

01 APPLICATION & FORM Z



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.		

APPLICATION INFORMATION		
Applicant: Justin Baiardo Executive Director Explore Academy		Phone: 505-305-5300
Address: 5100 Masthead Street NE Albuquerque		Email: baiardo@exploreacademy.org
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any): Jessica Lawlis, Dekker/Perich/Sabatini		Phone:
Address: 7601 Jefferson St. SE Suite 100		Email:
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site:	List <u>all</u> owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: *3-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): E-17	Existing Zoning: NR-BP	Proposed Zoning BR-BP
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres): 10
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 6600 Gulton Ct. NE	Between:	and:
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		

Signature: <i>Jessica Lawlis</i>	Date: 11-19-2020
Printed Name: Jessica Lawlis	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:			Date:	Project #	

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB

___ Interpreter Needed for Hearing? **NO** if yes, indicate language: _____

___ PDF of application as described above

02 Zone Atlas map with the entire site clearly outlined and labeled

03 Letter of authorization from the property owner if application is submitted by an agent

04 Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

05 Signed Traffic Impact Study (TIS) Form

06 Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information *(not required for Extension)*

07 Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)

07 Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)

Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.

08 Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*

09 Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

9a Office of Neighborhood Coordination neighborhood meeting inquiry response

9b Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

9c If a meeting was requested or held, copy of sign-in sheet and meeting notes

10 Sign Posting Agreement

11 Required notices with content per IDO Section 14-16-6-4(K)(6)

11a Office of Neighborhood Coordination notice inquiry response

11b Copy of notification letter and proof of first class mailing

11c Proof of emailed notice to affected Neighborhood Association representatives

11d Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing

12 Completed Site Plan Checklist

13 Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)

14 Copy of the original approved Site Plan or Master Development Plan *(for amendments only)* (1 copy, 24" x 36")

___ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)

NA Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

NA Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

___ Interpreter Needed for Hearing? ___ if yes, indicate language: _____

___ PDF of application as described above

___ Zone Atlas map with the entire site clearly outlined and labeled

___ Letter of authorization from the property owner if application is submitted by an agent

___ Solid Waste Department signature on Site Plan

___ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information

___ Approved Grading and Drainage Plan

___ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*

___ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met

___ Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)


___ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)

___ Infrastructure List, if required

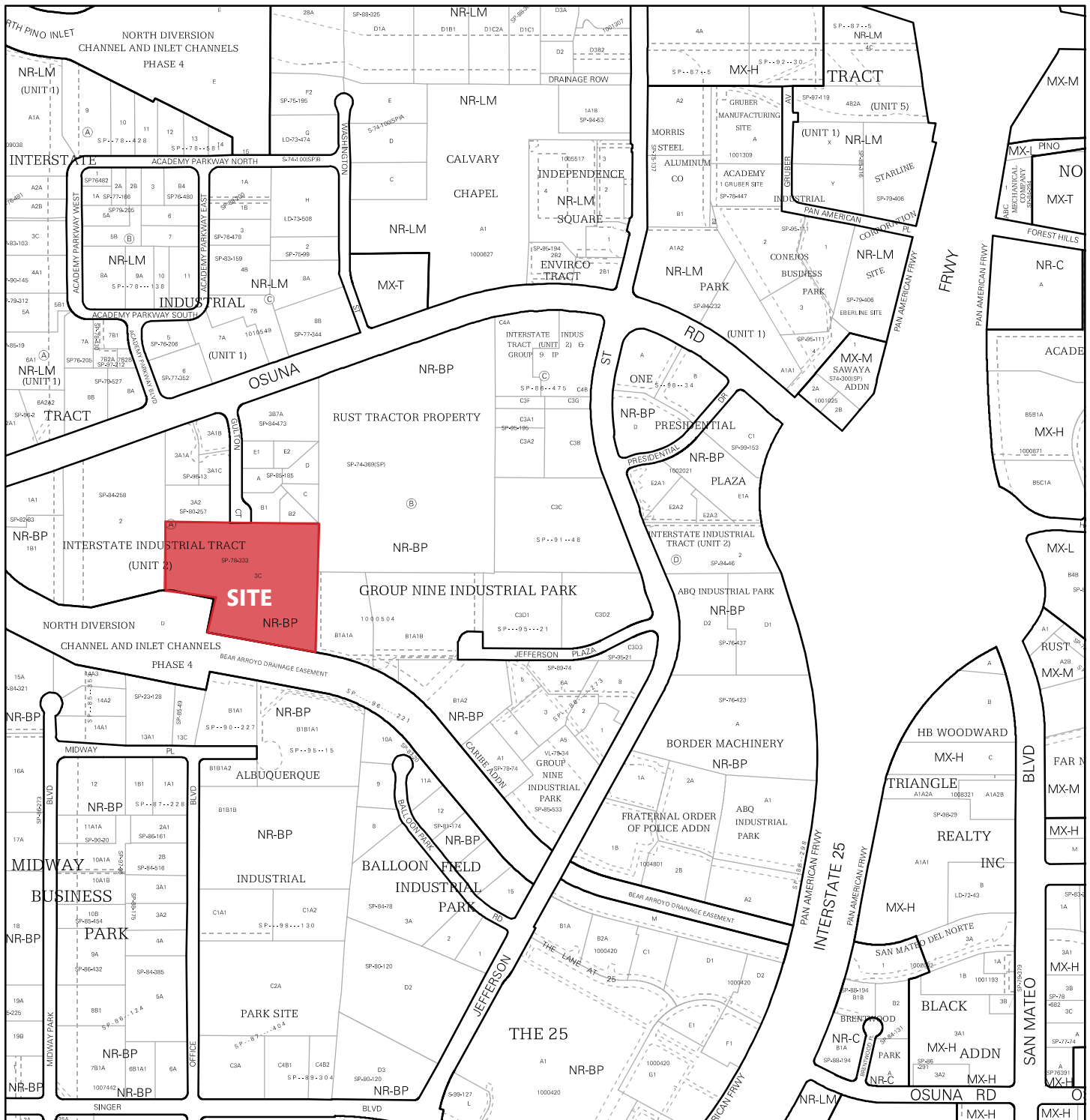
I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.

Signature: 	Date: 11-20-20
Printed Name: Jessica Lawlis	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

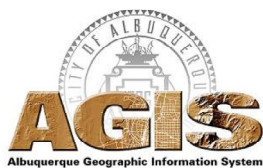
Case Numbers:	Project Number:	
Staff Signature:		
Date:		

02 ZONE ATLAS MAP

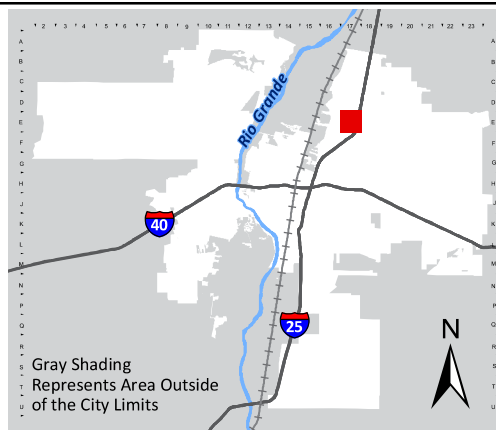


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

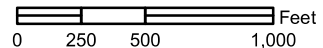


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
E-17-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



03 LETTER OF AUTHORIZATION

November 18, 2020

Ms. Jolene Wolfley
Chair, Development Review Board
City of Albuquerque Planning Department
600 2nd St NW
Albuquerque, NM 87102

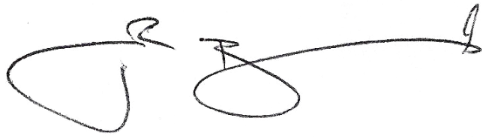
**Re: Explore Academy
Major Amendment to Existing Site Plan -DRB
6600 Gulton Ct. NE Albuquerque, NM 87109**

Dear Ms. Wolfley:

This letter authorizes Dekker/Perich/Sabatini LLC to represent Explore Academy with regard to the design and approval of all necessary steps related to the regulatory and permitting process with the city of Albuquerque for the property located at 6600 Gulton Ct NE. This letter authorizes Dekker/Perich/Sabatini LLC to act as Explore Academy's agent as necessary with the permitting and associated approval processes required for the proposed facilities on the property referenced above.

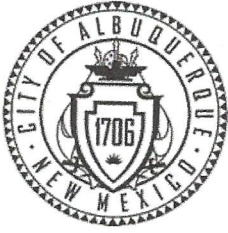
Please contact me at XX if there are any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Justin Baiardo', with a long horizontal flourish extending to the right.

Justin Baiardo
Executive Director
Explore Academy

04 ARCHEOLOGICAL CERTIFICATE



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
David S. Campbell, Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: November 16, 2020

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2020-004708
Agent: Jessica Lawlis, Dekker Perich Sabatini
Applicant: Explore Academy Foundation
Legal Description: *3-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II
Zoning: NR-BP
Acreage: 10
Zone Atlas Page(s): E-17-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth images

SITE VISIT: N/A

RECOMMENDATIONS:

Property has been developed/graded since prior to 1991
Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

 11-16-2020

Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department

05 TIS FORM

SCOPE OF TRAFFIC IMPACT STUDY (TIS)

TO: Name
Organization
Address
City, State, Zip

MEETING DATE: September 3, 2020

ATTENDEES: Matthew Grush, P.E., PTOE, COA Transportation Development Review;
Timothy Simmons, P.E., PTOE, Civil Transformations Inc.

PROJECT: Explore Academy, Zone Atlas #E-17

REQUESTED CITY ACTION: ~~Zone~~ Change of Use Site Development Plan
 Subdivision Building Permit Sector Plan Sector Plan Amendment
 Curb Cut Permit Conditional Use Annexation Site Plan Amendment

ASSOCIATED APPLICATION: Charter school (see attached Traffic Scoping Form).

SCOPE OF REPORT:

The Traffic Impact Study should follow the standard report format, which is outlined in the DPM. The following supplemental information is provided for the preparation of this specific study.

1. Trip Generation - Use Trip Generation Manual, 10th Edition. Trips to be distributed based on E-W directional distribution of Osuna Rd. as it is the only access.
2. Appropriate study area:
Signalized Intersections;
 - a. Osuna/Chappell
 - b. Osuna/Academy Parkway
 - c. Osuna/Jefferson
Unsignalized Intersections;
 - a. Osuna/Gulton Ct. – plus signal warrant analysis
 - b. Osuna/Commercial Drive 1
 - c. Gulton/Commercial Drive 2

Driveway Intersections: all site drives (*n.a., site currently vacant*).

3. Intersection turning movement counts
Study Time – 7-9 a.m. peak hour, 4-6 p.m. peak hour
Consultant to provide for all intersections listed above.
4. Type of intersection progression and factors to be used.
Type III arrival type (see “Highway Capacity Manual, current edition” or equivalent as approved by staff). ~~Unless otherwise justified~~, peak hour factors and % heavy commercial

should be taken directly from the MRCOG turning movement data provided or as calculated from current count data by consultant.

5. Boundaries of area to be used for trip distribution – see Item 1.
6. Basis for trip distribution – see Item 1.
7. Traffic Assignment. Logical routing on the major street system – see Item 1.
8. Proposed developments which have been approved but not constructed that are to be Included in the analyses. Projects in the area include: *none identified*.
 - a. Project 1 – Location (DRB # or Hyd #)
 - b. Project 2 – Location (DRB # or Hyd #)
9. Method of intersection capacity analysis - operational using *Synchro10*, output reported in HCM 6th Ed. format.

Implementation Year: 2021
10. Traffic conditions for analysis:
 - a. Existing analysis yes no - year (2020);
 - b. Phase implementation year(s) without proposed development – 2021
 - c. Phase implementation year(s) with proposed development – 2021
 - d. Project completion year without proposed development – 2031
 - e. Project completion year with proposed development – 2031
 - f. Other – n.a.
11. Background traffic growth.

Method: use 10-year historical growth based on standard data from the MRCOG Traffic Flow Maps. Minimum growth rate to be used is 1/2%.
12. Planned (programmed) traffic improvements.

List planned CIP improvements in study area and projected project implementation year: *n.a., none identified*.
13. Items to be included in the study:
 - a. Intersection analysis.
 - b. Signal warrant analysis of Osuna/Gulton Ct.
 - c. Arterial LOS analysis;
 - d. Recommended street, intersection and signal improvements.
 - e. Site design features such as turning lanes, median cuts, queuing requirements and site circulation, including driveway ~~signalization~~ channelization and visibility.
 - f. Transportation system impacts.
 - g. Other mitigating measures.
 - h. Accident analyses yes no; Location(s): Osuna Rd. @ Gulton Ct. (3 yr.)
 - i. Weaving analyses yes no; Location(s):
14. Other:

SUBMITTAL REQUIREMENTS:

1. Number of copies of report required
 - a. 1 paper copy
 - b. 1 digital copy
2. Submittal Fee – \$1300 for up to 3 reviews

The Traffic Impact Study for this development proposal, project name, shall be performed in accordance with the above criteria. If there are any questions regarding the above items, please contact me at 924-3991.



10/20/2020

Matt Grush, P.E., PTOE
Senior Engineer
City of Albuquerque, Planning
Transportation Development Section

Date

via: email

C: TIS Task Force Attendees, file

Additional Info for NIA:

Due to the request for access for a **new school**, and Bill No. O-13-61, a Neighborhood Impact Assessment (NIA) needs to be prepared. The required information for the NIA is shown below in the scope of report. Refer to Bill No. O-13-61 for additional criteria.

1. NIA Requirements – The following sections need to be included to satisfy the NIA ordinance requirements.
 - a. Baseline Community Data – identifying existing conditions with respect to adjacent land uses, traffic patterns, traffic turning movements and volumes, nearby multimodal transportation options, area pedestrian movements, and any other relevant information as determined
 - b. Analysis of the neighborhood impacts, including but not limited to:
 - 1) Impacts on pedestrian and bicycle circulation, and pedestrian and bicycle routes
 - 2) Automobile and pedestrian conflict points
 - 3) Noise and air quality impacts resulting from stacking of idling vehicles or vehicle circulation
 - 4) Consistency with existing or planned transit routes and stops
 - 5) Other potential impacts as determined

06 SIGNED DRWS FORM

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: EXPLORE ACADEMY

AGIS MAP # E 17

LEGAL DESCRIPTIONS: 3-C A REPLAT LOT 3 INTERSTATE
INDUSTRIAL TRACT UNIT 11

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 11/20/2020 (date).

Scott M. McFee
Applicant/Agent

11/20/2020
Date

Renee C. Brissett
Hydrology Division Representative

11/19/20
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: http://www.abcwua.org/Availability_Statements.aspx) on 11/16/2020 (date).

Scott M. McFee
Applicant/Agent

11/19/2020
Date

A. Waller
ABCWUA Representative

11/19/2020
Date

PROJECT # _____

07 JUSTIFICATION LETTER

November 17, 2020

Jolene Wolfley, DRB Chair,
City of Albuquerque Planning Department
600 Second Street NW | Albuquerque, NM 87102

**Re: Explore Academy
Major Amendment to Existing Site Plan -DRB
6600 Gulton Ct NE Albuquerque, NM 87109**

Dear Ms. Wolfley,

Explore Academy, owner of the subject property, is seeking to amend the existing site development plan (approved in 1984) for the site located at 6600 Gulton Ct NE. Explore Academy recently purchased the property at 6600 Gulton Ct NE and is in the process of completing interior renovations so that the student body can begin utilizing the new facility for the Fall 2021 term. The request that is the subject of this letter will facilitate future site improvements including a proposed gym addition, parking lot and landscape improvements, new outdoor sports courts and turf fields and outdoor seating spaces. These improvements will create a campus more conducive to learning and academic performance.

Explore Academy is a tuition-free, college preparatory middle-high school that first opened its doors as a state-authorized charter school in August 2014. The school uses the innovative Explore Learning model, an educational model based on choice that promotes student growth and responsibility while providing an individualized educational path for each student. Explore Academy has earned a NMPED A rating, becoming one of the highest performing schools in New Mexico.

Explore Academy recently purchased the property at 6600 Gulton Ct NE. The site is undergoing renovations through a series of phases. Phases 1-2 are currently underway and include interior renovations on the existing 80,142 square foot building so that the student body can begin utilizing the new facility for the Fall 2021 term. The proposed site development plan amendment applies to phases 3 and 4. Phase 3 will facilitate a variety of site improvements, including parking lot and landscape improvements, new outdoor recreational fields and courts, walking paths and outdoor seating spaces. Phase 4 facilitates the development of a future gym addition of approximately 16,450 square feet, which would bring the total building square footage to 96,592 square feet once completed. These proposed improvements will create a campus that is more conducive to learning and academic performance.

The proposed amendment encompasses the following changes from the governing site development plan, originally approved in 1984, as outlined below:

1. **Site Improvements (Phase 3).** The Academy is seeking a variety of site improvements to the existing campus including parking lot and landscape improvements, the addition of new outdoor recreational facilities including sports courts and turf fields, walking paths and outdoor seating spaces. These improvements will create a campus more conducive to learning and academic performance.
2. **The addition of a new gymnasium (Phase 4).** The final phase of the proposed campus improvements will include the construction a new building approximately 16,450 square feet that is planned to be a maximum height of 32 feet. This proposed addition will be fully designed once funding is obtained and therefore the proposed site plan amendment only indicates the future building footprint and associated site improvements. The applicant will ensure that the addition complies with all building design requirements of section 5-11 of the IDO when the facility is fully designed.

The following section outlines how the proposed amendment complies with the Review and Decision Criteria for a Site Plan – DRB per Section 6-6(l)(3) of the IDO:

- 1. 6-6(l)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.**

Any new site work on the campus will comply with all applicable City provisions outlined within the IDO and DPM, or other adopted regulations as applicable. Compliance with the applicability of major IDO requirements based on the proposed renovation, the future gym addition, and any associated site work are discussed below.

- a. 5-3 On-site Pedestrian Connections**

The existing site already included a network of on-site pedestrian walkways around the existing building. Upon completion of the proposed gym addition, new walkways in compliance with section 5-3(D) will be added around the proposed gym facility. Additionally, new pedestrian walkways have been added to the southern portion of the campus that now includes a variety of outdoor recreational sports fields and courts.

- b. 5-5 Parking and Loading**

The existing parking lots are being renovated to include new surfacing, landscaping and irrigation as necessary. All of these improvements are compliant with the requirements of 5-5 Parking and Loading.

- c. 5-6 Landscape, Buffering and Screening**

Site landscaping and irrigation will be replaced and upgraded throughout the campus, particularly within parking and open space areas and will be in compliance with all IDO landscape, buffering and screening regulations.

- d. 5-11 Building Design**

The proposed gym addition is planned for a future phase and the current site plan only accommodates the project building footprint. Upon design of the facility, the applicant will ensure that the addition complies with all building design requires of Section 5-11 of the IDO.

- 2. 6-6(l)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.**

Explore Academy is proposing to renovate and expand an existing building on an urban infill site with existing vehicular, pedestrian and utility infrastructure. Explore has taken several measures to ensure these systems have capacity to accommodate the proposed development without placing additional burden on those systems, including:

- a. Preparing a Traffic Impact Analysis that indicated that the proposal will not have negative impacts to the acceptable level of service (LOS) of both the campus' internal and surrounding road network**

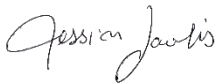
- b. Updated the campus' grading and drainage plan to accommodate the proposed development.
- c. Coordinated with the utility providers to ensure site capacity and worked to mitigate potential burdens of the existing utility infrastructure
- d. The applicant has obtained approval of a Fire One Plan from the Fire Marshall
- b) Infilling educational services on an urban site that is contiguous to existing City infrastructure leverages public and private investments

3. 6-6(l)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Aside from the applicable IDO standards, there do not appear to be any other applicable standards that apply to the subject site as it is not located within an approved Master Development Plan, nor does the approved Site Plan, which this proposal is seeking to amend, include any site specific development standards with which the proposal needs to comply.

Based upon the rationale presented in this letter, we respectfully request approval of a Major Amendment to the approved Site Development Plan to facilitate the renovation and expansion of the existing building to accommodate the Explore Academy. Upon completion, we feel that this project will contribute to the goals and growth policies of the Comprehensive Plan and ensure that Academy is able to offer top quality educational services to the greater Albuquerque community. If you have any questions or need clarification of anything contained herein, please contact Dan Kemme or me at (505) 761-9700.

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini
Agent for Explore Academy

08 PROOF OF PRT

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-107 Date: 6/24/20 Time: N/A (sent via email TO jessical@dpsdesign.org)

Address: 6600 Gulton Ct. NE

AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning: Linda Rumpf (lrumpf@cabq.gov)

Code Enforcement: Charles Maestas (cdmaestas@cabq.gov)

Fire Marshall: Bob Nevárez (rnevarez@cabq.gov) (if needed)

Transportation: Nilo Salgado (nsalgado-fernandez@cabq.gov)

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

REQUEST: A Major Amendment to the previously approved site plan to facilitate the construction a new gym totaling approximately 17,000 SF.

SITE INFORMATION:

Zone: NR-BP

Size: 10

Use: Office

Overlay zone: x

Comp Plan Area of: Consistency

Comp Plan Corridor: x

Comp Plan Center: x

MPOS or Sensitive Lands: x

Parking: 5-5, page 225

MR Area: x

Landscaping: 5-6, page 251

Street Trees: 5-6(D)(1), page 258

Use Specific Standards: Allowable Uses, Table 4-2-1, p. 130

Dimensional Standards: Table5-1-3: Non-residential Zone District Dimensional Standards, p. 195

*Neighborhood Organization/s: North Valley Coalition

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods.resources.*

PROCESS:

Type of Action: 6-4(Y) Amendments of Prior Approvals, pg. 368

Review and Approval Body: DRB Is this a PRT requirement? Yes

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-107 Date: 6/24/20 Time: N/A (sent via email)

Address: 6600 Gulton Ct. NE

NOTES:

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, lrumpf@cabq.gov

Development Services Comments

Please contact Jay Rodenbeck for information on how to submit files electronically. He can be reached at jrodenbeck@cabq.gov.

Long Range Planning Comments

- Given the size of the expansion, I would agree that they will need to do a Major Amendment (beyond the thresholds in Table 6-4-5 is a Major Amendment, per 6-4(Y)(1)(a)).
 - Should go to the decision making body that reviewed the original Site Development Plan –DRB.
 - If there are any nonconformities on the property, would need to make sure not to expand any nonconformities. It looks like the building is probably fine in terms of dimensional standards, but they will need to show on the amended site plan that parking and landscaping requirements are met on the site.
- It doesn't seem to be within a Master Development Plan area, so they won't need to follow those requirements.
- Gym is an allowed use in NR-BP.

Zoning Comments

- 6600 Gulton Ct NE, Lot 3C, Block A, Interstate Industrial Tract Unit 2 subdivision, zoned NR-BP
 - Pre-IDO zoning of IP
 - Case History
 - 1000687
- Applicant is proposing a Major Amendment to the previously approved Site Plan to facilitate the construction of a new gym totaling approximately 17,000 SF.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-107 Date: 6/24/20 Time: N/A (sent via email)

Address: 6600 Gulton Ct. NE

- **Process:** 6-4(Y) Amendments of Prior Approvals, pg. 368
 - Major Amendment – review by original approving body
- Use Table
 - Middle & High School Gym(as noted from previous PRT 20-079), pg. 130 (proposed use)
 - In NR-BP zone this use is Permissive
 - Definition, pg. 488
 - Included in definition is classification of sports fields or facilities as accessory use to a school.
 - Use Specific Standard 4-3(C)(3), pg. 140
 - Use Specific Standard 4-3(C)(4), pg. 140
- Development Standards (review these sections of the IDO)
 - 5-(D)(3) On-site Pedestrian Connections, pg. 210
 - 5-5 Parking and Loading, pg. 225
 - 5-6 Landscape, Buffering and Screening, pg. 251
 - 5-11(E)(2) Façade Design, pg. 292

Applicant's Questions or Concerns – Verify entitlement process and required IDO compliance – we anticipated a major amendment to the approved Site Development Plan reviewed through the DRB process.

IDO compliance will be required for requested amendments that do not qualify as Minor Amendments as spelled out in 6-4(Y)(1)(a). The Major Amendment process includes the requirement to meet relevant IDO standards as reviewed by the original decision-making body as per 6-4(Y)(1)(b).

As always, if the applicant has specific questions pertaining to zoning and/or the development standards they are encouraged to reach out to the zoning counter at 505-924-3850 option 8.

Transportation Development comments

For additional information contact Jeanne Wolfenbarger (924-3991)

All Major Amendments to Site Plan will need to be reviewed by Jeanne Wolfenbarger. If any questions please contact her directly.

If you would have additional questions or would like to schedule a follow-up conference call meeting please contact Linda Rumpf at lrumpf@cabq.gov

09 PROOF OF NEIGHBORHOOD MEETING

- A. Office of Neighborhood Coordination notice inquiry response**
- B. Proof of Neighborhood Offer Letter**
- C. No Meeting was requested so no sign-in sheet**

09 PROOF OF NEIGHBORHOOD MEETING

A. Office of Neighborhood Coordination notice inquiry response

From: [Carmona, Dalaina L.](#)
To: [Jessica Lawlis](#)
Subject: 6600 Gulton Ct. NE Public Notice Inquiry
Date: Wednesday, July 22, 2020 3:16:19 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image007.png](#)
[E-17 Zone Atlas - 6600 GULTON.PDF](#)

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 70232	Albuquerque	NM	87197	5058509293	5053459567
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938	5053441364
District 4 Coalition of Neighborhood Associations	Michael	Pridham	michael@drpridham.com	6413 Northland Avenue NE	Albuquerque	NM	87109	5053212719	5058721900
District 4 Coalition of Neighborhood Associations	Daniel	Regan	dlreganabq@gmail.com	4109 Chama Street NE	Albuquerque	NM	87109	5052802549	

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail.

<https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each:

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Wednesday, July 22, 2020 8:59 AM

To: Office of Neighborhood Coordination <jessicaj@dpsdesign.org>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Jessica Lawlis

Telephone Number

505-659-2674

Email Address

jessicaj@dpsdesign.org

Company Name

Dekker / Perich / Sabatini

Company Address

7601 Jefferson NE, Suite 100

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

*3-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II

Physical address of subject site:

6600 Gulton Ct. NE

Subject site cross streets:

Osunda Rd / Gulton Ct.

Other subject site identifiers:

UPC: 101706211825520115

This site is located on the following zone atlas page:

E-17

=====
This message has been analyzed by Deep Discovery Email Inspector.

09 PROOF OF NEIGHBORHOOD MEETING

- B. Proof of Neighborhood Offer Letter**
- C. No Meeting was requested so no sign-in sheet**

July 30, 2020

CARLO INC
PO BOX 25966
ALBUQUERQUE NM 87125-0966

Re: *Explore Academy*
Major Amendment to Existing Site Plan -DRB
6600 Glutton Ct. NE. Albuquerque, NM 87109

Dear Neighborhood Representative,

This letter is to inform you that Explore Academy, owners of the subject property, are a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Glutton Ct. NE.

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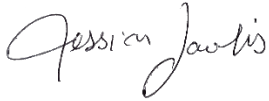
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If you would like to request a neighborhood meeting, please contact Dan Kemme within the required 15 day period of this mailing date, by Friday August 14th, 2020 at 505-761-9700 or by email at DanK@dpsdesign.org. Please be advised that given the current public health orders and associated restrictions to limit public gathering put in place in response to the current COVID-19 pandemic, we are anticipating this neighborhood meeting will occur through a digital conferencing service such as ZOOM or Go-to-Meeting.

Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB meeting dates at which the project will be reviewed and decided by the City.

Sincerely,



Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

K2 DEVELOPMENT LLC
1233 N SUMMIT DR
SANTA FE NM 87501-8339

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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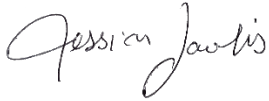
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Jessica Lawlis
Dekker/Perich/Sabatini
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July 30, 2020

ARRAY TECHNOLOGIES INC
3901 MIDWAY PL NE
ALBUQUERQUE NM 87109

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6600 Glutton Ct. NE. Albuquerque, NM 87109

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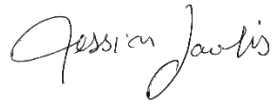
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Sincerely,



Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

EEEC LLC
6621 GULTON CT NE
ALBUQUERQUE NM 87109

**Re: *Explore Academy
Major Amendment to Existing Site Plan -DRB
6600 Glutton Ct. NE. Albuquerque, NM 87109***

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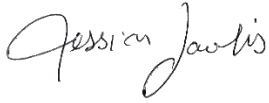
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Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

NE GROUP LLC
2441 CAMINO DEL OSO
SANTA FE NM 87501-6335

Re: *Explore Academy*
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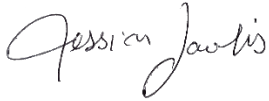
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Jessica Lawlis
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Attachment: Conceptual Site Plan Exhibit

July 30, 2020

WILL FERGUSON & ASSOCIATES P C
1720 LOUISIANA BLVD NE SUITE 100
ALBUQUERQUE NM 87110-7069

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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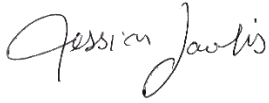
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Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

WAGNER EQUIPMENT CO C/O FACILITIES DEPT
18000 SMITH RD
AURORA CO 80011-3511

**Re: *Explore Academy
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6600 Glutton Ct. NE. Albuquerque, NM 87109***

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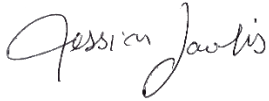
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Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

JHTC INVESTMENTS LLC
937 SOLAR RD NW
ALBUQUERQUE NM 87107-5749

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6600 Glutton Ct. NE. Albuquerque, NM 87109

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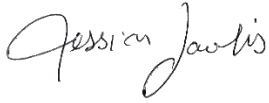
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Attachment: Conceptual Site Plan Exhibit

July 30, 2020

EARHART PROPERTIES LLC
PO BOX 127
PLACITAS NM 87043

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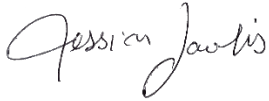
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Sincerely,



Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

FAIR PLAZA ASSOCIATES
7021 PROSPECT PL NE
ALBUQUERQUE NM 87110-4311

Re: *Explore Academy*
Major Amendment to Existing Site Plan -DRB
6600 Glutton Ct. NE. Albuquerque, NM 87109

Dear Neighborhood Representative,

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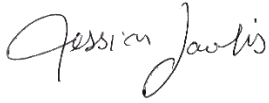
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Dekker/Perich/Sabatini
Agent for Explore Academy

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July 30, 2020

BJD GULTON COURT LLC
4007 SAINT ANDREWS DR SE
RIO RANCHO NM 87124

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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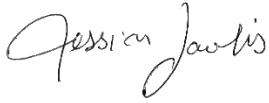
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Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

ARETZ 6600 GULTON LLC
1 STONE PL SUITE 200
BRONXVILLE NY 10708-3430

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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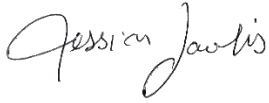
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Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

ANM REAL ESTATE HOLDINGS LLC
4001 JEFFERSON PL NE
ALBUQUERQUE NM 87109-3477

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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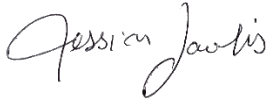
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Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

PEGGY NORTON
NORTH VALLEY COALITION
P.O. BOX 70232
ALBUQUERQUE NM 87197

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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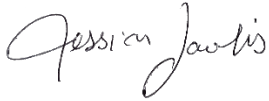
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July 30, 2020

DOYLE KIMBROUGH
NORTH VALLEY COALITION
2327 CAMPBELL ROAD NW
ALBUQUERQUE NM 87104

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6600 Glutton Ct. NE. Albuquerque, NM 87109***

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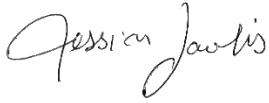
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Agent for Explore Academy

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July 30, 2020

MICHAEL PRIDHAM
DISTRICT 4 COALITION OF NAS
6413 NORTHLAND AVENUE NEALBUQUERQUE NM 87109

Re: *Explore Academy*
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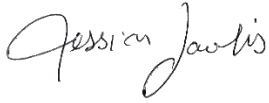
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July 30, 2020

DANIEL REGAN
DISTRICT 4 COALITION OF NAS
4109 CHAMA STREET NE
ALBUQUERQUE NM 87109

**Re: *Explore Academy
Major Amendment to Existing Site Plan -DRB
6600 Glutton Ct. NE. Albuquerque, NM 87109***

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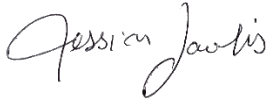
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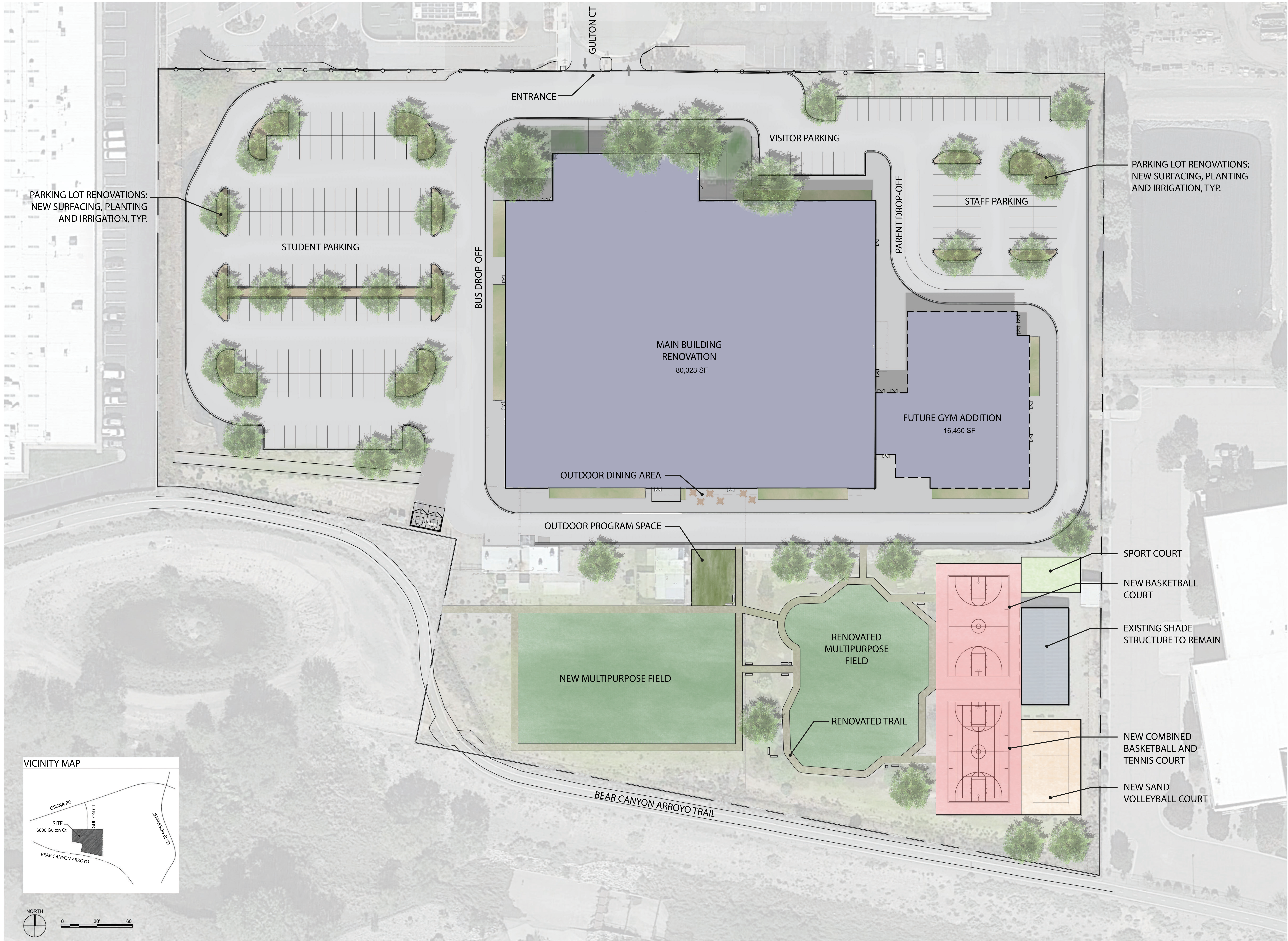
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PARKING LOT RENOVATIONS:
NEW SURFACING, PLANTING
AND IRRIGATION, TYP.

PARKING LOT RENOVATIONS:
NEW SURFACING, PLANTING
AND IRRIGATION, TYP.

- SPORT COURT
- NEW BASKETBALL COURT
- EXISTING SHADE STRUCTURE TO REMAIN
- NEW COMBINED BASKETBALL AND TENNIS COURT
- NEW SAND VOLLEYBALL COURT

CARLO INC
PO BOX 25966
ALBUQUERQUE NM 87125-0966

K2 DEVELOPMENT LLC
1233 N SUMMIT DR
SANTA FE NM 87501-8339

ARRAY TECHNOLOGIES INC
3901 MIDWAY PL NE
ALBUQUERQUE NM 87109

EEEC LLC
6621 GULTON CT NE
ALBUQUERQUE NM 87109

NE GROUP LLC
2441 CAMINO DEL OSO
SANTA FE NM 87501-6335

WILL FERGUSON & ASSOCIATES P C
1720 LOUISIANA BLVD NE SUITE 100
ALBUQUERQUE NM 87110-7069

WAGNER EQUIPMENT CO C/O
FACILITIES DEPT
18000 SMITH RD
AURORA CO 80011-3511

JHTC INVESTMENTS LLC
937 SOLAR RD NW
ALBUQUERQUE NM 87107-5749

EARHART PROPERTIES LLC
PO BOX 127
PLACITAS NM 87043

FAIR PLAZA ASSOCIATES
7021 PROSPECT PL NE
ALBUQUERQUE NM 87110-4311

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6413 NORTHLAND AVENUE
NEALBUQUERQUE NM 87109

DANIEL REGAN
DISTRICT 4 COALITION OF NAS
4109 CHAMA STREET NE
ALBUQUERQUE NM 87109

10 SIGN POSTING AGREEMENT

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Jessica Jacobs 11-19-20
(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

11 PROOF OF REQUIRED NOTIFICATION

- A. Office of Neighborhood Coordination notice inquiry response**
- B. Copy of notification letters and proof of first class mailing**
- C. Proof of emailed notice to NAs**
- D. Buffer map and list of property owners within 100'**

11 PROOF OF REQUIRED NOTIFICATION

A. Office of Neighborhood Coordination notice inquiry response

From: [Carmona, Dalaina L.](#)
To: [Jessica Lawlis](#)
Subject: 6600 Gulton Ct. NE Public Notice Inquiry
Date: Wednesday, July 22, 2020 3:16:19 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image007.png](#)
[E-17 Zone Atlas - 6600 GULTON.PDF](#)

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 70232	Albuquerque	NM	87197	5058509293	5053459567
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938	5053441364
District 4 Coalition of Neighborhood Associations	Michael	Pridham	michael@drpridham.com	6413 Northland Avenue NE	Albuquerque	NM	87109	5053212719	5058721900
District 4 Coalition of Neighborhood Associations	Daniel	Regan	dlreganabq@gmail.com	4109 Chama Street NE	Albuquerque	NM	87109	5052802549	

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail.

<https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each:

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Wednesday, July 22, 2020 8:59 AM

To: Office of Neighborhood Coordination <jessicaj@dpsdesign.org>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Jessica Lawlis

Telephone Number

505-659-2674

Email Address

jessicaj@dpsdesign.org

Company Name

Dekker / Perich / Sabatini

Company Address

7601 Jefferson NE, Suite 100

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

*3-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II

Physical address of subject site:

6600 Gulton Ct. NE

Subject site cross streets:

Osunda Rd / Gulton Ct.

Other subject site identifiers:

UPC: 101706211825520115

This site is located on the following zone atlas page:

E-17

=====
This message has been analyzed by Deep Discovery Email Inspector.

11 PROOF OF REQUIRED NOTIFICATION

B. Copy of notification letters and proof of first class mailing

July 30, 2020

CARLO INC
PO BOX 25966
ALBUQUERQUE NM 87125-0966

**Re: *Explore Academy
Major Amendment to Existing Site Plan -DRB
6600 Glutton Ct. NE. Albuquerque, NM 87109***

Dear Neighborhood Representative,

This letter is to inform you that Explore Academy, owners of the subject property, are a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Glutton Ct. NE.

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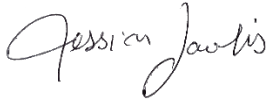
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Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB meeting dates at which the project will be reviewed and decided by the City.

Sincerely,



Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

K2 DEVELOPMENT LLC
1233 N SUMMIT DR
SANTA FE NM 87501-8339

**Re: *Explore Academy
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6600 Glutton Ct. NE. Albuquerque, NM 87109***

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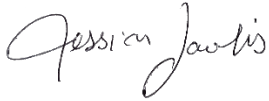
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Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

ARRAY TECHNOLOGIES INC
3901 MIDWAY PL NE
ALBUQUERQUE NM 87109

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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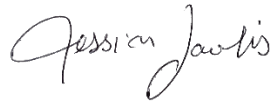
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Sincerely,



Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

EEEC LLC
6621 GULTON CT NE
ALBUQUERQUE NM 87109

**Re: *Explore Academy
Major Amendment to Existing Site Plan -DRB
6600 Glutton Ct. NE. Albuquerque, NM 87109***

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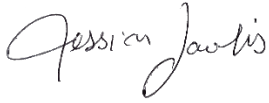
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Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

NE GROUP LLC
2441 CAMINO DEL OSO
SANTA FE NM 87501-6335

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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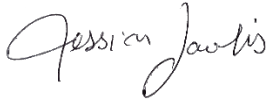
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Dekker/Perich/Sabatini
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Attachment: Conceptual Site Plan Exhibit

July 30, 2020

WILL FERGUSON & ASSOCIATES P C
1720 LOUISIANA BLVD NE SUITE 100
ALBUQUERQUE NM 87110-7069

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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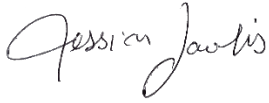
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Attachment: Conceptual Site Plan Exhibit

July 30, 2020

WAGNER EQUIPMENT CO C/O FACILITIES DEPT
18000 SMITH RD
AURORA CO 80011-3511

**Re: *Explore Academy
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6600 Glutton Ct. NE. Albuquerque, NM 87109***

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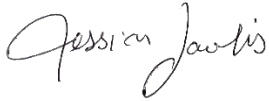
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Sincerely,



Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

JHTC INVESTMENTS LLC
937 SOLAR RD NW
ALBUQUERQUE NM 87107-5749

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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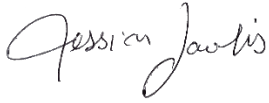
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Attachment: Conceptual Site Plan Exhibit

July 30, 2020

EARHART PROPERTIES LLC
PO BOX 127
PLACITAS NM 87043

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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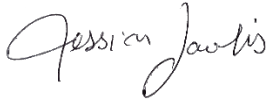
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Attachment: Conceptual Site Plan Exhibit

July 30, 2020

FAIR PLAZA ASSOCIATES
7021 PROSPECT PL NE
ALBUQUERQUE NM 87110-4311

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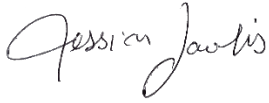
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Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB meeting dates at which the project will be reviewed and decided by the City.

Sincerely,



Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

BJD GULTON COURT LLC
4007 SAINT ANDREWS DR SE
RIO RANCHO NM 87124

Re: *Explore Academy*
Major Amendment to Existing Site Plan -DRB
6600 Glutton Ct. NE. Albuquerque, NM 87109

Dear Neighborhood Representative,

This letter is to inform you that Explore Academy, owners of the subject property, are a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Glutton Ct. NE.

Explore Academy is a tuition-free, college preparatory middle-high school that first opened its doors as a state-authorized charter school in August 2014. The school uses the innovative Explore Learning model, an educational model based on choice that promotes student growth and responsibility while providing an individualized educational path for each student. Explore Academy has earned a NMPED A rating, becoming one of the highest performing schools in New Mexico.

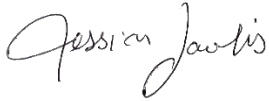
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Sincerely,



Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

ARETZ 6600 GULTON LLC
1 STONE PL SUITE 200
BRONXVILLE NY 10708-3430

Re: *Explore Academy*
Major Amendment to Existing Site Plan -DRB
6600 Glutton Ct. NE. Albuquerque, NM 87109

Dear Neighborhood Representative,

This letter is to inform you that Explore Academy, owners of the subject property, are a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Glutton Ct. NE.

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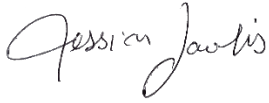
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Sincerely,



Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

ANM REAL ESTATE HOLDINGS LLC
4001 JEFFERSON PL NE
ALBUQUERQUE NM 87109-3477

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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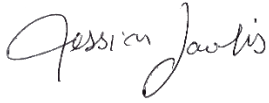
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Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

PEGGY NORTON
NORTH VALLEY COALITION
P.O. BOX 70232
ALBUQUERQUE NM 87197

Re: *Explore Academy*
Major Amendment to Existing Site Plan -DRB
6600 Glutton Ct. NE. Albuquerque, NM 87109

Dear Neighborhood Representative,

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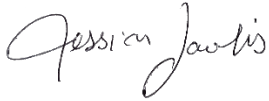
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Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

DOYLE KIMBROUGH
NORTH VALLEY COALITION
2327 CAMPBELL ROAD NW
ALBUQUERQUE NM 87104

**Re: *Explore Academy
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6600 Glutton Ct. NE. Albuquerque, NM 87109***

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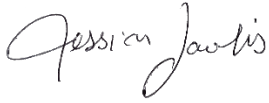
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Sincerely,



Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

MICHAEL PRIDHAM
DISTRICT 4 COALITION OF NAS
6413 NORTHLAND AVENUE NEALBUQUERQUE NM 87109

Re: *Explore Academy*
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6600 Glutton Ct. NE. Albuquerque, NM 87109

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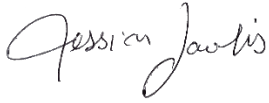
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Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

July 30, 2020

DANIEL REGAN
DISTRICT 4 COALITION OF NAS
4109 CHAMA STREET NE
ALBUQUERQUE NM 87109

**Re: *Explore Academy
Major Amendment to Existing Site Plan -DRB
6600 Glutton Ct. NE. Albuquerque, NM 87109***

Dear Neighborhood Representative,

This letter is to inform you that Explore Academy, owners of the subject property, are a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Glutton Ct. NE.

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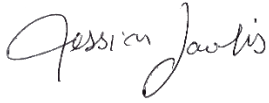
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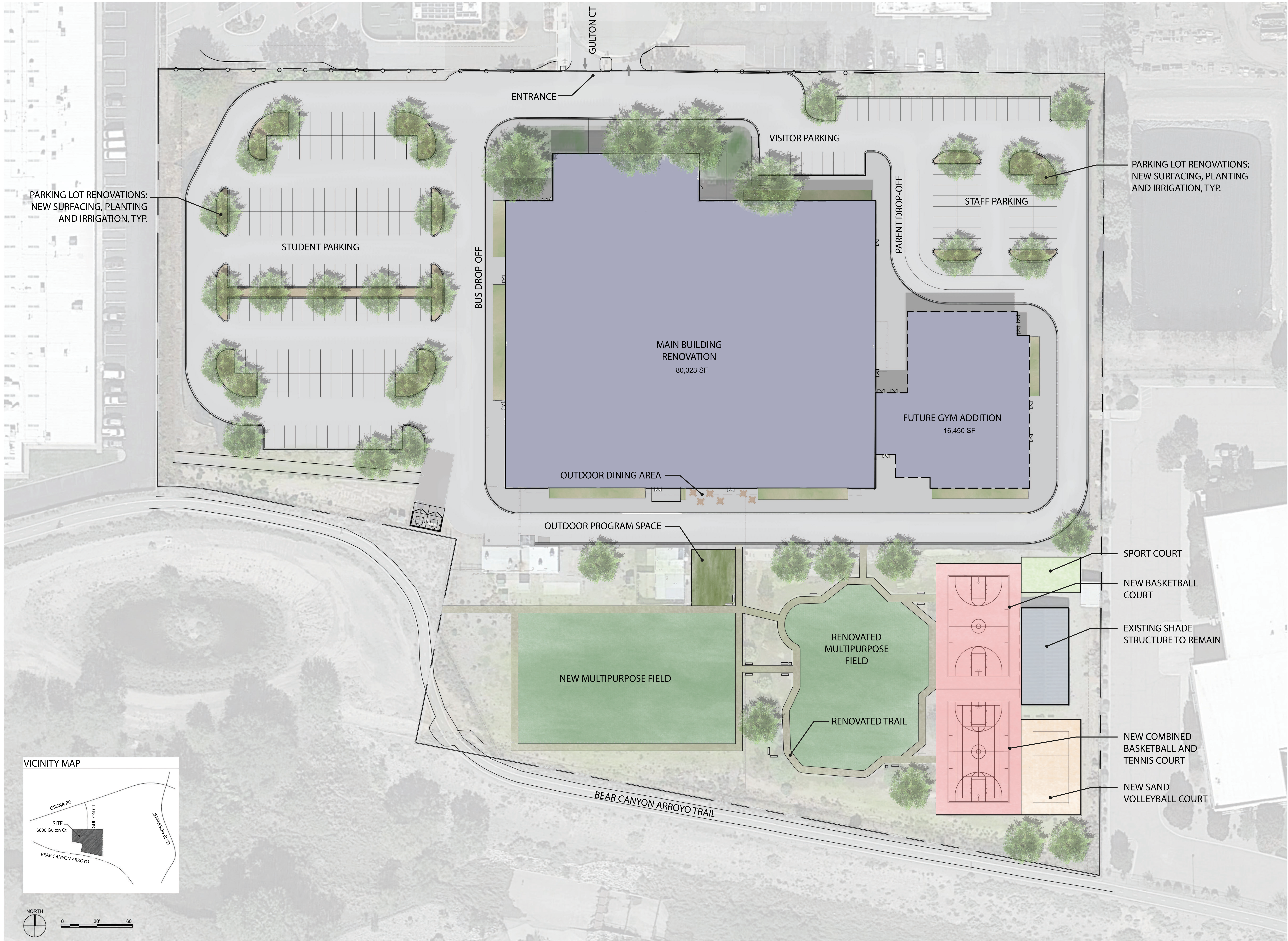
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Jessica Lawlis
Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit



PARKING LOT RENOVATIONS:
NEW SURFACING, PLANTING
AND IRRIGATION, TYP.

PARKING LOT RENOVATIONS:
NEW SURFACING, PLANTING
AND IRRIGATION, TYP.

- SPORT COURT
- NEW BASKETBALL COURT
- EXISTING SHADE STRUCTURE TO REMAIN
- NEW COMBINED BASKETBALL AND TENNIS COURT
- NEW SAND VOLLEYBALL COURT

CARLO INC
PO BOX 25966
ALBUQUERQUE NM 87125-0966

K2 DEVELOPMENT LLC
1233 N SUMMIT DR
SANTA FE NM 87501-8339

ARRAY TECHNOLOGIES INC
3901 MIDWAY PL NE
ALBUQUERQUE NM 87109

EEEC LLC
6621 GULTON CT NE
ALBUQUERQUE NM 87109

NE GROUP LLC
2441 CAMINO DEL OSO
SANTA FE NM 87501-6335

WILL FERGUSON & ASSOCIATES P C
1720 LOUISIANA BLVD NE SUITE 100
ALBUQUERQUE NM 87110-7069

WAGNER EQUIPMENT CO C/O
FACILITIES DEPT
18000 SMITH RD
AURORA CO 80011-3511

JHTC INVESTMENTS LLC
937 SOLAR RD NW
ALBUQUERQUE NM 87107-5749

EARHART PROPERTIES LLC
PO BOX 127
PLACITAS NM 87043

FAIR PLAZA ASSOCIATES
7021 PROSPECT PL NE
ALBUQUERQUE NM 87110-4311

BJD GULTON COURT LLC
4007 SAINT ANDREWS DR SE
RIO RANCHO NM 87124

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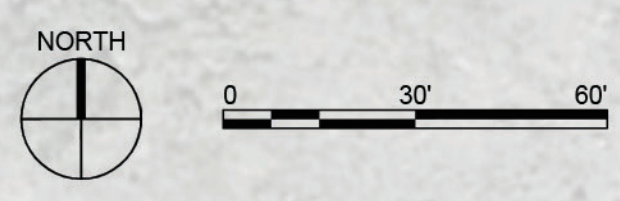
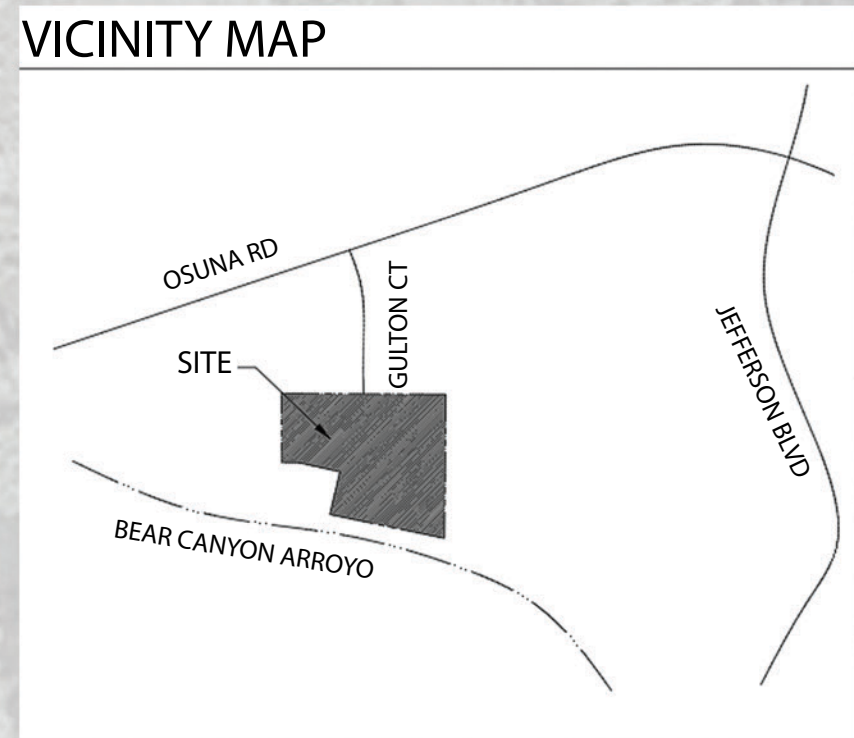
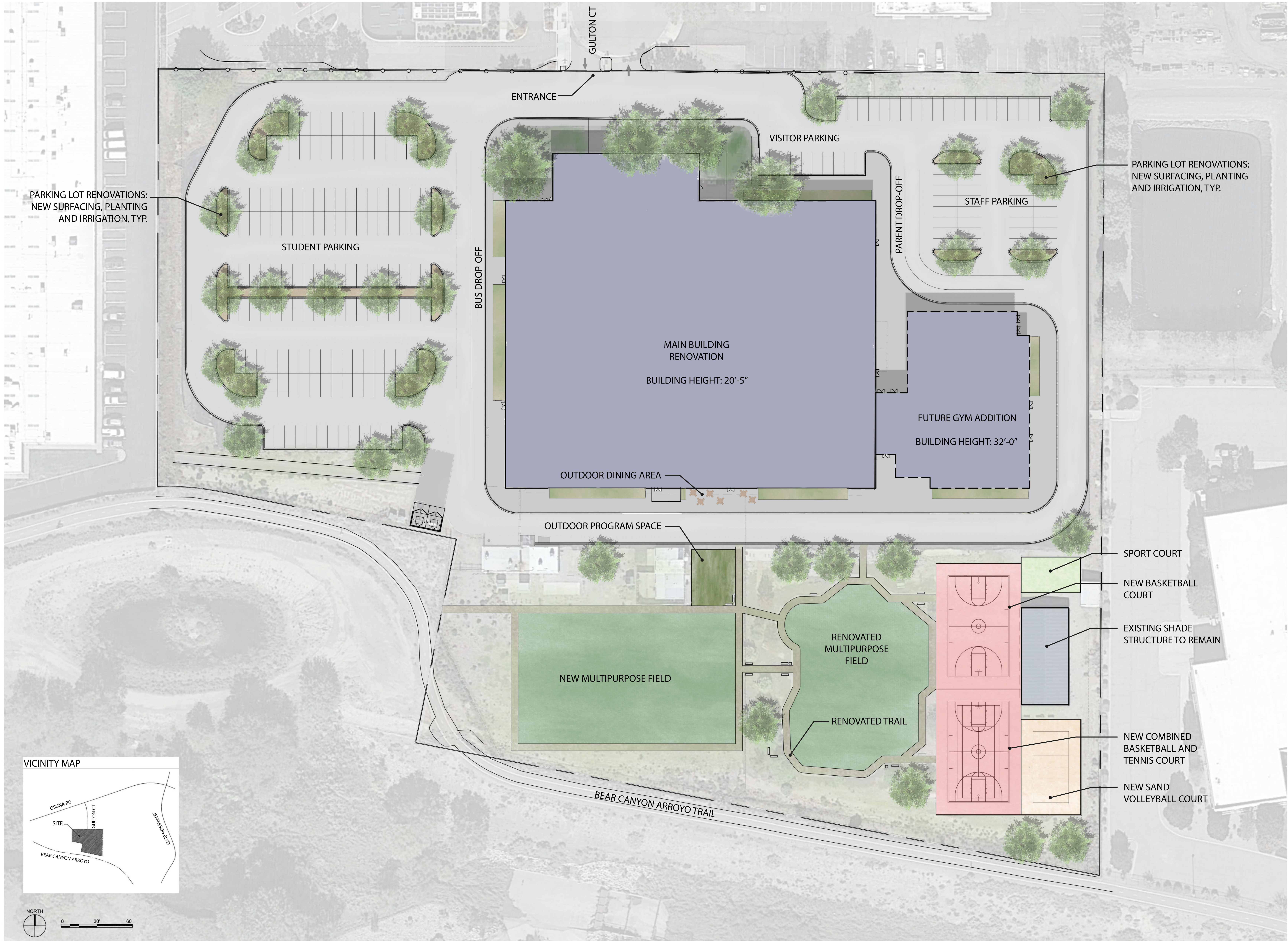
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P.O. BOX 70232
ALBUQUERQUE NM 87197

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6413 NORTHLAND AVENUE
NEALBUQUERQUE NM 87109

DANIEL REGAN
DISTRICT 4 COALITION OF NAS
4109 CHAMA STREET NE
ALBUQUERQUE NM 87109



11 PROOF OF REQUIRED NOTIFICATION

C. Proof of emailed notice to NAs

From: [Jessica Lawlis](#)
To: michael@drpridham.com; dlreganabq@gmail.com
Cc: [dan kemme](#); [Cindy Terry](#)
Subject: Notification of DRB Submission - Explore Academy 6600 Gulton Ct. NE
Date: Thursday, November 19, 2020 9:27:00 AM
Attachments: [Emailed-Mailed-Notice-PublicMeetingHearing-District 4 Coalition of Neighborhood Associations.pdf](#)
[Explore Academy NHA site plan .pdf](#)

Dear Neighborhood Representative,

As you have been made aware in previous notifications, Explore Academy, owners of the subject property, are seeking a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Gulton Ct. NE. **In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice, we are informing you of submission of an application to the Development Review Board (DRB) for a Major Amendment to the approved Site Development Plan.**

Explore Academy is a tuition-free, college preparatory middle-high school that first opened its doors as a state-authorized charter school in August 2014. The school uses the innovative Explore Learning model, an educational model based on choice that promotes student growth and responsibility while providing an individualized educational path for each student. Explore Academy has earned a NMPED A rating, becoming one of the highest performing schools in New Mexico.

Explore Academy recently purchased the property at 6600 Gulton Ct NE. The site is undergoing renovations through a series of phases. Phases 1-2 are currently underway and include interior renovations on the existing 80,142 square foot building so that the student body can begin utilizing the new facility for the Fall 2021 term. The proposed site development plan amendment applies to phases 3 and 4. Phase 3 will facilitate a variety of site improvements, including parking lot and landscape improvements, new outdoor recreational fields and courts, walking paths and outdoor seating spaces. Phase 4 facilitates the development of a future gym addition of approximately 16,450 square feet, which would bring the total building square footage to 96,592 square feet once completed. These proposed improvements will create a campus that is more conducive to learning and academic performance.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of December 16, 2020 at 9am, at which time the application will be reviewed and decided on by the City of Albuquerque. Given the current public health order, this hearing will likely be virtual.

More information on the DRB Public Hearing is provided at the following website:

<https://www.cabq.gov/planning/boards-commissions/development-review-board>. If you have any questions or need clarification of anything contained herein, please contact Dan Kemme or me at 761-9700 or email at JessicaL@dpsdesign.org.

Sincerely,

Jessica Lawlis, Dekker/Perich/Sabatini

Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing



Jessica Lawlis
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: 11-19-20

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

District 4 Coalition of Neighborhood Associations
Neighborhood Association (NA)*: _____

Name of NA Representative*: Michael Pridham & Daniel Regan

Email Address* or Mailing Address* of NA Representative¹: michael@drpridham.com, michael@drpridham.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Vacant industrial building
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: North Valley Coalition: Peggy Norton & Doyle [Other Neighborhood Associations, if any]
Kimbrough
District 4 Coalition of Neighborhood Associations
Michael Pridham & Daniel Regan

⁶ Available here: <https://tinurl.com/idozoningmap>

From: [Jessica Lawlis](#)
To: ["peggnorton@yahoo.com"](#); ["newmexmba@aol.com"](#)
Cc: [dan kemme](#); [Cindy Terry](#)
Subject: Notification of DRB Submission - Explore Academy 6600 Gulton Ct. NE
Date: Thursday, November 19, 2020 9:26:00 AM
Attachments: [Emailed-Mailed-Notice-PublicMeetingHearing-North Valley Coalition.pdf](#)
[Explore Academy NHA site plan .pdf](#)

Dear Neighborhood Representative,

As you have been made aware in previous notifications, Explore Academy, owners of the subject property, are seeking a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Gulton Ct. NE. **In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice, we are informing you of submission of an application to the Development Review Board (DRB) for a Major Amendment to the approved Site Development Plan.**

Explore Academy is a tuition-free, college preparatory middle-high school that first opened its doors as a state-authorized charter school in August 2014. The school uses the innovative Explore Learning model, an educational model based on choice that promotes student growth and responsibility while providing an individualized educational path for each student. Explore Academy has earned a NMPED A rating, becoming one of the highest performing schools in New Mexico.

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As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of December 16, 2020 at 9am, at which time the application will be reviewed and decided on by the City of Albuquerque. Given the current public health order, this hearing will likely be virtual. More information on the DRB Public Hearing is provided at the following website:

<https://www.cabq.gov/planning/boards-commissions/development-review-board>. If you have any questions or need clarification of anything contained herein, please contact Dan Kemme or me at 761-9700 or email at JessicaL@dpsdesign.org.

Sincerely,
Jessica Lawlis, Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing



Jessica Lawlis
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: North Valley Coalition

Name of NA Representative*: Peggy Norton & Doyle Kimbrough

Email Address* or Mailing Address* of NA Representative¹: peggynorton@yahoo.com, newmexmba@aol.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Vacant industrial building
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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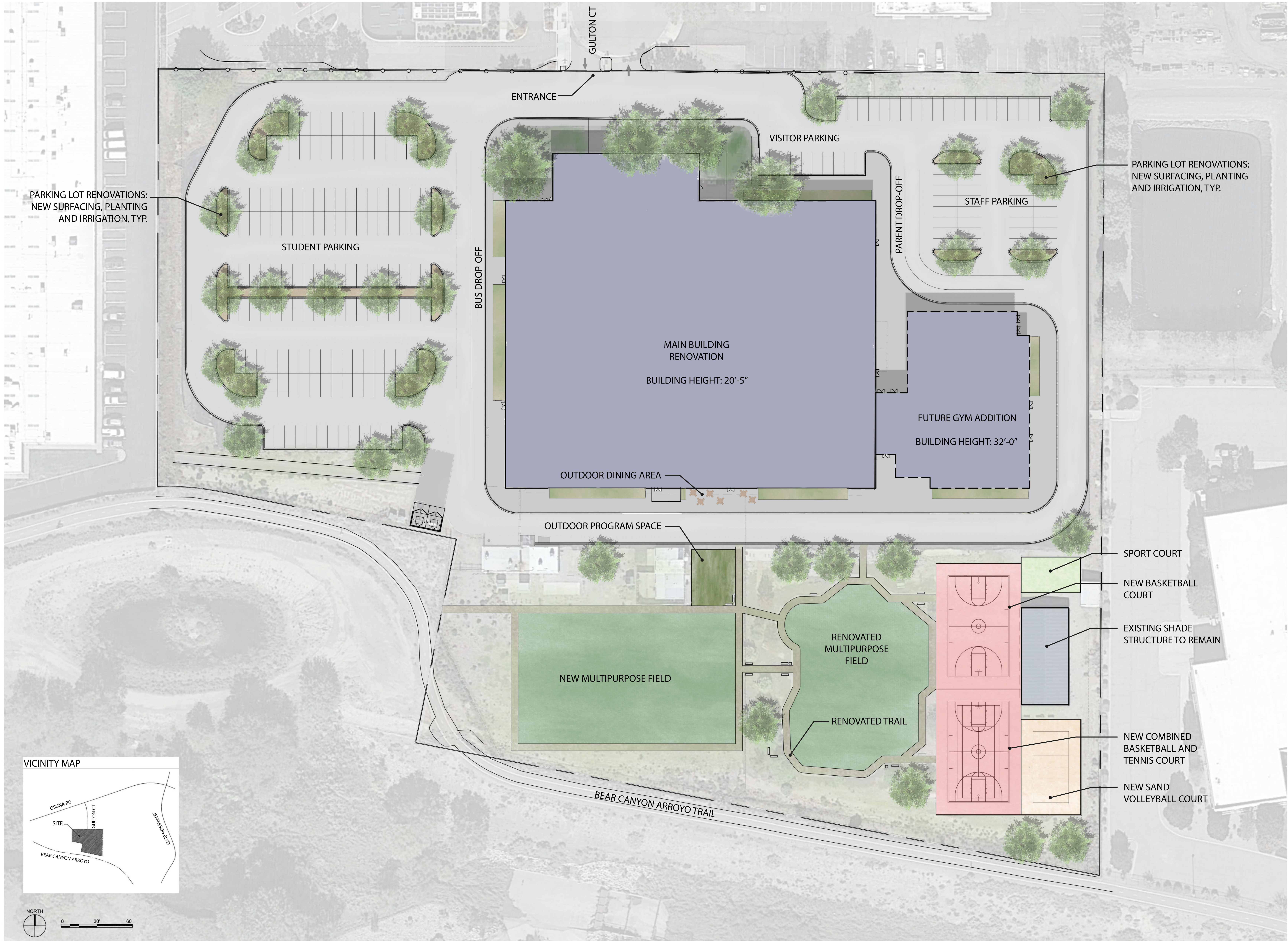
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PARKING LOT RENOVATIONS:
NEW SURFACING, PLANTING
AND IRRIGATION, TYP.

PARKING LOT RENOVATIONS:
NEW SURFACING, PLANTING
AND IRRIGATION, TYP.

- SPORT COURT
- NEW BASKETBALL COURT
- EXISTING SHADE STRUCTURE TO REMAIN
- NEW COMBINED BASKETBALL AND TENNIS COURT
- NEW SAND VOLLEYBALL COURT

11 PROOF OF REQUIRED NOTIFICATION

D. Buffer map and list of property owners within 100'

Jessica Lawlis

From: Ewell, Diego <dewell@cabq.gov>
Sent: Thursday, July 23, 2020 5:13 PM
To: Jessica Lawlis
Subject: RE: Property Owners List Request - 6600 Gulton Ct. NE
Attachments: Buffer Map - 6600 Gulton Ct. NE.pdf; List of property Owners - 6600 Gulton Ct. NE.docx

Hello,

I have provided the buffer map with 100 ft. excluding the right of way, also I have included the list of property owners with in the buffer.

Thank You,



Diego Ewell
senior office assistant
administration
o 505.924.3811
e dewell@cabq.gov
cabq.gov/planning

From: Jessica Lawlis <JessicaL@dpsdesign.org>
Sent: Wednesday, July 22, 2020 10:22 AM
To: Ewell, Diego <dewell@cabq.gov>
Subject: RE: Property Owners List Request - 6600 Gulton Ct. NE

Hi Diego, I've attached the zone atlas map for the site in question, thanks!

From: Ewell, Diego <dewell@cabq.gov>
Sent: Wednesday, July 22, 2020 10:08 AM
To: Jessica Lawlis <JessicaL@dpsdesign.org>
Subject: RE: Property Owners List Request - 6600 Gulton Ct. NE

Good morning,

In order for me to do so I will need a zone atlas with the property highlighted.



Diego Ewell

senior office assistant
administration

o 505.924.3811

e dewell@cabq.gov

cabq.gov/planning

From: Jessica Lawlis <JessicaL@dpsdesign.org>

Sent: Wednesday, July 22, 2020 10:01 AM

To: Ewell, Diego <dewell@cabq.gov>

Subject: Property Owners List Request - 6600 Gulton Ct. NE

Hi Diego,

I need to get the list of property owners within 100' of 6600 Gulton Ct. NE, which we need to notify for an DRB request.

Thanks,
Jessica



Jessica Lawlis
Urban Planner
Dekker/Perich/Sabatini
505.761.9700 / dpsdesign.org

We're identifying design solutions and [rethinking design](#) for a changed society.

=====
This message has been analyzed by Deep Discovery Email Inspector.

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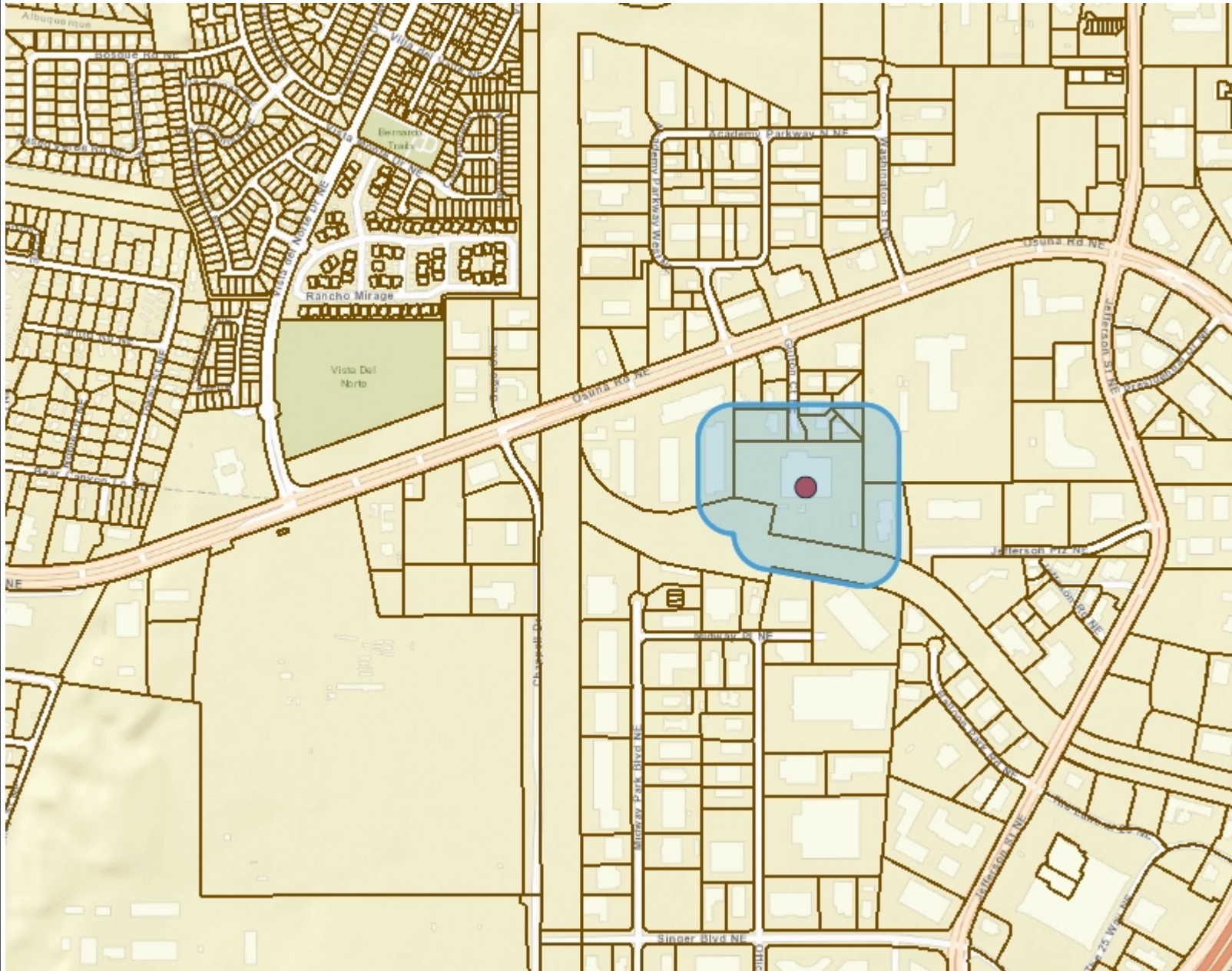


6600 Gulton Ct. NE



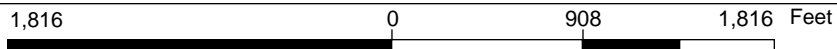
Legend

□ Bernalillo County Parcels



Notes

Buffer: 220
ROW Gulton Ct. NE



WGS_1984_Web_Mercator_Auxiliary_Sphere
7/23/2020 © City of Albuquerque

1: 10,896

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

November 18, 2020

CARLO INC
PO BOX 25966
ALBUQUERQUE NM 87125-0966

Dear Property Owner,

This letter is to inform you that Explore Academy, owners of the subject property, is seeking a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Gulton Ct. NE. **In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice, we are informing you of submission of an application to the Development Review Board (DRB) for a Major Amendment to the approved Site Development Plan.**

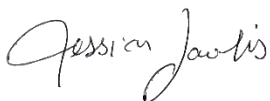
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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

K2 DEVELOPMENT LLC
1233 N SUMMIT DR
SANTA FE NM 87501-8339

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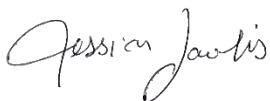
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Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

ARRAY TECHNOLOGIES INC
3901 MIDWAY PL NE
ALBUQUERQUE NM 87109

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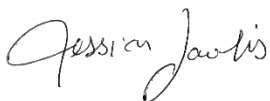
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Jessica Lawlis, Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

EEEC LLC
6621 GULTON CT NE
ALBUQUERQUE NM 87109

Dear Property Owner,

This letter is to inform you that Explore Academy, owners of the subject property, is seeking a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Gulton Ct. NE. **In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice, we are informing you of submission of an application to the Development Review Board (DRB) for a Major Amendment to the approved Site Development Plan.**

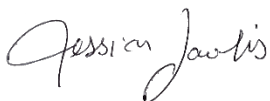
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Jessica Lawlis, Dekker/Perich/Sabatini
Agent for Explore Academy

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Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

NE GROUP LLC
2441 CAMINO DEL OSO
SANTA FE NM 87501-6335

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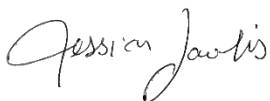
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Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

WILL FERGUSON & ASSOCIATES P C
1720 LOUISIANA BLVD NE SUITE 100
ALBUQUERQUE NM 87110-7069

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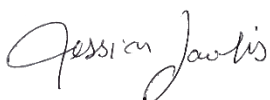
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Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

WAGNER EQUIPMENT CO C/O FACILITIES DEPT
18000 SMITH RD
AURORA CO 80011-3511

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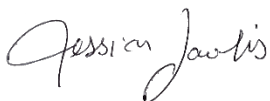
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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

JHTC INVESTMENTS LLC
937 SOLAR RD NW
ALBUQUERQUE NM 87107-5749

Dear Property Owner,

This letter is to inform you that Explore Academy, owners of the subject property, is seeking a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Gulton Ct. NE. **In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice, we are informing you of submission of an application to the Development Review Board (DRB) for a Major Amendment to the approved Site Development Plan.**

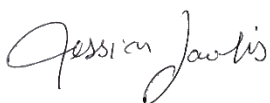
Explore Academy is a tuition-free, college preparatory middle-high school that first opened its doors as a state-authorized charter school in August 2014. The school uses the innovative Explore Learning model, an educational model based on choice that promotes student growth and responsibility while providing an individualized educational path for each student. Explore Academy has earned a NMPED A rating, becoming one of the highest performing schools in New Mexico.

Explore Academy recently purchased the property at 6600 Gulton Ct NE. The site is undergoing renovations through a series of phases. Phases 1-2 are currently underway and include interior renovations on the existing 80,142 square foot building so that the student body can begin utilizing the new facility for the Fall 2021 term. The proposed site development plan amendment applies to phases 3 and 4. Phase 3 will facilitate a variety of site improvements, including parking lot and landscape improvements, new outdoor recreational sport fields and courts, walking paths and outdoor seating spaces. Phase 4 facilitates the development of a future gym addition of approximately 16,450 square feet, which would bring the total building square footage to 96,592 square feet once completed. These proposed improvements will create a campus that is more conducive to learning and academic performance.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of December 16, 2020 at 9am, at which time the application will be reviewed and decided on by the City of Albuquerque. Given the current public health order, this hearing will likely be virtual. More information on the DRB Public Hearing is provided at the following website:

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Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

EARHART PROPERTIES LLC
PO BOX 127
PLACITAS NM 87043

Dear Property Owner,

This letter is to inform you that Explore Academy, owners of the subject property, is seeking a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Gulton Ct. NE. **In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice, we are informing you of submission of an application to the Development Review Board (DRB) for a Major Amendment to the approved Site Development Plan.**

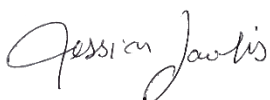
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Explore Academy recently purchased the property at 6600 Gulton Ct NE. The site is undergoing renovations through a series of phases. Phases 1-2 are currently underway and include interior renovations on the existing 80,142 square foot building so that the student body can begin utilizing the new facility for the Fall 2021 term. The proposed site development plan amendment applies to phases 3 and 4. Phase 3 will facilitate a variety of site improvements, including parking lot and landscape improvements, new outdoor recreational sport fields and courts, walking paths and outdoor seating spaces. Phase 4 facilitates the development of a future gym addition of approximately 16,450 square feet, which would bring the total building square footage to 96,592 square feet once completed. These proposed improvements will create a campus that is more conducive to learning and academic performance.

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Jessica Lawlis, Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

FAIR PLAZA ASSOCIATES
7021 PROSPECT PL NE
ALBUQUERQUE NM 87110-4311

Dear Property Owner,

This letter is to inform you that Explore Academy, owners of the subject property, is seeking a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Gulton Ct. NE. **In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice, we are informing you of submission of an application to the Development Review Board (DRB) for a Major Amendment to the approved Site Development Plan.**

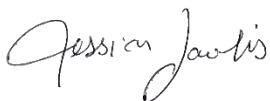
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Explore Academy recently purchased the property at 6600 Gulton Ct NE. The site is undergoing renovations through a series of phases. Phases 1-2 are currently underway and include interior renovations on the existing 80,142 square foot building so that the student body can begin utilizing the new facility for the Fall 2021 term. The proposed site development plan amendment applies to phases 3 and 4. Phase 3 will facilitate a variety of site improvements, including parking lot and landscape improvements, new outdoor recreational sport fields and courts, walking paths and outdoor seating spaces. Phase 4 facilitates the development of a future gym addition of approximately 16,450 square feet, which would bring the total building square footage to 96,592 square feet once completed. These proposed improvements will create a campus that is more conducive to learning and academic performance.

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Jessica Lawlis, Dekker/Perich/Sabatini
Agent for Explore Academy

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Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

BJD GULTON COURT LLC
4007 SAINT ANDREWS DR SE
RIO RANCHO NM 87124

Dear Property Owner,

This letter is to inform you that Explore Academy, owners of the subject property, is seeking a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Gulton Ct. NE. **In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice, we are informing you of submission of an application to the Development Review Board (DRB) for a Major Amendment to the approved Site Development Plan.**

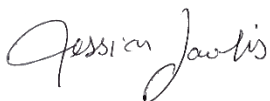
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Jessica Lawlis, Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

ARETZ 6600 GULTON LLC
1 STONE PL SUITE 200
BRONXVILLE NY 10708-3430

Dear Property Owner,

This letter is to inform you that Explore Academy, owners of the subject property, is seeking a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Gulton Ct. NE. **In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice, we are informing you of submission of an application to the Development Review Board (DRB) for a Major Amendment to the approved Site Development Plan.**

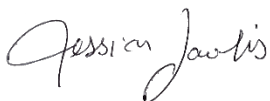
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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

November 18, 2020

ANM REAL ESTATE HOLDINGS LLC
4001 JEFFERSON PL NE
ALBUQUERQUE NM 87109-3477

Dear Property Owner,

This letter is to inform you that Explore Academy, owners of the subject property, is seeking a Major Amendment to the existing Site Development Plan for the existing facility located at 6600 Gulton Ct. NE. **In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice, we are informing you of submission of an application to the Development Review Board (DRB) for a Major Amendment to the approved Site Development Plan.**

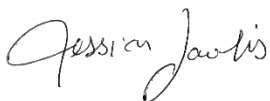
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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini
Agent for Explore Academy

Attachment: Conceptual Site Plan Exhibit

Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Hearing

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: ARETZ 6600 GULTON LLC

Mailing Address*: 1 STONE PL SUITE 200 BRONXVILLE NY 10708-3430

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: **December 16, 2020 9:00am**
ZOOM, see DRB website for info

Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

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**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: ARRAY TECHNOLOGIES INC

Mailing Address*: 3901 MIDWAY PL NE ALBUQUERQUE NM 87109

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
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 - Other: _____

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The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

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Explanation*:

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Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

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Date of Notice*: November 18, 2020

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Property Owner within 100 feet*: BJD GULTON COURT LLC

Mailing Address*: 4007 SAINT ANDREWS DR SE RIO RANCHO NM 87124

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
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Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

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⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: EARHART PROPERTIES LLC

Mailing Address*: PO BOX 127 PLACITAS NM 87043

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: **December 16, 2020 9:00am**
ZOOM, see DRB website for info

Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: EEEC LLC

Mailing Address*: 6621 GULTON CT NE ALBUQUERQUE NM 87109

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: **December 16, 2020 9:00am**
ZOOM, see DRB website for info

Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: FAIR PLAZA ASSOCIATES

Mailing Address*: 7021 PROSPECT PL NE ALBUQUERQUE NM 87110-4311

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: **December 16, 2020 9:00am**
ZOOM, see DRB website for info

Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: JHTC INVESTMENTS LLC

Mailing Address*: 937 SOLAR RD NW ALBUQUERQUE NM 87107-5749

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: **December 16, 2020 9:00am**
ZOOM, see DRB website for info

Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: NE GROUP LLC

Mailing Address*: 2441 CAMINO DEL OSO SANTA FE NM 87501-6335

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: **December 16, 2020 9:00am**
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Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
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- c. Maximum height of any proposed structures, with building elevations.*

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³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: WAGNER EQUIPMENT CO C/O FACILITIES DEPT

Mailing Address*: 18000 SMITH RD AURORA CO 80011-3511

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
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 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
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¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: **December 16, 2020 9:00am**
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Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
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⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

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⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: WAGNER EQUIPMENT CO C/O FACILITIES DEPT

Mailing Address*: 18000 SMITH RD AURORA CO 80011-3511

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: **December 16, 2020 9:00am**
ZOOM, see DRB website for info

Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: WILL FERGUSON & ASSOCIATES P C

Mailing Address*: 1720 LOUISIANA BLVD NE SUITE 100 ALBUQUERQUE NM 87110-7069

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: **December 16, 2020 9:00am**
ZOOM, see DRB website for info

Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

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³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

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<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
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Date of Notice*: November 18, 2020

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Property Owner within 100 feet*: WILL FERGUSON & ASSOCIATES P C

Mailing Address*: 1720 LOUISIANA BLVD NE SUITE 100 ALBUQUERQUE NM 87110-7069

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: **December 16, 2020 9:00am**
ZOOM, see DRB website for info

Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: ANM REAL ESTATE HOLDINGS LLC

Mailing Address*: 4001 JEFFERSON PL NE ALBUQUERQUE NM 87109-3477

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 9:00am
ZOOM, see DRB website for info

Location*²: https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ E-17

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: K2 DEVELOPMENT LLC

Mailing Address*: 1233 N SUMMIT DR SANTA FE NM 87501-8339

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: **December 16, 2020 9:00am**
ZOOM, see DRB website for info

Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

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IDO Interactive Map

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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: CARLO INC

Mailing Address*: PO BOX 25966 ALBUQUERQUE NM 87125-0966

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
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¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 16, 2020 9:00am
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Location*²: https://www.cabq.gov/planning/boards-commissions/development-review-board

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6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ E-17

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
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³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
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for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 18, 2020

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Property Owner within 100 feet*: ANM REAL ESTATE HOLDINGS LLC

Mailing Address*: 4001 JEFFERSON PL NE ALBUQUERQUE NM 87109-3477

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6600 Gulton Ct. NE. Albuquerque NM 87109
Location Description near the Intersection of Osuna Rd and Gulton Ct. NE
2. Property Owner* Explore Academy
3. Agent/Applicant* *[if applicable]* Jessica Lawlis Dekker/Perich/Sabatini
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

The phased renovation of the existing facility to accommodate a school, including the construction a new gym totaling approximately 17,000 SF.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
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¹ Attach additional information, as needed to explain the project/request.

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Date/Time*: **December 16, 2020 9:00am**
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Location*²: **<https://www.cabq.gov/planning/boards-commissions/development-review-board>**

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

See site plan attachment in notice

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ **E-17**
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No Neighborhood Meeting was requested

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 10
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] Industrial
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

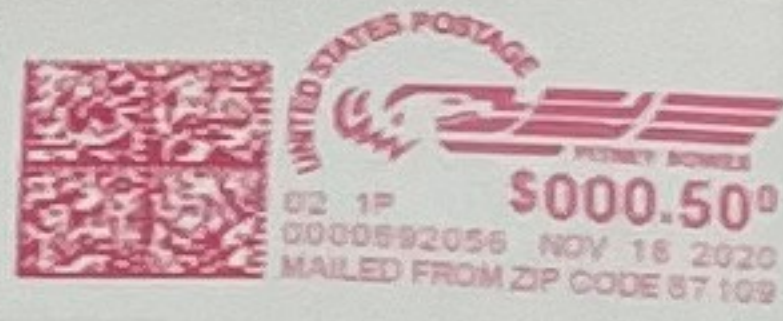
<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

DEKKER
PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



BJD GULTON COURT LLC
4007 SAINT ANDREWS DR SE
RIO RANCHO NM 87124

DEKKER
PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



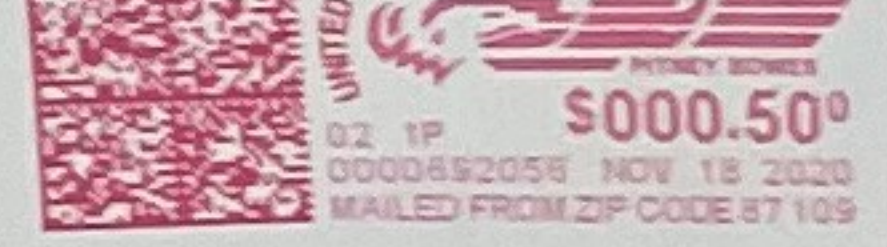
ARETZ 6600 GULTON LLC
1 STONE PL SUITE 200
BRONXVILLE NY 10708-3430

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PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



K2 DEVELOPMENT LLC
1233 N SUMMIT DR
SANTA FE NM 87501-8339

DEKKER
PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



ARRAY TECHNOLOGIES INC
3901 MIDWAY PL NE
ALBUQUERQUE NM 87109

DEKKER
PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



CARLO INC
PO BOX 25966
ALBUQUERQUE NM 87125-0966

DEKKER
PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



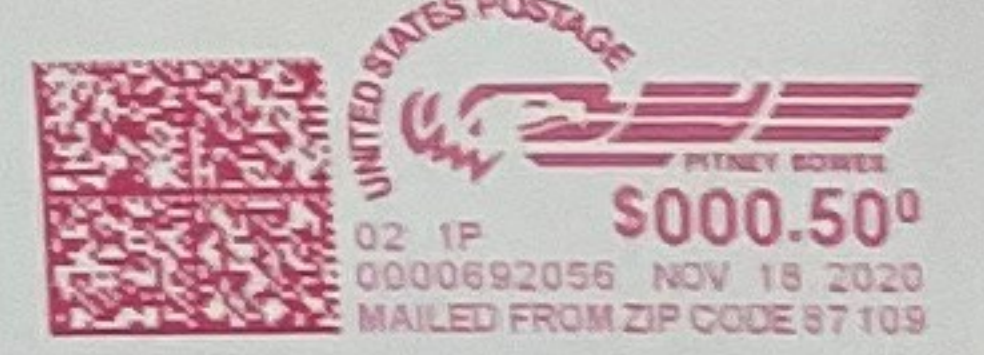
EEEC LLC
6621 GULTON CT NE
ALBUQUERQUE NM 87109

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DESIGN
INSPIRATION



NE GROUP LLC
2441 CAMINO DEL OSO
SANTA FE NM 87501-6335

DEKKER
PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



ANM REAL ESTATE HOLDINGS LLC
4001 JEFFERSON PL NE
ALBUQUERQUE NM 87109-3477

DEKKER
PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



EARHART PROPERTIES LLC
PO BOX 127
PLACITAS NM 87043

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PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



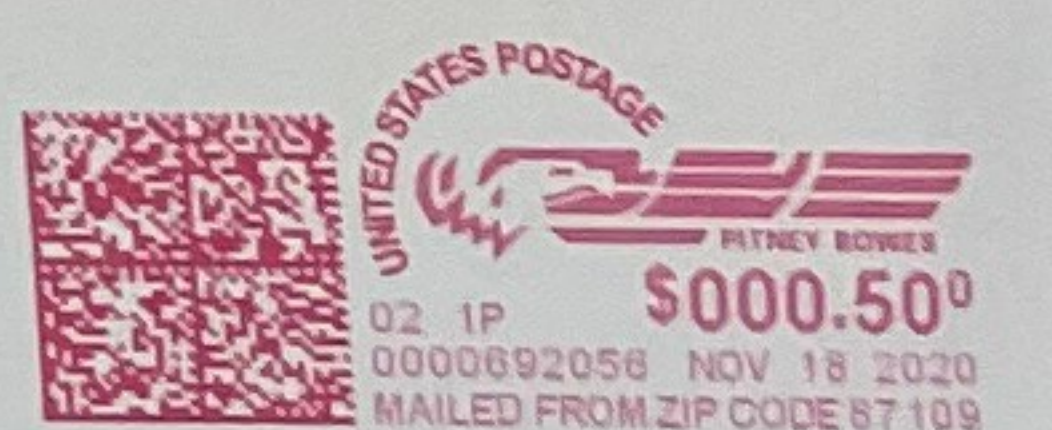
JHTC INVESTMENTS LLC
937 SOLAR RD NW
ALBUQUERQUE NM 87107-5749

DEKKER
PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



WILL FERGUSON & ASSOCIATES P C
1720 LOUISIANA BLVD NE SUITE 100
ALBUQUERQUE NM 87110-7069

DEKKER
PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



WAGNER EQUIPMENT CO C/O
FACILITIES DEPT
18000 SMITH RD
AURORA CO 80011-3511

DEKKER
PERICH
SABATINI ARCHITECTURE
DESIGN
INSPIRATION



FAIR PLAZA ASSOCIATES
7021 PROSPECT PL NE
ALBUQUERQUE NM 87110-4311

12 Complete Site Plan Checklist

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- na D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - na 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - na 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- ___ E. Off-Street Loading
 - na 1. Location and dimensions of all off-street loading areas

- ___ F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - na 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - na 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- ___ A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - na 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - na 3. Location of traffic signs and signals related to the functioning of the proposal
 - na 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - na 6. Location of street lights
 - na 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- ___ B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - na 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- na 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- na 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- na 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

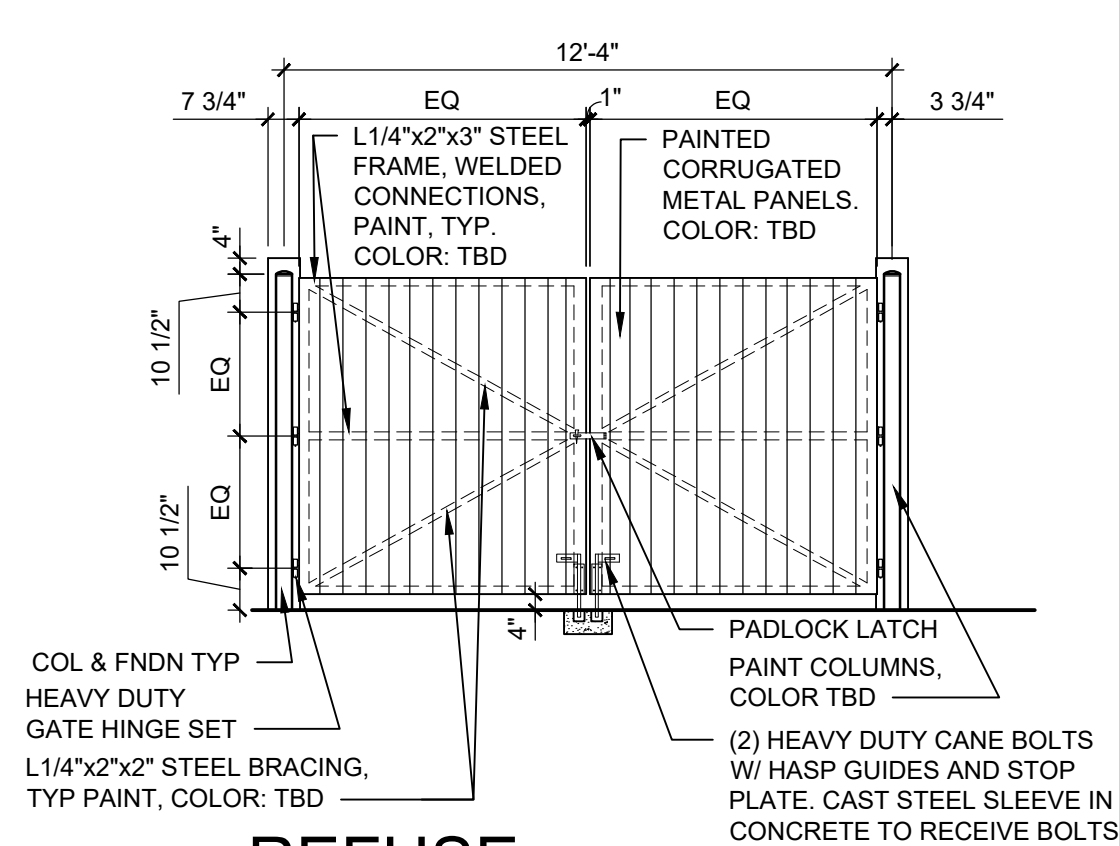
A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

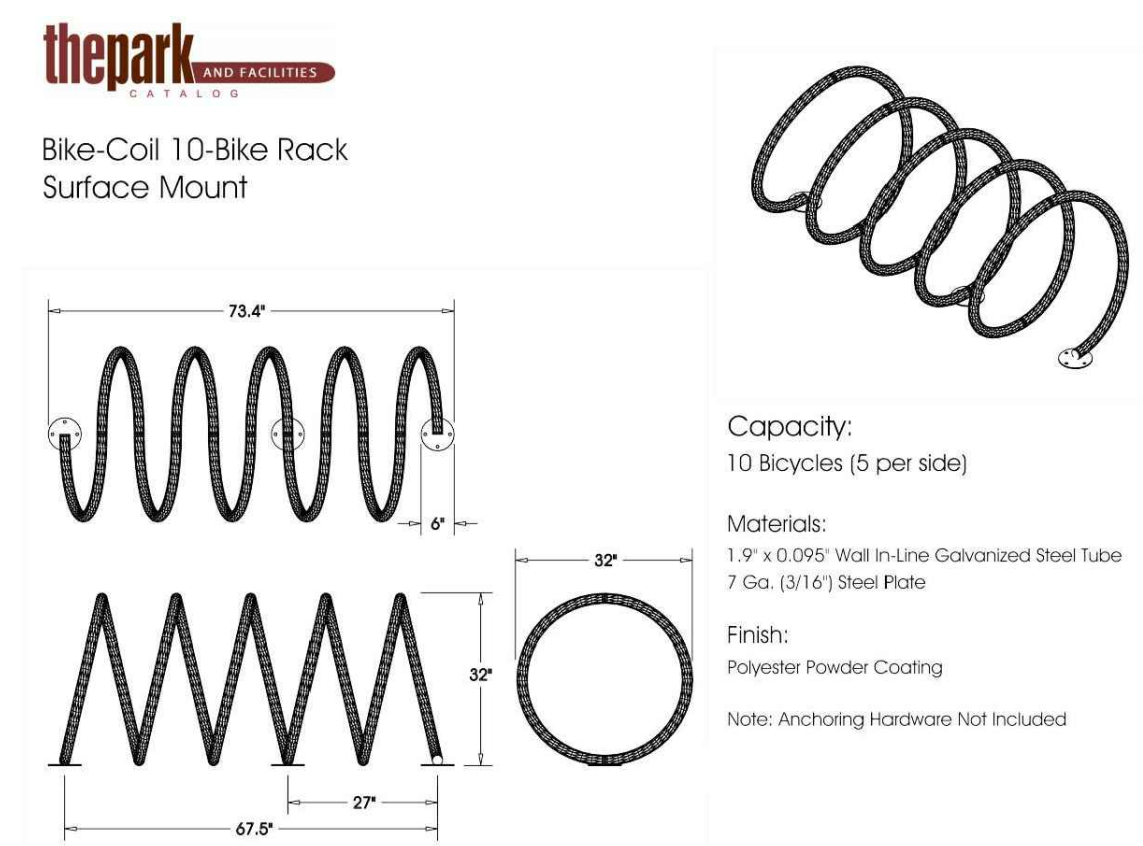
B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

13 SITE PLAN & RELATED DRAWINGS



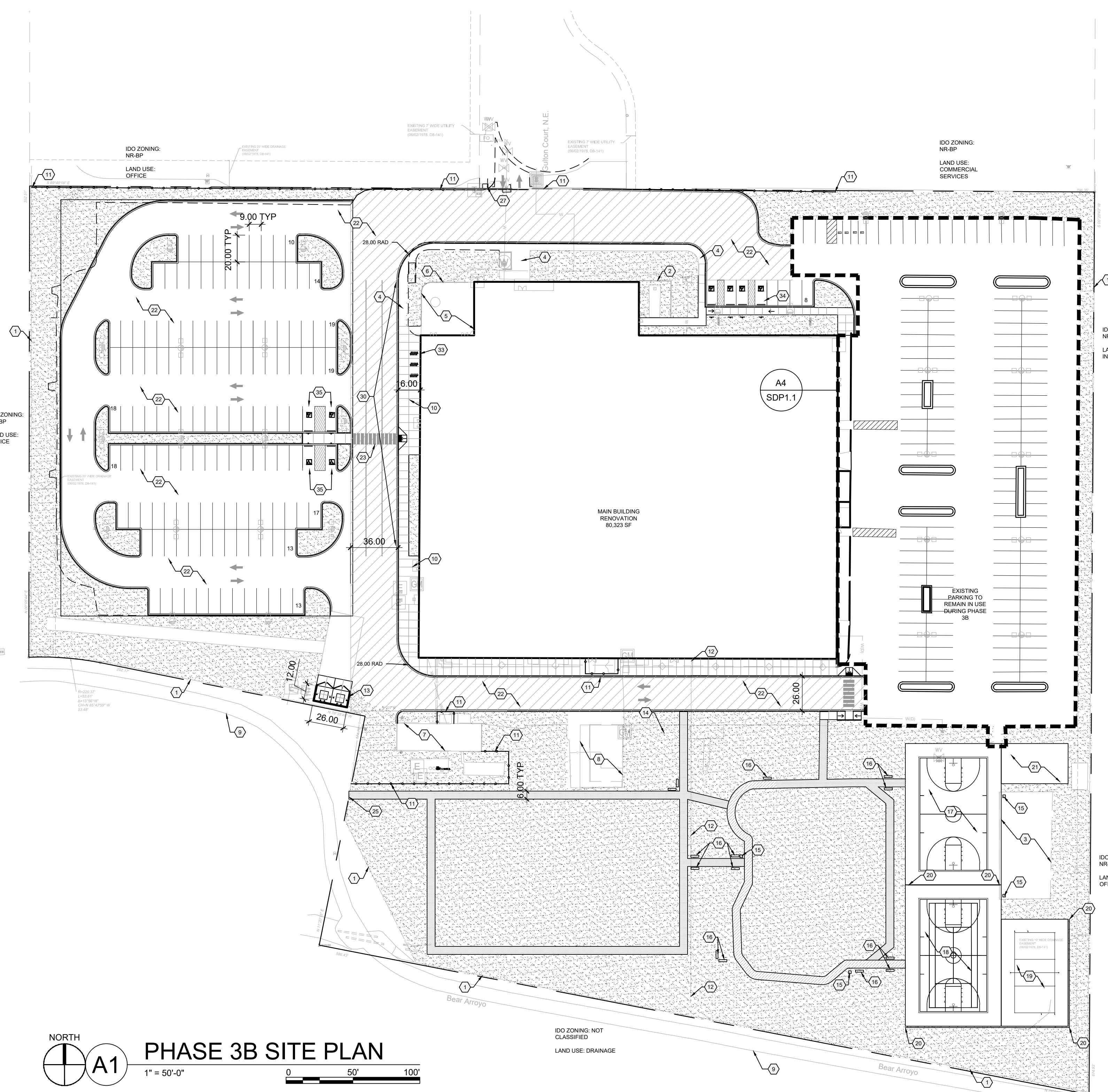
E1 REFUSE ENCLOSURE GATE
1/4" = 1'-0"



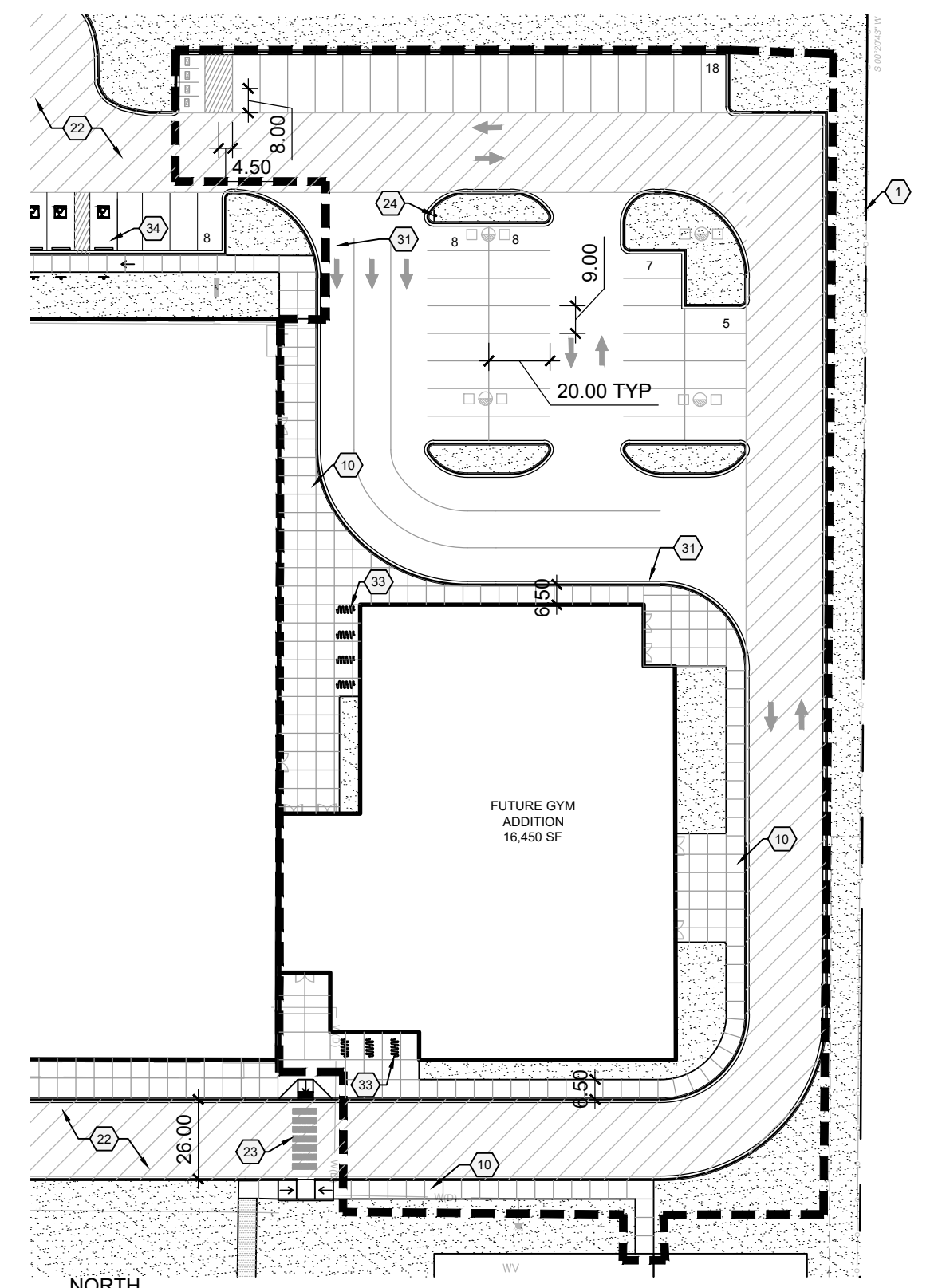
E2 BIKE RACK
NTS

thepark
LAND FACILITIES
Bike-Coil 10-Bike Rack
Surface Mount

Capacity:
10 Bicycles (5 per side)
Materials:
1.9" x 0.095" Wall In-Line Galvanized Steel Tube
7 Ga. 18 1/2 Steel Plate
Finish:
Polyester Powder Coating
Note: Anchoring Hardware Not Included



A1 PHASE 3B SITE PLAN
1" = 50'-0"



A4 PHASE 4 SITE PLAN
1" = 50'-0"

CODE	DESCRIPTION
1	EXISTING CHAIN LINK FENCE TO REMAIN
2	EXISTING 7' CMU BLOCK SCREEN WALL TO REMAIN
3	EXISTING SHADE STRUCTURE TO REMAIN
4	EXISTING CONCRETE SIDEWALK TO REMAIN
5	EXISTING PATIO TO REMAIN
6	EXISTING 6" BLOCK WALL TO REMAIN
7	EXISTING MECHANICAL BUILDING TO REMAIN
8	EXISTING STORAGE BUILDING TO REMAIN
9	BEAR ARROYO MULTI-USE TRAIL
10	CONCRETE SIDEWALK
11	8' FENCE, AMERISTAR WIREWORKS ANTI-CLIMB AS BASIS OF DESIGN
12	REMOVE FENCE
13	REFUSE ENCLOSURE, SEE E1/SDP1.1
14	32' X 14' HIGH TUNNEL GREENHOUSE- 2" PVC, WOOD WITH PLASTIC FILM.
15	LITTER RECEPTACLE
16	6' BENCH
17	84' X 50' BASKETBALL COURT
18	84' X 50' BASKETBALL COURT WITH REMOVABLE NET FOR TENNIS, ANTI-CLIMB PERIMETER FENCE AND GATE
19	SAND VOLLEY BALL COURT
20	BALL NETTING
21	30' X 50' SPORT COURT
22	ASPHALT TO BE REPAIRED, RESURFACED AND RESTRIPTED
23	PAINTED CROSSWALK
24	ONE-WAY TRAFFIC SIGN
25	KEYED ACCESS TO BEAR CANYON TRAIL
26	OUTDOOR DINING TABLES AND CHAIRS PER OWNER
27	AUTOMATIC SLIDING GATE
28	ACCESS CONTROL, TBD
29	REMOVE ASPHALT
30	BUS DROP OFF LOADING ZONE
31	PARENT DROP OFF LOADING ZONE
32	MOTORCYCLE PARKING
33	BICYCLE PARKING, SEE E2/SDP1.1 FOR BASIS OF DESIGN
34	ACCESSIBLE PARKING
35	VAN ACCESSIBLE PARKING

GENERAL SHEET NOTES

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.
- STANDARD PARKING SPACES 9'-0" X 20'-0"
- ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.6.
- FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE FOR ROADWAYS 26' TO 32' WIDE.
- FDC SHALL BE WITHIN 100 FEET OF A HYDRANT.
- 20' WIDE FIRE ACCESS LANES SHALL BE 3" ASPHALT OVER 4" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS.
- SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- SITE PLAN TO COMPLY WITH THE 2015 IFC APPENDICES B, C, AND D.
- NEW SITE LIGHTING WILL BE PROVIDED ON THE PROPERTY. SITE LIGHTING PLAN ILLUSTRATES THE MAXIMUM NUMBER OF NEW AREA LIGHTS THAT MAY BE REQUIRED BY THE OWNER FOR THE USE.

PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A RENOVATION OF AN EXISTING BUILDING FOR A COMBINED MIDDLE SCHOOL AND HIGH SCHOOL. THE ONLY NEW STRUCTURE PROPOSED IS A FUTURE GYM ADDITION. SITE IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO ALTERATIONS TO THE EXISTING PARKING LOT, WIDENING OF THE MAIN VEHICULAR ENTRANCE, SITE LIGHTING, LANDSCAPE, IRRIGATION AND OUTDOOR RECREATION FACILITIES.

PROJECT DATA

SITE ADDRESS: 6600 GULTON CT NE, ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION: '3-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II

ZONE ATLAS NUMBER: E17
SITE AREA: 10 ACRES
EXISTING ZONING: NR-BP

BUILDING AREA
RENOVATION: 80,142 SF
FUTURE GYM EXPANSION: 16,450 SF
TOTAL: 96,592 SF
CONSTRUCTION TYPE: IIB
BUILDING HEIGHT
RENOVATION: 20'-5"
FUTURE GYM EXPANSION: 32'-0"

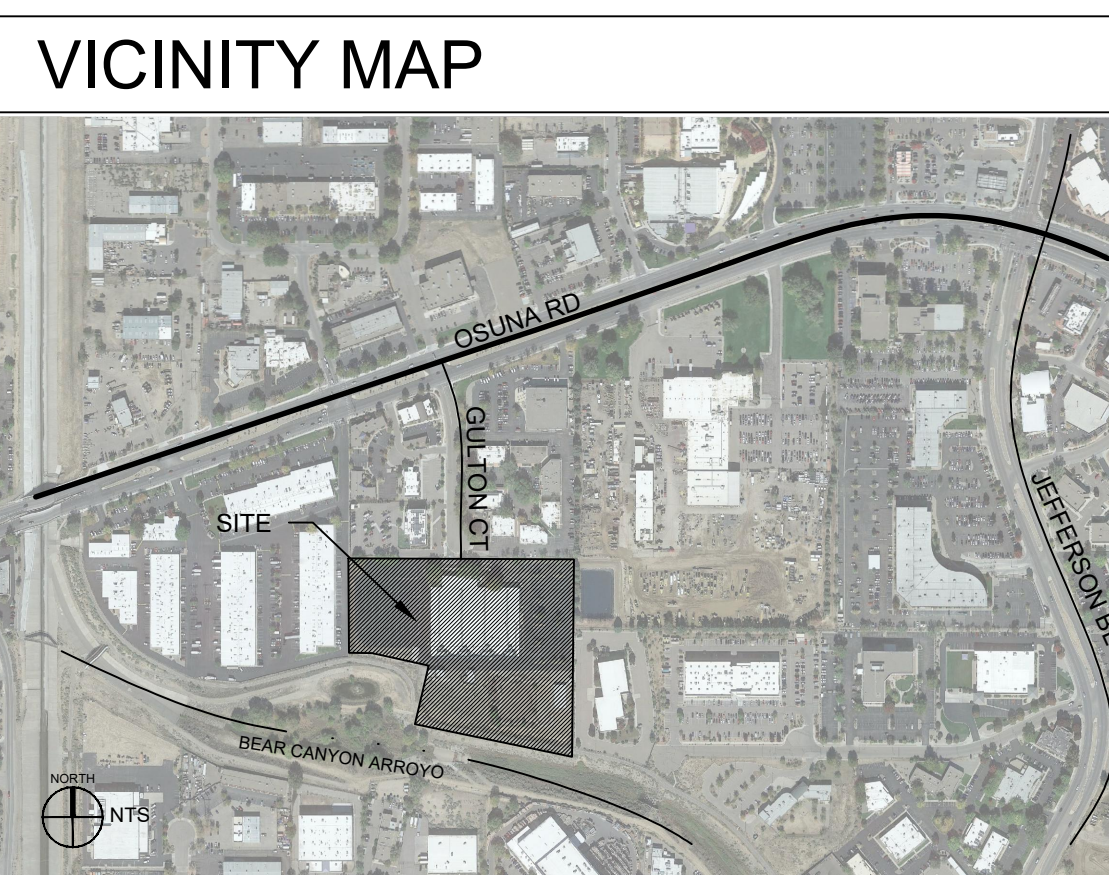
SPRINKLED: YES
FIRE FLOW: 3,000 GPM
FLOW DURATION: 4HR
HYDRANTS REQUIRED: 3

PARKING CALCULATION
2 SPACES PER MIDDLE SCHOOL CLASSROOM
3 SPACES PER HIGH SCHOOL CLASSROOM

REQUIRED PARKING SPACES: 147
TOTAL PARKING SPACES PROVIDED
PHASE 3B: 291
PHASE 4: 199
MOTORCYCLE PARKING REQUIRED: 4
MOTORCYCLE PARKING PROVIDED: 4
BICYCLE PARKING REQUIRED: 89
BICYCLE PARKING PROVIDED: 100

LEGEND

	PROPERTY LINE
	HEAVY DUTY ASPHALT FOR FIRE ACCESS
	6' WIDE ACCESSIBLE STABILIZED CRUSHER FINE PATH
	EXISTING PATH TO BE RESURFACED FOR ADA ACCESS WITH STABILIZED CRUSHER FINES
	LANDSCAPE AREA, SEE PLANTING PLAN
	SITE LIGHTING, SEE SITE LIGHTING PLAN



DEKKER PERICH SABATINI

ARCHITECTURE DESIGN INSPIRATION

ARCHITECT

ENGINEER

PROJECT

EXPLORE ACADEMY
GULTON TENANT IMPROVEMENTS
PHASE III
6600 GULTON COURT NE
ALBUQUERQUE, NM 87109

REVISIONS

△	
△	
△	
△	

DRAWN BY: DS
REVIEWED BY: MB
DATE: 11/20/20
PROJECT NO.: 19-0099.003
DRAWING NAME: SITE PLAN

SHEET NO.: SDP1.1
OF

PLANT SCHEDULE

TREES	COMMON NAME	SHRUBS	COMMON NAME	SHRUBS	COMMON NAME
	EXISTING TREE TO REMAIN		LARGE DECIDUOUS SHRUB CHAMISA APACHE PLUME FERNBUSH GAMBEL OAK WINDBREAKER SACATON		LOW GROUNDCOVER GRO-LOW SUMAC ARCADIA JUNIPER PRAIRIE SAGE
	LARGE DECIDUOUS TREE EMERALD SUNSHINE ELM FRONTIER ELM SHADE MASTER HONEY LOCUST SHUMARD OAK CHINESE PISTACHE JAPANESE PAGODA TREE		MEDIUM DECIDUOUS SHRUB LINDHEIMER MUHLY GRASS BLUE MIST SPIREA PAWNEE BUTTES WESTERN SAND CHERRY BUTTERFLY BUSH		LARGE VINE TRUMPET VINE SILVER LACE VINE CROSS VINE
	LARGE EVERGREEN TREE AUSTRIAN PINE AFGHAN PINE ARIZONA CYPRESS		SMALL DECIDUOUS SHRUB AUTUMN SAGE BLONDE AMBITION BLUE GRAMA EL TORO MUHLY GRASS		
	SMALL EVERGREEN TREE ESCAPMENT LIVE OAK ROCKY MOUNTAIN JUNIPER		MEDIUM EVERGREEN SHRUB THOMPSON BROOM TURPENTINE BUSH BEARGRASS RED YUCCA		
	SMALL DECIDUOUS TREE DESERT WILLOW NEW MEXICO OLIVE VITEX				

LANDSCAPE CALCULATIONS

LANDSCAPE CALCULATIONS REFLECT COMPLETION OF PHASE 4

TOTAL SITE AREA = 9.98 AC = 435,117 SF
 AREA OF LOT COVERED BY BUILDINGS = 96,592 SF (INCLUDING GYM)
 NET LOT AREA = 338,525 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 50,779 SF
 PROVIDED LANDSCAPE AREA = 105,023 SF = 31%

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
 TOTAL NUMBER OF PARKING = 199 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 20 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 26 TREES
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = NA
 PROVIDED STREET TREES = NA

REQUIRED VEGETATIVE COVERAGE
 REQUIRED VEGETATIVE COVERAGE = 78,767 SF = 75% OF PROVIDED LANDSCAPE AREA
 A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS
 PROVIDED TOTAL VEGETATIVE COVERAGE = 79,100 SF = 75% OF TOTAL PROVIDED LANDSCAPE AREA
 TREE CANOPY COVERAGE = 59,140 SF
 GROUND PLANT COVERAGE = 19,959 SF = 25% OF REQUIRED VEGETATIVE COVERAGE

PARKING LOT AREA = 154,500 SF
 PARKING LOT LANDSCAPING PROVIDED = 27,100 SF = 17%
 MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

GROUND COVER MATERIAL
 TOTAL ROCK MULCH GROUND COVER = 34,231 SF = 53%
 TOTAL ORGANIC MULCH GROUND COVER = 29,925 SF = 47%
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

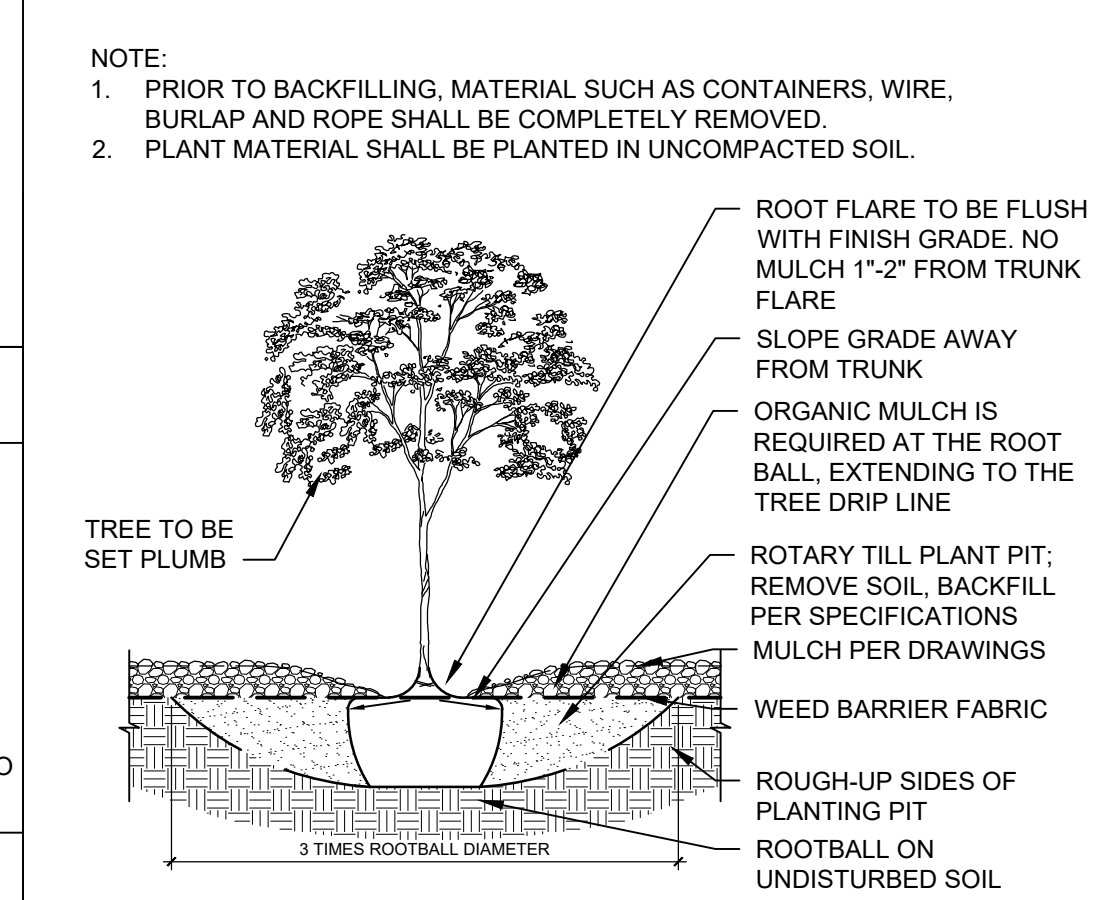
IRRIGATION NOTES

- ALL PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS AND WATER CONSERVATION ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH TURF OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIPLINE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- IRRIGATED NATIVE SEEDING IS USED TO STABILIZE PERIMETER AREAS OF THE SITE WITH NATIVE GRASSES AND SHRUBS AND NATIVE DENSITIES. REGULAR AUTOMATED IRRIGATION WILL BE TURNED OFF AFTER TWO GROWING SEASONS.

TREE PLANTING DETAIL



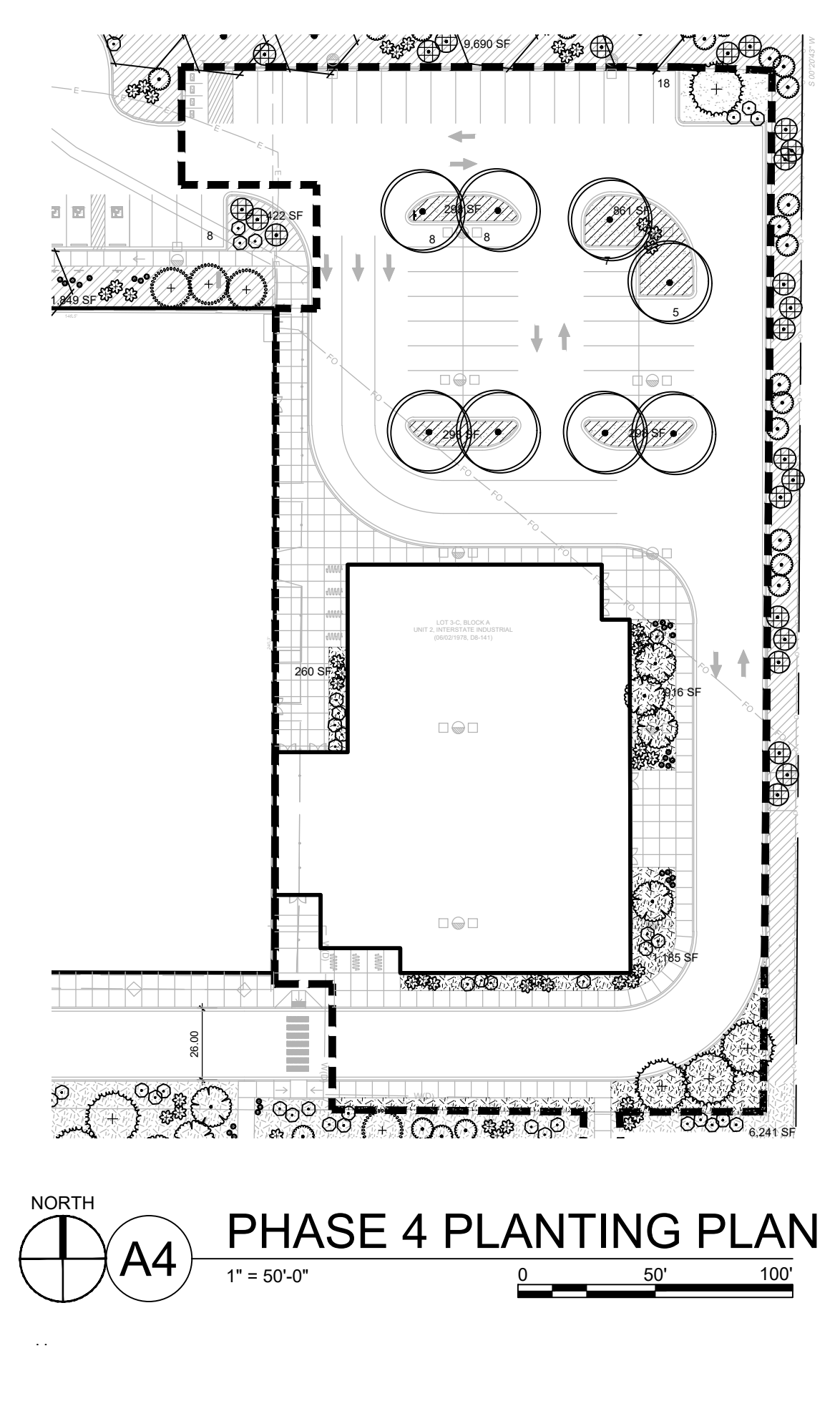
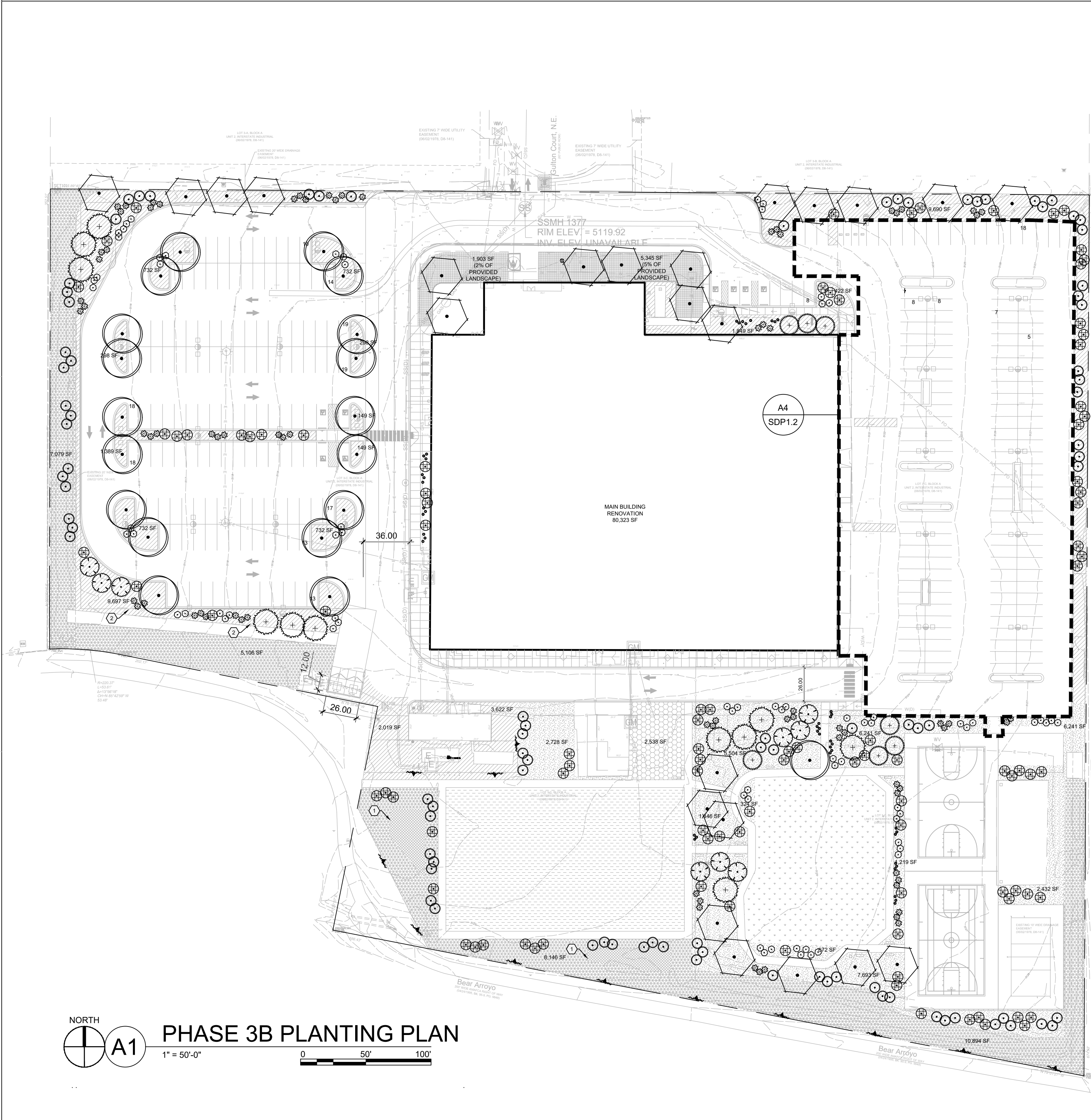
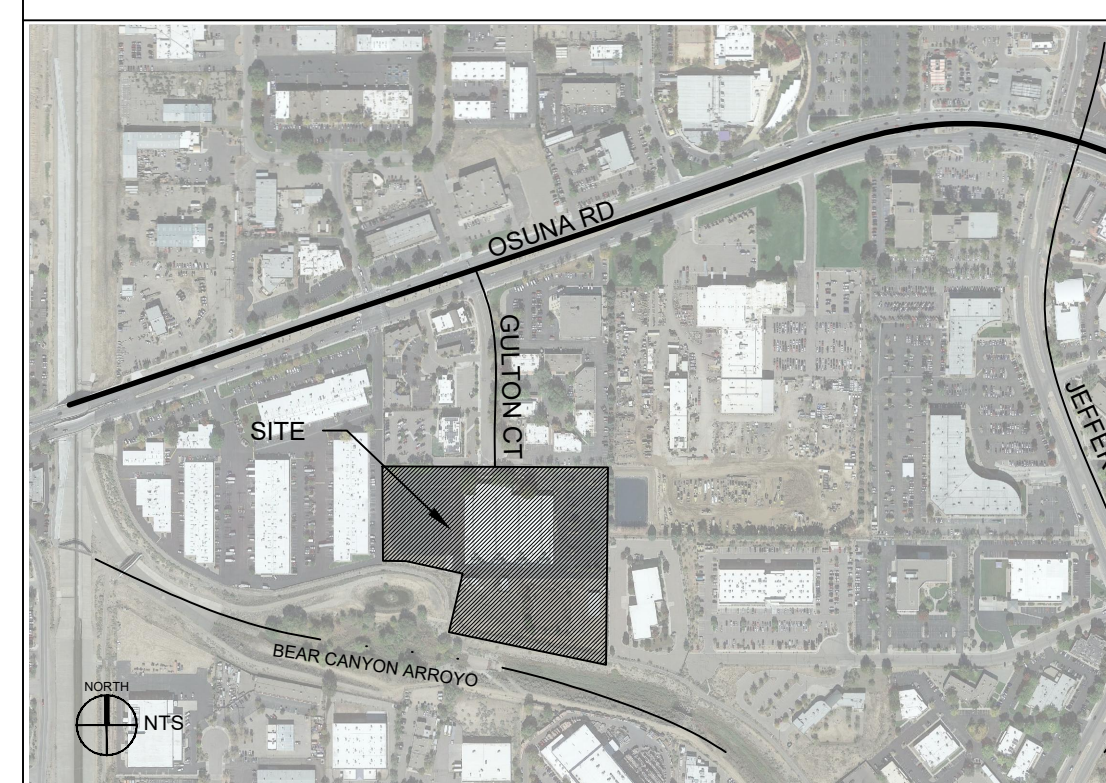
SHEET KEYED NOTES

CODE	DESCRIPTION
1	RETENTION POND
2	PLANTING TO SCREEN PARKING LOT FROM ARROYO

LEGEND

SYMBOL	NOTES
	4" ANGULAR GRAVEL AT 8" DEPTH OVER WEED BARRIER FABRIC
	1/2" ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC
	SHREDDED SCREENED BARK/WOOD MULCH 3" DEPTH OVER FILTER FABRIC
	EXISTING MULTIPURPOSE FIELD TO REMAIN
	EXISTING TURF AREA TO REMAIN
	MULTIPURPOSE FIELD
	IRRIGATED NATIVE SEED MIX BASIS OF DESIGN: GRAVELLY UPLANDS AND SLOPES SEED MIX LISTED IN CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS
	SCHOOL GARDEN
	PROPERTY LINE

VICINITY MAP



ARCHITECTURE
 DESIGN
 INSPIRATION



ARCHITECT
 ENGINEER
 PROJECT

EXPLORE ACADEMY
 GULTON TENANT IMPROVEMENTS
 PHASE III
 6600 GULTON COURT NE
 ALBUQUERQUE, NM 87109

REVISIONS

DRAWN BY	DS
REVIEWED BY	MB
DATE	11/20/20
PROJECT NO.	19-0099.003
DRAWING NAME	

PLANTING
 PLAN

SHEET NO.
SDP1.2
 OF



GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.
- C. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED.
- D. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.
- E. STANDARD PARKING SPACES 9'-0" X 20'-0"
- F. ACCESSIBLE PARKING SPACES 9'-0" X 20'-0", ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.6.
- G. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE FOR ROADWAYS 28' TO 32' WIDE.
- H. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT.
- I. 26' WIDE FIRE ACCESS LANES SHALL BE 3" ASPHALT OVER 4" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS.
- J. SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- K. SITE PLAN TO COMPLY WITH THE 2015 IFC APPENDICES B, C, AND D.

PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A RENOVATION OF AN EXISTING BUILDING FOR A COMBINED MIDDLE SCHOOL AND HIGH SCHOOL. THE ONLY NEW STRUCTURE PROPOSED IS A FUTURE GYM ADDITION. SITE IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO ALTERATIONS TO THE EXISTING PARKING LOT, WIDENING OF THE MAIN VEHICULAR ENTRANCE, SITE LIGHTING, LANDSCAPE, IRRIGATION AND OUTDOOR RECREATION FACILITIES.

PROJECT DATA

SITE ADDRESS: 6600 GULTON CT NE, ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION: "3-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II
SITE AREA: 10 ACRES
EXISTING ZONING: NR-BP
BUILDING AREA
RENOVATION: 80,142 SF
FUTURE GYM EXPANSION: 16,450 SF
TOTAL: 96,592 SF
CONSTRUCTION TYPE: IIB
BUILDING HEIGHT
RENOVATION: 20'-5"
FUTURE GYM EXPANSION: 32'-0"
SPRINKLED: YES
FIRE FLOW: 3,000 GPM
FLOW DURATION: 4HR
HYDRANTS REQUIRED: 3
EXCEPTION TO D104.2: PROJECTS HAVING A GROSS BUILDING AREA OF UP TO 124,000 SQUARE FEET THAT HAVE A SINGLE APPROVED FIRE APPARATUS ACCESS ROAD WHEN ALL BUILDINGS ARE EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS.

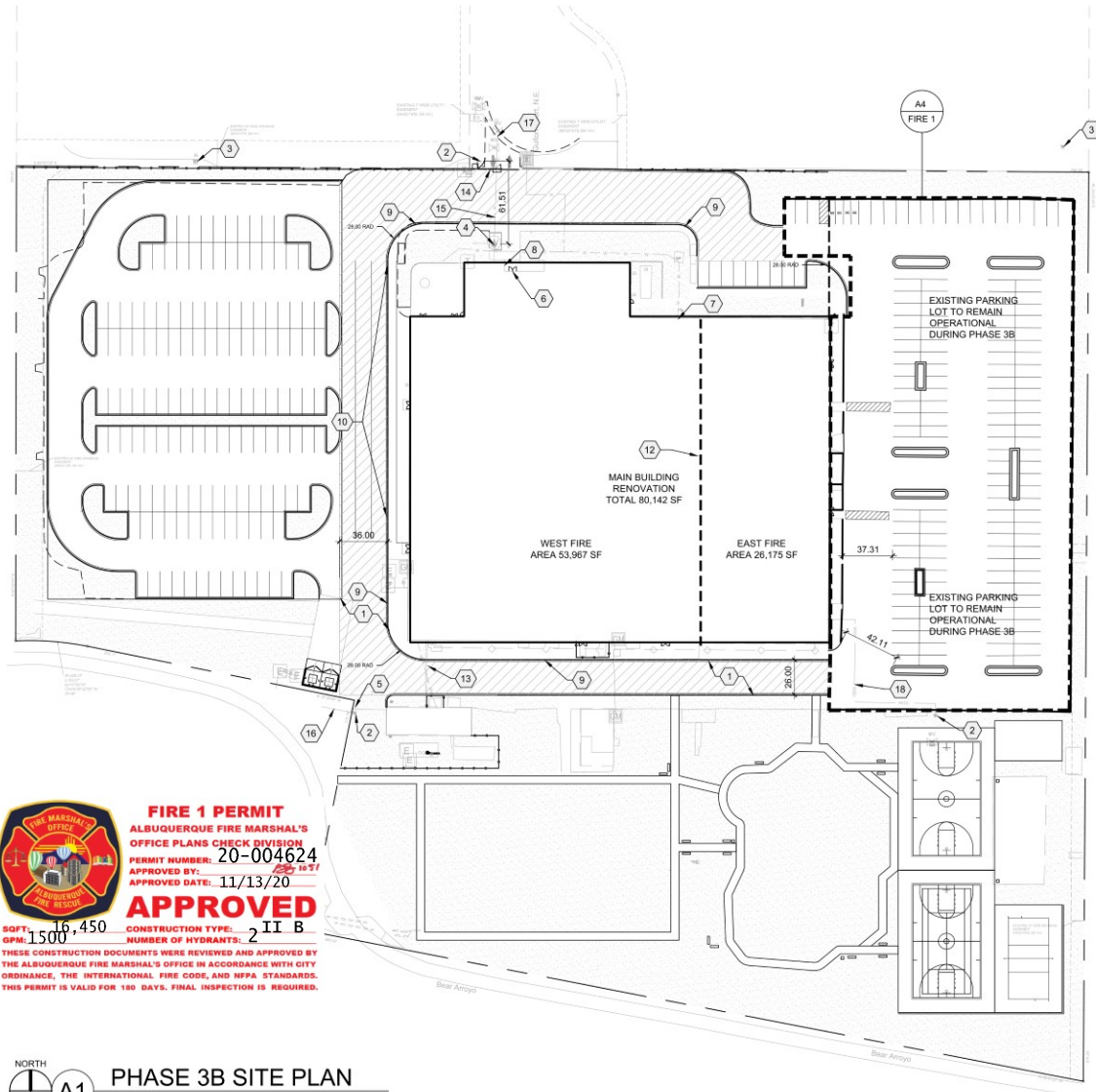
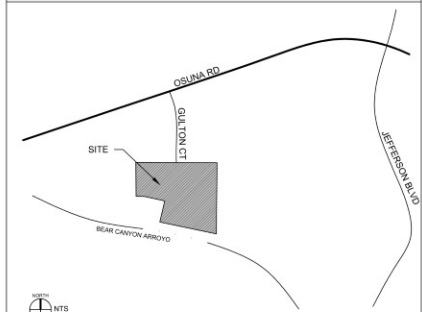
SHEET KEYED NOTES

CODE	DESCRIPTION
1	FIRE LANE, 26' WIDTH STANDARD
2	EXISTING FIRE HYDRANT TO BE USED FOR PROJECT
3	EXISTING OFF SITE FIRE HYDRANT
4	EXISTING FIRE DEPARTMENT CONNECTION (FDC)
5	EXISTING POST INDICATOR VALVE (PIV)
6	PREMISE ID TO BE LEGIBLE AND VISIBLE FROM GULTON CT
7	EXISTING WALL INDICATOR VALVE (WIV)
8	KNOX BOX
9	FIRE LANE STRIPING
10	BUS DROP OFF LOADING ZONE
11	PARENT DROP OFF LOADING ZONE
12	2 HOUR FIRE SEPARATION WALL
13	EXISTING OVERHEAD UTILITY RLIN, 13'-6" MINIMUM VERTICAL CLEARANCE WILL BE MAINTAINED
14	SECURITY GATES WILL INCLUDE AN APPROVED MEANS OF OPERATION TO ALLOW FIRE DEPARTMENT ACCESS
15	10" FIRELINE
16	10" WATER LINE FROM WEST OF PROPERTY
17	8" WATERLINE
18	6" WATERLINE

LEGEND

- PROPERTY LINE
- HEAVY DUTY ASPHALT FOR FIRE ACCESS

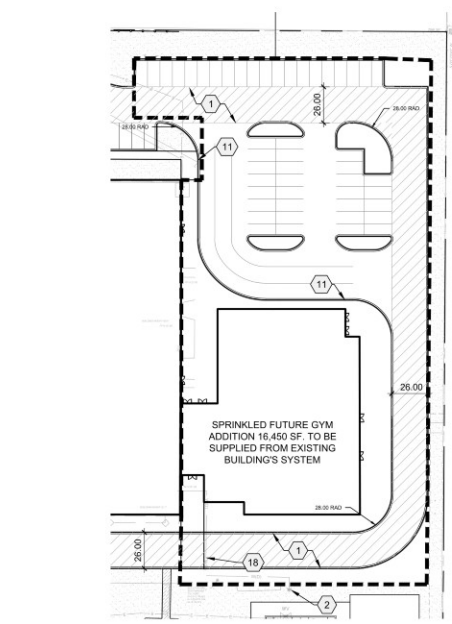
VICINITY MAP



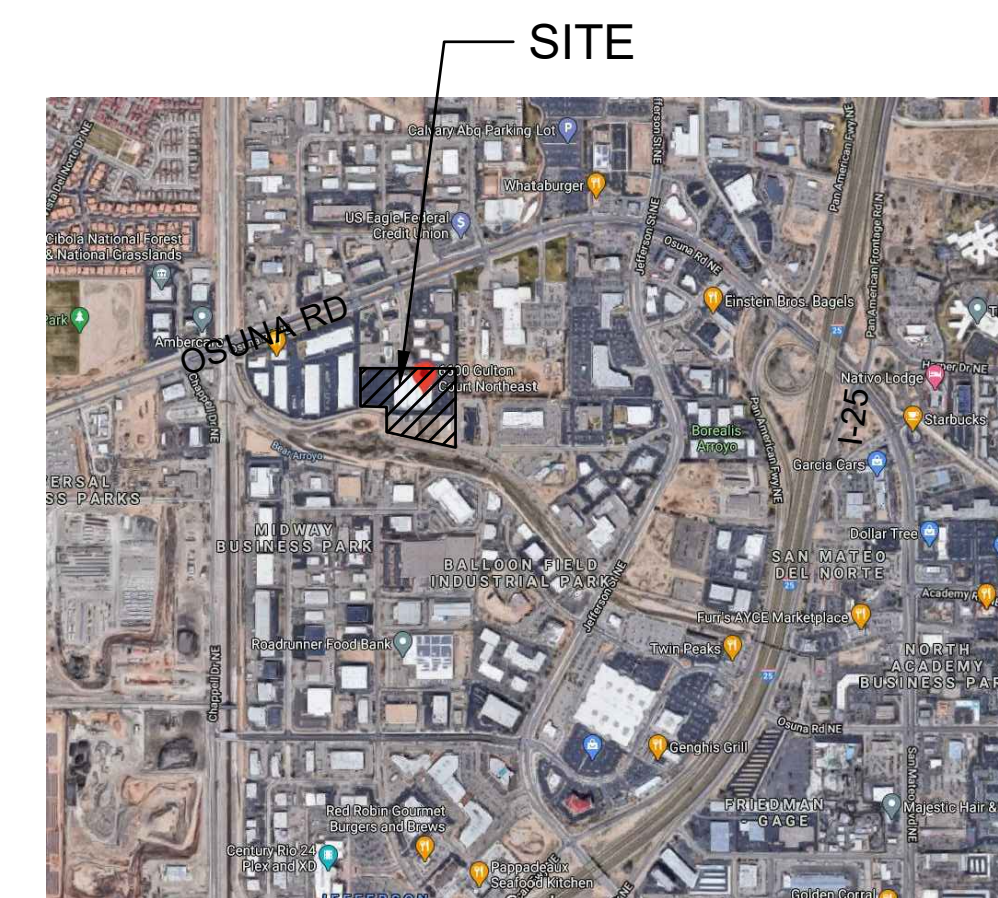
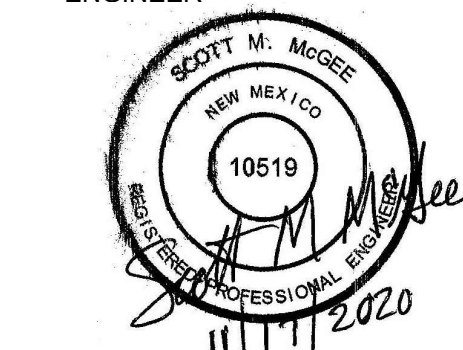
FIRE 1 PERMIT
ALBUQUERQUE FIRE MARSHAL'S
OFFICE PLANS CHECK DIVISION
PERMIT NUMBER: 20-004624
APPROVED BY: [Signature]
APPROVED DATE: 11/13/20
APPROVED
SOFT: 16,450 CONSTRUCTION TYPE: 2 IIB
GPM: 1500 NUMBER OF HYDRANTS: 2

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

A1 PHASE 3B SITE PLAN
1" = 50'-0"



A4 PHASE 4 SITE PLAN
1" = 50'-0"



VICINITY MAP

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- FF=5121.8 PROPOSED BUILDING FINISH FLOOR ELEV
- +36.5 NEW SPOT ELEVATION
- NEW CONSTRUCTION
- TC TOP OF CURB
- FL FLOWLINE
- NEW RETAINING WALL

DRAINAGE ANALYSIS

LEGAL DESCRIPTION: 3-C A REPLAT OF LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II

AREA: 10.0 acres (Project Area: 0.93 Acre = 40,500 SF)

SURVEYOR: Topographic survey by Precision Surveys, Inc. July, 2020

BENCHMARK: AGRS
Monument "ZAB_B" ELEVATION = 5195.09 (NAVD 1988)

FLOOD HAZARD: From FEMA Map Panel 35001C0138H (effective 8/16/12), this site is within Zone 'X'; areas determined to be subject to the 0.2% annual chance flood.

EXISTING CONDITIONS: The site is developed with a 1-story 80,000 SF building, paved parking, and landscaping. An outdoor recreation and grass field area are located at the south side of the site. All site runoff surface flows to the west on both the north and south sides of the building and then collects in an onsite detention pond which ultimately discharges to the Bear Arroyo to the south.

OFFSITE FLOW: No offsite flows enter the project site.

PROPOSED IMPROVEMENTS: The project includes 2 new sports courts (Phase 3B) and a new 16,500 SF gym addition (Phase 4B) on the east side of the building. The building addition replaces existing paved parking.

DRAINAGE APPROACH: The drainage concept honors historic flow patterns. The east addition roof runoff will be directed to the south where it will be collected by 2 new inlets and a private storm drain which discharges to the new onsite retention area shown southwest of the existing building. Runoff from the sports courts will be carried via surface and storm drain west to the retention pond.

RUNOFF: Precipitation Zone 2 (based on the Project Area)
Existing Q = $[(.13)(2.28) + (.12)(3.14) + (.75)(4.70)](0.93 \text{ acre}) = 3.9 \text{ CFS}$
Proposed Q = $[(.05)(2.28) + (.06)(3.14) + (.85)(4.70)](0.93 \text{ acre}) = 4.0 \text{ CFS}$

There is a very minor increase in site runoff which is mitigated by the onsite retention volume which is based on redevelopment.

For the proposed redevelopment area:
SWQ V = $(15,400 + 19,000 \text{ SF})(0.26''/12) = 745 \text{ CF}$
VOLUME PROVIDED = 1,750 CF (@ 2' DEPTH)

REVISIONS

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-
-

DRAWN BY JSK

REVIEWED BY SMM

DATE 11/20/20

PROJECT NO. 19-0099.003

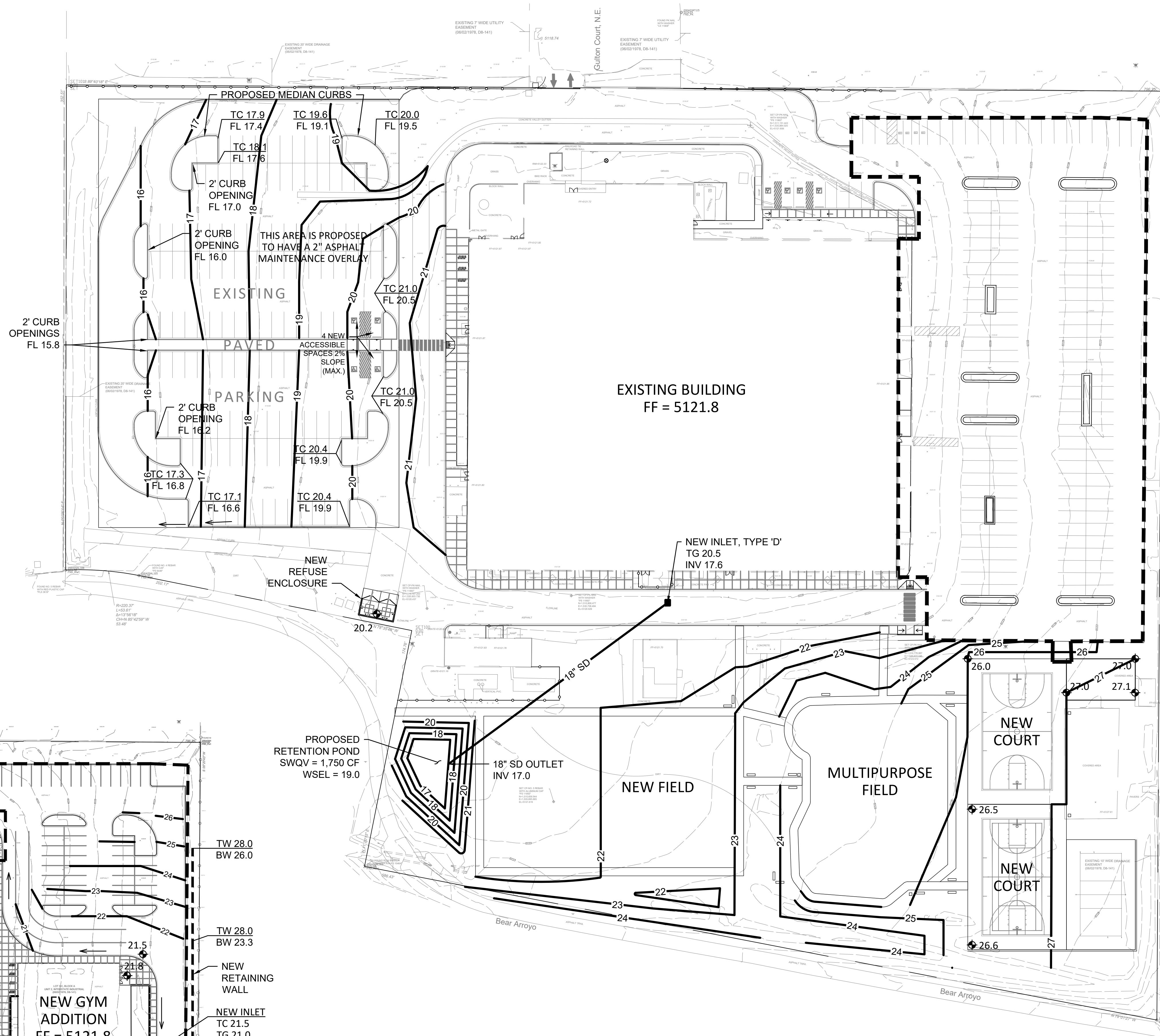
DRAWING NAME

GRADING &
DRAINAGE PLAN

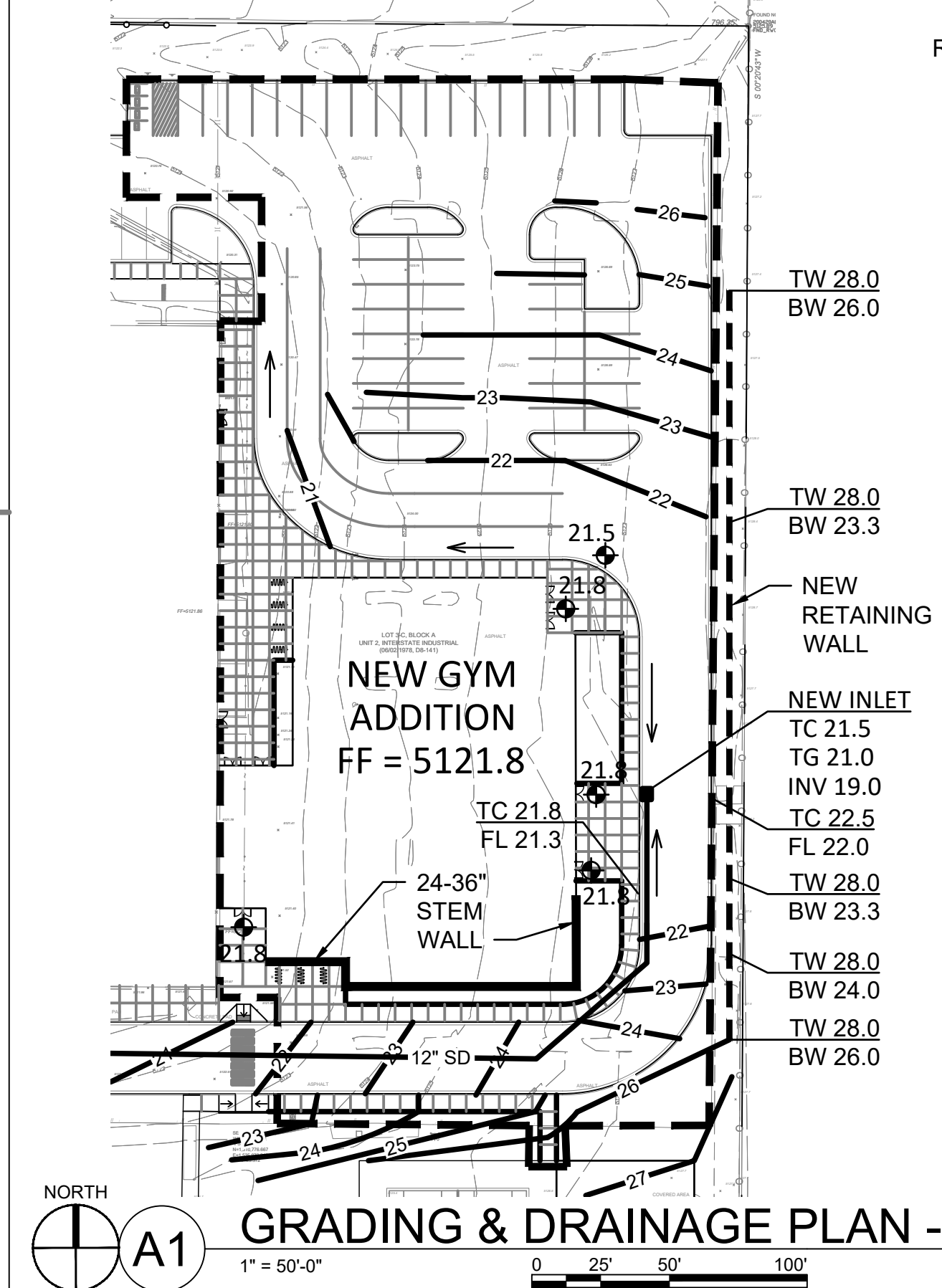
SHEET NO.

C 101

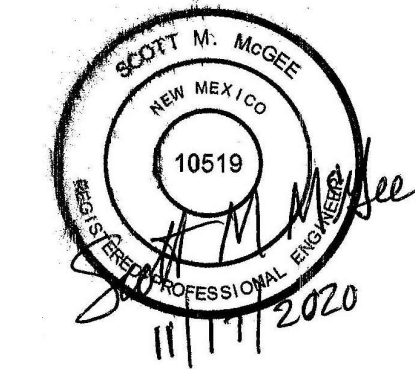
OF



GRADING & DRAINAGE PLAN - PHASE 3B
1" = 40'-0"
0 20' 40' 80'



GRADING & DRAINAGE PLAN - PHASE 4B
1" = 50'-0"
0 25' 50' 100'



EXPLORE ACADEMY
GULTON TENANT IMPROVEMENTS
PHASE III
6800 GULTON COURT NE
ALBUQUERQUE, NM 87109

REVISIONS

- △
- △
- △
- △

DRAWN BY JSK

REVIEWED BY SMM

DATE 11/20/20

PROJECT NO. 19-0099.003

DRAWING NAME

UTILITY PLAN

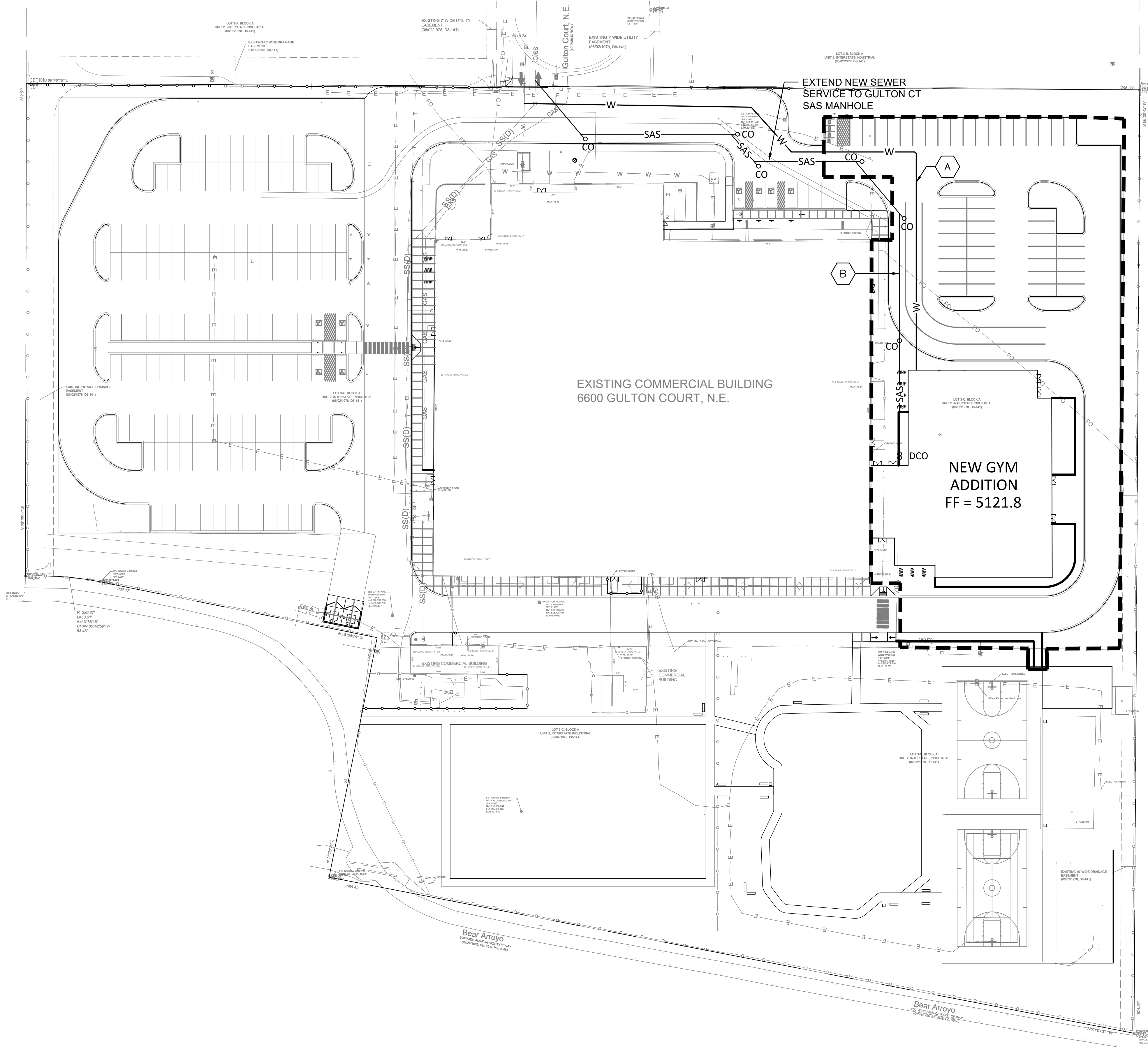
SHEET NO.

LEGEND

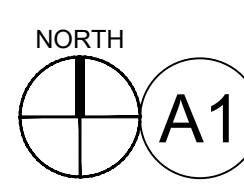
- OVERHEAD ELECTRICAL
- GAS LINE
- CO — CLEAN OUT
- - - W - - - EXISTING WATER LINE
- GAS - - - EXISTING GAS LINE
- SAS - - - EXISTING SEWER LINE
- ELECTRIC LINE
- W — NEW WATER LINE
- SAS — NEW SEWER LINE
- G — NEW GAS LINE
- FH — FIRE HYDRANT

KEYED NOTES

- A. INSTALL NEW 2" DOMESTIC WATER LINE (WITH 2" ISOLATION VALVE AT CONNECTION POINT) FROM EXISTING WATER SERVICE TO BUILDING—SEE PLUMBING PLAN FOR CONTINUATION.
- B. INSTALL NEW SEWER SERVICE FROM BUILDING TO EXISTING 6" PRIVATE SEWER SERVICE NORTH OF THE EXISTING BUILDING.



UTILITY PLAN - PHASE 4B
1" = 40'-0"
0 20' 40' 80'





11/17/20

EXPLORE ACADEMY
GULTON TENANT IMPROVEMENTS
PHASE III
6800 GULTON COURT NE
ALBUQUERQUE, NM 87109

- △
- △
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DRAWN BY ACE

REVIEWED BY FJT

DATE 10/30/20

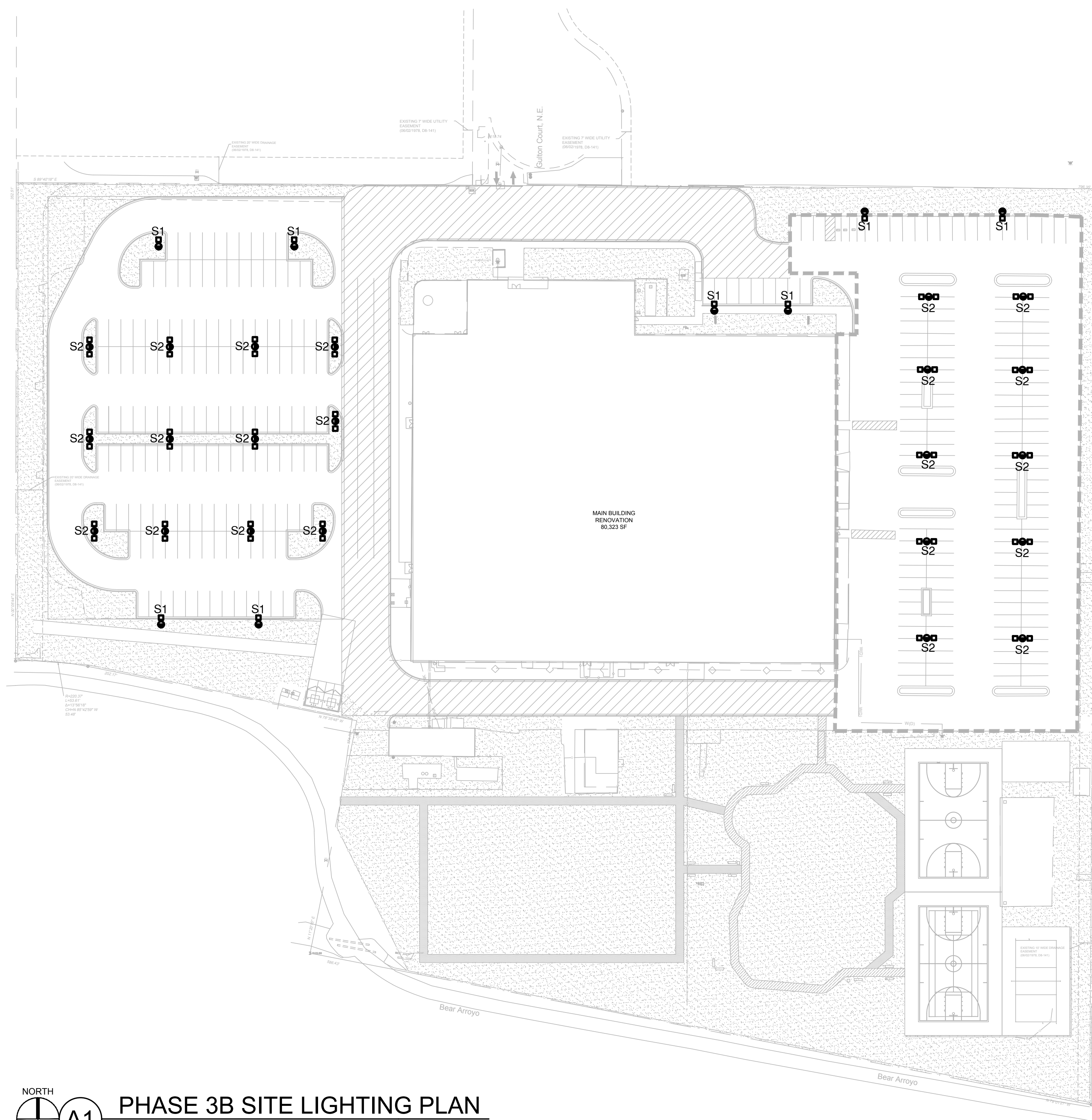
PROJECT NO. 19-0099.003

DRAWING NAME

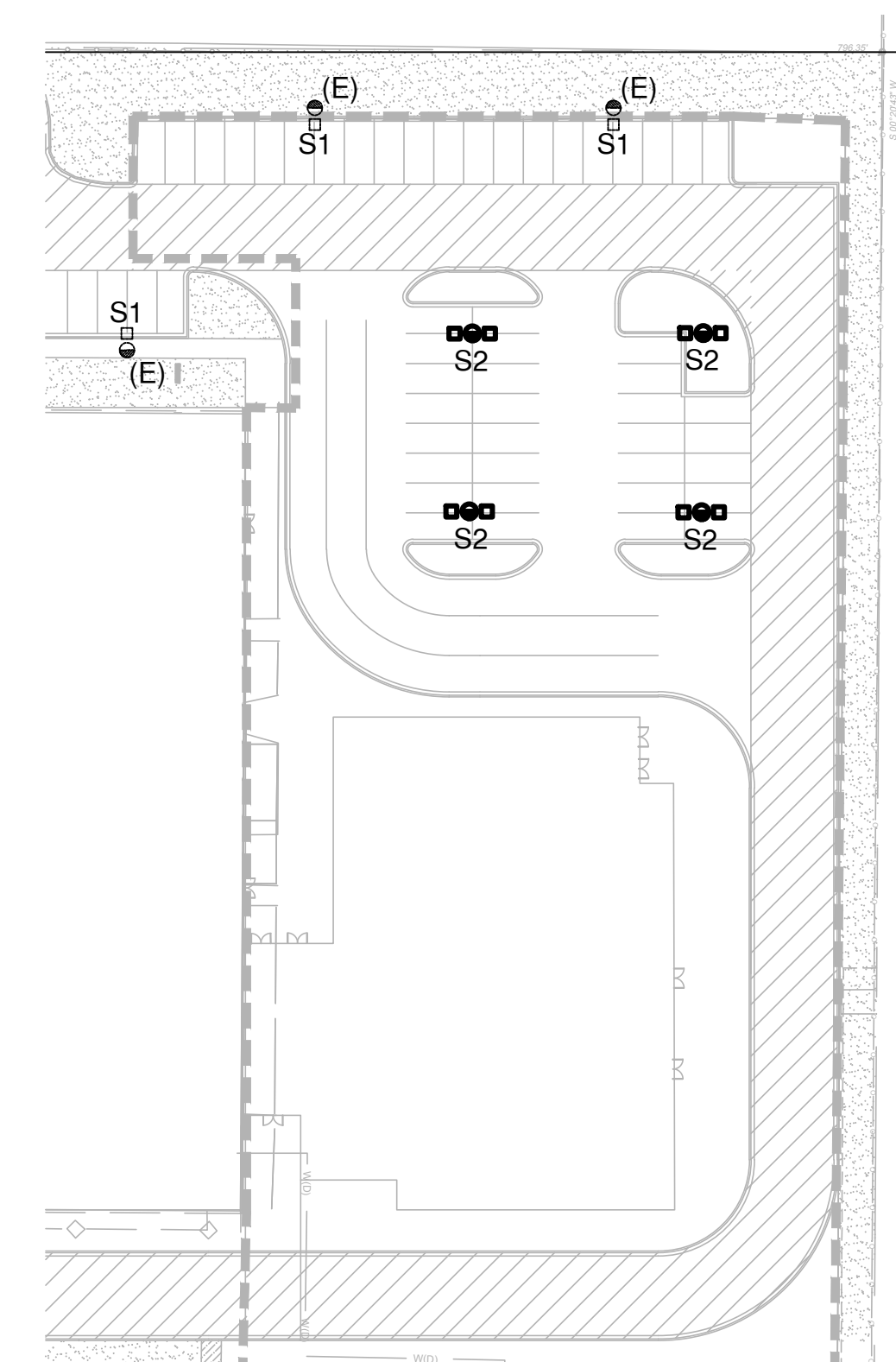
SITE LIGHTING
PLAN

SHEET NO.

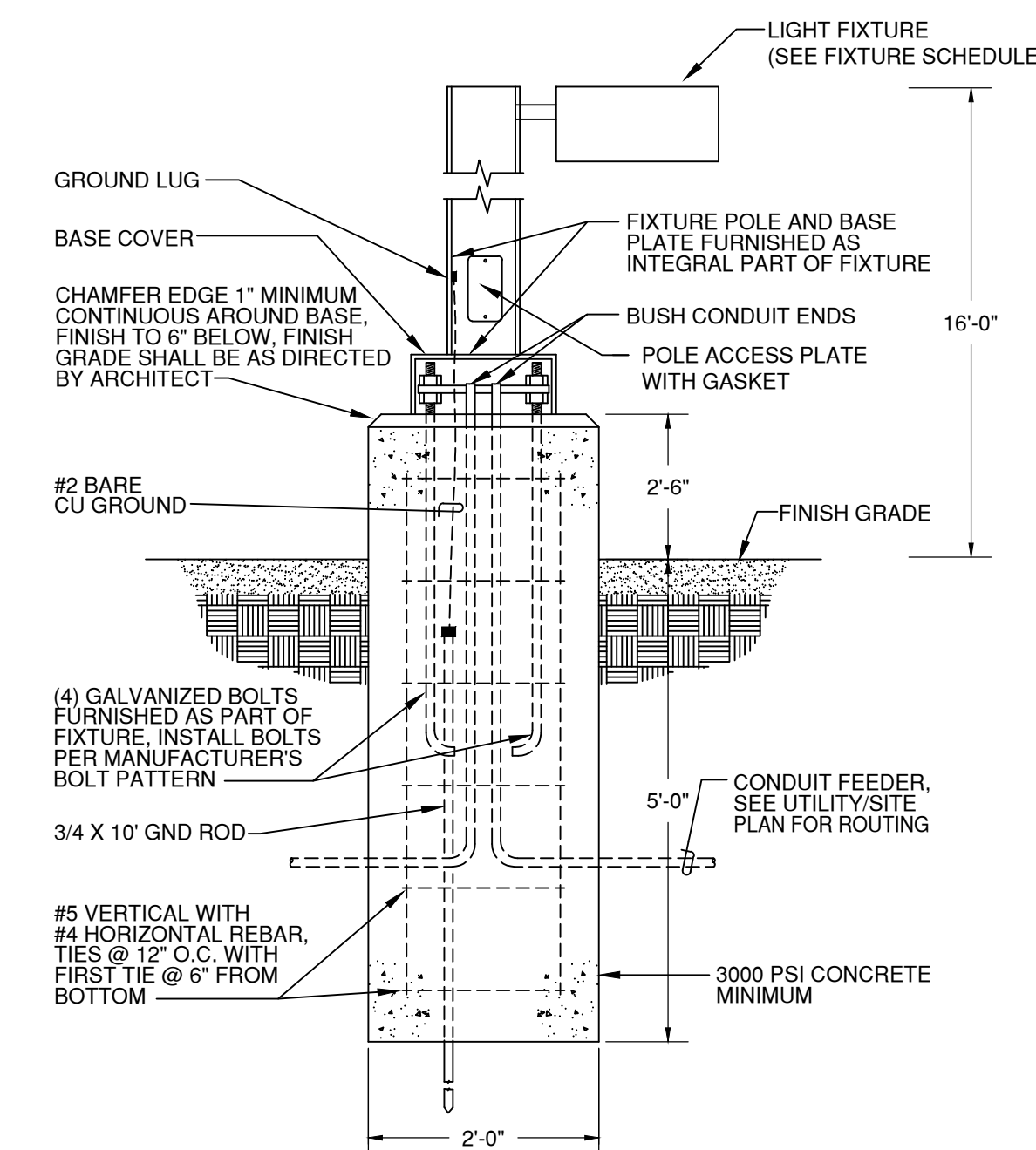
OF



PHASE 3B SITE LIGHTING PLAN
1" = 50'-0"

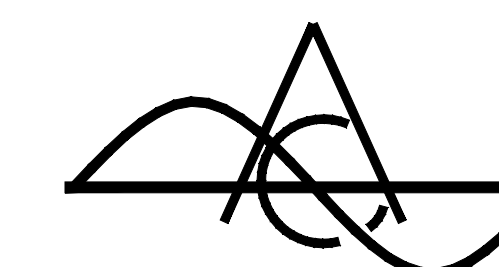


PHASE 4 SITE LIGHTING PLAN
1" = 50'-0"



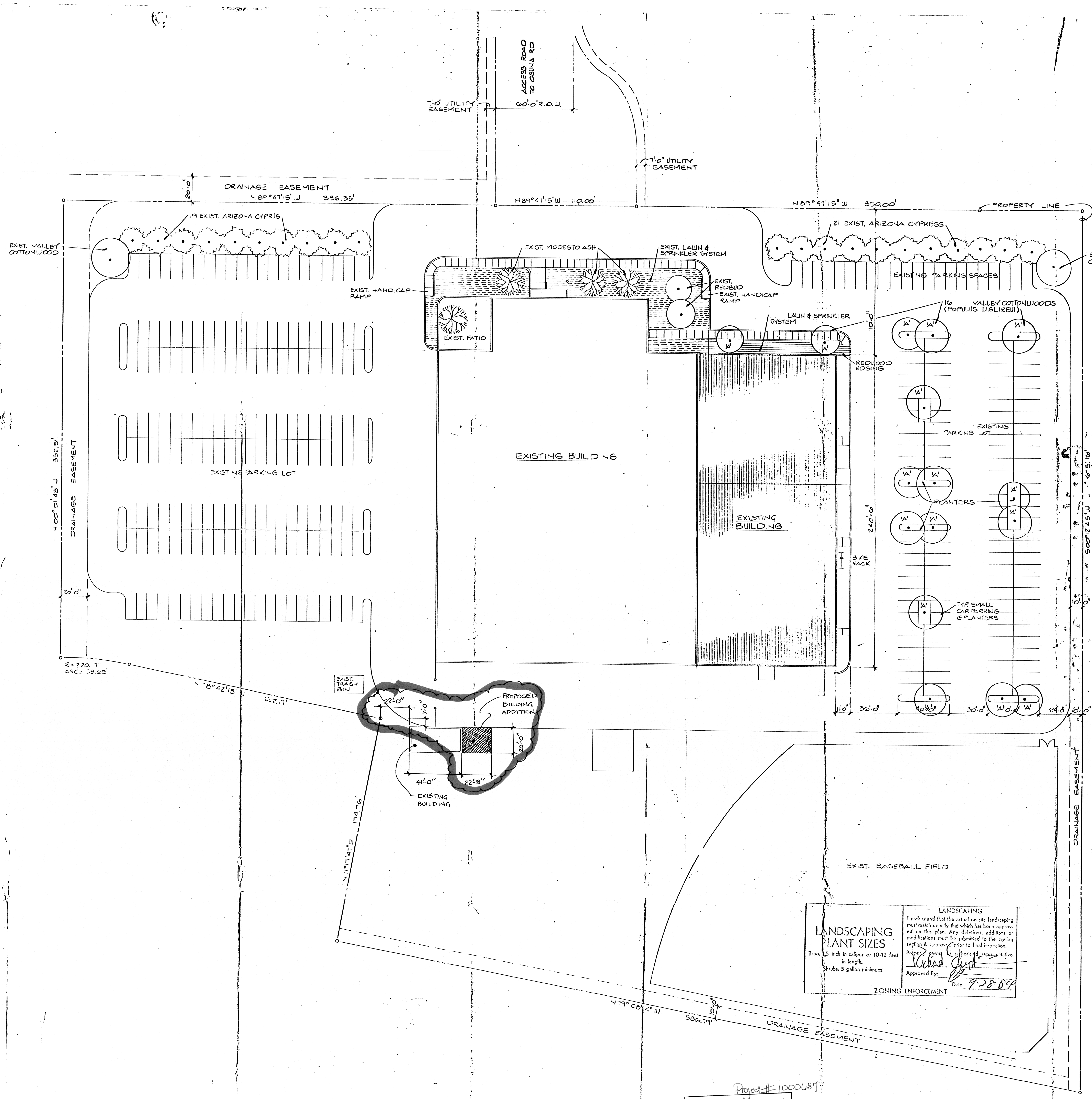
POLE BASE DETAIL FOR PARKING LUMINAIRES
NO SCALE

TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION/ LOCATION	LAMPS		MOUNTING INSTRUCTIONS	REMARKS
				TYPE	LUMENS		
S1	LITHONIA	#DSXO LED P3 40K T4M MVOLT HS	SITE POLE LIGHT & LUMINAIRE	LED	71.0 6417		POLE - SEE DETAIL
S2	LITHONIA	#DSXO LED P3 40K T5M MVOLT HS	SITE POLE LIGHT & DOUBLE LUMINAIRE	LED	142.0 8770		POLE - SEE DETAIL



**AC ENGINEERING
ENTERPRISES, LLC**
120 Aliso Drive, SE
Albuquerque, New Mexico 87108
Phone 505.842.5787
Facsimile 505.842.5797

14 Previous Site Plan Approval



SITE INFORMATION:

LEGAL DESCRIPTION: REPLAT OF LOT 3, BLOCK 'A' UNIT 11, INTERSTATE INDUSTRIAL TRACT, PROPERTY IS LOT 3-C, 10.00 ACRES, PREPARED BY GREEN HERNDON & ASSOC., INC. FOR JACK M. CLIFFORD.

SITE AREA: 10.00 ACRES

EXISTING BUILDING AREA: 53,789 SQ.FT. (1.235 ACRES)

BUILDING ADDITION AREA: 26,114 SQ.FT. (.579 ACRES)

TOTAL BUILDING AREA: 79,903 SQ.FT. (1.814 ACRES)

REQUIRED PARKING SPACES: 18,311 SQ.FT.

EXISTING OFFICE SPACE: 1 SPACE/700 SQ.FT. = 92 SPACES

EXISTING MANUFACTURING: 25,256 SQ.FT.

1 SPACE/71,000 SQ.FT. = 25 SPACES

ADDITION OFFICE SPACE: 7,159 SQ.FT.

ADDITION MANUFACTURING: 13 SPACE/700 SQ.FT. = 36 SPACES

1 SPACE/71,000 SQ.FT. = 16 SPACES

REQUIRED TOTAL NUMBER OF SPACES: 169 SPACES

EXISTING PARKING SPACES PROVIDED: 344 SPACES

EXISTING PARKING SPACES TO REMAIN: 308 SPACES

BUILDING OCCUPANCY: B-2

LANDSCAPING:

EXISTING ASPHALT PAVING: 172,000 SQ.FT.

LANDSCAPING REQUIRED: 17,000 SQ.FT.

EXISTING LANDSCAPING TREED AREAS: 8,000 SQ.FT.

LANDSCAPING PROVIDED: 6,000 SQ.FT.

TOTAL: 14,000 SQ.FT.

EXISTING ASPHALT PAVING TO REMAIN: 146,080 SQ.FT.

ADDITIONAL LANDSCAPING PROVIDED TREED AREAS: 1,720 SQ.FT.

LAND: 1,539 SQ.FT.

TOTAL: 3,259 SQ.FT.

TOTAL LANDSCAPING OF SITE: 17,029 SQ.FT.

Case No. DB-64-588

I certify that this area is zoned I-P and that this plan is consistent with the specified development plan approved by the EPC on _____ and the findings on the official notice have been complied.

Planning Director: *[Signature]* 9/27/84 Date
 City Engineer/Engineering Division/A.H.A.P.C.A.: *[Signature]* 9/25/84 Date
 Traffic Engineer: *[Signature]* 9/27/84 Date
 Water Resources Dept.: *[Signature]* 9-25-84 Date
 Parks & Recreation Dept.: *[Signature]* 9/25/84 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the development manual process.

City Planner: *[Signature]* Date

LANDSCAPING PLANT SIZES

Trees 1.5 inch in caliper or 10-12 feet in length.

Shrubs 5 gallon minimum

LANDSCAPING: I understand that the actual on site landscaping must match exactly that which has been approved on this plan. Any deviations, additions or modifications must be submitted to the zoning section & approved prior to final inspection. Proper signs to be placed at appropriate locations.

Approved By: *[Signature]* Date: 9-28-84

ZONING ENFORCEMENT

Project # 1000681

ADMINISTRATIVE DEVELOPMENT PLAN AMENDMENT

FILE NO. AA-00234-0000 001010

Addendum 13

Approved: *[Signature]* 7/27/84

PLANNING DIRECTOR DATE

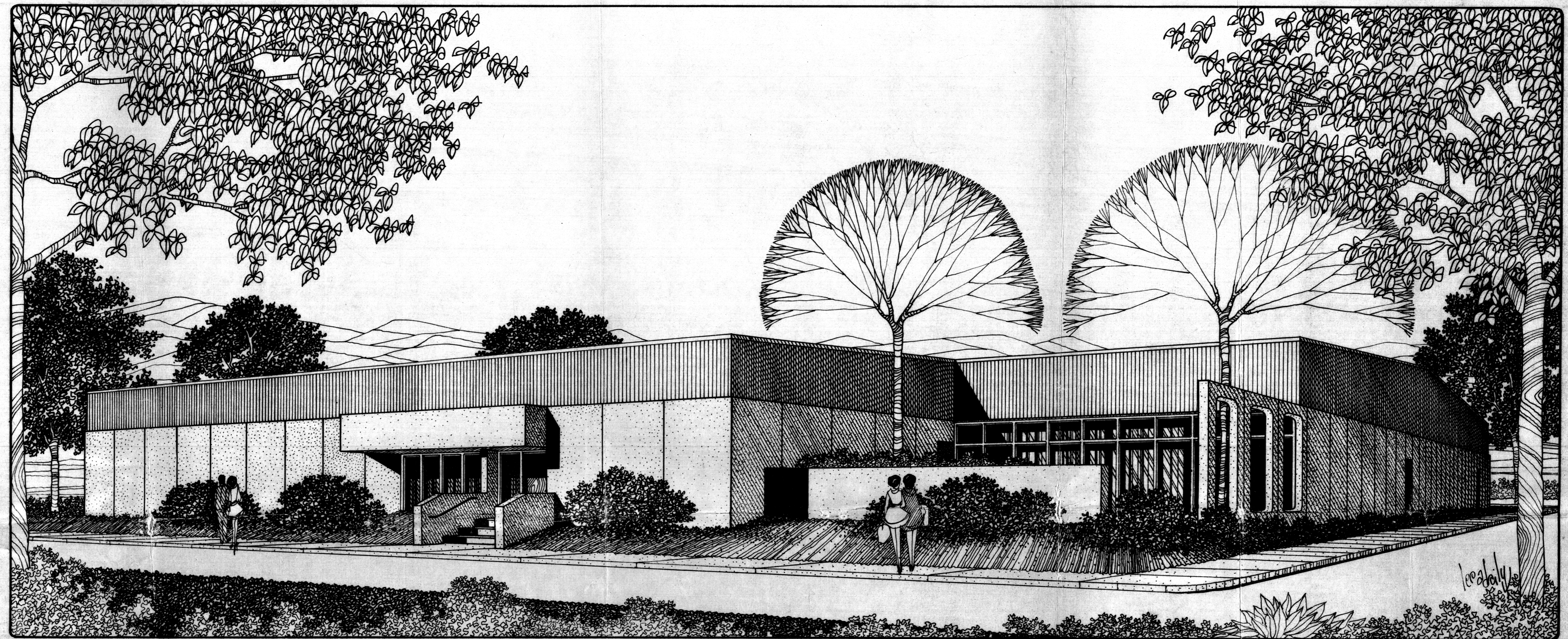
SITE DEVELOPMENT PLAN

1"=30'-0"

GULTON INDUSTRIES, INC.
 PLANT EXPANSION
 1000681

JOB NO 304-17
 DATE: _____
 SHEET: 01

Copy for Zoning
Project # 1000687
00236 0000 00/010
Celso Quintan G. Sre



ALBUQUERQUE FACILITY - GULTON INDUSTRIES

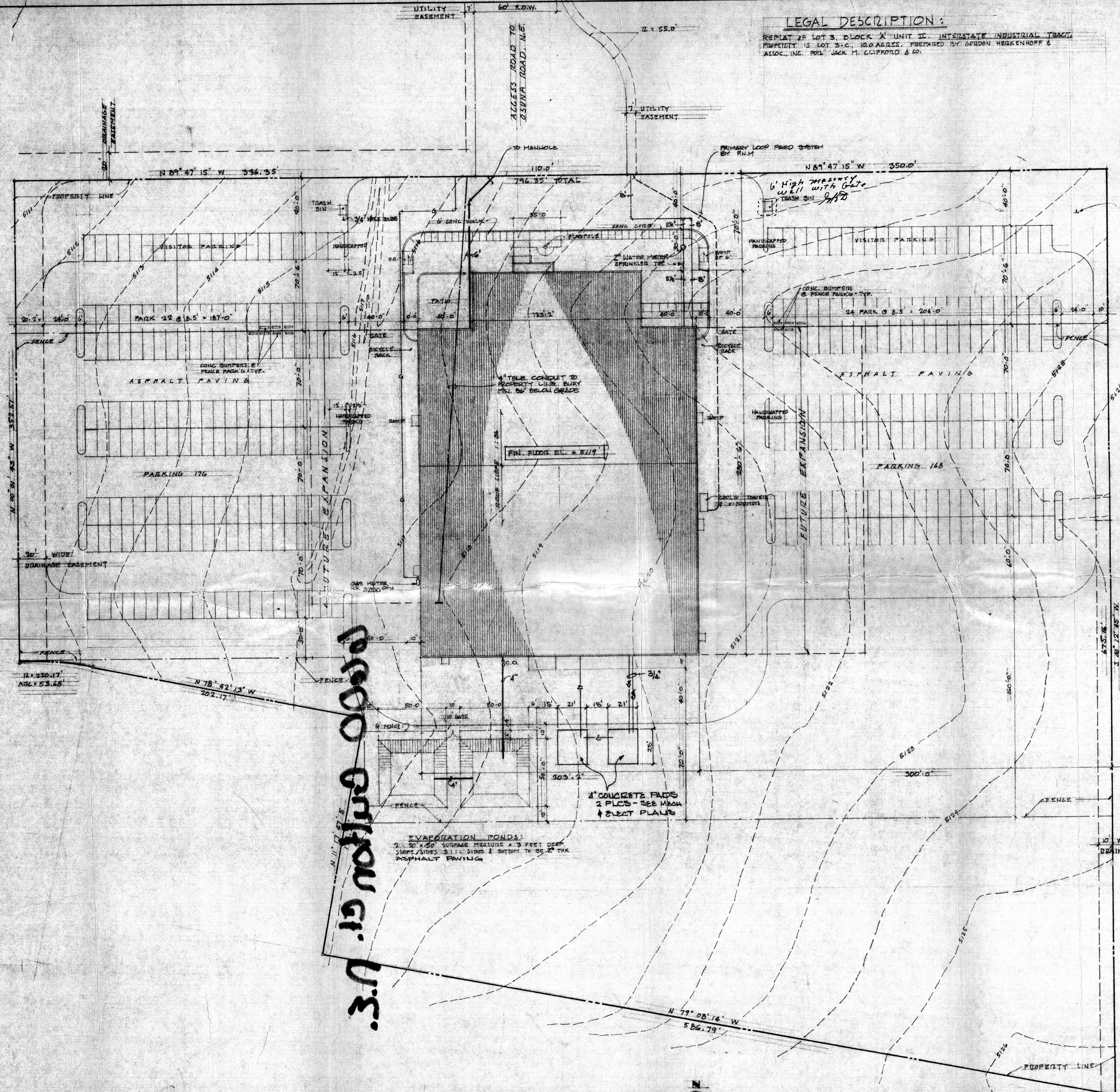
CHANT CORPORATION
albuquerque, new mexico

Development - Plans -

*6600 Gulton ^{ct.}
NE
Development - Plan -*

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. Z-10-61
*Electronic Ass'y
Plant & office*
PLANNING DIRECTOR DATE *7/2/60*

LEGAL DESCRIPTION:
 REPLAT OF LOT 3, BLOCK "A" UNIT II, INTERSTATE INDUSTRIAL TRACT,
 COMPLETELY IS LOT 3-C, 10.0 ACRES, PREPARED BY FREDON HEIKENHOFF &
 ASSOC., INC. FOR JACK M. CLIFFORD & CO.



3.19 not on G.I. U.S.

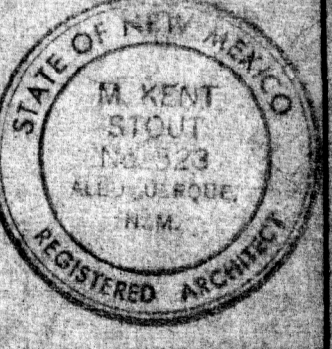
CHANT CORP. - DEVELOPER & CONT'G
 ALBUQUERQUE, NEW MEXICO

FILE ZONE - 3
 SEISMIC ZONE - 2
 TYPE OF CONST. - I I N
 AREA - 53,789 S.F.
 OCCUPANCY GROUP - B-2
 OCCUPANT LOAD - 300

BUILDING IS A FIRE-ENGINEERED METAL BLDG W/
 11" HIGH CONC PANELS & 5" METAL SIDING & GABLE ENDS.
 LONG-RAY BEAM & COLUMN TYPE MPGD BY ALMCO
 STEEL CORP., MIDDLETOWN, OHIO.

DESIGN LOADINGS:
 LIVE LOAD - 20 PSF
 WIND LOAD - 25 PSF
 COLLATERAL LOAD - +5 PSF
 NOTE: BUILDING IS FULLY SPRINKLERED W/ WET SYSTEM

DATE: JUNE 4, 1978
 REVISIONS: 7-21-78 RES



SITE PLAN



SCALE 1" = 50'-0"

APPROVED BY:

FOR GULTON INDUSTRIES

ELECTRONICS ASSEMBLY PLANT & OFFICE BLDG

FOR GULTON INDUSTRIES, INC.

M. KENT STOUT - ARCHITECT
 457 - B. WASHINGTON S.E., ALBUQ., N.M. 87106

265-2335 6-6-78

CS 1

6600 Gulton Ct. N.E.