



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2020-004708

Application No. SI-2020-001411

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: _____ HEARING DATE OF DEFERRAL: 2/10/21

SUBMITTAL

DESCRIPTION: _____

Submittal contains revised SDP1.1, SDP1.2 and SDP2.1 sheets and new sheet SDP1.3. Submittal also includes response letter, revised infrastructure list, infrastructure improvements agreement SIA-2B, and revised easement exhibit.

CONTACT NAME: Drew Seavey, ASLA

TELEPHONE: (505) 400 8446 EMAIL: drews@dpsdesign.org

Explore Academy

Dear Ms. Wolfley,

This letter outlines the modifications that have been made to the Explore Academy application to amend their site development plan (PR-2020-004708) to address the agency comments that were received.

Planning Department Comments:

1. Includes an Infrastructure List. A recorded Infrastructure Improvements Agreement must be obtained by staff prior to final sign off.

Please see attached infrastructure improvements agreement.

Parks and Recreation Comments:

1. PRD appreciates protection of existing trees. New proposed trees are primarily on the Official Albuquerque Plant Palette except the Frontier Elm and Emerald Sunshine Elm. Property is adjacent to existing multi-purpose trail to the south – there shall be no encroachment during or after construction. The submitted paper easement includes the trail and 2-ft from the trail (as originally commented). The PRD manager of the trail crew commented that PRD typically maintains 5-ft from the trail due to the dimension of the equipment. At the corner of this property, PRD provides maintenance up to the fence-line. PRD is interested in revising the easement for either 5-ft from the trail or to the fence-line depending on which is more acceptable to the Board. PRD is willing take delegation for this update to the easement.

Regarding the hybrid elm species, they are not listed in the Official Albuquerque Plant Palette and Sizing List but are listed in the ABCWUA Xeriscape Plant list. Frontier elm and Emerald Sunshine elm are both listed as medium water use. We have previously used both of these hybrid elms to comply with IDO landscape requirements but will certainly change out these tree species if required by City staff.

The requested modifications to the easement boundaries have been made and easement language is being crafted to address both the City's and AMAFCA's comments regarding access and maintenance. Please see attached easement exhibit.

Hydrology Comments:

1. Comment - An approved Grading and Drainage Plan is required prior to Building Permit.

The design team is aware of this requirement. A grading and drainage plan is underway.

Transportation Development Comments:

1. Place required striping on Gulton Court onto the infrastructure list per approval letter for TIS.

Please see attached revised infrastructure list.

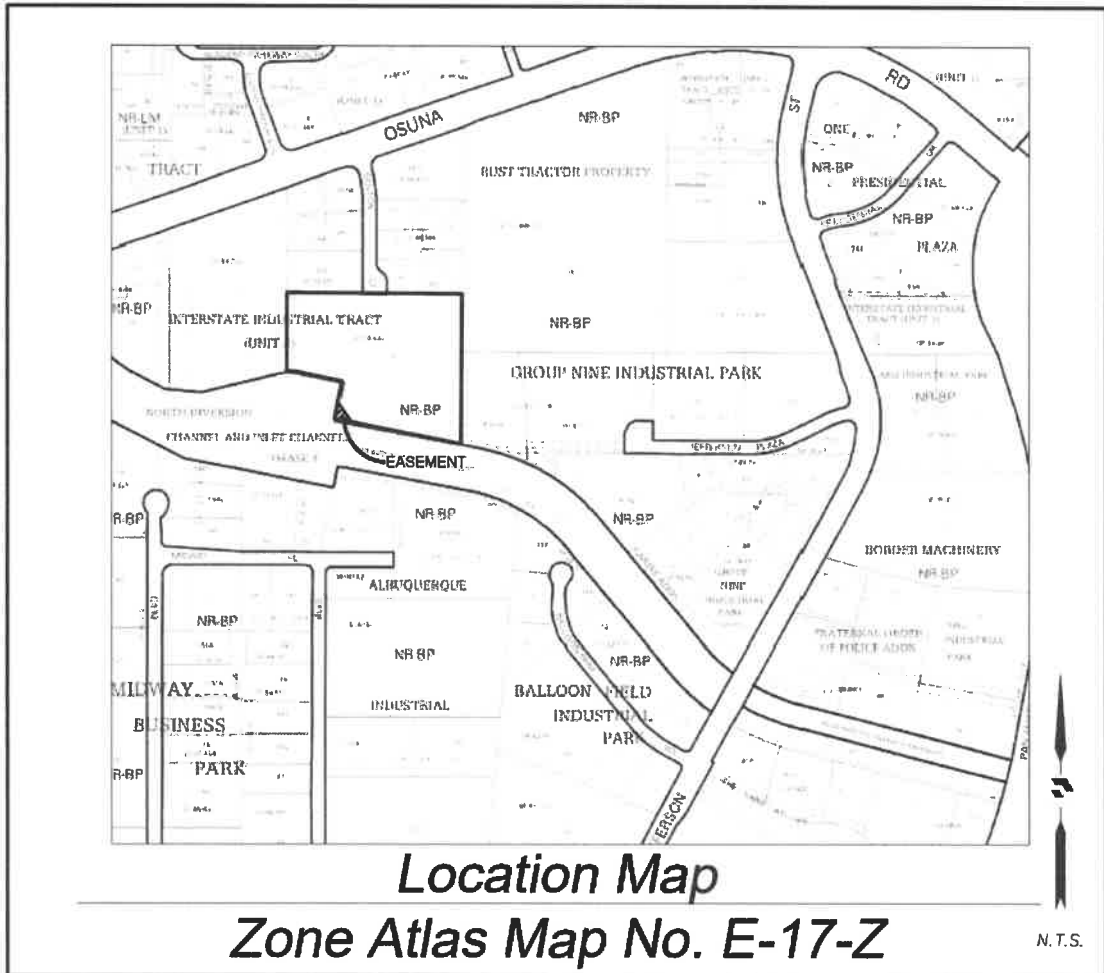
2. Any striping for the bus drop-offs shall be labeled with lane widths shown. Include sign detail for sign shown not to obstruct the pedestrian path to the west of the school; follow MUTCD standards. Also include lane widths for striping and signage for bus drop-offs.
See revised SDP1.1 and SDP1.2.
3. Include signage for bus drop-offs and any parent or employee parking. Sign details shall be included on the detail sheet.
See revised SDP1.1 and SDP1.2.
4. List curb radii within parking lot on east side of school, even if much of this is existing.. Also along the east side, show typical dimensions of parking spaces, doorway entrances, and existing pedestrian path widths.
See revised SDP1.1.
5. Clarify if sidewalk is flush with curb along west side of school. If not, curb ramps need to be identified at this location.
See revised SDP1.1.
6. Dimension landscape medians within parking lot.
See revised SDP1.1.
7. Bike Rack detail shall meet IDO standards. Bike rack detail appeared to be missing on detail sheet.
See revised SDP1.2.
8. Within Gulton Court, show how pedestrian paths tie in with existing sidewalk. Dimension sidewalk and crosswalks within Gulton Court and to the school site. Label existing sidewalk widths and drivepads. Also show property lines at this location.
See new sheet SDP1.3.
9. For the entrance to the site, pinned curb is shown. Provide a detail for this. What is the purpose of this pinned curb? It seems to obstruct traffic.
See new sheet SDP1.3. The pinned curb was originally included to protect the gate equipment. This has been changed to striping and bollards have been added to protect the gate equipment.
10. For one-way aisles, ingress and egress, include "Do Not Enter", "One-way" signs, and directional pavement arrows as necessary. Also clarify when gates are open.
See revised SDP1.1 and SDP1.2.
11. Given the configuration of the accessways, please demonstrate turning template movements for buses as they drive through the site. Call out accessway widths.
Egress to Gulton Ct has been widened to accommodate bus traffic. See new sheet SDP1.3
12. The handicapped spot immediately east of the egress to Gulton Court does not have a safe place to back out. Parking may need to be shifted if there is no place to place a keyway.
See revised SDP1.1. One parking space was deleted and striping was added to provide space for backing out of the accessible parking space in question.
13. Label all pavement arrows on-site.
See revised SDP1.1.
14. Where is the motorcycle parking?
See revised SDP1.1.
15. Call out handicapped signage and motorcycle parking with keyed notes on the plan.
See revised SDP1.1.

We believe that these modifications to the Site Development Plan have addressed the agency comments received to date. Please contact me if you have any questions or concerns.

Sincerely,

Drew Seavey, ASLA
Dekker/Perich/Sabatini Ltd.

EXHIBIT "A"



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS EXHIBIT FOR EASEMENT SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR THIS CLASSIFICATION OF SURVEY AS PER THE MINIMUM STANDARDS FOR LAND SURVEYING IN NEW MEXICO AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Larry W. Medrano 02/05/2021
 LARRY W. MEDRANO DATE
 N.M.S.S. No. 11993



Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5 DAY OF February 2021 BY LARRY W. MEDRANO, PRESIDENT, PRECISION SURVEYS, INC.

BY *Jonette M. Medrano* MY COMMISSION EXPIRES: 8-19-24
 NOTARY PUBLIC



OFFICIAL SEAL
JONETTE M. MEDRANO
 NOTARY PUBLIC, STATE OF NEW MEXICO

MY COMMISSION EXPIRES 8-19-24

RECORDING STAMP

PRECISION SURVEYS, INC.

OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
 505.856.5700 PHONE
 505.856.7900 FAX

COORDINATE AND DIMENSION INFORMATION			PLSS INFORMATION				PROJECT INFORMATION		INDEXING INFORMATION
STATE PLANE ZONE NM-C	GRID/GROUND COORDINATES GRID	TYPE: STANDARD	LAND GRANT ELENA GALLEGOS GRANT				CREW/TECH: MT/AL	DATE OF SURVEY 04/20-27/2020	PROPERTY OWNER ARETZ 6600 GULTON LLC
HORIZONTAL DATUM: NAO83	VERTICAL DATUM: NAVO88	ROTATION ANGLE: 0° 00' 00.00"	SECTION 26	TOWNSHIP 11 NORTH	RANGE 3 EAST	MERIDIAN NMPM	DRAWN BY: JK	CHECKED BY: LM	SUBDIVISION NAME INTERSTATE INDUSTRIAL TRACT, UNIT 2
CONTROL USED ALBUQUERQUE GEODETIC REFERENCE SYSTEM			CITY ALBUQUERQUE	COUNTY BERNALILLO	STATE NM	PSI JOB NO. 204042EX	SHEET NUMBER 1 OF 3	UPC 101706211825520115	
COMBINED SCALE FACTOR GRID TO GROUND: 1.0003269183 GROUND TO GRID: 0.9996731885			DISTANCE ANNOTATION: GROUND		BEARING ANNOTATION: GRID				

EXHIBIT "A"

Legal Description

A EASEMENT LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF A PORTION OF LOT 3-C, BLOCK A, UNIT 2, INTERSTATE INDUSTRIAL TRACT, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK BERNALILLO COUNTY ON JUNE 2, 1978, IN MAP BOOK D8, PAGE 141, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (U.S. SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED EASEMENT, LYING ON THE NORTH RIGHT OF WAY OF THE BEAR ARROYO AMAFCA RIGHT OF WAY, MARKED BY A FOUND ROW MARKER "AMAFCA R/W-PS 10464", FROM WHENCE A TIE A.G.R.S. MONUMENT "NDC_12_1D2" BEARS S 87°39'28" W, A DISTANCE OF 1383.39 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE, N 11°20'15" E, A DISTANCE OF 96.19 FEET TO THE NORTHERLY MOST CORNER OF DESCRIBED EASEMENT;

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 11°20'15" E, A DISTANCE OF 96.19 FEET TO THE SOUTHEAST CORNER OF DESCRIBED EASEMENT, LYING ON SAID NORTH RIGHT OF WAY LINE;

THENCE N 79°01'27" W, A DISTANCE OF 74.30 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0820 ACRES (3,573 SQUARE FEET), MORE OR LESS.



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Albuquerque, NM 87113

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COORDINATE AND DIMENSION INFORMATION			PLSS INFORMATION				PROJECT INFORMATION		INDEXING INFORMATION
STATE PLANE ZONE: NM-C	GRID / GROUND COORDINATES: GRID	TYPE: STANDARD	LAND GRANT ELENA GALLEGOS GRANT				CREW/TECH: MT/AL	DATE OF SURVEY 04/20-27/2020	PROPERTY OWNER ARETZ 6600 GULTON LLC
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	SECTION 26	TOWNSHIP 11 NORTH	RANGE 3 EAST	MERIDIAN NMPM	DRAWN BY: JK	CHECKED BY: LM	SUBDIVISION NAME INTERSTATE INDUSTRIAL TRACT, UNIT 2
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM		BASE POINT N = 0 E = 0	CITY ALBUQUERQUE	COUNTY BERNALILLO	STATE NM	PSI JOB NO. 204042EX	SHEET NUMBER 2 OF 3	UPC 101706211825520115	
COMBINED SCALE FACTOR: GRID TO GROUND: 1.0003269183 GROUND TO GRID: 0.9996731885		DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GRID							

EXHIBIT "A"

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
	FOUND RIGHT OF WAY T-RAIL AS DESIGNATED
	WATER VALVE
	SIGN
	CHAIN LINK FENCE
	EDGE OF ASPHALT

A.G.R.S. MONUMENT "NDC_11_9"
STANDARD AMAFCA BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,511,773.959 US SURVEY FEET
E=1,534,150.87 US SURVEY FEET
PUBLISHED EL=NOT PUBLISHED
GROUND TO GRID FACTOR=0.999673449
DELTA ALPHA ANGLE=-0°12'16.93"

Bear Canyon Arroyo
200' WIDE AMAFCA RIGHT OF WAY
(04/24/1995, BK. 95-9, PG. 9848)

LOT 3-C, BLOCK A
UNIT 2, INTERSTATE INDUSTRIAL
(06/02/1978, D8-141)

PERMANENT A.M.A.F.C.A. AND CITY
OF ALBUQUERQUE PUBLIC TRAIL
EASEMENT GRANTED BY THIS
DOCUMENT. AREA=0.0820 ACRES±
3,573 SQ. FT.±

A.G.R.S. MONUMENT "NDC_12_1D2"
STANDARD AMAFCA BRASS DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,510,553.426 US SURVEY FEET
E=1,534,176.519 US SURVEY FEET
PUBLISHED EL=NOT PUBLISHED
GROUND TO GRID FACTOR=0.999672928
DELTA ALPHA ANGLE=-0°12'16.66"

Bear Canyon Arroyo
200' WIDE AMAFCA RIGHT OF WAY
(04/24/1995, BK. 95-9, PG. 9848)



SCALE: 1" = 20'



COORDINATE AND DIMENSION INFORMATION			PLSS INFORMATION				PROJECT INFORMATION		INDEXING INFORMATION	
STATE PLANE ZONE: NM-C	GRID / GROUND COORDINATES: GRID	TYPE: STANDARD	LAND GRANT ELENA GALLEGOS GRANT				CREW/TECH: MT/AL	DATE OF SURVEY 04/20-27/2020	PROPERTY OWNER ARETZ 6600 GULTON LLC	
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	SECTION 26	TOWNSHIP 11 NORTH	RANGE 3 EAST	MERIDIAN NMPM	DRAWN BY: JK	CHECKED BY: LM	SUBDIVISION NAME INTERSTATE INDUSTRIAL TRACT, UNIT 2	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM			CITY ALBUQUERQUE	COUNTY BERNALILLO	STATE NM	PSI JOB NO. 204042EX	SHEET NUMBER 3 OF 3	UPC 101706211825520115		
COMBINED SCALE FACTOR: GRID TO GROUND: 1.0003269183 GROUND TO GRID: 0.9996731885			DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GRID							

INFRASTRUCTURE LIST

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 1/28/2021
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: PR-2020-004708
DRB Application No.: SI-2020-001411

INFRASTRUCTURE LIST

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**3-C REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**3-C REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>	STD	WEST-BOUND LEFT TURN LANE LENGTHEN TO 250'	OSUNA RD NE	GULTON CT	250' EAST	/	/	/
<input type="text"/>	<input type="text"/>	6'	PUBLIC SIDEWALK	GULTON CT NE	NORTH R/W LINE		/	/	/
<input type="text"/>	<input type="text"/>	14'	EXIT DRIVEWAY	GULTON CT NE	NORTH R/W LINE		/	/	/
<input type="text"/>	<input type="text"/>	STD	LANE STRIPING AND MARKINGS	GULTON CT NE	SOUTH OF OSUNA		/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA
Street Lights per City Requirements

- 1 _____

- 2 _____

- 3 _____

AGENT / OWNER

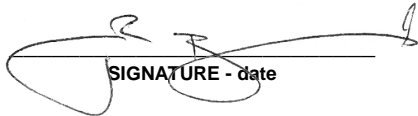
DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Justin Baiardo

NAME (print)

Explore Academy Foundation

FIRM



SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB

EXTENSION: _____

DRB CHAIR - date

PARKS & GENERAL SERVICES - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

ABCWUA - date

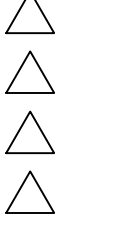
_____ - date

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



DRAWN BY	DS
REVIEWED BY	MB
DATE	2/5/21
PROJECT NO.	19-0099.003
DRAWING NAME	SITE PLAN

GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.
- C. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED.
- D. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.
- E. STANDARD PARKING SPACES 9'-0" X 20'-0"
- F. ACCESSIBLE PARKING SPACES 9'-0" X 20'-0". ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.6.
- G. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE FOR ROADWAYS 26' TO 32' WIDE.
- H. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT.
- I. 20' WIDE FIRE ACCESS LANES SHALL BE 3" ASPHALT OVER 4" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS.
- J. SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- K. SITE PLAN TO COMPLY WITH THE 2015 IFC APPENDICES B, C, AND D.
- L. NEW SITE LIGHTING WILL BE PROVIDED ON THE PROPERTY. SITE LIGHTING PLAN ILLUSTRATES THE MAXIMUM NUMBER OF NEW AREA LIGHTS THAT MAY BE REQUIRED BY THE OWNER FOR THE USE.
- M. VEHICULAR GATES AT GULTON CT WILL BE OPEN DURING BUSINESS HOURS.

PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A RENOVATION OF AN EXISTING BUILDING FOR A COMBINED MIDDLE SCHOOL AND HIGH SCHOOL. THE ONLY NEW STRUCTURE PROPOSED IS A FUTURE GYM ADDITION. SITE IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO ALTERATIONS TO THE EXISTING PARKING LOT, WIDENING OF THE MAIN VEHICULAR ENTRANCE, SITE LIGHTING, LANDSCAPE, IRRIGATION AND OUTDOOR RECREATION FACILITIES.

PROJECT DATA

SITE ADDRESS: 6600 GULTON CT NE, ALBUQUERQUE, NM 87109
 LEGAL DESCRIPTION: "3-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II
 ZONE ATLAS NUMBER: E17
 SITE AREA: 10 ACRES
 EXISTING ZONING: NR-BP
 BUILDING AREA
 RENOVATION: 80,142 SF
 FUTURE GYM EXPANSION: 16,450 SF
 TOTAL: 96,592 SF
 CONSTRUCTION TYPE: IIB
 BUILDING HEIGHT
 RENOVATION: 20'-5"
 FUTURE GYM EXPANSION: 32'-0"
 SPRINKLED: YES
 FIRE FLOW: 3,000 GPM
 FLOW DURATION: 4HR
 HYDRANTS REQUIRED: 3
 PARKING CALCULATION
 PHASE 3 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 150
 (2 X 30 MIDDLE SCHOOL CLASSROOMS = 60) + (3 X 30 HIGH SCHOOL CLASSROOMS = 90)
 = 150
 PHASE 4 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 157
 (2 X 32 MIDDLE SCHOOL CLASSROOMS = 64) + (3 X 31 HIGH SCHOOL CLASSROOMS = 93)
 = 157
 PHASE 4 REQUIRED NUMBER OF PARKING SPACES BASED ON AUDITORIUM SEATS: 188*
 1 PARKING SPACE PER 4 SEATS
 750 PROPOSED AUDITORIUM SEATS = 188*
 *GREATER NUMBER OF THE TWO CALCULATION METHODS WILL BE USED
 TOTAL PARKING SPACES PROVIDED
 PHASE 3B: 290
 PHASE 4: 198
 MOTORCYCLE PARKING REQUIRED: 4
 MOTORCYCLE PARKING PROVIDED: 4
 BICYCLE PARKING REQUIRED: 89
 BICYCLE PARKING PROVIDED: 100

LEGEND

- PROPERTY LINE
- HEAVY DUTY ASPHALT FOR FIRE ACCESS
- LANDSCAPE AREA, SEE PLANTING PLAN
- SITE LIGHTING, SEE SITE LIGHTING PLAN

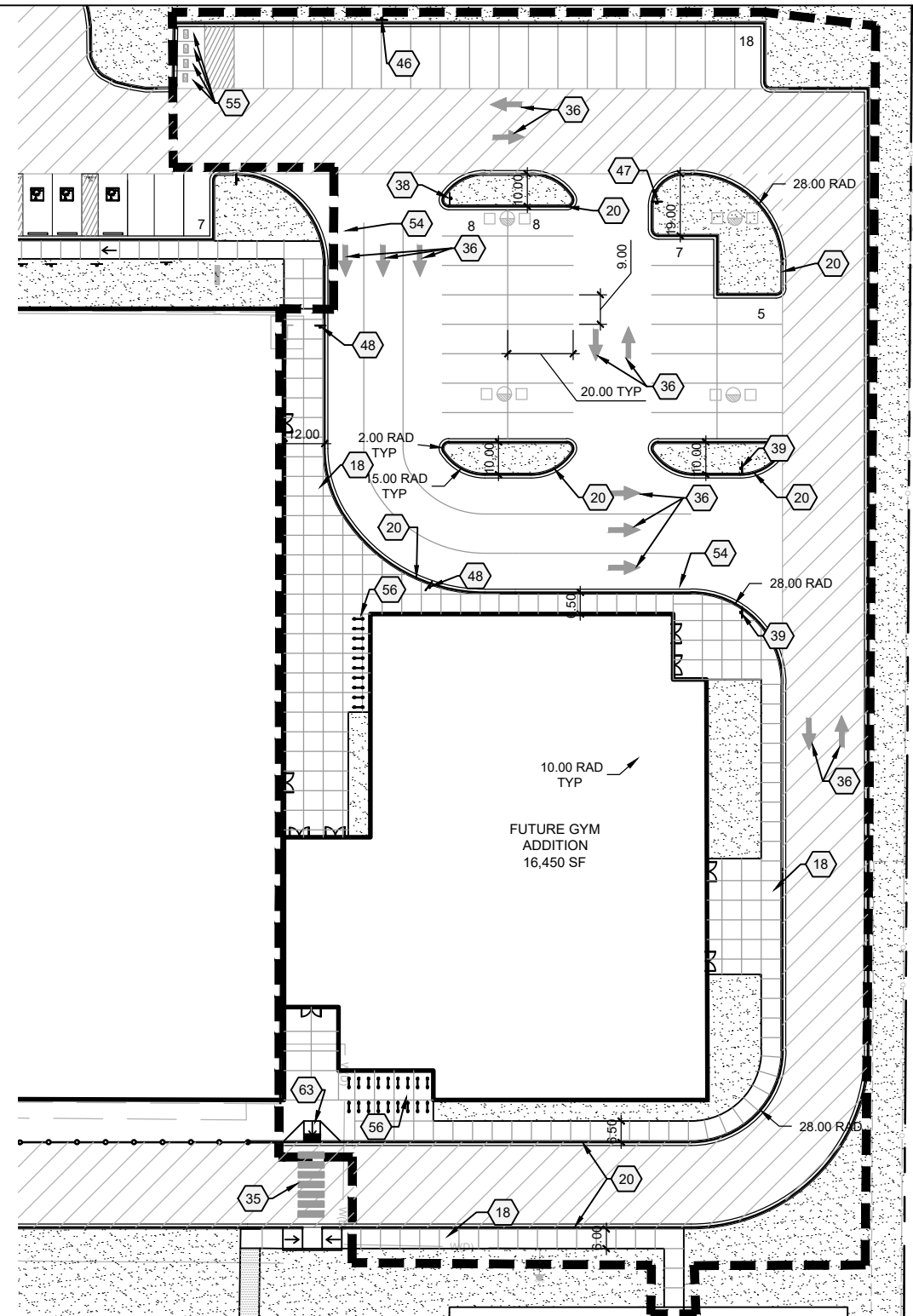
VICINITY MAP



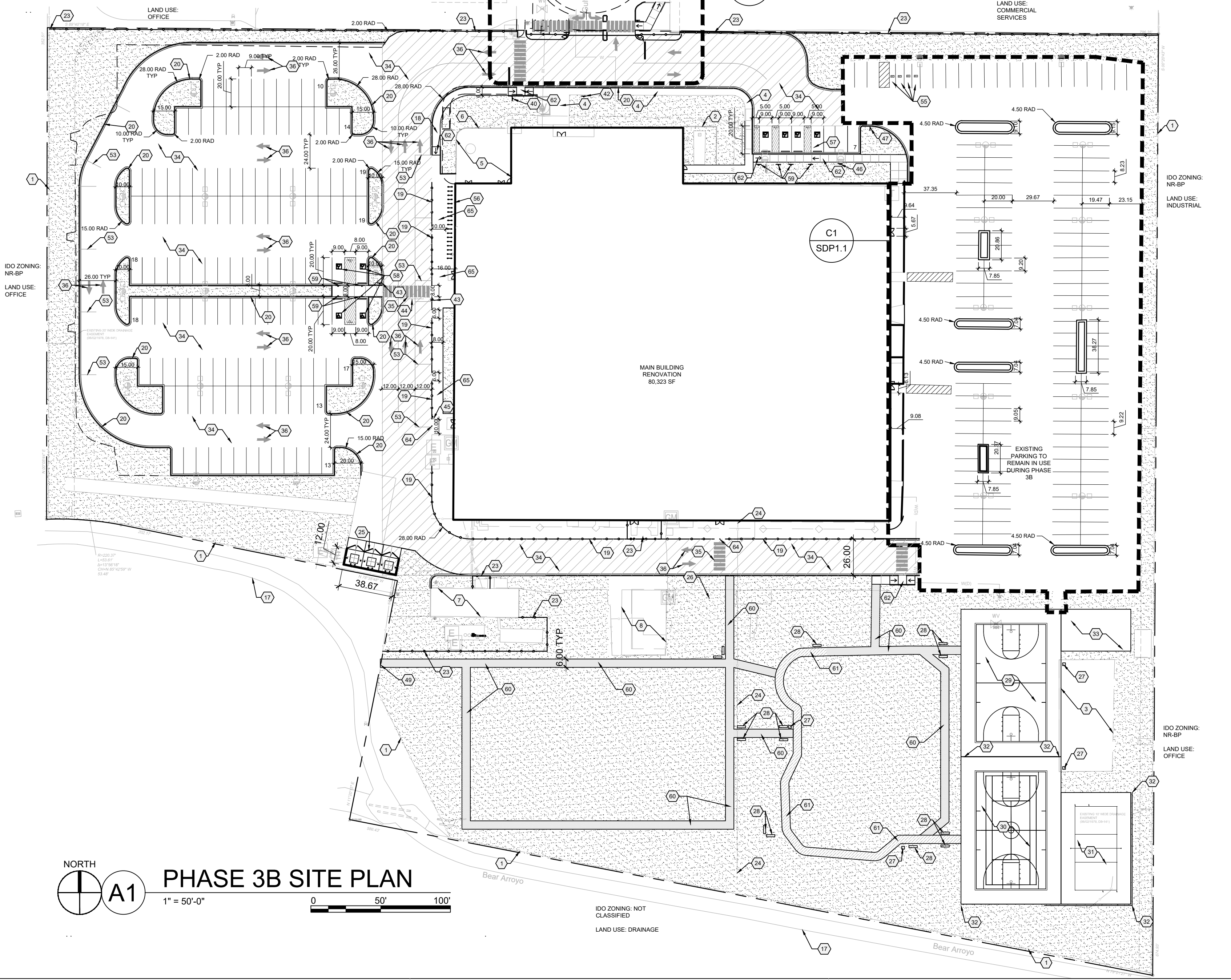
SHEET KEYED NOTES

- | CODE | DESCRIPTION |
|------|---|
| 1 | EXISTING CHAIN LINK FENCE TO REMAIN |
| 2 | EXISTING 7' CMU BLOCK SCREEN WALL TO REMAIN |
| 3 | EXISTING SHADE STRUCTURE TO REMAIN |
| 4 | EXISTING CONCRETE SIDEWALK TO REMAIN |
| 5 | EXISTING PATIO TO REMAIN |
| 6 | EXISTING 6" BLOCK WALL TO REMAIN |
| 7 | EXISTING MECHANICAL BUILDING TO REMAIN |
| 8 | EXISTING STORAGE BUILDING TO REMAIN |
| 9 | EXISTING OFFSITE SIDEWALK |
| 10 | EXISTING DRIVE PAD FOR ADJACENT PROPERTY |
| 11 | EXISTING FIRE HYDRANT TO REMAIN |
| 12 | EXISTING CONCRETE VALLEY GUTTER TO REMAIN |
| 13 | EXISTING STAMPED CONCRETE |
| 14 | PROPERTY BOUNDARY |
| 15 | EXISTING UTILITY VAULT TO BE RESET FLUSH WITH DRIVE |
| 16 | NEW ASPHALT PAVING |
| 17 | BEAR ARROYO MULTI-USE TRAIL |
| 18 | CONCRETE SIDEWALK, SEE A1/SDP1.2 |
| 19 | WALKWAY SEPARATION FENCE, SEE D1/SDP1.2 |
| 20 | 6" HEIGHT CONCRETE CURB AND GUTTER, SEE A2/SDP1.2 |
| 21 | CONCRETE MOUNTABLE CURB, SEE A5/SDP1.2 |
| 22 | CONCRETE HEADER CURB, SEE C2/SDP1.2 |
| 23 | 8" FENCE, AMERISTAR WIREWORKS ANTI-CLIMB AS BASIS OF DESIGN |
| 24 | REMOVE FENCE |
| 25 | REFUSE ENCLOSURE, SEE B1/SDP1.2 |
| 26 | GREENHOUSE, TBD |
| 27 | LITTER RECEPTACLE |
| 28 | 6" BENCH |
| 29 | 84' X 50' BASKETBALL COURT |
| 30 | 84' X 50' BASKETBALL COURT WITH REMOVABLE NET FOR TENNIS, ANTI-CLIMB PERIMETER FENCE AND GATE |
| 31 | SAND VOLLEY BALL COURT |
| 32 | BALL NETTING |
| 33 | 30' X 50' SPORT COURT |
| 34 | ASPHALT TO BE REPAIRED, RESURFACED AND RESTRIPE |
| 35 | PAINTED CROSSWALK |
| 36 | DIRECTIONAL PAVEMENT ARROW |
| 37 | TRAFFIC STRIPING, 4" WIDE REFLECTIVE PAINT |
| 38 | ONE-WAY TRAFFIC SIGN, SEE C1/SDP1.2 |
| 39 | DO NOT ENTER SIGN, SEE C1/SDP1.2 |
| 40 | STOP SIGN, SEE C1/SDP1.2 |
| 41 | PAINTED STOP LINE |
| 42 | WAYFINDING SIGNAGE |
| 43 | PEDESTRIAN CROSSING SIGN, SEE C1/SDP1.2 |
| 44 | PAINTED LETTERING "DO NOT BLOCK CROSSWALK" |
| 45 | BUS LOADING ZONE SIGN, SEE C1/SDP1.2 |
| 46 | VISITOR PARKING SIGN, SEE C1/SDP1.2 |
| 47 | STAFF PARKING SIGN, SEE C1/SDP1.2 |
| 48 | STUDENT DROP-OFF AND PICK-UP SIGN, SEE C1/SDP1.2 |
| 49 | KEYED ACCESS TO BEAR CANYON TRAIL |
| 50 | OUTDOOR DINING TABLES AND CHAIRS PER OWNER |
| 51 | AUTOMATIC SLIDING GATE |
| 52 | REMOVE ASPHALT |
| 53 | BUS DROP OFF STRIPING FOR QUEUING |
| 54 | PARENT DROP OFF LOADING ZONE |
| 55 | MOTORCYCLE PARKING |
| 56 | BICYCLE PARKING, SEE C3/SDP1.2 FOR BASIS OF DESIGN |
| 57 | ACCESSIBLE PARKING, SEE B2/SDP1.2 |
| 58 | VAN ACCESSIBLE PARKING, SEE B2/SDP1.2 |
| 59 | ACCESSIBLE PARKING SIGNAGE, SEE C1/SDP1.2 |
| 60 | 6" WIDE ACCESSIBLE STABILIZED CRUSHER FINE PATH |
| 61 | EXISTING PATH TO BE RESURFACED FOR ADA ACCESS WITH STABILIZED CRUSHER FINES |
| 62 | CONCRETE CURB RAMP, SEE A3/SDP1.2 |
| 63 | ACCESSIBLE RAMP, SEE A4/SDP1.2 |
| 64 | 4" PIPE BOLLARD, SEE D2/SDP1.2 |
| 65 | EXISTING ASPHALT TO REMAIN, PEDESTRIAN ONLY ZONE |

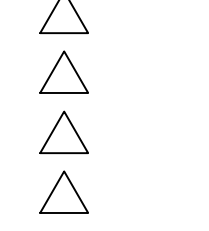
PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:



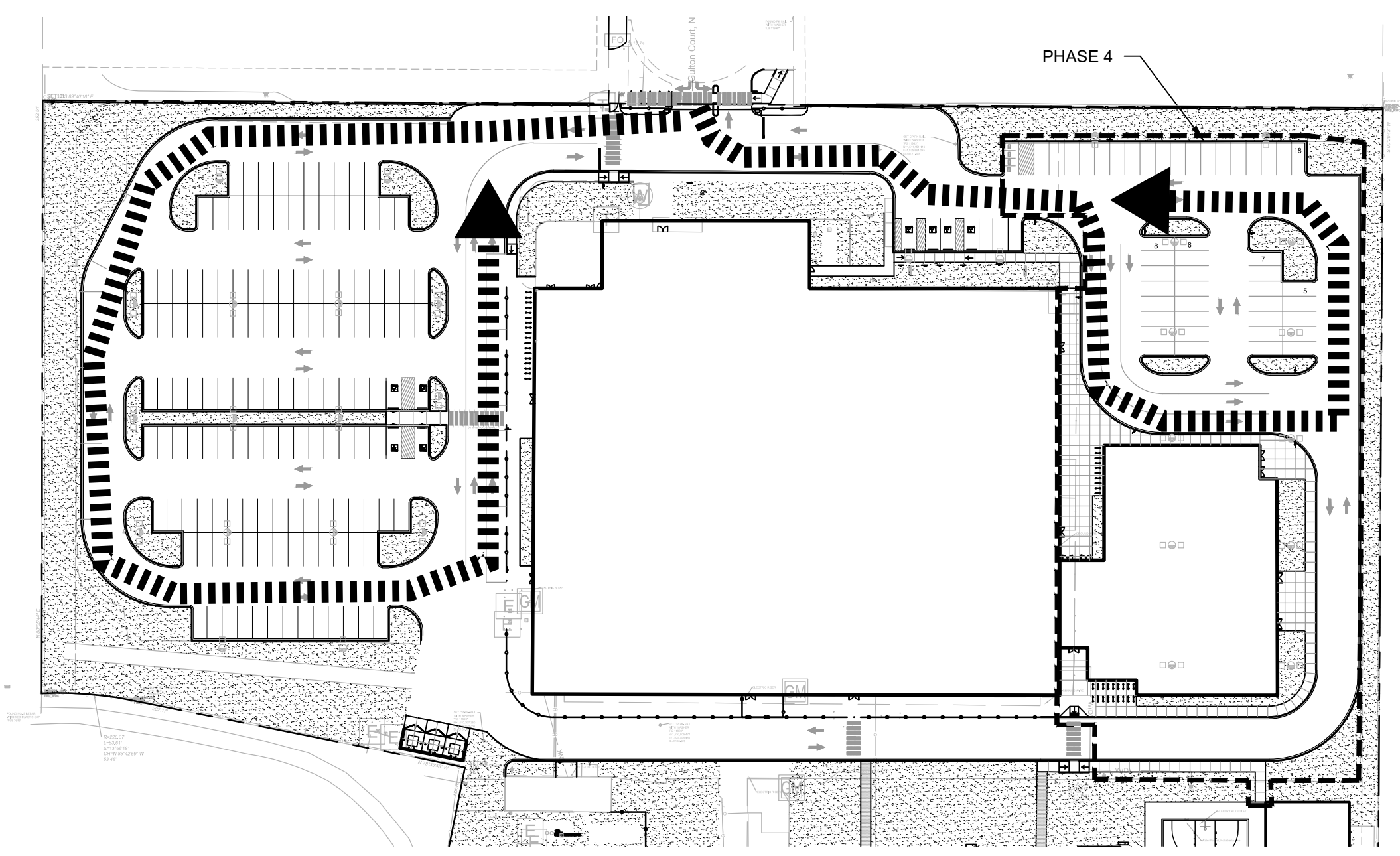
PHASE 4 SITE PLAN
1" = 50'-0"



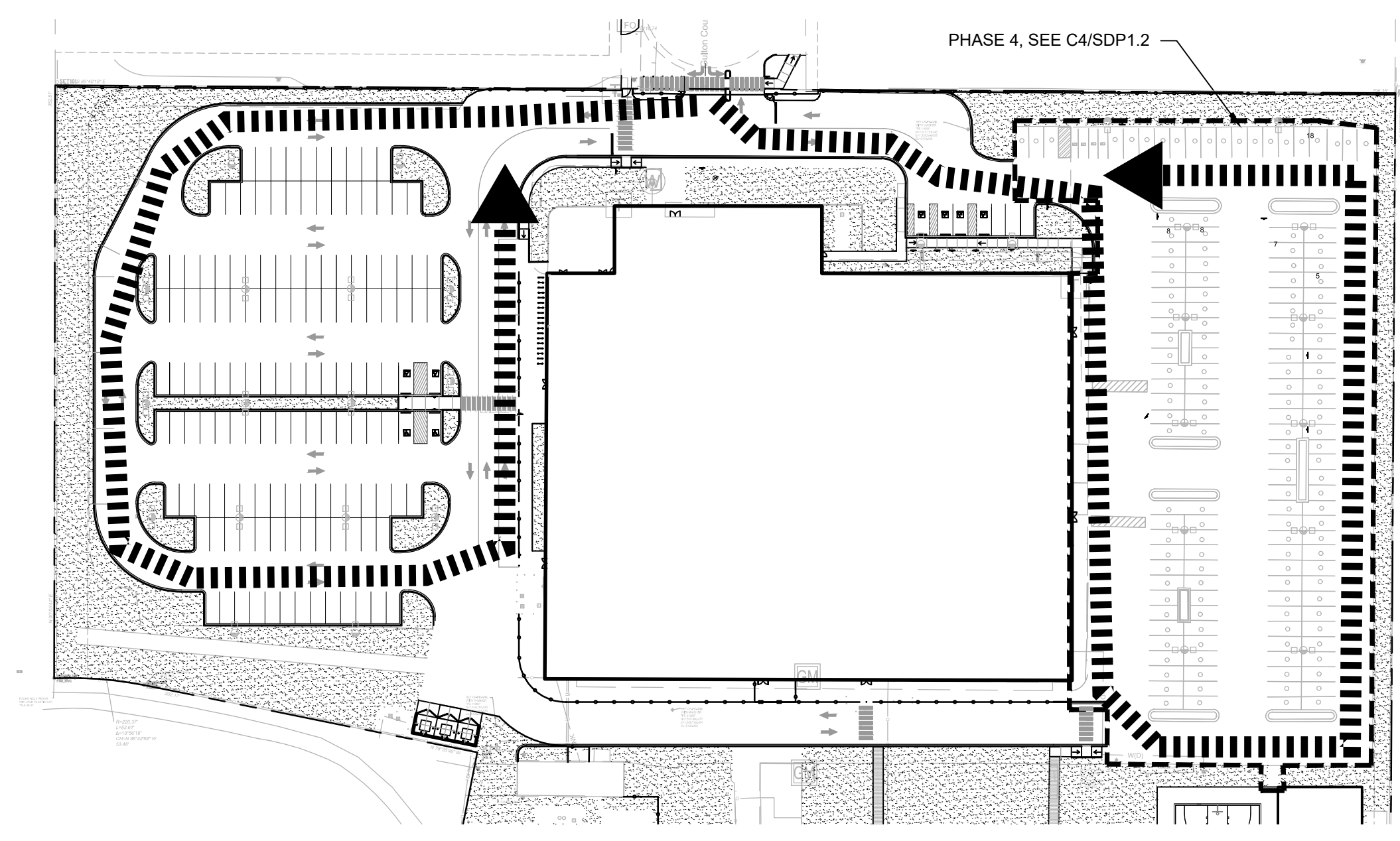
PHASE 3B SITE PLAN
1" = 50'-0"



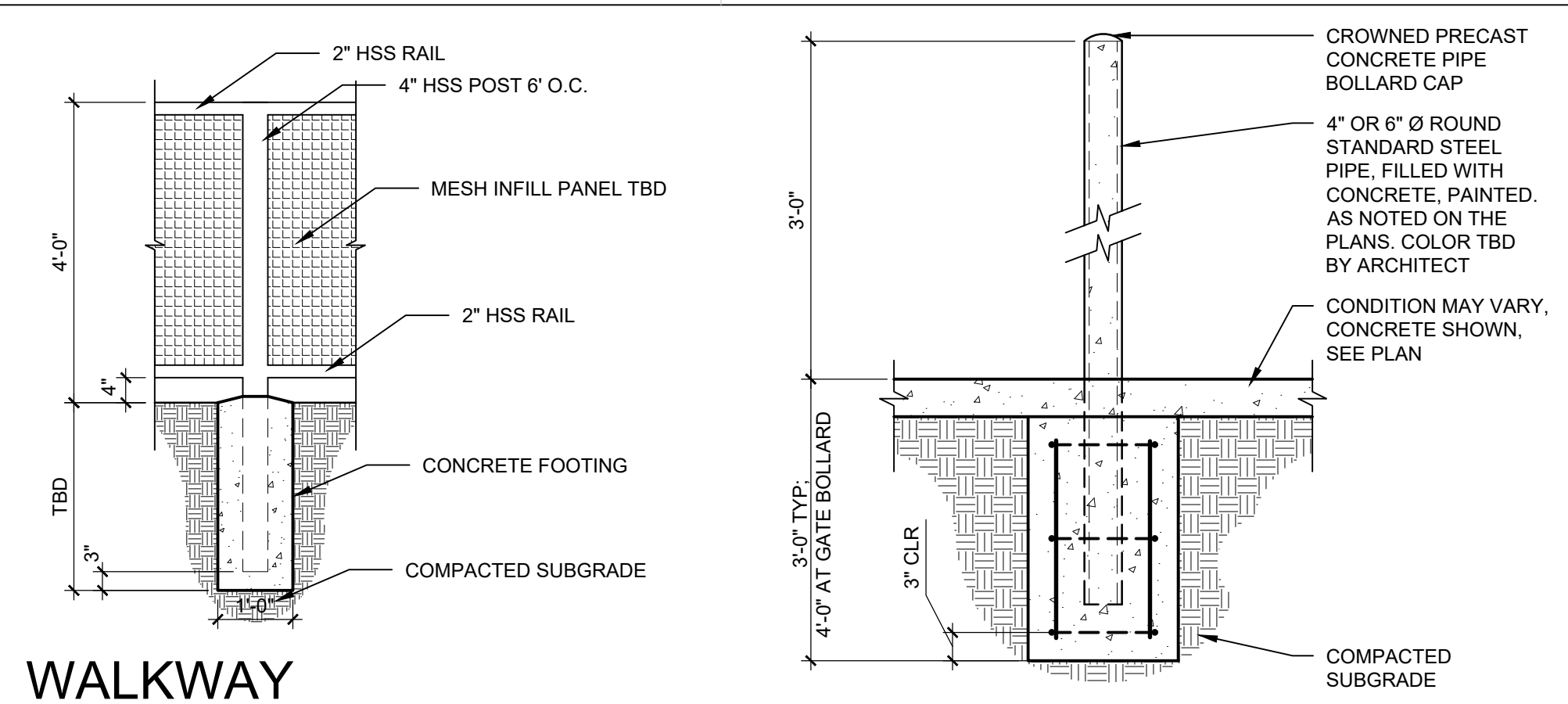
DRAWN BY	BG
REVIEWED BY	MB
DATE	2/5/21
PROJECT NO.	19-0099.003
DRAWING NAME	SITE DETAILS



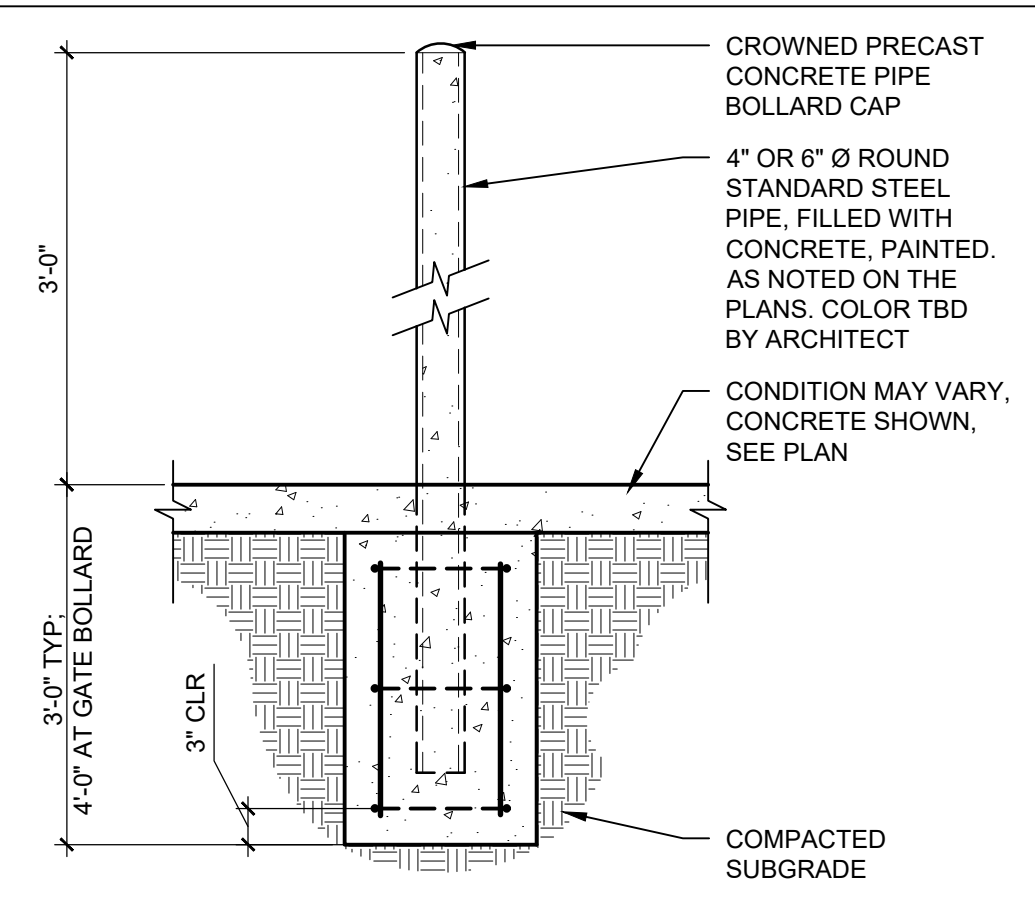
C4 PH4 CIRCULATION DIAGRAM
NTS



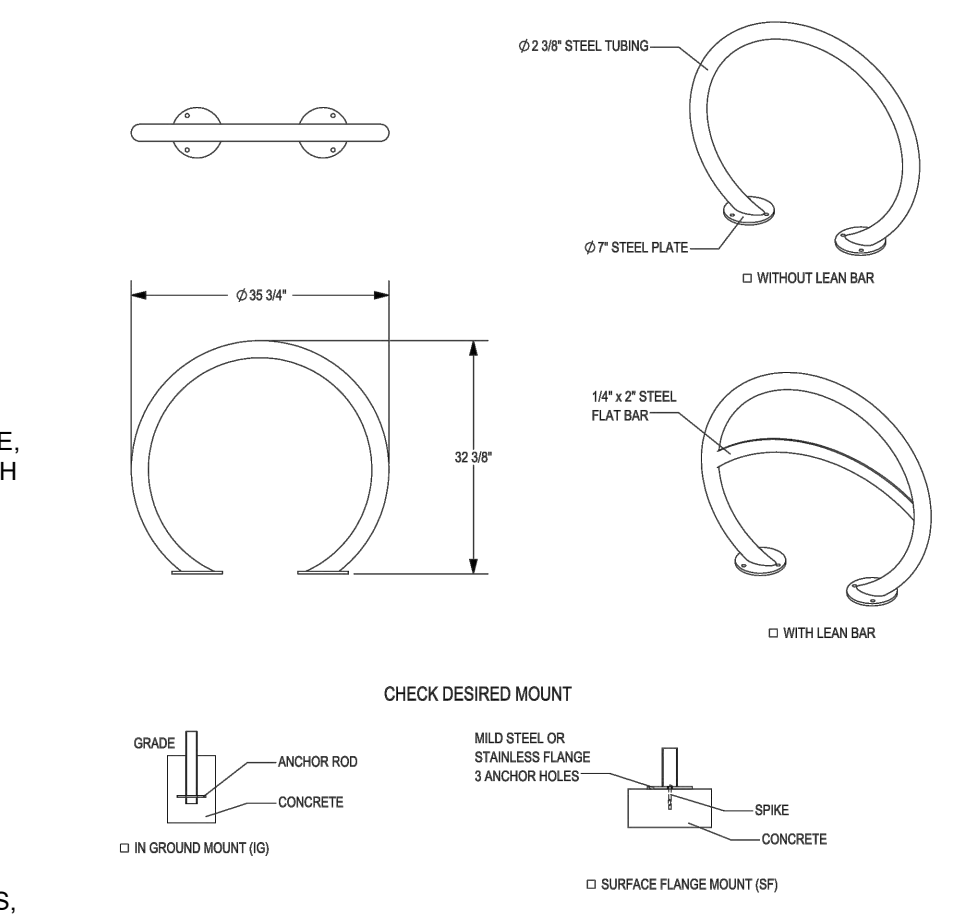
B4 PH3B CIRCULATION DIAGRAM
NTS



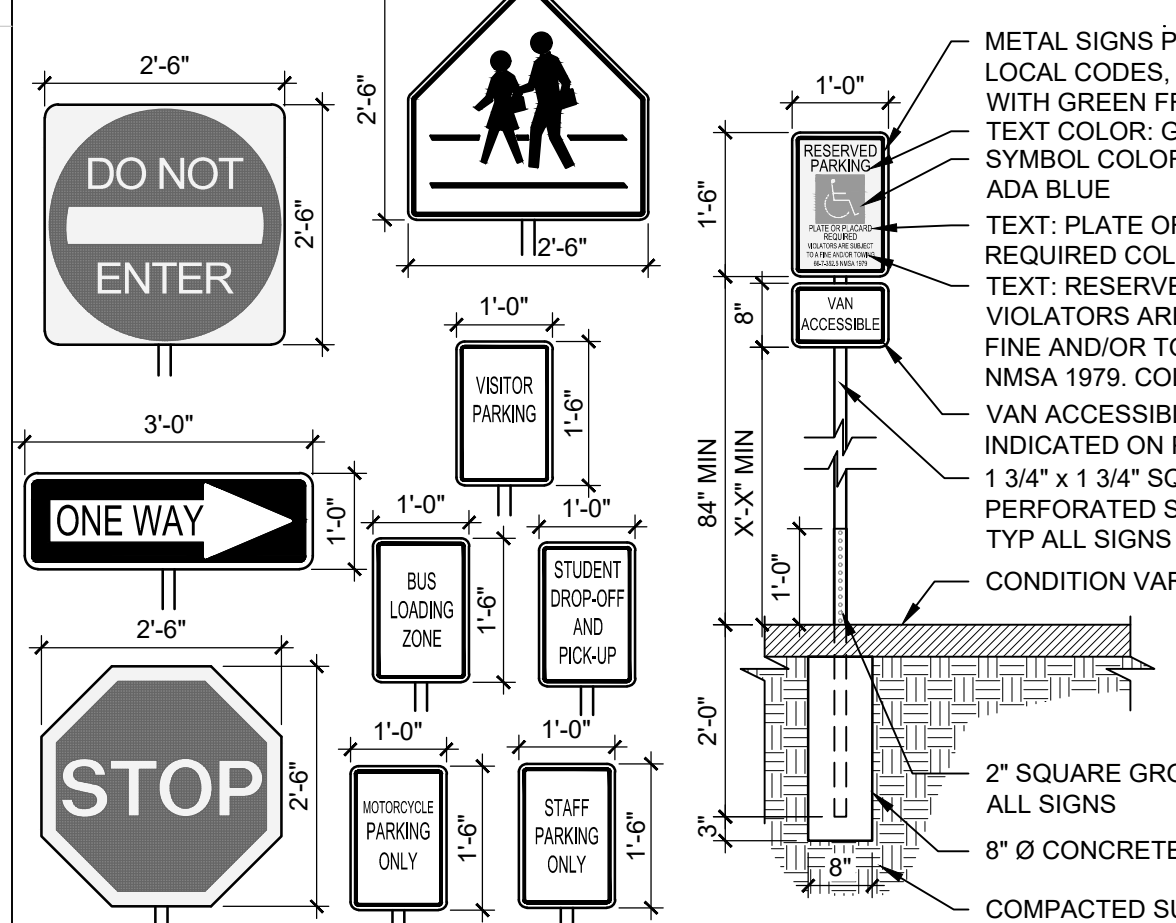
D1 WALKWAY SEPARATION FENCE
1/2" = 1'-0"



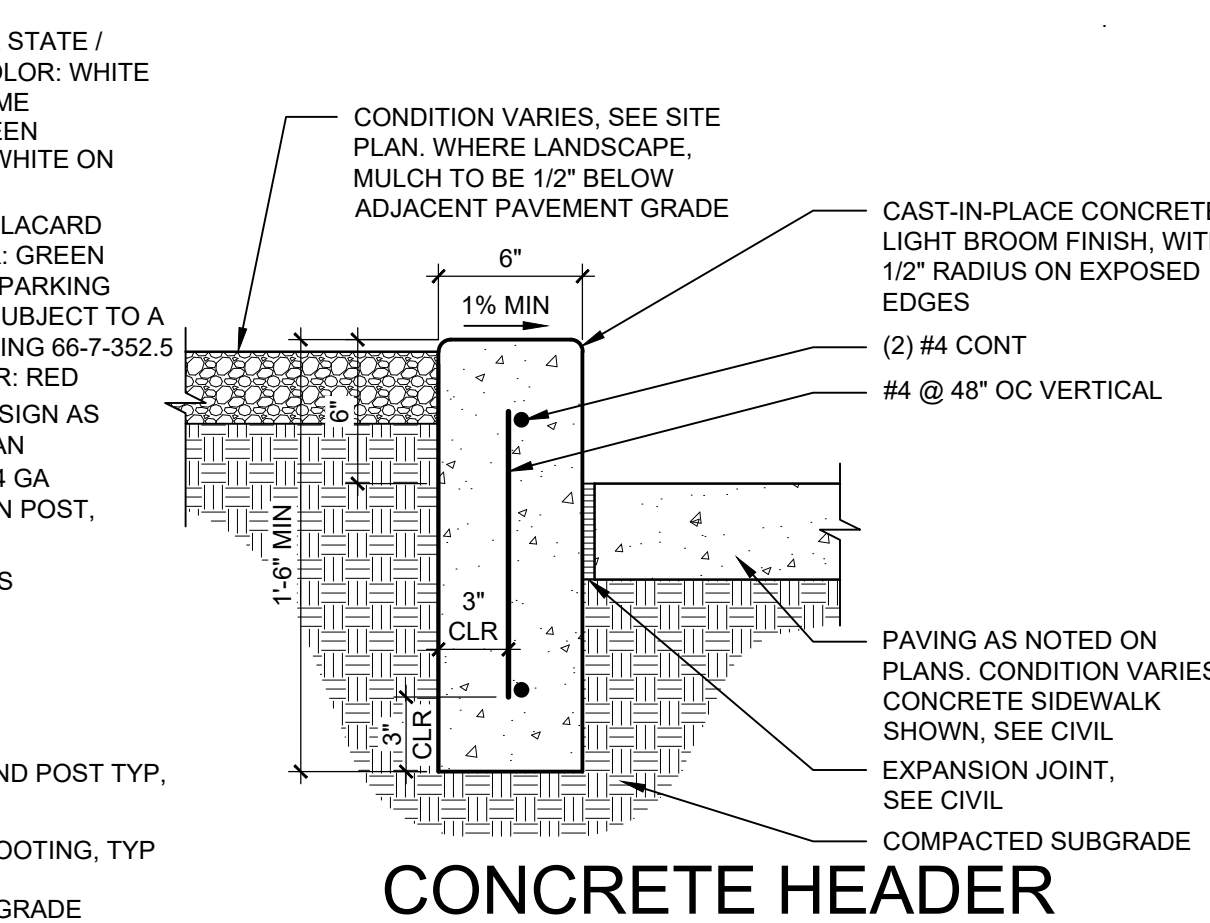
D2 PIPE BOLLARD
3/4" = 1'-0"



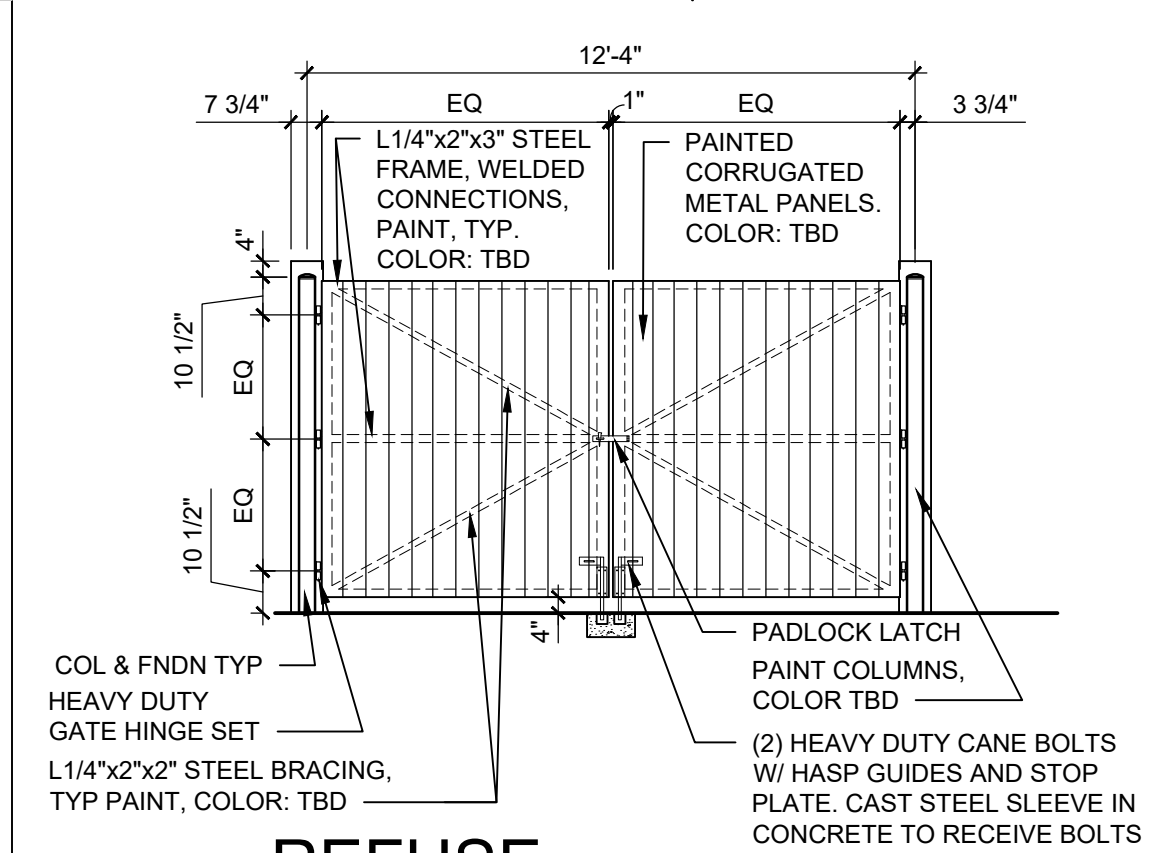
C3 BICYCLE RACK
NTS



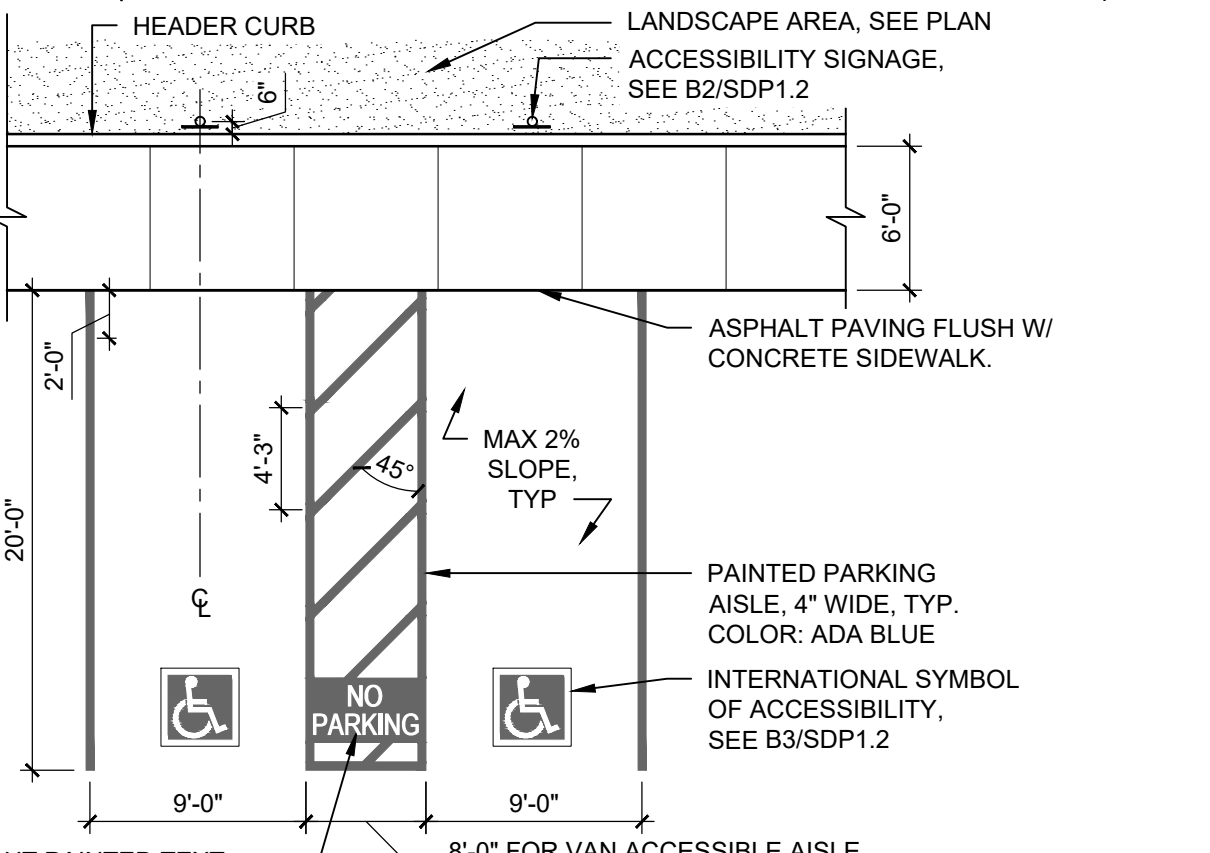
C1 SITE SIGNS
1/2" = 1'-0"



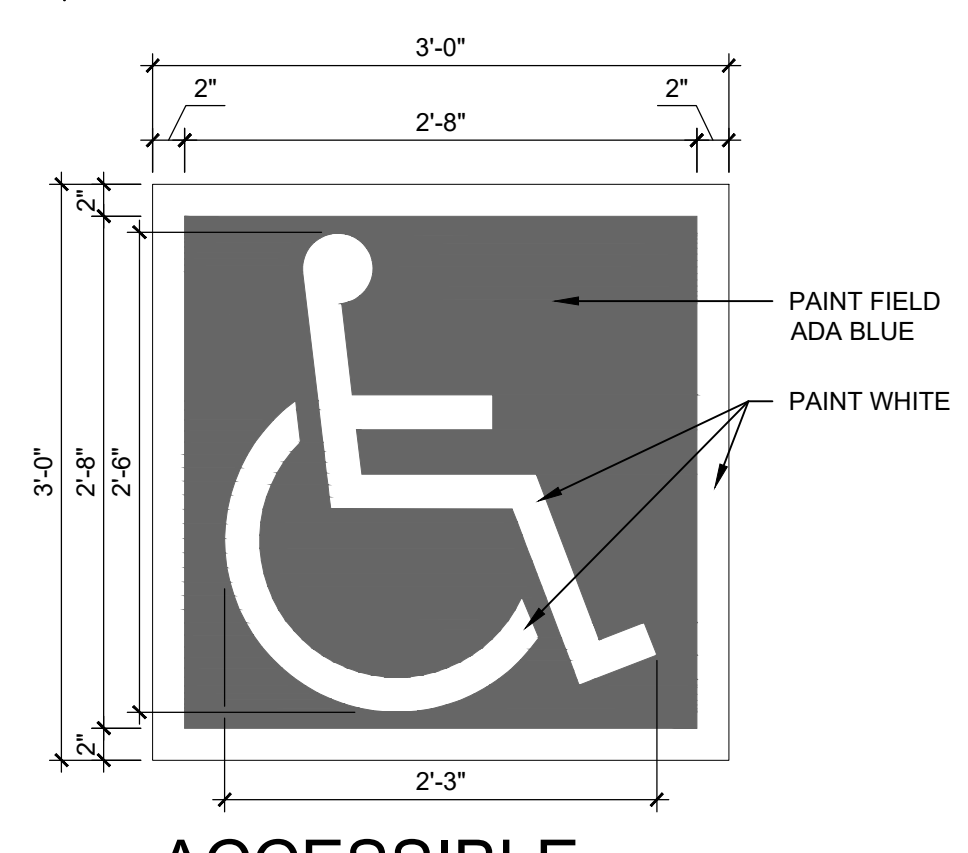
C2 CONCRETE HEADER CURB
1 1/2" = 1'-0"



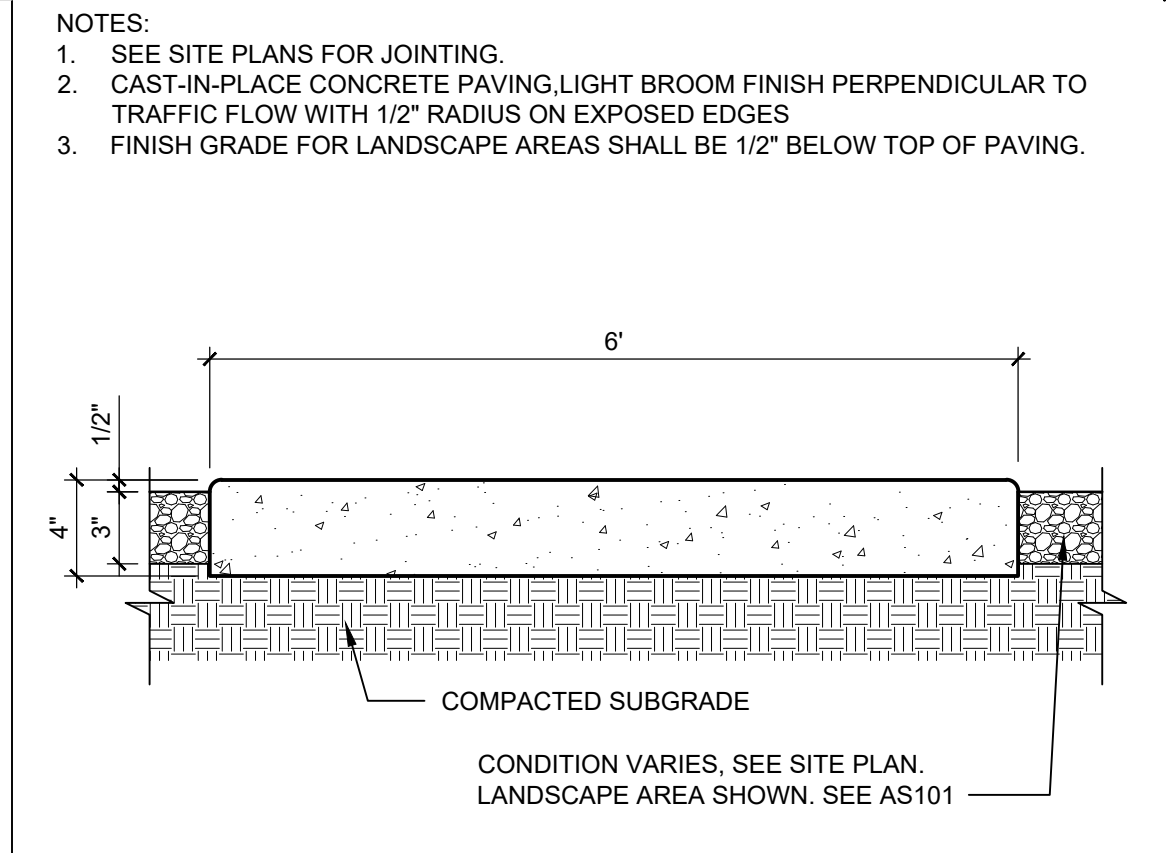
B1 REFUSE ENCLOSURE GATE
1/4" = 1'-0"



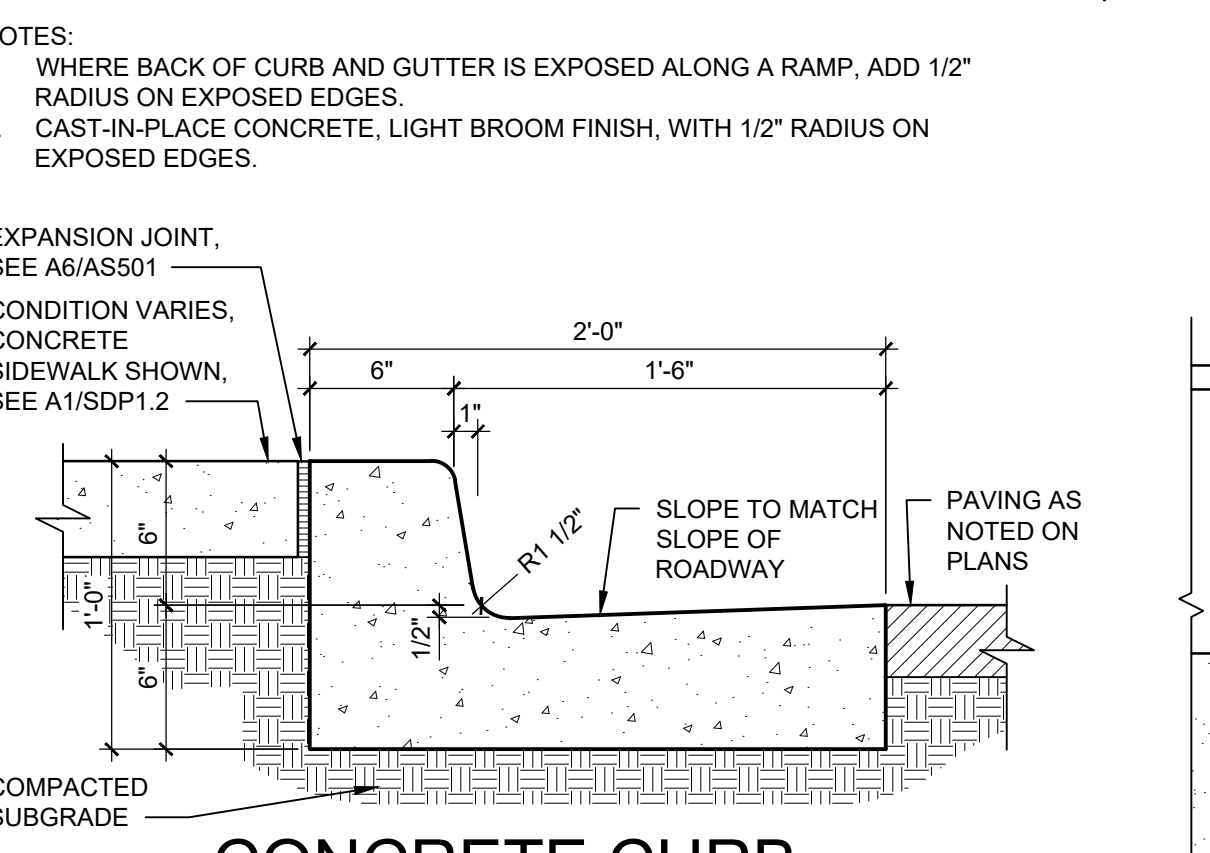
B2 ACCESSIBLE PARKING
1/8" = 1'-0"



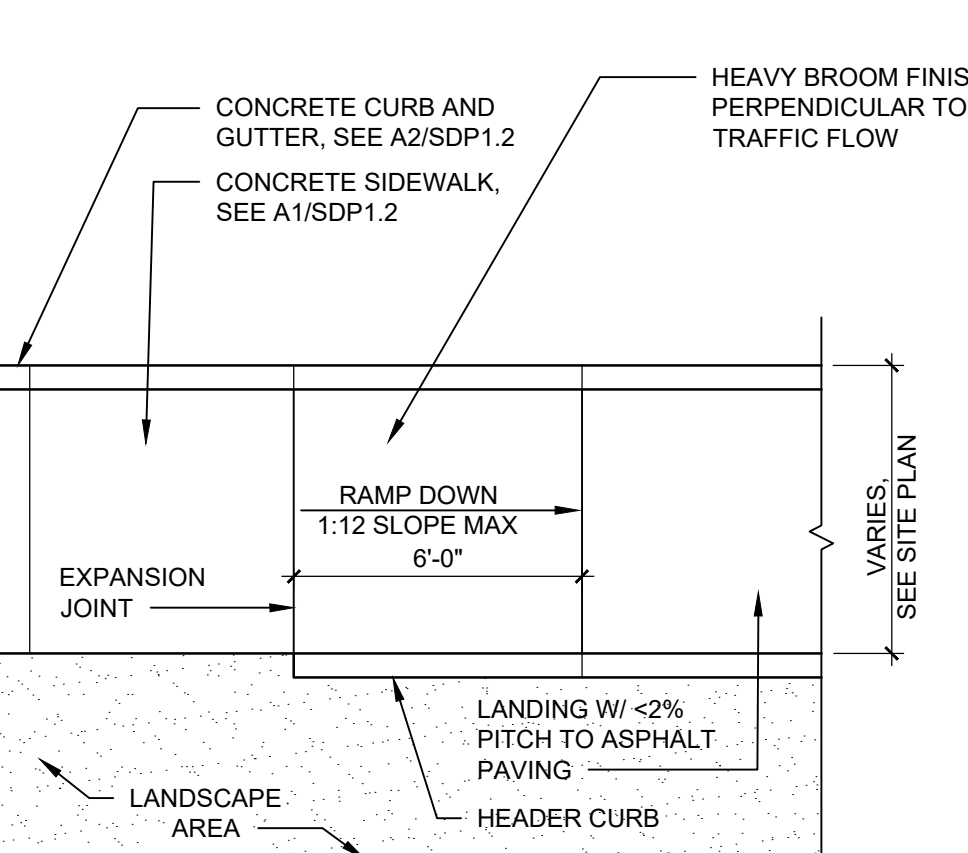
B3 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"



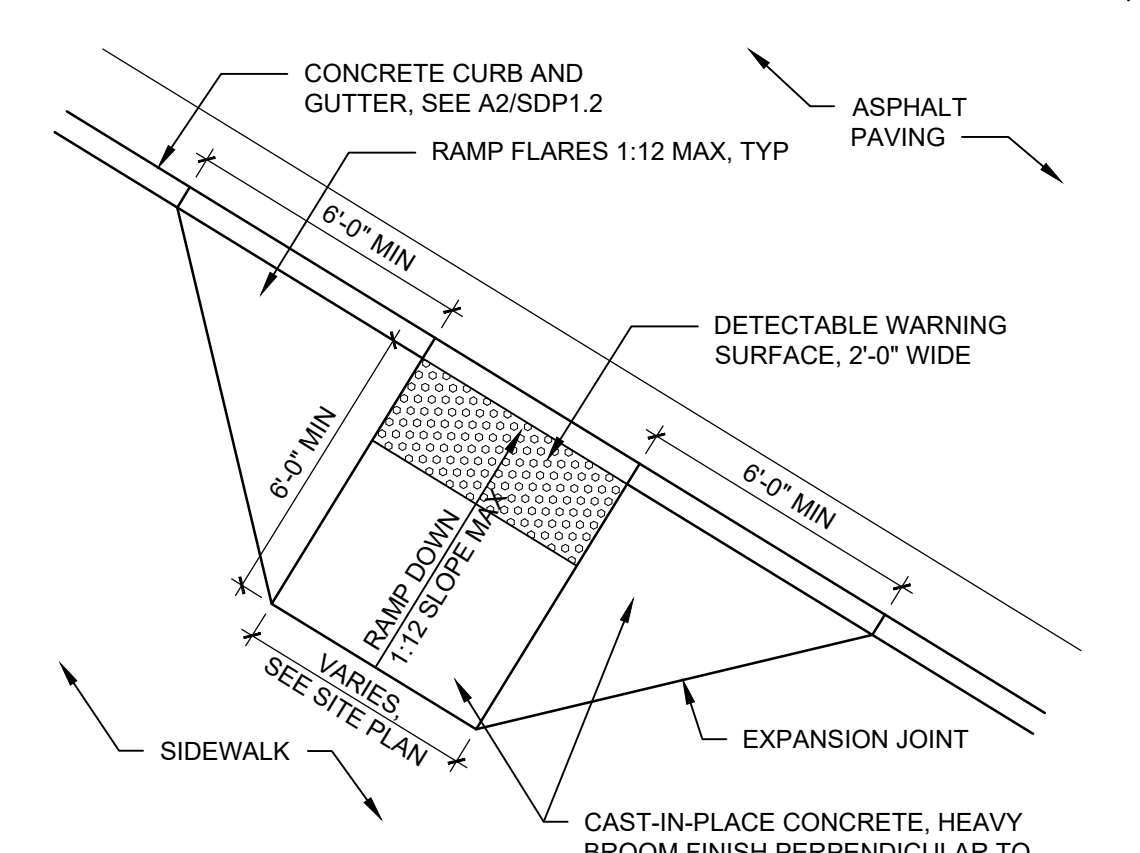
A1 CONCRETE SIDEWALK
1 1/2" = 1'-0"



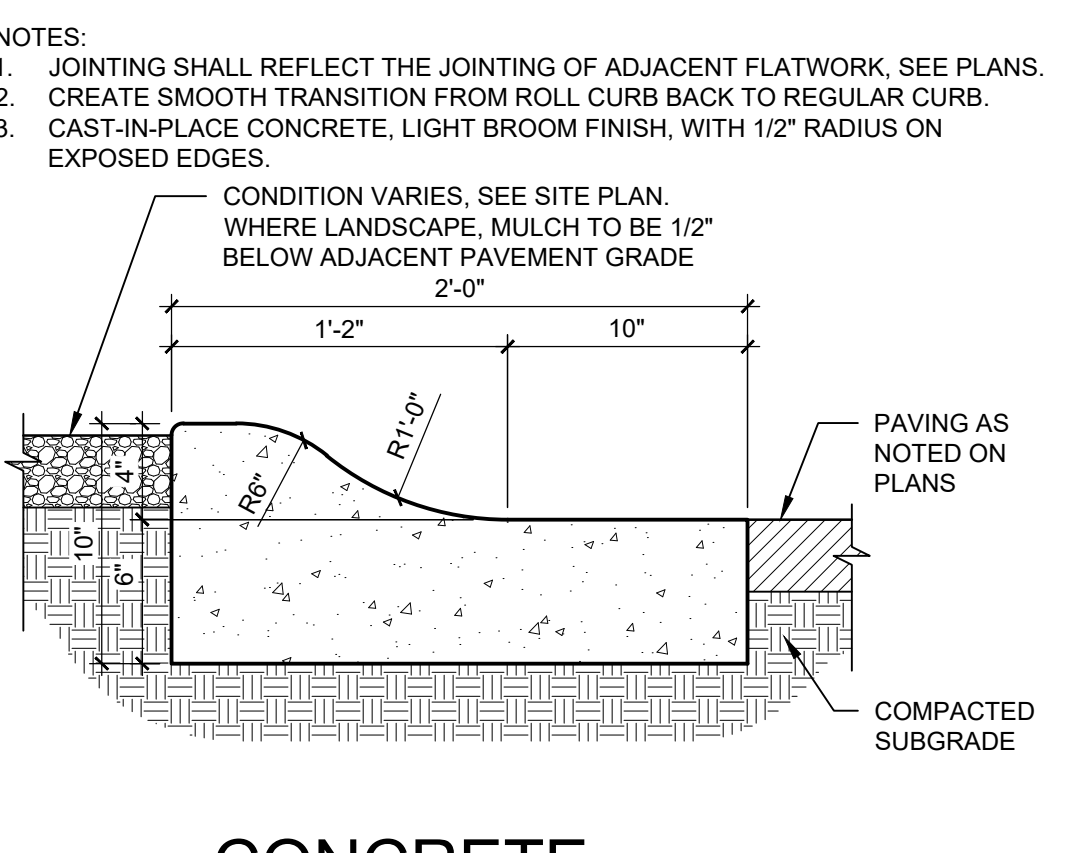
A2 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"



A3 CONCRETE CURB RAMP
1/4" = 1'-0"



A4 ACCESSIBLE RAMP
1/4" = 1'-0"



A5 CONCRETE MOUNTABLE CURB
1 1/2" = 1'-0"

NOTES:
1. SEE SITE PLANS FOR JOINING.
2. CAST-IN-PLACE CONCRETE PAVING, LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES.
3. FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.

NOTES:
1. WHERE BACK OF CURB AND GUTTER IS EXPOSED ALONG A RAMP, ADD 1/2" RADIUS ON EXPOSED EDGES.
2. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.

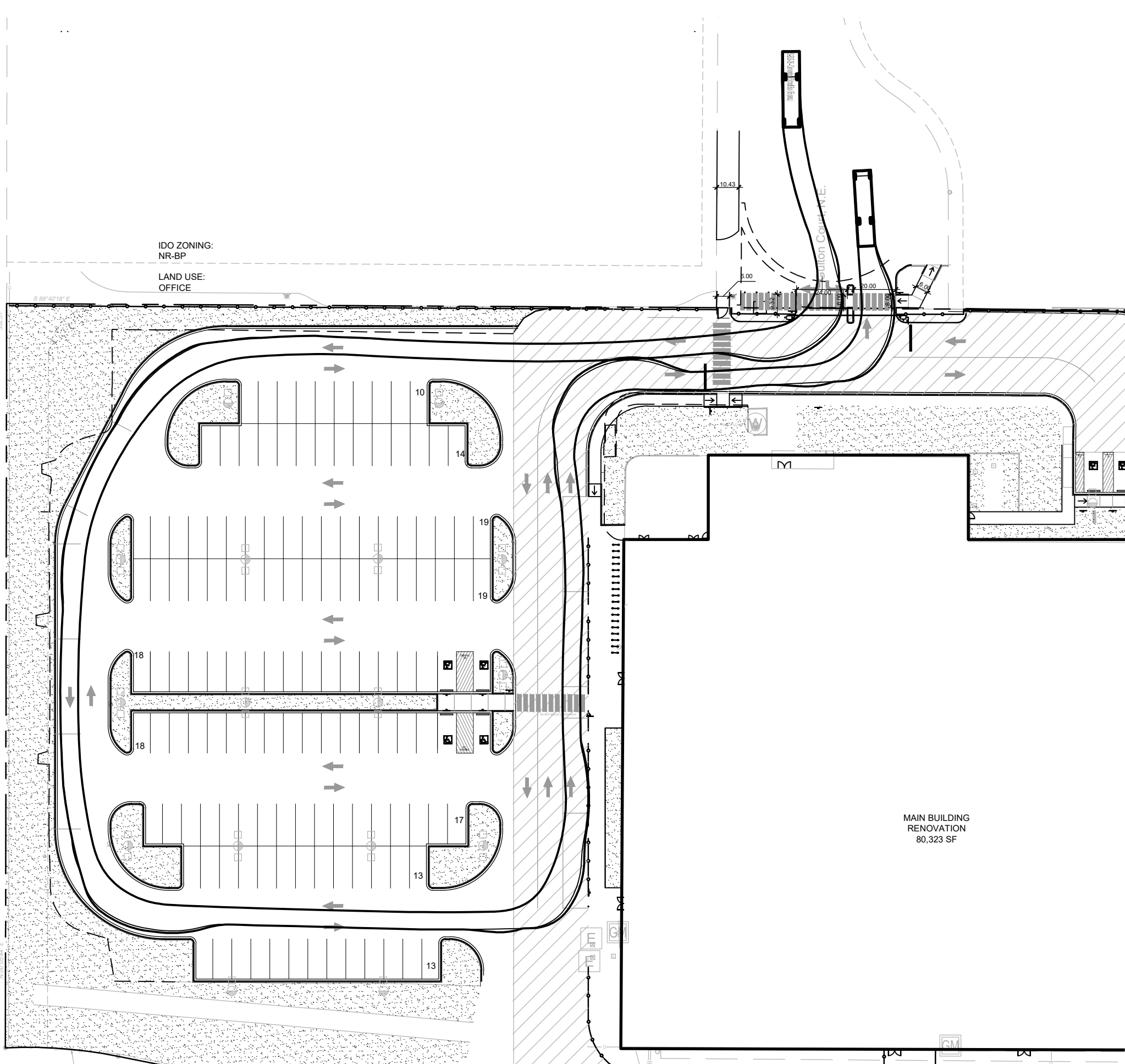
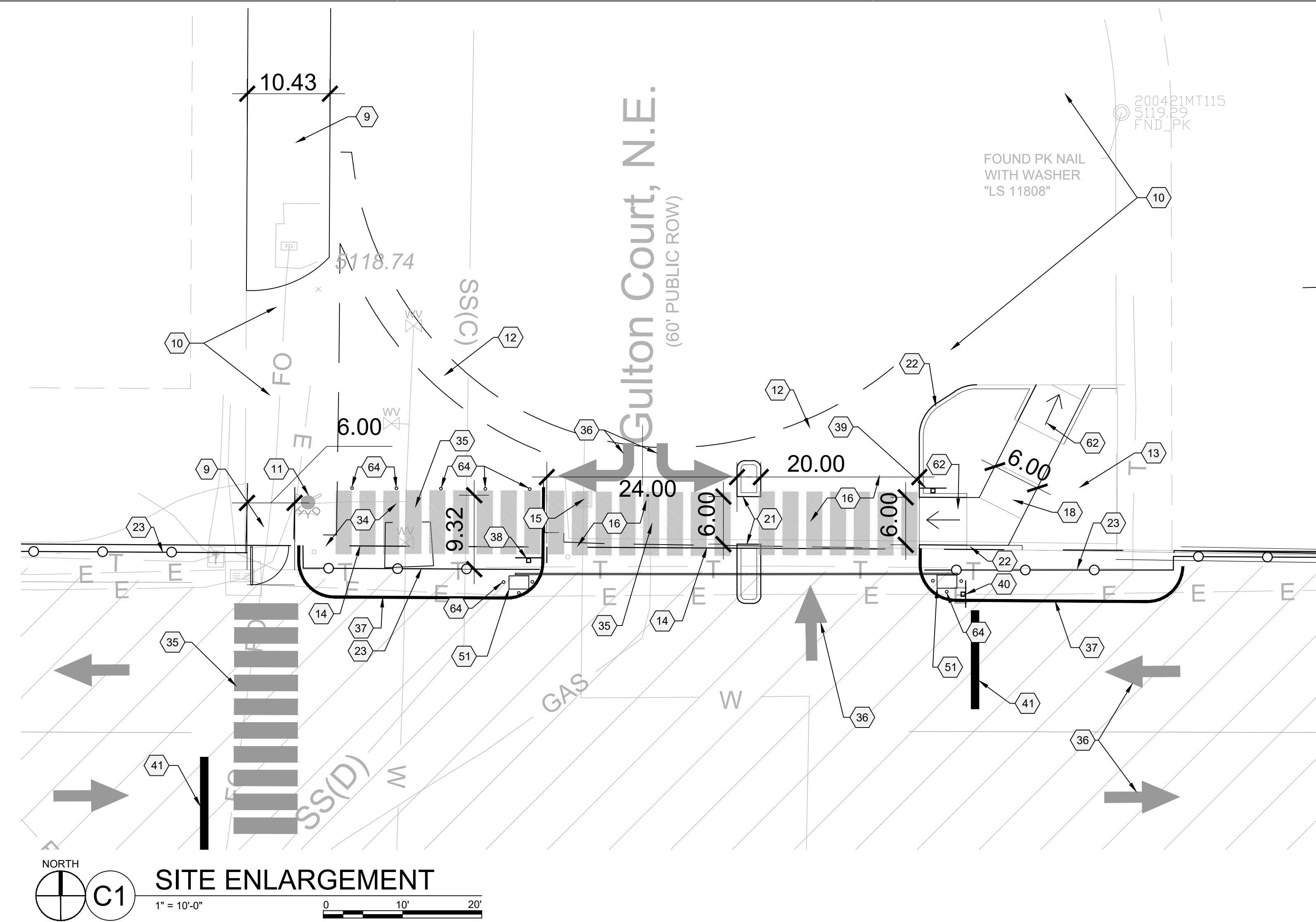
NOTES:
1. JOINING SHALL REFLECT THE JOINING OF ADJACENT FLATWORK, SEE PLANS.
2. CREATE SMOOTH TRANSITION FROM ROLL CURB BACK TO REGULAR CURB.
3. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.

CONDITION VARIES, SEE SITE PLAN. LANDSCAPE AREA SHOWN, SEE AS101

EXPANSION JOINT, SEE A6/AS501
CONDITION VARIES, CONCRETE SIDEWALK SHOWN, SEE A1/SDP1.2
SLOPE TO MATCH SLOPE OF ROADWAY
PAVING AS NOTED ON PLANS

CONCRETE CURB AND GUTTER, SEE A2/SDP1.2
CONCRETE SIDEWALK, SEE A1/SDP1.2
RAMP DOWN 1:12 SLOPE MAX 6'-0"
RAMP DOWN 1:12 SLOPE MAX 6'-0"
LANDING W/ <2% PITCH TO ASPHALT PAVING
HEADS CURB
LANDSCAPE AREA

CONDITION VARIES, SEE SITE PLAN, WHERE LANDSCAPE, MULCH TO BE 1/2" BELOW ADJACENT PAVEMENT GRADE
PAVING AS NOTED ON PLANS
COMPACTED SUBGRADE



SHEET KEYED NOTES

CODE	DESCRIPTION
1	EXISTING CHAIN LINK FENCE TO REMAIN
2	EXISTING 7' CMU BLOCK SCREEN WALL TO REMAIN
3	EXISTING SHADE STRUCTURE TO REMAIN
4	EXISTING CONCRETE SIDEWALK TO REMAIN
5	EXISTING PATIO TO REMAIN
6	EXISTING 6' BLOCK WALL TO REMAIN
7	EXISTING MECHANICAL BUILDING TO REMAIN
8	EXISTING STORAGE BUILDING TO REMAIN
9	EXISTING OFFSITE SIDEWALK
10	EXISTING DRIVE PAD FOR ADJACENT PROPERTY
11	EXISTING FIRE HYDRANT TO REMAIN
12	EXISTING CONCRETE VALLEY GUTTER TO REMAIN
13	EXISTING STAMPED CONCRETE
14	PROPERTY BOUNDARY
15	EXISTING UTILITY VAULT TO BE RESET FLUSH WITH DRIVE
16	NEW ASPHALT PAVING
17	BEAR ARROYO MULTI-USE TRAIL
18	CONCRETE SIDEWALK, SEE A1/SDP1.2
19	WALKWAY SEPARATION FENCE, SEE D1/SDP1.2
20	6' HEIGHT CONCRETE CURB AND GUTTER, SEE A2/SDP1.2
21	CONCRETE MOUNTABLE CURB, SEE A5/SDP1.2
22	CONCRETE HEADER CURB, SEE C2/SDP1.2
23	8' FENCE, AMERISTAR WIREWORKS ANTI-CLIMB AS BASIS OF DESIGN
24	REMOVE FENCE
25	REFUSE ENCLOSURE, SEE B1/SDP1.2
26	GREENHOUSE, TBD
27	LITTER RECEPTACLE
28	6' BENCH
29	84' X 50' BASKETBALL COURT
30	84' X 50' BASKETBALL COURT WITH REMOVABLE NET FOR TENNIS, ANTI-CLIMB PERIMETER FENCE AND GATE
31	SAND VOLLEY BALL COURT
32	BALL NETTING
33	30' X 50' SPORT COURT
34	ASPHALT TO BE REPAIRED, RESURFACED AND RESTRIPED
35	PAINTED CROSSWALK
36	DIRECTIONAL PAVEMENT ARROW
37	TRAFFIC STRIPING, 4" WIDE REFLECTIVE PAINT
38	ONE-WAY TRAFFIC SIGN, SEE C1/SDP1.2
39	DO NOT ENTER SIGN, SEE C1/SDP1.2
40	STOP SIGN, SEE C1/SDP1.2
41	PAINTED STOP LINE
42	WAYFINDING SIGNAGE
43	PEDESTRIAN CROSSING SIGN, SEE C1/SDP1.2
44	PAINTED LETTERING 'DO NOT BLOCK CROSSWALK'
45	BUS LOADING ZONE SIGN, SEE C1/SDP1.2
46	VISITOR PARKING SIGN, SEE C1/SDP1.2
47	STAFF PARKING SIGN, SEE C1/SDP1.2
48	STUDENT DROP-OFF AND PICK-UP SIGN, SEE C1/SDP1.2
49	KEYED ACCESS TO BEAR CANYON TRAIL
50	OUTDOOR DINING TABLES AND CHAIRS PER OWNER
51	AUTOMATIC SLIDING GATE
52	REMOVE ASPHALT
53	BUS DROP OFF STRIPING FOR QUEUING
54	PARENT DROP OFF LOADING ZONE
55	MOTORCYCLE PARKING
56	BICYCLE PARKING, SEE C3/SDP1.2 FOR BASIS OF DESIGN
57	ACCESSIBLE PARKING, SEE B2/SDP1.2
58	VAN ACCESSIBLE PARKING, SEE B2/SDP1.2
59	ACCESSIBLE PARKING SIGNAGE, SEE C1/SDP1.2
60	6' WIDE ACCESSIBLE STABILIZED CRUSHER FINE PATH
61	EXISTING PATH TO BE RESURFACED FOR ADA ACCESS WITH STABILIZED CRUSHER FINES
62	CONCRETE CURB RAMP, SEE A3/SDP1.2
63	ACCESSIBLE RAMP, SEE A4/SDP1.2
64	4" PIPE BOLLARD, SEE D2/SDP1.2
65	EXISTING ASPHALT TO REMAIN, PEDESTRIAN ONLY ZONE

GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO CITY OF ALBUQUERQUE STANDARDS.
- C. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS OTHERWISE NOTED.
- D. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS AND GUIDELINES.
- E. STANDARD PARKING SPACES 9'-0" X 20'-0"
- F. ACCESSIBLE PARKING SPACES 9'-0" X 20'-0". ACCESSIBLE PARKING TO COMPLY WITH IBC-2009 SECTION 1106.6.
- G. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE FOR ROADWAYS 26' TO 32' WIDE.
- H. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT.
- I. 20' WIDE FIRE ACCESS LANES SHALL BE 3" ASPHALT OVER 4" COMPACTED BASE COURSE ENGINEERED TO SUPPORT THE LOAD OF FIRE APPARATUS WEIGHING 75,000 POUNDS.
- J. SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- K. SITE PLAN TO COMPLY WITH THE 2015 IFC APPENDICES B, C, AND D.
- L. NEW SITE LIGHTING WILL BE PROVIDED ON THE PROPERTY. SITE LIGHTING PLAN ILLUSTRATES THE MAXIMUM NUMBER OF NEW AREA LIGHTS THAT MAY BE REQUIRED BY THE OWNER FOR THE USE.
- M. VEHICULAR GATES AT GULTON CT WILL BE OPEN DURING BUSINESS HOURS.

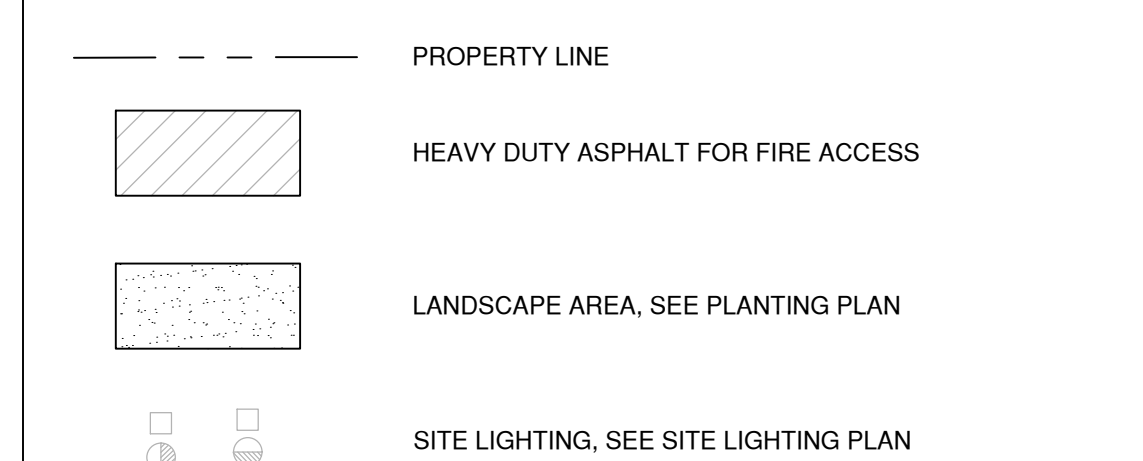
PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A RENOVATION OF AN EXISTING BUILDING FOR A COMBINED MIDDLE SCHOOL AND HIGH SCHOOL. THE ONLY NEW STRUCTURE PROPOSED IS A FUTURE GYM ADDITION. SITE IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO ALTERATIONS TO THE EXISTING PARKING LOT, WIDENING OF THE MAIN VEHICULAR ENTRANCE, SITE LIGHTING, LANDSCAPE, IRRIGATION AND OUTDOOR RECREATION FACILITIES.

PROJECT DATA

SITE ADDRESS: 6600 GULTON CT NE, ALBUQUERQUE, NM 87109
 LEGAL DESCRIPTION: *3-C A REPLAT LOT 3 INTERSTATE INDUSTRIAL TRACT UNIT II
 ZONE ATLAS NUMBER: E17
 SITE AREA: 10 ACRES
 EXISTING ZONING: NR-BP
 BUILDING AREA
 RENOVATION: 80,142 SF
 FUTURE GYM EXPANSION: 16,450 SF
 TOTAL: 96,592 SF
 CONSTRUCTION TYPE: IIB
 BUILDING HEIGHT
 RENOVATION: 20'-5"
 FUTURE GYM EXPANSION: 32'-0"
 SPRINKLED: YES
 FIRE FLOW: 3,000 GPM
 FLOW DURATION: 4HR
 HYDRANTS REQUIRED: 3
 PARKING CALCULATION
 PHASE 3 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 150
 (2 X 30 MIDDLE SCHOOL CLASSROOMS = 60) + (3 X 30 HIGH SCHOOL CLASSROOMS = 90)
 = 150
 PHASE 4 REQUIRED PARKING SPACES BASED ON CLASSROOM COUNT: 157
 (2 X 32 MIDDLE SCHOOL CLASSROOMS = 64) + (3 X 31 HIGH SCHOOL CLASSROOMS = 93)
 = 157
 PHASE 4 REQUIRED NUMBER OF PARKING SPACES BASED ON AUDITORIUM SEATS: 188*
 1 PARKING SPACE PER 4 SEATS
 750 PROPOSED AUDITORIUM SEATS = 188*
 *GREATER NUMBER OF THE TWO CALCULATION METHODS WILL BE USED
 TOTAL PARKING SPACES PROVIDED
 PHASE 3: 290
 PHASE 4: 198
 MOTORCYCLE PARKING REQUIRED: 4
 MOTORCYCLE PARKING PROVIDED: 4
 BICYCLE PARKING REQUIRED: 89
 BICYCLE PARKING PROVIDED: 100

LEGEND



VICINITY MAP



ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

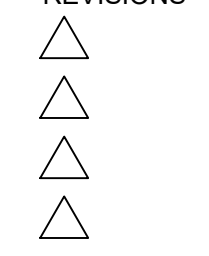


ENGINEER

PROJECT

EXPLORE ACADEMY
GULTON TENANT IMPROVEMENTS
PHASES 3B AND 4
6600 GULTON COURT NE
ALBUQUERQUE, NM 87109

REVISIONS



DRAWN BY	DS
REVIEWED BY	MB
DATE	2/5/21
PROJECT NO.	19-0099.003
DRAWING NAME	

SITE DETAILS
AND
SITE ENLARGEMENT

SHEET NO.

SDP1.3
OF

PLANT SCHEDULE

TREES	COMMON NAME	SHRUBS	COMMON NAME	SHRUBS	COMMON NAME
	EXISTING TREE TO REMAIN		LARGE DECIDUOUS SHRUB CHAMISA APACHE PLUME FERNBUSH GAMBEL OAK WINDBREAKER SACATON		LOW GROUNDCOVER GRO-LOW SUMAC ARCADIA JUNIPER PRAIRIE SAGE
	LARGE DECIDUOUS TREE EMERALD SUNSHINE ELM FRONTIER ELM SHADE MASTER HONEY LOCUST SHUMARD OAK CHINESE PISTACHE JAPANESE PAGODA TREE		MEDIUM DECIDUOUS SHRUB LINDHEIMER MUHLY GRASS BLUE MIST SPIREA PAWNEE BUTTES WESTERN SAND CHERRY BUTTERFLY BUSH		LARGE VINE TRUMPET VINE SILVER LACE VINE CROSS VINE
	LARGE EVERGREEN TREE AUSTRIAN PINE AFGHAN PINE ARIZONA CYPRESS		SMALL DECIDUOUS SHRUB AUTUMN SAGE BLONDE AMBITION BLUE GRAMA EL TORO MUHLY GRASS		
	SMALL EVERGREEN TREE ESCAPMENT LIVE OAK ROCKY MOUNTAIN JUNIPER		MEDIUM EVERGREEN SHRUB THOMPSON BROOM TURPENTINE BUSH BEARGRASS RED YUCCA		
	SMALL DECIDUOUS TREE DESERT WILLOW NEW MEXICO OLIVE VITEX				

LANDSCAPE CALCULATIONS

LANDSCAPE CALCULATIONS REFLECT COMPLETION OF PHASE 4

TOTAL SITE AREA = 9.98 AC = 435,117 SF
 AREA OF LOT COVERED BY BUILDINGS = 96,592 SF (INCLUDING GYM)
 NET LOT AREA = 338,525 SF

REQUIRED LANDSCAPE
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 50,779 SF
 PROVIDED LANDSCAPE AREA = 105,023 SF = 31%

REQUIRED TREES
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
 TOTAL NUMBER OF PARKING = 199 SPACES
 REQUIRED NUMBER OF PARKING LOT TREES = 20 TREES
 PROVIDED NUMBER OF PARKING LOT TREES = 26 TREES
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

REQUIRED STREET TREES = NA
 PROVIDED STREET TREES = NA

REQUIRED VEGETATIVE COVERAGE
 REQUIRED VEGETATIVE COVERAGE = 78,767 SF = 75% OF PROVIDED LANDSCAPE AREA
 A MINIMUM 25% OF REQUIRED VEGETATIVE COVERAGE BY GROUND PLANTS
 PROVIDED TOTAL VEGETATIVE COVERAGE = 79,100 SF = 75% OF TOTAL PROVIDED LANDSCAPE AREA
 TREE CANOPY COVERAGE = 59,140 SF
 GROUND PLANT COVERAGE = 19,959 SF = 25% OF REQUIRED VEGETATIVE COVERAGE

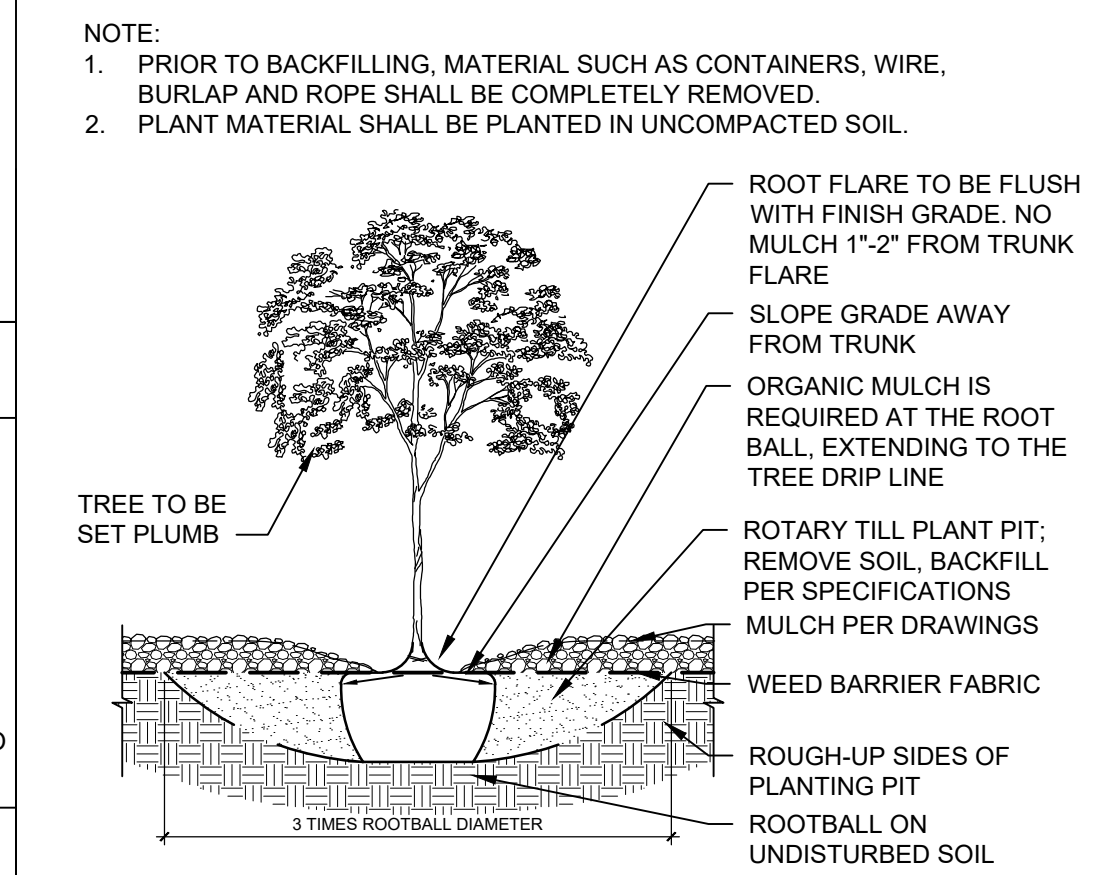
PARKING LOT AREA = 154,500 SF
 PARKING LOT LANDSCAPING PROVIDED = 27,100 SF = 17%
 MIN. 15% OF PARKING LOT AREA TO BE LANDSCAPED

GROUND COVER MATERIAL
 TOTAL ROCK MULCH GROUND COVER = 34,231 SF = 53%
 TOTAL ORGANIC MULCH GROUND COVER = 29,925 SF = 47%
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED 14-16-5-6(C)(5)(d)

GENERAL SHEET NOTES

- A. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- B. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS AND WATER CONSERVATION ORDINANCE.
- C. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- D. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH TURF OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA DRIP LINE.
- E. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- F. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- G. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- H. IRRIGATED NATIVE SEEDING IS USED TO STABILIZE PERIMETER AREAS OF THE SITE WITH NATIVE GRASSES AND SHRUBS AND NATIVE DENSITIES. REGULAR AUTOMATED IRRIGATION WILL BE TURNED OFF AFTER TWO GROWING SEASONS. SEEDING WILL NOT ENCRoACH UPON THE BEAR ARROYO TRAIL TO THE SOUTH DURING OR AFTER CONSTRUCTION.

TREE PLANTING DETAIL



IRRIGATION NOTES

- ALL PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

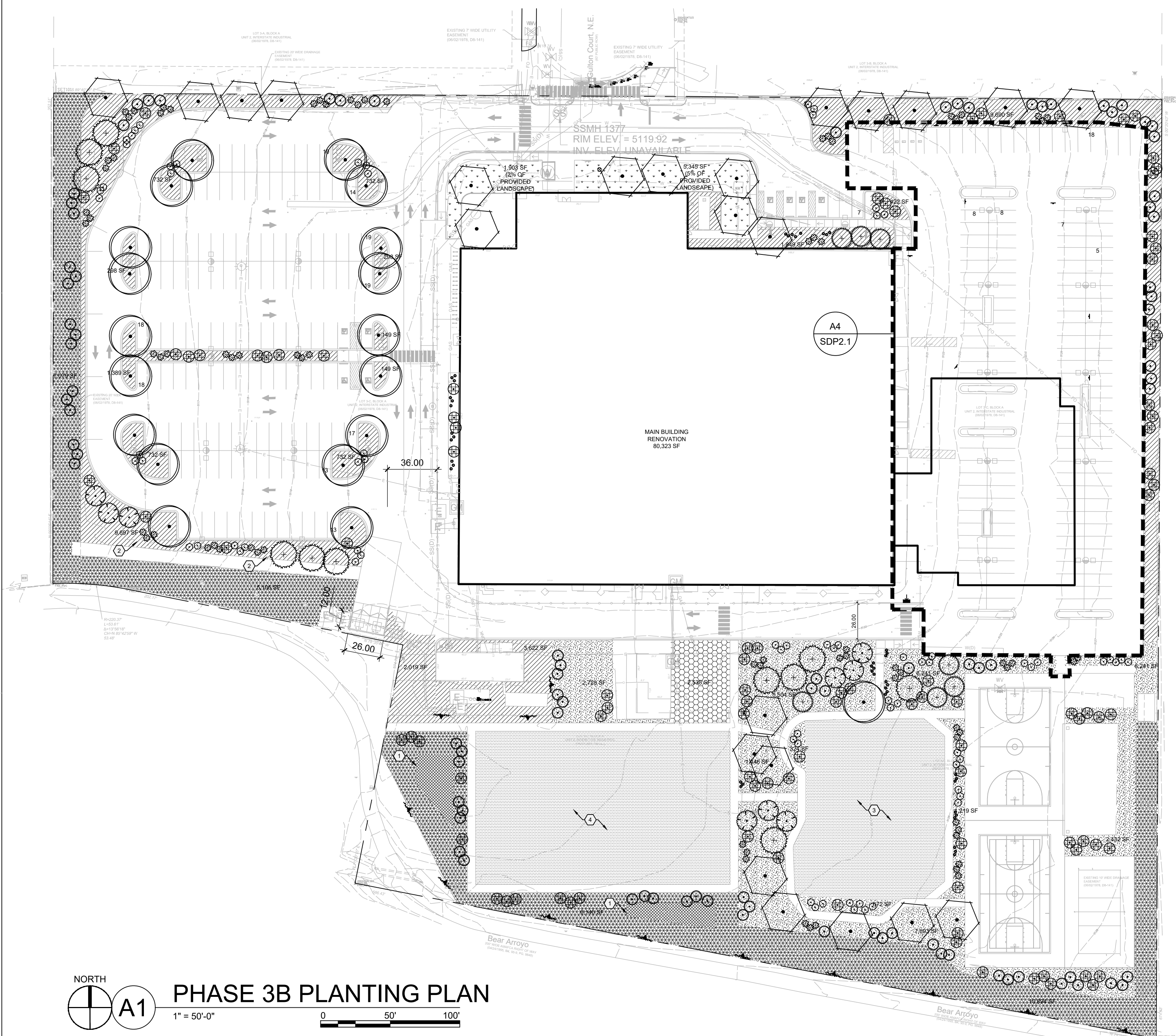
SHEET KEYED NOTES

CODE	DESCRIPTION
1	RETENTION POND
2	PLANTING TO SCREEN PARKING LOT FROM ARROYO
3	EXISTING MULTIPURPOSE FIELD TO REMAIN
4	MULTIPURPOSE FIELD

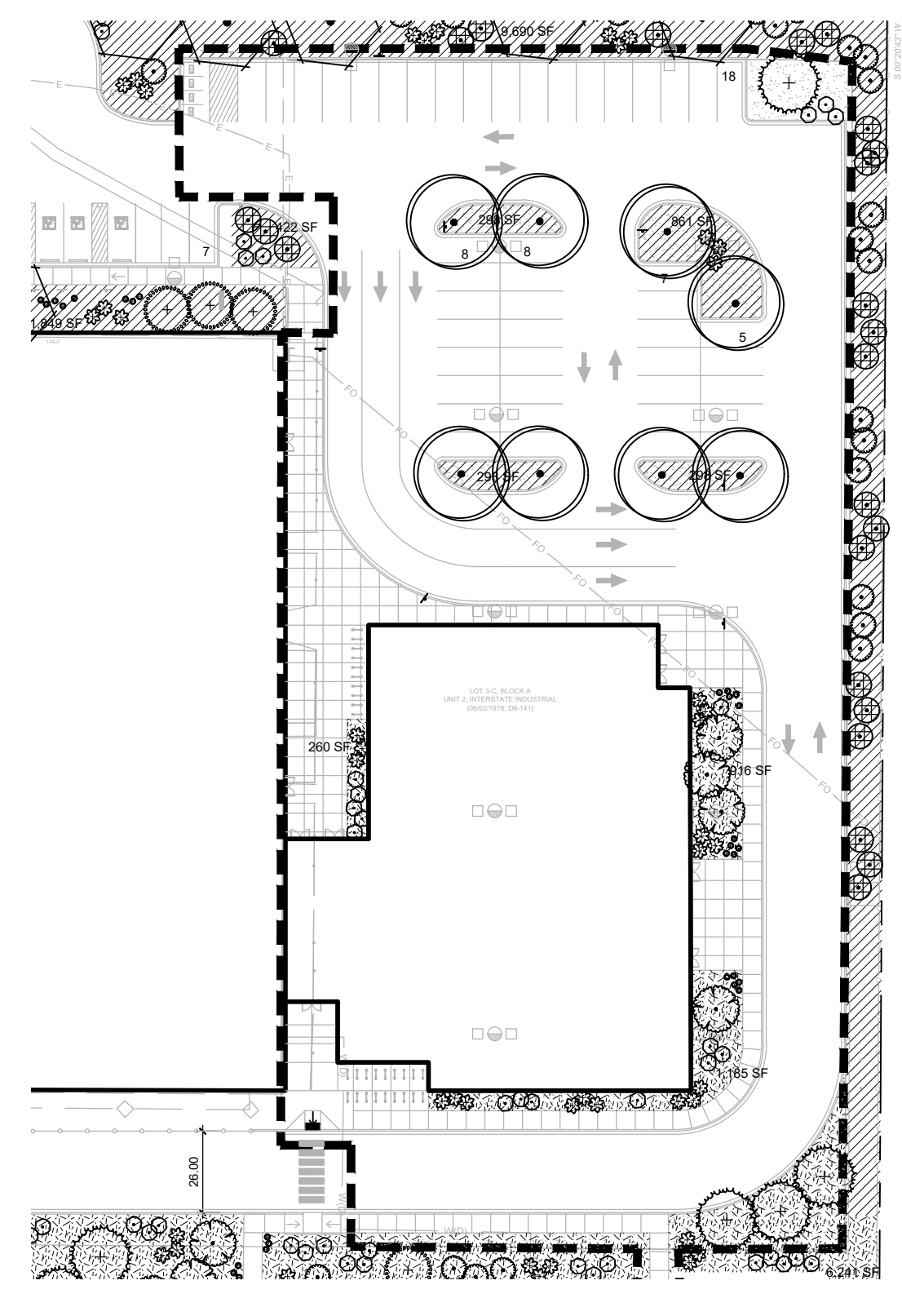
LEGEND

SYMBOL	NOTES
	4"Ø ANGULAR GRAVEL AT 8" DEPTH OVER WEED BARRIER FABRIC
	3/4"Ø ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC
	SHREDDED SCREENED BARK/WOOD MULCH 3" DEPTH OVER FILTER FABRIC
	EXISTING TURF AREA TO REMAIN
	IRRIGATED NATIVE SEED MIX BASIS OF DESIGN: GRAVELLY UPLANDS AND SLOPES SEED MIX LISTED IN CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS
	SCHOOL GARDEN
	PROPERTY LINE

VICINITY MAP



PHASE 3B PLANTING PLAN
 1" = 50'-0"
 NORTH



PHASE 4 PLANTING PLAN
 1" = 50'-0"
 NORTH



ARCHITECTURE
 DESIGN
 INSPIRATION

ARCHITECT

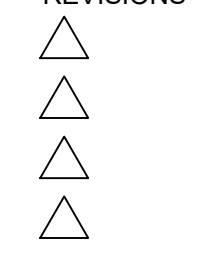


ENGINEER

PROJECT

EXPLORE ACADEMY
 GULTON TENANT IMPROVEMENTS
 PHASES 3B AND 4
 6600 GULTON COURT NE
 ALBUQUERQUE, NM 87109

REVISIONS



DRAWN BY	DS
REVIEWED BY	MB
DATE	2/5/21
PROJECT NO.	19-0099.003
DRAWING NAME	

PLANTING
 PLAN

SHEET NO.

SDP2.1
 OF

INFRASTRUCTURE IMPROVEMENTS AGREEMENT
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE INFRASTRUCTURE IMPROVEMENTS

THIS AGREEMENT is made this (Date) _____20_____, by and between the City of Albuquerque, New Mexico ("City"), whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Explore Academy ("Developer"), a N M company, [state the type of business entity e.g. "New Mexico corporation," "general partnership," "individual," etc.] _____, whose address is 5100 Masthead NE (City) Albuquerque, (State) NM (Zip Code) 87109 and whose telephone number is (505) 305-5300, in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Developer is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] _____
Lot 3-C Block A Replat of Lot 3 Interstate Industrial Tract Unit II recorded on 6-2-1978, attached, pages 141 through _____, as Document No. 78-39593 in the records of the Bernalillo County Clerk, State of New Mexico (the "Developer's Property"). The Developer certifies that the Developer's Property is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title for the Developer's Property to the present owner:] Explore Academy ("Owner").

The Developer has submitted and the City has approved a preliminary plat or Site Plan identified as Explore Academy Site Plan describing Developer's Property ("Developer's Property").

As a result of the development of the Developer's Property, the Integrated Development Ordinance ("I.D.O.") requires the Developer, at no cost to the City, to install certain public and/or private improvements, which are reasonably related to the development of the Developer's Property, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat, building permit or the Site Plan.

2. Improvements and Construction Deadline. The Developer agrees to install and complete the public and/or private improvements described in **Exhibit A**, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 3rd of September, 2021 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Developer's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. _____.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Developer meets the requirements of this Agreement, the Construction Completion Deadline can

be no later than two years after execution of this Agreement. (See DPM, Chapter 5.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the City's Development Review Board ("DRB"), unless the DRB grants an extension, not to exceed one additional year per extension, and the Developer processes an amendment to the Agreement. If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Developer may obtain an extension of the Construction Completion Deadline if the Developer shows adequate reason for the extension.

3. Albuquerque Bernalillo County Water Utility Authority. Pursuant to the Memorandum of Understanding between the City of Albuquerque and the Albuquerque Bernalillo County Water Utility Authority ("ABCWUA") dated March 21, 2007, the City is authorized to act on behalf of the ABCWUA with respect to improvements that involve water and sewer infrastructure.

4. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Developer causes to be submitted all documents, and meets all requirements listed in Development Process Manual ("DPM"), Chapter 2, Work Order Process, , including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Developer has procured, or has caused to be procured, public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Developer's Property, the Improvements, or the Developer's construction activities within, or related to the Developer's Property. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. If the Improvements include water and wastewater infrastructure, the insurance policy must name the ABCWUA, its employees, officers and agents, as their interest may appear, as additional insureds. The Developer must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail thirty (30) days written notice to the City, attention City Engineer.

B. The Developer complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

Type of Fee	Amount
Engineering Fee	3.6%
Street Excavation and Barricading Ordinance and street restoration fees	As required per City-approved estimate (Figure 7)

Note: The Developer must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

5. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Precision Surveying, and construction surveying of the private Improvements shall be performed by Precision Surveying. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Developer shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Developer shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Scott M McGee PE and inspection of the private Improvements shall be performed by Scott M McGee PE, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Developer shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Developer shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by _____, and field testing of the private Improvements shall be performed by _____ both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Developer shall ensure that the field testing entity provides

all field testing results, reports and related data to the City which the City requires for review. The Developer shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Developer shall pay the City a reasonable fee therefore.

6. Financial Guaranty. If final plat approval is not requested prior to construction of the Developer's Property, a financial guaranty is not required. If final plat approval is requested, the Developer must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit, or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the City's I.D.O. requirements, the Developer has acquired, or is able to acquire, the following Financial Guaranty:

Type of Financial Guaranty: _____

Amount: \$ _____

Name of Financial Institution or Surety providing Guaranty: _____

Date City first able to call Guaranty (Construction Completion Deadline): _____

If Guaranty is a Letter of Credit or Loan Reserve, then last day City able to call Guaranty is: _____

Additional information: _____

7. Notice of Start of Construction. Before construction begins, the Developer shall deliver an acceptable Notice to Proceed to the City and shall arrange for a preconstruction conference and all required inspections.

8. Completion, Acceptance and Termination. When the City receives Developer's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Chapter 2). If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the Public Improvements and a Certificate of Completion for the Private Improvements. Thereafter, the Developer's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Developer has provided to assure the materials and workmanship, as required by the I.D.O. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

9. Conveyance of Property Rights. When the Improvements are completed, if the City

does not own the real property upon, or in which, the public Improvements are constructed, the Developer will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat.

10. Reduction of Financial Guaranty Upon Partial Completion. The Developer shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Developer must follow the procedures and meet the requirements detailed in the DPM, Chapter 2.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed, and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the Developer must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the I.D.O.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

11. Indemnification. Until the Improvements are accepted by the City, the Developer shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Developer agrees to indemnify and hold harmless the City and its officials, agents and employees and, if the Improvements include water and wastewater infrastructure, the ABCWUA, its employees, officers and agents, from any claims, actions, suits or other proceedings arising from or out of the acts or omissions of the Developer, its agents, representatives, contractors or subcontractors or arising from the failure of the Developer, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer herein. The indemnification required hereunder shall not be limited as a result of the

specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

12. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Developer and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

13. Release. If the Developer's Property or any part thereof is sold, conveyed or assigned, the City will not release the Developer from its obligations under this Agreement and will continue to hold the Developer responsible for all Improvements until a successor in interest to the Developer has entered into an Infrastructure Improvement Agreement with the City. Thereafter, if the Developer's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

14. Payment for Incomplete Improvements. If the Developer fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Developer shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to, engineering, legal, and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Developer's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Developer shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

15. Binding on Developer's Property. The provisions of this Agreement constitute covenants running with Developer's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Developer and the Owner and their heirs, successors and assigns.

16. Notice. For purposes of giving formal written notice, including notice of change of address, the Developer's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six (6) days after the notice is mailed if there is no actual evidence of receipt.

17. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

18. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

19. Construction and Severability. If any part of this Agreement is held to be invalid or

unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

20. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

21. Form Not Changed. Developer agrees that changes to this form are not binding unless initialed by the Developer and signed by the City Legal Department on this form.

22. Authority to Execute. If the Developer signing below is not the Owner of the Developer's Property, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER: _____

By [Signature]: _____

Name [Print]: _____

Title: _____

Dated: _____

CITY OF ALBUQUERQUE

By: _____

Shahab Biazar, P.E., City Engineer

Dated: _____

DEVELOPER'S NOTARY

STATE OF _____)
) ss.
COUNTY OF _____)

This instrument was acknowledged before me on this ____ day of _____, 20____, by
[name of person:] _____, [title or capacity, for instance,
"President" or "Owner":] _____ of
[Developer:] _____.

(SEAL)

Notary Public

My Commission Expires: _____

CITY'S NOTARY

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this ____ day of _____, 20____,
by Shahab Biazar, P.E., City Engineer of the City of Albuquerque, a municipal corporation, on behalf of
said corporation.

(SEAL)

Notary Public

My Commission Expires: _____

[EXHIBIT A ATTACHED]
[POWER OF ATTORNEY ATTACHED IF DEVELOPER
IS NOT THE OWNER OF THE DEVELOPER'S PROPERTY]

POWER OF ATTORNEY

NOTE: Must be signed and notarized by the owner if the Developer is not the owner of the Developer's Property.

STATE OF _____)
) ss.
COUNTY OF _____)

[State name of present real property owner exactly as shown on the real estate document conveying title for the Developer's Property to the present owner:]

_____ ("Owner"), of [address:]
_____, [City:]
_____, [State:] _____ [zip code:] _____, hereby
makes, constitutes and appoints [name of Developer:]

_____ ("Developer") as my true and lawful attorney in fact, for me and in my name, place and stead, giving unto the Developer full power to do and perform all and every act that I may legally do through an attorney in fact, and every proper power necessary to meet the City of Albuquerque's ("City") Integrated Development Ordinance requirements regarding the real estate owned by me and described in Section 1 of the Infrastructure Improvements Agreement ("Agreement") above, including executing the Agreement and related documents required by the City, with full power of substitution and revocation, hereby ratifying and affirming what the Developer lawfully does or causes to be done by virtue of the power herein conferred upon the Developer.

This Power of Attorney can only be terminated: (1) by a sworn document signed and notarized by the Owner, which shall be promptly delivered to the City Engineer in order to provide notice to City of the termination of this Power of Attorney; or (2) upon release of the Agreement by the City.

NOTE: Alternate wording may be acceptable, but must be submitted to the City Legal Department for review and approval before the final contract package is submitted to the City for review. The City may require evidence of ownership and/or authority to execute the Power of Attorney, if the Owner is not the Developer. If Owner is a corporation, the Power of Attorney must be signed by the president or by someone specifically empowered by the Board of Directors, in which case the corporate Secretary's certification and a copy of the Board's resolution empowering execution must accompany this document.

OWNER

By [Signature:]: _____

Name [Print]: _____

Title: _____

Dated: _____

The foregoing Power of Attorney was acknowledged before me on _____,
20__ by [name of person:] _____, [title or capacity, for
instance "President":] _____ of [Owner:]
_____ on behalf of the Owner.

(SEAL)

Notary Public

My Commission Expires: _____