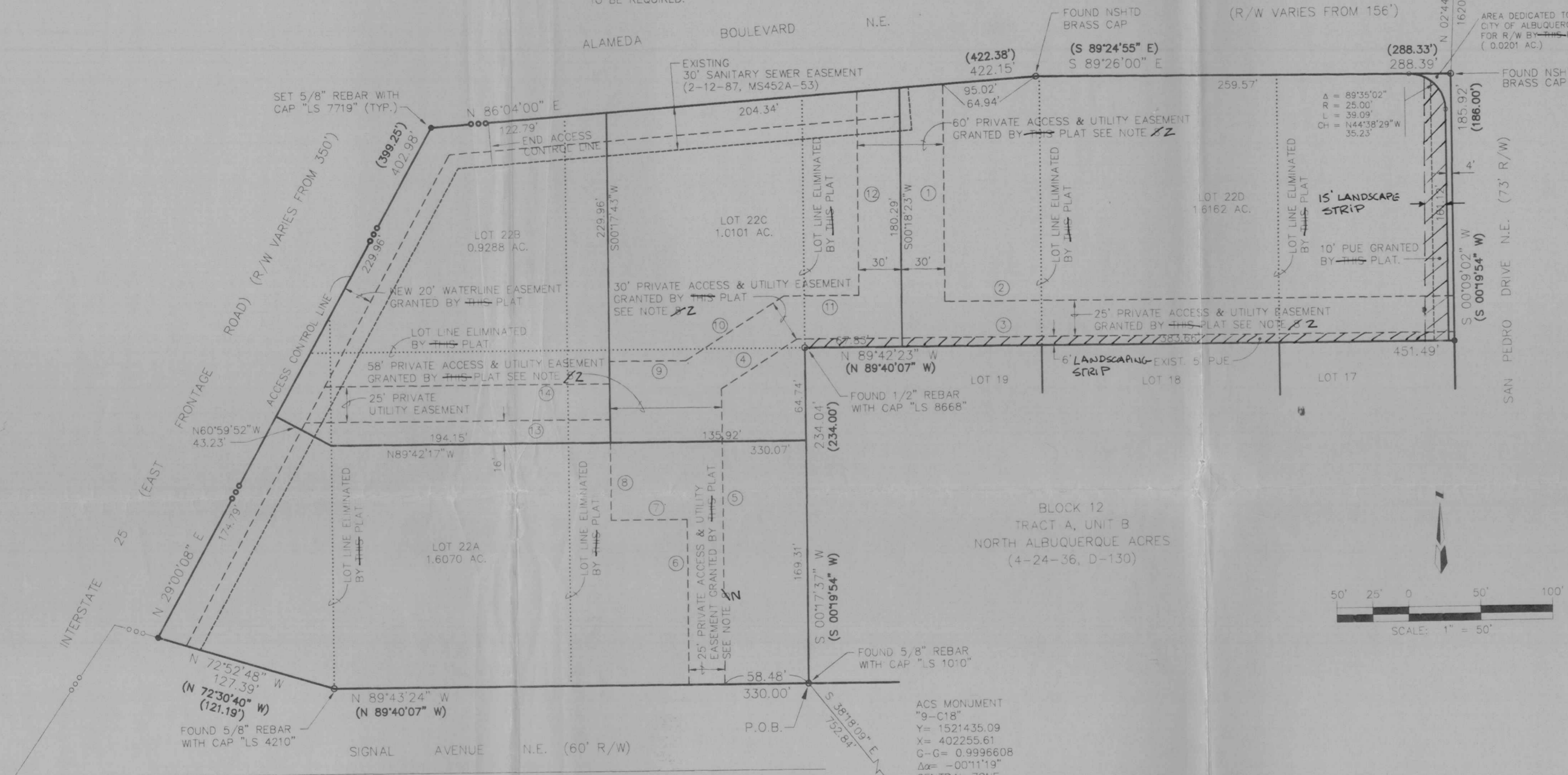
EASEMENT DATA

① S00°18'23"W, 151.51'	⑦ N89°42'17"W, 52.44'	⑬ N89°42'17"W, 211.87'
② N89°42'23"W, 353.57'	⑧ S00°17'43"W, 54.35'	⑭ N89°42'17"W, 198.18'
③ N89°42'23"W, 457.21'	⑨ N89°42'17"W, 52.74'	
④ N57°33'38"E, 62.69'	⑩ N57°33'38"E, 81.59'	
⑤ S00°17'43"W, 206.16'	⑪ N89°42'23"W, 52.38'	
⑥ S00°17'43"W, 114.98'	⑫ S00°18'23"W, 142.07'	

NOTES

1. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO LOT 22A, 22B, 22C, AND 22D MUST BE VERIFIED AND COORDINATED WITH PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE, VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.
 2. PRIVATE ACCESS EASEMENTS SHALL BE FOR THE MUTUAL BENEFIT OF LOTS 22A, 22B, 22C AND 22D AND ARE ACCOMPANIED BY JOINT AND EQUAL RESPONSIBILITY FOR MAINTENANCE.

3. A PORTION OF THIS PROPERTY IS WITHIN A 100 YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM "FLOOD INSURANCE RATE MAP" (COMMUNITY PANEL NO. 350002-0010-C EFFECTIVE OCT. 14, 1983). ANY DEVELOPMENT OF THIS PROPERTY MUST CONFORM TO THE ALBUQUERQUE DRAINAGE ORDINANCE. THE PROPERTY MAY BE SUBJECT TO THE FLOOD INSURANCE REQUIREMENTS OF THE FEDERAL INSURANCE MANAGEMENT AGENCY (FEMA), UNTIL SUCH TIME THAT A MAP REVISION IS APPROVED BY FEMA FOR EXISTING DRAINAGE IMPROVEMENTS, FLOOD INSURANCE IS LIKELY TO BE REQUIRED.



SITE PLAN FOR SUBDIVISION
 LOTS 22A, 22B, 22C, AND 22D
 BLOCK 12
 TRACT A, UNIT B
 NORTH ALBUQUERQUE ACRES
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 13
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 1994

SITE DEVELOPMENT PLAN
 Richard Deane
 Traffic Engineer, Transportation Division
 Date: 10-09-99
 Carmen Chavez
 Parks and General Services Department
 Date: 10-4-94
 Robert W. Kane
 Public Works, Water Utilities Division
 Date: 10-4-94
 Fred J. Corbin
 City Engineer, Engineering Division, FECA
 Date: 10-4-94
 Jack Cloud
 Planning Department
 Date: 10-9-94

general notes
 contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for routing, blockouts, stubs, blocking for equipment, etc.
 if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings
 the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents
 contractor to verify all dimensions prior to construction
 contractor to verify all existing on site conditions prior to construct.

1 Site Plan for Subdivision
 Scale: 1"=50'-0"

ZONING

EXISTING	: SU-2 FOR AUTO SALES
PROPOSED	: SU-2 FOR MOTEL, SERVICE STATION, AND RESTAURANT AS CONTROLLED BY THE SHOPPING CENTER REGULATIONS FOR LOTS 22A-22C

FLOOR AREA RATIO

MAXIMUM 35% COVERAGE

PARKING REQUIREMENTS

RESTAURANT	: 1 CAR/4 SEATS, 1 CAR/200 SF	: 25+10=35
MOTEL	: 1 CAR/1 RENTAL UNIT	: 69
GAS STATION	: 1 CAR/200 SF	: 8
TOTAL PARKING REQUIRED	: 112	
TOTAL PARKING PROVIDED	: 104	
STANDARD STALL (9'x20')	: 104	
HANDICAP PARKING (13'x20')	: 10	
H.C. VAN PARKING (16'x20')	: 1	
TOTAL	: 115	

BICYCLE PARKING PER CODE TO BE PROVIDED

LIGHTING

1.5 FOOTCANDLE MINIMUM ALL PARKING AREAS.
 LIGHT POLE 25' HEIGHT MAX.

DESIGN CRITERIA

MAXIMUM BUILDING HEIGHT : 40' FOR MOTEL
 26' ALL OTHERS, AS GOVERNED BY THE COMPREHENSIVE ZONING CODE

MINIMUM SETBACK : 20' FROM PROPERTY LINES

BUILDING MATERIALS:

WALLS: STUCCO - LIGHT SALMON/TAN
 METAL FASCIA PANELS - SILVER GREY
 METAL COLUMNS - SILVER GREY

ROOFING: ROOF FORMS AND MATERIALS:
 PITCHED STANDING SEAM METAL ROOF (SILVER GREY) WITH CURVILINEAR ELEMENTS
 FLAT ROOF WITH METAL FASCIA PANELS
 VAULTED METAL ROOF (SILVER GREY)

GLAZING: BLUE/GREEN GLAZING IN SILVER GREY FRAMES

SIGNAGE: ILLUMINATED CHANNEL LETTERING AND CANNED LOGO SIGNS WITH 25sf MAXIMUM SIZE

LANDSCAPING

MINIMUM 15% FOR EACH LOT
 ALL LANDSCAPING SHALL HAVE AUTOMATIC CONTROLS AND BE MAINTAINED BY PROPERTY OWNERS
 EXCESS STREET R.O.W. AND FREEWAY R.O.W. WILL BE LANDSCAPED

LANDSCAPING MATERIALS:

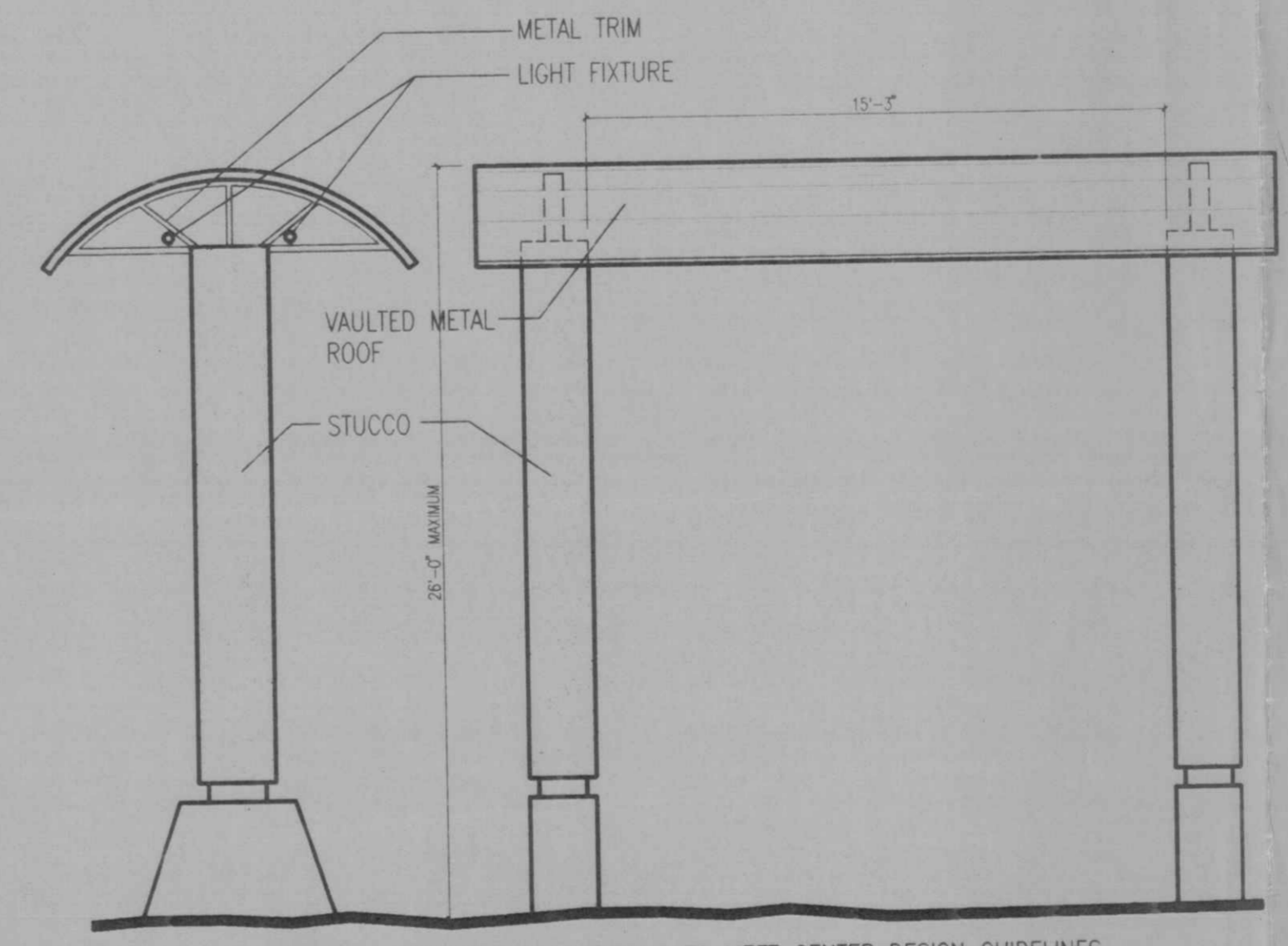
2 1/2" CAL. SHADE TREES
 ASH, LOCUST, LONDON PLANE, MAPLE
 AUSTRIAN PINE AND SPRUCE
 PURPLELEAF PLUM AND BRADFORD PEAR
 CLUMP ASPEN, FORESTIERA, PINON, MULTI-RUSSIAN OLIVE
 PALM YUCCA
 5 GAL. SHRUBS
 APACHE PLUME, BLUE MIST, COTONEASTER, CHAMISA

GROUNDCOVERS
 IVY, LAVENDER, HONEYSUCKLE, JUNIPER, TAM, BUFFALO

SIGNAGE

MAXIMUM 3 FREESTANDING SIGNS,
 ONE ON FREEWAY, TWO ON ALAMEDA

MAXIMUM HEIGHT: 20 ft.
 MAXIMUM AREA/SIGN: 150 sq. ft.



ALL MONUMENT SIGN MATERIALS TO MEET CENTER DESIGN GUIDELINES
Center Monument Sign
 Scale: 1/4"=1'-0"
 DOUBLE-FACED ILLUMINATED SIGNAGE
 TOTAL SF: =150 SF EACH SIDE

site plan for subdivision
DCSW.
 architects

revisions:

design

architect

collaborative

southwest inc.

engineer

105 4th st. sw

albuquerque, nm

87102

job no: 9414
 date: 10-4-94
 sheet A.1 of 1

2-9487

I certify that this area is Zoned SU-2 and that this plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on July 21, 1994 and that the findings in the Official Notice have been complied with.

SITE DEVELOPMENT PLAN

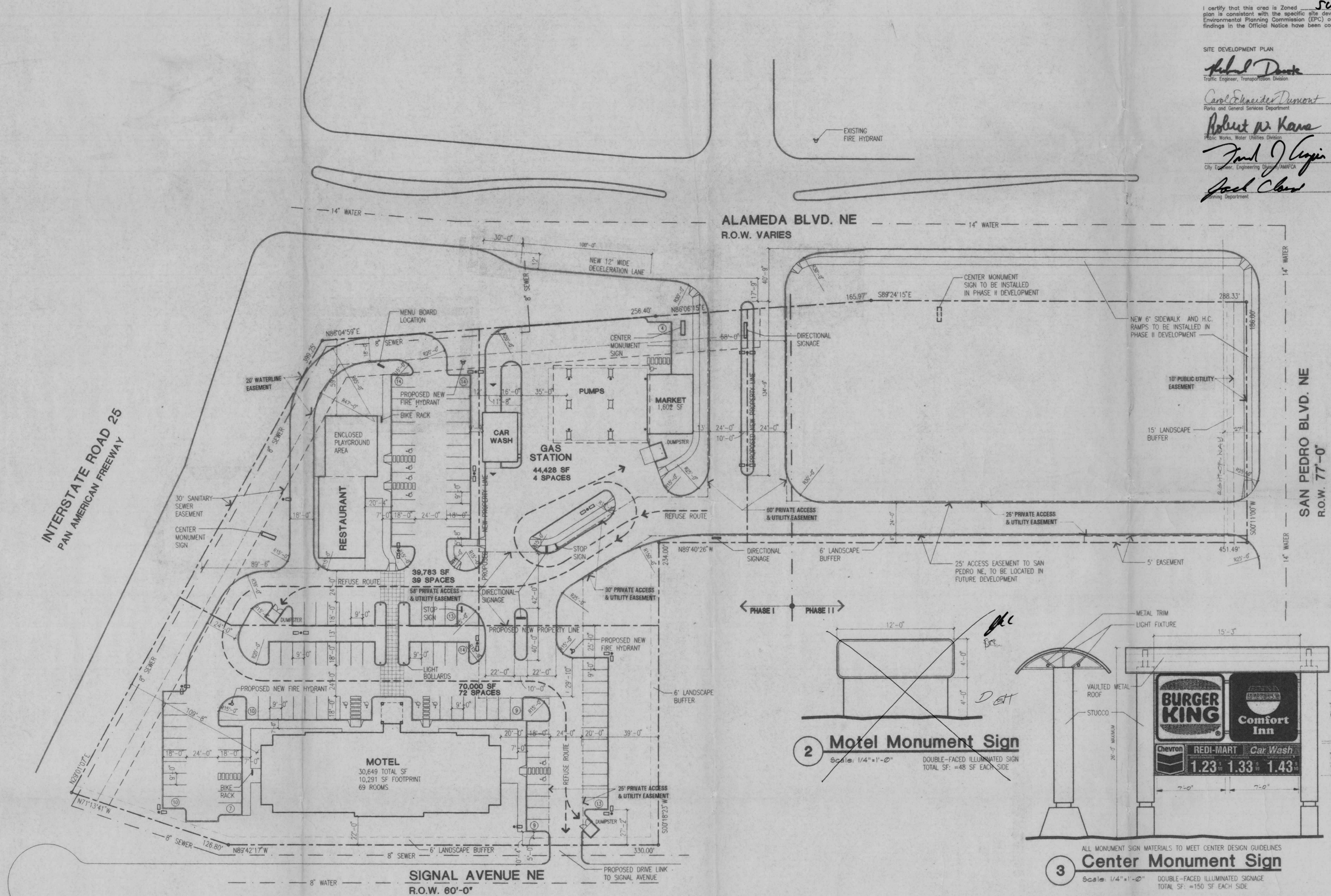
Richard Danks 9-14-94
Traffic Engineer, Transportation Division

Carol Schneider-Dumont 8-9-94
Parks and General Services Department

Robert W. Kane 8-9-94
Public Works, Water Utilities Division

Frank J. Virgin 10-6-94
City Engineer, Engineering Division/AMAFCA

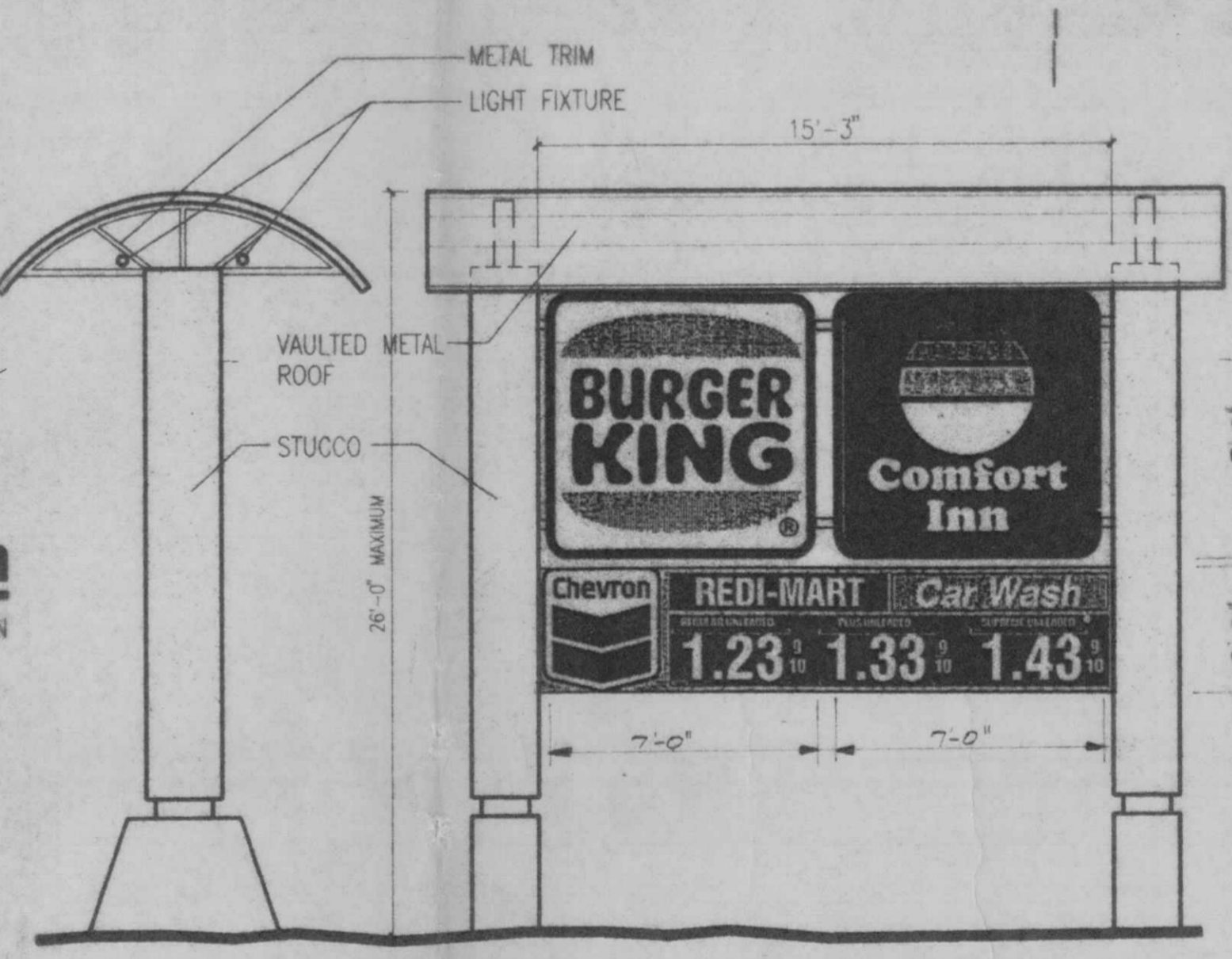
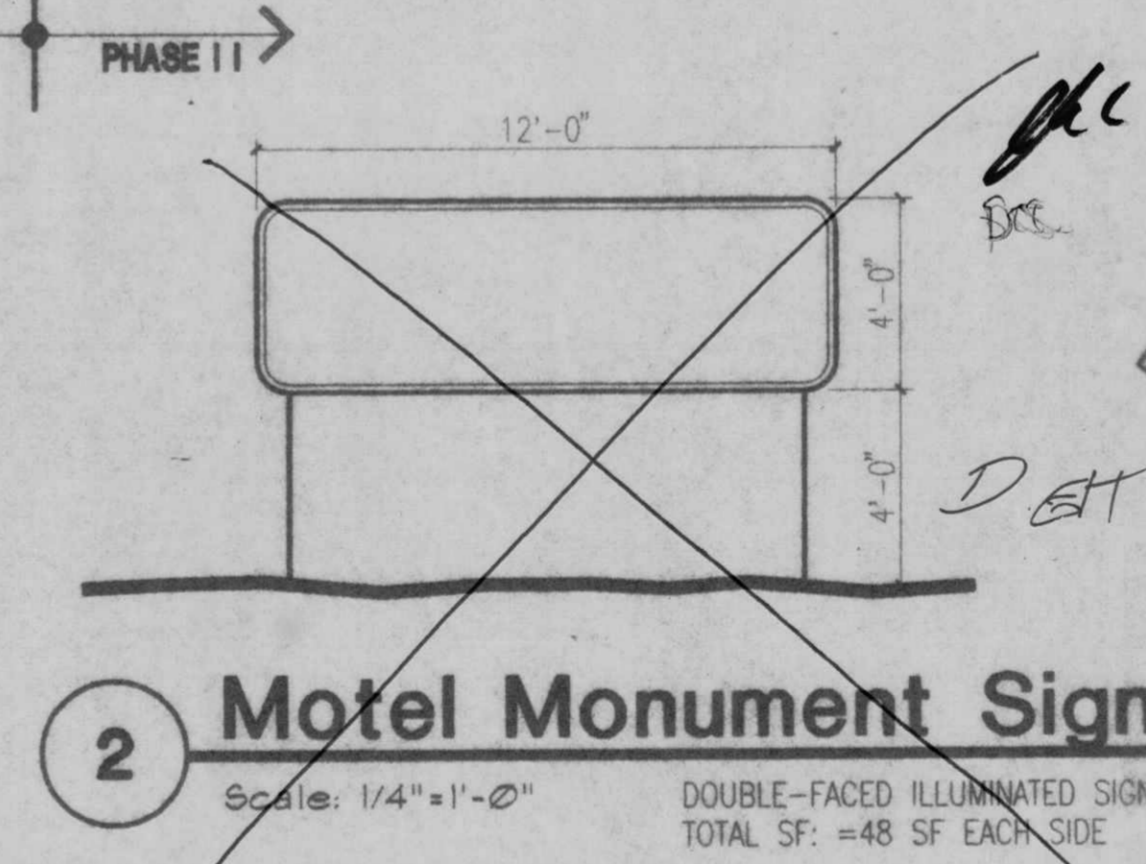
Joel Clark 10-12-94
Planning Department



ALAMEDA CENTER NORTH DESIGN GUIDELINES

WALLS: STUCCO - LIGHT SALMON/TAN
METAL FASCIA PANELS - SILVER GREY
METAL COLUMNS - SILVER GREY
ROOFING: ROOF FORMS AND MATERIALS - PITCHED STANDING SEAM METAL ROOF (SILVER GREY)
FLAT ROOF WITH METAL FASCIA PANELS
VAULTED METAL ROOF (SILVER GREY)
GLAZING: BLUE/GREEN GLAZING IN SILVER GREY FRAMES
SIGNAGE: ILLUMINATED CHANNEL LETTERING AND CANNEED LOGO SIGNS WITH 25' MAXIMUM SIZE

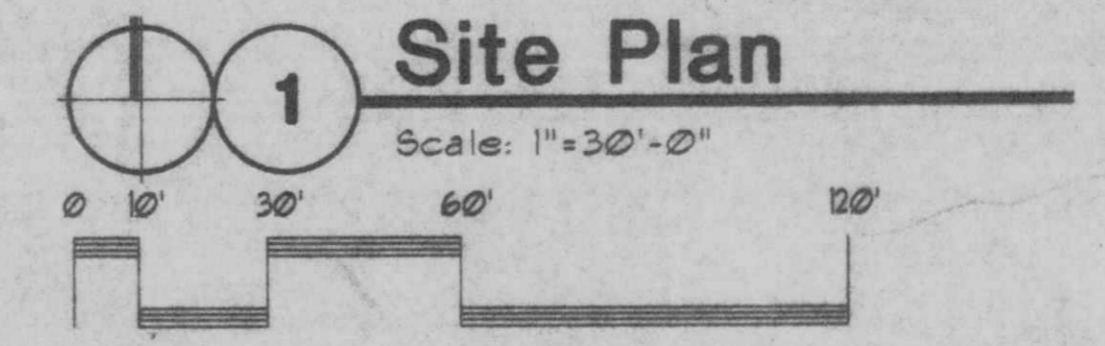
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contractor to verify all existing site conditions prior to construct



site plan	DCSW architects
revisions:	
design	
architect	
collaborative	
southwest inc.	
engineer	105 4th st. sw
	albuquerque, nm
	87102
job no:	9414
date:	8-2-94
sheet	DRBA.1 of 3
	505-843-9639

LAND USE DATA	
LEGAL DESCRIPTION:	LOTS 12,13,14,15,16,20,21,&22, BLOCK 12, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES SUB-DIVISION
PROPOSED USE:	RESTAURANT, MOTEL, AND GAS STATION
BUILDING SQ. FOOTAGE:	
RESTAURANT:	4,400 SF
MOTEL:	30,649 SF
GAS STATION:	1,602 SF + 6 PUMPS
TOTAL ALL BUILDINGS:	36,624 SF
PHASE I	
TOTAL LAND AREA:	154,211 SF (3.54 ACRES)
TOTAL PARKING LOT AREA:	72,698 SF
TOTAL LANDSCAPE AREA:	65,220 SF (INCL'G SIDEWALKS)
TOTAL LANDSCAPE PERCENTAGE:	42%
PHASE II	
TOTAL LAND AREA (FUTURE DEV'T):	71,376 SF (1.64 ACRES)

PARKING CALCULATIONS	
RESTAURANT :	1 CAR/4 SEATS, 1 CAR/200 SF: 25+10=35
MOTEL :	1 CAR/1 RENTAL UNIT : 69
GAS STATION :	1 CAR/200 SF : 8
TOTAL PARKING REQUIRED :	112
TOTAL PARKING PROVIDED :	
STANDARD STALL (9'x20')	104
HANDICAP PARKING (13'x20')	10
H.C. VAN PARKING (16'x20')	115
ZONING :	SU-2 FOR AUTO SALES
PROPOSED :	SU-2 FOR MOTEL, SERVICE STATION, AND RESTAURANT AS CONTROLLED BY THE SHOPPING CENTER REGULATIONS
LIGHTING (P):	PARKING LOT AREA - 1.5 F.C. MIN. LIGHT POLE 25' HEIGHT MAX.

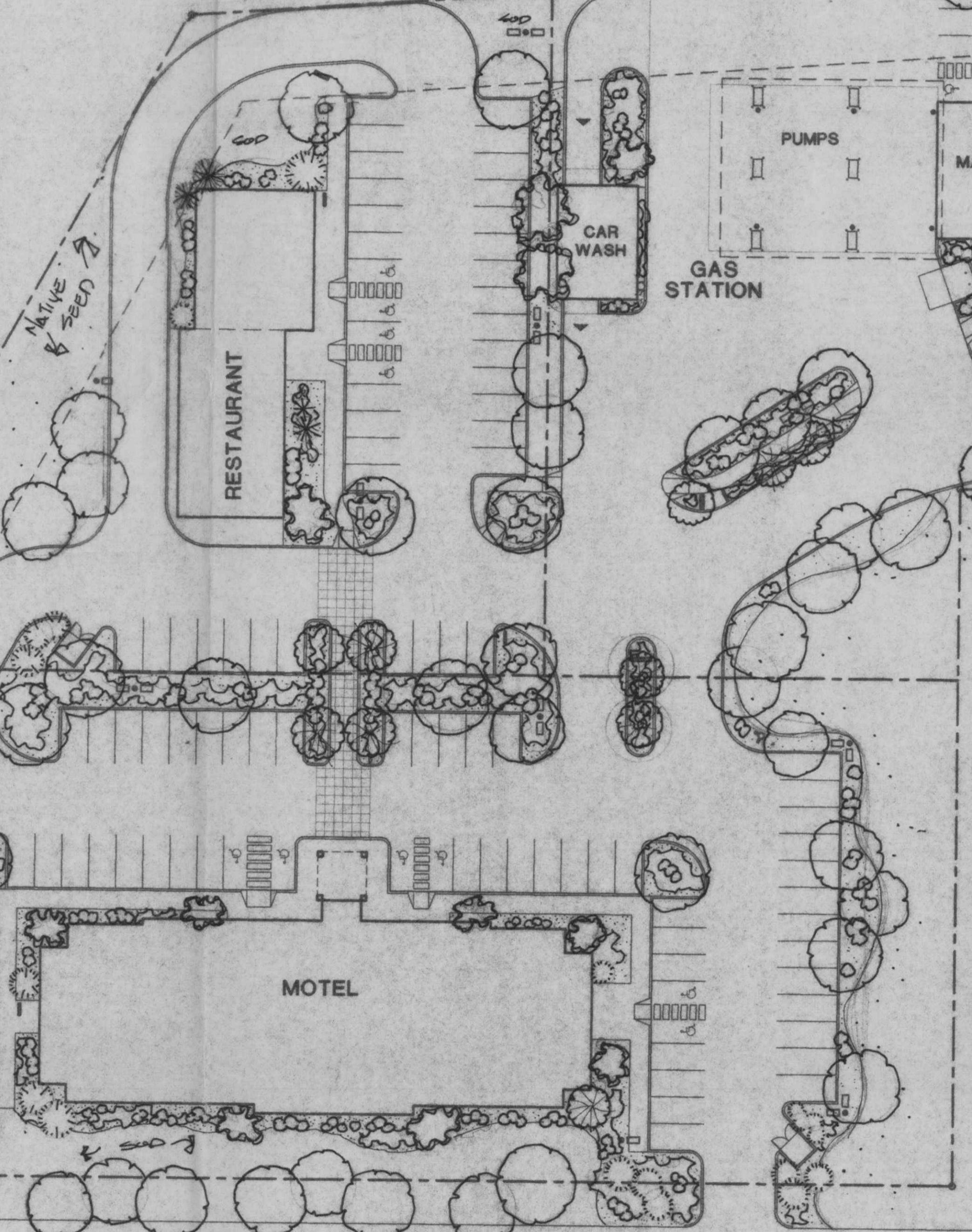


Z-94-87

INTERSTATE ROAD 25
PAN AMERICAN FREEWAY

ALAMEDA BLVD. NE
R.O.W. VARIES

SAN PEDRO BLVD. NE
R.O.W. 77'-0"



NATIVE SEED
✓ ALL SPRECO AREAS

LANDSCAPE LEGEND

- 2-1/2" CAL. SHADE 30'-0" O.C.
ASH, LOCUST, WHICH PLANE, MAPLE
- 6'-8" AUSTRALIAN PINE OR SPRUCE 8'-0" O.C.
- 15 GAL PURPLELEAF PLUM OR REDROD PEAR 10'-0" O.C.
- 14-16 CLUMP ASPEN } (PLANTED IN GROUPINGS)
8-12' FORESTIERA }
6-8' PINON }
3" CAL. MULTI-BLOSSOM OLIVE }
- PALM YUCCA
- 5G. SHRUBS (SPACED 5'-0" O.C.)
PHOTINIA, RAPHIOLEPIS, EUCONYMIUS, HOLLY, NANNING
LILAC, FORSYTHIA, CORNUS, CHEMICO, SPACHE PLUME,
BLUE MIST
- GROUNDCOVERS (5'-0" O.C.)
1G. IVY, LAVENDER, HONEYSUCKLE
5G. JUNIPER, TAM OR BUFFALO

- 3/4" CRUSHED GREY GRANITE/FILTER FABRIC
- HYDROMULCH NATIVE SEED
- STEEL EDGING
- BOULDERS

NOTES:
ALL LANDSCAPING SHALL BE WATERED
BY A COMPLETE UNDERGROUND IRRIGATION
SYSTEM OPERATED BY AUTOMATIC TIMER.

MAINTENANCE SHALL BE THE
RESPONSIBILITY OF THE OWNER.

general notes
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landscape plan
DCSW
architects

revisions:
6-1-94
6-30-94
design
architect
collaborative
southwest inc.
engineer 105 4th st. sw
albuquerque, nm

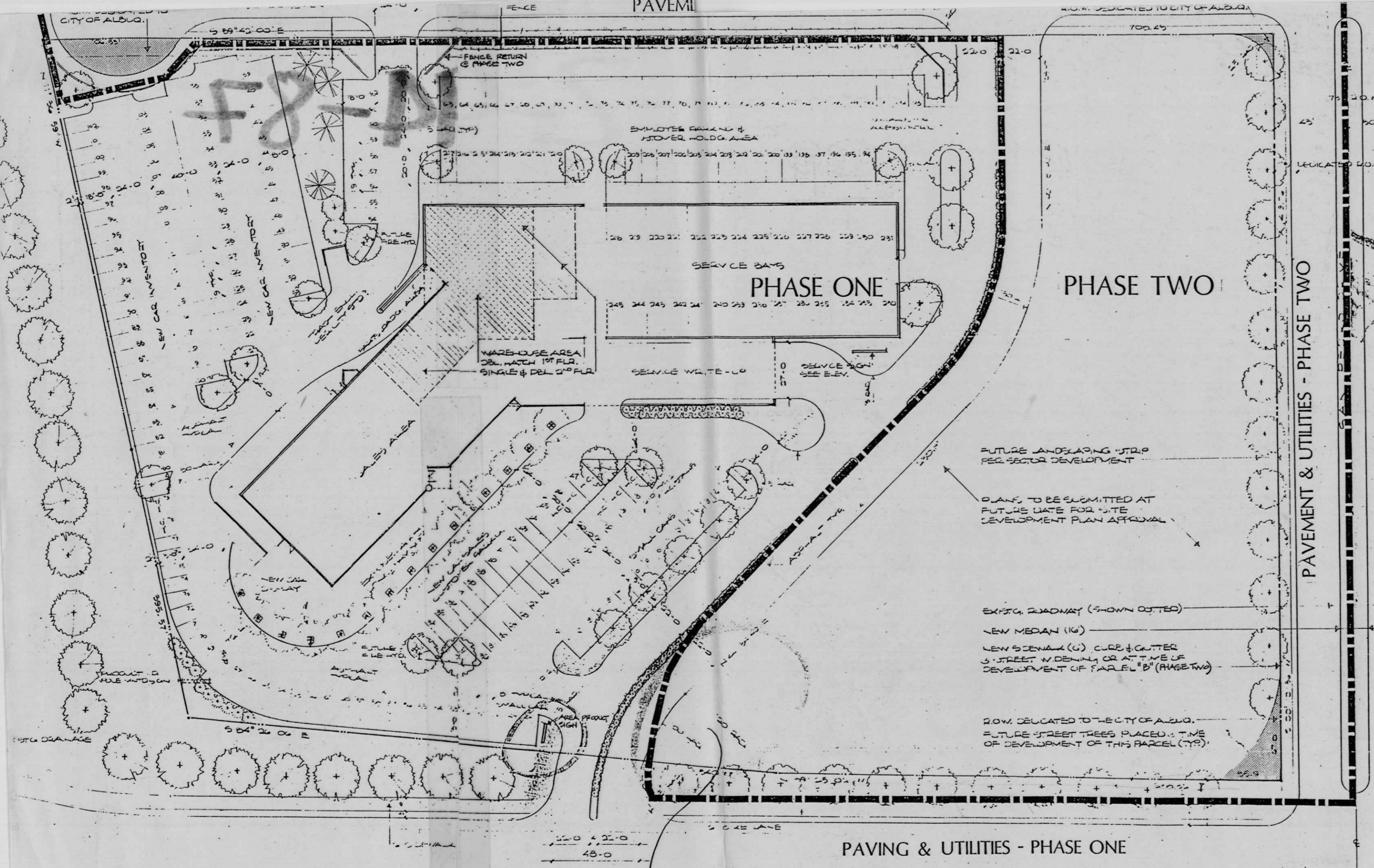
job no: 9414
date: 5-27-94 505-843-9639
sheet A2 of 3

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The Hilltop

1-26-94



APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON APRIL 17, 1986.

CITY PLANNER *Richard Dineen* 9-9-86

CITY ENGINEER *Fred J. Aguin* 4-29-86

TRAFFIC ENGINEER *Robert A. Lamm* 4-29-86

WATER RESOURCES ENG. *Rhonda J. Taught* 4-29-86

PARKS & RECREATION *Janet Fairer* 4-29-86

SITE DATA

LEGAL DESCRIPTION:
 LOTS 12 THRU 21, BLOCK 11,
 TRACT A, UNIT B, NORTH
 ALBUQUERQUE ACRES SUB-
 DIVISION, ALBUQ., N.M.

ZONE MAP 1 C-1B-2

SITE AREA: 6.2682 AC TOTAL
 PARCEL A = 4.2473 AC
 B = 2.0209 AC

BLLG. AREA:
 1st FLOOR = 21,555
 2nd FLOOR = 13,000
 TOTAL = 34,555 sq

PARKING REQUIREMENTS:
 1st FLR RETAIL 21,555 + 200 = 192.0
 2nd FLR RETAIL 13,000 + 200 = 24.7
 WAREHOUSE 10,000 + 200 = 5.0
 TOTAL 24,555 = 125

8 HAND CAP SPACES REQ'D.
 LANDSCAPING MIN. REQ'D.
 44,103 x 7% = 10,068 sq REQ'D.
 @ 69% = 24,332 sq PROVIDED
 OFF SITE LANDSCAPING
 = 47,734 sq PROVIDED

BICYCLE W/CS REQ'D @ 1/20
 = 9 REQ'D. SPACES
 = 10 SPACES PROV.

LANDSCAPING

- SHADE TREES SELECTED FROM: SILVER MAPLE, SCAMOE, LONDON PLANE OR HONEY LOCUST (2'-3' CAL PER)
- EVERGREEN TREES SELECTED FROM: ADIZ, CYPRUS AUSTRALIAN PINE OR BLUE SPRUCE (2' TO 3')
- SHRUBS FROM JUNIPER, PRUNELLA, FRAZER
- BUFFALO GRASS
- PARK CHIP GROUND COVER

NOTES:
 1. ALL PLANTINGS TO RELIEVE NEG. EFFECTS OF EROSION TO INSURE PROPER GROWTH. MAINT. DUTYOWN.
 2. SURROUNDING ROW TO BE REEDED W/ NATIVE GRASSES & GROUND COVER.

FACILITIES
 TO
 PLANNERS
 COLLECTIVE
 ARCHITECTS

2-868

I certify that this area is Zoned **SU-2** and that this plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on July 21, 1994 and that the findings in the Official Notice have been complied with.

SITE DEVELOPMENT PLAN

Richard Deane 9-14-94
Traffic Engineer, Transportation Division

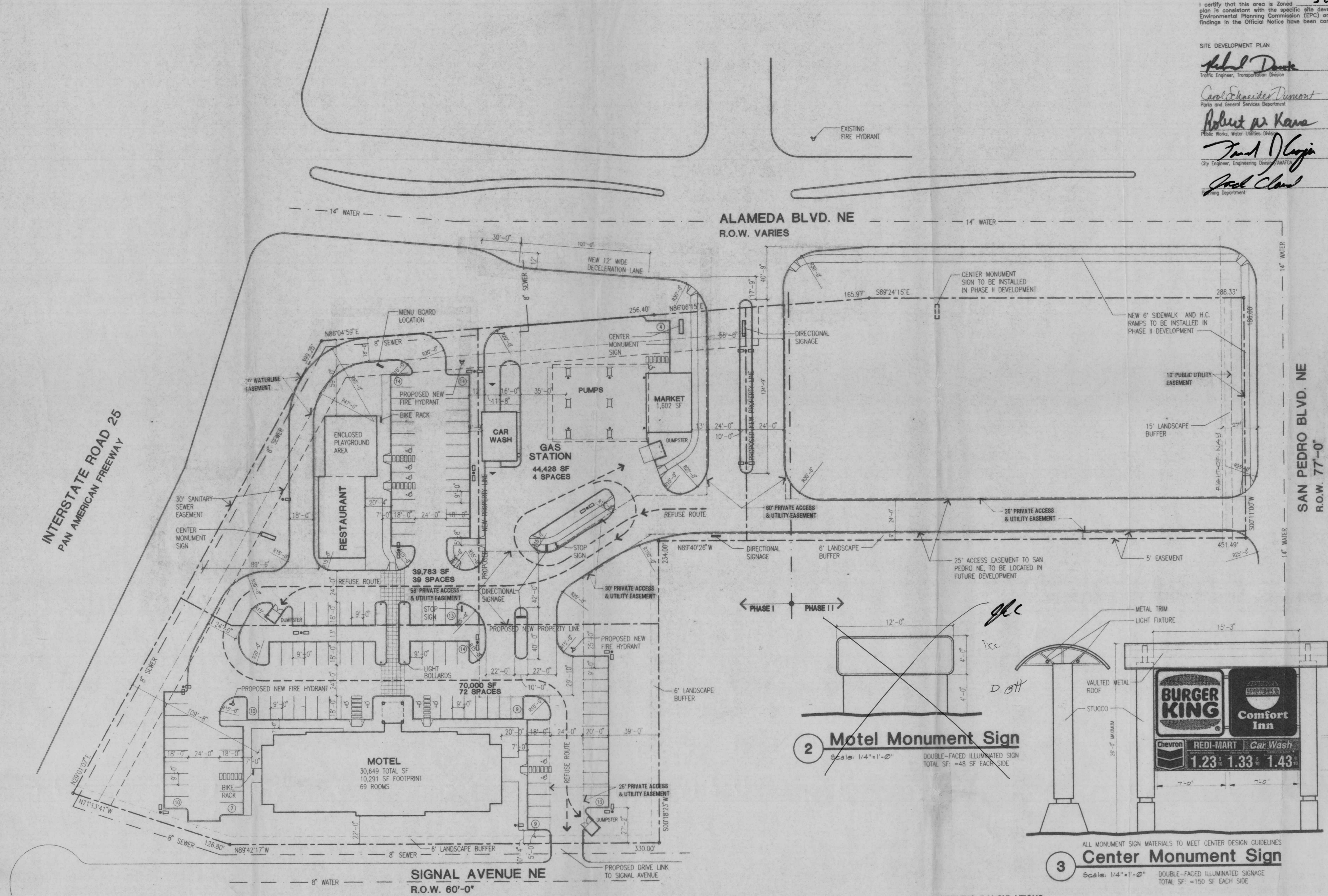
Carol Schneider Dumont 8-9-94
Parks and General Services Department

Robert W. Kane 8-9-94
Public Works, Water Utilities Division

Frank Morgan 10-8-94
City Engineer, Engineering Division

Joel Cloud 10-12-94
Planning Department

Z-94-87



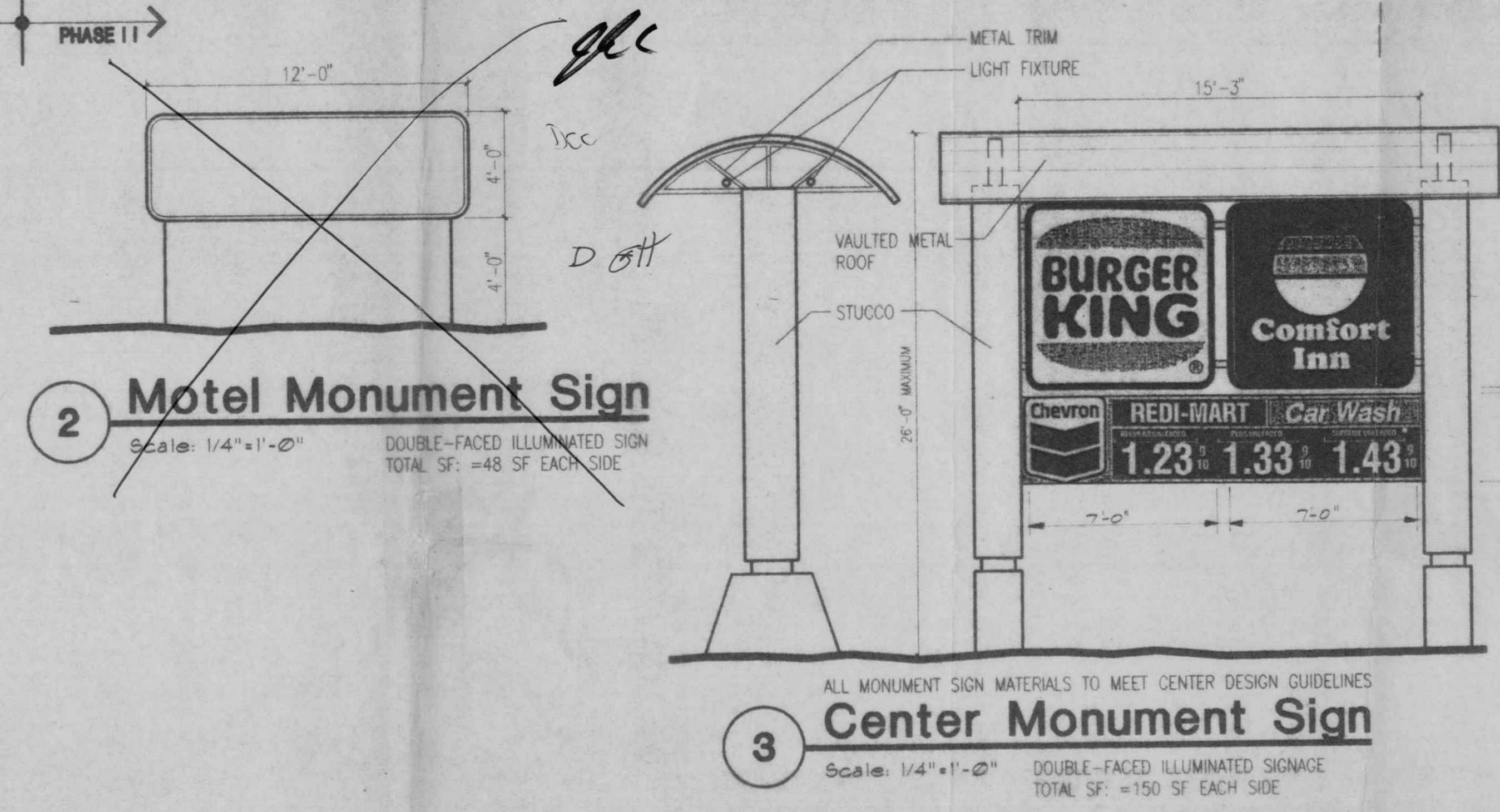
ALAMEDA CENTER NORTH DESIGN GUIDELINES

WALLS: STUCCO - LIGHT SALMON/TAN
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METAL COLUMNS - SILVER GREY

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FLAT ROOF WITH METAL FASCIA PANELS
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SIGNAGE: ILLUMINATED CHANNEL LETTERS AND CANNELED LOGO SIGNS WITH 25" MAXIMUM SIZE

general notes
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LAND USE DATA

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PHASE II

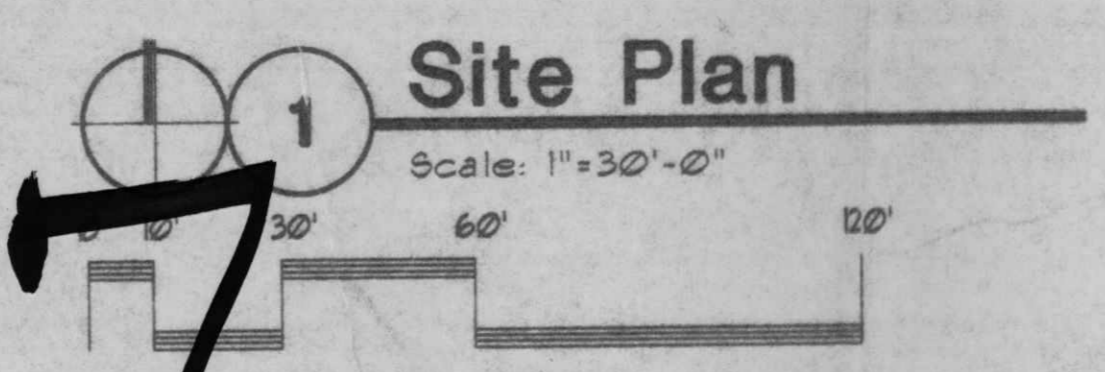
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		115

ZONING : SU-2 FOR AUTO SALES
PROPOSED : SU-2 FOR MOTEL, SERVICE STATION, AND RESTAURANT AS CONTROLLED BY THE SHOPPING CENTER REGULATIONS

LIGHTING (1/8) : PARKING LOT AREA - 1.5 F.C. MIN. LIGHT POLE 25' HEIGHT MAX.



Z-94-87

site plan

revisions:

design

collaborative

southwest inc.

engineer 105 4th st. sw.

albuquerque, nm

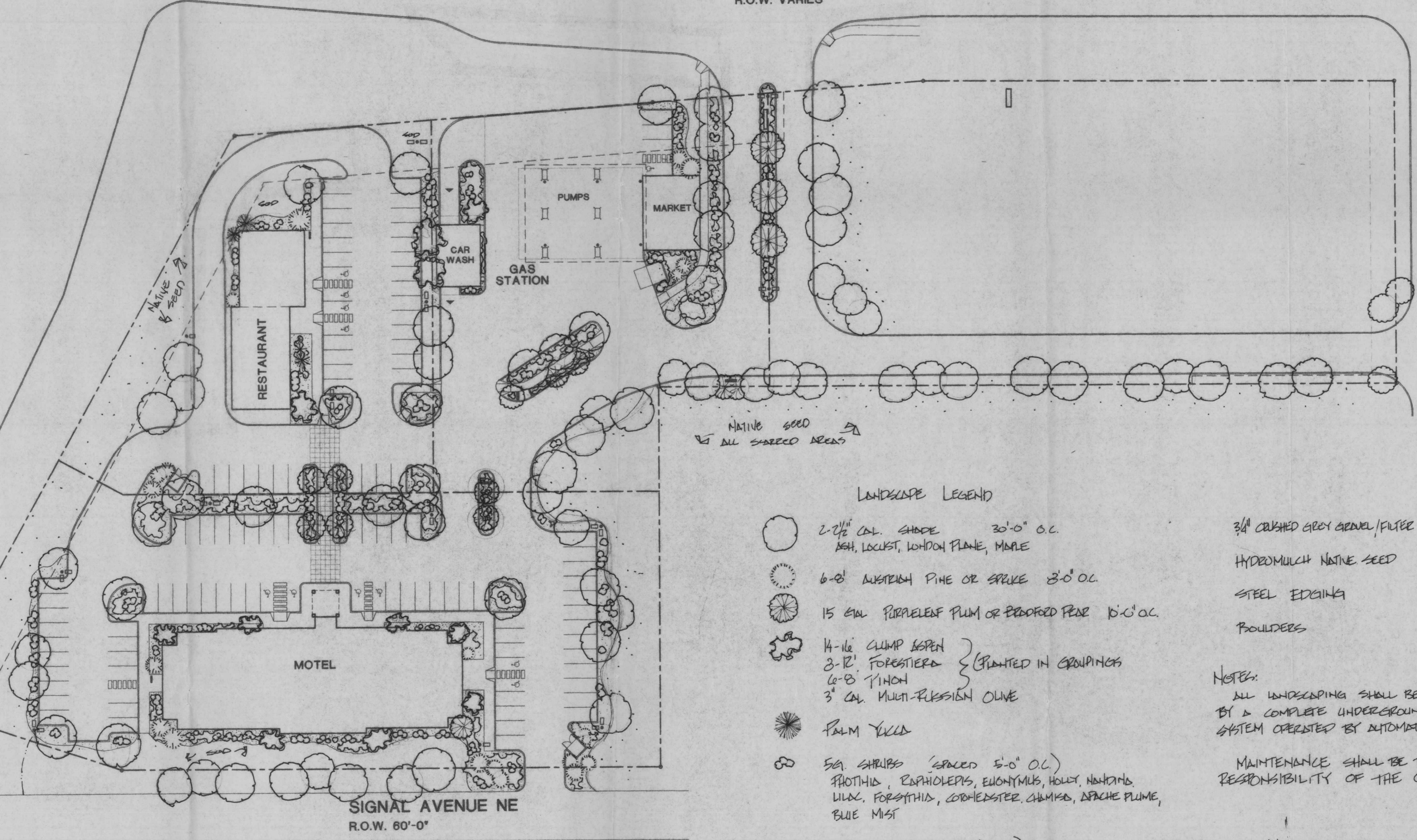
87102

job no: 9414
date: 8-2-94
sheet DRBA.1 of 3

INTERSTATE ROAD 25
PAN AMERICAN FREEWAY

ALAMEDA BLVD. NE
R.O.W. VARIES

SAN PEDRO BLVD. NE
R.O.W. 77'-0"



LANDSCAPE LEGEND

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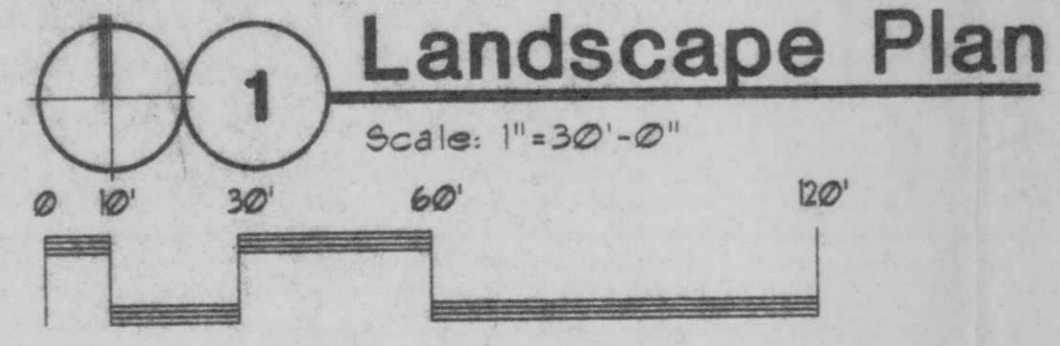
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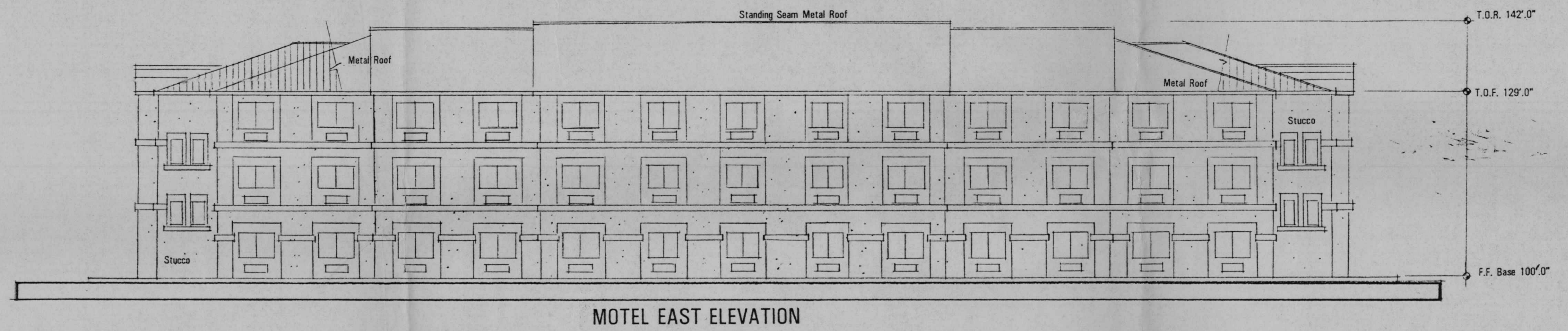
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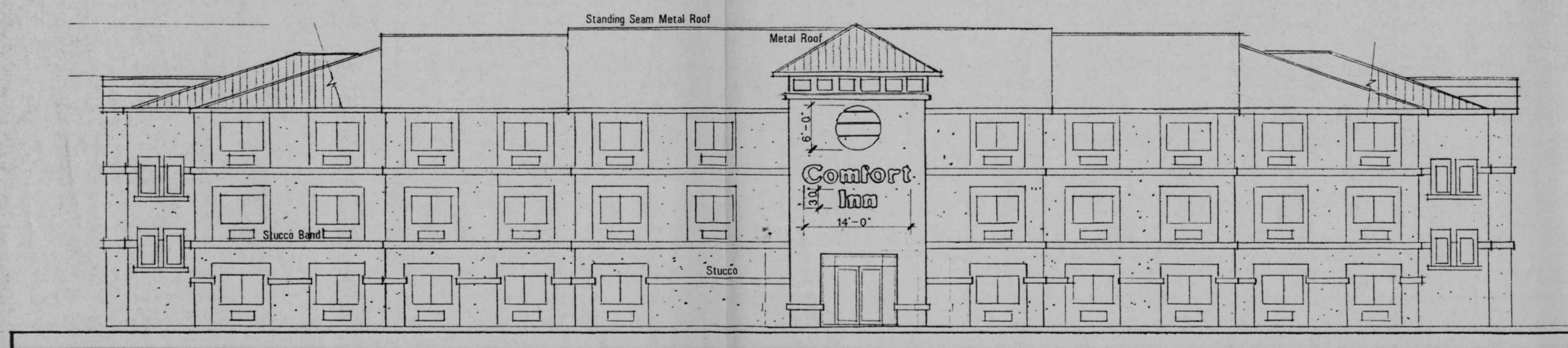
The Hilltop

1-26-94

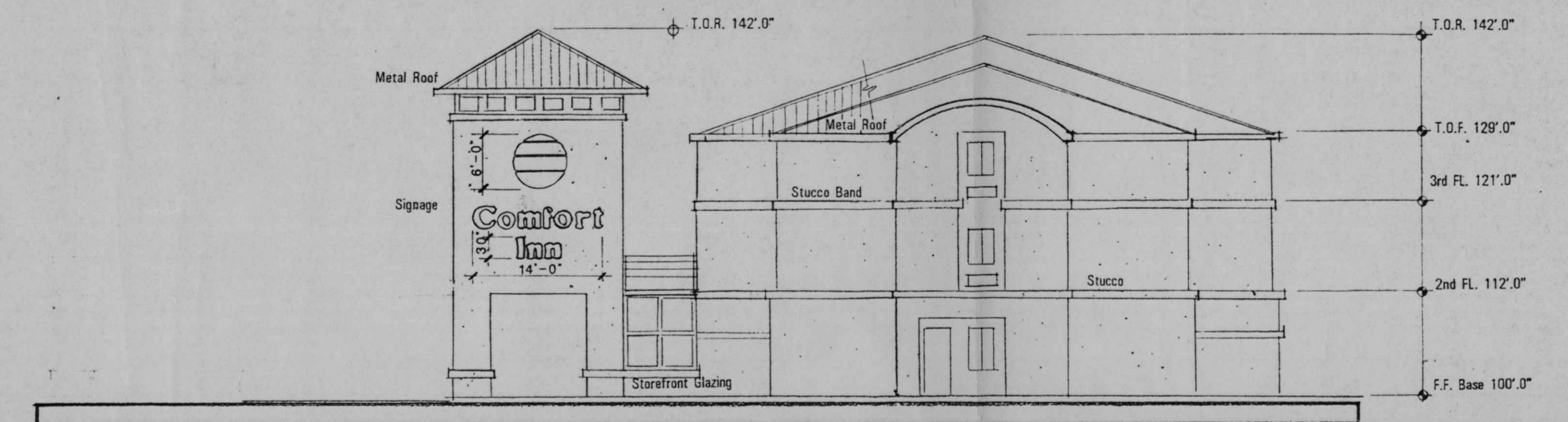
A2 of 3



MOTEL EAST ELEVATION

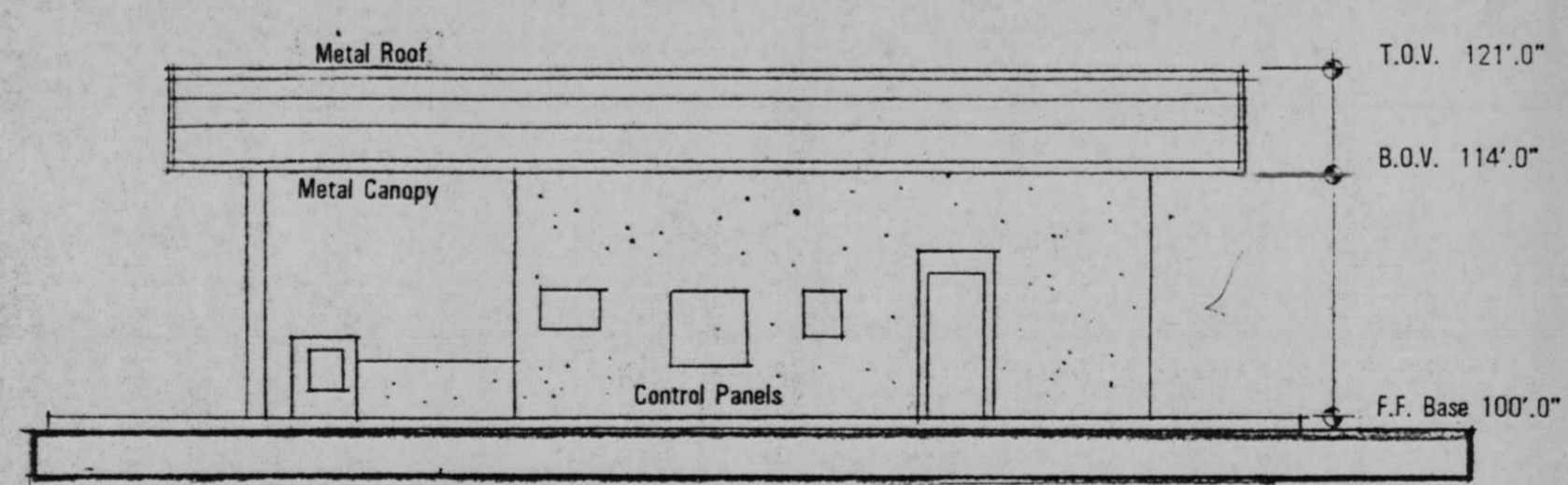


MOTEL WEST ELEVATION

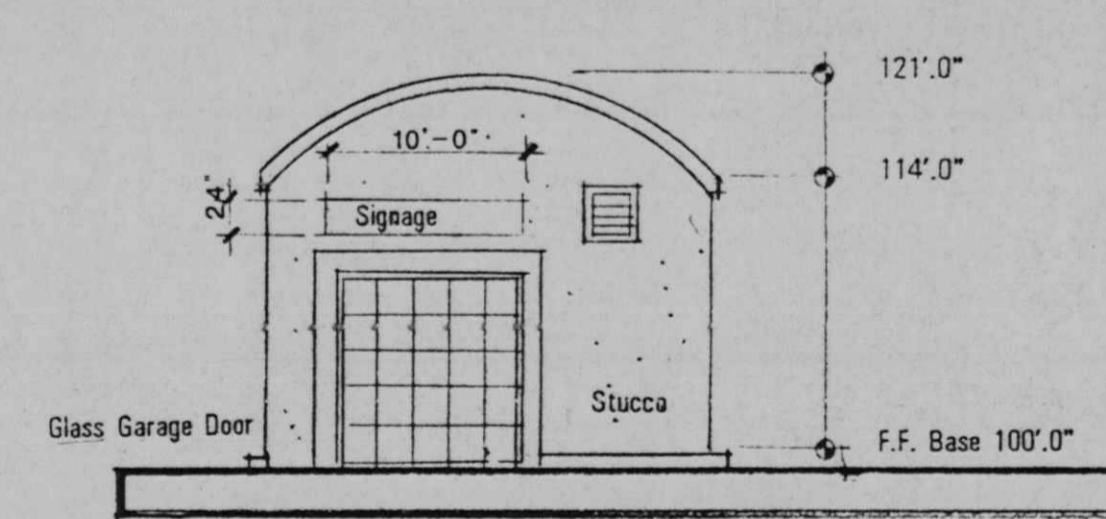


MOTEL SOUTH ELEVATION (NORTH SIMILAR)

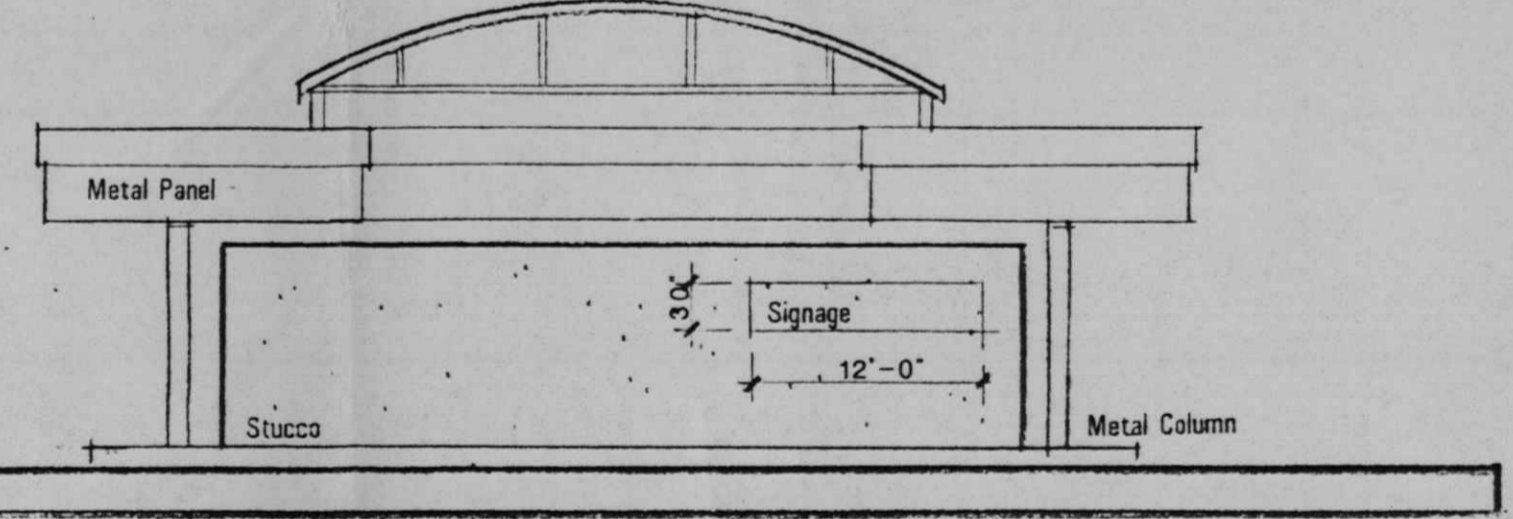
- MATERIAL COLOR SCHEDULE**
- MOTEL**
- Stucco: Light Salmon
 - Stucco Band: Light Salmon
 - Metal Frame: Silver Gray
 - Standing Seam Metal Roof: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas
- GAS STATION/CAR WASH**
- Stucco: Light Salmon
 - Metal Panel: Silver Gray
 - Metal Column: Silver Gray
 - Metal Frame: Silver Gray
 - Metal Roof: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas
- BURGER KING**
- Stucco: Light Salmon
 - Store Front Glazing: Blue/Green
 - Metal Panel: Silver Gray
 - Metal Fascia: Silver Gray
 - Metal Roof: Silver Gray
 - Metal Frame: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas



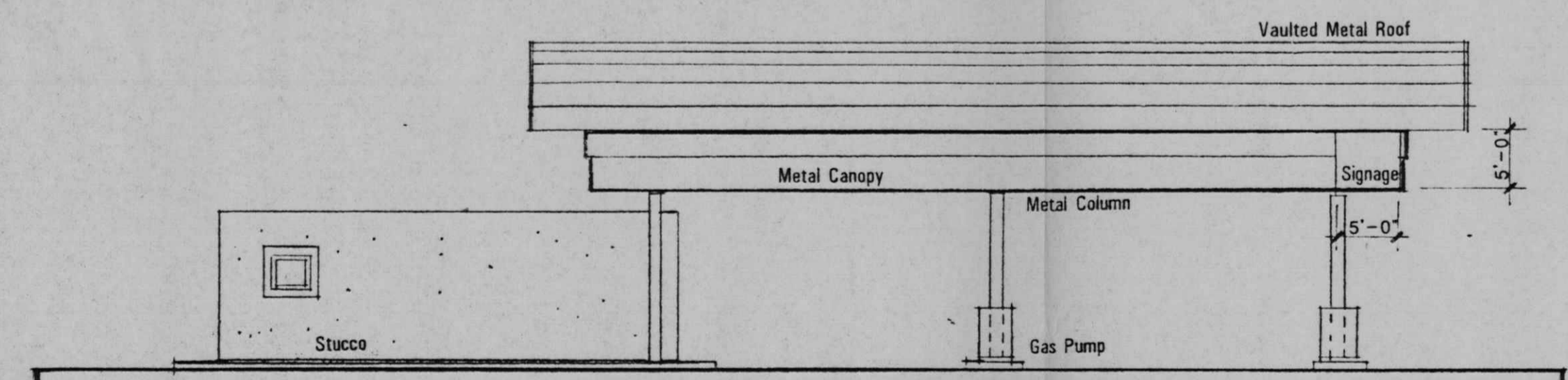
CAR WASH SOUTH ELEVATION (NORTH SIMILAR)



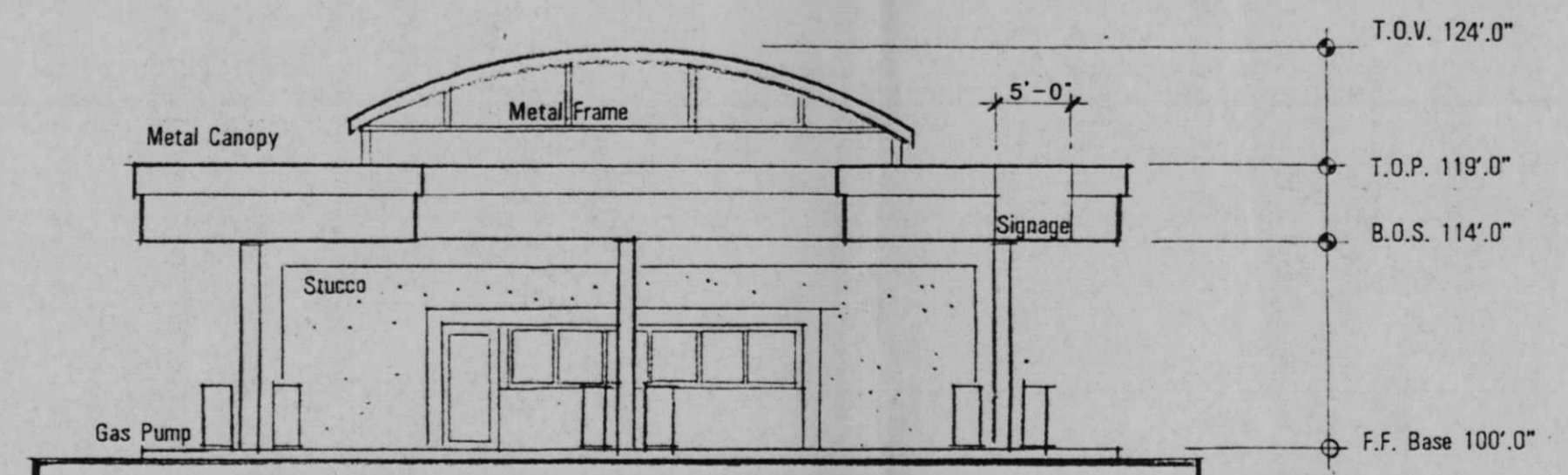
CAR WASH WEST ELEVATION



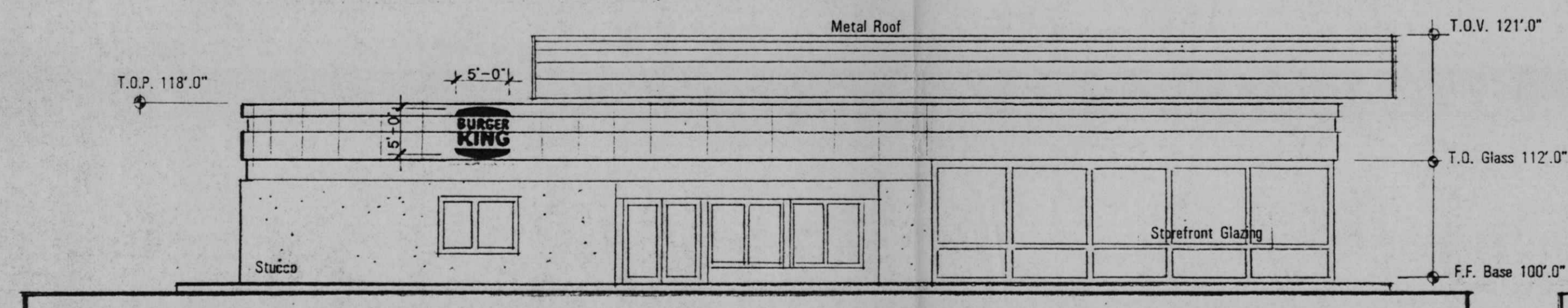
GAS STATION WEST ELEVATION



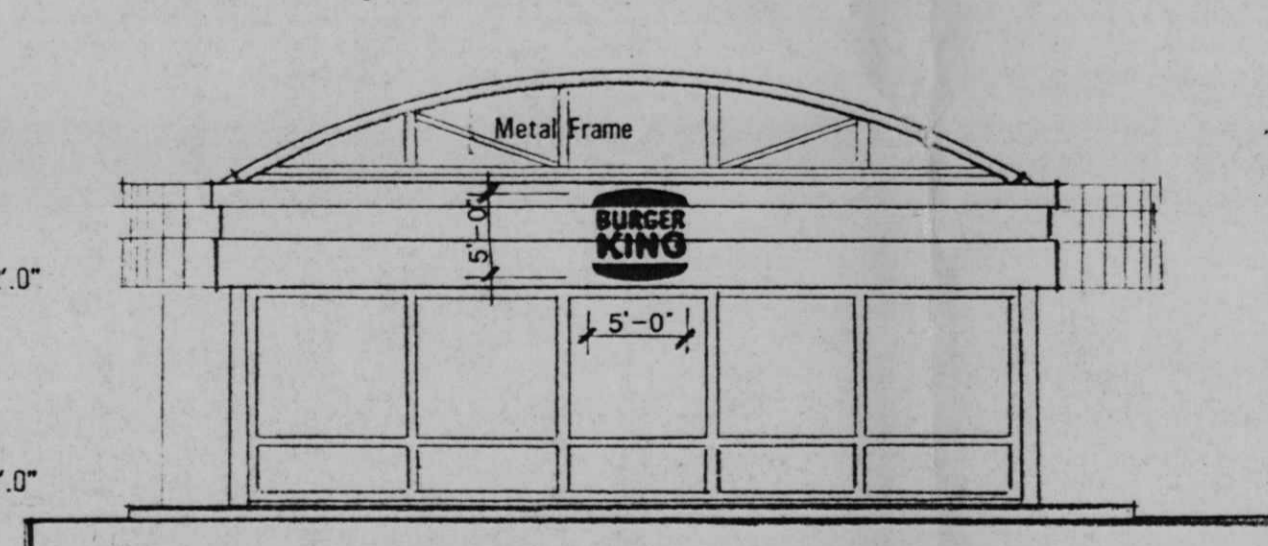
GAS STATION SOUTH ELEVATION (NORTH SIMILAR)



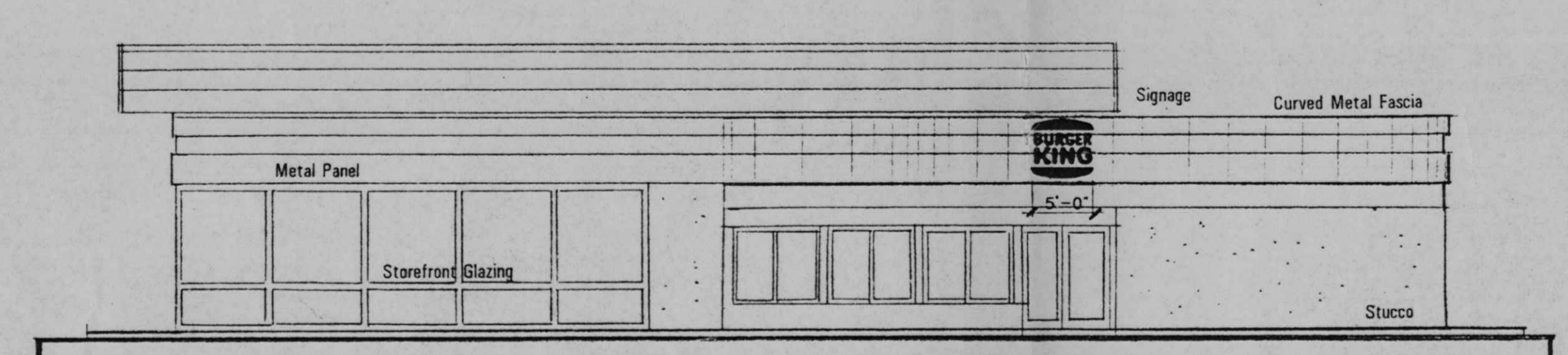
GAS STATION EAST ELEVATION



BURGER KING NORTH ELEVATION



BURGER KING WEST ELEVATION



BURGER KING SOUTH ELEVATION

general notes

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contractor to verify all dimensions prior to construction.

contractor to verify all existing on site conditions prior to construct.

building elevations

DCSW architects

revisions:

design

architect

collaborative

southwest inc.

engineer

105 4th st. sw

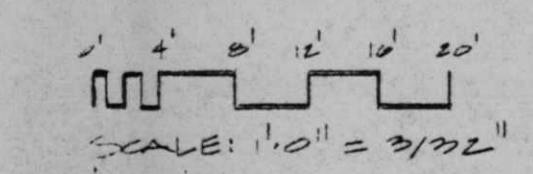
albuquerque, nm

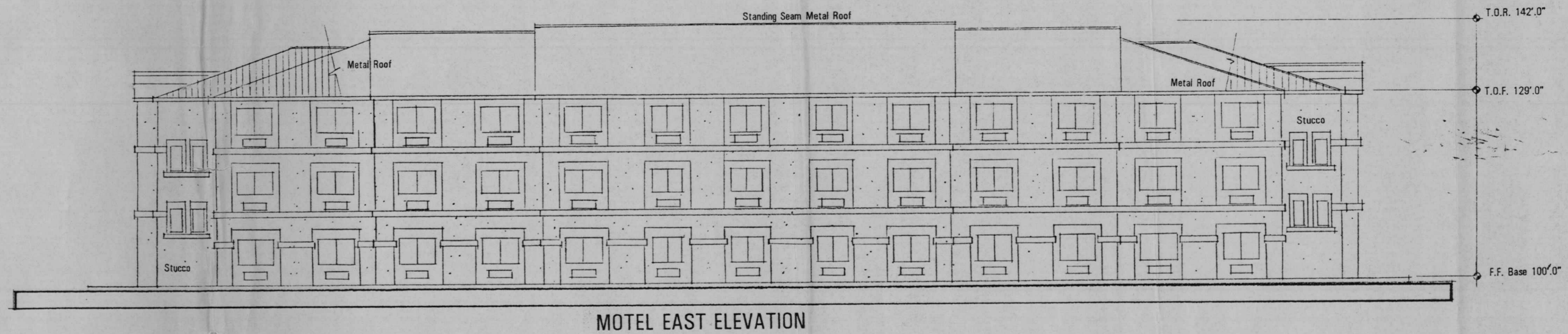
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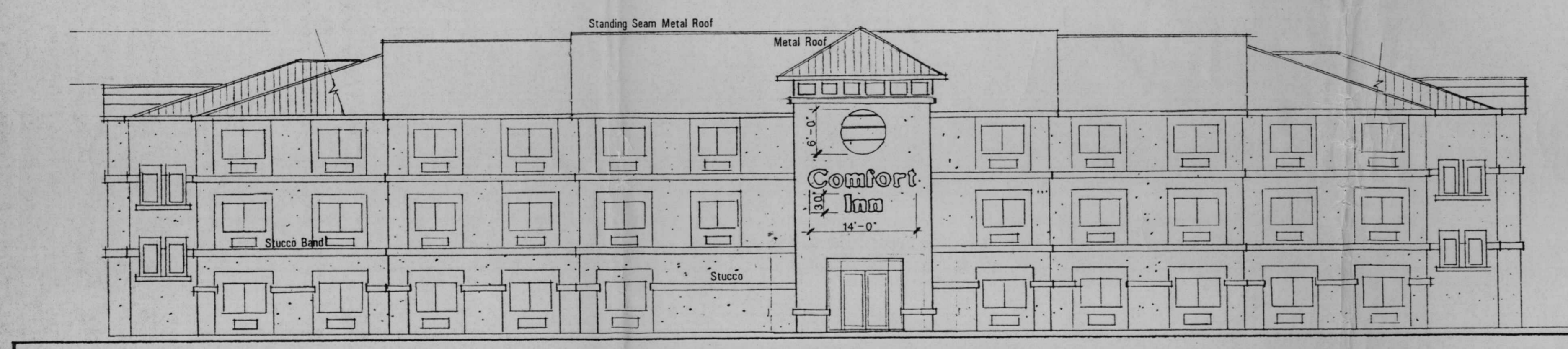
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sheet DRBA.2 of 3

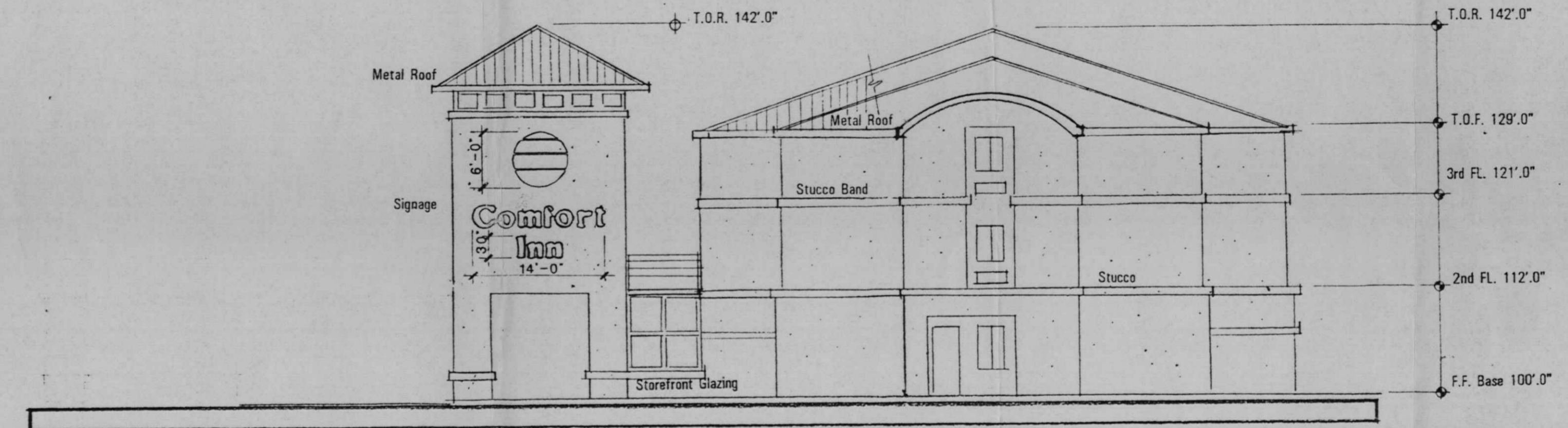




MOTEL EAST ELEVATION

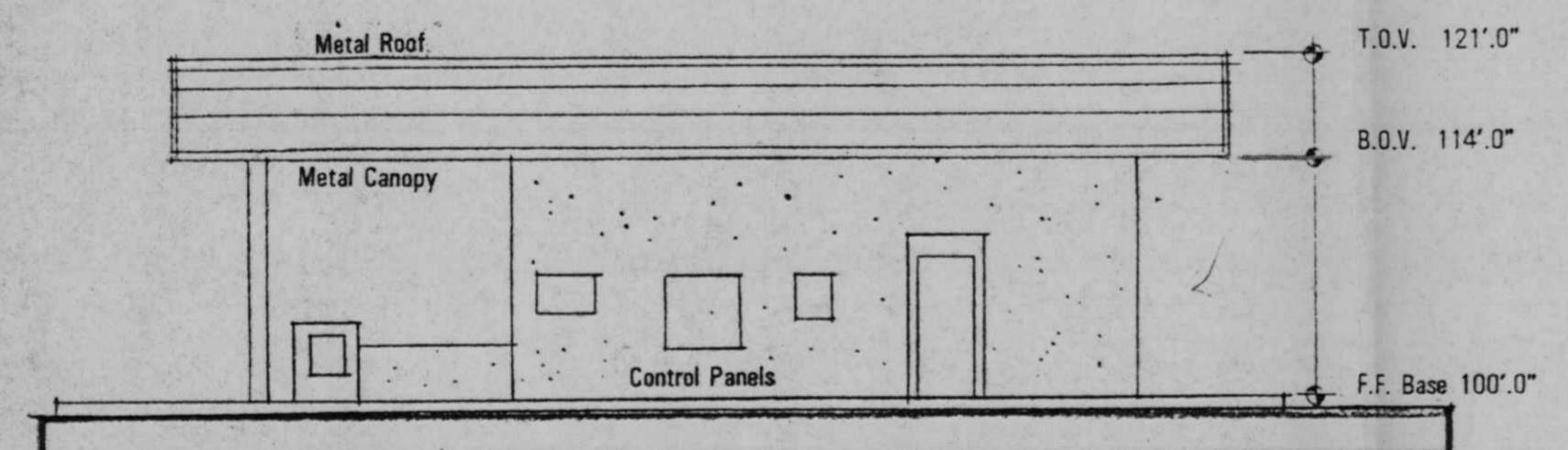


MOTEL WEST ELEVATION

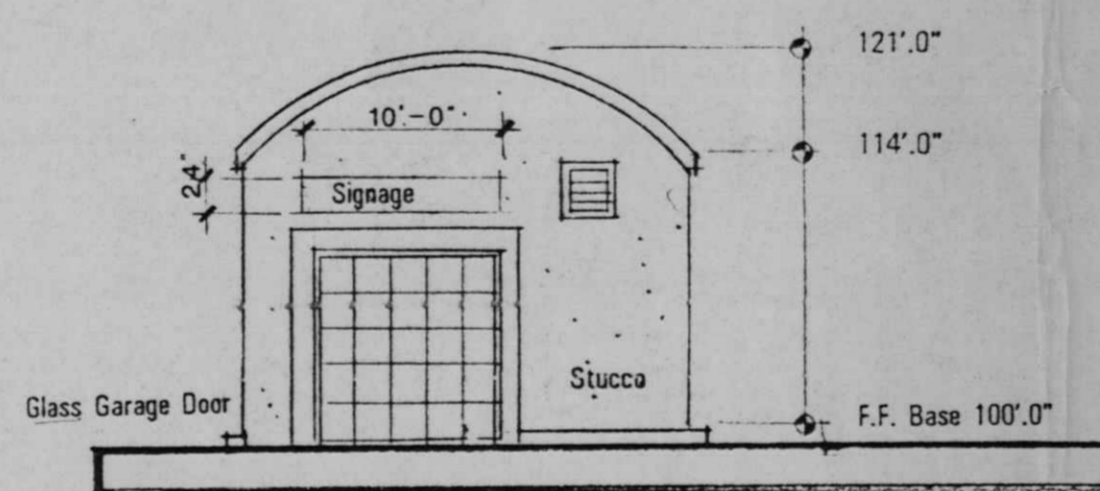


MOTEL SOUTH ELEVATION (NORTH SIMILAR)

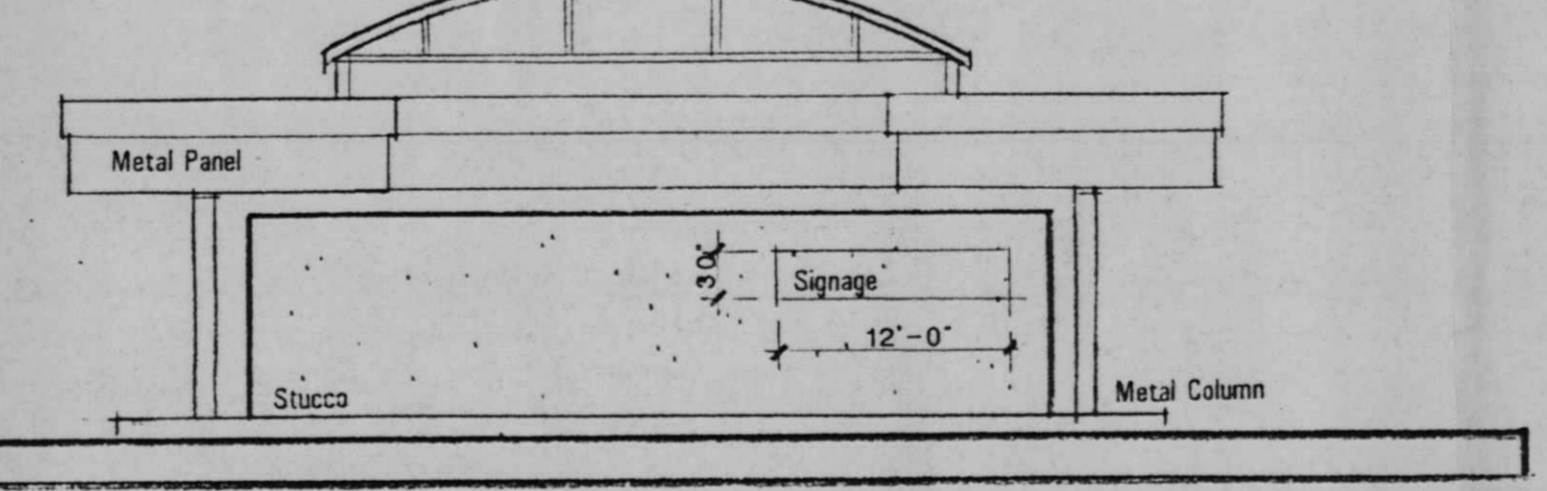
- MATERIAL COLOR SCHEDULE**
- MOTEL**
- Stucco: Light Salmon
 - Stucco Band: Light Salmon
 - Metal Frame: Silver Gray
 - Standing Seam Metal Roof: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas
- GAS STATION/CAR WASH**
- Stucco: Light Salmon
 - Metal Panel: Silver Gray
 - Metal Column: Silver Gray
 - Metal Frame: Silver Gray
 - Metal Roof: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas
- BURGER KING**
- Stucco: Light Salmon
 - Store Front Glazing: Blue/Green
 - Metal Panel: Silver Gray
 - Metal Fascia: Silver Gray
 - Metal Roof: Silver Gray
 - Metal Frame: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas



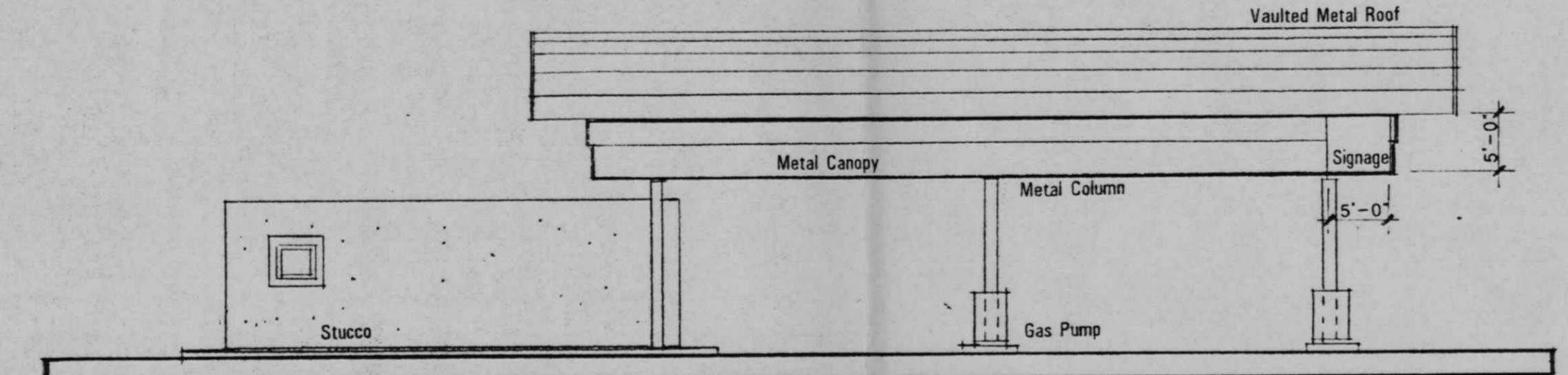
CAR WASH SOUTH ELEVATION (NORTH SIMILAR)



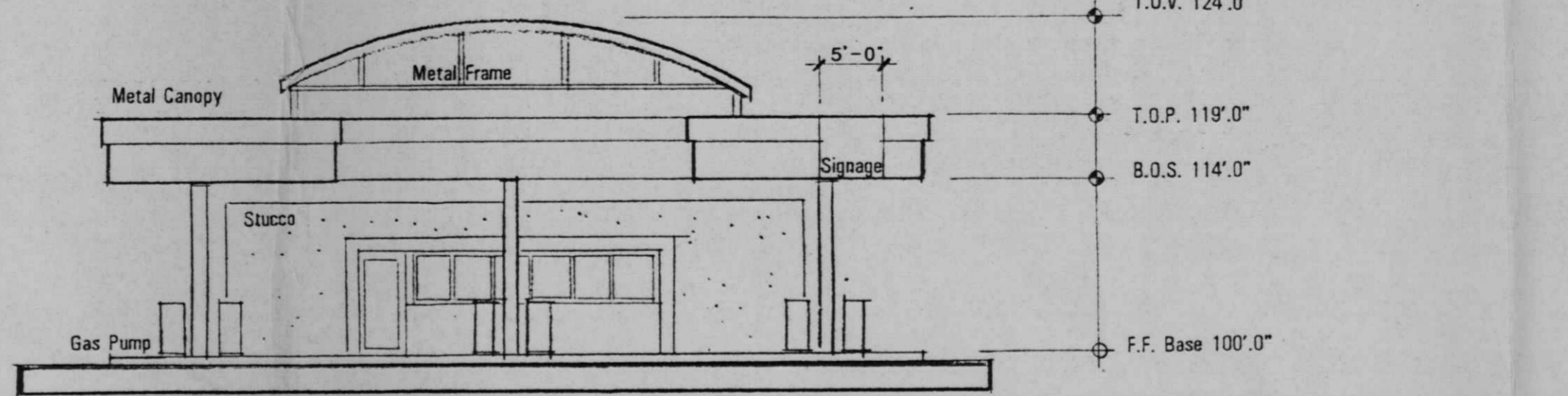
CAR WASH WEST ELEVATION



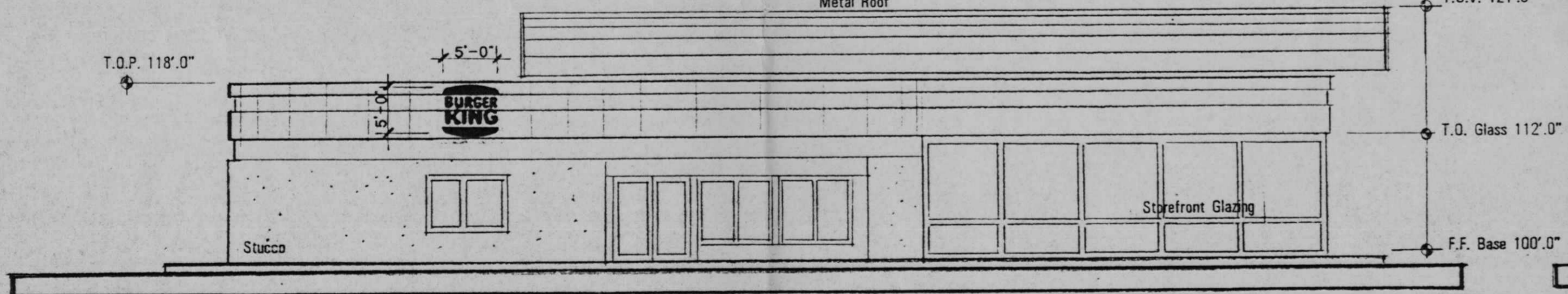
GAS STATION WEST ELEVATION



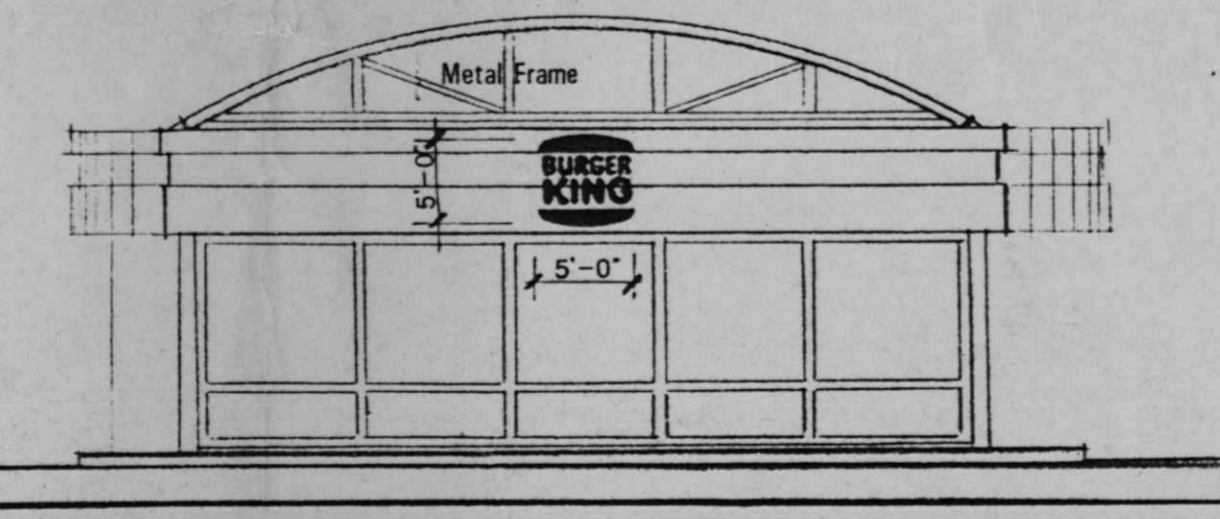
GAS STATION SOUTH ELEVATION (NORTH SIMILAR)



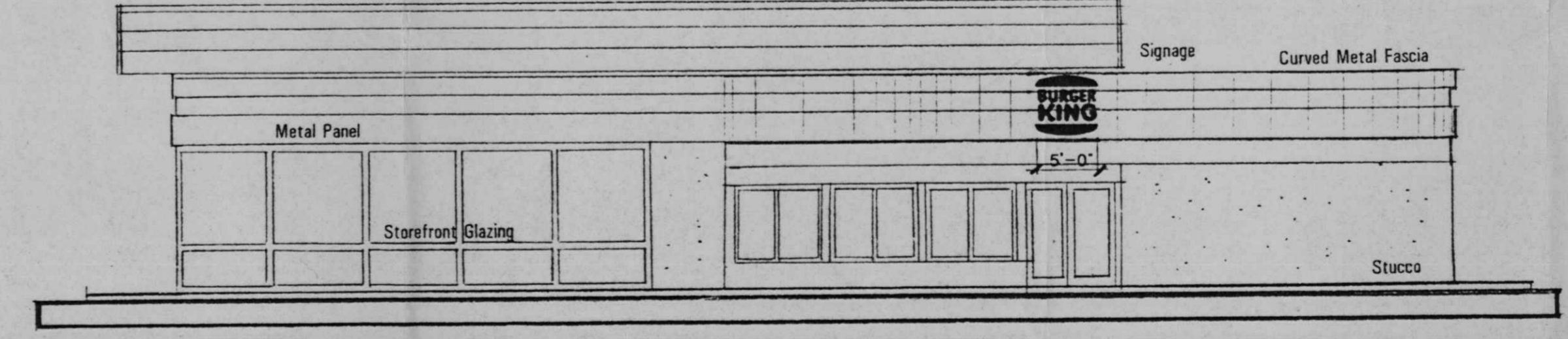
GAS STATION EAST ELEVATION



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BURGER KING WEST ELEVATION



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southwest inc.

engineer 105 4th st. sw

albuquerque, nm

87102

job no: 9414

date: 8-2-94 505-843-9639

sheet DBA 2 of 2

SCALE: 1/8" = 1'-0"