

Hotel, Gas Station,
Auto Sales, Restaurant
North Alby Acres

PLANS/PLATS ON FILE

FILE DESC:

10-4-94

Z

94-87

PLANS/PLATS

8

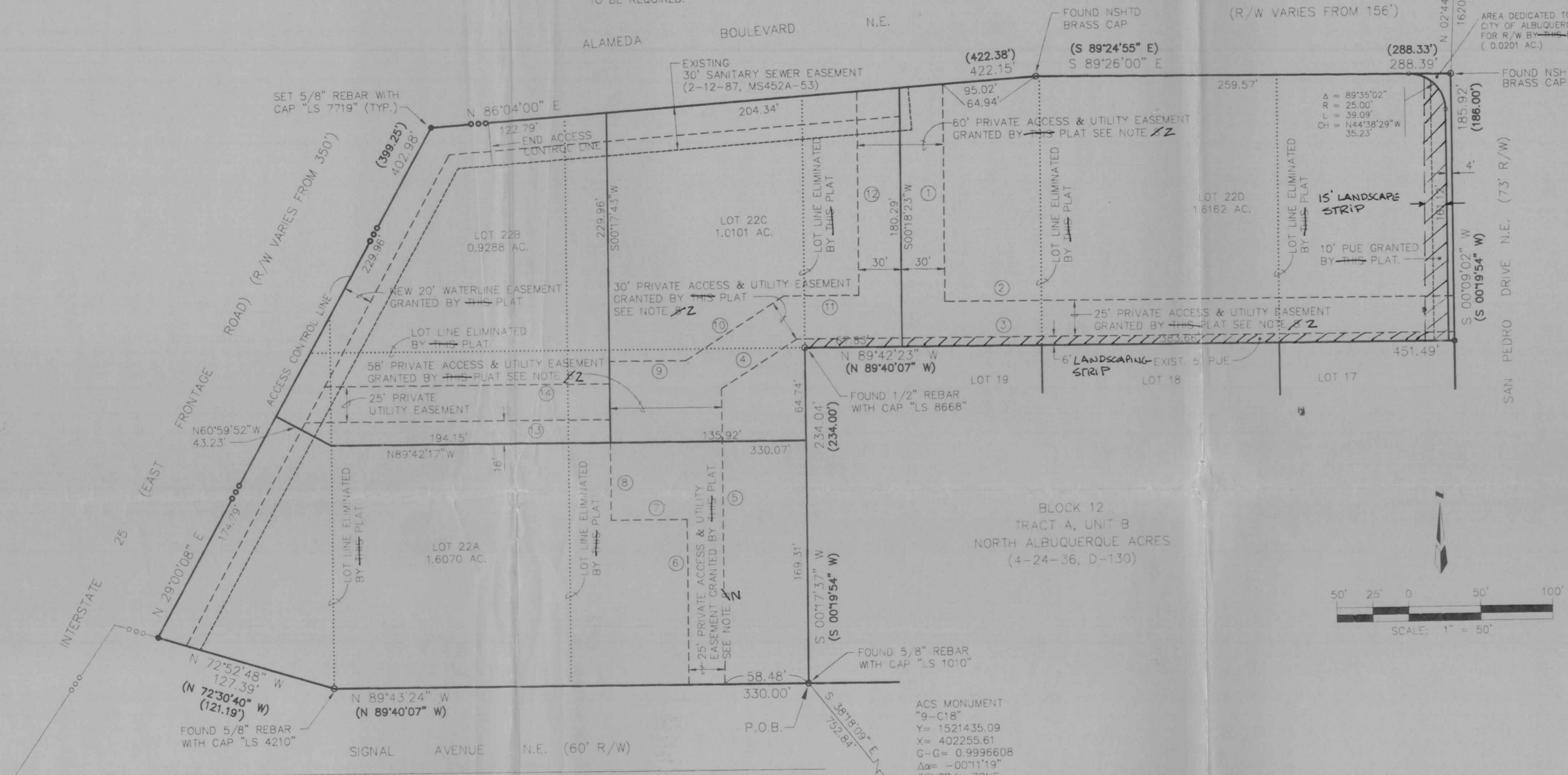
EASEMENT DATA

① S00°18'23"W, 151.51'	⑦ N89°42'17"W, 52.44'	⑬ N89°42'17"W, 211.87'
② N89°42'23"W, 353.57'	⑧ S00°17'43"W, 54.35'	⑭ N89°42'17"W, 198.18'
③ N89°42'23"W, 457.21'	⑨ N89°42'17"W, 52.74'	
④ N57°33'38"E, 62.69'	⑩ N57°33'38"E, 81.59'	
⑤ S00°17'43"W, 206.16'	⑪ N89°42'23"W, 52.38'	
⑥ S00°17'43"W, 114.98'	⑫ S00°18'23"W, 142.07'	

NOTES

1. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO LOT 22A, 22B, 22C, AND 22D MUST BE VERIFIED AND COORDINATED WITH PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE, VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.
 2. PRIVATE ACCESS EASEMENTS SHALL BE FOR THE MUTUAL BENEFIT OF LOTS 22A, 22B, 22C AND 22D AND ARE ACCOMPANIED BY JOINT AND EQUAL RESPONSIBILITY FOR MAINTENANCE.

3. A PORTION OF THIS PROPERTY IS WITHIN A 100 YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM "FLOOD INSURANCE RATE MAP" (COMMUNITY PANEL NO. 350002-0010-C EFFECTIVE OCT. 14, 1983). ANY DEVELOPMENT OF THIS PROPERTY MUST CONFORM TO THE ALBUQUERQUE DRAINAGE ORDINANCE. THE PROPERTY MAY BE SUBJECT TO THE FLOOD INSURANCE REQUIREMENTS OF THE FEDERAL INSURANCE MANAGEMENT AGENCY (FEMA), UNTIL SUCH TIME THAT A MAP REVISION IS APPROVED BY FEMA FOR EXISTING DRAINAGE IMPROVEMENTS, FLOOD INSURANCE IS LIKELY TO BE REQUIRED.



SITE PLAN FOR SUBDIVISION
 LOTS 22A, 22B, 22C, AND 22D
 BLOCK 12
 TRACT A, UNIT B
 NORTH ALBUQUERQUE ACRES
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 13
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 1994

SITE DEVELOPMENT PLAN
 Richard Deane
 Traffic Engineer, Transportation Division
 10-09-99
 Date
 Carmen Chavez
 Parks and General Services Department
 10-4-94
 Date
 Robert W. Kane
 Public Works, Water Utilities Division
 10-4-94
 Date
 Fred J. Corbin
 City Engineer, Engineering Division
 10-4-94
 Date
 Jack Cloud
 Planning Department
 10-9-94
 Date

general notes
 contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for routing, blockouts, stubs, blocking for equipment, etc.
 if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings
 the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents
 contractor to verify all dimensions prior to construction
 contractor to verify all existing on site conditions prior to construct.

1 Site Plan for Subdivision
 Scale: 1" = 50'-0"

ZONING

EXISTING	: SU-2 FOR AUTO SALES
PROPOSED	: SU-2 FOR MOTEL, SERVICE STATION, AND RESTAURANT AS CONTROLLED BY THE SHOPPING CENTER REGULATIONS FOR LOTS 22A-22C

FLOOR AREA RATIO

MAXIMUM 35% COVERAGE

PARKING REQUIREMENTS

RESTAURANT	: 1 CAR/4 SEATS, 1 CAR/200 SF	: 25+10=35
MOTEL	: 1 CAR/1 RENTAL UNIT	: 69
GAS STATION	: 1 CAR/200 SF	: 8
TOTAL PARKING REQUIRED	: 112	
TOTAL PARKING PROVIDED	: 104	
STANDARD STALL (9'x20')	: 104	
HANDICAP PARKING (13'x20')	: 10	
H.C. VAN PARKING (16'x20')	: 1	
	: 115	

BICYCLE PARKING PER CODE TO BE PROVIDED

LIGHTING

1.5 FOOTCANDLE MINIMUM ALL PARKING AREAS.
 LIGHT POLE 25' HEIGHT MAX.

DESIGN CRITERIA

MAXIMUM BUILDING HEIGHT : 40' FOR MOTEL
 26' ALL OTHERS, AS GOVERNED BY THE COMPREHENSIVE ZONING CODE

MINIMUM SETBACK : 20' FROM PROPERTY LINES

BUILDING MATERIALS:

WALLS: STUCCO - LIGHT SALMON/TAN
 METAL FASCIA PANELS - SILVER GREY
 METAL COLUMNS - SILVER GREY

ROOFING: ROOF FORMS AND MATERIALS:
 PITCHED STANDING SEAM METAL ROOF (SILVER GREY) WITH CURVILINEAR ELEMENTS
 FLAT ROOF WITH METAL FASCIA PANELS
 VAULTED METAL ROOF (SILVER GREY)

GLAZING: BLUE/GREEN GLAZING IN SILVER GREY FRAMES
 SIGNAGE: ILLUMINATED CHANNEL LETTERING AND CANNES
 LOGO SIGNS WITH 25sf MAXIMUM SIZE

LANDSCAPING

MINIMUM 15% FOR EACH LOT
 ALL LANDSCAPING SHALL HAVE AUTOMATIC CONTROLS AND BE MAINTAINED BY PROPERTY OWNERS
 EXCESS STREET R.O.W. AND FREEWAY R.O.W. WILL BE LANDSCAPED

LANDSCAPING MATERIALS:

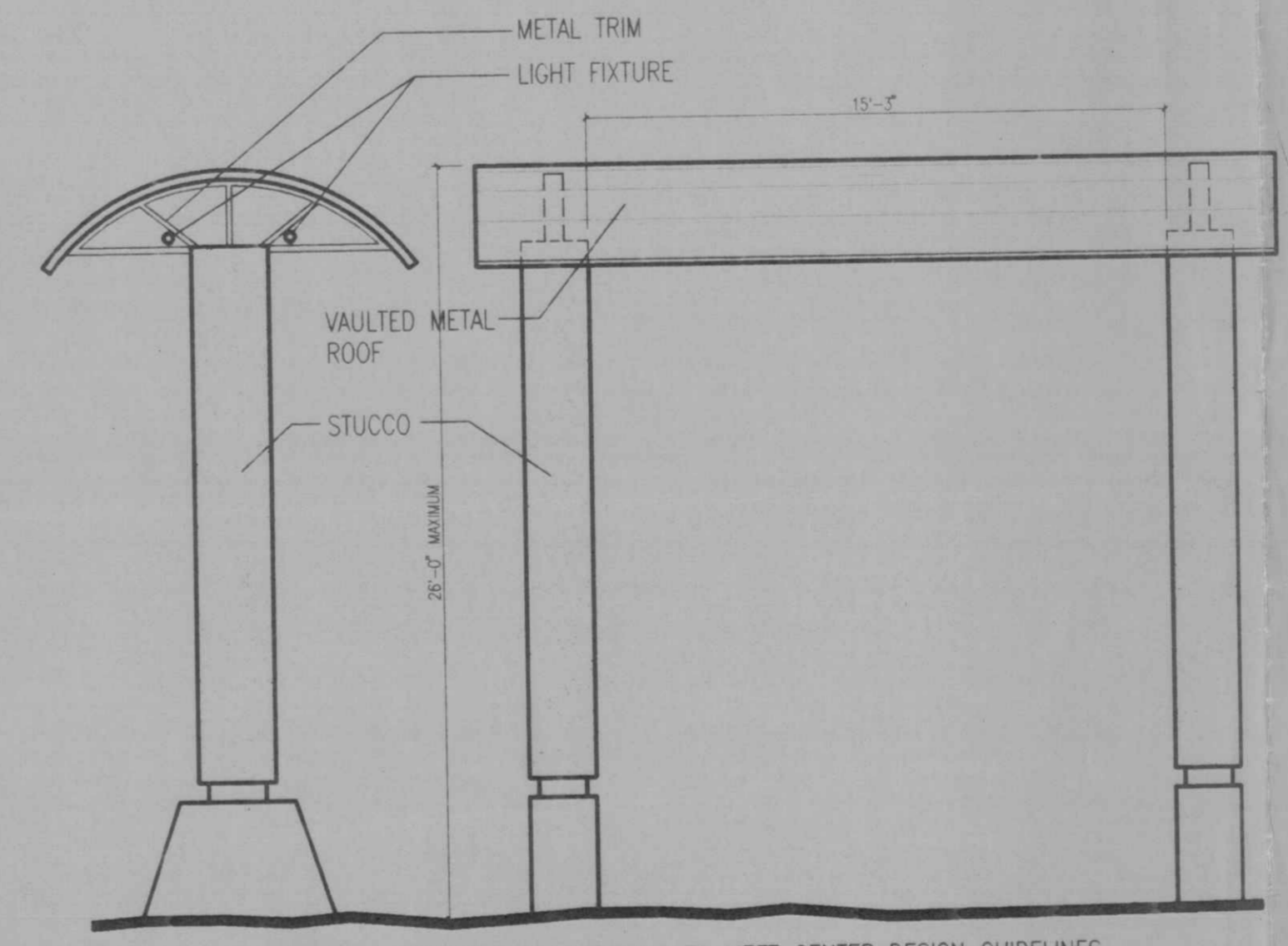
2 1/2" CAL. SHADE TREES
 ASH, LOCUST, LONDON PLANE, MAPLE
 AUSTRIAN PINE AND SPRUCE
 PURPLELEAF PLUM AND BRADFORD PEAR
 CLUMP ASPEN, FORESTIERA, PINON, MULTI-RUSSIAN OLIVE
 PALM YUCCA
 5 GAL. SHRUBS
 APACHE PLUME, BLUE MIST, COTONEASTER, CHAMISA

GROUNDCOVERS
 IVY, LAVENDER, HONEYSUCKLE, JUNIPER, TAM, BUFFALO

SIGNAGE

MAXIMUM 3 FREESTANDING SIGNS,
 ONE ON FREEWAY, TWO ON ALAMEDA

MAXIMUM HEIGHT : 20 ft.
 MAXIMUM AREA/SIGN : 150 sq. ft.



ALL MONUMENT SIGN MATERIALS TO MEET CENTER DESIGN GUIDELINES
Center Monument Sign
 Scale: 1/4" = 1'-0"
 DOUBLE-FACED ILLUMINATED SIGNAGE
 TOTAL SF = 150 SF EACH SIDE

site plan for subdivision
DCSW.
 architects

revisions:

design

architect

collaborative

southwest inc.

engineer

105 4th st. sw

albuquerque, nm

87102

job no: 9414
 date: 10-4-94
 sheet A.1 of 1

2 - 94 8 7

I certify that this area is Zoned SU-2 and that this plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on July 21, 1994 and that the findings in the Official Notice have been complied with.

SITE DEVELOPMENT PLAN

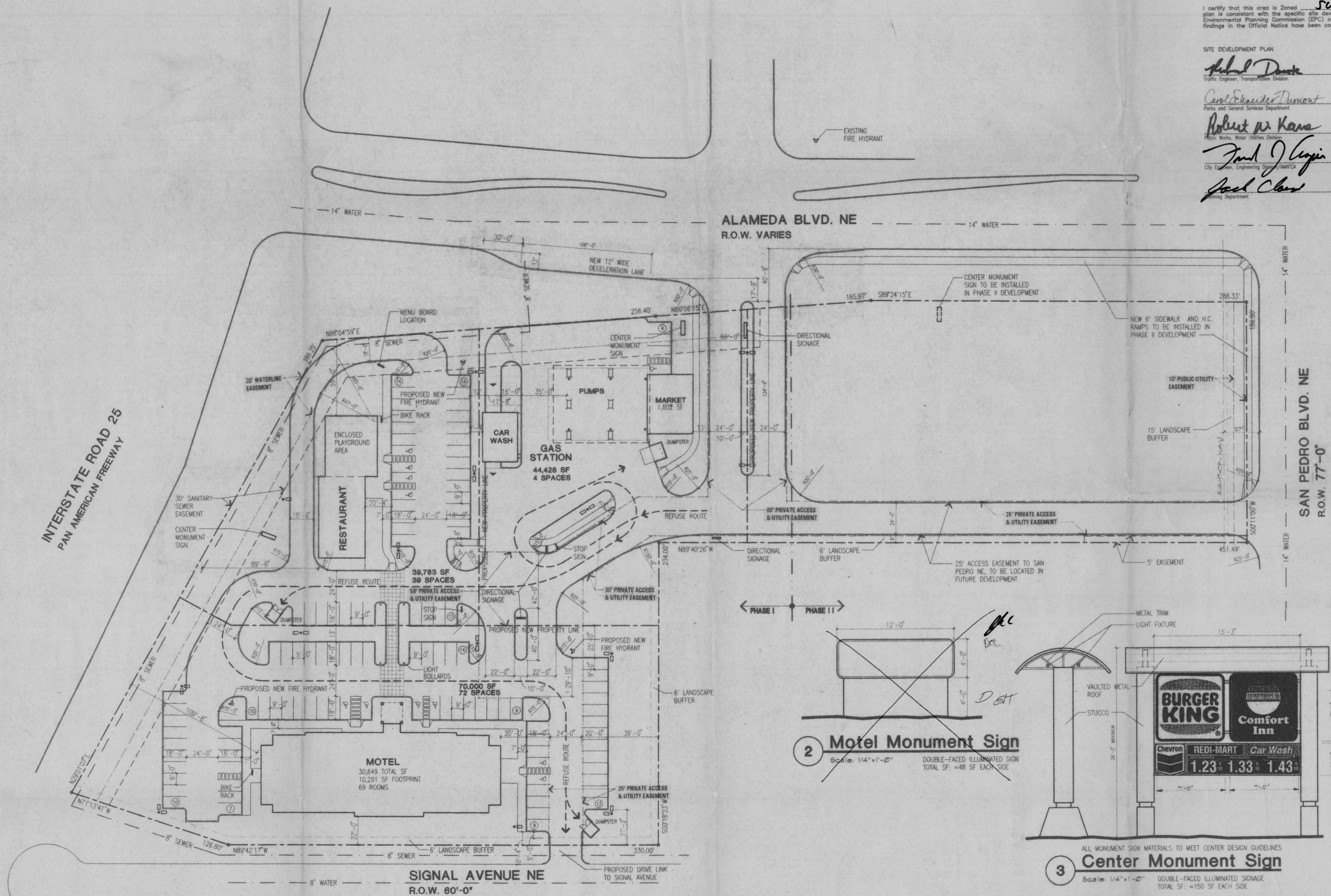
Richard Danks 9-14-94
Traffic Engineer, Transportation Division

Carol Schneider-Dumont 8-9-94
Parks and General Services Department

Robert W. Kane 8-9-94
Public Works, Water Utilities Division

Frank J. Virgin 10-6-94
City Engineer, Engineering Division/AMAFCA

Joel Clark 10-12-94
Planning Department



ALAMEDA CENTER NORTH DESIGN GUIDELINES

WALLS: STUCCO - LIGHT SALMON/TAN
METAL FASCIA PANELS - SILVER GREY
METAL COLUMNS - SILVER GREY

ROOFING: ROOF FORMS AND MATERIALS - PITCHED STANDING SEAM METAL ROOF (SILVER GREY)
FLAT ROOF WITH METAL FASCIA PANELS
VAULTED METAL ROOF (SILVER GREY)

GLAZING: BLUE/GREEN GLAZING IN SILVER GREY FRAMES

SIGNAGE: ILLUMINATED CHANNEL LETTERING AND CANNELED LOGO SIGNS WITH 25' MAXIMUM SIZE

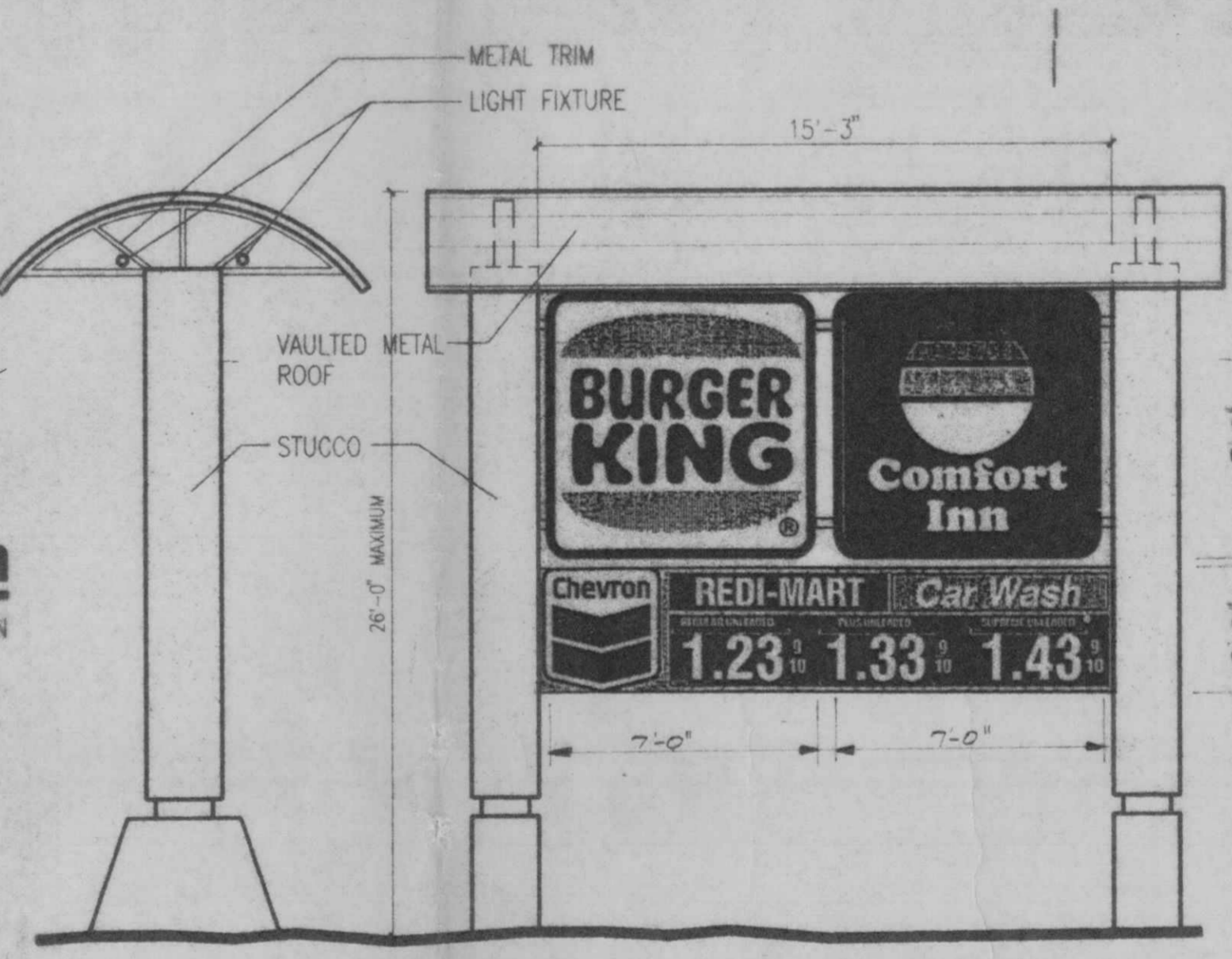
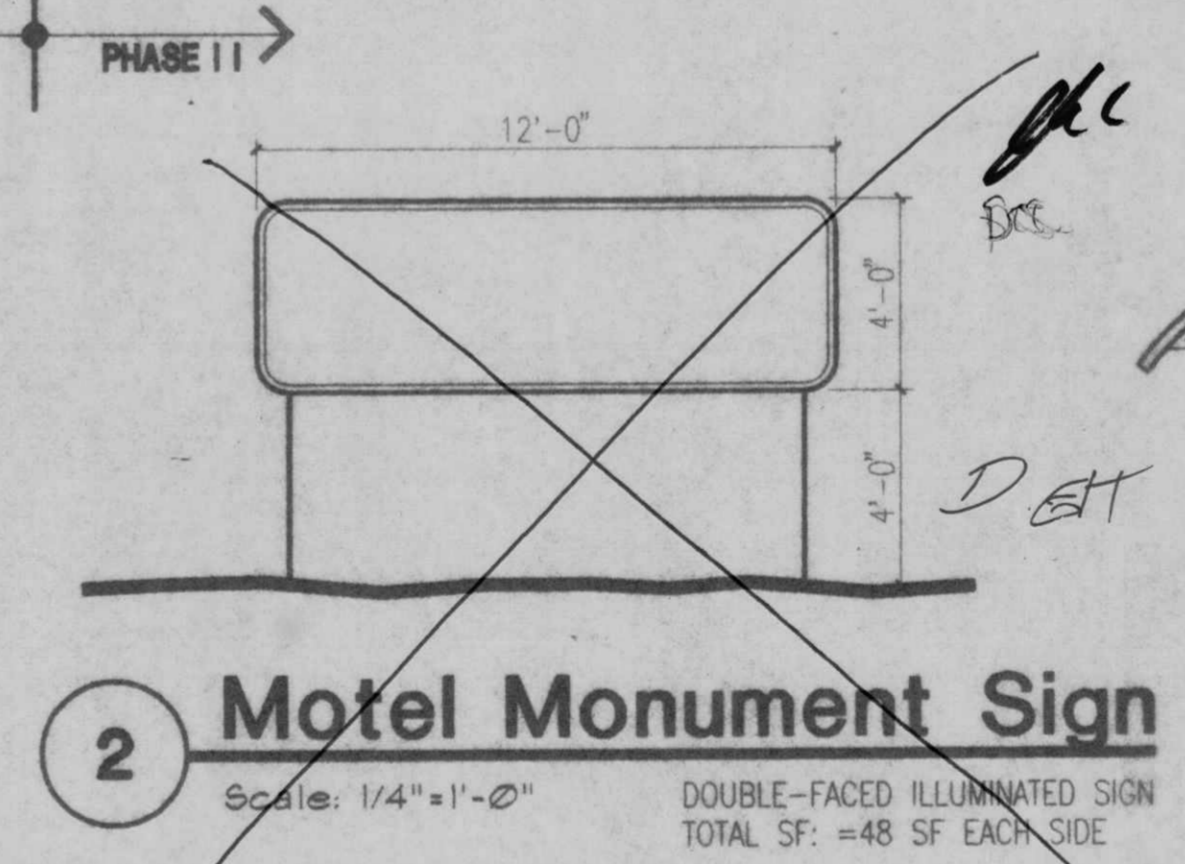
general notes
contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for routing, blockouts, stubs, blocking, etc.

If any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings.

The contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents.

contractor to verify all dimensions prior to construction.

contractor to verify all existing site conditions prior to construct.



site plan	DCSW architects
revisions:	
design	
architect	
collaborative	
southwest inc.	
engineer	105 4th st. sw
	albuquerque, nm
	87102
job no:	9414
date:	8-2-94
sheet	DRBA.1 of 3
	505-843-9639

LAND USE DATA

LEGAL DESCRIPTION: LOTS 12,13,14,15,16,20,21,&22, BLOCK 12, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES SUB-DIVISION

PROPOSED USE: RESTAURANT, MOTEL, AND GAS STATION

BUILDING SQ. FOOTAGE:

RESTAURANT:	4,400 SF
MOTEL:	30,649 SF
GAS STATION:	1,602 SF + 6 PUMPS
TOTAL ALL BUILDINGS:	36,624 SF

PHASE I

TOTAL LAND AREA:	154,211 SF (3.54 ACRES)
TOTAL PARKING LOT AREA:	72,698 SF
TOTAL LANDSCAPE AREA:	65,220 SF (INCL'G SIDEWALKS)
TOTAL LANDSCAPE PERCENTAGE:	42%

PHASE II

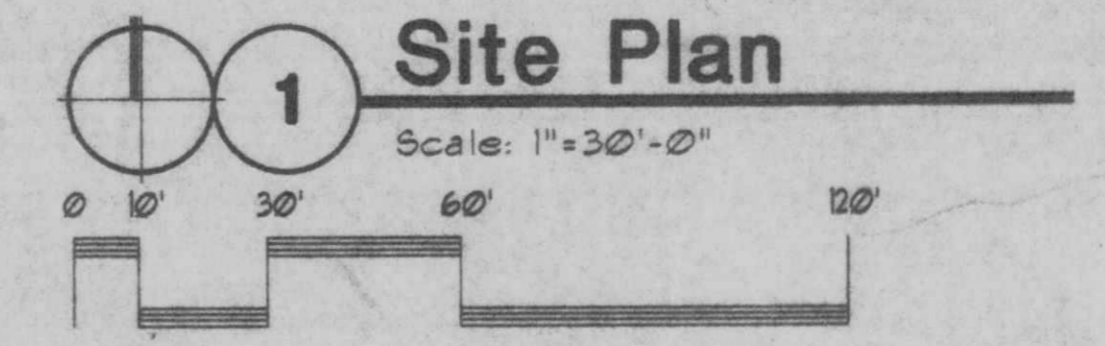
TOTAL LAND AREA (FUTURE DEV'T):	71,376 SF (1.64 ACRES)
---------------------------------	------------------------

PARKING CALCULATIONS

RESTAURANT	: 1 CAR/4 SEATS, 1 CAR/200 SF:	25+10=35
MOTEL	: 1 CAR/1 RENTAL UNIT	: 69
GAS STATION	: 1 CAR/200 SF	: 8
TOTAL PARKING REQUIRED	:	112
TOTAL PARKING PROVIDED	:	
STANDARD STALL (9'x20')	:	104
HANDICAP PARKING (13'x20')	:	10
H.C. VAN PARKING (16'x20')	:	11
TOTAL PROVIDED	:	115

ZONING: SU-2 FOR AUTO SALES
PROPOSED: SU-2 FOR MOTEL, SERVICE STATION, AND RESTAURANT AS CONTROLLED BY THE SHOPPING CENTER REGULATIONS

LIGHTING (P): PARKING LOT AREA = 1.5 F.C. MIN. LIGHT POLE 25' HEIGHT MAX.

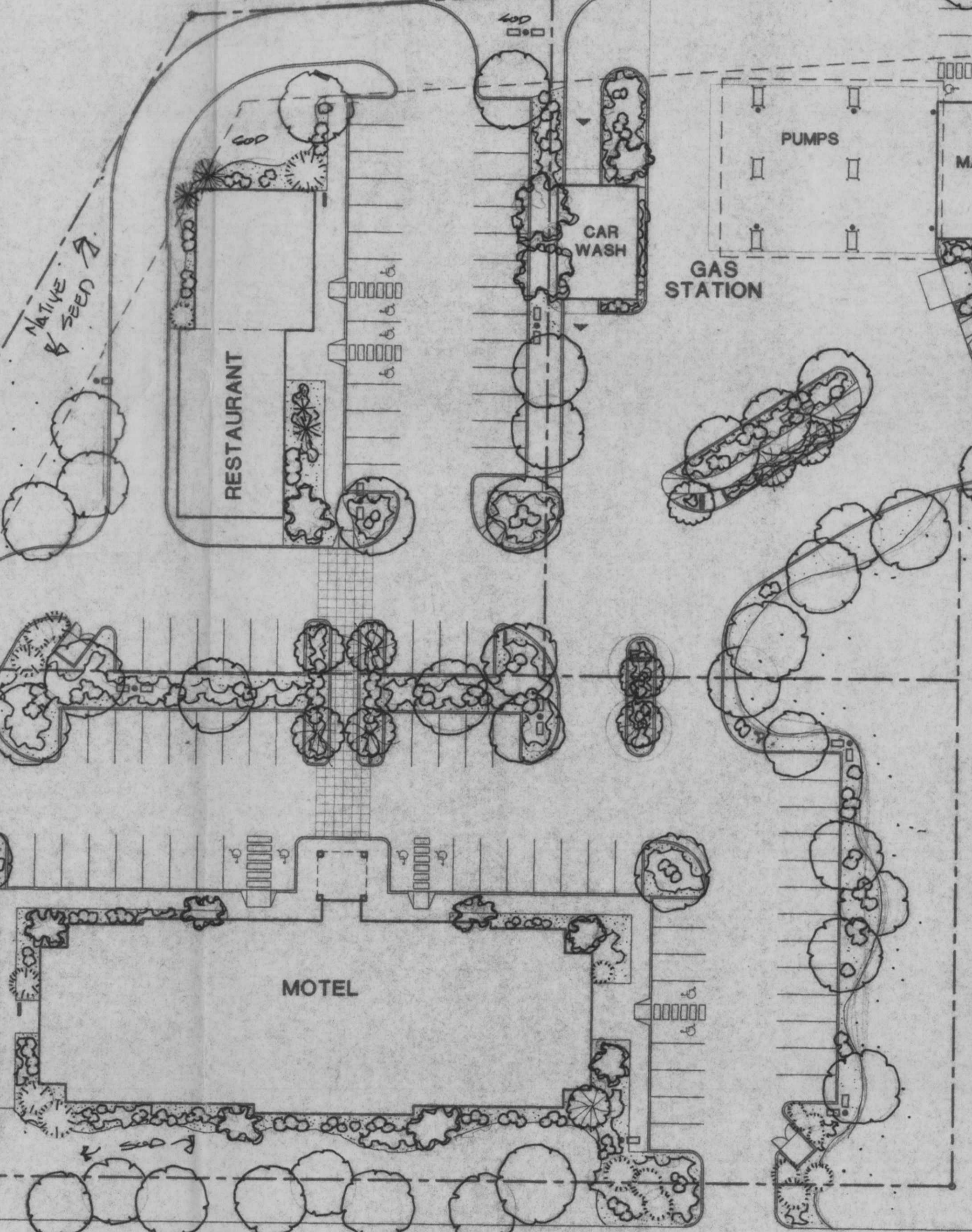


Z-94-87

INTERSTATE ROAD 25
PAN AMERICAN FREEWAY

ALAMEDA BLVD. NE
R.O.W. VARIES

SAN PEDRO BLVD. NE
R.O.W. 77'-0"



NATIVE SEED
✓ ALL SARECO AREAS

LANDSCAPE LEGEND

- 2-1/2" CAL. SHADE 30'-0" O.C.
ASH, LOCUST, WHIDON PLANE, MAPLE
- 6'-8" AUSTRALIAN PINE OR SPRUCE 8'-0" O.C.
- 15 GAL PURPUREAF PLUM OR REDFORD PEAR 10'-0" O.C.
- 14-16 CLUMP ASPEN } (PLANTED IN GROUPINGS)
8-12' FORESTIERA }
6-8' PINON }
3" CAL. MULTI-TRUSSION OLIVE }
- PALM YUCCA
- 5G. SHRUBS (SPACED 5'-0" O.C.)
PHOTINIA, RAPHIOLEPIS, EUCONYMUS, HOLLY, NANNING
LILAC, FORSYTHIA, CORNUS, CHAMAEDORHA, SPACHE PLUME,
BLUE MIST
- GROUNDCOVERS (5'-0" O.C.)
1G. IVY, LAVENDER, HONEYSUCKLE
5G. JUNIPER, TAM OR BUFFALO

- 3/4" CRUSHED GREY GRANITE/FILTER FABRIC
- HYDROMULCH NATIVE SEED
- STEEL EDGING
- BOULDERS

NOTES:
ALL LANDSCAPING SHALL BE WATERED
BY A COMPLETE UNDERGROUND IRRIGATION
SYSTEM OPERATED BY AUTOMATIC TIMER.

MAINTENANCE SHALL BE THE
RESPONSIBILITY OF THE OWNER.

general notes
contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for routing, blockouts, stubs, blocking for equipment, etc.
if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings. the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents.
contractor to verify all dimensions prior to construction.
contractor to verify all existing on site conditions prior to construct.

landscape plan

DCSW
architects

revisions:

6-1-94	design
6-30-94	collaborative

architect

engineer

105 4th st. sw
albuquerque, nm
87102

job no: 9414
date: 5-27-94
sheet A2 of 3

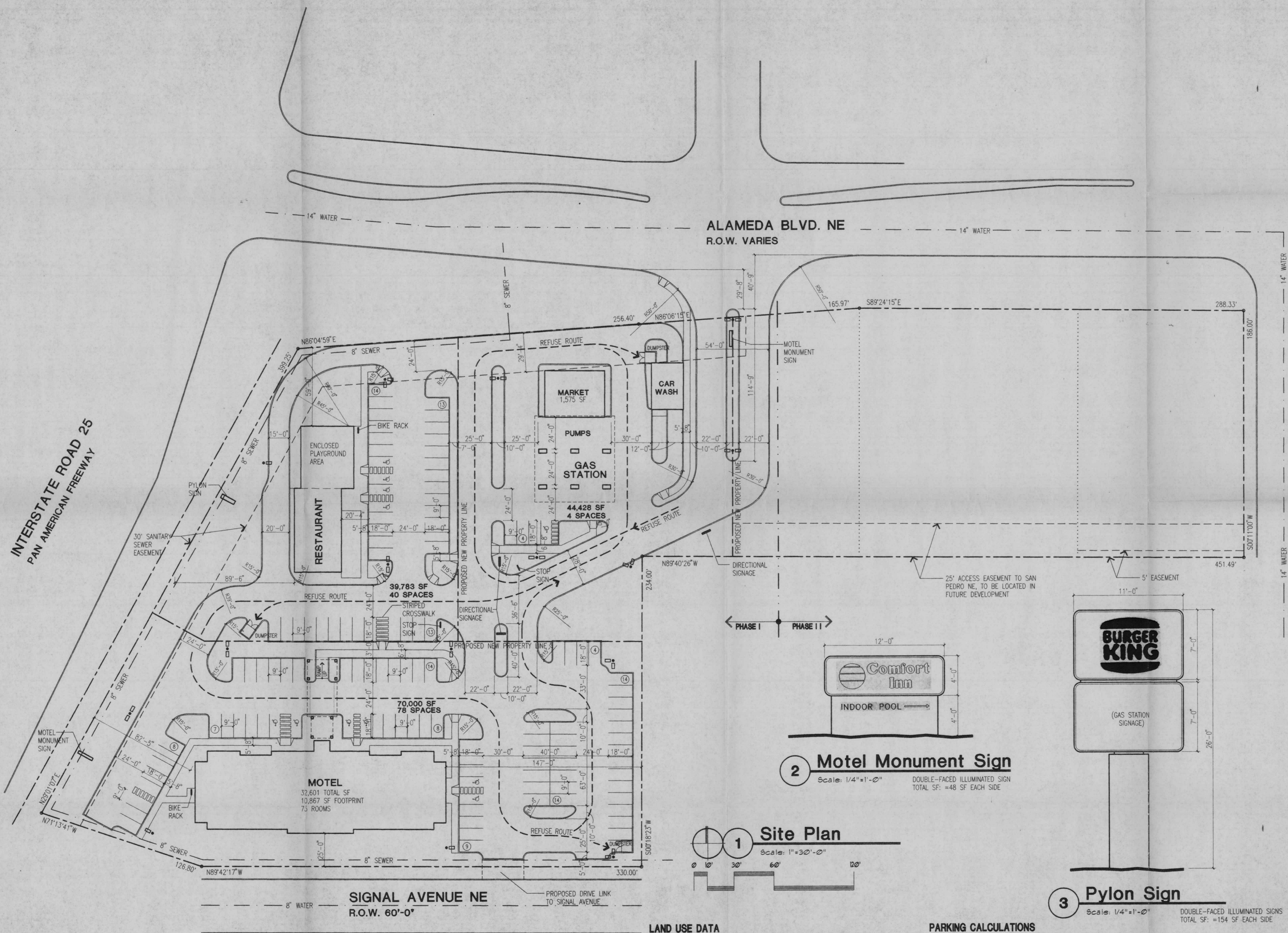
Copyright © 1994 THE HILLTOP
All Rights Reserved



The Hilltop

1-26-94

2-0487

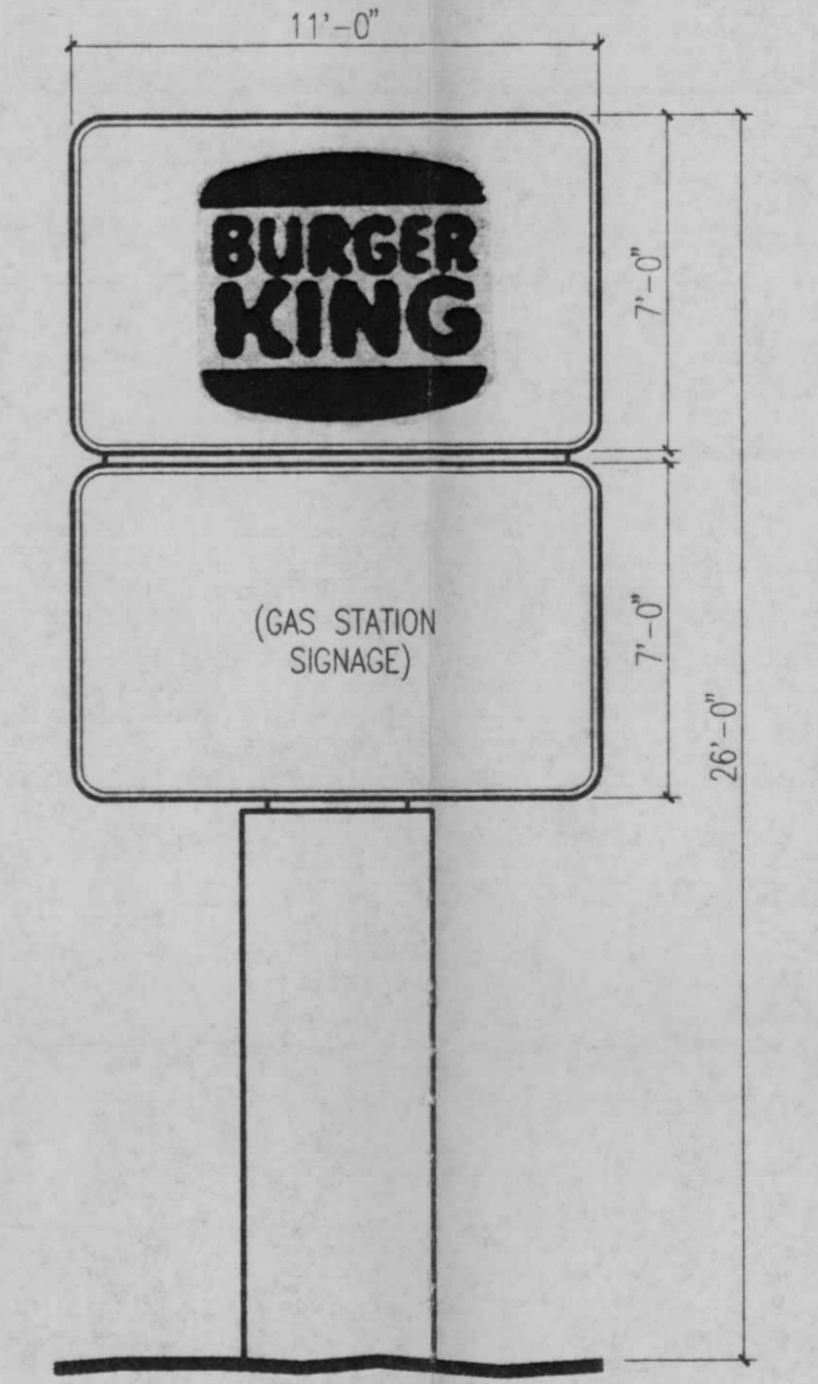
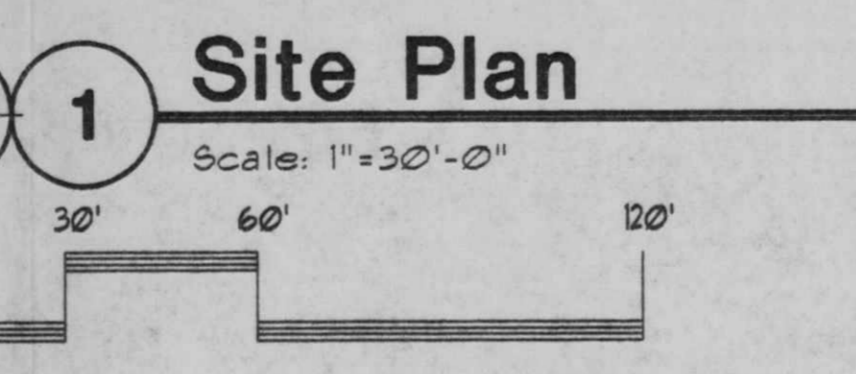
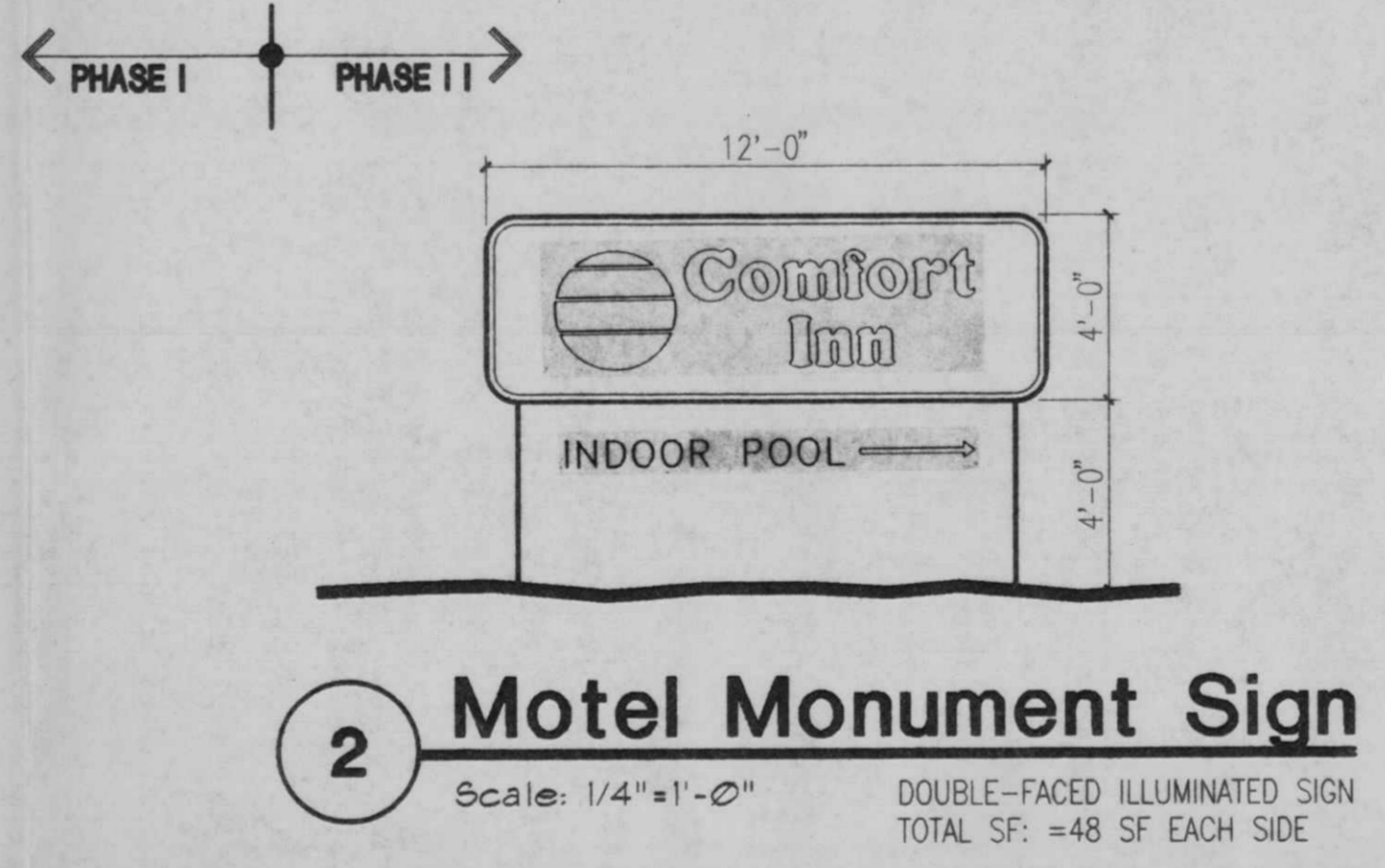


LAND USE DATA

LEGAL DESCRIPTION:	LOTS 12,13,14,15,16,20,21,&22, BLOCK 12, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES SUB-DIVISION
PROPOSED USE:	RESTAURANT, MOTEL, AND GAS STATION
BUILDING SQ. FOOTAGE:	
RESTAURANT:	4,400 SF
MOTEL:	32,601 SF
GAS STATION:	1,575 SF + 6 PUMPS
TOTAL ALL BUILDINGS:	38,576 SF
PHASE I	
TOTAL LAND AREA:	154,211 SF (3.54 ACRES)
TOTAL PARKING LOT AREA:	88,930 SF
TOTAL LANDSCAPE AREA:	48,439 SF (INCLUDING SIDEWALKS)
TOTAL LANDSCAPE PERCENTAGE:	32%
PHASE II	
TOTAL LAND AREA (FUTURE DEV'T):	71,376 SF (1.64 ACRES)

PARKING CALCULATIONS

RESTAURANT :	1 CAR/4 SEATS, 1 CAR/200 SF: 25+10=35
MOTEL :	1 CAR/1 RENTAL UNIT : 75
GAS STATION :	1 CAR/200 SF : 8
TOTAL PARKING REQUIRED :	118
TOTAL PARKING PROVIDED :	
STANDARD STALL (9'x20')	111
HANDICAP PARKING (13'x20')	10
H.C. VAN PARKING (16'x20')	1
	122
ZONING :	SU-2 FOR AUTO SALES
PROPOSED :	SU-2 FOR MOTEL, SERVICE STATION, AND RESTAURANT AS CONTROLLED BY THE SHOPPING CENTER REGULATIONS
LIGHTING (1/2) :	PARKING LOT AREA - 1.5 F.C. MIN. LIGHT POLE 25' HEIGHT MAX.



general notes
 contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for routing, blockouts, stubs, blocking for equipment, etc.
 if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings
 the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents
 contractor to verify all dimensions prior to construction
 contractor to verify all existing on site conditions prior to construct.

site plan
 DCSW architects

revisions:
 6-1-94 design
 architect collaborative

southwest inc.

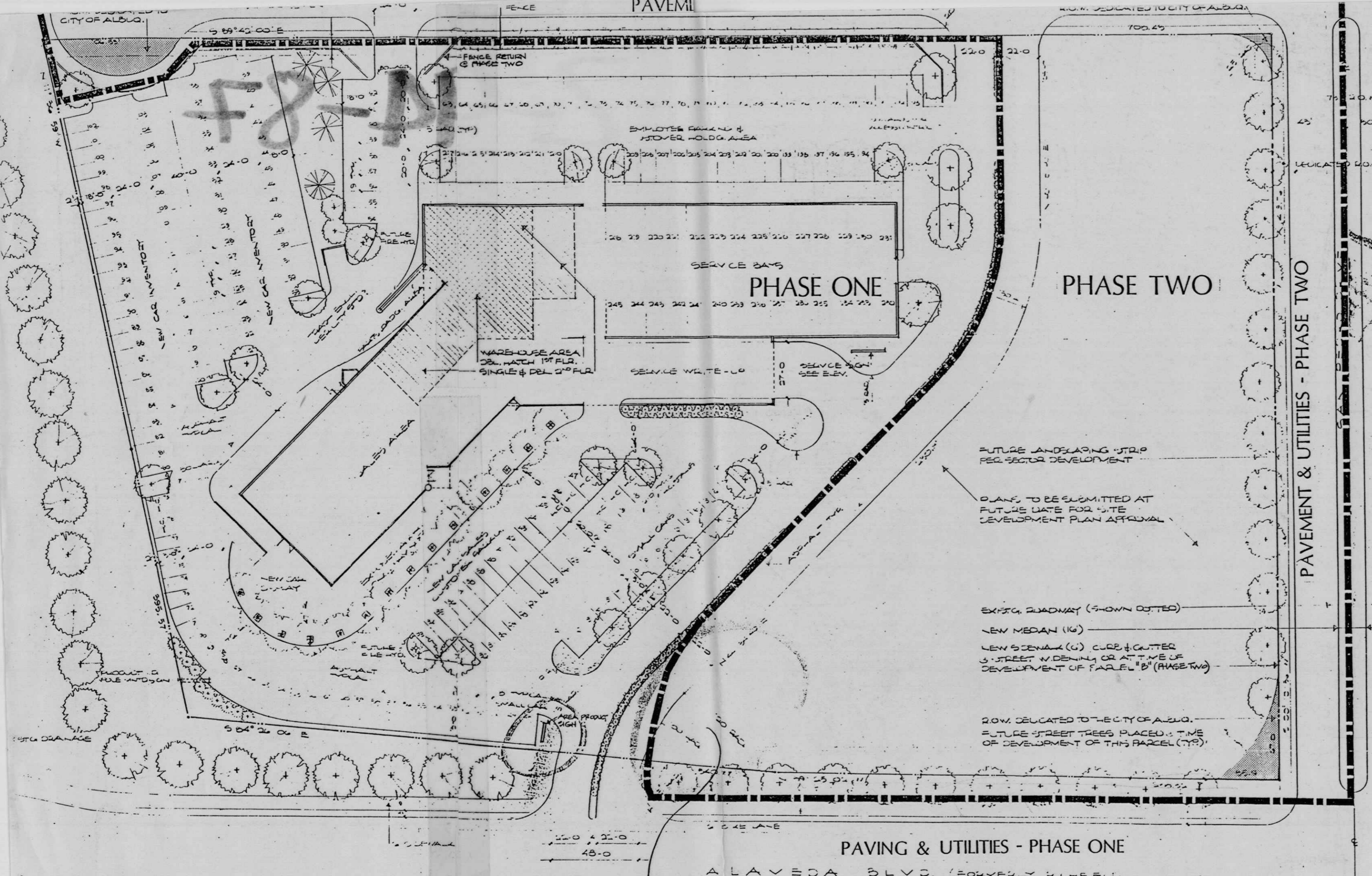
engineer 105 4th st. sw.

albuquerque, nm.

87102

job no: 9414
 date: 5-27-94 505-843-9639

sheet A.1 of 2



APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON APRIL 17, 1986.

CITY PLANNER *Robert Dineen* 9-9-86

CITY ENGINEER *Fred J. Aguin* 4-29-86 *PAH 7/15/86*

TRAFFIC ENGINEER *Robert A. Lanning* 4-27-86 *PAH 7-15-86*

WATER RESOURCES ENG. *Rhonda J. Taught* 4-29-86 *PAH 7-15-86*

PARKS & RECREATION *Janet Jagers* 4-29-86

SITE DATA

LEGAL DESCRIPTION:
 LOTS 12 THRU 21, BLOCK 11,
 TRACT A, UNIT B, NORTH
 ALBUQUERQUE ACRES SUB-
 DIVISION, ALBUQ., N.M.

ZONE MAP: C-1B-2
 SITE AREA: 6,268.2 AC TOTAL
 PARCEL A = 4,247.3 AC
 B = 2,020.9 AC

BLLG. AREA:
 1ST FLOOR = 21,555
 2ND FLOOR = 13,000
 TOTAL = 34,555 #

GRADING REQUIREMENTS:
 1ST FLR RETAIL 21,555 + 200 = 21,755
 2ND FLR RETAIL 13,000 + 200 = 13,200
 WAREHOUSE 10,000 + 200 = 10,200
 TOTAL 44,955 = 125

8 HAND CAP SPACES REQ'D.
 LANDSCAPING MIN. REQ'D.
 44,103 x 1% = 10,068 # REQ'D.
 @ 69% = 24,333 # PROVIDED
 OFF SITE LANDSCAPING
 = 47,734 # PROVIDED

BICYCLE W/CAPS REQ'D @ 1/20
 = 9 REQ'D. SPACES
 = 10 SPACES PROV.

LANDSCAPING

- SHADE TREES SELECTED FROM: SILVER MAPLE, SCAMMOE, LONDON PLANE OR HONEY LOCUST (2'-3' CAL PER)
- EVERGREEN TREES SELECTED FROM: ADIZ, CYPRUS AUSTRALIAN PINE OR BLUE SPRUCE (2' TO 3')
- SHRUBS FROM JUNIPER, PRUNELLA, FRAZER
- BUFFALO GRASS
- PARK CHIP GROUND COVER

NOTES:
 1. ALL PLANTINGS TO RELIEVE NEG. EFFLUXION TO INSURE DESIRED GROWTH. MAINT. D/TOWN.
 2. SURROUNDING ROW TO BE REEDED W/ NATIVE GRASSES & GROUND COVER.

2-86-8
 FACILITIES
 TO FACILITATE
 DEVELOPMENT OF
 THE CITY OF ALBUQUERQUE
 PLANNERS

PAVING & UTILITIES - PHASE ONE

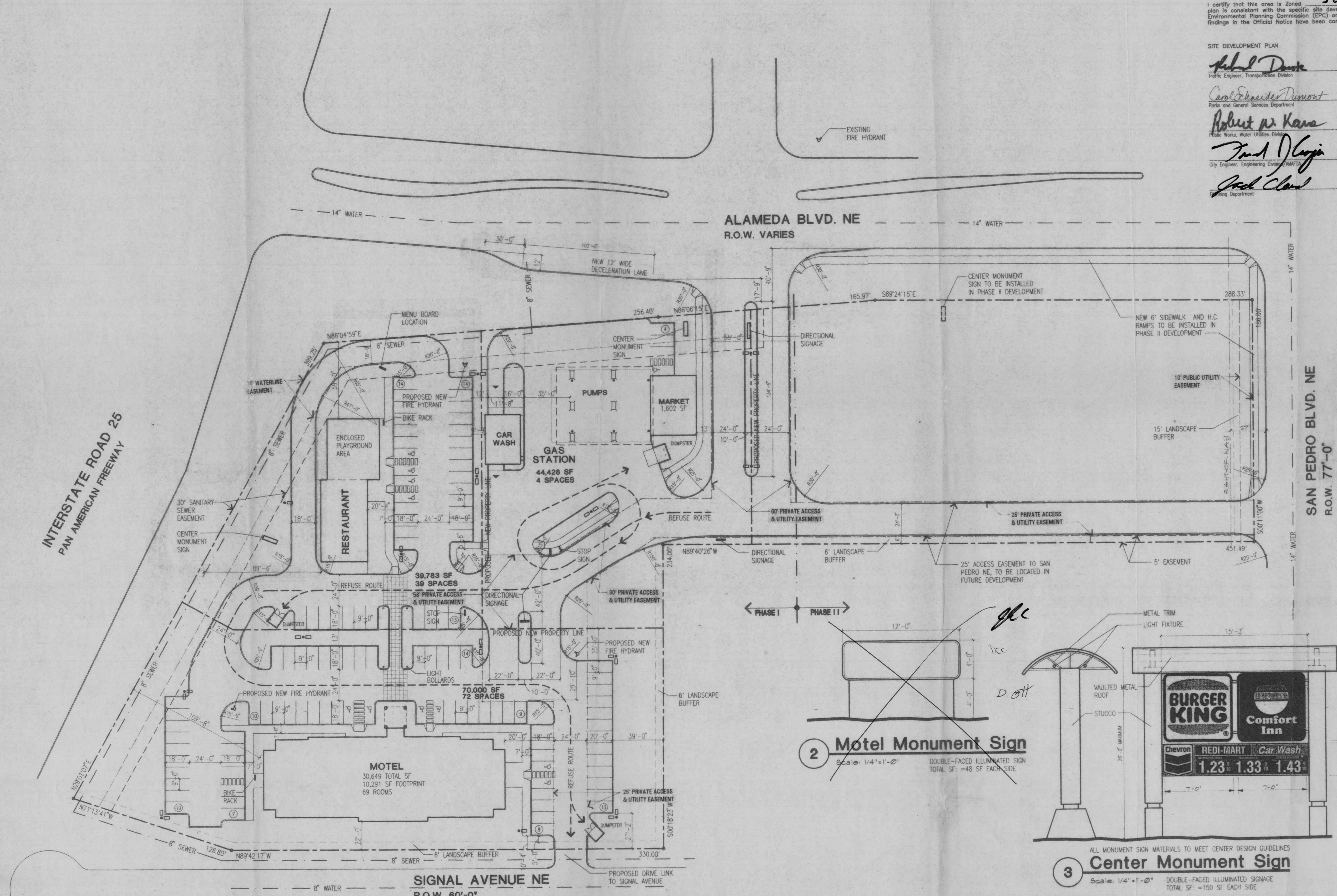
ALAMEDA BLVD. (FORMERLY WILFELD)

I certify that this area is Zoned **SU-2** and that this plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on July 21, 1994 and that the findings in the Official Notice have been complied with.

SITE DEVELOPMENT PLAN

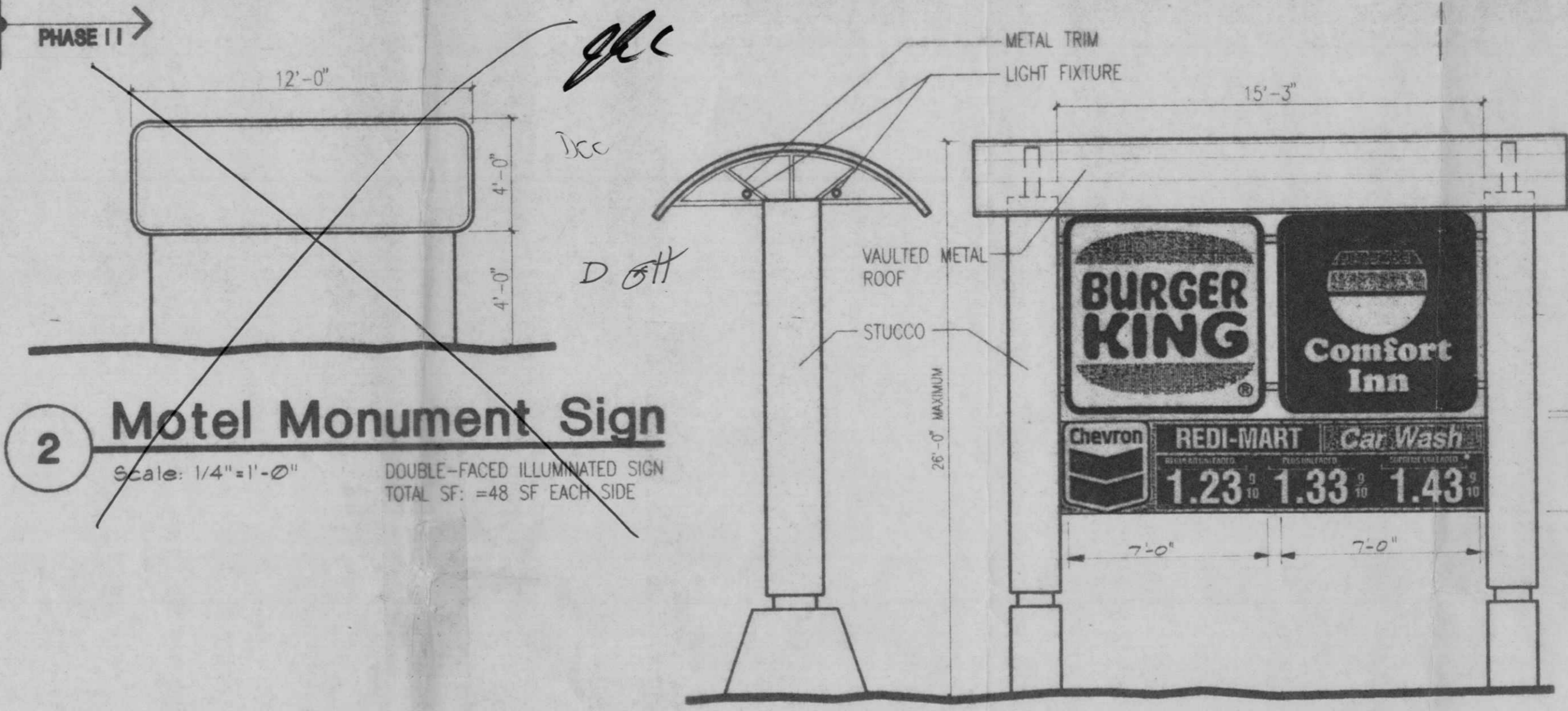
Richard Deane 9-14-94
Traffic Engineer, Transportation Division
Carol Schneider Dumont 8-9-94
Parks and General Services Department
Robert W. Kane 8-9-94
Public Works, Water Utilities Division
Frank Morgan 10-8-94
City Engineer, Engineering Division
Joel Cloud 10-12-94
Planning Department

Z-94-87



ALAMEDA CENTER NORTH DESIGN GUIDELINES
 WALLS: STUCCO - LIGHT SALMON/TAN
 METAL FASCIA PANELS - SILVER GREY
 METAL COLUMNS - SILVER GREY
 ROOFING: ROOF FORMS AND MATERIALS -
 PITCHED STANDING SEAM METAL ROOF (SILVER GREY)
 FLAT ROOF WITH METAL FASCIA PANELS
 VAULTED METAL ROOF (SILVER GREY)
 GLAZING: BLUE/GREEN GLAZING IN SILVER GREY FRAMES
 SIGNAGE: ILLUMINATED CHANNEL LETTERS AND CANNELED
 LOGO SIGNS WITH 25" MAXIMUM SIZE

general notes
 contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for routing, brackets, studs, blocking for equipment, etc.
 if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings
 the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents
 contractor to verify all dimensions prior to construction
 contractor to verify all existing on site conditions prior to construct.



site plan _____
revisions: _____
design _____
collaborative _____
southwest inc. _____
engineer _____

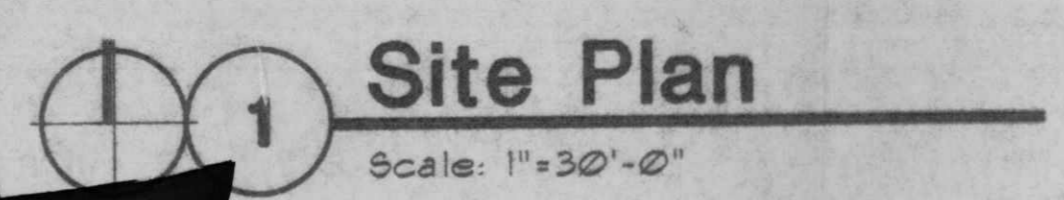


LAND USE DATA

LEGAL DESCRIPTION: LOTS 12,13,14,15,16,20,21,22, BLOCK 12, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES SUB-DIVISION
 PROPOSED USE: RESTAURANT, MOTEL, AND GAS STATION
 BUILDING SQ. FOOTAGE:
 RESTAURANT: 4,400 SF
 MOTEL: 30,649 SF
 GAS STATION: 1,602 SF + 6 PUMPS
 TOTAL ALL BUILDINGS: 36,624 SF
PHASE I
 TOTAL LAND AREA: 154,211 SF (3.54 ACRES)
 TOTAL PARKING LOT AREA: 72,698 SF
 TOTAL LANDSCAPE AREA: 65,220 SF (INCL'G SIDEWALKS)
 TOTAL LANDSCAPE PERCENTAGE: 42%
PHASE II
 TOTAL LAND AREA (FUTURE DEV'T): 71,376 SF (1.64 ACRES)

PARKING CALCULATIONS

RESTAURANT : 1 CAR/4 SEATS, 1 CAR/200 SF: 25+10=35
 MOTEL : 1 CAR/1 RENTAL UNIT : 69
 GAS STATION : 1 CAR/200 SF : 8
 TOTAL PARKING REQUIRED : 112
 TOTAL PARKING PROVIDED :
 STANDARD STALL (9'x20') : 104
 HANDICAP PARKING (13'x20') : 10
 H.C. VAN PARKING (16'x20') : 1
 TOTAL : 115
 ZONING : SU-2 FOR AUTO SALES
 PROPOSED : SU-2 FOR MOTEL, SERVICE STATION, AND RESTAURANT AS CONTROLLED BY THE SHOPPING CENTER REGULATIONS
 LIGHTING (1/8) : PARKING LOT AREA - 1.5 F.C. MIN. LIGHT POLE 25' HEIGHT MAX.

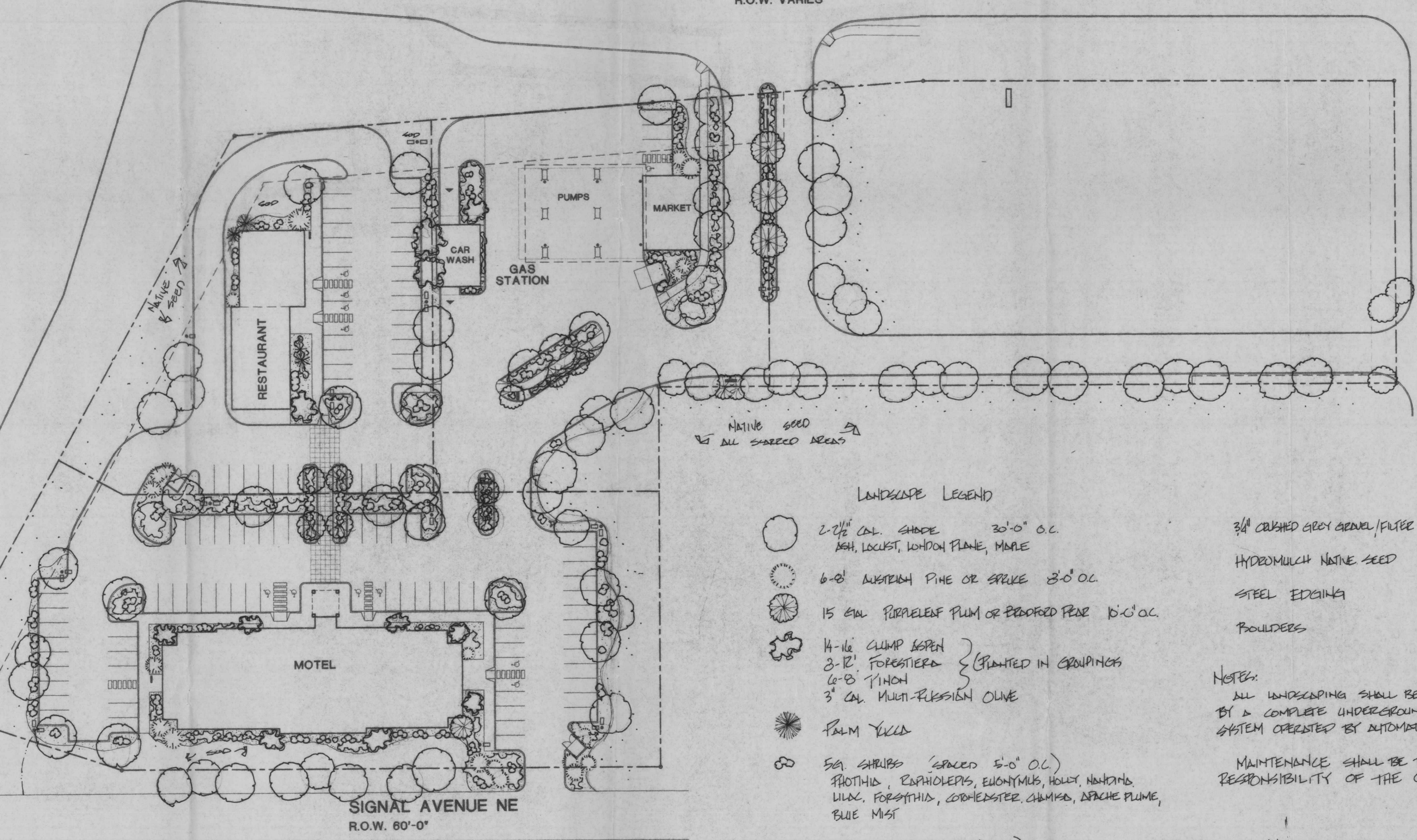


Z-94-87

INTERSTATE ROAD 25
PAN AMERICAN FREEWAY

ALAMEDA BLVD. NE
R.O.W. VARIES

SAN PEDRO BLVD. NE
R.O.W. 77'-0"



LANDSCAPE LEGEND

- 2-1/2" CAL. SHADE 30'-0" O.C.
ASH, LOCUST, WINDON PLANE, MAPLE
- 6-8' AUSTRALIAN PINE OR SPRUCE 8'-0" O.C.
- 15' CAL. PARALELEP PUM OR REDFORD PINE 10'-0" O.C.
- 14-16' CLUMP ASPEN } (PLANTED IN GROUPINGS)
8-12' FORESTIERA }
6-8' PINON }
3" CAL. MULTI-BLOSSOM OLIVE }
- PALM YUCCA
- 50' SHRUBS (SPACED 5'-0" O.C.)
PHOTINIA, EUPHORBIA, EUNYMIUS, HOLLY, NANNING
LILAC, FORSYTHIA, CORDONROSETTA, CHAMA, AFACHE PLUME,
BLUE MIST
- GROUNDCOVERS (5'-0" O.C.)
10' IVY, LAVENDER, HONEYSUCKLE
50' JUNIPER, TAM OR BUFFALO

- 3/4" CRUSHED GRAY GRAVEL/FILTER FABRIC
- HYDROMULCH NATIVE SEED
- STEEL EDGING
- BOULDERS

NOTES:
ALL LANDSCAPING SHALL BE WATERED
BY A COMPLETE UNDERGROUND IRRIGATION
SYSTEM OPERATED BY AUTOMATIC TIMER.

MAINTENANCE SHALL BE THE
RESPONSIBILITY OF THE OWNER.

general notes
contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for routing, blockouts, stubs, blocking for equipment, etc.
if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings. the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents.
contractor to verify all dimensions prior to construction.
contractor to verify all existing on site conditions prior to construct.

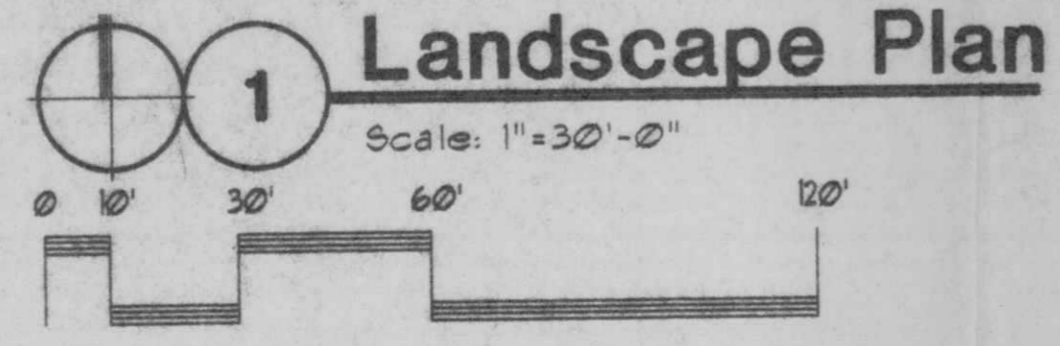
landscape plan
DCSW
architects

revisions:
6-1-94
6-30-94
design
architect

collaborative
southwest inc.

engineer
105 4th st. sw
albuquerque, nm.

87102
job no: 9414
date: 5-27-94
505-843-9639
sheet



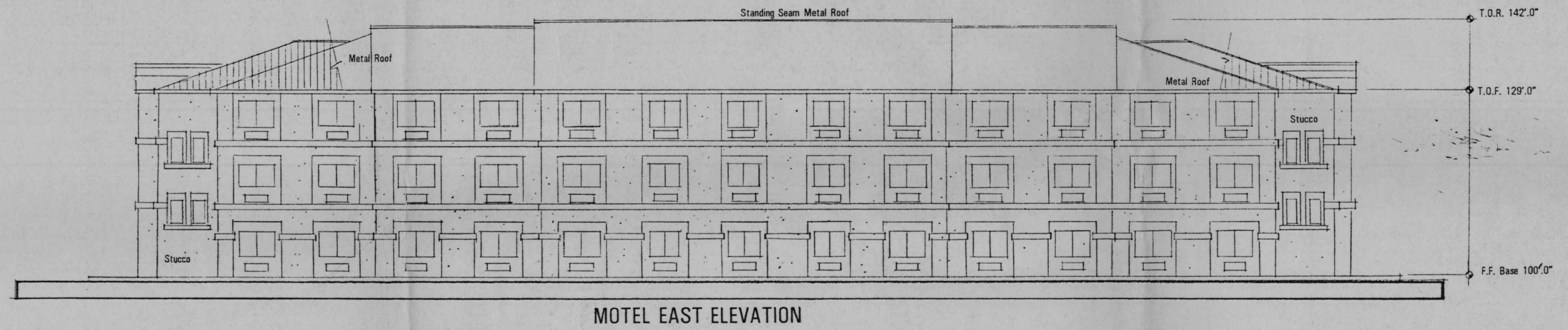
Copyright © 1994 THE HILLTOP
All Rights Reserved



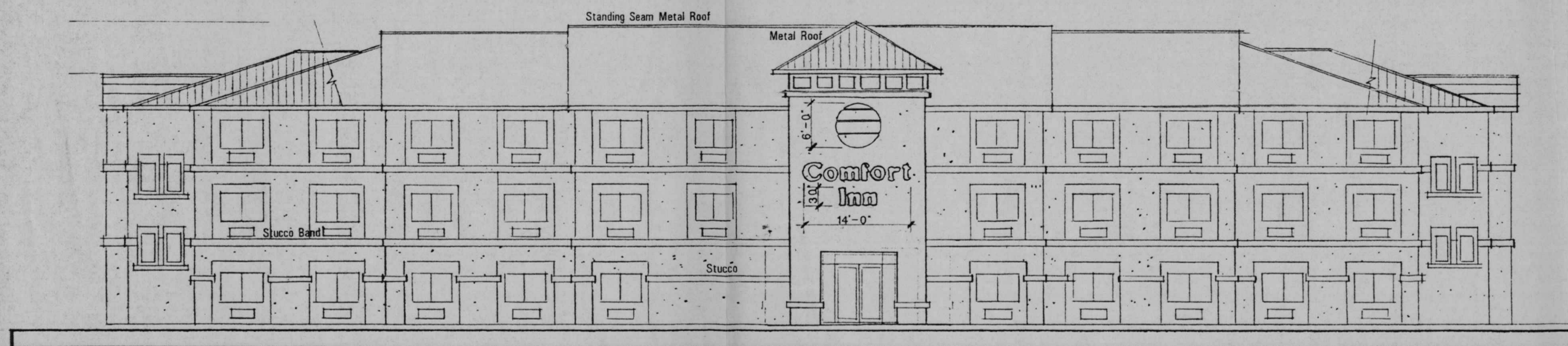
The Hilltop

1-26-94

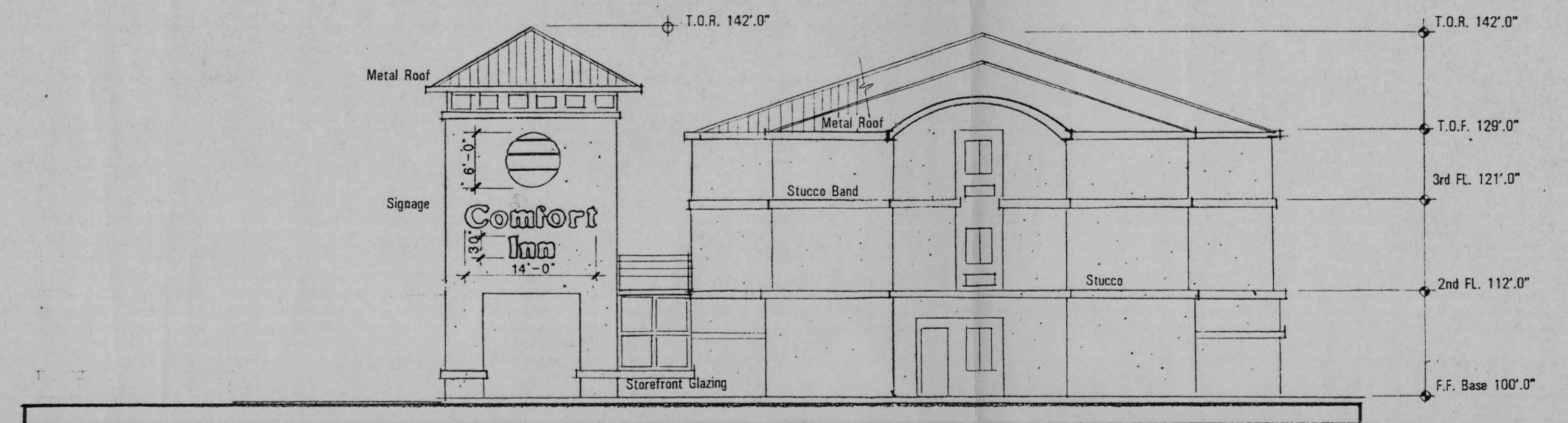
A2 of 3



MOTEL EAST ELEVATION



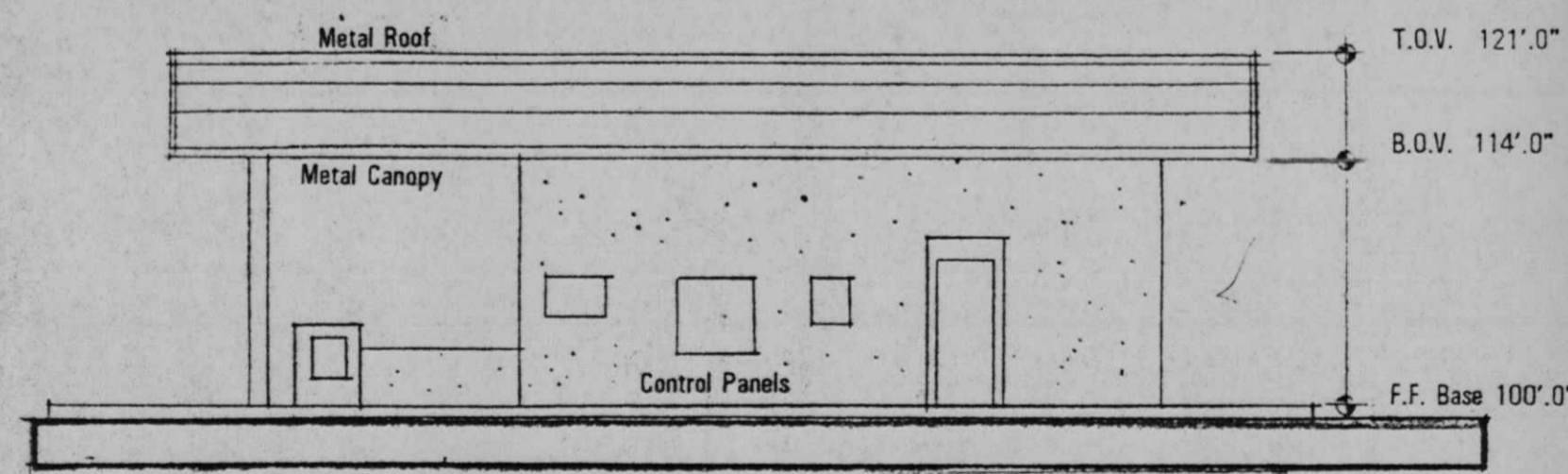
MOTEL WEST ELEVATION



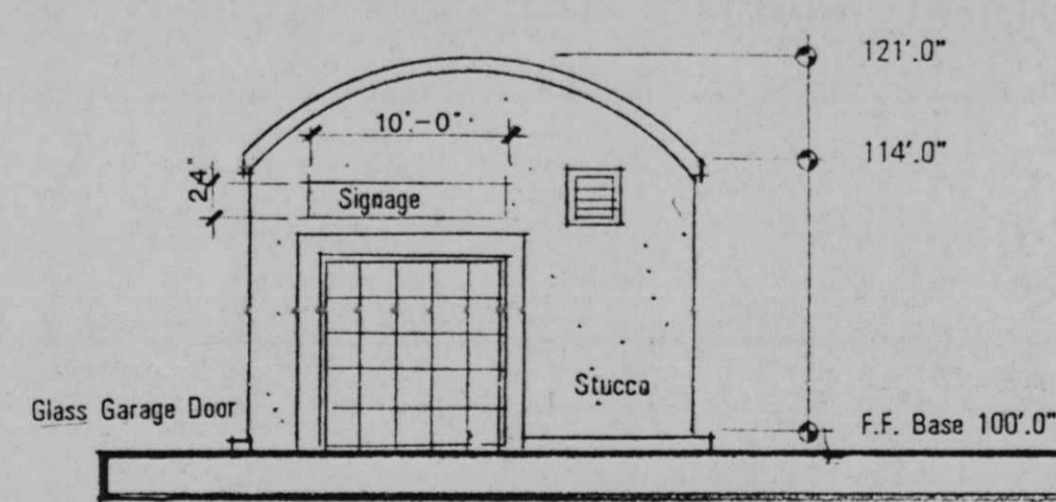
MOTEL SOUTH ELEVATION (NORTH SIMILAR)

MATERIAL COLOR SCHEDULE

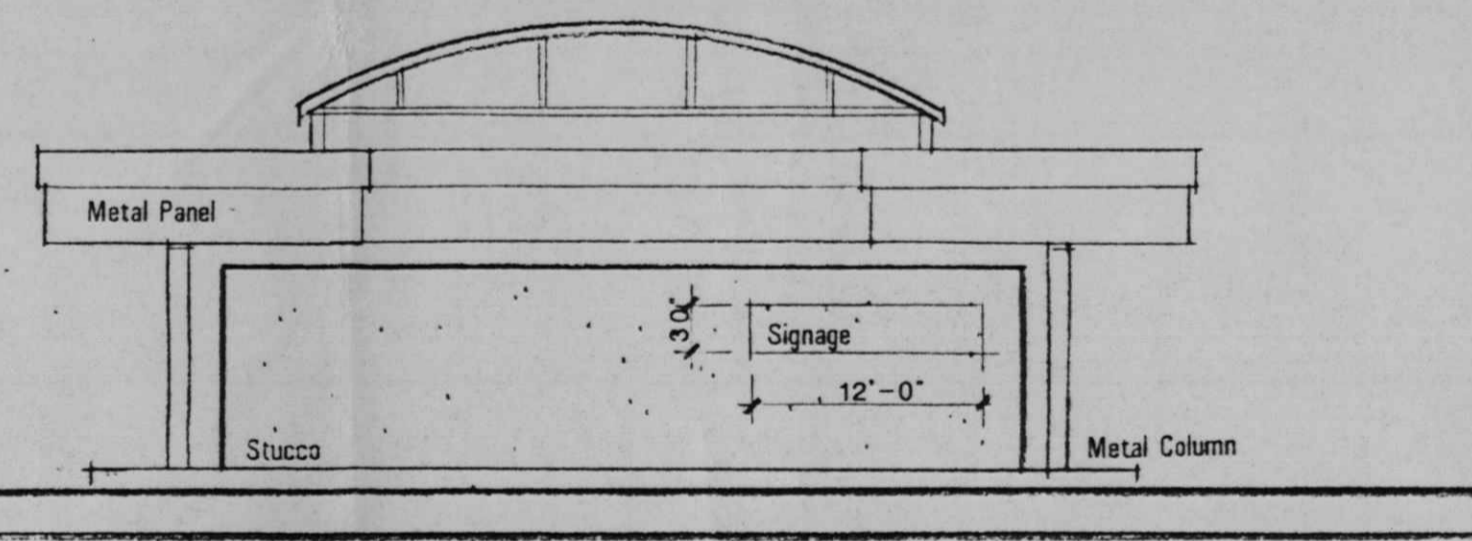
- MOTEL**
- Stucco: Light Salmon
 - Stucco Band: Light Salmon
 - Metal Frame: Silver Gray
 - Standing Seam Metal Roof: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas
- GAS STATION/CAR WASH**
- Stucco: Light Salmon
 - Metal Panel: Silver Gray
 - Metal Column: Silver Gray
 - Metal Frame: Silver Gray
 - Metal Roof: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas
- BURGER KING**
- Stucco: Light Salmon
 - Store Front Glazing: Blue/Green
 - Metal Panel: Silver Gray
 - Metal Fascia: Silver Gray
 - Metal Roof: Silver Gray
 - Metal Frame: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas



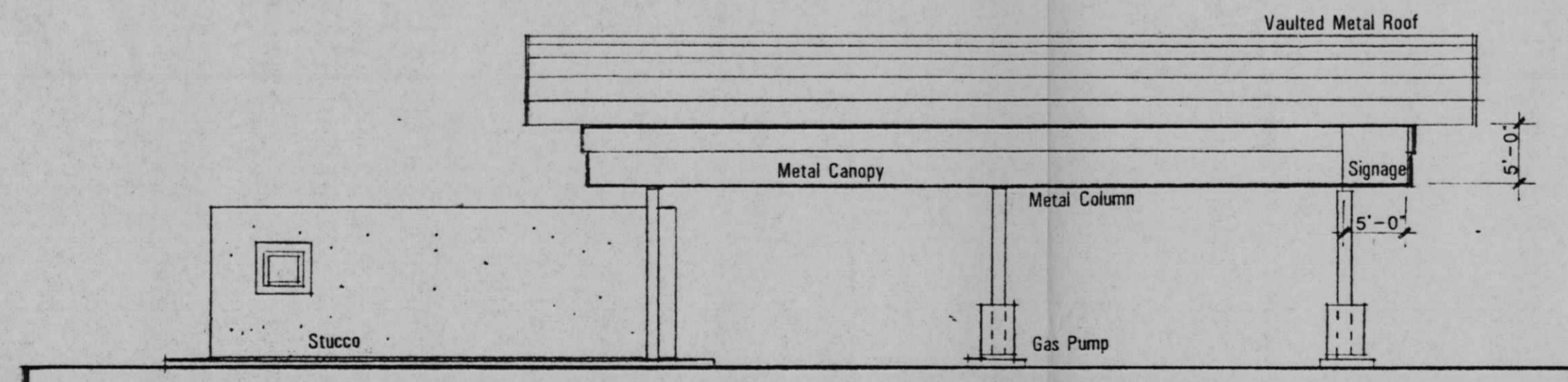
CAR WASH SOUTH ELEVATION (NORTH SIMILAR)



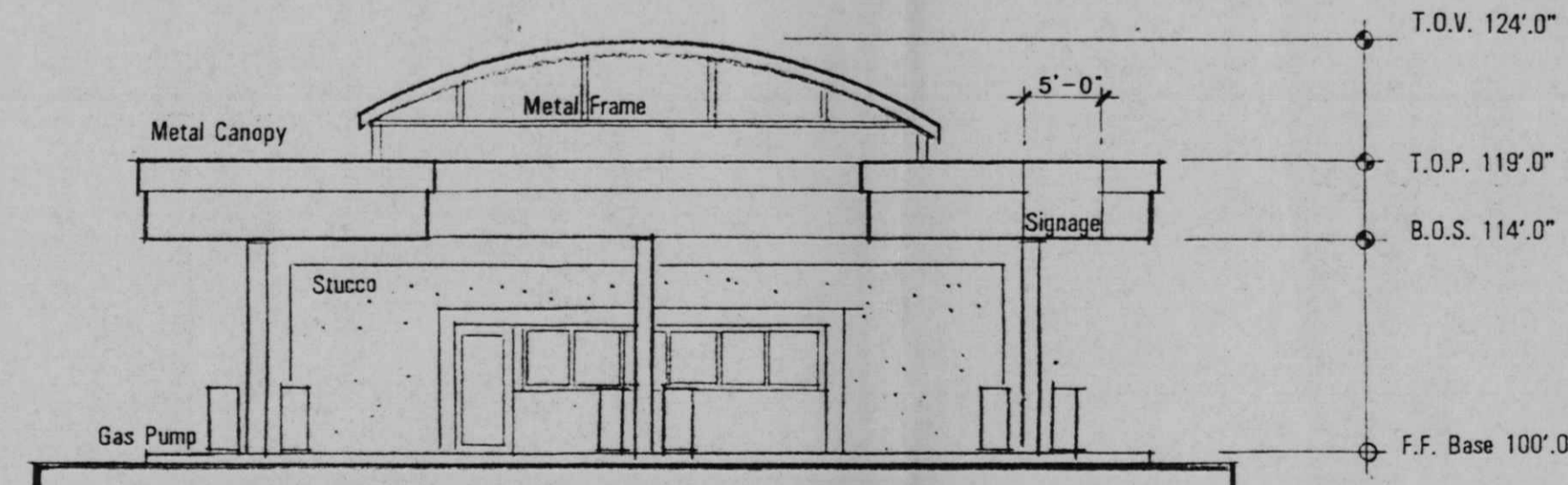
CAR WASH WEST ELEVATION



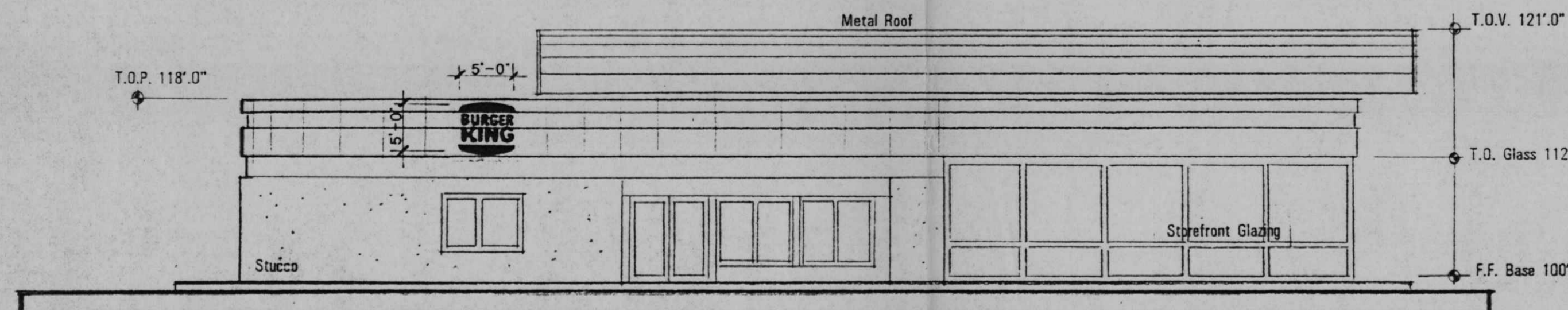
GAS STATION WEST ELEVATION



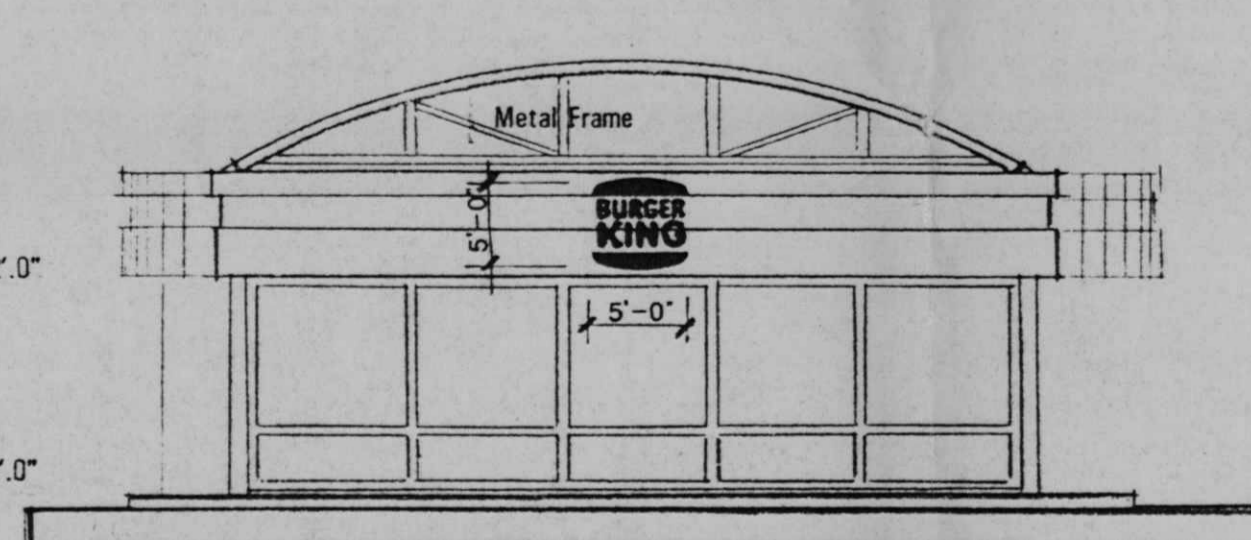
GAS STATION SOUTH ELEVATION (NORTH SIMILAR)



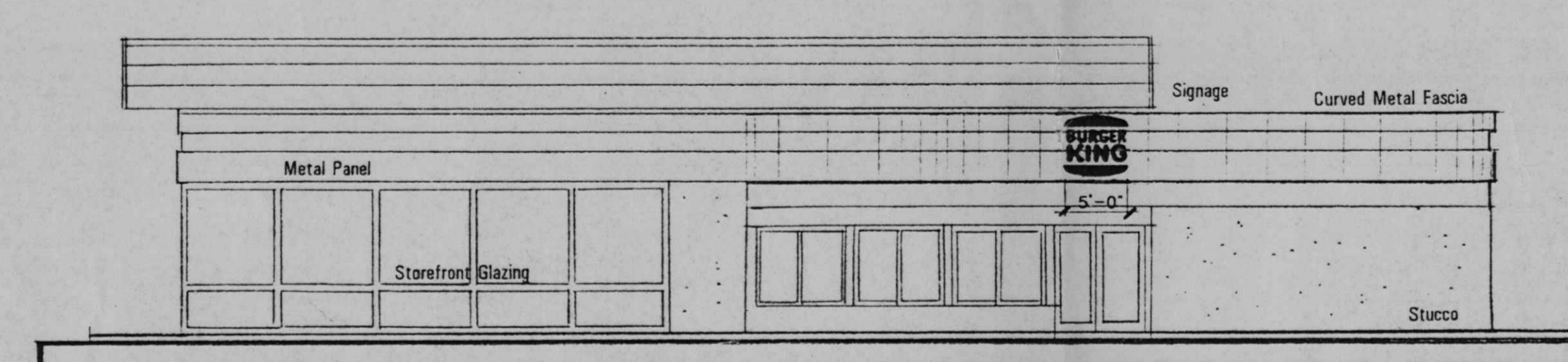
GAS STATION EAST ELEVATION



BURGER KING NORTH ELEVATION



BURGER KING WEST ELEVATION



BURGER KING SOUTH ELEVATION

general notes
 contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for routing, blockouts, stubs, blocking for equipment, etc.
 if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings.
 the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents.
 contractor to verify all dimensions prior to construction.
 contractor to verify all existing on site conditions prior to construct.

building elevations

revisions:

design

architect

collaborative

southwest inc.

engineer 105 4th st. sw

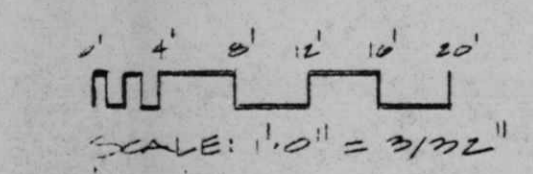
albuquerque, nm

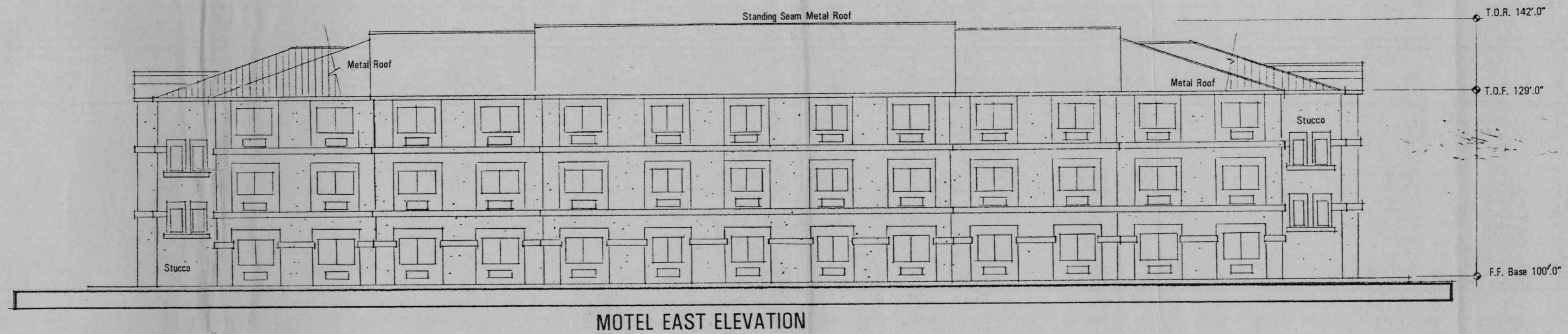
87102

job no: 9414

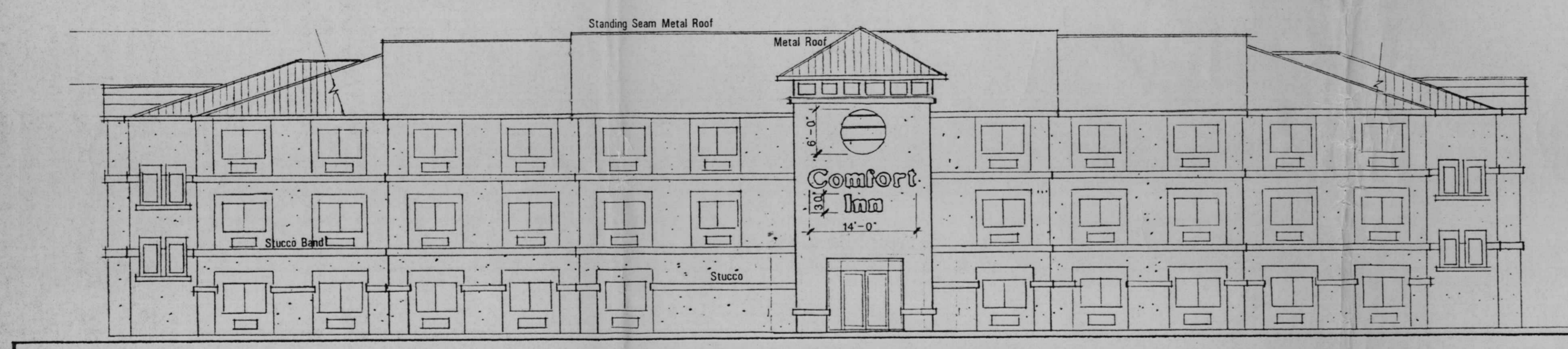
date: 8-2-94 505-843-9639

sheet DRBA.2 of 3

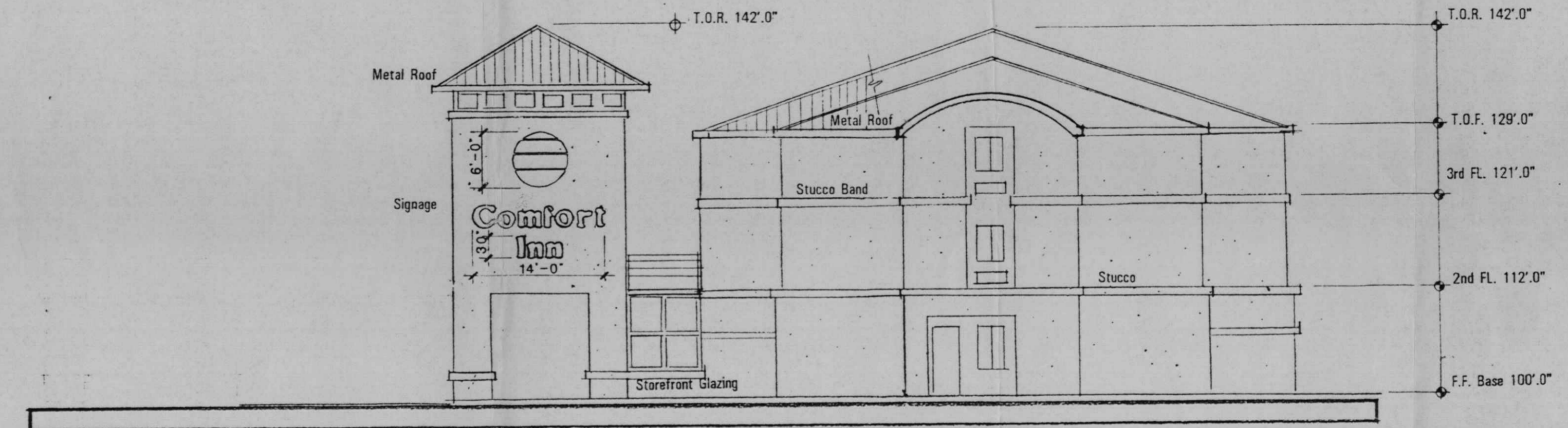




MOTEL EAST ELEVATION

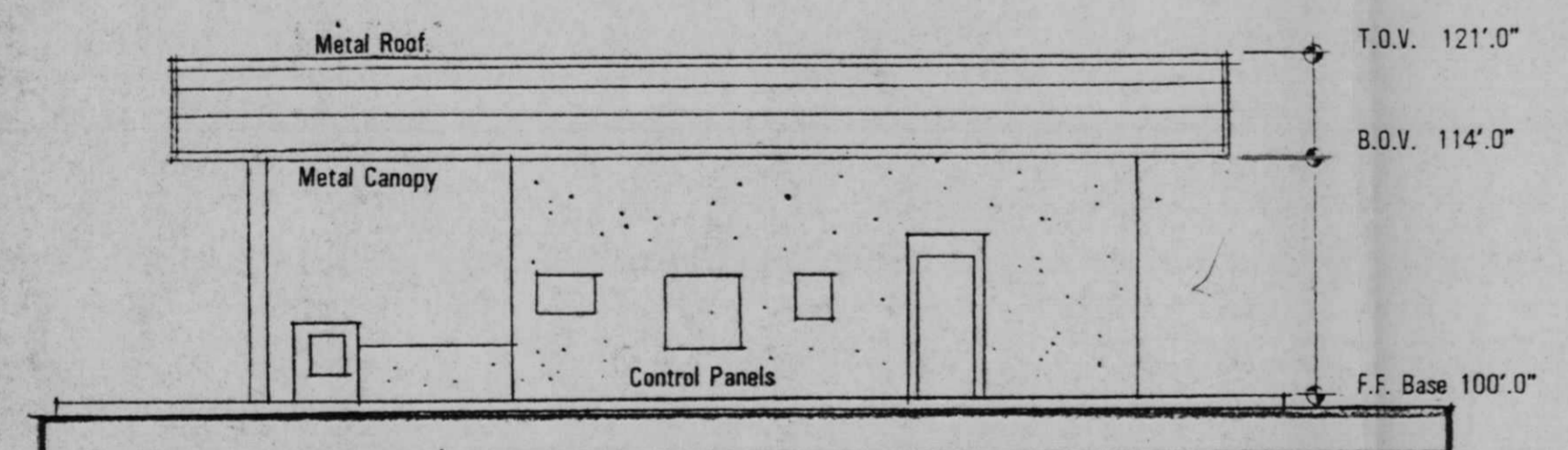


MOTEL WEST ELEVATION

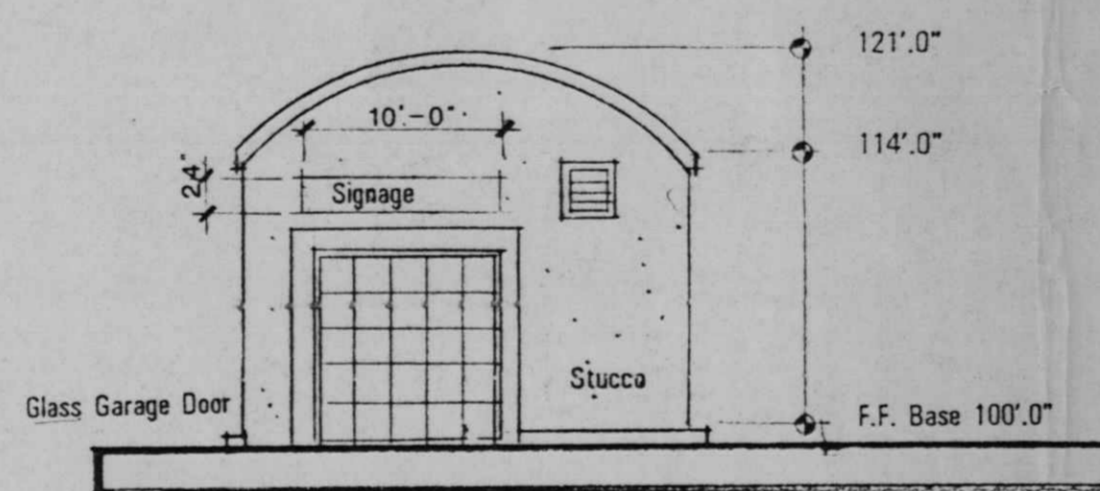


MOTEL SOUTH ELEVATION (NORTH SIMILAR)

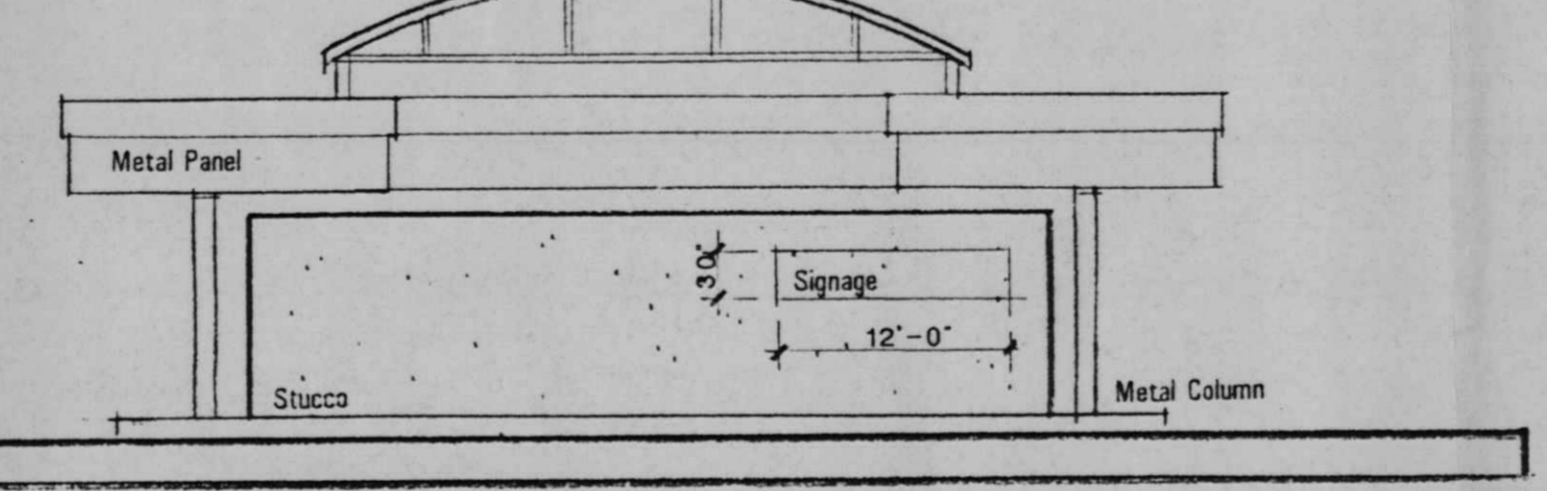
- MATERIAL COLOR SCHEDULE**
- MOTEL**
- Stucco: Light Salmon
 - Stucco Band: Light Salmon
 - Metal Frame: Silver Gray
 - Standing Seam Metal Roof: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas
- GAS STATION/CAR WASH**
- Stucco: Light Salmon
 - Metal Panel: Silver Gray
 - Metal Column: Silver Gray
 - Metal Frame: Silver Gray
 - Metal Roof: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas
- BURGER KING**
- Stucco: Light Salmon
 - Store Front Glazing: Blue/Green
 - Metal Panel: Silver Gray
 - Metal Fascia: Silver Gray
 - Metal Roof: Silver Gray
 - Metal Frame: Silver Gray
 - Glazing: Blue/Green
 - Signage: Illuminated/Back-Lit Plexiglas



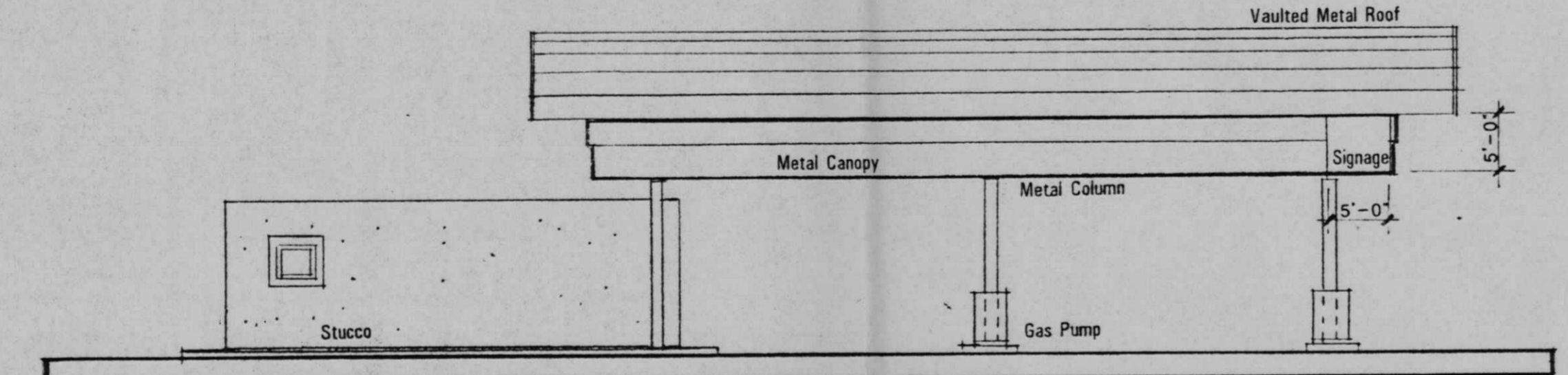
CAR WASH SOUTH ELEVATION (NORTH SIMILAR)



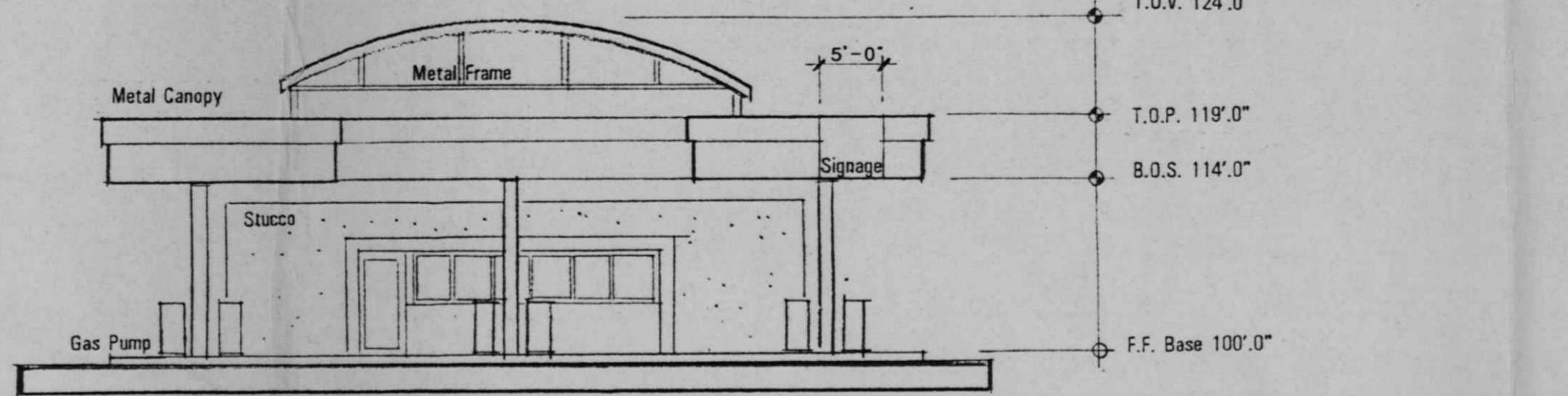
CAR WASH WEST ELEVATION



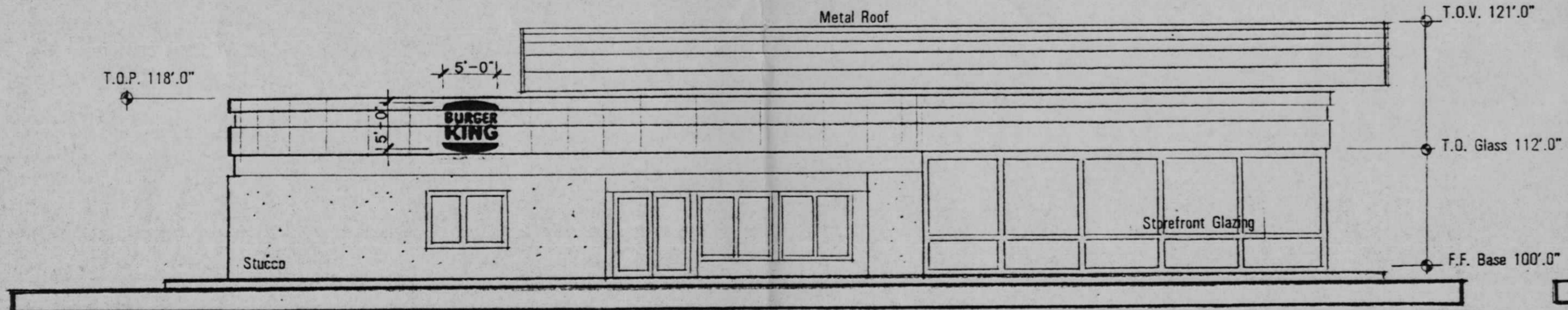
GAS STATION WEST ELEVATION



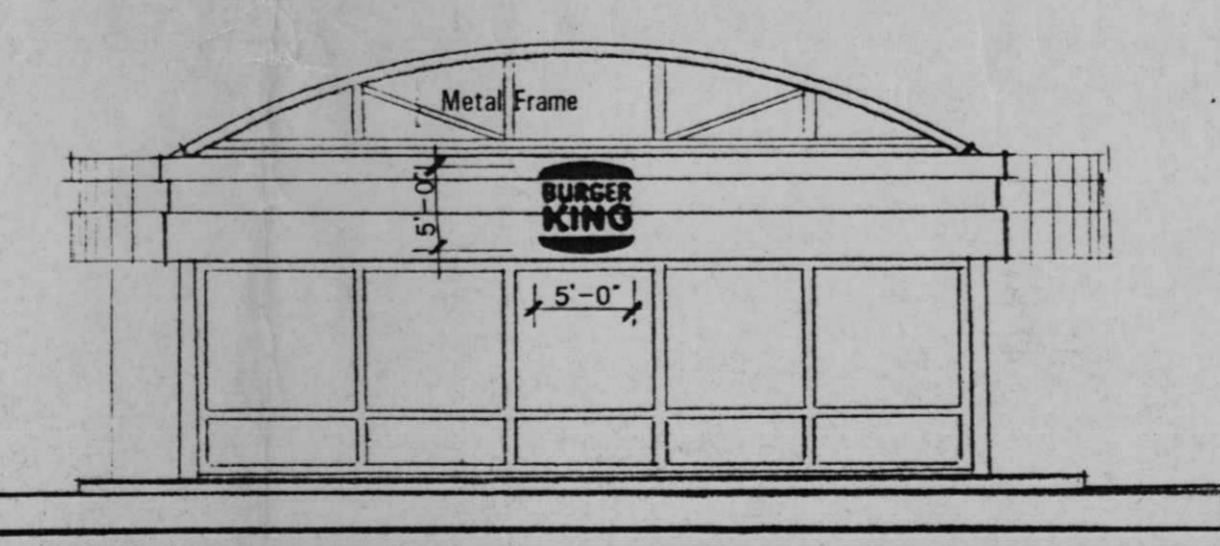
GAS STATION SOUTH ELEVATION (NORTH SIMILAR)



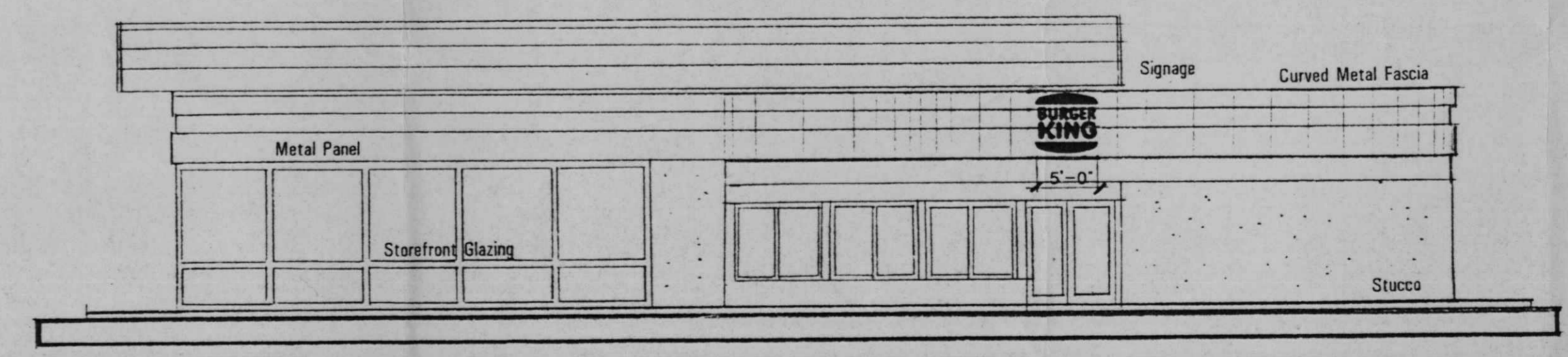
GAS STATION EAST ELEVATION



BURGER KING NORTH ELEVATION



BURGER KING WEST ELEVATION



BURGER KING SOUTH ELEVATION

general notes
 contractor to coordinate architectural items with structural, plumbing, mechanical and electrical plans for routing, blockouts, stubs, blocking for equipment, etc.
 if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings
 the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents
 contractor to verify all dimensions prior to construction
 contractor to verify all existing on site conditions prior to construct.

building elevations **DCSW architects**

revisions:

design

architect

collaborative

southwest inc.

engineer 105 4th st. sw

albuquerque, nm

SCALE: 1/8" = 1'-0"