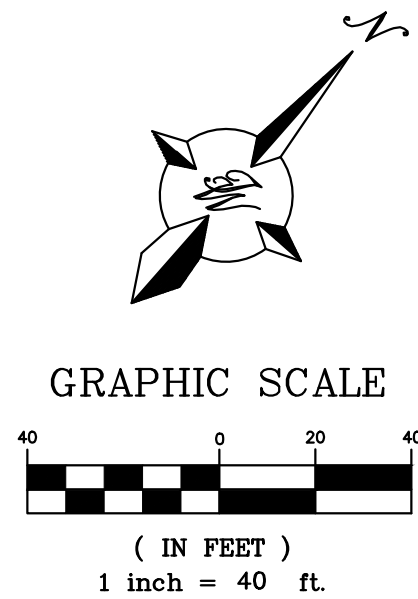


TRACT 2-A AVALON
SUBDIVISION UNIT 5
VACANT, ZONED NR-BP

VACANT, ZONED NR-BP

NOTE
LANDSCAPING AND SIGNAGE WILL NOT
INTERFERE WITH CLEAR SIGHT
REQUIREMENTS. THEREFORE, SIGNS,
WALLS, TREES AND SHRUBBERY BETWEEN
3' AND 8' TALL (AS MEASURED FROM
GUTTER PAN) WILL NOT BE ACCEPTABLE
IN THE CLEAR SIGHT TRIANGLE

SIGHT TRIANGLE (TYP)
35'



KEYED NOTES

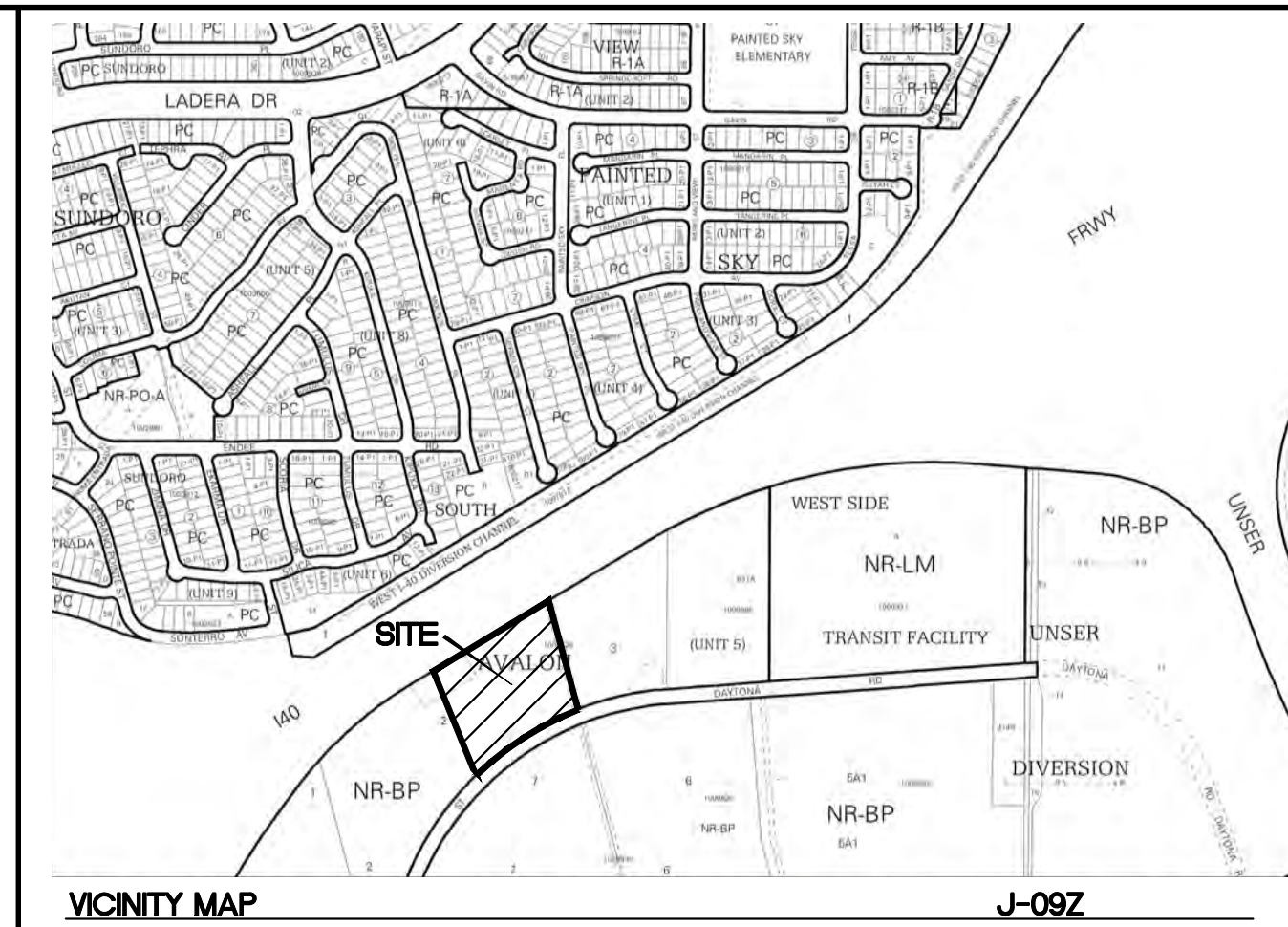
- ① ACCESSIBLE PARKING SEE DETAIL SHEET DET-1
- ② 6" CURB AND GUTTER PER COA STD DWG 2415A
- ③ 5' SIDEWALK PER COA STD DWG 2430
- ④ UNIDIRECTIONAL ACCESSIBLE RAMP, SEE SHEET DET-1
- ⑤ 6' SIDEWALK PER COA STD DWG 2430
2% MAX CROSS SLOPE
- ⑥ 8" CURB AND GUTTER PER COA STD DWG 2415A
- ⑦ REMOVE AND DISPOSE EXIST CURB, ASPHALT AND CUTOFF WALL
- ⑧ REMOVE AND DISPOSE CUTOFF WALL
- ⑨ NEW CUTOFF WALL PER COA STD DWG 2415B
- ⑩ 6' VALLEY GUTTER PER COA STD DWG 2420
- ⑪ PROPOSED FIRE HYDRANT PER COA STD DWG 2340
- ⑫ TRANSFORMER W/BOLLARDS
- ⑬ 6" CROSSWALK (STRIPED) W/2% MAX CROSS SLOPE
- ⑭ CONCRETE RETAINING WALL
- ⑮ LANDSCAPE
- ⑯ MOTORCYCLE PARKING W/SIGN SEE DETAIL SHEET DET-1
- ⑰ EMERGENCY TURNAROUND
- ⑱ DUMPSTER, SEE SHEET DET-2
- ⑲ MONUMENT SIGN
- ⑳ BICYCLE RACK (3 SPACES), SEE SHEET DET-1
- ㉑ POND
- ㉒ CONCRETE PAVING
- ㉓ PYLON SIGN
- ㉔ ZERO CURB
- ㉕ AREA LIGHT, 40' FULLY SHIELDED (TYP)
- ㉖ 7' MIN HEIGHT, 8' MAX HEIGHT OPAQUE FENCE
COLOR TO MATCH BUILDING
- ㉗ 8' MAX HEIGHT OPAQUE 12' GATE
COLOR TO MATCH BUILDING
- ㉘ TURNDOWN SIDEWALK
- ㉙ VEGETATIVE SCREEN, SEE
LANDSCAPE PLANS SHEET LP-101

LEGEND

- PROPOSED CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - PROPOSED SIDEWALK/CONCRETE
- - - EXISTING CURB & GUTTER
- ⊠ TRANSFORMER
- FIRE HYDRANT
- ▨ LANDSCAPE AREA
- - - FENCE
- ▨ ASPHALT PAVING AREA

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY
MUST BE INCLUDED ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR
SIGHT TRIANGLES @ ENTRANCE OFF DAYTONA. SIGNS, WALLS, TREES, AND
SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE
GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



VICINITY MAP J-09Z

LEGAL DESCRIPTION
TRACT NUMBERED 2-B OF AVALON SUBDIVISION UNIT 5, A SUBDIVISION OF A TRACT OF LAND
LOCATED WITHIN PROJECTED SECTIONS 16 AND 21, TOWNSHIP 10 NORTH, RANGE 2 EAST,
N.M.P.M. TOWN OF ATRISCO GRANT

SITE DATA

ZONING	NR-BP
SITE AREA	253757 SF (5.83 AC)
PROPOSED USAGE	COMMERCIAL
BUILDING AREA	3173 SF OFFICE 6868 SF SERVICE AREA 7038 SF TRUCK BAYS 11223 SF WAREHOUSE 4100 SF COVERED DOCKS 32402 SF TOTAL
PARKING REQUIRED	18 SPACES (1 PER 1000 OFFICE, SERVICE AREA, TRUCK BAY)
PARKING PROVIDED	47 SPACES
HC PARKING REQUIRED	2 SPACES
HC PARKING PROVIDED	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED	49 SPACES
BICYCLE PARKING REQUIRED	3 SPACES (GREATER OF 3 OR 10% OF REQUIRED PARKING)
BICYCLE SPACES PROVIDED	3 SPACES
MOTORCYCLE SPACES REQUIRED	1 SPACES (1 PER 1-25 VEHICLES PARKING REQUIRED)
MOTORCYCLE SPACES PROVIDED	2 SPACES
LANDSCAPE REQUIRED	38063 SF (15% OF LOT AREA)
LANDSCAPE PROVIDED	65330 SF
SETBACKS	
FRONT	20'
SIDE	10'
REAR	10'

PROJECT NUMBER: PR-2020-004747
APPLICATION NUMBER: SI-2021-00484

This plan is consistent with the specific Site Development Plan approved by the
Environmental Planning Commission (EPC), dated _____, and the
Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If Yes, then a set of
approved DRG plans with a work order is required for any construction within
Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Jeanne Wolfenbarger</i>	Jun 25, 2021
Traffic Engineer, Transportation Division	Date
<i>Blaine Carter</i>	Jun 25, 2021
Date	
<i>ABCWA</i>	Jun 30, 2021
Parks & Recreation Department	Date
<i>Ernest Arroyo</i>	Jun 25, 2021
City Engineer/Hydrology	Date
<i>C. J.</i>	Jun 28, 2021
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
<i>Herman Gallegos</i>	06-10-21
Solid Waste Management	Date
<i>S. J.</i>	Jul 7, 2021
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

	SOUTHERN TIRE MART ALBUQUERQUE, NM	DRAWN BY pm
	SITE PLAN ADMINISTRATIVE	DATE 6-8-21
6-8-21 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020031-SP
		SHEET # SP-1
		JOB # 2020031

Approved for access by the Solid Waste Department
Herman Gallegos 06-10-21**Tires will be disposed of
in screened storage area only.**

INTERSTATE 40 (300' R.O.W.)



CONSTRUCTION NOTES:
 Native seed mix for appropriate soil per city specifications 1012.2.1.
 Gravel over seeded area shall be only one layer deep to promote native seed growth.

LANDSCAPE LEGEND

SYMBL.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	MATURE HGW	WATER USE	COVER (EA)	TOTAL
Trees							
	24	2 1/2 Trunks w/ 2 1/2 Combined Cal.	Desert Willow <i>Oryzopsis linearis</i>	20' x 25'	L	625	15000
	5	2 1/2 Trunks w/ 2 1/2 Combined Cal.	Bradford Pear <i>Pyrus calleryana</i>	20' x 25'	M	225	1125
	5	2 1/2 Cal.	Honey Locust <i>Gleditsia triacanthos inermis</i>	50' x 45'	M+	2025	10125
	13	6" Height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	8125
	8	2 1/2 Cal.	Chinese Pistache <i>Platanus chinensis</i>	40' x 30'	M	500	7200
	16	2 1/2 Trunks w/ 2 1/2 Combined Cal.	Chinese Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	6400
	28	6" - 8"	Upright Juniper <i>Juniperus chinensis</i>	8' x 8'	L	225	6300
						Total Tree Coverage:	54275
Shrubs & Groundcovers							
	11	5 Gal	Blue Mist Spruce <i>Caryopteris x clandonensis</i>	3' x 3'	Low+	9	99
	1	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	7' x 6'	M	36	36
	10	5 Gal	Indian Hawthorn <i>Raphiolepis indica</i>	3' x 5'	M	25	250
	13	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4' x 12'	M	144	1872
	15	5 Gal	Apache Plume <i>Fouquieria parsonsii</i>	6' x 7'	L	45	675
	10	5 Gal	Wintersgreen Barberry <i>Barberry juliana</i>	5' x 5'	M	25	250
	9	5 Gal	Chamae <i>Chrysothamnus nauseosus</i>	5' x 7'	L	45	405
	35	5 Gal	Feather Reed Grass <i>Calamagrostis canadensis</i>	2' x 2'	M	9	315
	8	5 Gal	Trumpetvine Bush <i>Ericameria laricina</i>	5' x 6'	L	36	288
	18	5 Gal	Buffalo Juniper <i>Juniperus lanceolata</i>	4' x 12'	M	144	2592
	12	5 Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low+	9	108
	2	5 Gal	Sagebrush Yucca w/ Cobble Accent <i>Yucca elata</i>	20' x 5'	RU	25	50
						Total Shrub Coverage:	4095

LANDSCAPE CALCULATIONS

ZONING	NR-BP: NON-RESIDENTIAL BUSINESS PARK
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994
TOTAL LOT AREA (ACRES)	5.83
TOTAL LOT AREA (SF)	253751
BUILDING AREA (SF)	22300
NET LOT AREA (SF)	231451
REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	34719
LANDSCAPE PROVIDED (SF)	92023
VEGETATIVE COVER (%) - REQ	15.0
VEGETATIVE COVER (SF) - REQ	67652
VEGETATIVE COVER (SF) - PROV.	58310
REQ. TREES - 1ST AND 2ND STORY UNITS	28
PROVIDED UNIT TREES	11
GROUND COVER (%) - REQ	10.75
GROUND COVER (SF) - REQ	16913
GROUND COVER (SF) - PROV.	4095
PARKING LOT AREA (SF)	4500
REQ. PARKING LANDSCAPE 10% (SF)	450
PROV. PARKING LANDSCAPE (SF)	4500
REQ. PARKING TREES (1/10 SPOTS)	5
PROV. PARKING TREES	9
COOL SEASON GRASS (SF)	0
COOL SEASON GRASS (% OF LANDSCAPE)	0.0

Other Materials

SYMBL.	QTY	TYPE
	1322	5F Landscape Gravel A with Filter Fabric 3/4" Crushed Gray Gravel
	3165	5F Landscape Gravel A with Filter Fabric / Plantings 3/4" Crushed Gray Gravel
	5892	5F Landscape Gravel A / No Filter Fabric 3/4" Crushed Gray Gravel
	39598	5F Oversize Landscape Gravel / Plantings / Native Seed / No Filter Fabric 2-4" Angular Cobble/RipRap
	24983	5F Oversize Landscape Gravel / Native Seed / No Filter Fabric 2-4" Angular Cobble/RipRap
	6654	5F Oversize Landscape Gravel / Vegetative Screen Plantings / Native Seed / No Filter Fabric 2-4" Angular Cobble/RipRap
	358	5F Native Seeding, No Gravel Native Seed (100% MULCH)
		Concrete See site plan

PLANTING NOTES
 ALL PLANTS TO CONTAIN BARK MULCH AROUND THE ROOTBALL, TO THE EXTENT TO COVER THE DRIP LINES.

GENERAL NOTES
 IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED 5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:
 IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBMERGIAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. NETAFM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE TWO (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

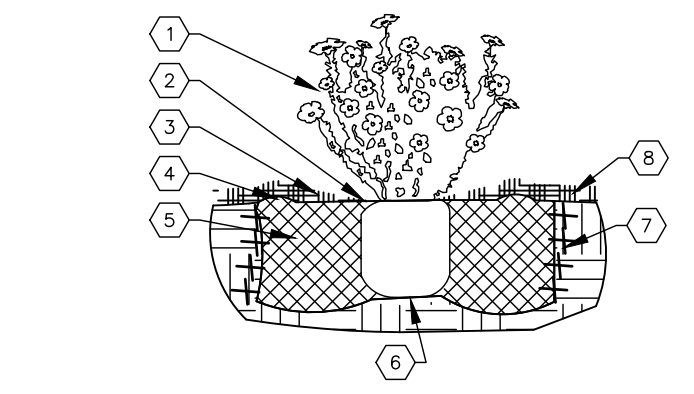
RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

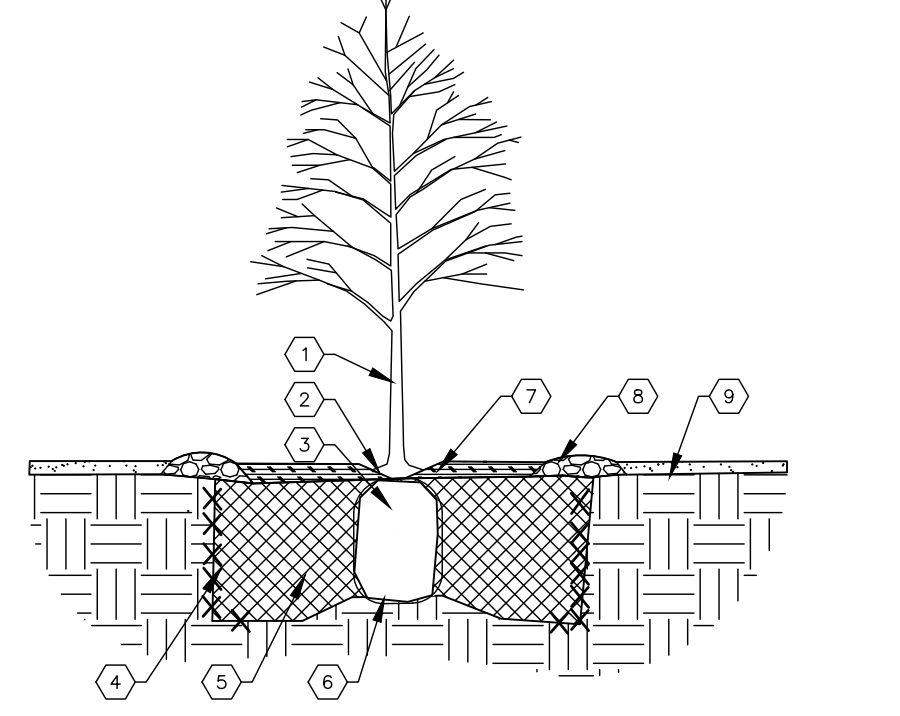


SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION SPECIES AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- USE WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- BACKFILL PER SPECIFICATIONS LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- MULCH - SEE PLANTING PLAN.

SHRUB PLANTING

NTS SHRUB PLANTING DETAIL

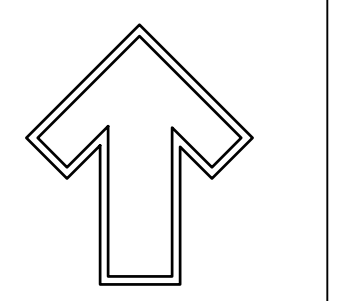
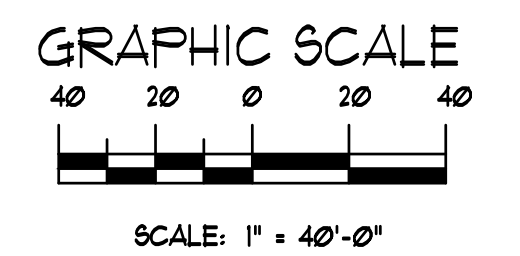


TREE PLANTING KEYED NOTES

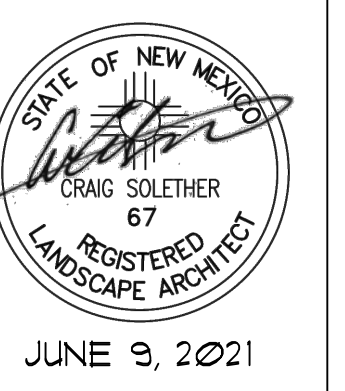
- TREE LOCATION SPECIES AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL FROM NURSERY/AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC TUNES, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BULKY EXCESS FROM BOTTOM OF ROOT BALL.
- SCAFFRY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- MULCH - SEE PLANTING PLAN.

TREE PLANTING

NTS TREE PLANTING DETAIL



The Hilltop
 15005 Edith NE
 Albuquerque, NM 87113
 Cell: (505) 898-3690
 Fax: (505) 898-3131
 thehilltoplandscape.com



JUNE 9, 2021

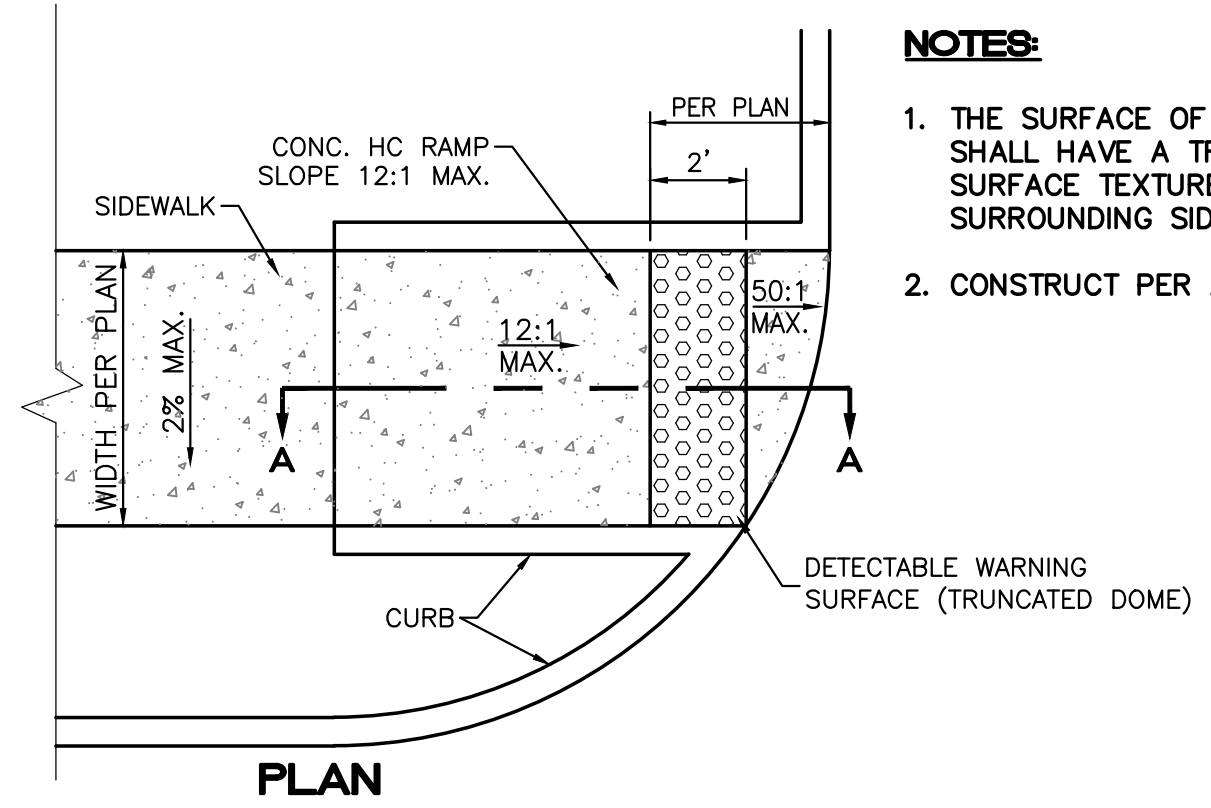
Southern Tire Mart
 Albuquerque, NM
 landscape Design Development

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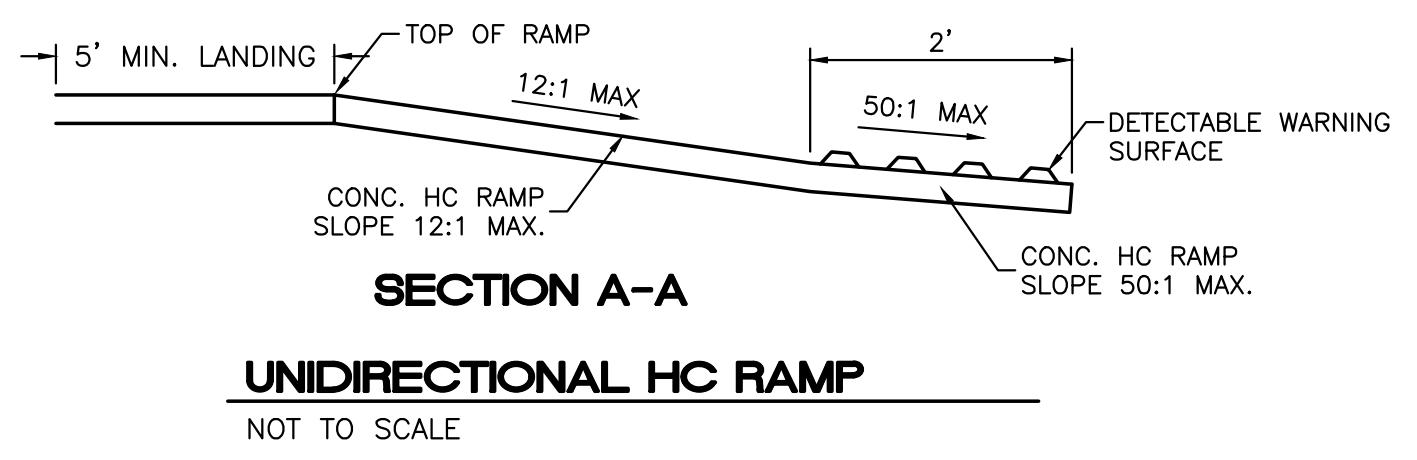
The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: JLI
 REVISION:
 DATE: 06/15/2021

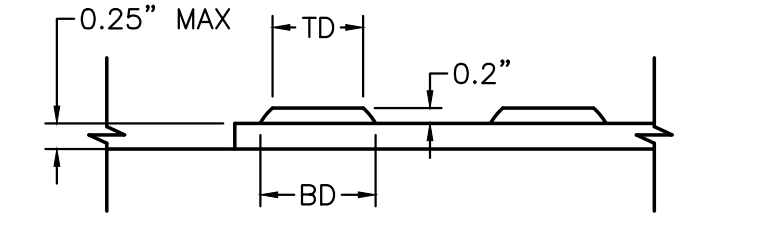
SHEET #
 LP-101



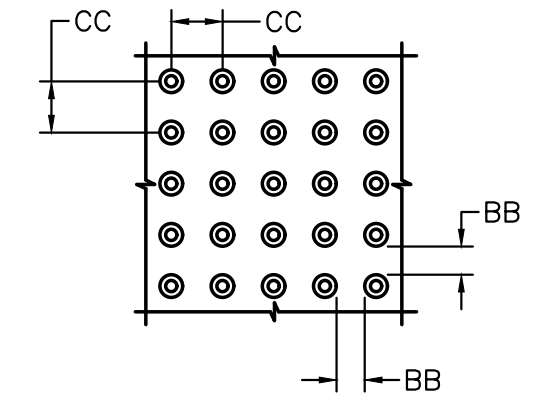
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.



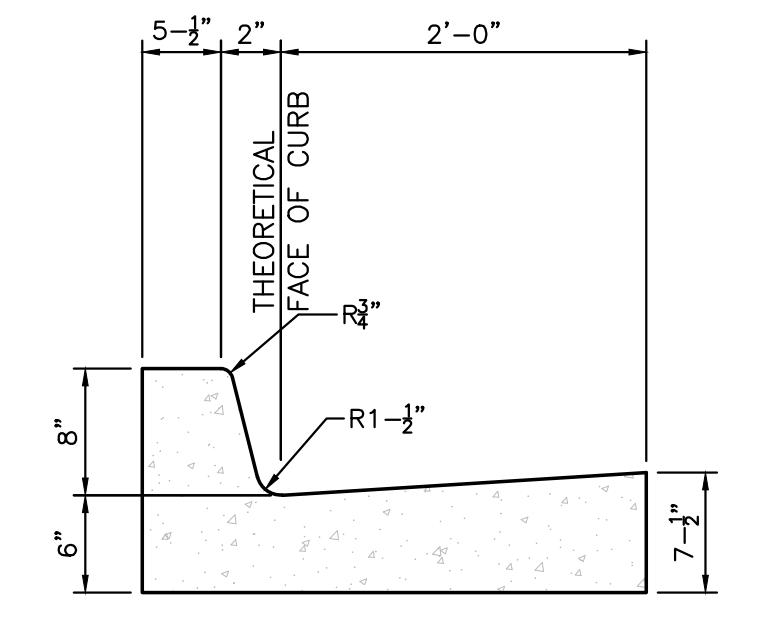
UNIDIRECTIONAL HC RAMP
NOT TO SCALE



DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

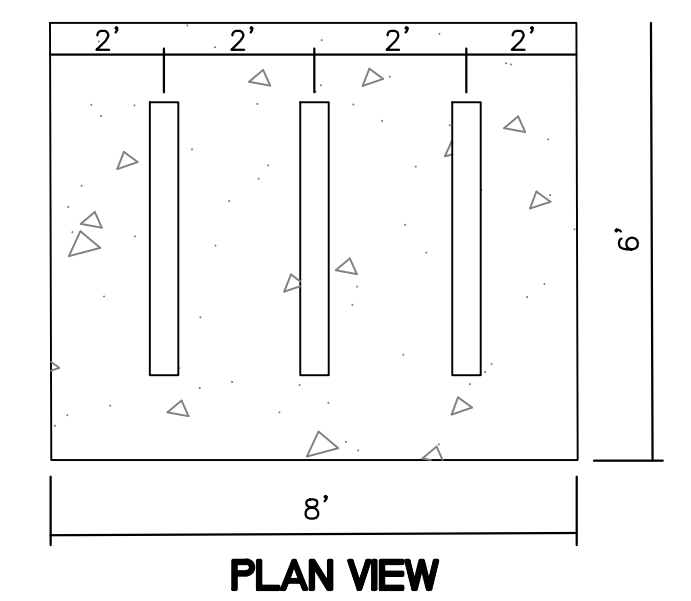


DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

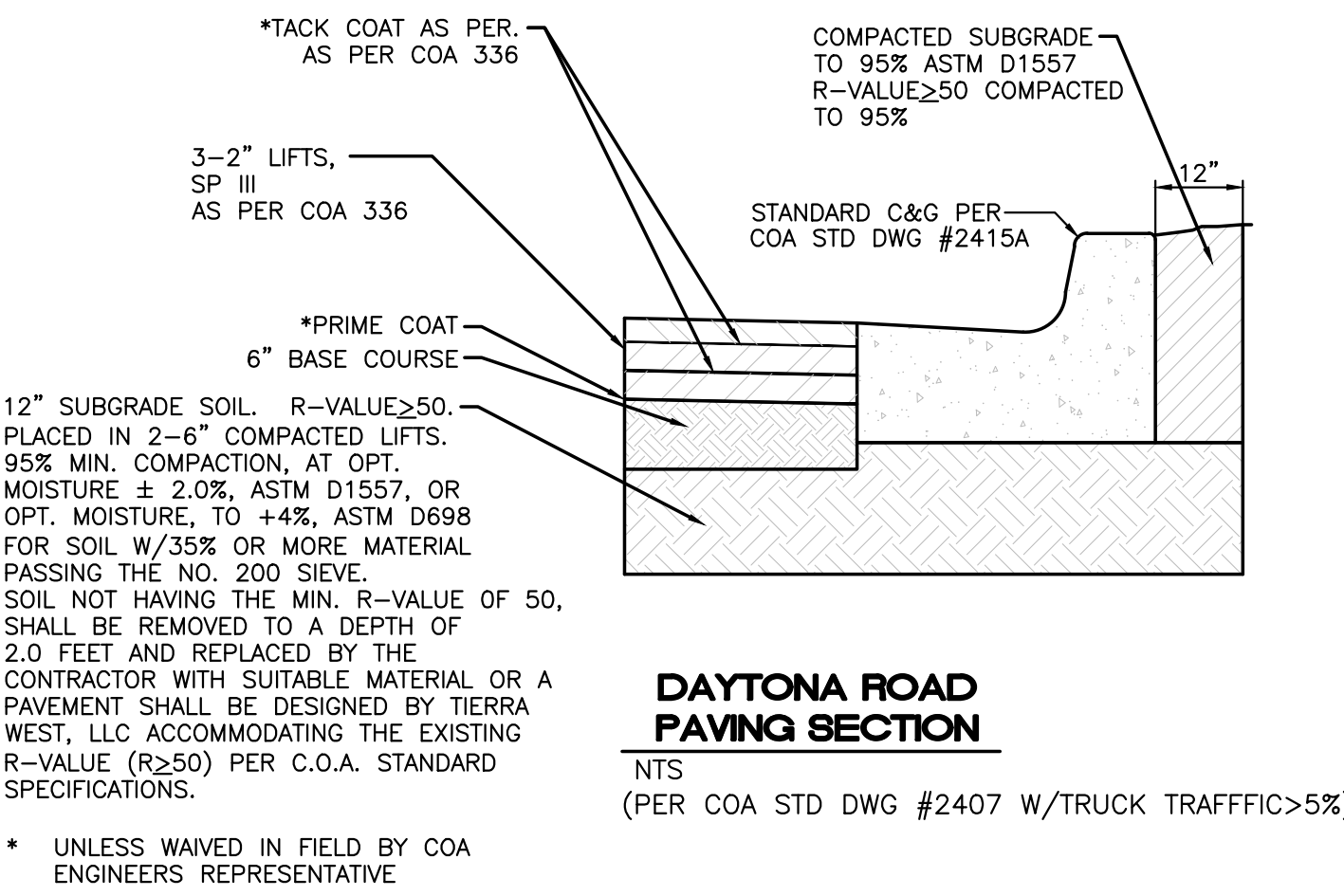


- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING. 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

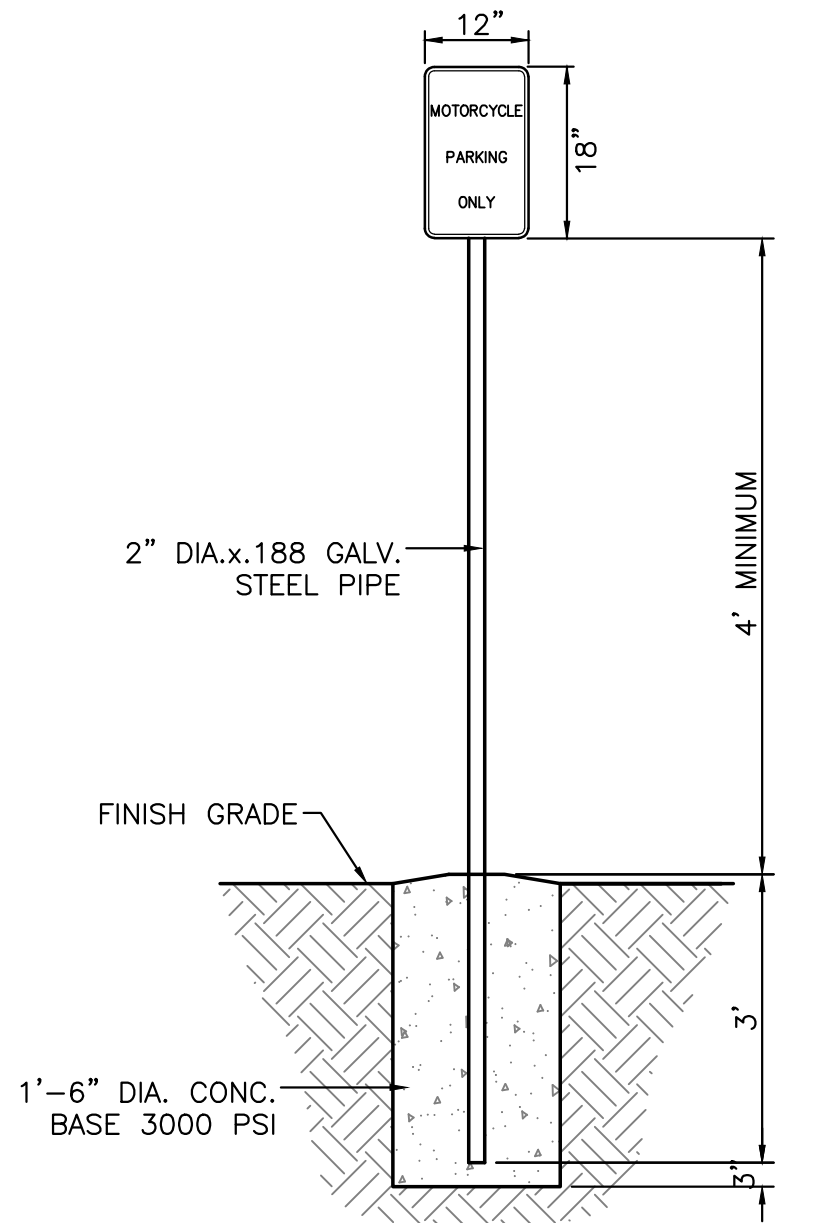
8" STANDARD CURB / GUTTER
NTS



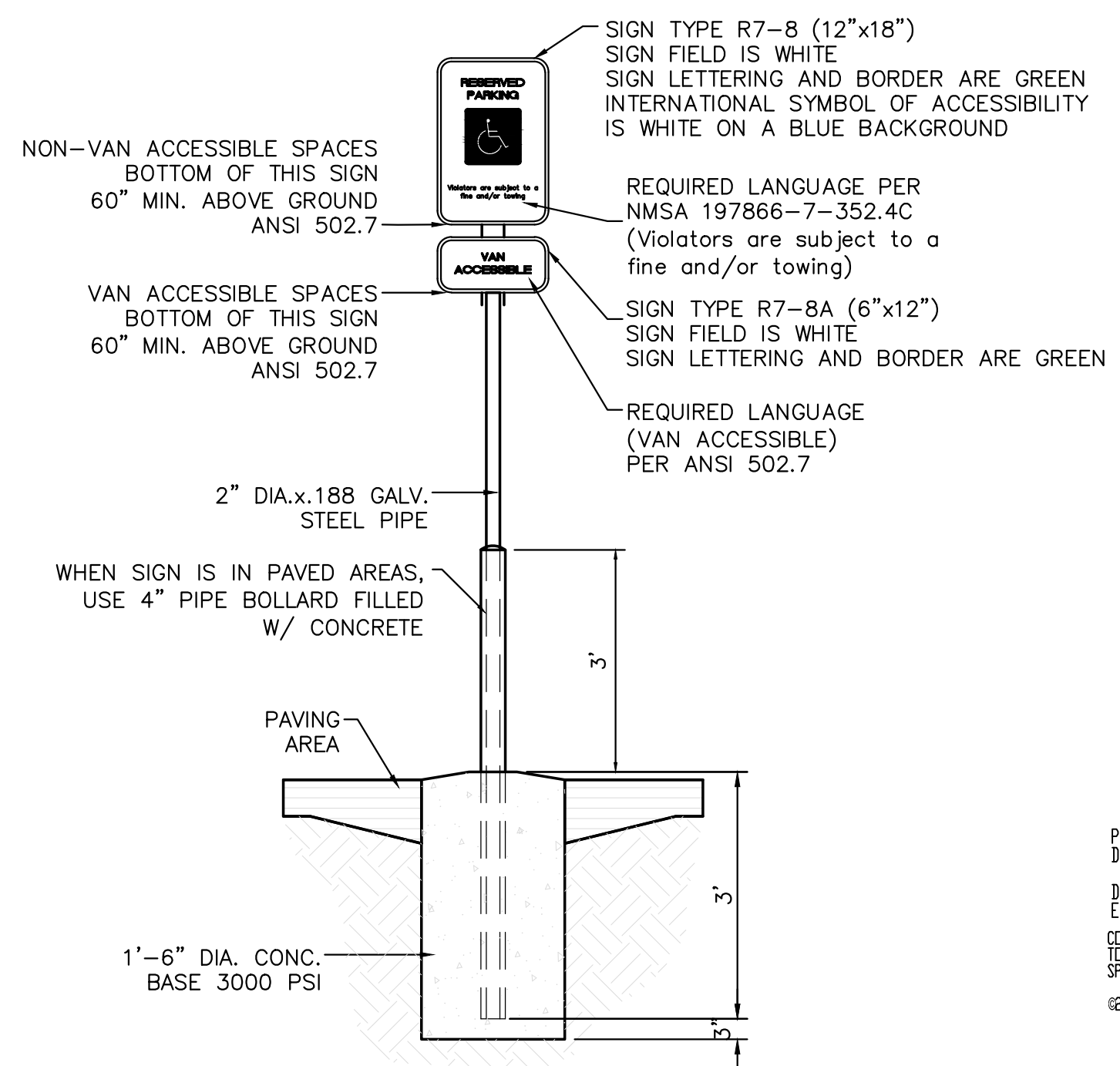
PLAN VIEW



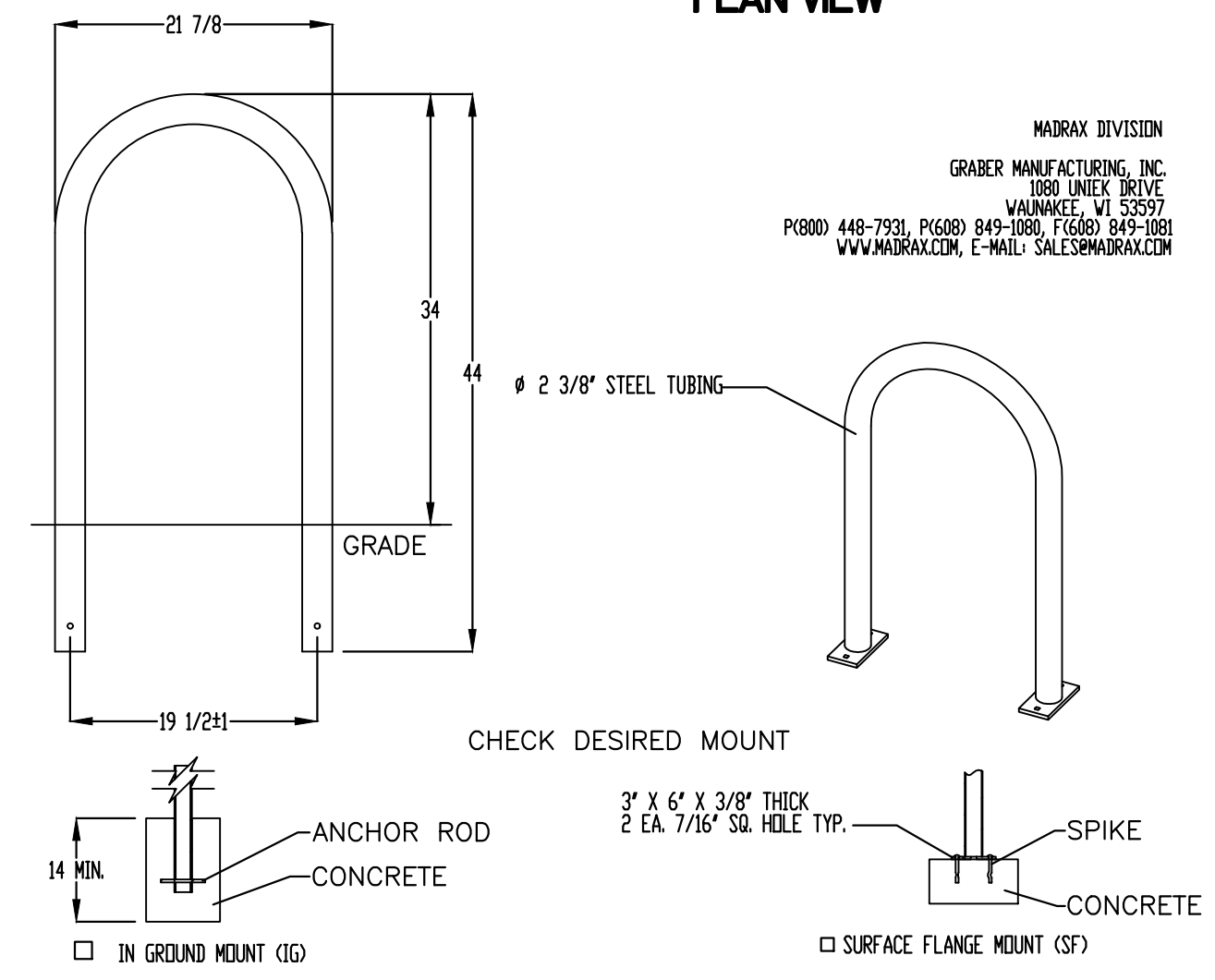
DAYTONA ROAD PAVING SECTION
NTS
(PER COA STD DWG #2407 W/TRUCK TRAFFIC>5%)



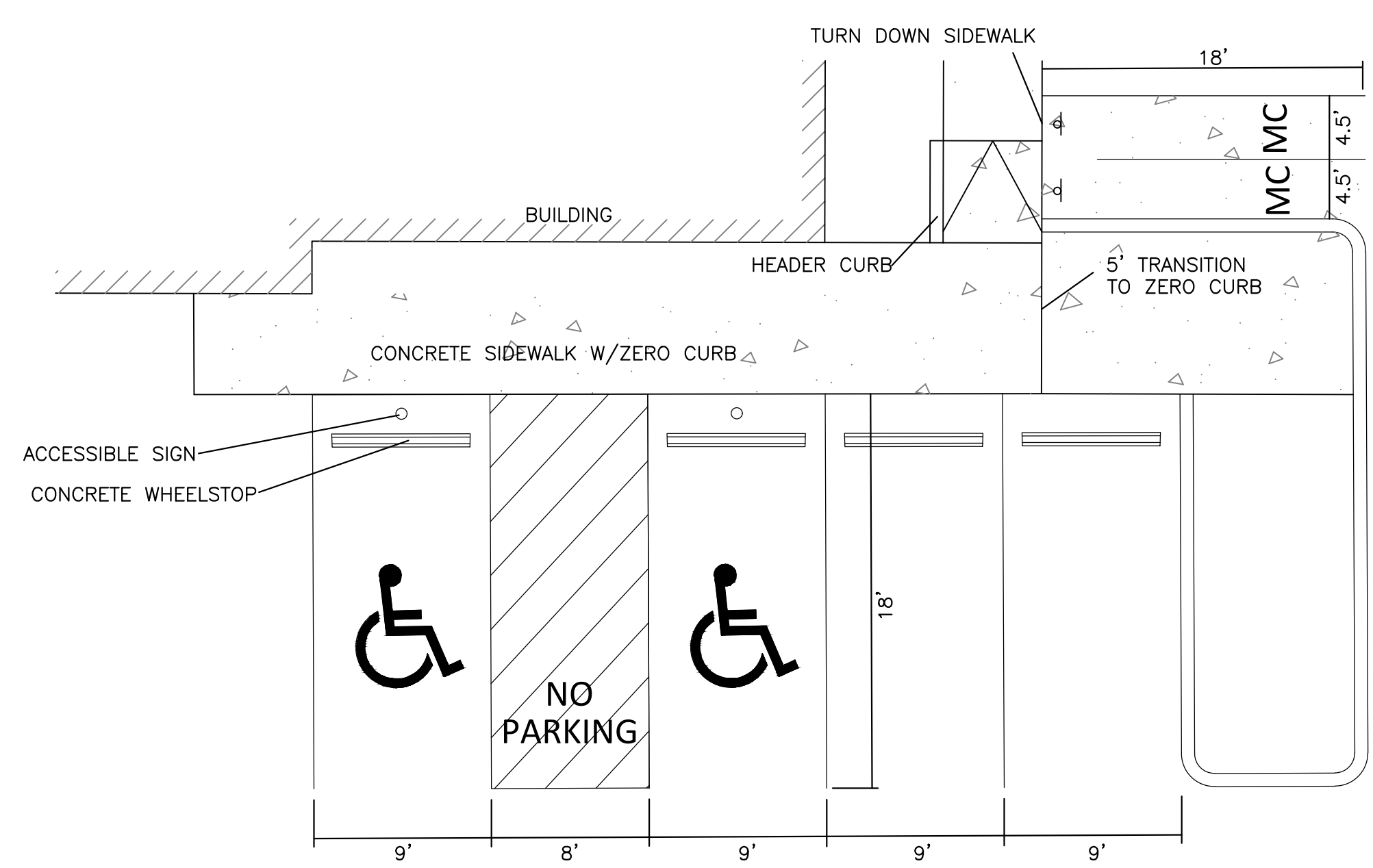
MOTORCYCLE PARKING SIGN
NTS



ACCESSIBLE PARKING SIGN
NTS



BIKE RACK DETAIL
SCALE: NONE



ACCESSIBLE PARKING DETAIL

MARAX DIVISION
GRABER MANUFACTURING, INC.
1050 LINEX DRIVE
WALWAKEE, WI 53097
P800 448-7931, P6680 849-3900, F6680 849-3900
WWW.MARAX.COM, E-MAIL SALES@MARAX.COM

PRODUCT: L238-1G(SF)
DESCRIPTION: "U" BIKE RACK
DATE: 10-4-10
ENG: SMC
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- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR & FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

	SOUTHERN TIRE MART ALBUQUERQUE, NM	DRAWN BY pjm
	CONSTRUCTION DETAILS	DATE 6-8-21
06/09/2021 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020031-DET
		SHEET # DET-1
		JOB # 2020031

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CONSULTANT:
 CIVIL
 TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM
 87109

CONSULTANT:
 STRUCTURAL
 FOWLER ENGINEERING, LLC
 1383 OAK TREE COVE, SUITE A
 HERNANDO, MS 38632

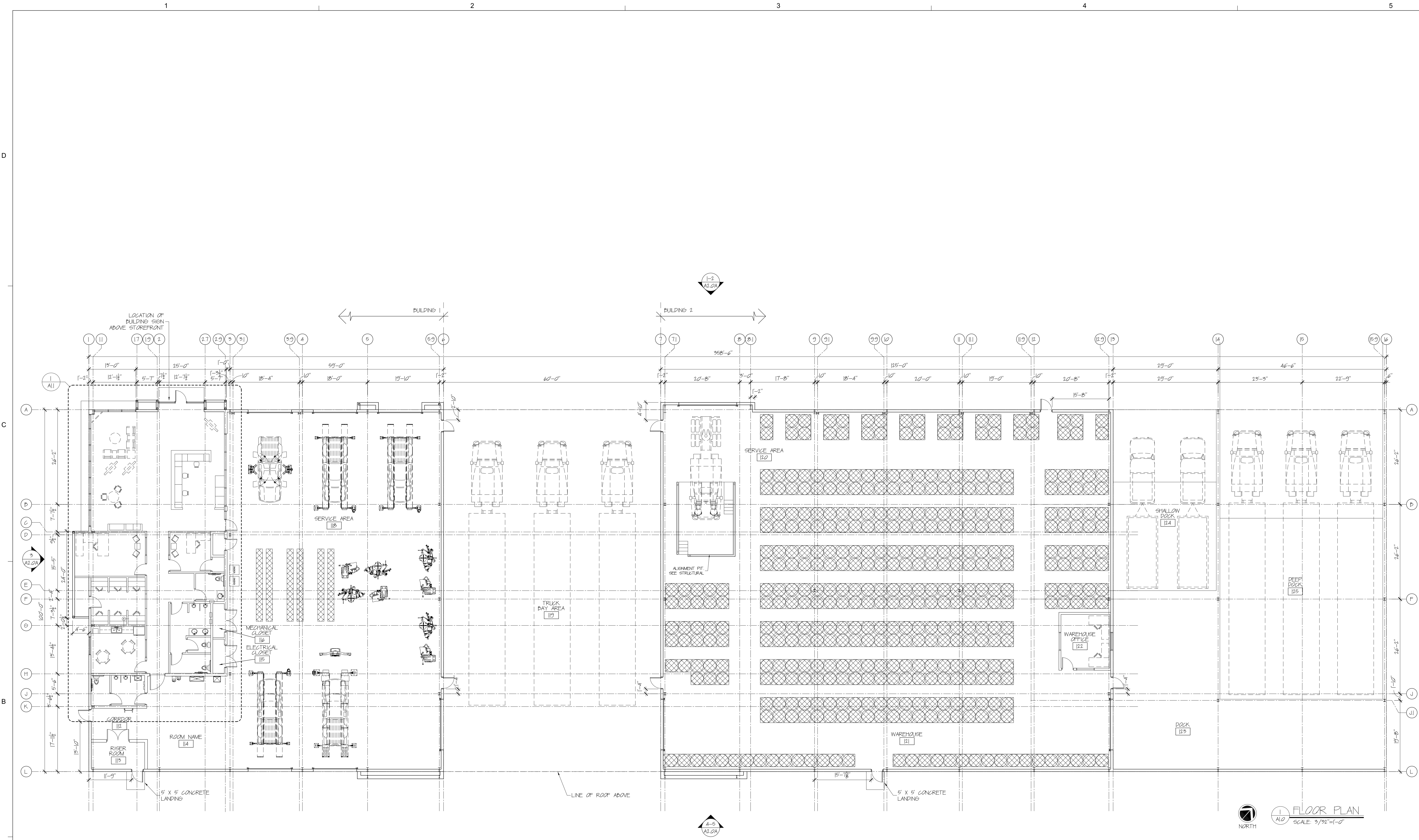
CONSULTANT:
 MECHANICAL/ELECTRICAL/
 PLUMBING/FIRE PROTECTION
 JORDAN & SCALA ENGINEERS
 17825 NORTH DALLAS PKWY,
 SUITE 310
 DALLAS, TX 75287

CONSULTANT:



PROJECT NAME:
 NEW TIRE FACILITY
 FOR SOUTHERN TIRE
 MART
 ALBUQUERQUE, NM

OWNER:
 TL WALLACE CONSTRUCTION
 4015 HWY 35
 COLUMBIA, MS 39419



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 CIVIL
 TERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109

CONSULTANT:
 STRUCTURAL
 FOWLER ENGINEERING, LLC
 1983 OAK TREE COVE, SUITE A
 HERNANDO, MS 38632

CONSULTANT:
 MECHANICAL/ELECTRICAL/
 PLUMBING/FIRE PROTECTION
 JORDAN & SCALA ENGINEERS
 17825 NORTH DALLAS PKWY,
 SUITE 310
 DALLAS, TX 75281

CONSULTANT:

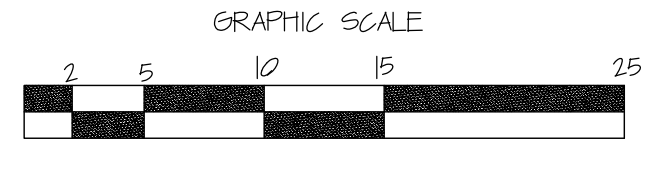
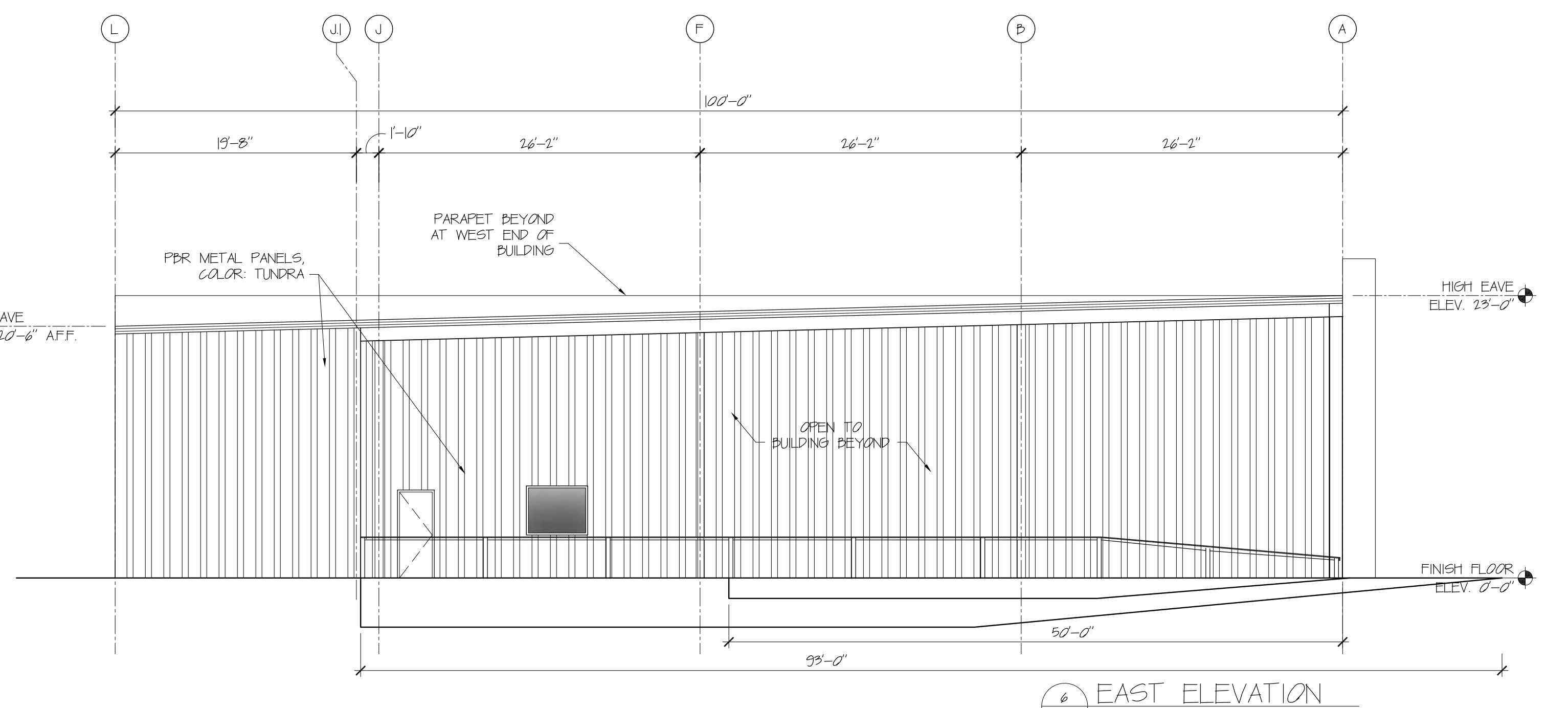
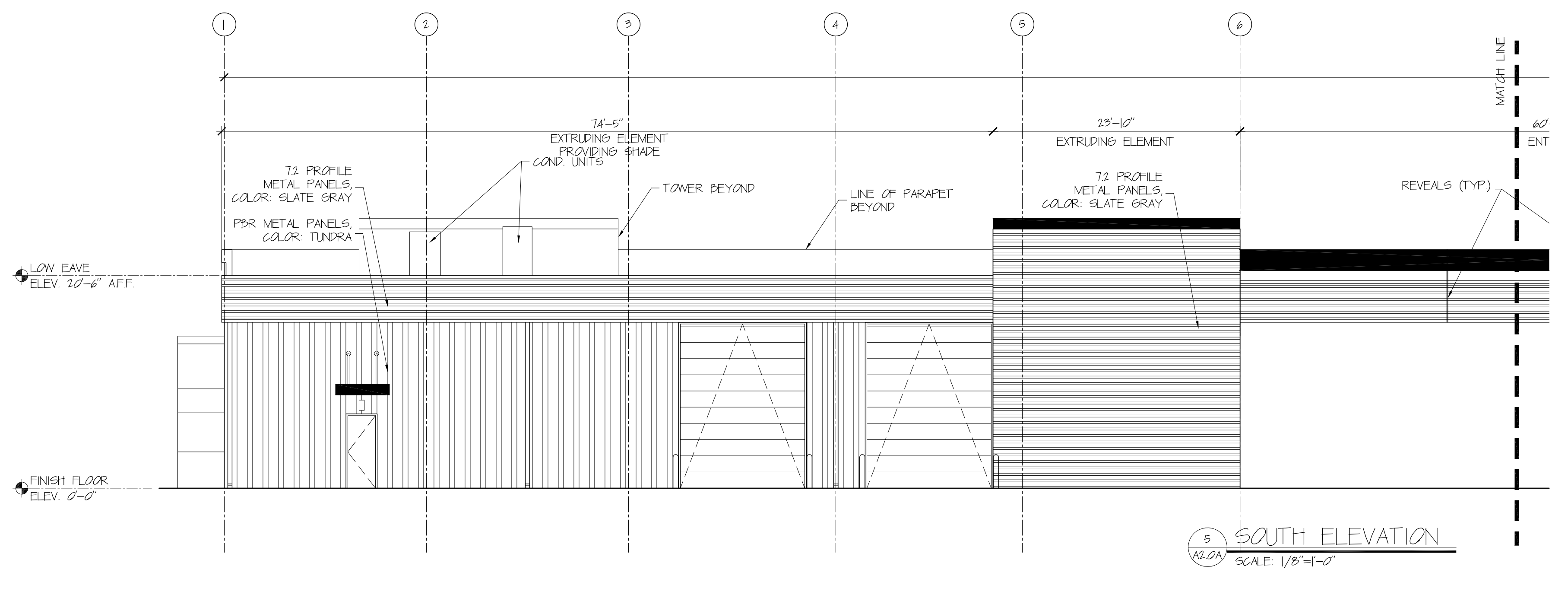
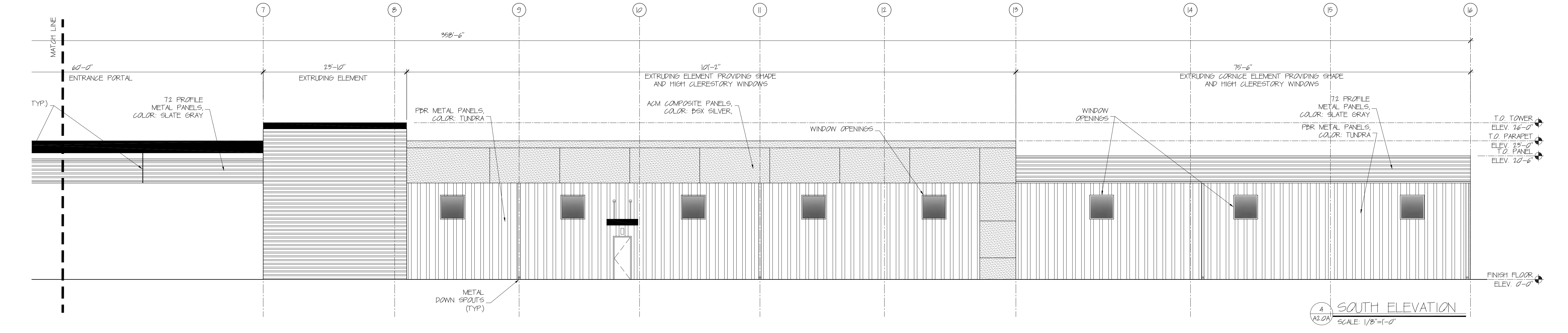
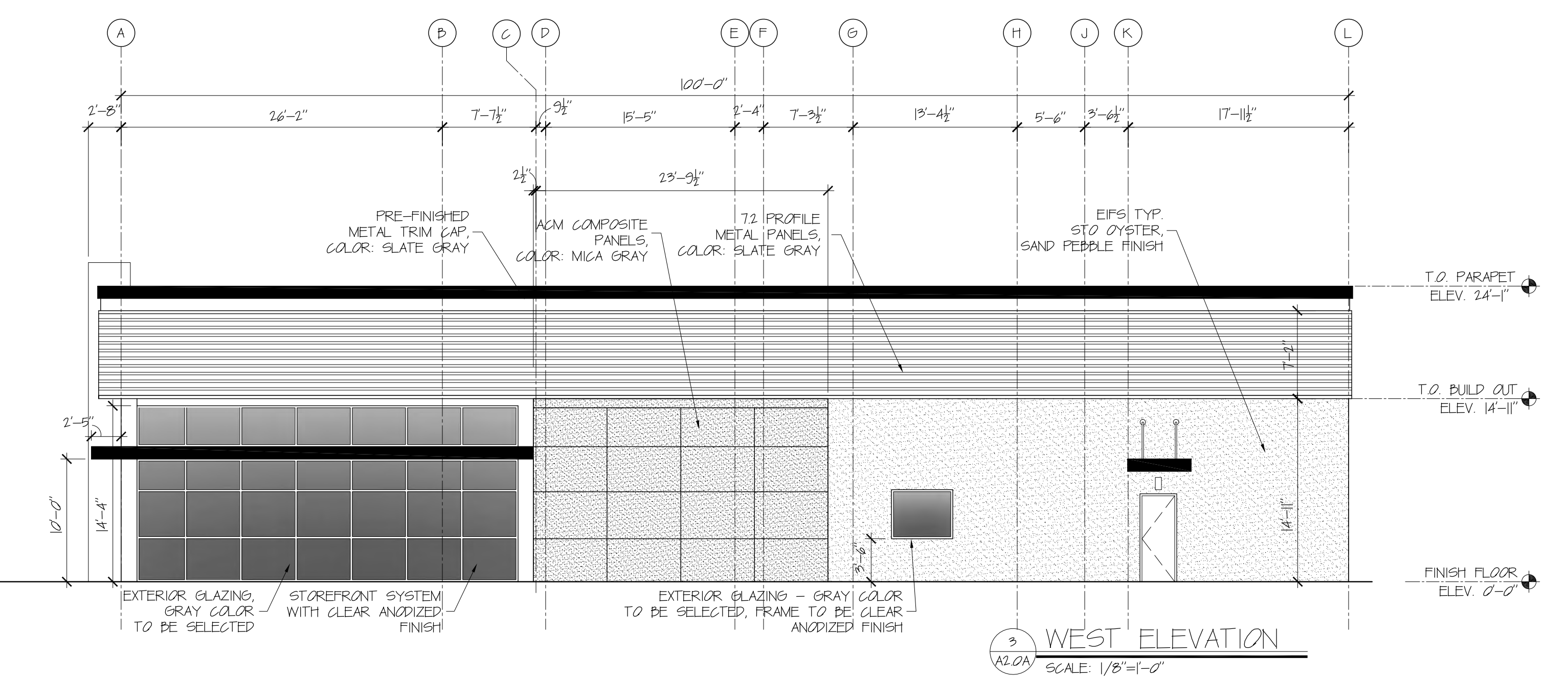
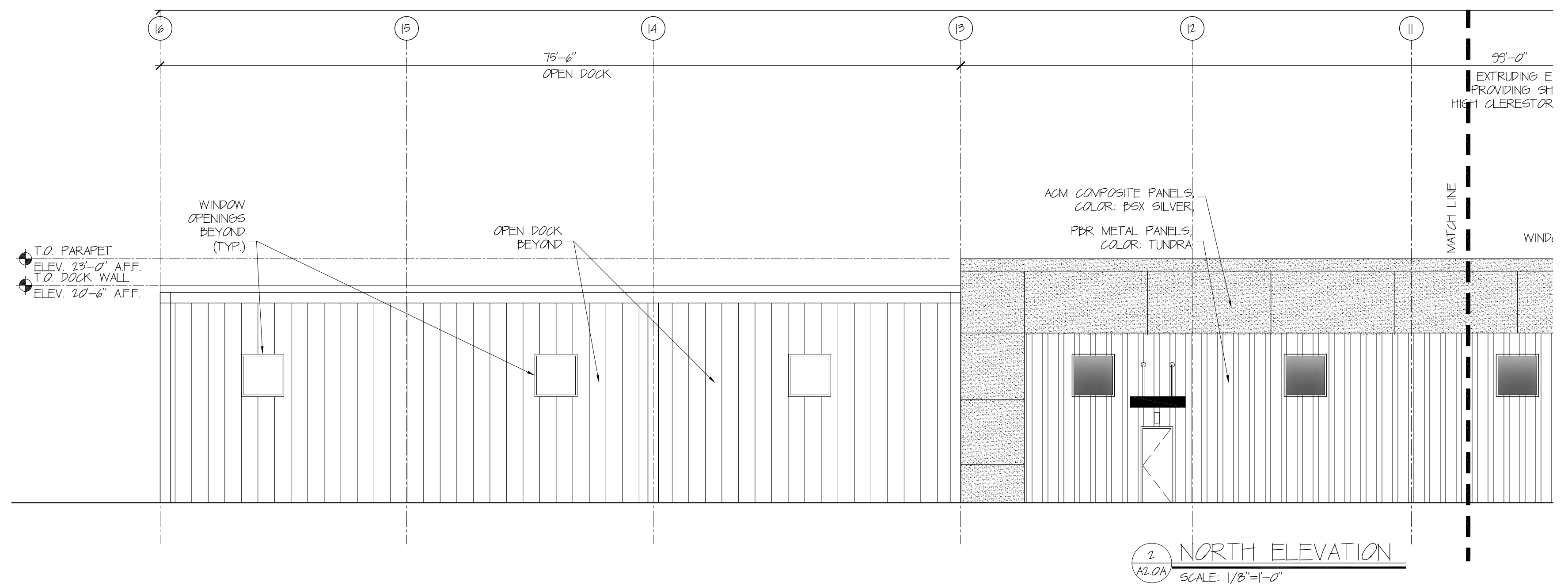
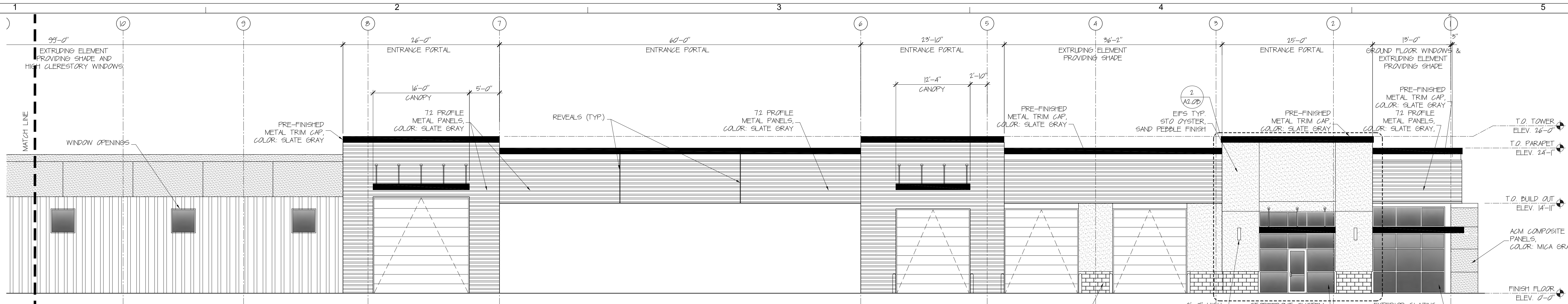


PROJECT NAME:
 NEW TIRE FACILITY FOR SOUTHERN TIRE MART
 ALBUQUERQUE, NM

OWNER:
 TL WALLACE CONSTRUCTION
 4015 HWY 95
 COLUMBIA, MS 39419

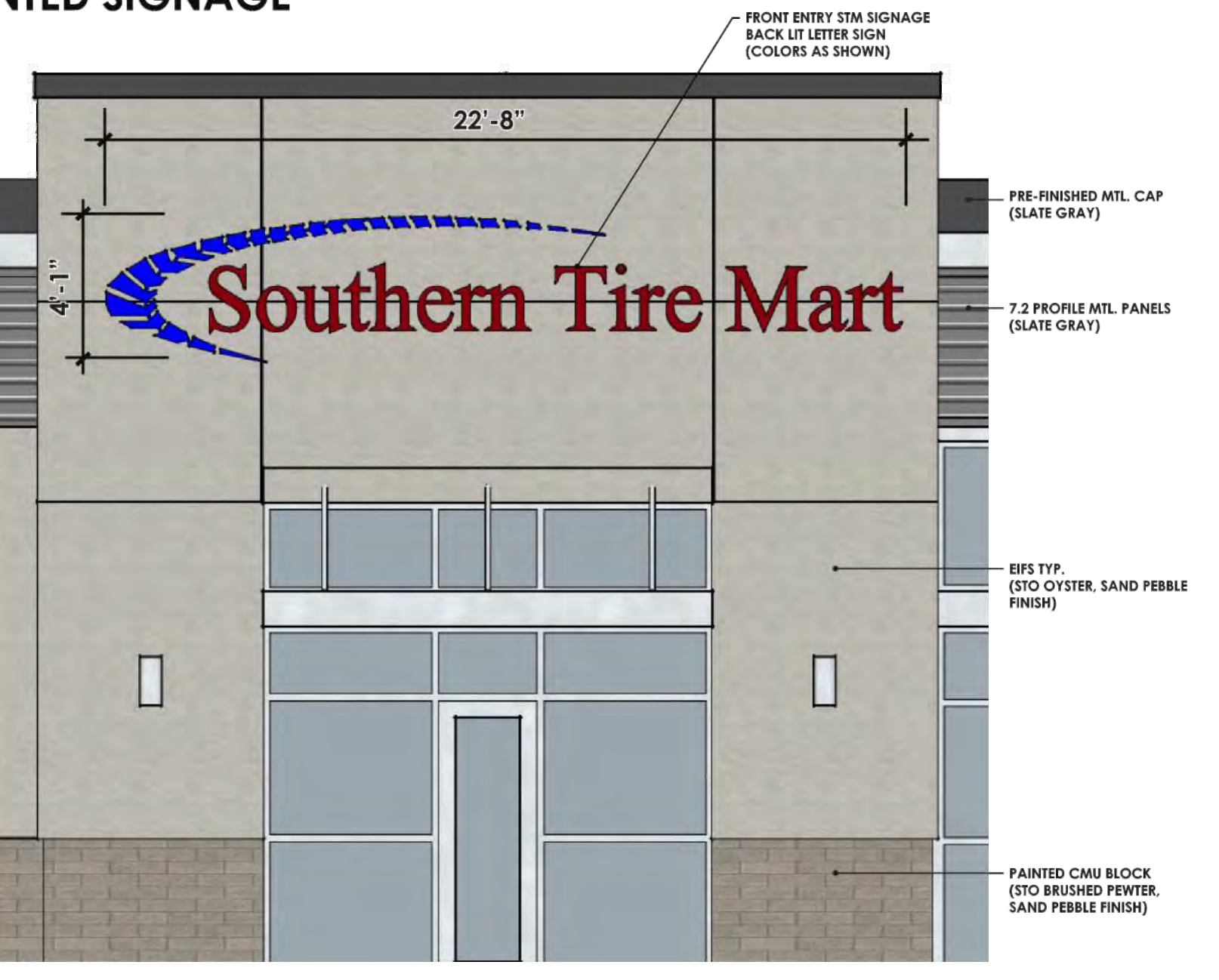
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SHEET CONTENT:	EXTERIOR ELEVATIONS	

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BUILDING MOUNTED SIGNAGE

Building Sign Info:
Sign Square Footage: 93 SF
Signage Colors - Red: 77.19 SF
Blue: 16.81 SF
Signage Materials: Aluminum Channel Letters
Lighting: Back Lit Letters



FRONT SIGNAGE ELEVATION
SCALE: 1/8"=1'-0"

LIST OF APPLICABLE RESTRICTIONS PER THE INTEGRATED DEVELOPMENT ORDINANCE (IDO), CITY OF ALBUQUERQUE, NM. PROJECT LOCATED WITHIN ZONE NR-BP
5-12(F)(2) LOCATION
5-12(F)(3) DESIGN AND CONSTRUCTION
5-12(F)(4) ILLUMINATION AND MOTION
5-12(F)(5) GENERAL
5-12(F)(6) MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS
5-12(F)(7) SIGNS IN MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS

Table 5-12-2: On-premises Signs in Mixed-use and Non-residential Zone Districts. This table lists sign types (Wall Sign, Window Sign, Canopy Sign, Marquee Sign, Projecting Sign, Rooftop Sign, Freestanding Sign) and their restrictions across different zone districts (Mixed-use Zone Districts, NR-C, NR-LM, NR-GM, NR-BP, NR-SU, NR-PO, PD, PC).

Table 5-12-2: On-premises Signs in Mixed-use and Non-residential Zone Districts. This table lists sign types (Wall Sign, Window Sign, Canopy Sign, Marquee Sign, Projecting Sign, Rooftop Sign, Freestanding Sign) and their restrictions across different zone districts (Mixed-use Zone Districts, NR-C, NR-LM, NR-GM, NR-BP, NR-SU, NR-PO, PD, PC).



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CONSULTANT: CIVIL TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109

CONSULTANT: STRUCTURAL FOWLER ENGINEERING, LLC 1989 OAK TREE COVE, SUITE A HERNANDO, MS 38692

CONSULTANT: MECHANICAL/ELECTRICAL/PLUMBING/FIRE PROTECTION JORDAN & SCALA ENGINEERS 17825 NORTH DALLAS PKWY, SUITE 300 DALLAS, TX 75287

CONSULTANT:



PROJECT NAME: NEW TIRE FACILITY FOR SOUTHERN TIRE MART ALBUQUERQUE, NM

OWNER: TL WALLACE CONSTRUCTION 4025 HWY 95 COLUMBIA, MS 39429

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EXTERIOR ELEVATIONS AND IDO RESTRICTIONS

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Southern Tire Mart











PR-2020-004747_SI-2021-00484_Site_Plan_Aproved_6-23-21


Final Audit Report


2021-07-07


Created:	2021-06-25
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAALwK3mw9f_8syOQ2jifMnxZ04g3mYXHLi


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