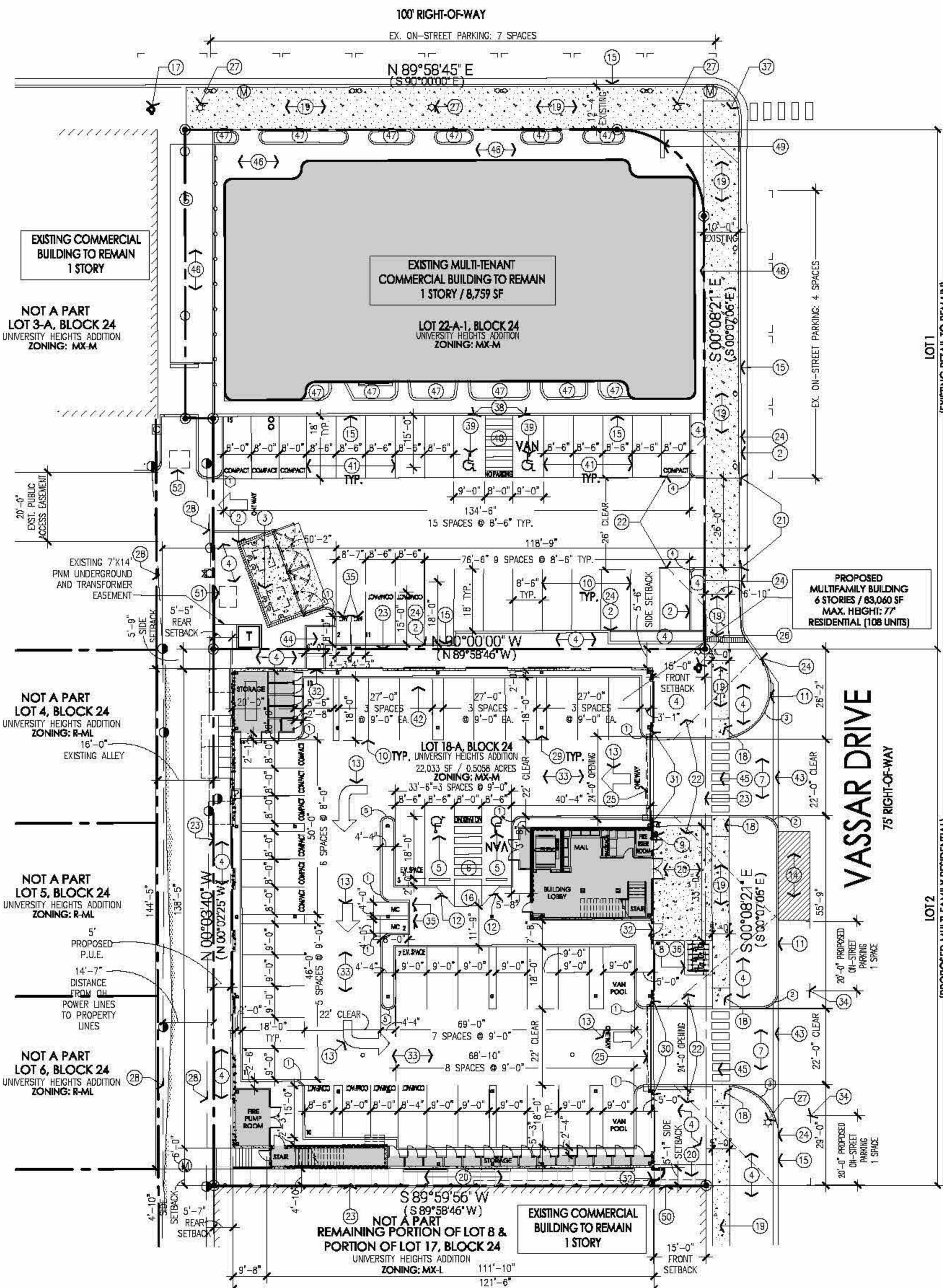


# CENTRAL AVENUE S.E.



### RADIUS INFORMATION:

- ① = 3'-0"
- ② = 5'-0"
- ③ = 15'-0"
- ④ = 2'-0"
- ⑤ = 2'-6"

### GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- [F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS. SIDEWALK AREAS TO BE SHADDED ALONG THE PRIMARY FACADE OF BUILDING.
- [G] ALL UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB AND CUTTER.
- [H] CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND CUTTER, RESPECTIVELY.
- [I] ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND CUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.
- [J] GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-8 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- [K] MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF AND FULLY SHIELDED FROM VIEW BY THE PARAPET CONSTRUCTION. SHOULD A MECHANICAL UNIT BE LOCATED AT THE GROUND LEVEL, IT SHALL BE FULLY SCREENED FROM VIEW PER THE IDO.
- [L] THE GROUND FLOOR CLEAR HEIGHT SHALL BE 10'-0" AFF.

### KEYED NOTES:

- [1] PROPOSED ADA RAMP AND ADA PARKING SIGNS.
- [2] FACE OF NEW CURB TO ALIGN WITH EXISTING CURB.
- [3] PROPOSED REFUSE ENCLOSURE (SHARED BETWEEN BUILDINGS).
- [4] PROPOSED LANDSCAPING AREA.
- [5] PROPOSED ADA PAVEMENT SIGN.
- [6] PROPOSED STRIPED ADA AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- [7] PROPOSED ASPHALT PAVING.
- [8] PROPOSED BIKE RACKS WITH 6 BIKE SPACES.
- [9] PROPOSED FIRE DEPT. CONNECTION.
- [10] PROPOSED PAINTED PARKING STRIPING.
- [11] PROPOSED CONCRETE CURB PER COA CITY STANDARD 2415. REFER TO DETAIL.
- [12] PROPOSED HANDICAP PARKING SIGN, "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.
- [13] PROPOSED PAINTED DIRECTIONAL ARROW/SIGNAGE ON PAVEMENT. NEW PAINTED CURB "FIRE LANE NO PARKING."
- [14] EXISTING CONCRETE CURB TO REMAIN.
- [15] PROPOSED ADA RAMP.
- [16] EXISTING FIRE HYDRANT TO REMAIN. REQUIRED BY FIRE MARSHAL. PER COA STANDARD HC RAMP. INSTALL TRUNCATED DOMES PER COA STANDARDS.
- [17] EXISTING CITY STANDARD SIDEWALK.
- [18] PROPOSED SIDEWALK CONNECTION TO PUBLIC SIDEWALK. EXISTING CURB CUT TO REMAIN.
- [19] CLEAR SIGHT TRIANGLE: LANDSCAPING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- [20] EXISTING PROPERTY LINE.
- [21] THE NEW CURB INTO EXISTING CURB.
- [22] PROPOSED 24" WIDE COILING OVERHEAD GRILLE AT GARAGE ENTRY/EXIT. PROVIDE KNOX BOX.
- [23] PROPOSED NEW FIRE HYDRANT. REQUIRED BY FIRE MARSHAL.
- [24] EXISTING LIGHT POLE TO REMAIN.
- [25] EXISTING OVERHEAD POWER AND DATA LINES TO REMAIN.
- [26] PROPOSED STRUCTURAL COLUMN, TYP.
- [27] "DO NOT ENTER - EXIT ONLY" SIGNAGE MOUNTED TO BUILDING.
- [28] "ONE-WAY GARAGE ENTRANCE" SIGNAGE MOUNTED TO BUILDING.
- [29] PROPOSED PEDESTRIAN GATE/DOOR WITH KNOX BOX.
- [30] NEW CONCRETE PAVING.
- [31] PROPOSED ON-STREET PARKING.
- [32] PROPOSED MOTORCYCLE PARKING WITH SIGNAGE.
- [33] PROPOSED 1'-0" CLEAR ZONE AT BIKE RACKS.
- [34] EXISTING RAMP CURB TO REMAIN.
- [35] EXISTING ADA ACCESS RAMP AND SIGNAGE TO REMAIN.
- [36] EXISTING ADA PAVEMENT SIGN TO REMAIN, RE-STRIPE.
- [37] EXISTING STRIPED ADA AISLE TO REMAIN, RE-STRIPE.
- [38] EXISTING PARKING TO REMAIN, RE-STRIPE.
- [39] EXISTING POLE SIGN TO REMAIN.
- [40] PROPOSED 6" HIGH WROUGHT IRON FENCE ALONG PROPERTY LINE.
- [41] PROPOSED BYD RECYCLING DUMPSTER LOCATION.
- [42] PROPOSED TEMPORARY BYD RECYCLING DUMPSTER LOCATION IN PARKING STALL FOR PICK-UP.

### SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] M-M: THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20'-0" MAXIMUM.
- [C] RESIDENTIAL: THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 18'-0" MAXIMUM.
- [D] M-M: MAXIMUM HEIGHT OF PEDESTRIAN LIGHTING SHALL BE 12'-0" MAXIMUM FOR POLES AND 4'-0" MAXIMUM FOR BOLLARDS.
- [E] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 15 FEET MAXIMUM.
- [F] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED AT 20 FEET MAXIMUM.

## SITE DATA

### PARKING CALCULATIONS

PER IDO SECTION 5-5(C)(1)(c) OFF-STREET PARKING CALCULATION:  
WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING SPACES SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER.

PER TABLE 5-5-1 OFF-STREET PARKING REQUIREMENTS:  
DWELLING, MULTI-FAMILY UC-MS-PT: 1 SPACE / DU  
GENERAL RETAIL UC-MS-PT: 2.5 SPACES / 1,000 SQ. FT. GFA  
RESTAURANT UC-MS-PT: 5 SPACES / 1,000 SQ. FT. GSF

RESIDENTIAL:	108 DWELLING UNITS = 108 PARKING SPACES REQUIRED
EXISTING MULTI-TENANT COMMERCIAL BUILDING:	
RESTAURANT (3,670 SF @ 5 SPACES/1,000 SF)	= 19 PARKING SPACES REQUIRED
GENERAL RETAIL (4,888 SF @ 2.5 SPACES/1,000 SF)	= 12 PARKING SPACES REQUIRED
<b>SUB-TOTAL</b>	<b>= 31</b>
<b>TOTAL PARKING REQUIRED:</b>	<b>= 108</b>
RESTAURANT AND GENERAL RETAIL	= 31
<b>TOTAL</b>	<b>= 139 REQUIRED SPACES</b>

PARKING REDUCTIONS/CREDITS:  
PER SECTION 5-5(C)(5)(c) REDUCTION FOR PROXIMITY TO TRANSIT REQUIRED PARKING CAN BE REDUCED BY 30%.

SUB-TOTAL	= 139 * 0.70 TRANSIT REDUCTION (30%)
SUB-TOTAL	= 97 REQUIRED PARKING SPACES

SHARED PARKING REDUCTION PER IDO SECTION 5-5(C)(5)(d):  
SUB-TOTAL = 97 / 1.1 SHARED PARKING REDUCTION FACTOR  
TOTAL REQUIRED PARKING = 88 SPACES

PROVIDED PARKING BREAKDOWN:	
REGULAR SPACES (GARAGE)	= 25
COMPACT SPACES (GARAGE)	= 10
ADA SPACES	= 4
E.V. CHARGING SPACES	= 2
VAN POOL SPACES	= 2
REG. EXISTING COMMERCIAL LOT	= 18
COMPACT EX. COMMERCIAL LOT	= 6
ON-STREET SPACES	= 13
<b>TOTAL PROVIDED WITHOUT CREDITS</b>	<b>= 80</b>

PARKING CREDITS:

2 ELECTRIC VEHICLE CHARGING STATION CREDITS	= +2 SPACES
2 VAN POOL/SHARED CAR CREDITS	= +6 SPACES
<b>TOTAL PARKING CREDITS</b>	<b>= +8 SPACES</b>
<b>GRAND TOTAL PROVIDED</b>	<b>= 88 SPACES</b>

### REQUIRED ADA ACCESSIBLE PARKING SPACES:

PER DO 5-5-(C)(8)(a) WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND TABLE 5-5-2, AS ADJUSTED BY SECTION 14-16-5-(C)(5) (PARKING REDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NONRESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

### PER ADAAG:

TOTAL PARKING IN LOT: 78-100. 4 ADA ACCESSIBLE PARKING SPACES SHALL BE PROVIDED.  
PROVIDED: 4 ADA ACCESSIBLE PARKING SPACES (2 STANDARD, 2 VAN).

### REQUIRED MOTORCYCLE SPACES:

PER 5-5(5) MOTORCYCLE PARKING, MINIMUM REQUIRED MOTORCYCLE PARKING SHALL BE CALCULATED BASED ON THE TOTAL NUMBER OF REQUIRED OFF-STREET PARKING SPACES, AFTER REDUCTIONS, CREDITS, AND ALLOWANCES. PER TABLE 5-5-4.

FOR REQUIRED OFF-STREET PARKING BETWEEN 51-100 SPACES, 3 MOTORCYCLE SPACES SHALL BE PROVIDED.

MOTORCYCLE SPACES PROVIDED: 4 SPACES

### REQUIRED BICYCLE SPACES:

PER TABLE 5-5-4 FOR RESIDENTIAL USE GREATER THAN 5 DWELLING UNITS, BICYCLE PARKING SHALL BE 3 SPACES OR 1000' OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER.

REQUIRED SPACES: 10% OF 88 = 9 SPACES

PROVIDED BICYCLE SPACES: 6 BICYCLE SPACES OUTSIDE BUILDING (105 BICYCLE SPACES PROVIDED INSIDE BUILDING.)

### SELECTED IDO SECTION CITATIONS:

- 5-5(C)(5) PARKING REDUCTIONS, CREDITS, AND ALLOWANCES:
- 5-5(C)(5)(c) REDUCTION FOR PROXIMITY TO TRANSIT
- THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES REQUIRED MAY BE REDUCED BY 30 PERCENT IF THE PROPOSED DEVELOPMENT IS LOCATED WITHIN 1,500 FEET OF ANY TRANSIT STOP OR TRANSIT STATION WITH A PEAK SERVICE FREQUENCY OF 15 MINUTES OR BETTER.
- 5-5(C)(5)(b) SHARED PARKING REDUCTION
- TWO (2) OR MORE USES LISTED IN TABLE 4-2-1 MAY SHARE ONE OR MORE PARKING STRUCTURES OR PARKING LOTS LOCATED PURSUANT TO SUBSECTION 14-16-5-(F)(1)(A)11. THE SHARING OF ANY REQUIRED PARKING SHALL BE GUARANTEED BY A LEGALLY BINDING AGREEMENT BETWEEN THE OWNER OF THE PARKING AREA AND THE OWNER OF THE BUILDING OR USE THAT IS LOCATED ON A DIFFERENT LOT AND SERVED BY THE PARKING AREA. SUCH AGREEMENT SHALL ADDRESS THE ISSUE OF HOW PARKING WILL BE SHARED IF THE PARTIES CHANGE THEIR OPERATING HOURS AND PEAK BUSINESS PERIODS.
  - THE TOTAL OFF-STREET PARKING REQUIREMENT FOR THOSE USES MAY BE REDUCED BY THE FACTORS SHOWN IN TABLE 5-5-3. OFF-STREET PARKING REQUIRED SHALL BE THE SUM OF THE 2 PARKING REQUIREMENTS FOR THE 2 USES DIVIDED BY THE FACTORS FOR THAT COMBINATION OF USES. IF MORE THAN 2 USES SHARE A PARKING LOT OR STRUCTURE, THE REQUIRED PARKING SHALL BE CALCULATED BY APPLYING TABLE 5-5-3 TO THE 2 USES WITH THE LARGEST PARKING REQUIREMENTS AND THEN ADDING THE REQUIRED PARKING FOR THE ADDITIONAL USES. PER TABLE 5-5-3, SHARED PARKING REDUCTION FACTOR IS 1.1.
- 5-5(C)(5)(d) ELECTRIC VEHICLE CHARGING STATION CREDIT
- EACH OFF-STREET ELECTRIC VEHICLE CHARGING STATION WITH A RATING OF 240 VOLTS OR HIGHER SHALL COUNT AS 2 VEHICLE PARKING SPACES TOWARD SATISFACTION OF MINIMUM OFF-STREET PARKING REQUIREMENTS.
- 5-5(C)(5)(e) VAN AND CAR POOL PARKING CREDIT
- EACH OFF-STREET PARKING SPACE DESIGNATED AND SIGNED FOR THE EXCLUSIVE USE OF A SHARED CARPOOL VEHICLE SHALL COUNT AS 4 SPACES TOWARD THE SATISFACTION OF A MINIMUM OFF-STREET PARKING REQUIREMENTS.
- 5-5(C)(5)(f) ON-STREET PARKING CREDIT
- ANY ON-STREET PARKING SPACE ABUTTING THE SUBJECT PROPERTY MAY BE COUNTED AS 1 REQUIRED OFF-STREET PARKING SPACE IF THE STREET DOES NOT HAVE RESIDENTIAL PARKING PERMIT RESTRICTIONS.
- 5-5(F)(1)(b) DOWNTOWN, URBAN CENTERS, MAIN STREET AREAS, AND PREMIUM TRANSIT AREAS
- IN ADDITION TO THE PROVISIONS IN SUBSECTION (A) ABOVE, THE FOLLOWING APPLY STANDARDS APPLY IN DT-UC-MS-PT AREAS.
  - REQUIRED OFF-STREET PARKING SPACES THAT ARE NOT REQUIRED TO COMPLY WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT MAY BE LOCATED OFF-SITE IN ANY MIXED-USE OR NON-RESIDENTIAL ZONE DISTRICT PROVIDED THAT THE PROPERTY CONTAINING THE OFF-SITE PARKING IS LOCATED WITHIN 660 FEET OF THE USE FOR WHICH THE PARKING IS PROVIDED (MEASURED FROM THE NEAREST POINTS ON THEIR LOT LINES), AND THE APPLICANT PROVIDES DOCUMENTATION THAT THE OFF-SITE SPACES WILL REMAIN AVAILABLE TO SUPPLY THE REQUIRED PARKING FOR THE APPLICANT'S PROPERTY FOR A PERIOD OF NOT LESS THAN 2 YEARS. OFF-SITE PARKING FOR A NON-RESIDENTIAL USE MAY NOT BE PROVIDED IN ANY RESIDENTIAL ZONE DISTRICT.

### PROJECT PHASING:

THE PROPOSED PROJECT SHALL BE COMPLETED UNDER ONE PHASE.

### PROJECT DESCRIPTION:

THE PROJECT IS A NEW 6-STORY MULTI-FAMILY PODIUM BUILDING. THE FIRST FLOOR IS STRUCTURE PARKING AND THE BUILDING LOBBY. THE FIVE FLOORS ABOVE ARE WOOD FRAMED AND CONTAIN 108 DWELLING UNITS. THE SECOND FLOOR CONTAINS A COMMUNITY DECK.

### BUILDING ADDRESS:

109 VASSAR DRIVE SE, ALBUQUERQUE, NEW MEXICO 87108

### LEGAL DESCRIPTION:

LOT 22-A-1, BLOCK 24, PLAT OF LOTS 3-A AND 22-A-1 BLOCK 24 UNIVERSITY HEIGHTS BERRALLUO COUNTY, ALBUQUERQUE, NEW MEXICO

### SITE ACREAGE:

LOT 1: 0.496 ACRES  
LOT 2: 0.505 ACRES

### BUILDING GROSS SQUARE FOOTAGE:

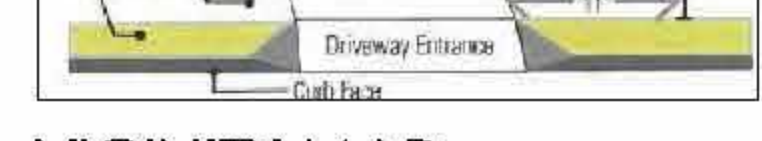
FIRST FLOOR (GARAGE):	17,589 GROSS SF
SECOND FLOOR:	13,227 GROSS SF
THIRD FLOOR:	13,081 GROSS SF
FOURTH FLOOR:	13,081 GROSS SF
FIFTH FLOOR:	13,081 GROSS SF
SIXTH FLOOR:	13,081 GROSS SF
<b>TOTAL BUILDING:</b>	<b>83,060 GROSS SF</b>

### SITE SLOPES:

- PARKING LOT SLOPE SHALL BE BETWEEN 1% MIN. AND 5% MAX.
- PARKING LOT AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR MAJOR ENTRANCES SHALL BE BETWEEN 1% MIN. AND 5% MAX.
- ADA PARKING SHALL BE BETWEEN 1% MIN. AND 2% MAX.

### CLEAR SIGHT TRIANGLE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.



### VICINITY MAP



### USABLE OPEN SPACE CALCULATIONS:

PER IDO TABLE 2-4-5: M-X-M ZONE DISTRICT DIMENSIONAL STANDARDS SUMMARY:  
1 BEDROOM UNIT: 225 SQ. FT. OPEN SPACE REQUIRED/UNIT

108 UNITS X 225 SF = 24,300 SF USABLE OPEN SPACE REQUIRED

50% REDUCTION FOR UC-MS-PT ZONES = 12,150 SF OPEN SPACE REQUIRED

OPEN SPACE PROVIDED:

STREET LEVEL: 15' SETBACK X 155'	= 2,325 SF
5' SETBACK (NORTH, WEST, SOUTH)	= 2,064 SF
SOUTH LANDSCAPING OF NORTH LOT	= 633 SF
SECOND FLOOR DECK	= 3,683 SF
SECOND FLOOR NORTH UNITS	= 525 SF
THIRD FLOOR ABOVE CO-WORKING	= 544 SF
NORTH BUILDING SOUTH PATIO	= 1,118 SF
NORTH BUILDING NORTH PATIO	= 1,313 SF
<b>TOTAL</b>	<b>= 12,105 SF</b>

\*REFER TO ARCHITECTURAL FLOOR DECK PLAN FOR USABLE OPEN SPACE PROVIDED ON UPPER LEVELS.

PROJECT NUMBER: PR-2020-004683	APPLICATION NUMBER: SI-2021-00029
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
<b>IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO</b> IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRB SITE DEVELOPMENT PLAN APPROVAL:</b>	
<i>Jeanne Wolfenbarger</i>	Mar 23, 2021
<i>Erica Johnson</i>	Date
<i>Erica Johnson</i>	Apr 19, 2021
<i>Erica Johnson</i>	Date
<i>Erica Johnson</i>	Mar 23, 2021
<i>Erica Johnson</i>	Date
<i>Erica Johnson</i>	Mar 23, 2021
<i>Erica Johnson</i>	Date
<i>Erica Johnson</i>	Mar 24, 2021
<i>Erica Johnson</i>	Date
<i>Erica Johnson</i>	03-03-21
<i>Erica Johnson</i>	Date
<i>Erica Johnson</i>	Apr 19, 2021
<i>Erica Johnson</i>	Date

DESCRIPTION  
BY  
DATE  
REV

mulien heller architecture

STATE OF NEW MEXICO  
JOHN DOUGLAS HELLER  
NO. 2827  
REGISTERED ARCHITECT  
1977-2021

MULIEN HELLER ARCHITECTURE  
1718 CENTRAL AVE SW | STE D  
ALBUQUERQUE, NM 87109  
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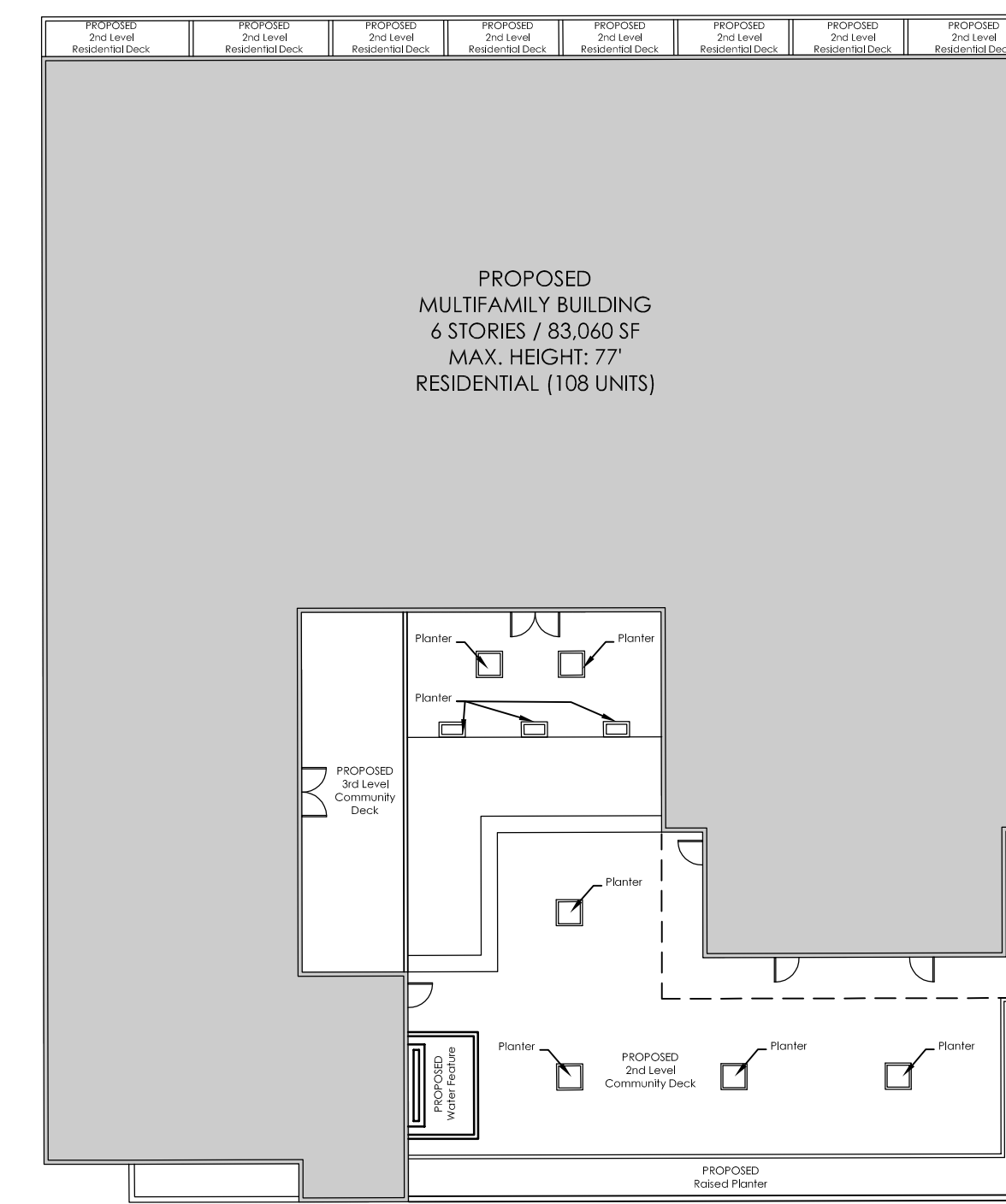
JOB NUMBER: 20-12  
DRAWN BY: KBP/SEJ  
PROJECT MGR: DH  
DATE: 02-19-2021  
PHASE: RESUBMITTAL

PROJECT: The Strider  
109 VASSAR DRIVE S.E.  
ALBUQUERQUE, NM 87106

TITLE: Site Development Plan for Building Permit

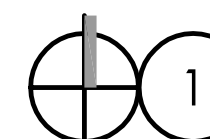
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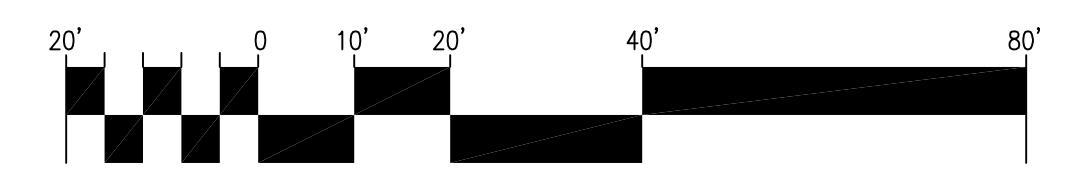




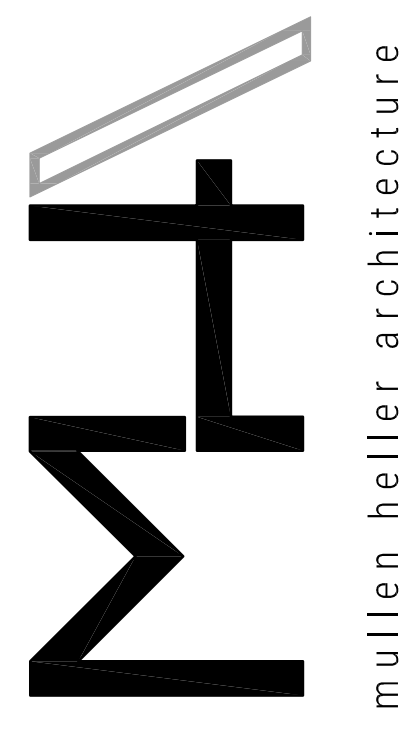
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2nd Level	2nd Level	2nd Level	2nd Level	2nd Level	2nd Level	2nd Level	2nd Level
Architectural Deck	Architectural Deck	Architectural Deck	Architectural Deck	Architectural Deck	Architectural Deck	Architectural Deck	Architectural Deck

PROPOSED  
MULTIFAMILY BUILDING  
6 STORIES / 83,060 SF  
MAX. HEIGHT: 77'  
RESIDENTIAL (108 UNITS)

 1 Architectural Floor Deck Plan  
Scale: 1" = 20'-0"



REV	DATE	BY	DESCRIPTION
1			
2			
3			
4			



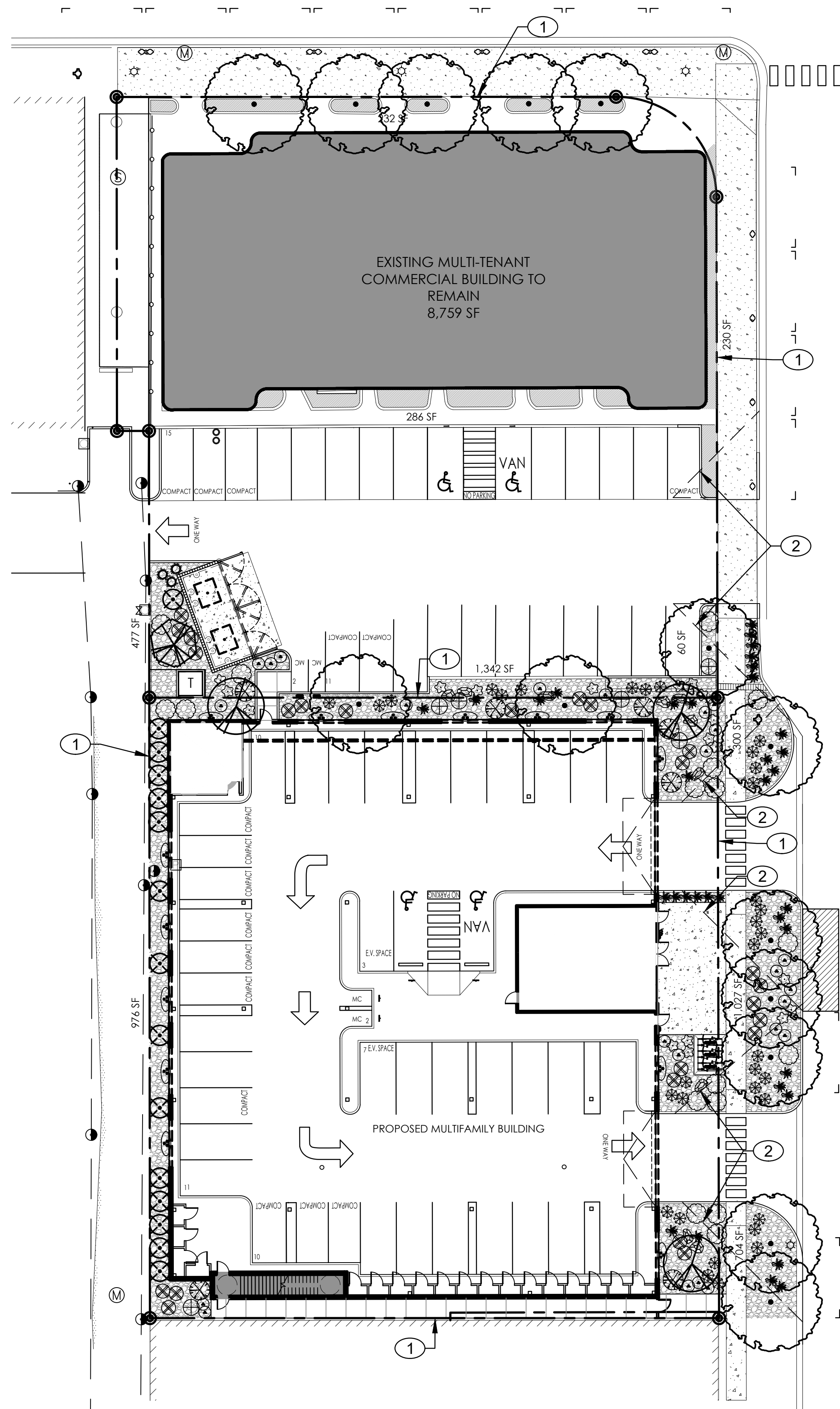
**MULLEN HELLER ARCHITECTURE**  
1718 CENTRAL AVE SW | STE D  
ALBUQUERQUE, NM | 87109  
P | 505.268.4144  
F | 505.268.4244  
www.mullenheller.com

JOB NUMBER 20-12  
DRAWN BY KBP/SEJ  
PROJECT MGR DH  
DATE 01-08-2021  
PHASE DRB SUBMITTAL

PROJECT  
**The Strider**  
109 VASSAR DRIVE S.E.  
ALBUQUERQUE NM 87106  
TITLE  
**Architectural Floor Deck Plan**

# CENTRAL AVENUE S.E.

100' RIGHT-OF-WAY

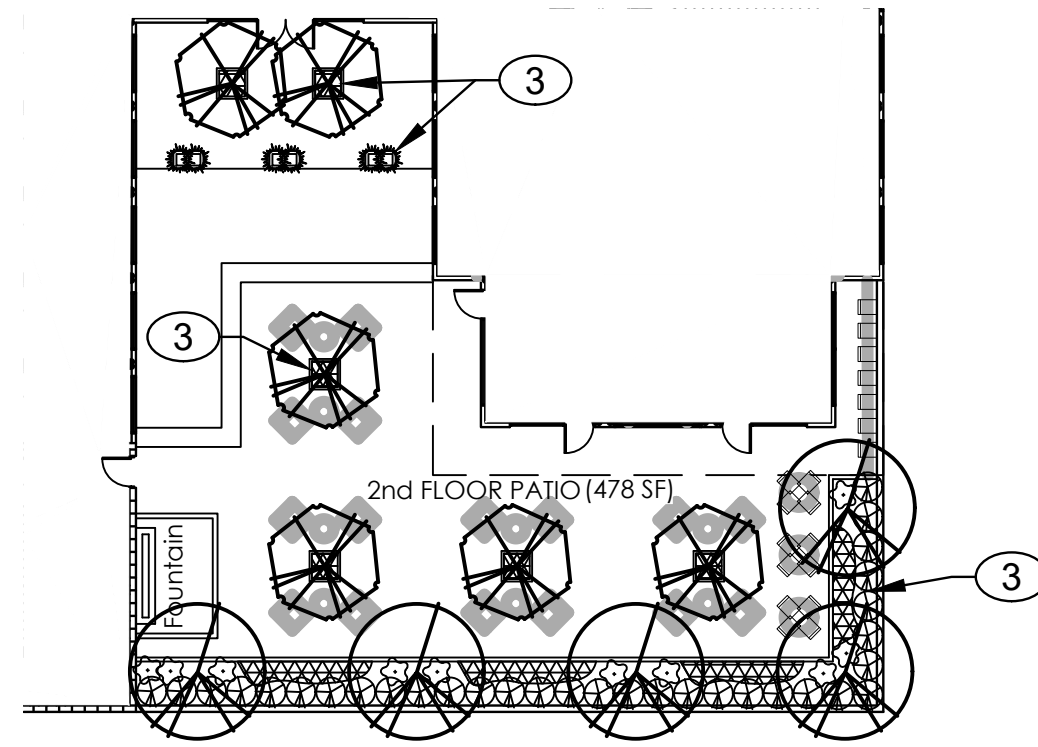


1 Landscape Plan  
Scale: 1" = 20'-0"

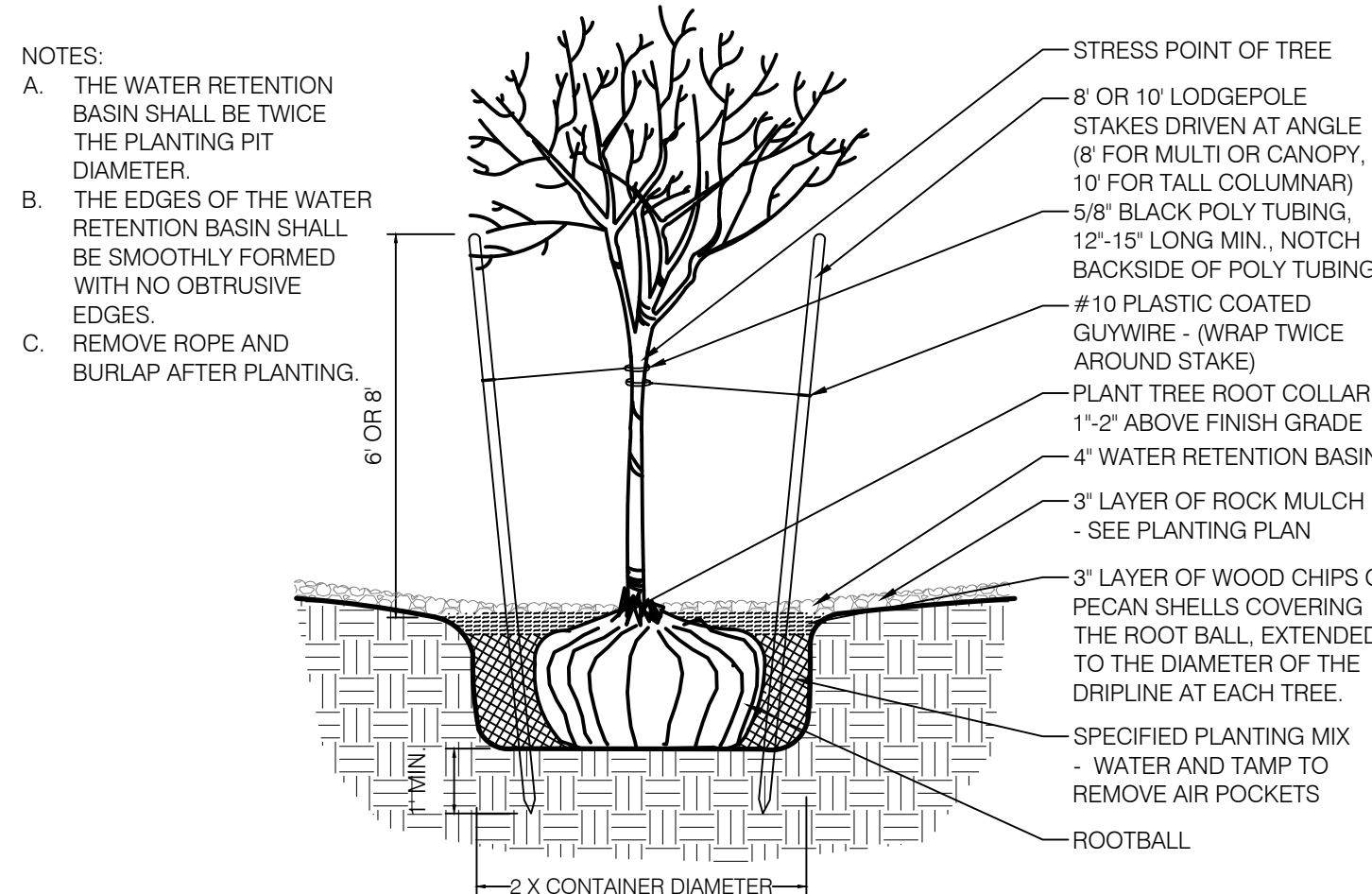
- KEY NOTES:
- PROPERTY BOUNDARY
  - CLEAR SIGHT TRIANGLE
  - RAISED PLANTER, TYP.

## PLANT LEGEND

L2 PATIO QTY.	SITE QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
EXISTING LANDSCAPE					
EXISTING LANDSCAPE TO REMAIN					
TREES					
6	1	(Symbol)	FORESTIERA NEOMEXICANA NEW MEXICO PRIVET (M)	15-GAL.	15' HT. X 12' SPR.
-	15	(Symbol)	JUNIPERUS CHINENSIS 'SPARTAN' SPARTAN JUNIPER (L+)	8 HT. B&B	15' HT. X 5' SPR.
5	3	(Symbol)	LAGERSTROEMIA INDICA 'MUSKOGEE' MUSKOGEE CRAPE MYRTLE (H)	15-GAL.	25' HT. X 15' SPR.
-	14	(Symbol)	ULMUS PROPINQUA 'JFS-BIEBERICH' EMERALD SUNSHINE ELM (M)	2' B&B	35' HT. X 25' SPR.
SHRUBS					
-	7	(Symbol)	BUDDLEIA D. NANIHOENSIS 'NANIHO BLUE' DWARF BLUE BUTTERFLY BUSH (M)	5-GAL.	5' HT. X 5' SPR.
32	-	(Symbol)	BUXUS MIC. VAR. 'JAPONICA' 'WINTER GEM' WINTER GEM BOXWOOD (M)	5-GAL.	4 HT. X 4' SPR.
-	6	(Symbol)	ERICAMERIA LARICIFOLIA TURPENTINE BUSH (M)	5-GAL.	4 HT. X 4' SPR.
-	18	(Symbol)	JUNIPERUS HORIZONTALIS 'HUGHES' HUGHES JUNIPER (M)	1-GAL.	1' HT. X 6' SPR.
-	14	(Symbol)	POLYGONUM AUBERTII SILVER LACEVINE (L+)	5-GAL.	15' HT. X 20' SPR.
-	35	(Symbol)	YUCCA RUPICOLA TWISTLEAF YUCCA (RW)	5-GAL.	2 HT. X 3' SPR.
ORNAMENTAL GRASSES					
6	3	(Symbol)	CALAMAGROSTIS A. 'OVERDAM' VARIEGATED REED GRASS (M)	1-GAL.	3 HT. X 3' SPR.
-	24	(Symbol)	MISCANTHUS SINENSIS 'YAKU JIMA' DWARF MAIDEN GRASS (M)	1-GAL.	4 HT. X 4' SPR.
-	34	(Symbol)	PENNISETUM ORIENTALE 'KARLEY ROSE' ORIENTAL FOUNTAIN GRASS (M)	1-GAL.	3 HT. X 3' SPR.
FLOWERING PLANTS					
-	24	(Symbol)	ACHILLEA 'MOONSHINE' MOONSHINE YARROW (M)	1-GAL.	2 HT. X 2' SPR.
10	18	(Symbol)	CENTRANTHUS RUBER 'RED' RED VALERIAN (M)	1 GAL.	18" HT. X 2' SPR.
136 SF	-	(Symbol)	DELOSPERMA COOPERI/NUBIGENUM PURPLE/YELLOW ICEPLANT (L+)	1-GAL.	6" HT. X 16" SPR.
BOULDERS AND MULCHES					
6	-	(Symbol)	MOSS ROCK BOULDERS (3X3 MIN)	-	-
4,886 SF	-	(Symbol)	3/4" COYOTE MIST ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)	-	-
478 SF	-	(Symbol)	NOT SHOWN	-	-



2 2nd Floor Patio Landscape Plan  
Scale: 1" = 20'-0"



3 Tree Planting Detail  
Scale: N.T.S.

## GENERAL LANDSCAPE NOTES

IRRIGATION: IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE: MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE: THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION: COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES. SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

NORTH LOT:	
TOTAL SITE AREA (0.496 AC.):	21,605 SF
BUILDING AREA:	- 8,759 SF
NET AREA:	12,846 SF

SOUTH LOT:	
TOTAL SITE AREA (0.505 AC.):	21,997 SF
BUILDING AREA:	- 17,595 SF
NET AREA:	4,402 SF

COMBINED NET LOT AREA: 17,248 SF

REQUIRED LANDSCAPE AREA (*10% OF NET AREA):	1,724 SF
PROVIDED LANDSCAPE AREA:	748 SF
EXISTING LANDSCAPE TO REMAIN:	4,886 SF
PROPOSED LANDSCAPE - GROUND LEVEL:	+ 478 SF
PROPOSED LANDSCAPE - 2ND FLOOR PATIO:	+ 478 SF
TOTAL PROVIDED LANDSCAPE AREA:	6,112 SF (35%)

\*PROPERTIES ARE LOCATED IN A MAIN STREET AREA.

LANDSCAPE LIVE VEGETATIVE COVERAGE: LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE	4,584 SF
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE	21,718 SF (355%)

REQUIRED GROUND-LEVEL PLANT COVERAGE	1,528 SF
PROVIDED GROUND-LEVEL PLANT COVERAGE	20,417 SF (334%)

PARKING LOT AREA: AT LEAST 5% OF THE PARKING LOT AREA IN MAIN STREET AREAS OF LOTS CONTAINING 50 OR FEWER SPACES, AND AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

THE PROJECT IS PROVIDING 26 OFF-STREET PARKING SPACES, NOT INCLUDING STRUCTURED PARKING.

TOTAL PARKING LOT AREA:	7,817 SF
LANDSCAPE AREA:	518 SF (6%)

PARKING LOT TREES: PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

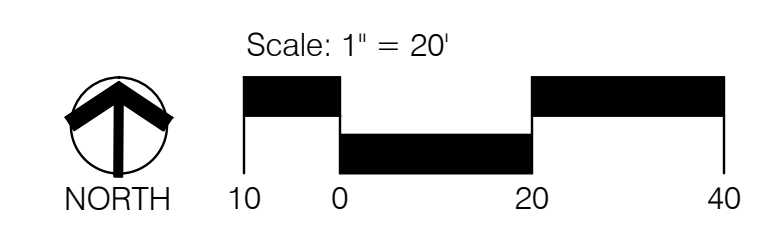
THE PROJECT IS PROVIDING 26 OFF-STREET PARKING SPACES, NOT INCLUDING STRUCTURED PARKING.

PARKING LOT TREES REQUIRED:	2
PARKING LOT TREES PROVIDED:	3

STREET TREES: STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN STREET TREES, SHALL BE INSTALLED AT A FREQUENCY OF 25 FEET PER LINEAR FOOT OF STREET FRONTAGE TO COMPLY WITH PART 6-6-2 OF ROA 1994 (STREET TREES).  
CENTRAL AVENUE FRONTAGE IS 144 LF.  
REQUIRED/PROVIDED STREET TREES: 5/5

VASSAR DRIVE IS A LOCAL STREET AND DOES NOT REQUIRE STREET TREES.

BUFFER LANDSCAPE: THE PROPERTIES ARE LOCATED IN A MAIN STREET AREA. PER THE IDO § 5-6(E)(3)(B), A VEGETATIVE SCREEN AT LEAST 6 FEET TALL SHALL BE PROVIDED AT THE PROPERTY LINE BETWEEN THE TWO PROPERTIES. ONE (1) TREE AT LEAST 8 FEET HIGH AT THE TIME OF PLANTING SHALL BE PROVIDED EVERY FOR 15 FEET ALONG THE WALL, WITH SPACING DESIGNED TO MINIMIZE SOUND AND LIGHT IMPACTS OF THE PROPOSED DEVELOPMENT ON THE ADJACENT PROPERTY.

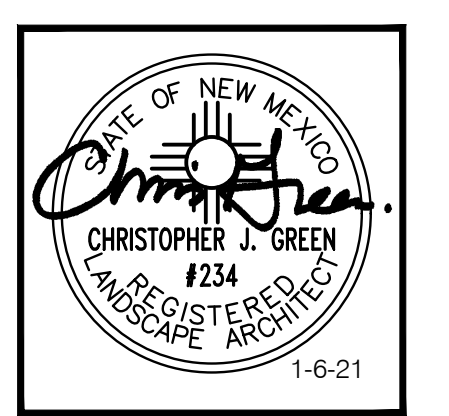
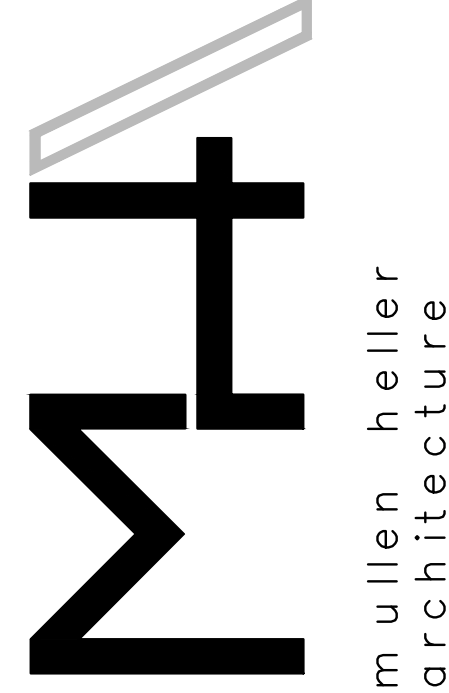


CONSENSUS PLANNING, INC.  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

REV	DATE	DESCRIPTION
1	2/17/2021	EXTENDED SIGHT LINES TO CURB
2		
3		
4		
5		

BY: SC

DATE: 2/17/2021



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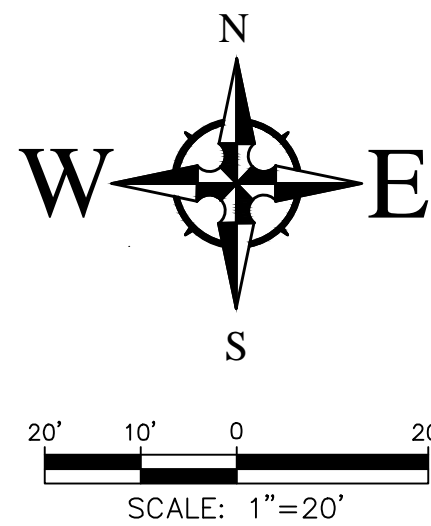
JOB NUMBER: 20-12  
DRAWN BY: SC  
PROJECT MGR: CG  
DATE: 01-08-2021  
PHASE: DRB SUBMITTAL

PROJECT: The Strider  
109 VASSAR DRIVE S.E.  
ALBUQUERQUE NM 87106

TITLE: Landscape Plan

SHEET: L001

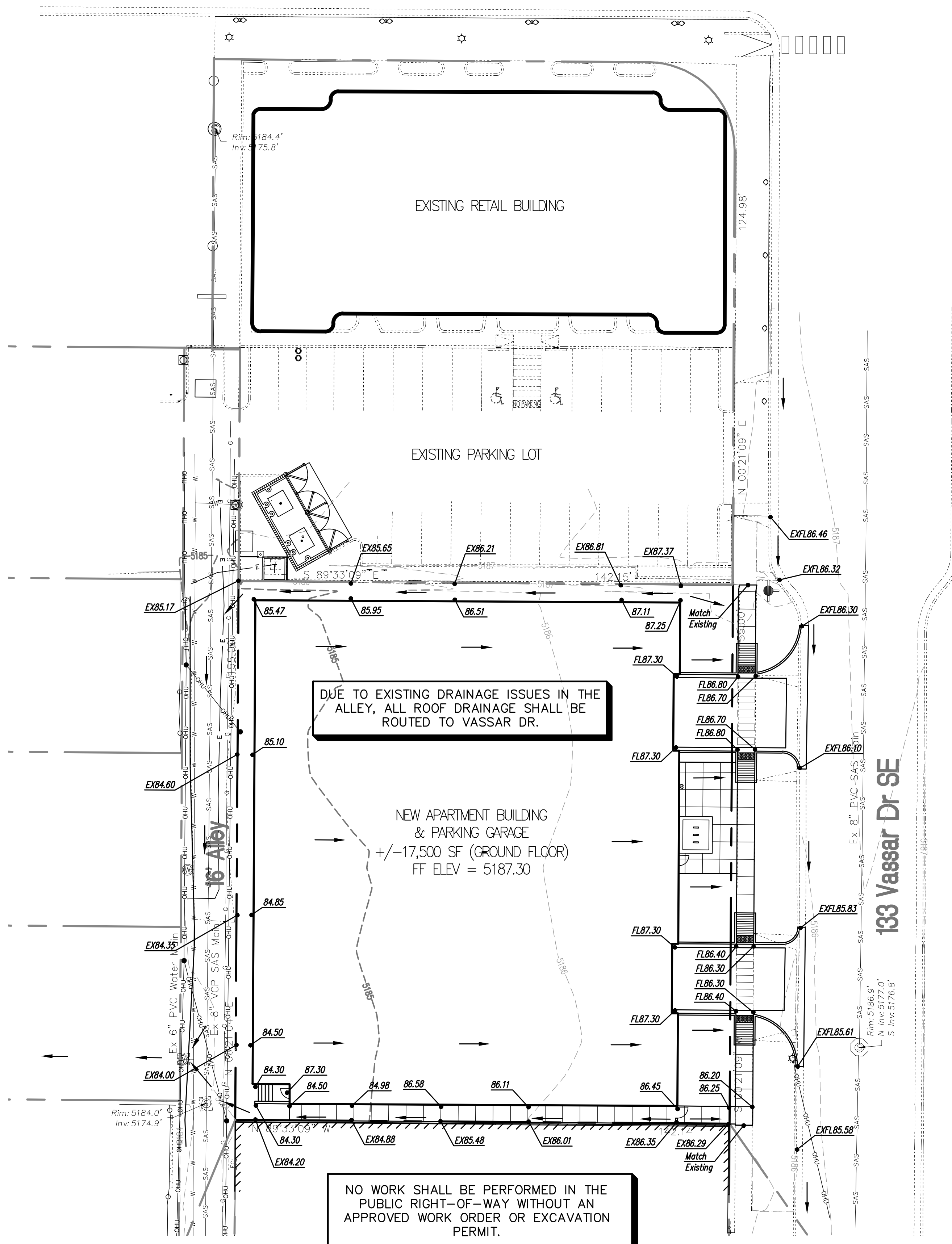




**CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**Central Ave SE**



NO WORK SHALL BE PERFORMED IN THE PUBLIC RIGHT-OF-WAY WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.

**LEGEND**

- ← FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- TS27.8 PROPOSED TOP OF SIDEWALK ELEVATION
- (111) FGH83.40 FINISHED GRADE AT TOP OF WALL
- FGL83.40 FINISHED GRADE AT BOTTOM OF WALL
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN

**DRAINAGE MANAGEMENT PLAN**

**INTRODUCTION**

The purpose of this submittal is to provide a conceptual grading plan and drainage management plan for the redevelopment of Lots 19-21 and a small portion of Lot 18, Block 24, University Heights addition. The site is located at 133 Vassar Drive SE in Albuquerque, NM. The site contains approximately 0.51 acres. The proposed development consists of a new multi-story apartment complex with a parking garage on the bottom floor. A City Drainage File Number could not be found for this site.

**EXISTING HYDROLOGIC CONDITIONS**

The site is currently a parking lot which is near 100% impervious and sheet flows from east to west and into the alley. This drainage then flows across a residential property to the west (112 Princeton Dr SE or Lot 6, Block 24, University Heights Addn). The house and other improvements on this lot were recently removed for unknown reasons and the lot is currently vacant. Drainage continues to flow from the alley and then across this lot. Although this is a historical condition, we are unaware of a Drainage Easement across this residential property.

**PROPOSED HYDROLOGIC CONDITIONS**

The proposed development will be a multi-story apartment building with a parking garage at the ground level. There will be a slight reduction in runoff due to the decrease in impervious area. Due to the existing drainage issue where the stormwater flows across the private residential lot, we are proposing that all roof drainage be directed eastward and into Vassar Dr SE. This drainage will then flow to the south along Vassar to Silver St and then west toward Princeton where the flow will converge with its original Basin. Per the Drainage Calculations table this sheet, there will be approximately 2.30 cfs of drainage leaving the site and onto Vassar.

**STORMWATER QUALITY PONDING REQUIREMENTS**

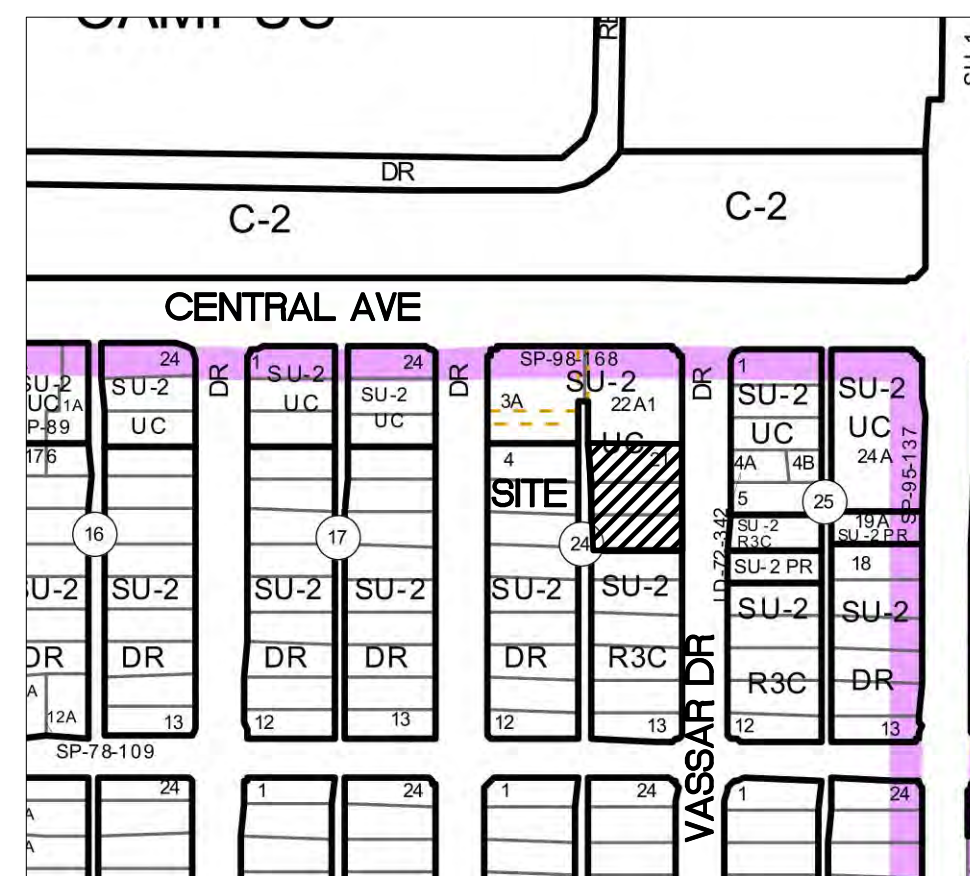
Due to the size of the new building, it is not likely that Stormwater Quality features will be installed. In the event the Developer cannot provide the Stormwater Quality Ponding, they will be required to make a Payment-in-Lieu per Chapter 6.2 of the DPM. This will be determined as part of the future Final Grading Plan submittal.

**CONCLUSION**

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meet city requirements. The redirection of drainage to Vassar will have a minimal impact to the Roadway drainage; however, it will greatly reduce the impact of drainage flowing across the residential property at 112 Princeton SE. With this submittal, we are requesting approval of a Conceptual Grading Plan for the Site Plan for Building Permit and Subdivision Plat.

DRAINAGE CALCULATIONS - COA Zone 2					
Basin	Acres	C-Factor	Tc	I100	Q100
Site	0.51	0.90	10.00	4.02	2.30

Drainage Calculations are per the COA DPM, Chapter 6.2.



**VICINITY MAP - Zone Map K-16-Z**

LEGAL DESCRIPTION:  
Lots 19-21 and a Portion of Lot 18, Block 24, University Heights, 0.5058 Acres.



**FIRM MAP 35001C0353H**

Per Firm Map 35001C0353H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

**GRADING NOTES**

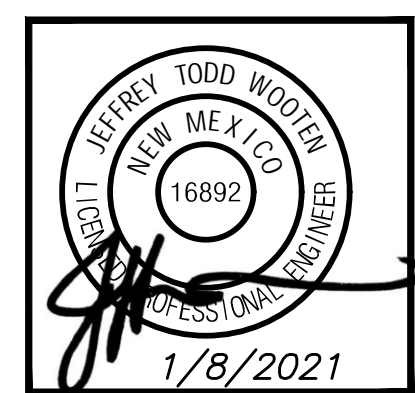
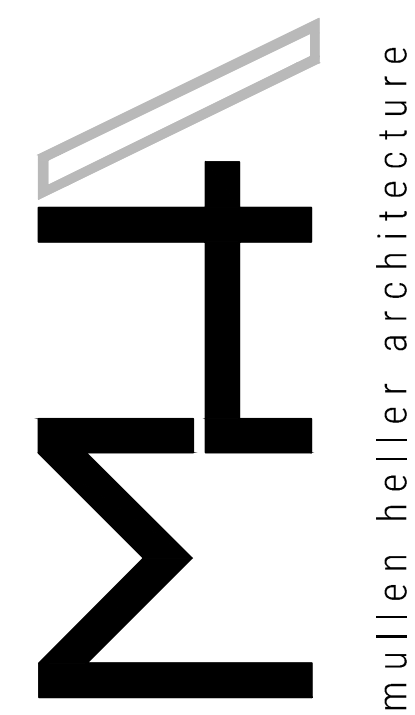
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

**NOT FOR CONSTRUCTION**

BENCH MARKS	
A.C.S. MONUMENT "7-L15"	
MONUMENT TYPE 3	
NEW MEXICO STATE PLANE COORDINATES	
(CENTRAL ZONE-N.A.D. 1983)	
N=1,479,550.205	
E=1,529,067.366	
PUB. EL=5164.135 NAVD 1988	
GROUND TO GRID FACTOR=0.999671093	
DELTA ALPHA ANGLE = -012'49.65"	

**W E** Wooten Engineering  
 PO Box 15814  
 Rio Rancho, N.M. 87174  
 Phone: (505) 980-3560

REV	DATE	BY	DESCRIPTION
1			
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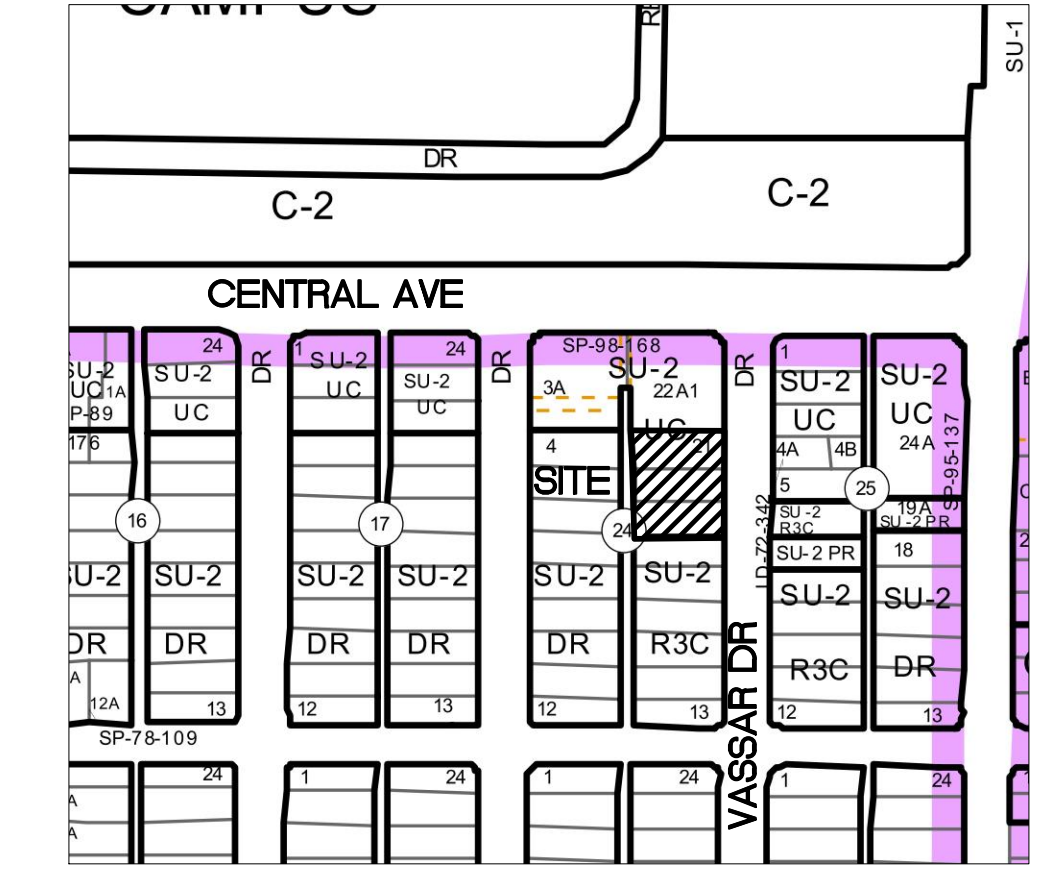
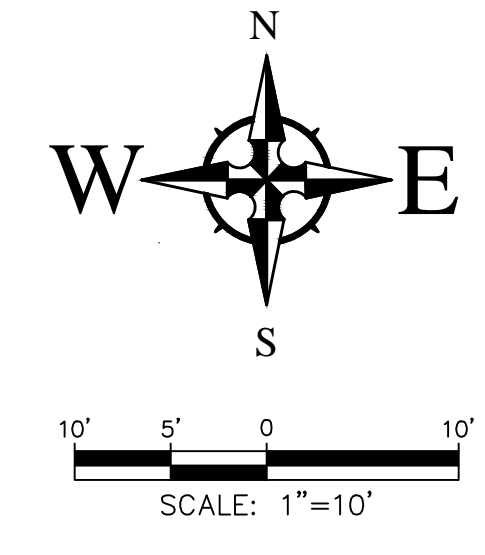
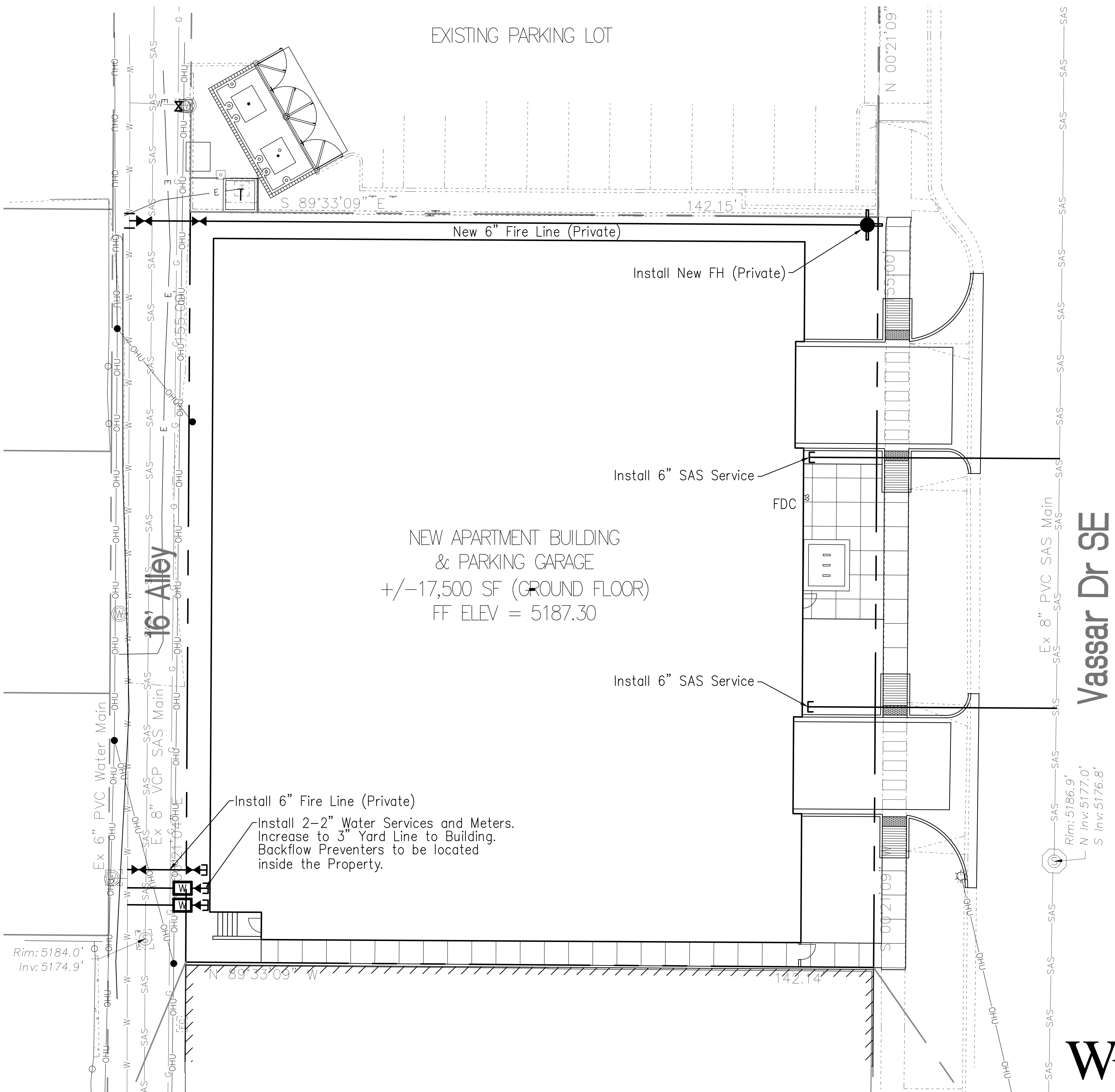
**MULLEN HELLER ARCHITECTURE**  
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 F | 505.268.4244  
 www.mullenheller.com

JOB NUMBER	20-12
DRAWN BY	OCG
PROJECT MGR	JW
DATE	12-14-2020
PHASE	SD

PROJECT  
**109 VASSAR DRIVE S.E. REDEVELOPMENT**  
 133 VASSAR DRIVE S.E.,  
 ALBUQUERQUE NM 87106

TITLE  
**CONCEPTUAL GRADING PLAN**





**GENERAL NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
7. ALL VALVES SHALL BE ANCHORED PER CITY OF ALBUQUERQUE STANDARDS.
8. FIRE LINES (IF REQUIRED) SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

**CAUTION - NOTICE TO CONTRACTOR**

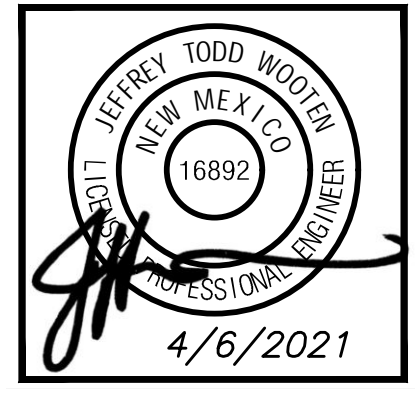
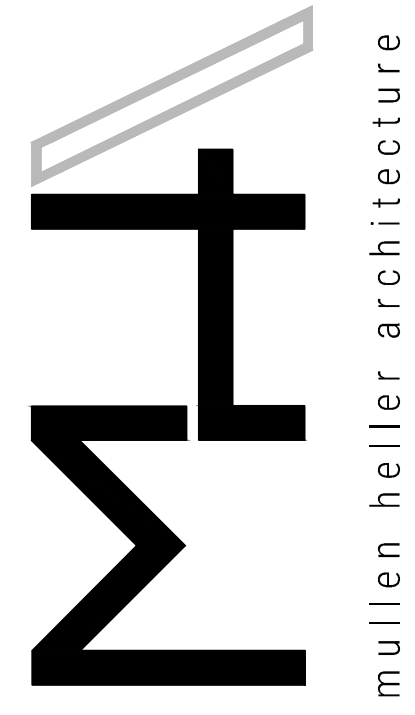
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**NOT FOR CONSTRUCTION**

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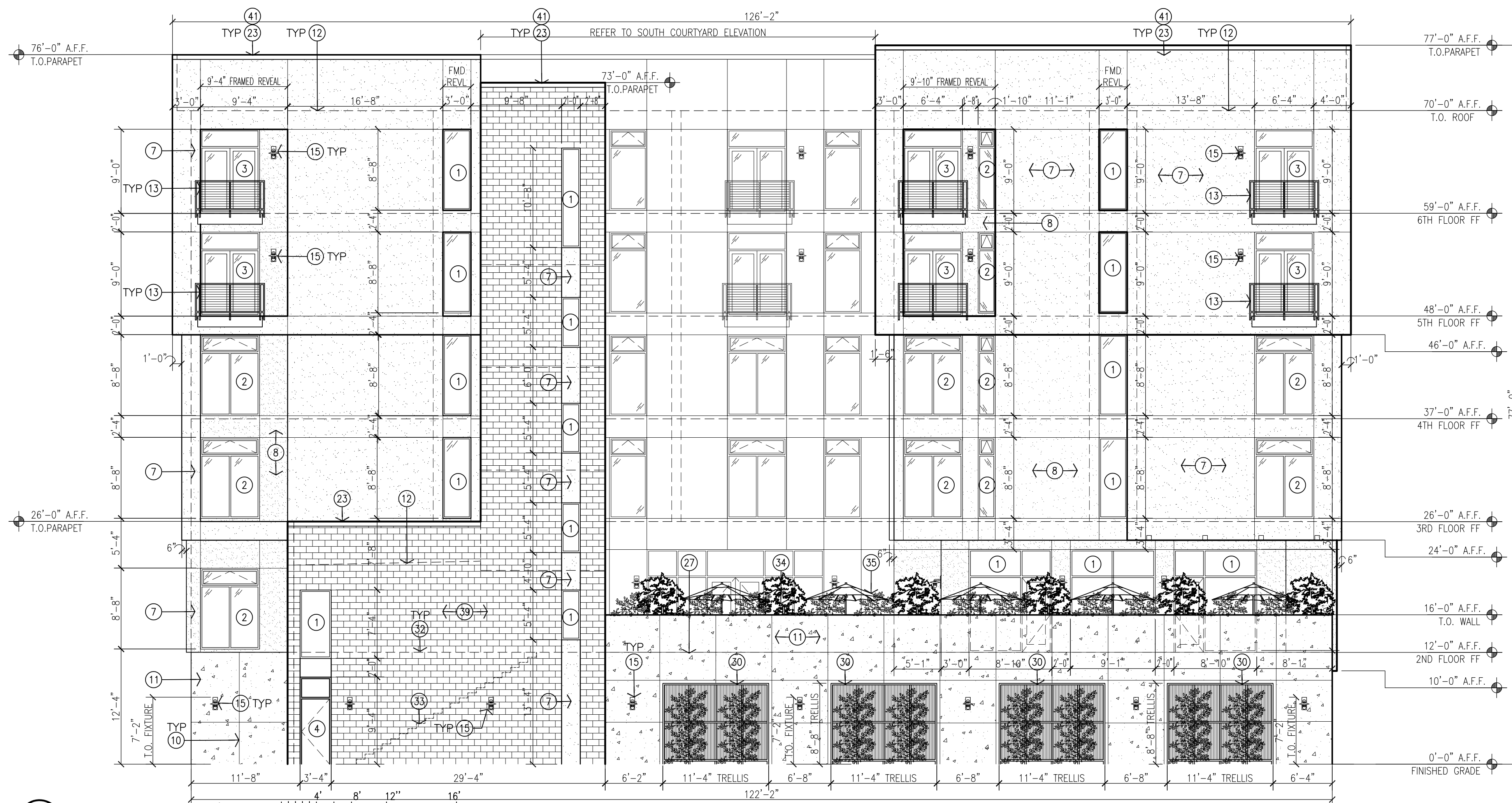
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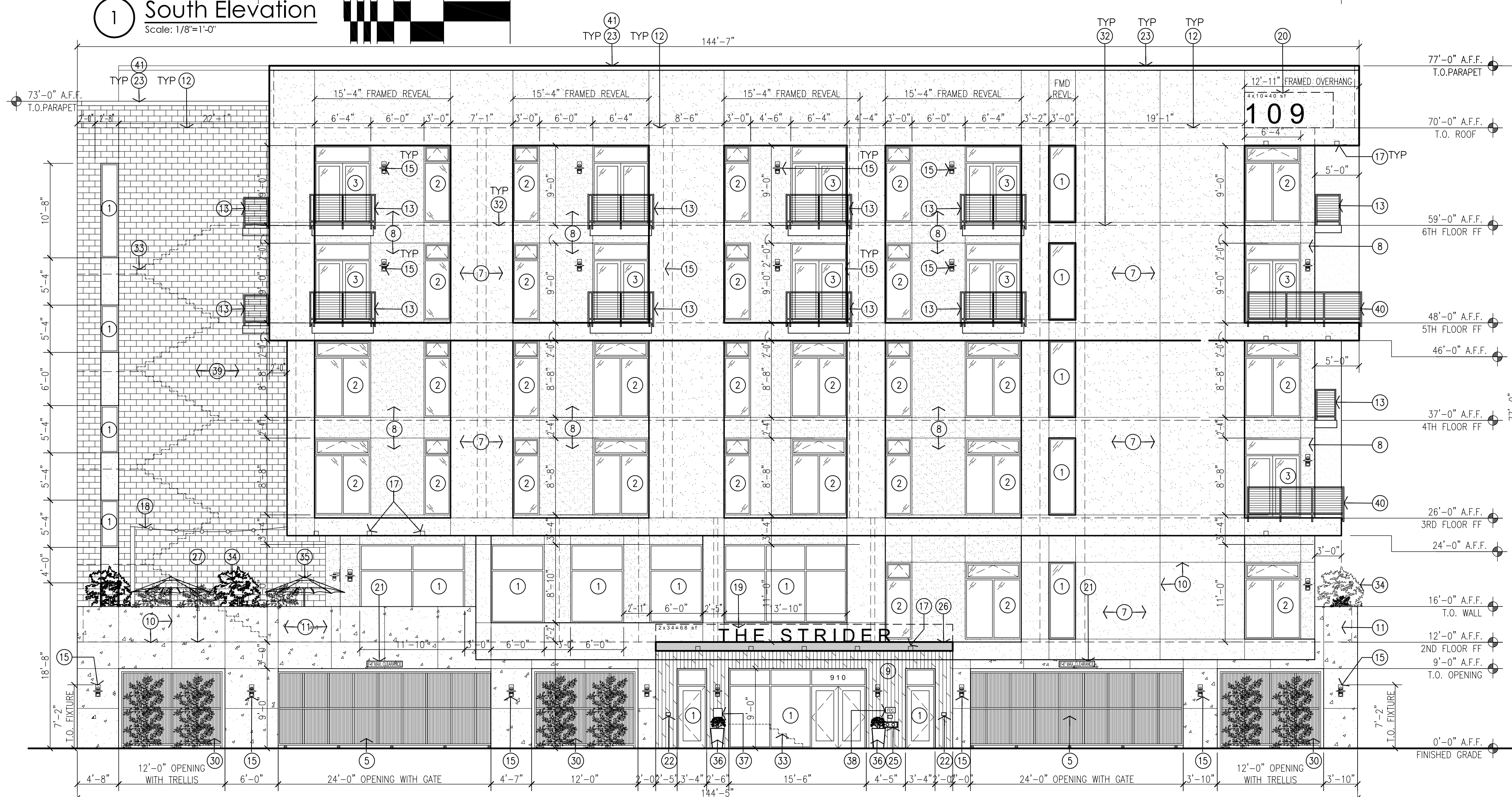
TITLE  
**CONCEPTUAL UTILITY PLAN**

SHEET  
**C200**





**1 South Elevation**  
Scale: 1/8"=1'-0"



**2 East Elevation**  
Scale: 1/8"=1'-0"

- KEYED NOTES:**
- [1] ALUMINUM STOREFRONT/PREFINISHED METAL DOOR/WINDOW SYSTEM. COLOR: SILVER OR LIGHT GRAY.
  - [2] INTEGRALLY COLORED VINYL WINDOW. COLOR: WHITE OR GRAY.
  - [3] INTEGRALLY COLORED VINYL SLIDER DOOR. COLOR: WHITE OR GRAY.
  - [4] PAINTED HOLLOW-METAL DOOR. COLOR TO MATCH ADJACENT WALL FINISH.
  - [5] PREFINISHED OVERHEAD COILING DOOR. COLOR TO MATCH ADJACENT WALL FINISH.
  - [6] PAINTED TUBE STEEL PEDESTRIAN GATE. COLOR TO MATCH ADJACENT WALL FINISH.
  - [7] SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. FIELD COLOR: OFF WHITE.
  - [8] SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. ACCENT COLOR: LIGHT GRAY/BEIGE.
  - [9] PREFINISHED WOOD/FIBER-CEMENT BOARD SIDING. COLOR: NATURAL/FAUX WOOD GRAIN WITH CLEAR SEAL.
  - [10] STUCCO/CONCRETE CONTROL JOINT.
  - [11] EXPOSED CAST-IN-PLACE CONCRETE WALL SYSTEM. COLOR: NATURAL CONCRETE GRAY.
  - [12] LINE OF TPO ROOF BEYOND.
  - [13] PAINTED TUBE STEEL BALCONY AND GRATE INLAY PANELS WITH TUBE STEEL AND WELDED WIRE ROD GUARDRAIL. COLOR: WHITE OR LIGHT GRAY.
  - [14] TUBE STEEL AND WELDED WIRE MESH GUARDRAIL. COLOR: WHITE OR LIGHT GRAY.
  - [15] DECORATIVE WALL MOUNTED LED LIGHT FIXTURE.
  - [16] EXTERIOR LED WALL PACK LIGHT FIXTURE.
  - [17] RECESSED LED CAN LIGHT FIXTURE AT SOFFIT.
  - [18] DECORATIVE STRING LED LIGHTS AT COMMUNITY DECK.
  - [19] AREA OF INTERNALLY ILLUMINATED SIGNAGE & RACEWAY ALONG ENTRY CANOPY EDGE. CHARACTER SIZE: 18" HIGH MAXIMUM.
  - [20] AREA OF INTERNALLY ILLUMINATED SIGNAGE & RACEWAY ON BUILDING FACADE. CHARACTER SIZE: 24" HIGH MAXIMUM.
  - [21] AREA OF NON-ILLUMINATED SIGNAGE ON BUILDING FACADE NOTING BUILDING GARAGE CLEARANCE. SIGN AREA: 4 SF.
  - [22] BUILDING MOUNTED ROOM SIGNAGE.
  - [23] LINE OF PARAPET, FINISH WITH METAL PARAPET CAP TO MATCH WALL FINISH.
  - [24] WALL-MOUNTED, STACKED GAS METERS. PAINT METERS TO MATCH STUCCO.
  - [25] WALL-MOUNTED FIRE-DEPARTMENT CONNECTION WITH BUILDING-MOUNTED SIGNAGE.
  - [26] CANTILEVERED ENTRY CANOPY.
  - [27] LINE OF COMMUNITY ROOF DECK BEYOND.
  - [28] LANDSCAPE AREA, REFER TO LANDSCAPE PLAN.
  - [29] RAISED LANDSCAPE PLANTER, REFER TO LANDSCAPE PLAN.
  - [30] TUBE STEEL TRELLIS SYSTEM WITH LANDSCAPING, REFER TO LANDSCAPE PLAN.
  - [31] WATER FEATURE.
  - [32] LINE OF FINISH FLOOR BEYOND.
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  - [34] LINE OF ROOFTOP PLANTER BEYOND.
  - [35] SITE FURNITURE BY OWNER.
  - [36] PLANTER BY OWNER.
  - [37] BUILDING MOUNTED INTERCOM SYSTEM BY OWNER.
  - [38] FIRE DEPARTMENT KNOX BOX.
  - [39] SMOOTH-FACE STANDARD CONCRETE MASONRY. COLOR: INTEGRALLY COLORED LIGHT GRAY/BEIGE.
  - [40] FRAMED WALK-OUT BALCONY WITH TUBE STEEL AND WELDED WIRE ROD GUARDRAIL. COLOR: WHITE OR LIGHT GRAY.
  - [41] ALL ROOFTOP MECHANICAL UNITS SHALL BE FULLY SCREENED BY PARAPET FRAMING.

**BUILDING MOUNTED SIGNAGE CALCULATIONS:**  
SIGNAGE SHALL COMPLY WITH COA IDO REQUIREMENTS FOR MX-M ZONING PER SECTION 5-12(F)(2) & TABLE 15-2-2 ON-PREMISE SIGNS IN MIXED-USE ZONE DISTRICTS.

**REQUIREMENTS:**

- WALL SIGNS: NO MAXIMUM NUMBER ALLOWABLE, 15% MAXIMUM WALL AREA
- WINDOW SIGNS: 15% MAXIMUM OF WINDOW/DOOR AREA
- CANOPY SIGNS: 1/ESTABLISHMENT FRONTAGE, 50% MAXIMUM OF FRONTAGE WIDTH
- PROJECTING SIGNS: 1 PER ESTABLISHMENT (IN LIEU OF FREE-STANDING SIGN), 30" MAXIMUM PROJECTION
- ROOFTOP SIGN: 1/BUILDING
- FREESTANDING SIGNS: 1/PREMISES/STREET FRONTAGE, 200 SF ABUTTING ARTERIAL/HIGHWAY

SOUTH ELEVATION-	9,513 SF X 15% 1,427 SF ALLOWED  NO PROPOSED ILLUMINATED SIGNAGE  NO PROPOSED NON-ILLUMINATED SIGNAGE
EAST ELEVATION-	10,960 SF X 15% 1,644 SF ALLOWED  108 SF ILLUMINATED SIGNAGE PROVIDED  2.7 SF NON-ILLUMINATED SIGNAGE PROVIDED
WEST ELEVATION-	11,086 SF X 15% 1,662.9 SF ALLOWED  52 SF ILLUMINATED SIGNAGE PROVIDED  NO PROPOSED NON-ILLUMINATED SIGNAGE
NORTH ELEVATION-	9,507 SF X 15% 1,426 SF ALLOWED  112 SF ILLUMINATED SIGNAGE PROVIDED  NO PROPOSED NON-ILLUMINATED SIGNAGE

**GENERAL NOTES:**  
[A] THE GROUND FLOOR CLEAR HEIGHT SHALL BE 10'-0" AFF.

STATE OF NEW MEXICO  
JOHN DOUGLAS HELLER  
NO. 2827  
REGISTERED ARCHITECT  
2021

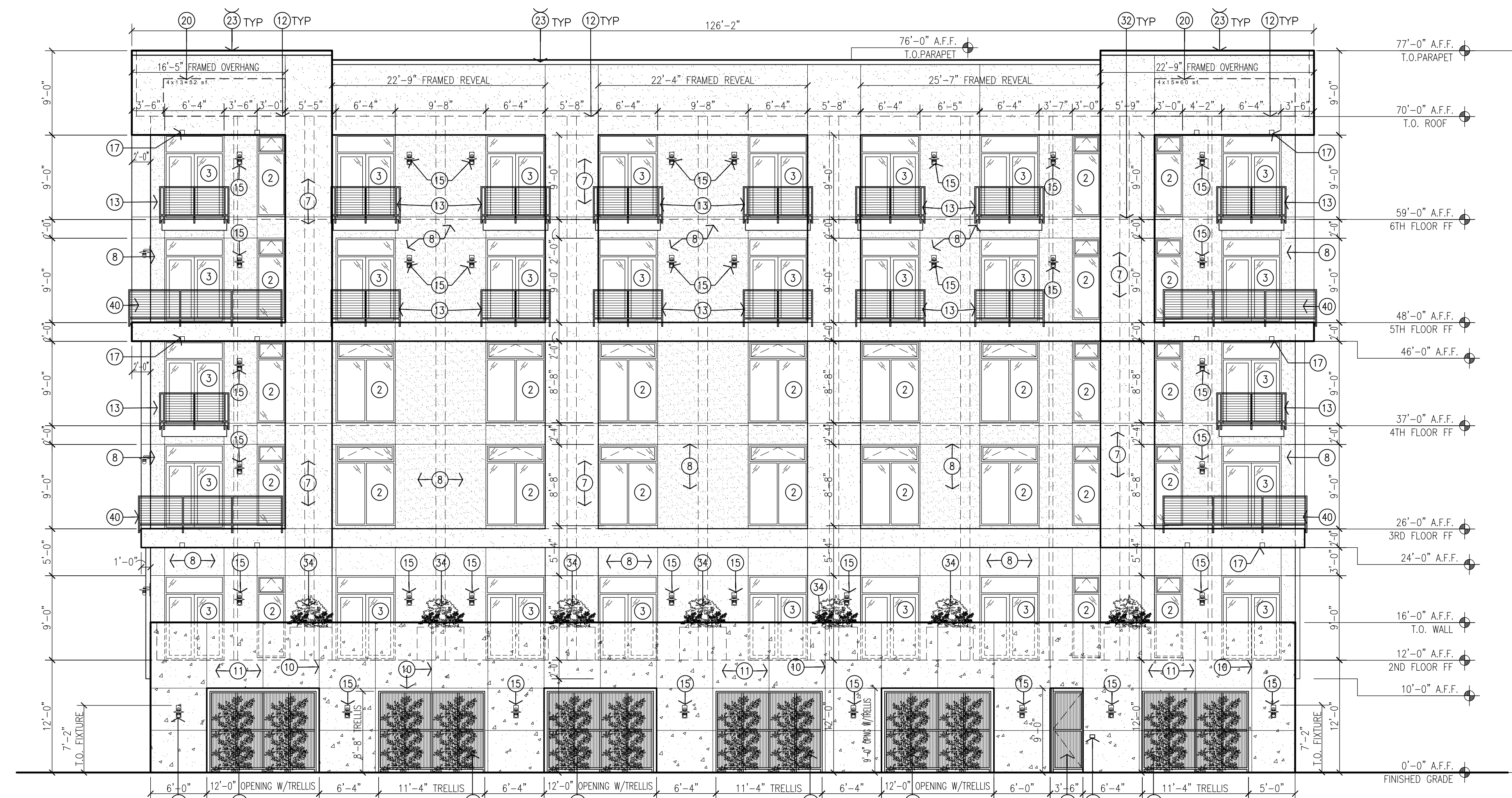
MULLEN HELLER ARCHITECTURE  
1718 CENTRAL AVE SW | STE D  
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PROJECT: The Strider  
109 VASSAR DRIVE S.E.  
ALBUQUERQUE, NM 87106

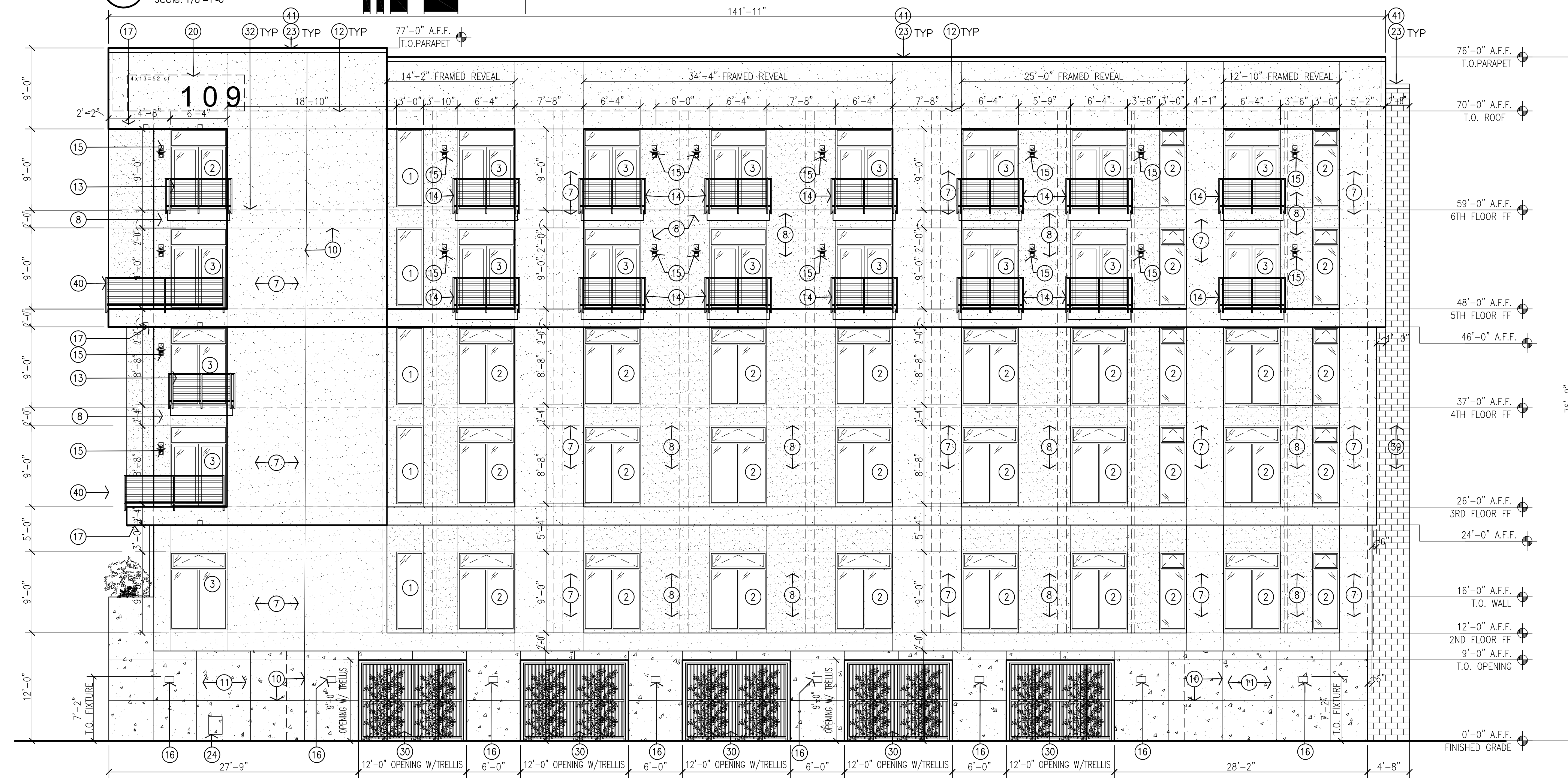
TITLE: Exterior Elevations

JOB NUMBER: 20-12  
DRAWN BY: KBP/SEJ  
PROJECT MGR: DH  
DATE: 02-15-2021  
PHASE: DRB





**1 North Elevation**  
Scale: 1/8"=1'-0"

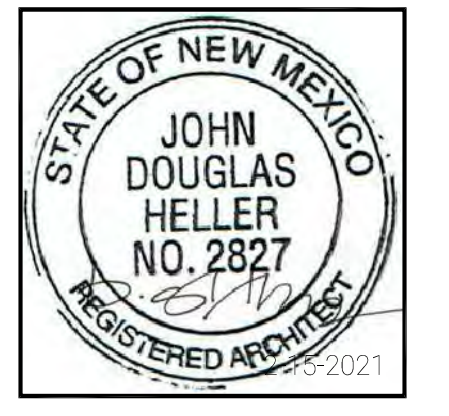
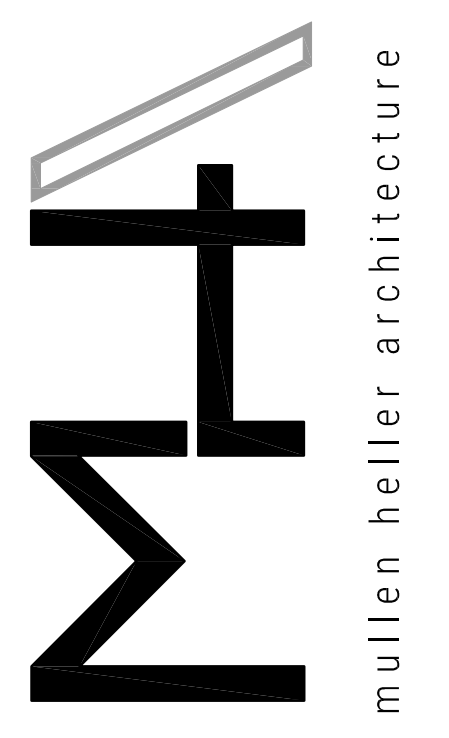


**2 West Elevation**  
Scale: 1/8"=1'-0"

- KEYED NOTES:**
- [1] ALUMINUM STOREFRONT/PREFINISHED METAL DOOR/WINDOW SYSTEM. COLOR: SILVER OR LIGHT GRAY.
  - [2] INTEGRALLY COLORED VINYL WINDOW. COLOR: WHITE OR GRAY.
  - [3] INTEGRALLY COLORED VINYL SLIDER DOOR. COLOR: WHITE OR GRAY.
  - [4] PAINTED HOLLOW-METAL DOOR. COLOR TO MATCH ADJACENT WALL FINISH.
  - [5] PREFINISHED OVERHEAD COILING DOOR. COLOR TO MATCH ADJACENT WALL FINISH.
  - [6] PAINTED TUBE STEEL PEDESTRIAN GATE. COLOR TO MATCH ADJACENT WALL FINISH.
  - [7] SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. FIELD COLOR: OFF WHITE.
  - [8] SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. ACCENT COLOR: LIGHT GRAY/BEIGE.
  - [9] PREFINISHED WOOD/FIBER-CEMENT BOARD SIDING. COLOR: NATURAL/FAUX WOOD GRAIN WITH CLEAR SEAL.
  - [10] STUCCO/CONCRETE CONTROL JOINT.
  - [11] EXPOSED CAST-IN-PLACE CONCRETE WALL SYSTEM. COLOR: NATURAL CONCRETE GRAY.
  - [12] LINE OF TPO ROOF BEYOND.
  - [13] PAINTED TUBE STEEL BALCONY AND GRATE INLAY PANELS WITH TUBE STEEL AND WELDED WIRE ROD GUARDRAIL. COLOR: WHITE OR LIGHT GRAY.
  - [14] TUBE STEEL AND WELDED WIRE MESH GUARDRAIL. COLOR: WHITE OR LIGHT GRAY.
  - [15] DECORATIVE WALL MOUNTED LED LIGHT FIXTURE.
  - [16] EXTERIOR LED WALL PACK LIGHT FIXTURE.
  - [17] RECESSED LED CAN LIGHT FIXTURE AT SOFFIT.
  - [18] DECORATIVE STRING LED LIGHTS AT COMMUNITY DECK.
  - [19] AREA OF INTERNALLY ILLUMINATED SIGNAGE & RACEWAY ALONG ENTRY CANOPY EDGE. CHARACTER SIZE: 18" HIGH MAXIMUM.
  - [20] AREA OF INTERNALLY ILLUMINATED SIGNAGE ON BUILDING FACADE. CHARACTER SIZE: 24" HIGH MAXIMUM.
  - [21] AREA OF NON-ILLUMINATED SIGNAGE ON BUILDING FACADE NOTING BUILDING GARAGE CLEARANCE. SIGN AREA: 4 SF.
  - [22] BUILDING MOUNTED ROOM SIGNAGE.
  - [23] LINE OF PARAPET, FINISH WITH METAL PARAPET CAP TO MATCH WALL FINISH.
  - [24] WALL-MOUNTED, STACKED GAS METERS. PAINT METERS TO MATCH STUCCO.
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- GENERAL NOTES:**
- [A] THE GROUND FLOOR CLEAR HEIGHT SHALL BE 10'-0" AFF.

REV	DATE	DESCRIPTION
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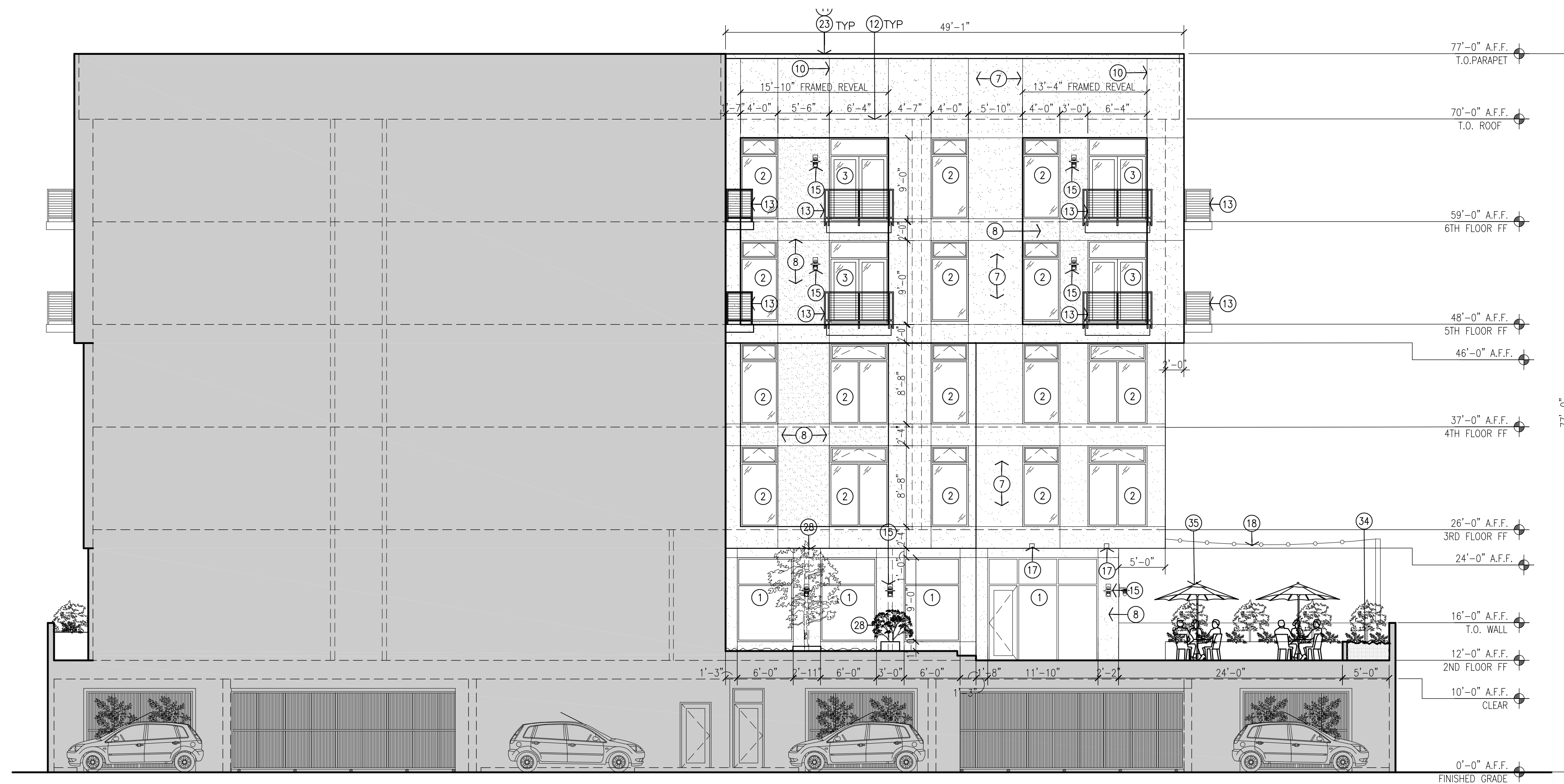
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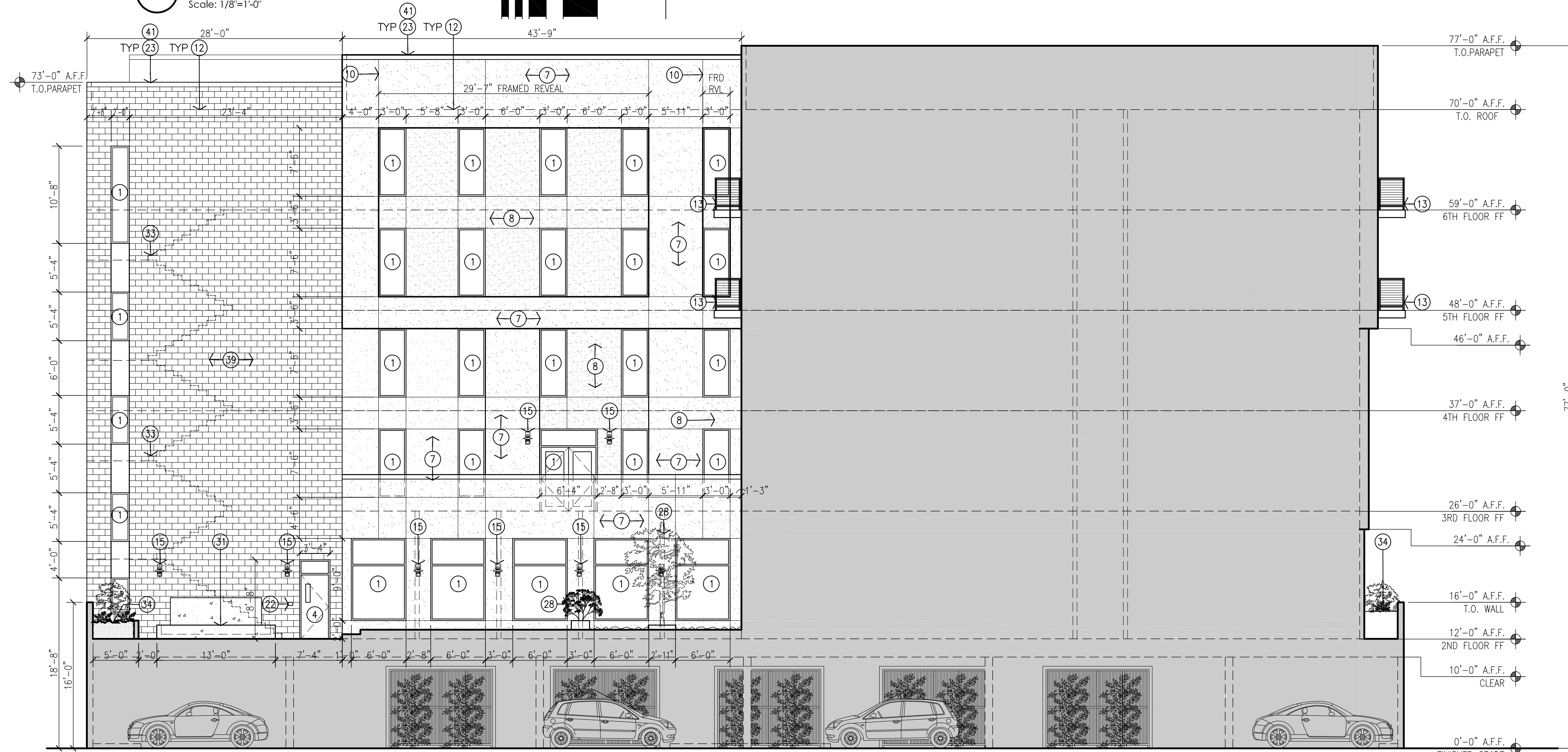
PROJECT  
**The Strider**  
109 VASSAR DRIVE S.E.  
ALBUQUERQUE NM 87106

TITLE  
**Exterior Elevations**





1 East Courtyard Elevation  
Scale: 1/8"=1'-0"



2 West Courtyard Elevation  
Scale: 1/8"=1'-0"

KEYED NOTES:

- [1] ALUMINUM STOREFRONT/PREFINISHED METAL DOOR/WINDOW SYSTEM. COLOR: SILVER OR LIGHT GRAY.
- [2] INTEGRALLY COLORED VINYL WINDOW, COLOR: WHITE OR GRAY.
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GENERAL NOTES:

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DESCRIPTION

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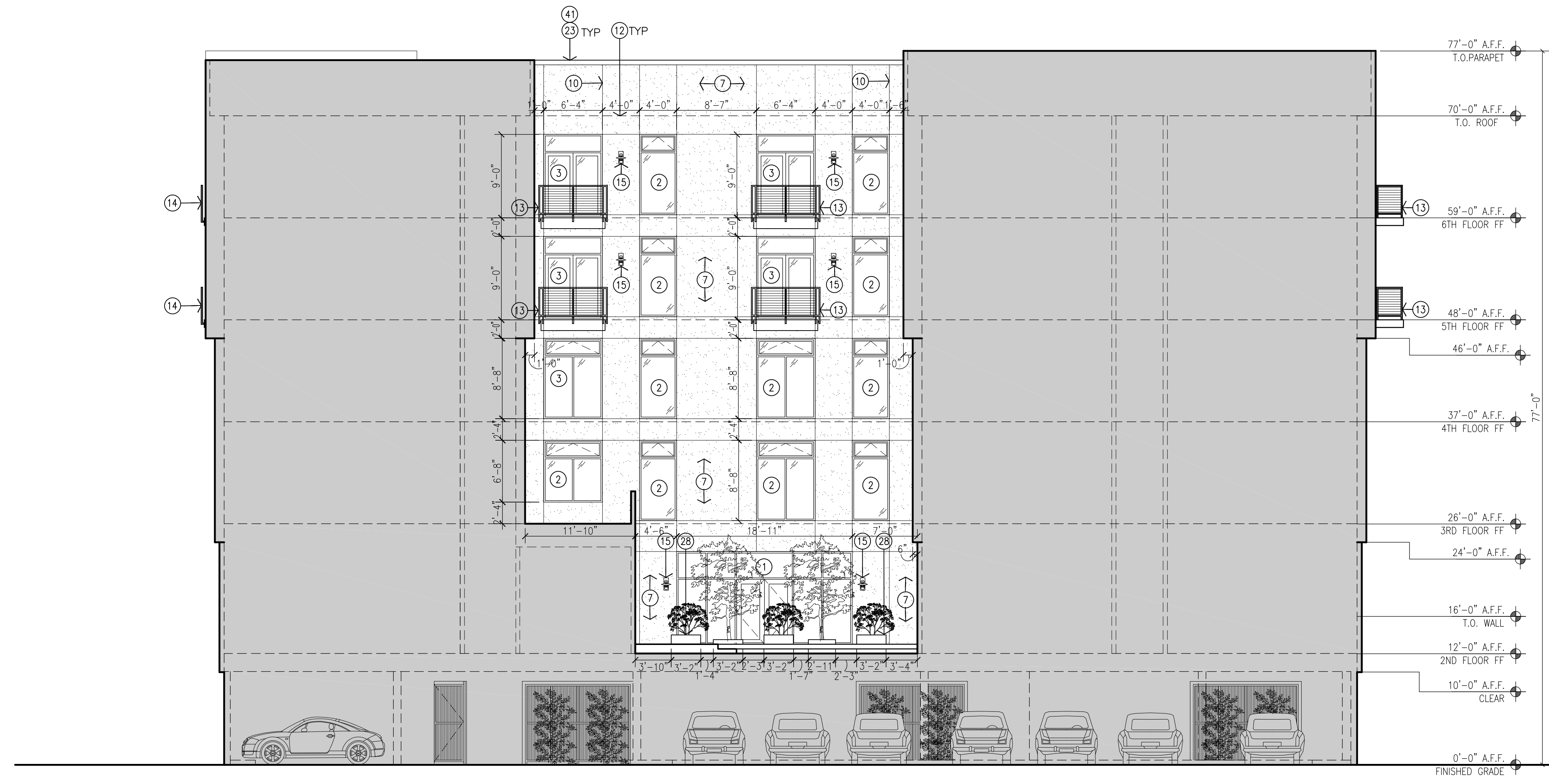
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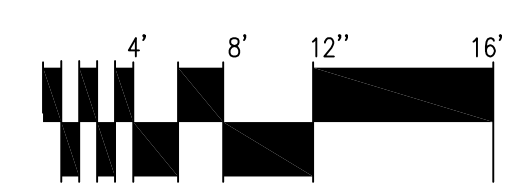


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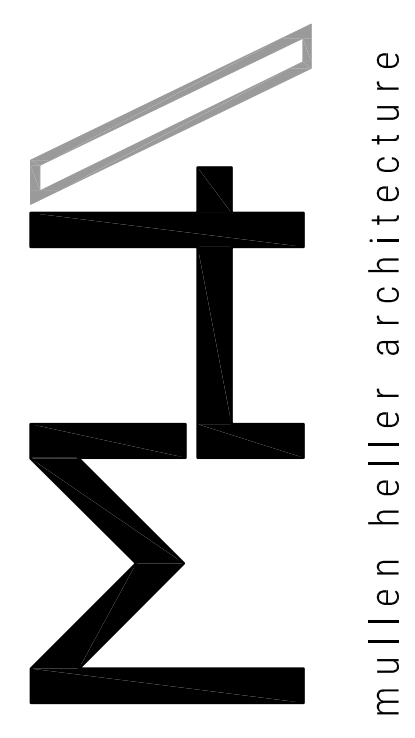
GENERAL NOTES:  
 [A] THE GROUND FLOOR CLEAR HEIGHT SHALL BE 10'-0" AFF.



1 South Courtyard Elevation  
 Scale: 1/8"=1'-0"



REV	DATE	DESCRIPTION
A		
A		
A		
A		



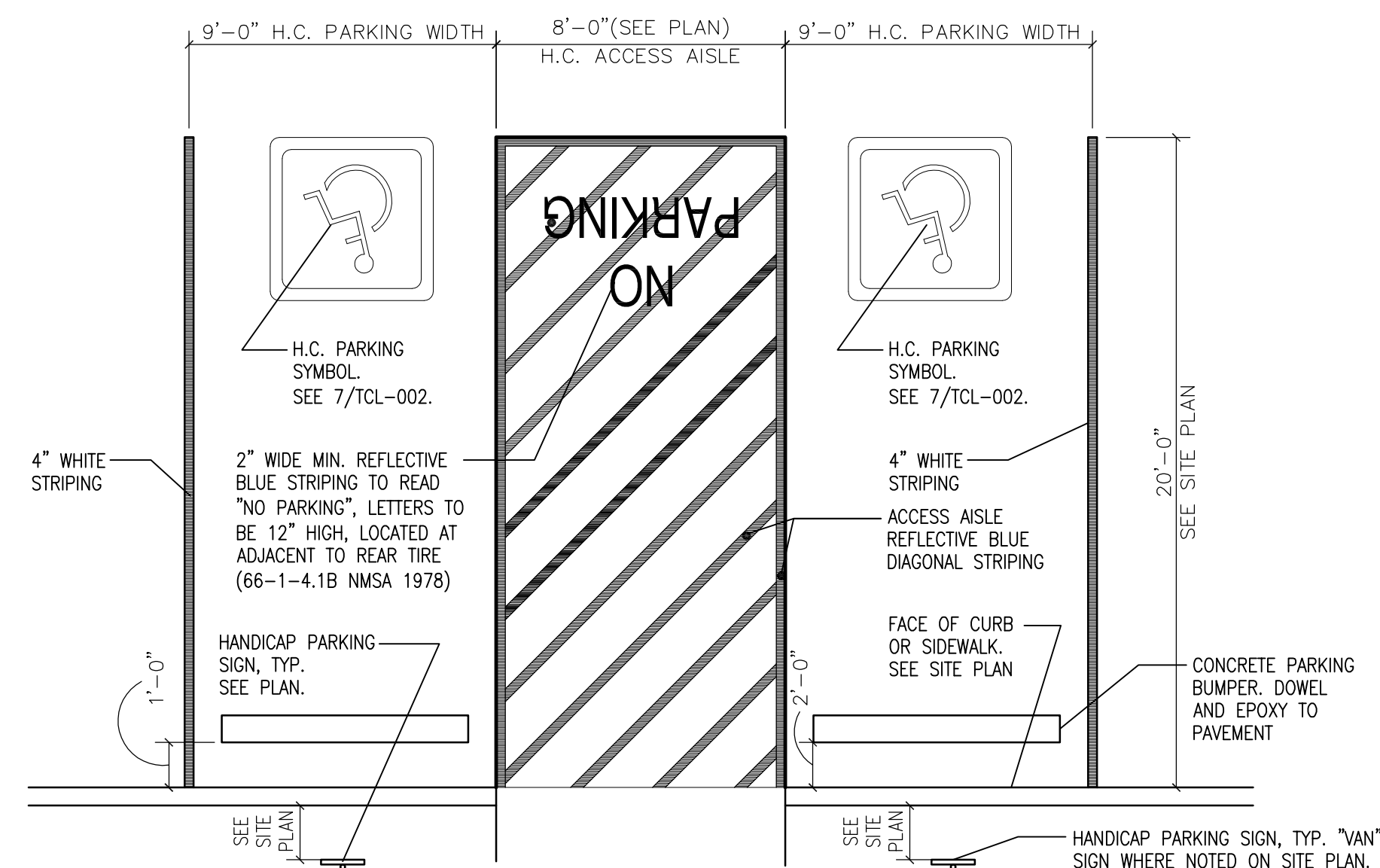
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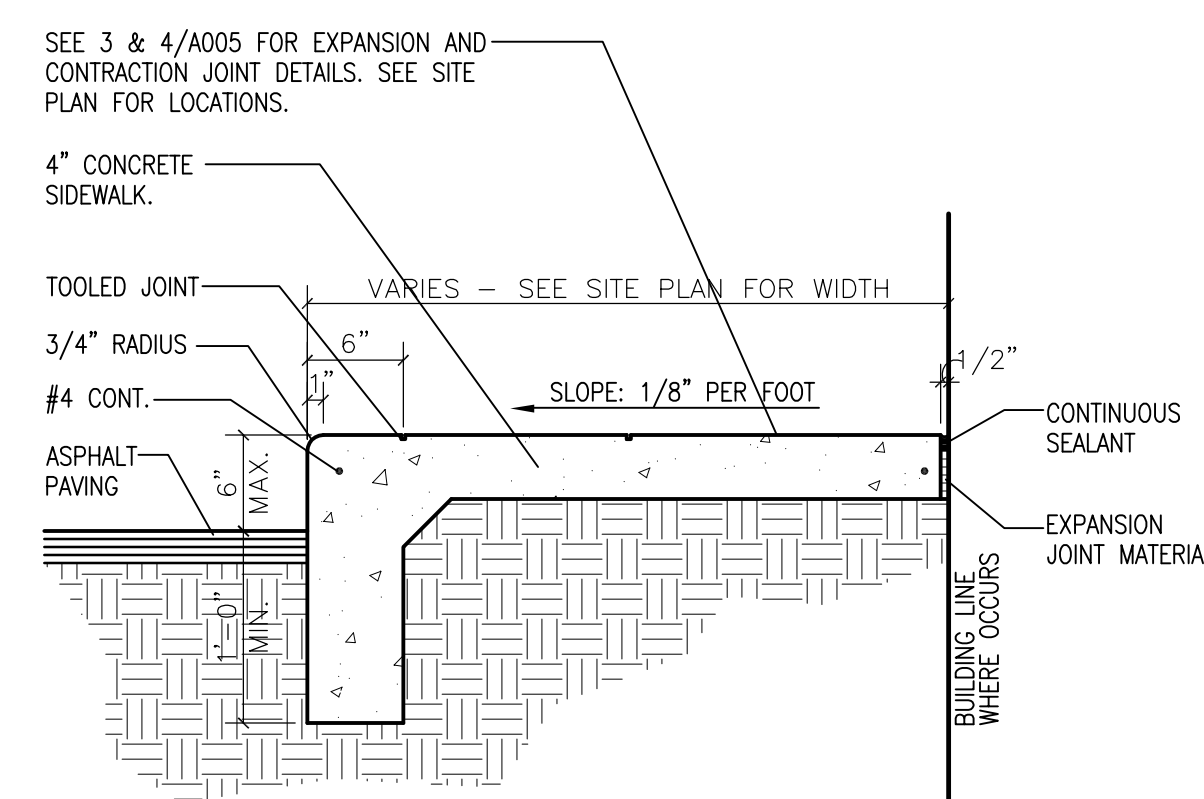
PROJECT  
**The Strider**  
 109 VASSAR DRIVE S.E.  
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TITLE  
**Exterior Elevations**

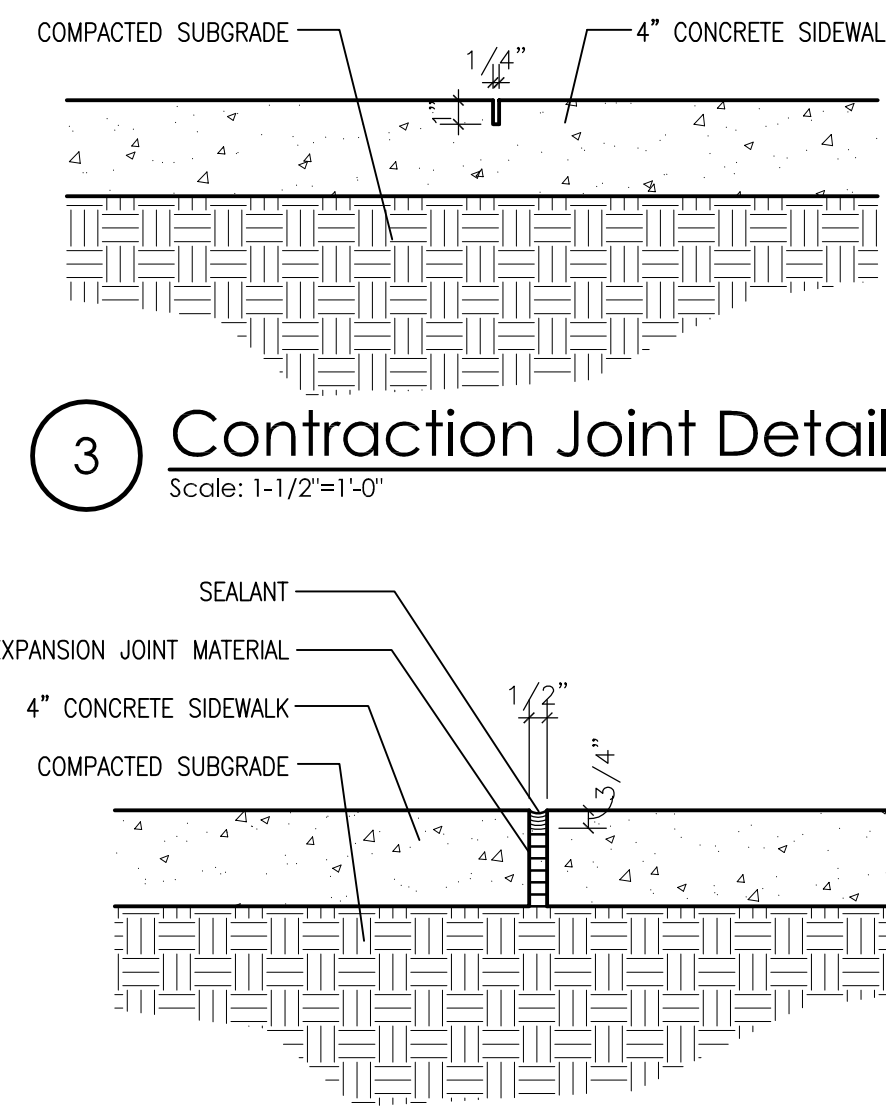




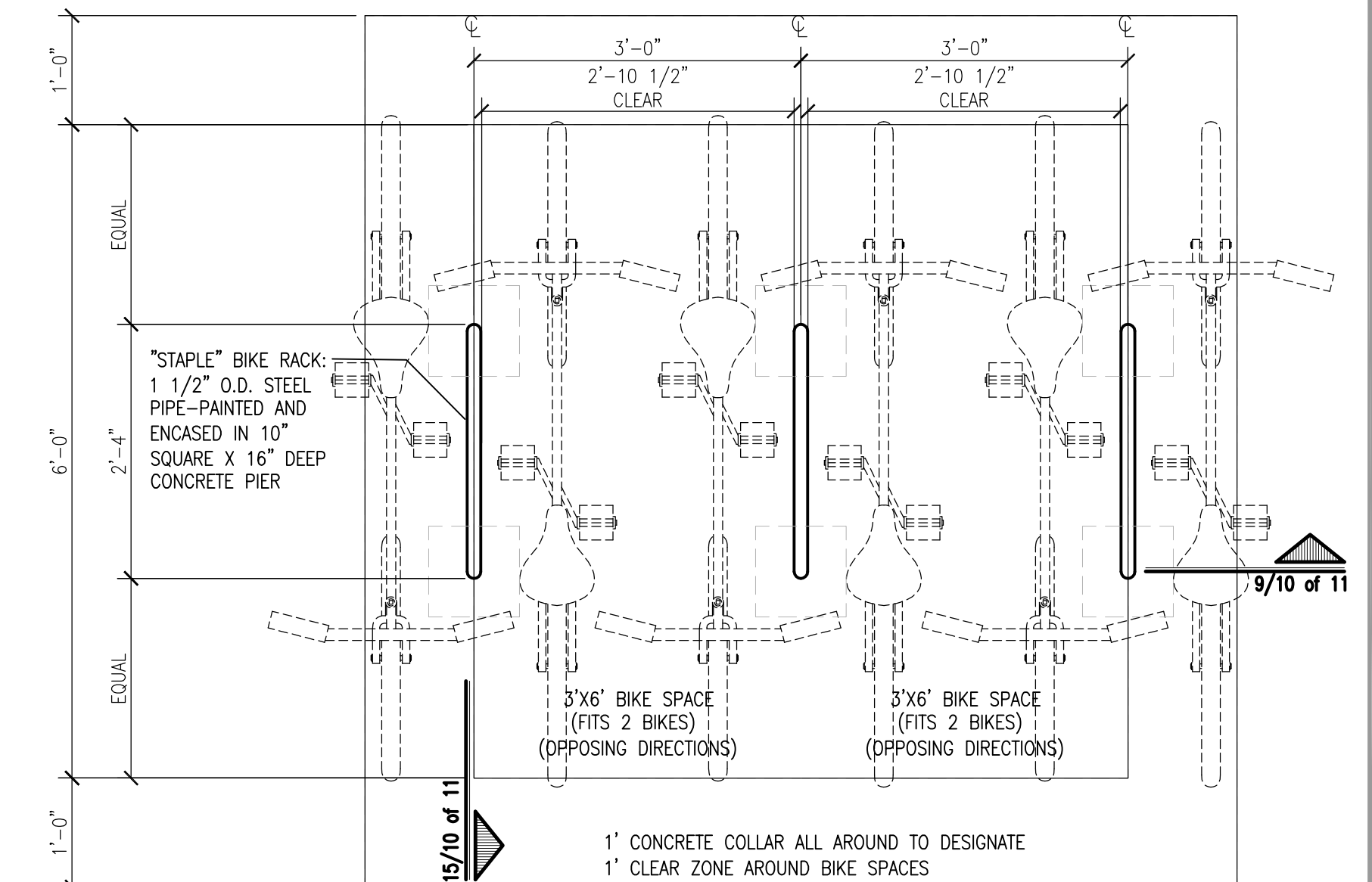
**1** HC Parking Striping Detail  
Scale: 1/4"=1'-0"



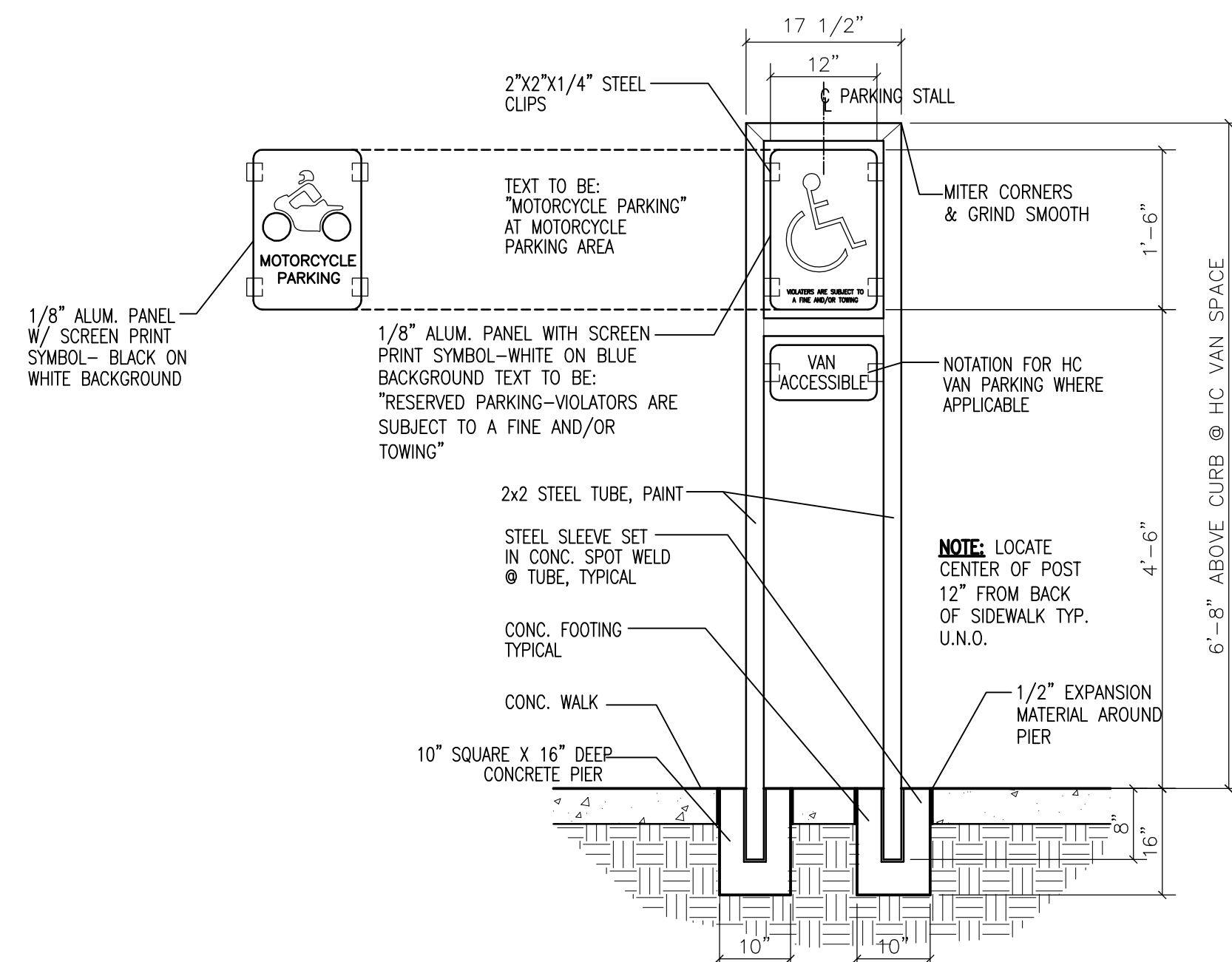
**2** Concrete Sidewalk Detail  
Scale: 1"=1'-0"



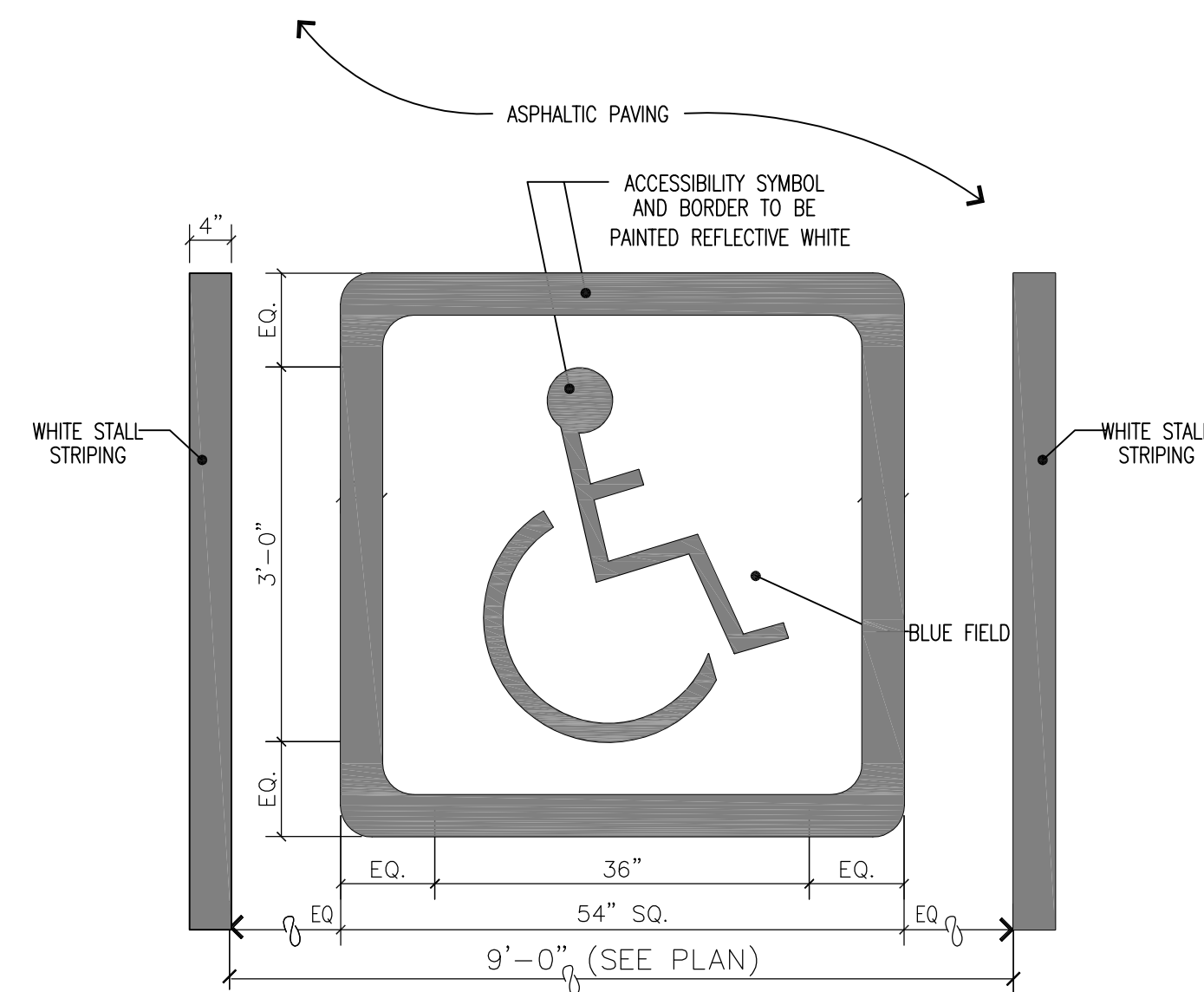
**4** Expansion Joint Detail  
Scale: 1-1/2"=1'-0"



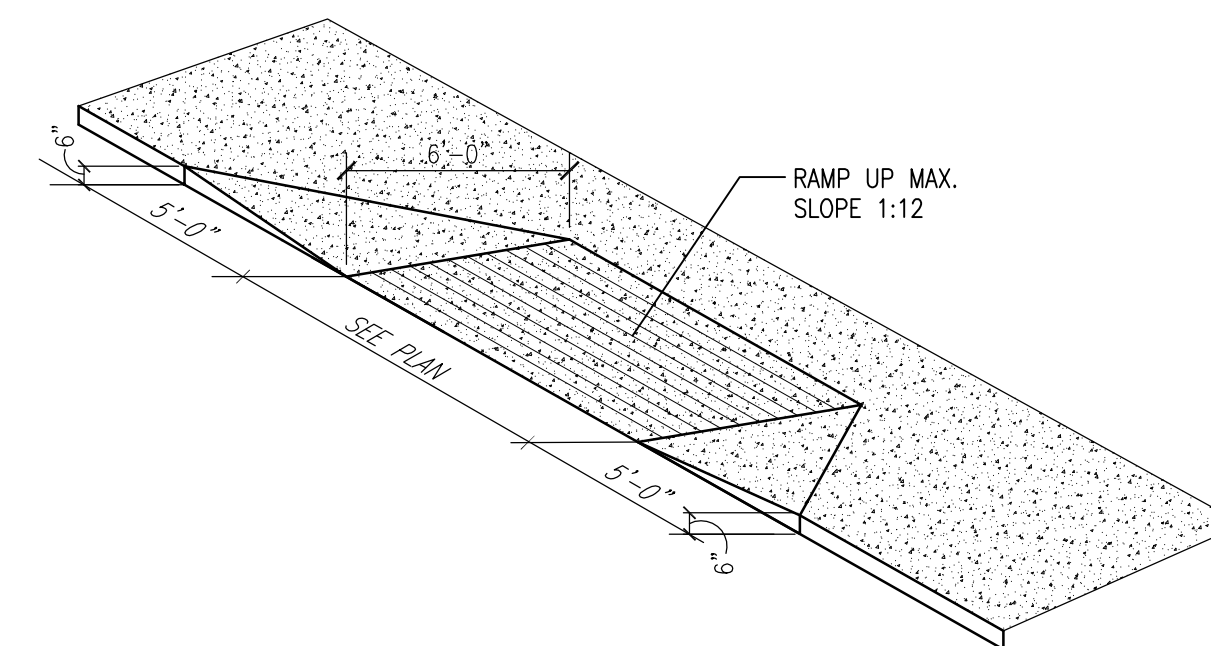
**5** Bicycle Rack Partial Plan Detail  
Scale: 3/4"=1'-0"  
REFER TO PLAN FOR TOTAL QUANTITY



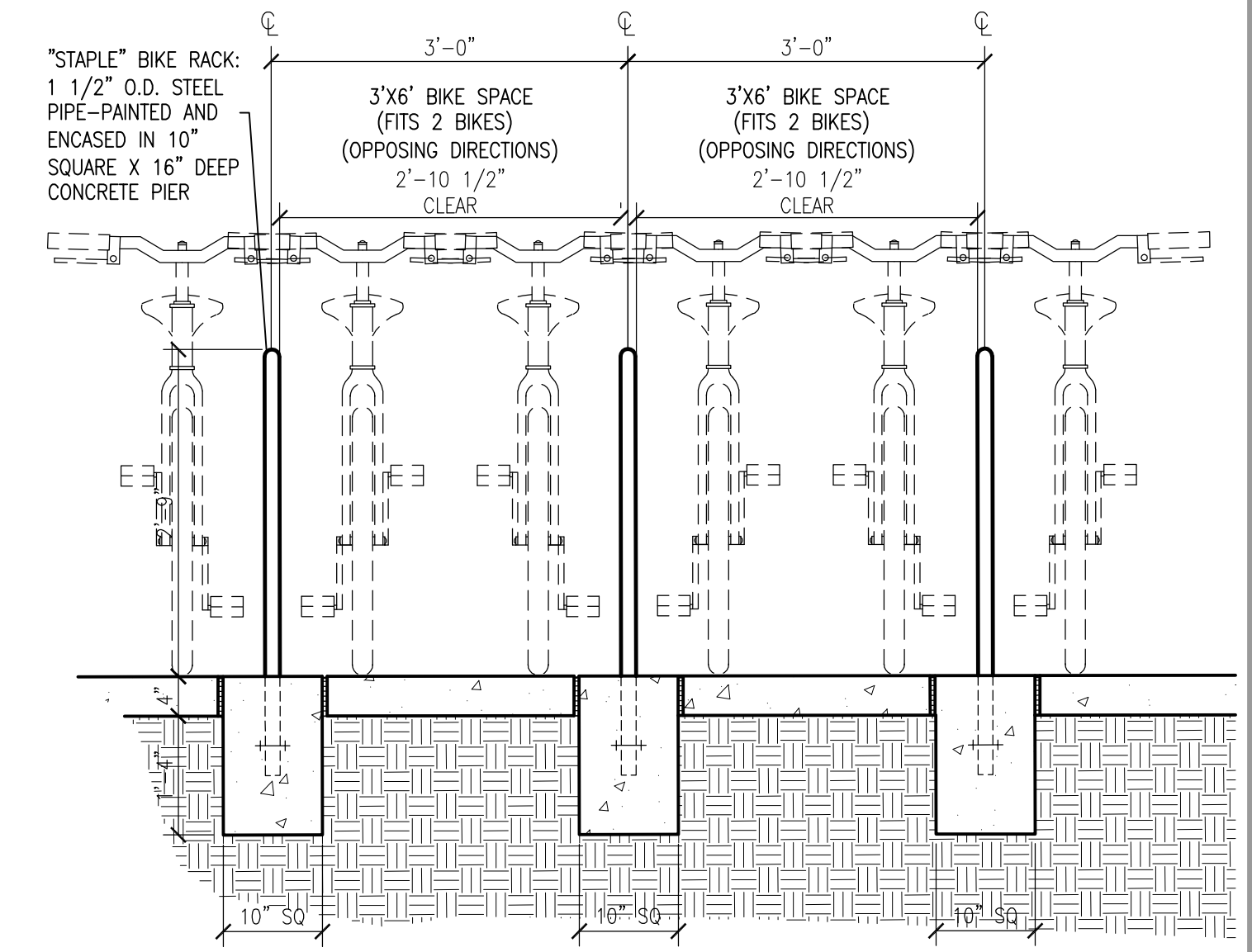
**6** HC / Motorcycle Parking Sign Detail  
Scale: 3/4"=1'-0"



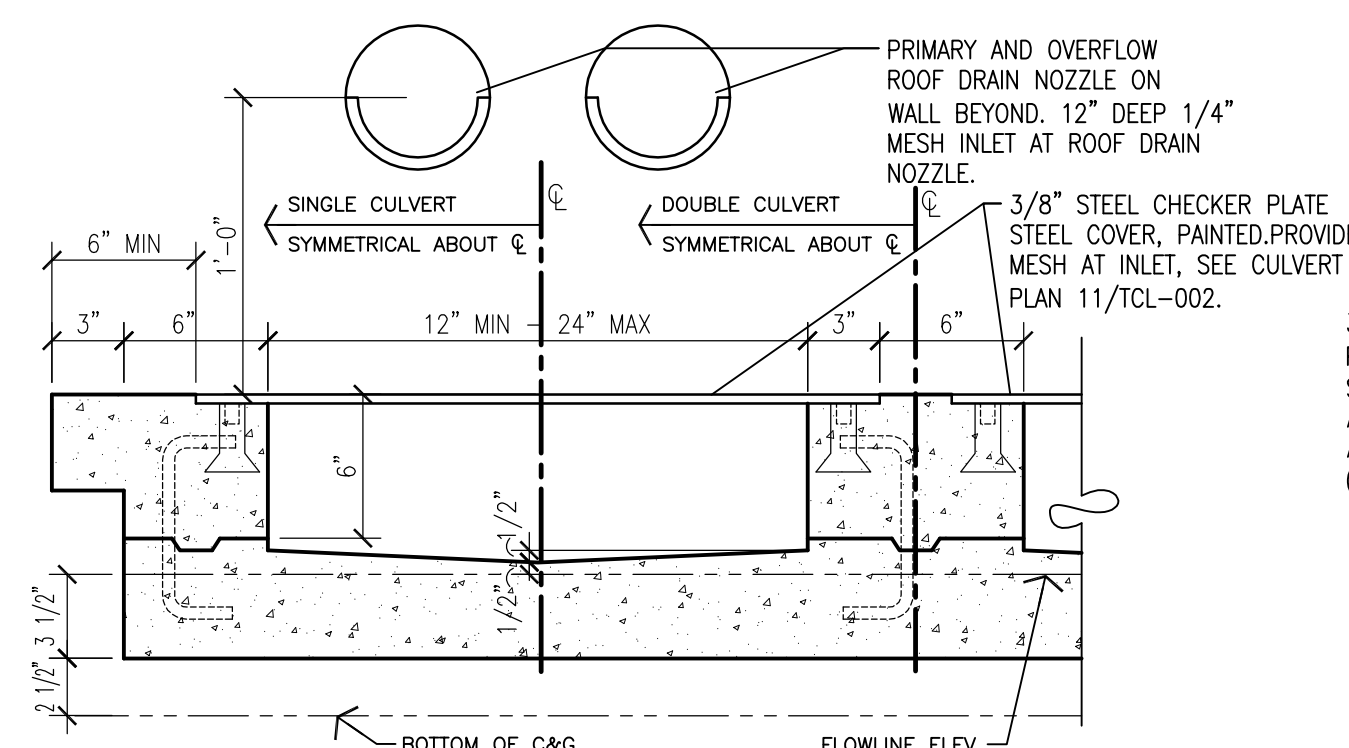
**7** HC Pavement Sign Detail  
Scale: 3/4"=1'-0"



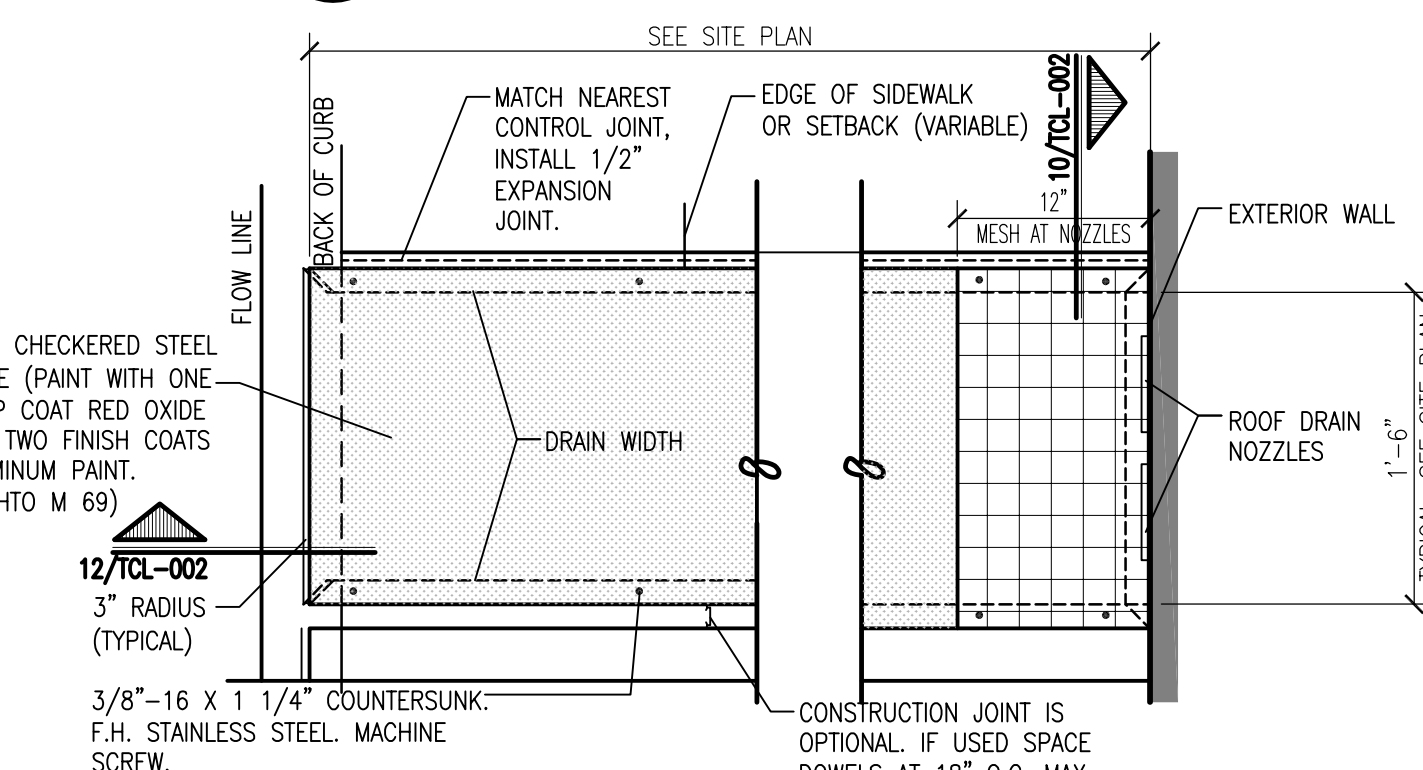
**8** H.C. Ramp Detail  
Scale: Not To Scale (Isometric)



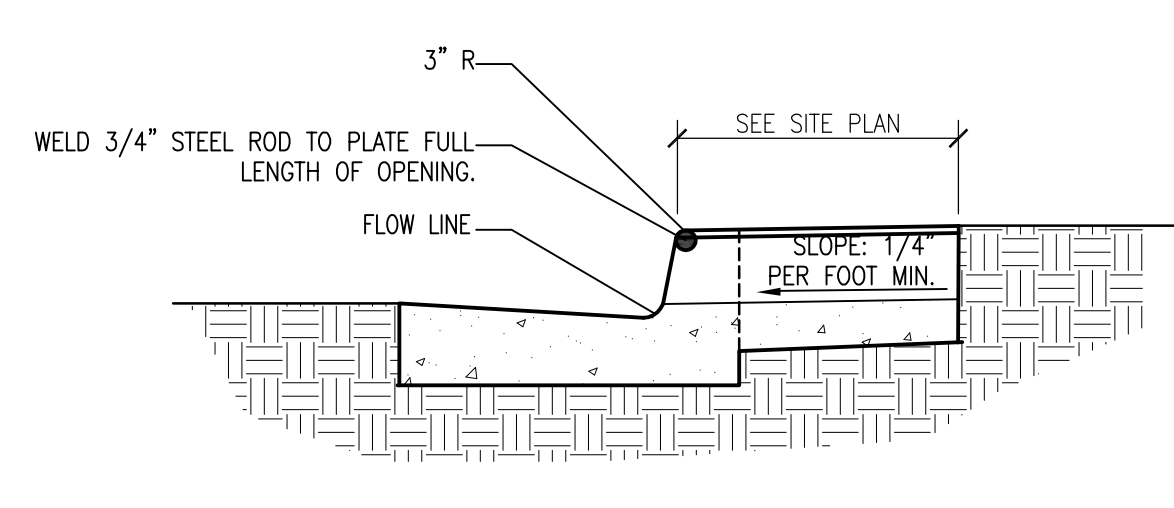
**9** Bicycle Rack Front Detail  
Scale: 3/4"=1'-0"  
REFER TO PLAN FOR TOTAL QUANTITY



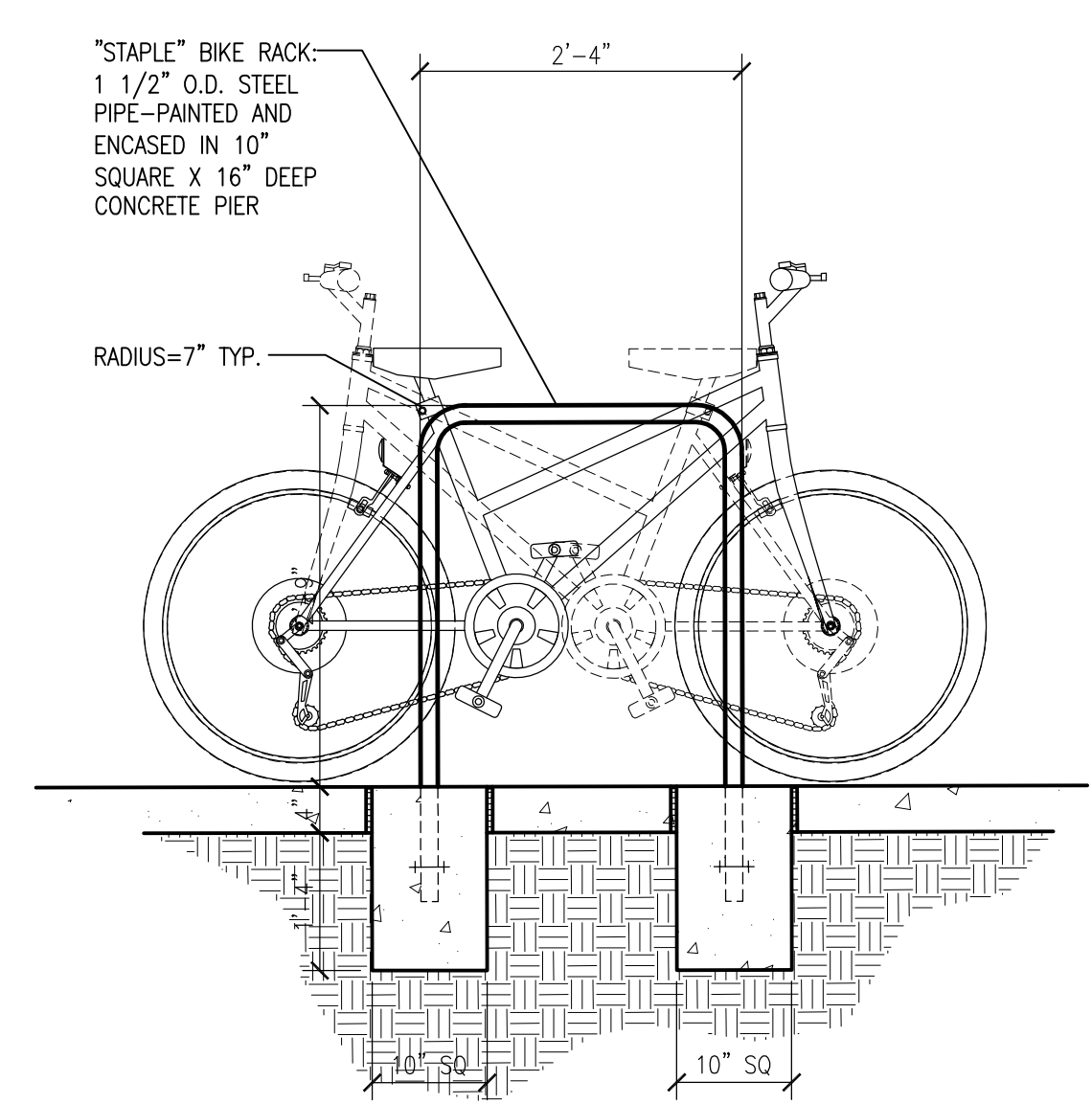
**10** Sidewalk Culvert Detail  
Scale: 1 1/2"=1'-0"  
(COA STD DETAIL 2236)



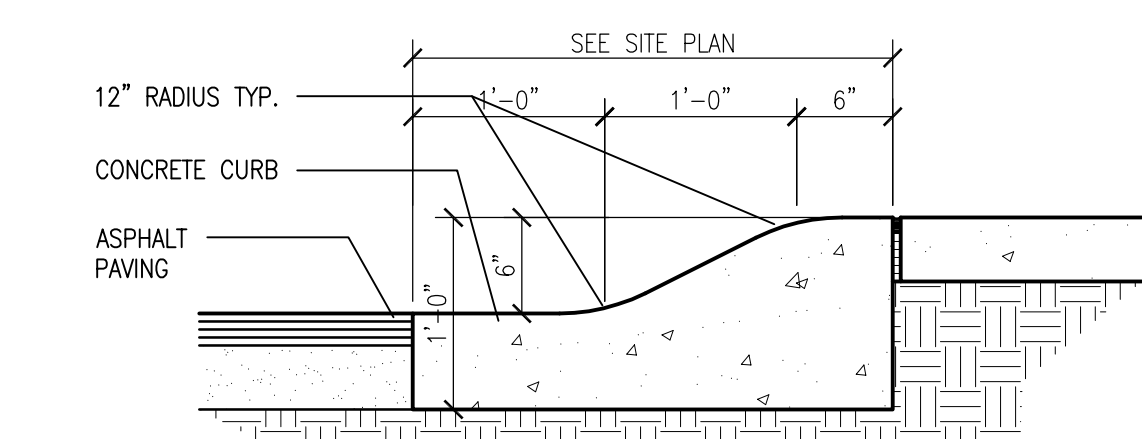
**11** Culvert Plan View  
Scale: 1"=1'-0"  
(COA STD DETAIL 2236)



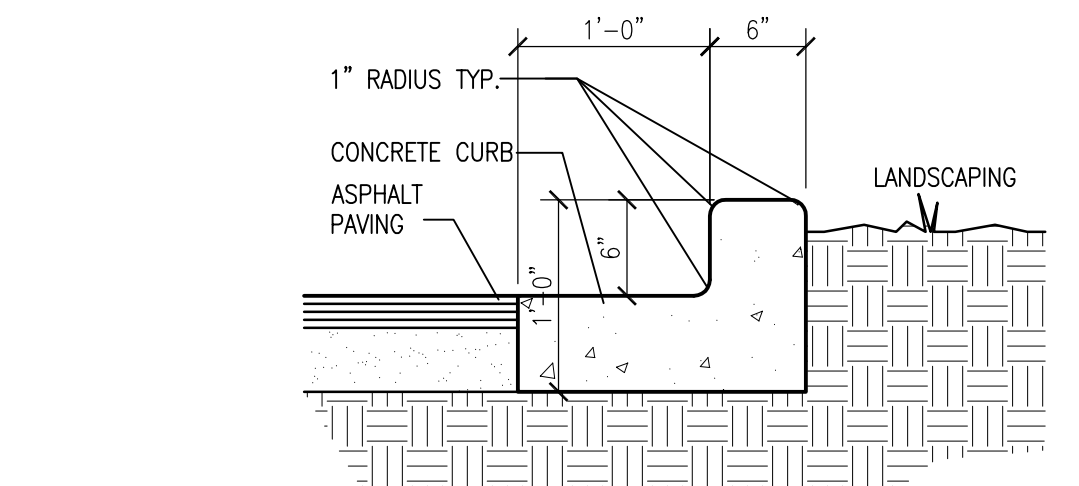
**12** Culvert Detail  
Scale: NTS (COA STD DETAIL 2236)



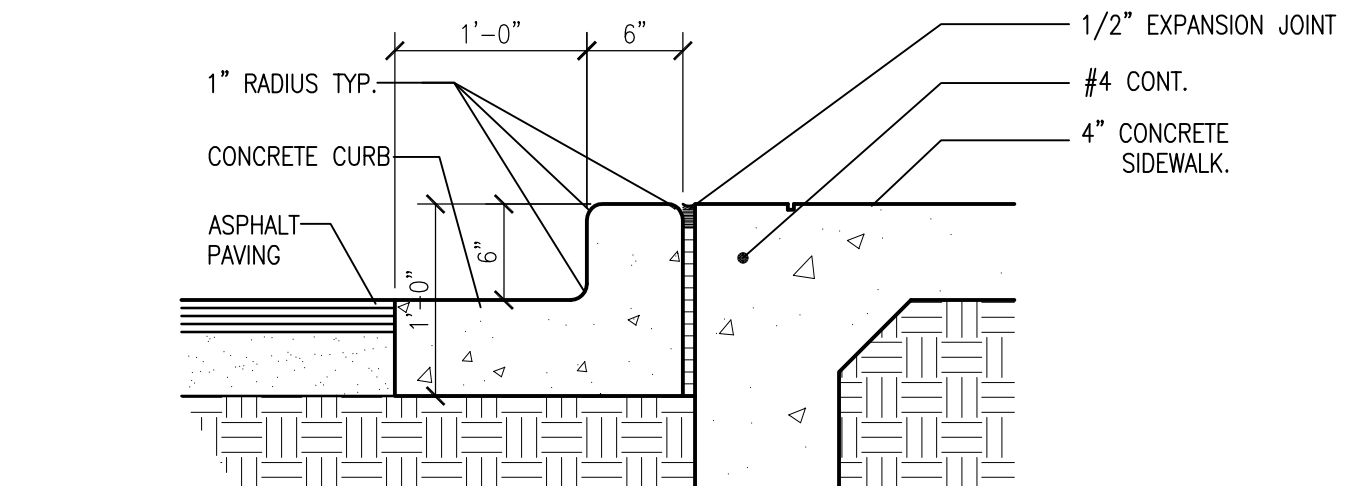
**15** Bicycle Rack Side Detail  
Scale: 3/4"=1'-0"



**13** Mountable Curb and Gutter  
Scale: 1"=1'-0" (COA STD DETAIL 2415)



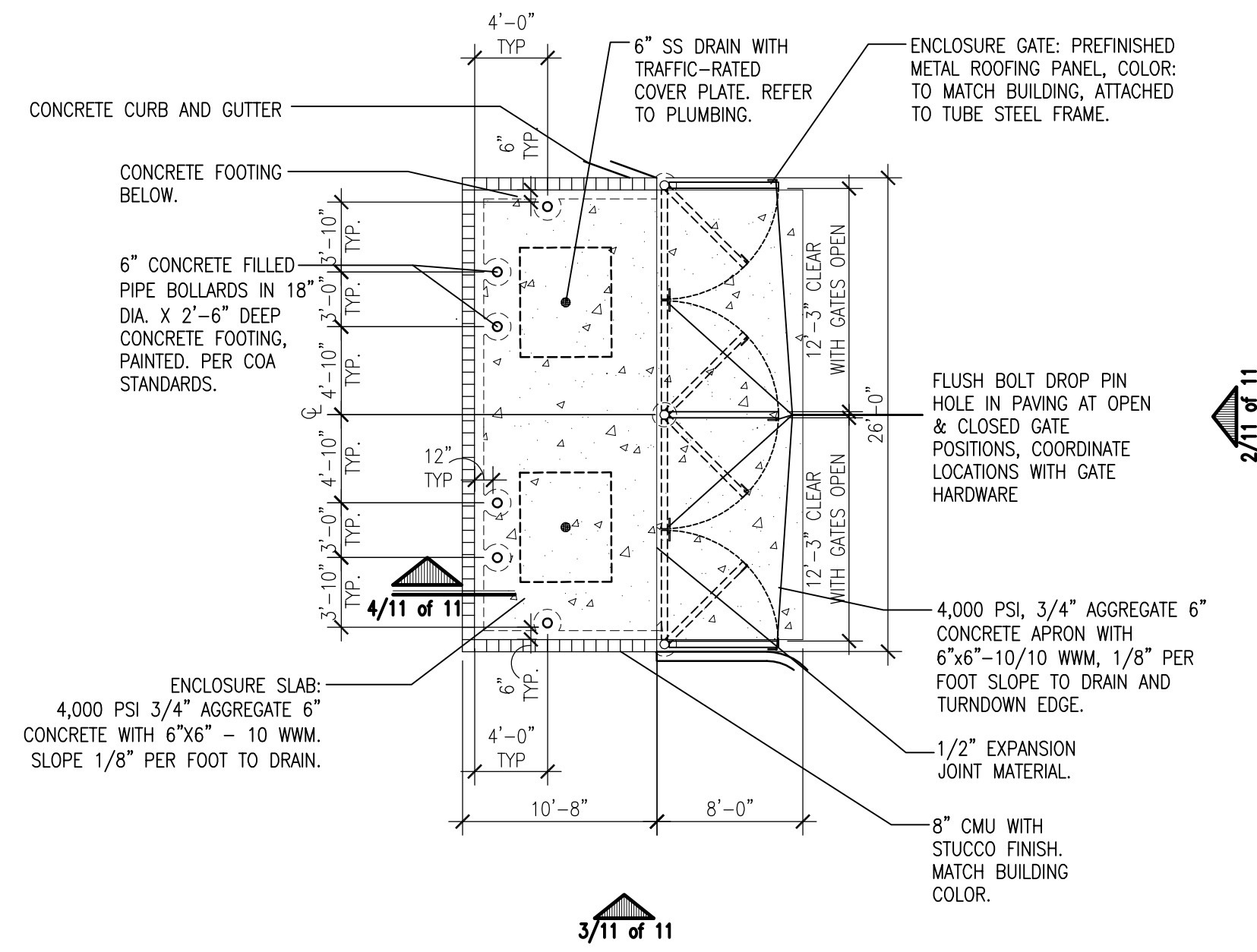
**14a** Typ. Stand-Up Curb & Gutter  
Scale: 1"=1'-0" (COA STD DETAIL 2415)



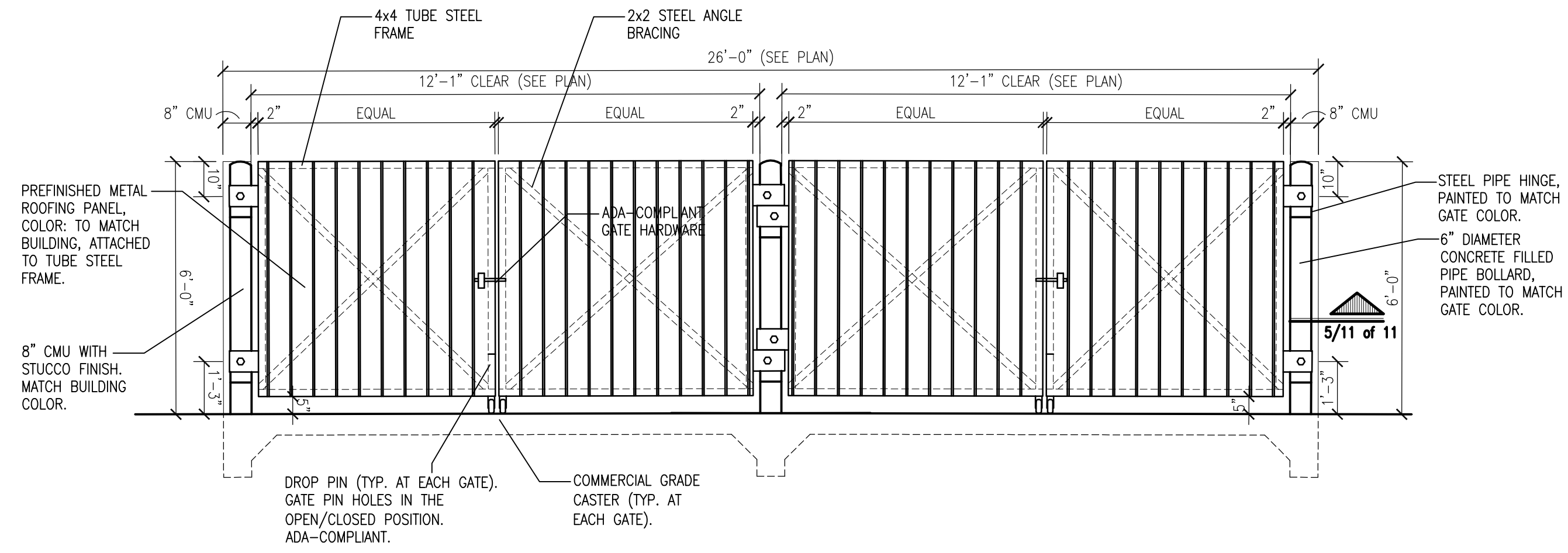
**14b** Typ. Curb Sidewalk & Gutter  
Scale: 1"=1'-0"



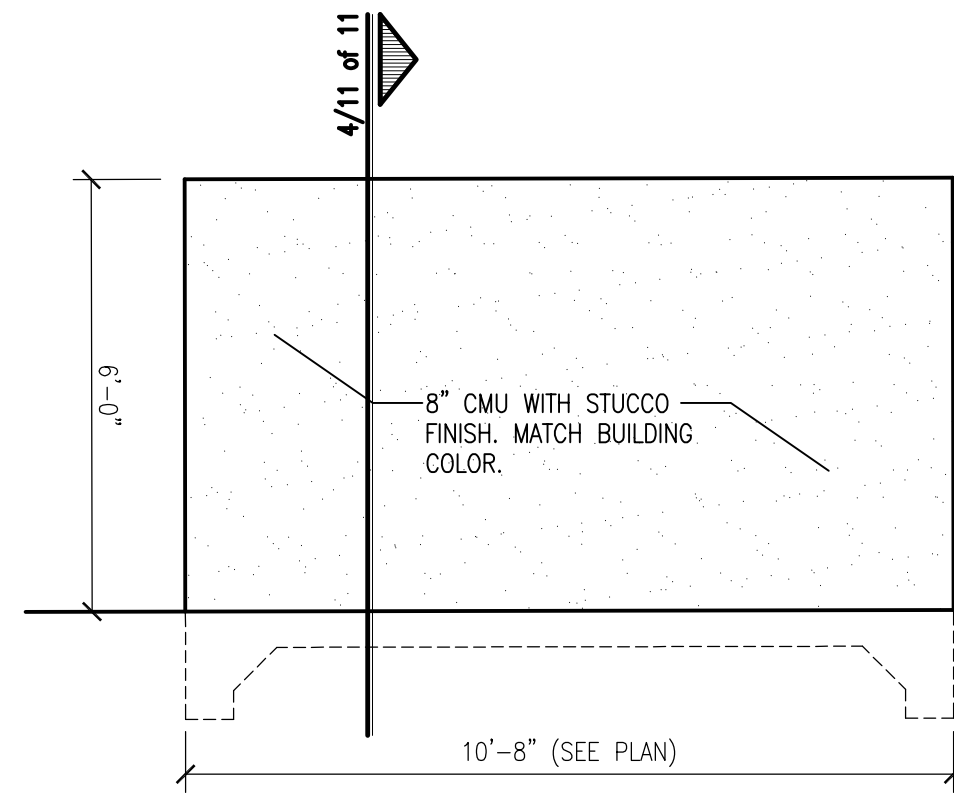
GENERAL NOTE:  
 [A] ALL PRE-POUR INSPECTIONS MUST BE DONE BY SOLID WASTE.



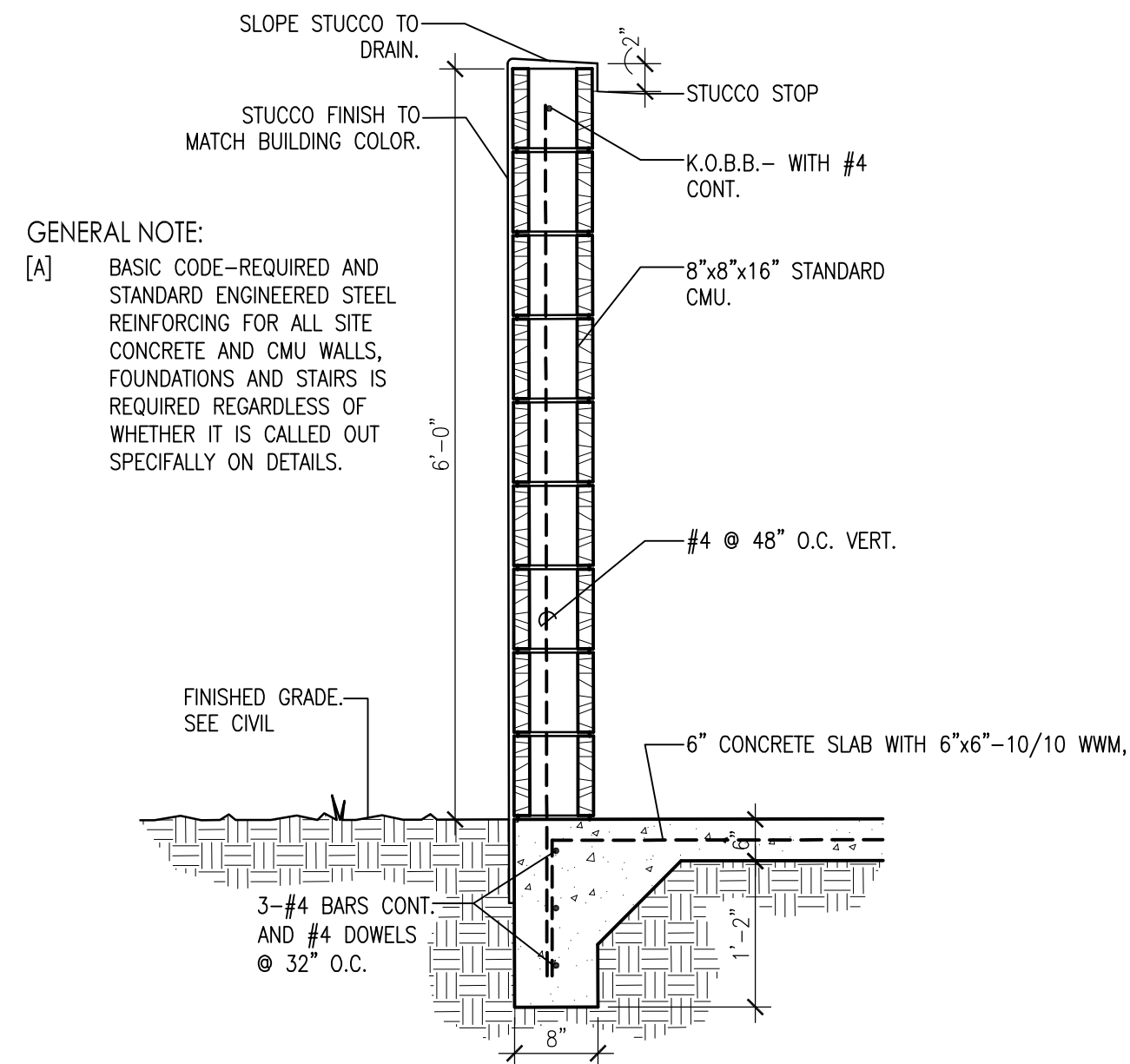
1 Dumpster Enclosure Plan  
 Scale: 1/8"=1'-0"



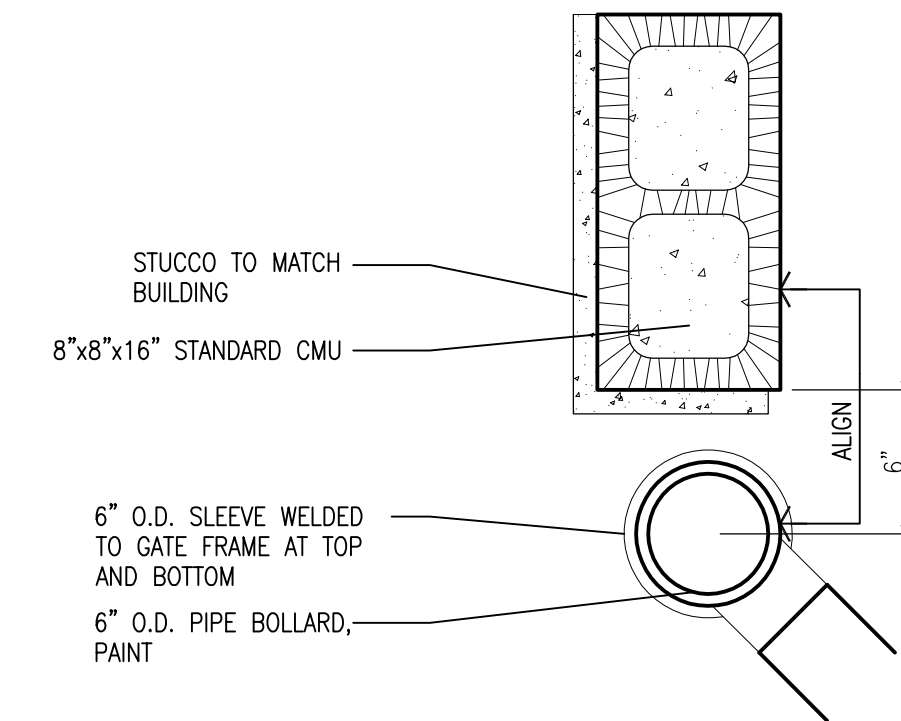
2 Dumpster Enclosure Front Elevation  
 Scale: 3/8"=1'-0"



3 Dumpster Enclosure Side Elevation  
 Scale: 3/8"=1'-0"

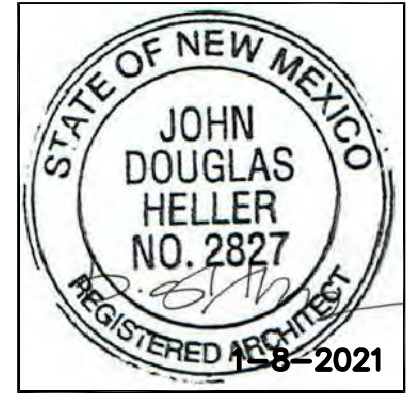
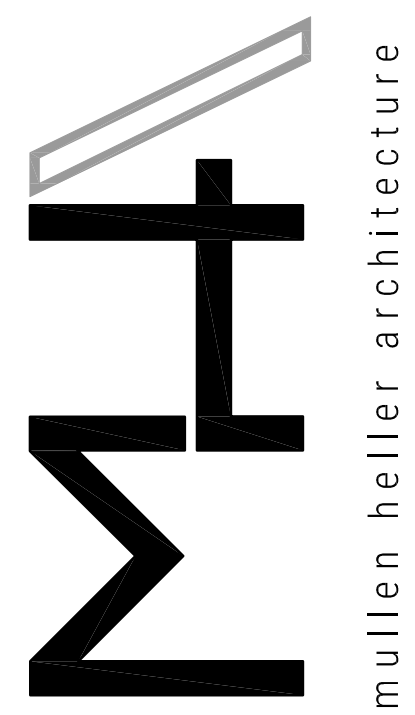


4 Dumpster Enclosure Wall Section  
 Scale: 1"=1'-0"



5 Dumpster Enclosure Wall Section  
 Scale: 1"=1'-0"

REV	DATE	DESCRIPTION
1		
2		
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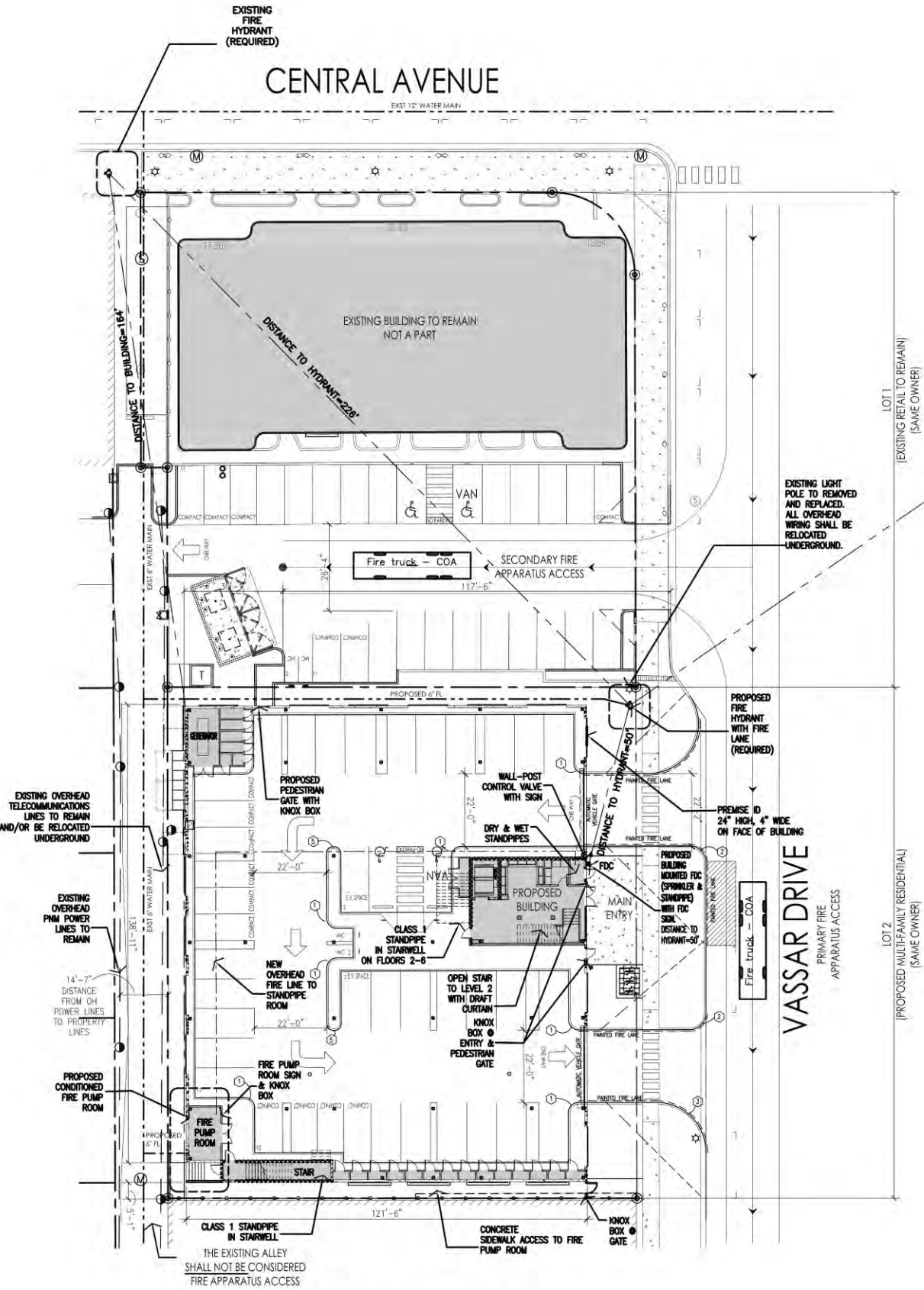
**MULLEN HELLER ARCHITECTURE**  
 1718 CENTRAL AVE SW | STE D  
 ALBUQUERQUE, NM | 87109  
 P | 505.268.4144  
 F | 505.268.4244  
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JOB NUMBER 20-12  
 DRAWN BY KBP/SEJ  
 PROJECT MGR DH  
 DATE 01-08-2021  
 PHASE DRB SUBMITTAL

PROJECT  
**The Strider**  
 109 VASSAR DRIVE S.E.  
 ALBUQUERQUE NM 87106

TITLE  
**Site Development Details**





**Fire Safety Site Plan**  
Scale: 1"=20'-0"

**CODE DATA**

**PROJECT DESCRIPTION:** NEW GROUND-UP, 6-STORY MULTI-FAMILY BUILDING WITH 108 UNITS. THE PROJECT IS A MIXED-CONSTRUCTION PODIUM BUILDING, WITH A II-B OPEN PARKING GARAGE ON THE GROUND LEVEL AND 5 LEVELS OF RESIDENTIAL TYPE II-A CONSTRUCTION ABOVE.

**BUILDING ADDRESS:** 103 Vassar Drive SE, ALBUQUERQUE, NEW MEXICO 87106

**CONSTRUCTION TYPE:** TYPE II-B (GROUND LEVEL)  
TYPE II-A (LEVELS 2-6)

**OCCUPANCY TYPE:** R-2 (APARTMENT BUILDING)  
U (PARKING GARAGE)

**OCCUPANT LOAD:**

FIRST FLOOR (PARKING):	88 OCCUPANTS
SECOND FLOOR (RESIDENTIAL):	67 OCCUPANTS
THIRD FLOOR (RESIDENTIAL):	65 OCCUPANTS
FOURTH FLOOR (RESIDENTIAL):	65 OCCUPANTS
FIFTH FLOOR (RESIDENTIAL):	65 OCCUPANTS
SIXTH FLOOR (RESIDENTIAL):	65 OCCUPANTS
<b>TOTAL BUILDING:</b>	<b>415 TOTAL OCCUPANTS</b>

**ALLOWABLE HEIGHT:** BUILDING HEIGHT DEFINITION: THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE.

PER TABLE 504.3 ALLOWABLE BUILDING HEIGHT IS 85' ABOVE THE GRADE PLANE.

PER TABLE 504.4 ALLOWABLE STORIES IS ABOVE GRADE PLANE IS 5 STORIES (ABOVE PODIUM).

**BUILDING HEIGHT:** 77'-0" MAXIMUM ABOVE FIRST FLOOR FINISH GRADE LEVEL.

**ALLOWABLE AREA:** PER TABLE 506.2 R-2 WITH 13 SPRINKLER SYSTEM: 72,000sf PER FLOOR

**SQUARE FOOTAGE:**

FIRST FLOOR (GARAGE):	17,589 GROSS SF
SECOND FLOOR:	13,227 GROSS SF
THIRD FLOOR:	13,061 GROSS SF
FOURTH FLOOR:	13,061 GROSS SF
FIFTH FLOOR:	13,061 GROSS SF
SIXTH FLOOR:	13,061 GROSS SF
<b>TOTAL BUILDING:</b>	<b>83,060 GROSS SF</b>

**FIRE PROTECTION:** FULLY AUTOMATED SPRINKLER SYSTEM COMPLYING WITH NFPA 13 (NON-RESIDENTIAL) AND SECTION 903.3.1.1 INSTALLED THROUGHOUT. SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM. THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2009 INTERNATIONAL FIRE CODE.

**OCCUPANCY SEPARATION:** PER IBC 2015 TABLE 508.4: TYPE 'R' & TYPE 'U'

REQUIRED SEPARATION: 1 HOUR  
PROVIDED SEPARATION: 1 HOUR

**FIRE RATINGS:** PER IBC 2015 TABLE 601:

PRIMARY STRUCTURAL FRAME:	1-HOUR RATING REQUIRED
INTERIOR AND EXTERIOR BEARING WALLS:	1-HOUR RATING REQUIRED
EXTERIOR NON-BEARING WALLS:	1-HOUR RATING REQUIRED
INTERIOR NON-BEARING WALL:	0-HOUR RATING REQUIRED
ROOF CONSTRUCTION:	1-HOUR RATING REQUIRED
FLOOR CONSTRUCTION:	1-HOUR RATING REQUIRED

**SHAFT ENCLOSURES:** SHAFT ENCLOSURES - MECHANICAL SHAFTS, ELEVATOR SHAFTS, AND STAIRWELLS: THE FIRE RESISTANCE RATING FOR FIRE BARRIERS, SHAFTS, AND EXITS SHALL BE 2-HOUR PER SECTION 713.4. THE STRUCTURE IS 6 STORIES; THEREFORE, THE SHAFT ASSEMBLIES SHALL BE PROVIDED AS FOLLOWS:

ELEVATOR SHAFT: 2-HOUR FIRE-RATED ASSEMBLY  
STAIRWELL SHAFT: 2-HOUR FIRE-RATED ASSEMBLY

**FIRE SEPARATIONS:** WALLS SEPARATING DWELLING UNITS WITHIN A SINGLE BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER SECTION 708. PER IBC 2015 SECTION 708.3, DWELLING UNIT SEPARATION WALLS IN BUILDINGS OF CONSTRUCTION IIIA SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1-HOUR. THE DWELLING UNIT SEPARATION WALLS ARE TO BE 1-HOUR FIRE-RATED.

FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING SHALL HAVE A FIRE-RESISTANCE RATING OF AT LEAST 0.5 HOUR, PER IBC 2015 SECTION 711.2.4.3, EXCEPTION 1. ALL FLOOR ASSEMBLIES ARE 1-HOUR FIRE-RATED.

PER IBC 2015 TABLE 1020.1 AND 708.3 EXCEPTION 1, RESIDENTIAL LEVEL CORRIDORS SHALL HAVE A FIRE-RESISTANCE RATING OF AT LEAST 0.5 HOUR. CORRIDOR WALLS ARE 1-HOUR FIRE-RATED.

PER IBC 2015 TABLE 716.5 DOOR ASSEMBLIES IN A 1-HOUR FIRE BARRIER OF SHAFT ENCLOSURE AND, EXIT ACCESS STAIRWAY, ARE TO HAVE A FIRE RESISTANCE RATING OF 60 MINUTES.

PER IBC 2015 TABLE 716.5 DOOR ASSEMBLIES IN ALL OTHER 1-HOUR FIRE BARRIERS, ARE TO HAVE A FIRE RESISTANCE RATING OF 45 MINUTES.

PER IBC 2015 TABLE 716.5 DOOR ASSEMBLIES IN A 1-HOUR FIRE PARTITION OR CORRIDOR WALL ARE TO HAVE A FIRE RESISTANCE RATING OF 20 MINUTES.

**FIRE FLOW CALCULATIONS:** PER 2009 IFC, APPENDIX B, TABLE B105.1

TOTAL SQUARE FOOTAGE: 83,060 SF  
CONSTRUCTION TYPE: II-A

TOTAL FIRE FLOW= 4,250 GALLONS/MINUTE  
50% REDUCTION FOR FIRE SPRINKLER SYSTEM = 2,125

TOTAL BUILDING FIRE FLOW = 2,125 GALLONS/MINUTE FOR 4 HOUR FLOW DURATION

**FIRE HYDRANT DISTRIBUTION:** PER 2009 IFC, APPENDIX B, TABLE C105.1

2 FIRE HYDRANTS REQUIRED PER APPENDIX C (2.125 GPM FIRE FLOW)  
3 FIRE HYDRANTS PROVIDED (2 EXISTING, 1 NEW)

AVERAGE SPACING BETWEEN HYDRANTS SHALL BE 450 FEET  
MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO HYDRANT SHALL BE 225 FEET

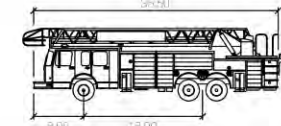
**FIRE ACCESS ROAD REQUIREMENTS:** ACCESS ROAD TO BE CONSTRUCTED OF ASPHALT MATERIAL CAPABLE OF SUPPORTING THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.  
ACCESS ROAD SHALL NOT EXCEED 10% IN GRADE.

**FIRE ACCESS FOR BUILDING EXCEEDING 30ft HEIGHT:** TWO MEANS OF FIRE APPARATUS ACCESS PROVIDED TO THE STRUCTURE:

- 1) ALONG VASSAR DRIVE
- 2) WITHIN INTERIOR PARKING AREA OF ADJACENT NORTH PROPERTY (WITH SAME PROPERTY OWNER)

**RADIUS INFORMATION:**

- 1 = 3'-0"
- 2 = 5'-0"
- 3 = 15'-0"
- 4 = 2'-0"
- 5 = 2'-6"



**VICINITY MAP**



**ZONING MAP**



**FIRE 1 PERMIT**  
ALBUQUERQUE FIRE MARSHAL'S  
OFFICE PLANS CHECK DIVISION  
PERMIT NUMBER: 20-003890 /387  
APPROVED BY: [Signature]  
APPROVED DATE: 02/17/2021

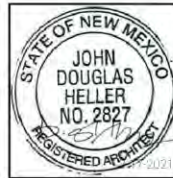
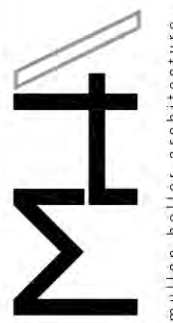
**APPROVED**

SOFT: 83,060 CONSTRUCTION TYPE: III-A  
GPM: 2125 NUMBER OF HYDRANTS: 2

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
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ALBUQUERQUE NM 87109  
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www.mullenheller.com

JOB NUMBER: [blank]  
DRAWN BY: [blank]  
PROJECT MGR: [blank]  
DATE: 02-17-2021  
PHASE: RESUBMITTAL

PROJECT: The Strider  
109 VASSAR DRIVE S.E.  
ALBUQUERQUE NM 87106

TITLE: Fire Safety Site Plan

SHEET: FIRE001



# PR-2020-004683\_SI-2021-00029\_Site\_Plan\_Aproved\_2-24-21\_Sheet\_1

Final Audit Report

2021-04-19

Created:	2021-04-19
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAUmW0FcvayQGFLUNmpRA1wB3ThdooiGG7

## "PR-2020-004683\_SI-2021-00029\_Site\_Plan\_Aproved\_2-24-21\_Sheet\_1" History

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-  Document emailed to Kristopher Cadena (kcadena@abcwua.org) for signature  
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