



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2020-004747

Application No. SI-2021-00484

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 6-16-2021 HEARING DATE OF DEFERRAL: 6-9-2021

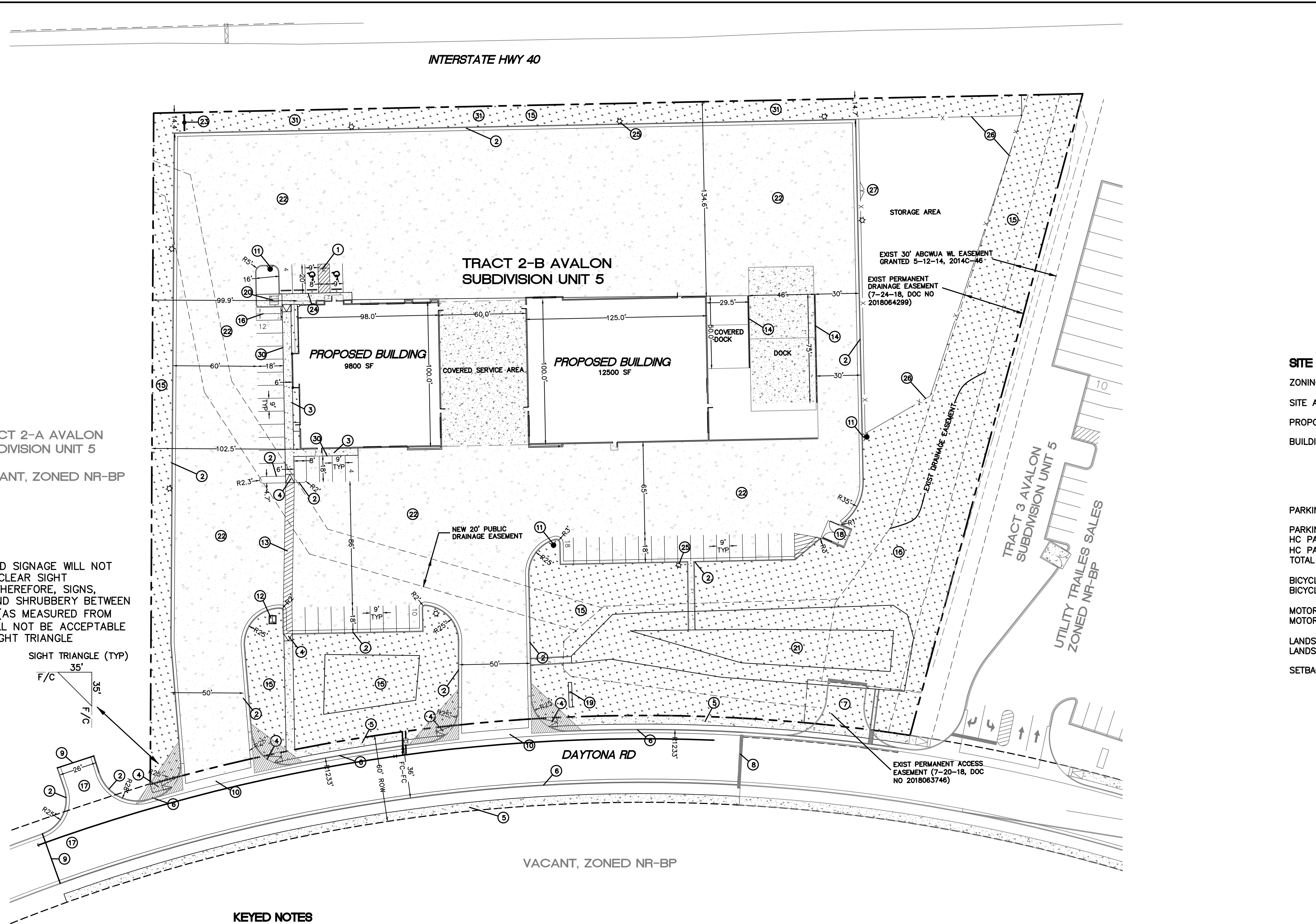
SUBMITTAL

DESCRIPTION: Revised site plan & detail sheet, revised building elevations with response letter, revised landscape plan,

signed site plan with solid waste signature.

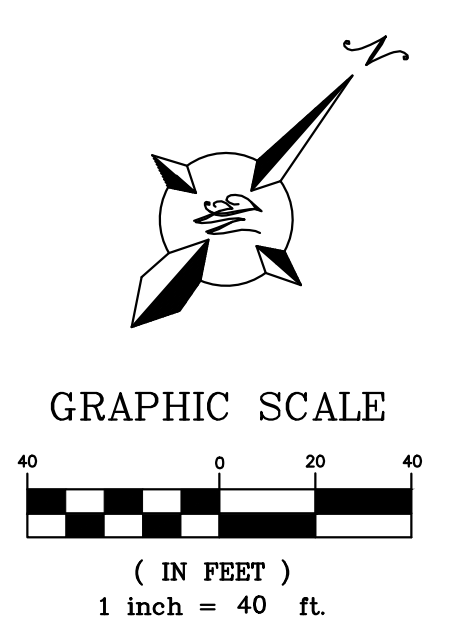
CONTACT NAME: Vince Carrica

TELEPHONE: 505-858-3100 EMAIL: vcarrica@tierrawestllc.com



TRACT 2-A AVALON
SUBDIVISION UNIT 5
VACANT, ZONED NR-BP

NOTE
LANDSCAPING AND SIGNAGE WILL NOT
INTERFERE WITH CLEAR SIGHT
REQUIREMENTS. THEREFORE, SIGNS,
WALLS, TREES AND SHRUBBERY BETWEEN
3' AND 8' TALL (AS MEASURED FROM
GUTTER PAN) WILL NOT BE ACCEPTABLE
IN THE CLEAR SIGHT TRIANGLE



KEYED NOTES

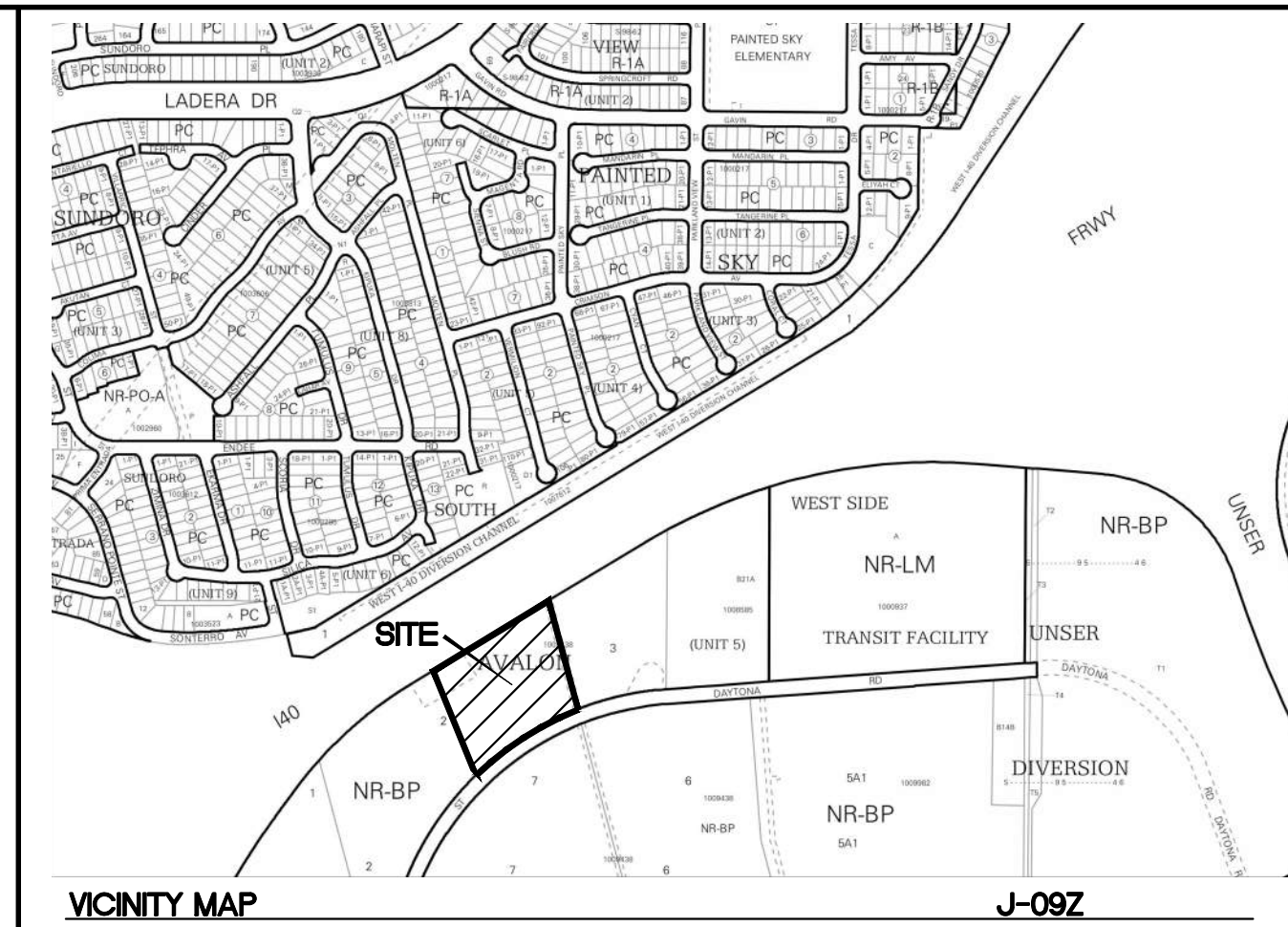
- ① ACCESSIBLE PARKING SEE DETAIL SHEET DET-1
- ② 6" CURB AND GUTTER PER COA STD DWG 2415A
- ③ 5' SIDEWALK PER COA STD DWG 2430
- ④ UNIDIRECTIONAL ACCESSIBLE RAMP, SEE SHEET DET-1
- ⑤ 6' SIDEWALK PER COA STD DWG 2430
2% MAX CROSS SLOPE
- ⑥ 8" CURB AND GUTTER PER COA STD DWG 2415A
- ⑦ REMOVE AND DISPOSE EXIST CURB, ASPHALT AND CUTOFF WALL
- ⑧ REMOVE AND DISPOSE CUTOFF WALL
- ⑨ NEW CUTOFF WALL PER COA STD DWG 2415B
- ⑩ 6' VALLEY GUTTER PER COA STD DWG 2420
- ⑪ PROPOSED FIRE HYDRANT PER COA STD DWG 2340
- ⑫ TRANSFORMER W/BOLLARDS
- ⑬ 6" CROSSWALK (STRIPED) W/2% MAX CROSS SLOPE
- ⑭ CONCRETE RETAINING WALL
- ⑮ LANDSCAPE
- ⑯ MOTORCYCLE PARKING W/SIGN SEE DETAIL SHEET DET-1
- ⑰ EMERGENCY TURNAROUND
- ⑱ DUMPSTER, SEE SHEET DET-2
- ⑲ MONUMENT SIGN
- ⑳ BICYCLE RACK (3 SPACES), SEE SHEET DET-1
- ㉑ POND
- ㉒ CONCRETE PAVING
- ㉓ PYLON SIGN
- ㉔ ZERO CURB
- ㉕ AREA LIGHT, 40' FULLY SHIELDED (TYP)
- ㉖ 7' MIN HEIGHT, 8' MAX HEIGHT OPAQUE FENCE
COLOR TO MATCH BUILDING
- ㉗ 8' MAX HEIGHT OPAQUE 12' GATE
COLOR TO MATCH BUILDING
- ㉘ TURNDOWN SIDEWALK
- ㉙ VEGETATIVE SCREEN, SEE
LANDSCAPE PLANS SHEET LP-101

LEGEND

- PROPOSED CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - PROPOSED SIDEWALK/CONCRETE
- - - EXISTING CURB & GUTTER
- TRANSFORMER
- FIRE HYDRANT
- ▨ LANDSCAPE AREA
- ▨ FENCE
- ▨ ASPHALT PAVING AREA

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY
MUST BE INCLUDED ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR
SIGHT TRIANGLES @ ENTRANCE OFF DAYTONA. SIGNS, WALLS, TREES, AND
SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE
GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



LEGAL DESCRIPTION
TRACT NUMBERED 2-B OF AVALON SUBDIVISION UNIT 5, A SUBDIVISION OF A TRACT OF LAND
LOCATED WITHIN PROJECTED SECTIONS 16 AND 21, TOWNSHIP 10 NORTH, RANGE 2 EAST,
N.M.P.M. TOWN OF ATRISCO GRANT

SITE DATA

ZONING	NR-BP
SITE AREA	253757 SF (5.83 AC)
PROPOSED USAGE	COMMERCIAL
BUILDING AREA	3173 SF OFFICE 6868 SF SERVICE AREA 7038 SF TRUCK BAYS 11223 SF WAREHOUSE 4100 SF COVERED DOCKS 32402 SF TOTAL
PARKING REQUIRED	18 SPACES (1 PER 1000 OFFICE, SERVICE AREA, TRUCK BAY)
PARKING PROVIDED	47 SPACES
HC PARKING REQUIRED	2 SPACES
HC PARKING PROVIDED	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED	49 SPACES
BICYCLE PARKING REQUIRED	3 SPACES (GREATER OF 3 OR 10% OF REQUIRED PARKING)
BICYCLE SPACES PROVIDED	3 SPACES
MOTORCYCLE SPACES REQUIRED	1 SPACES (1 PER 1-25 VEHICLES PARKING REQUIRED)
MOTORCYCLE SPACES PROVIDED	2 SPACES
LANDSCAPE REQUIRED	38063 SF (15% OF LOT AREA)
LANDSCAPE PROVIDED	65330 SF
SETBACKS	
FRONT	20'
SIDE	10'
REAR	10'

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the
Environmental Planning Commission (EPC), dated _____, and the
Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If Yes, then a set of
approved DRG plans with a work order is required for any construction within
Public Right-of-Way or for construction of public improvements.

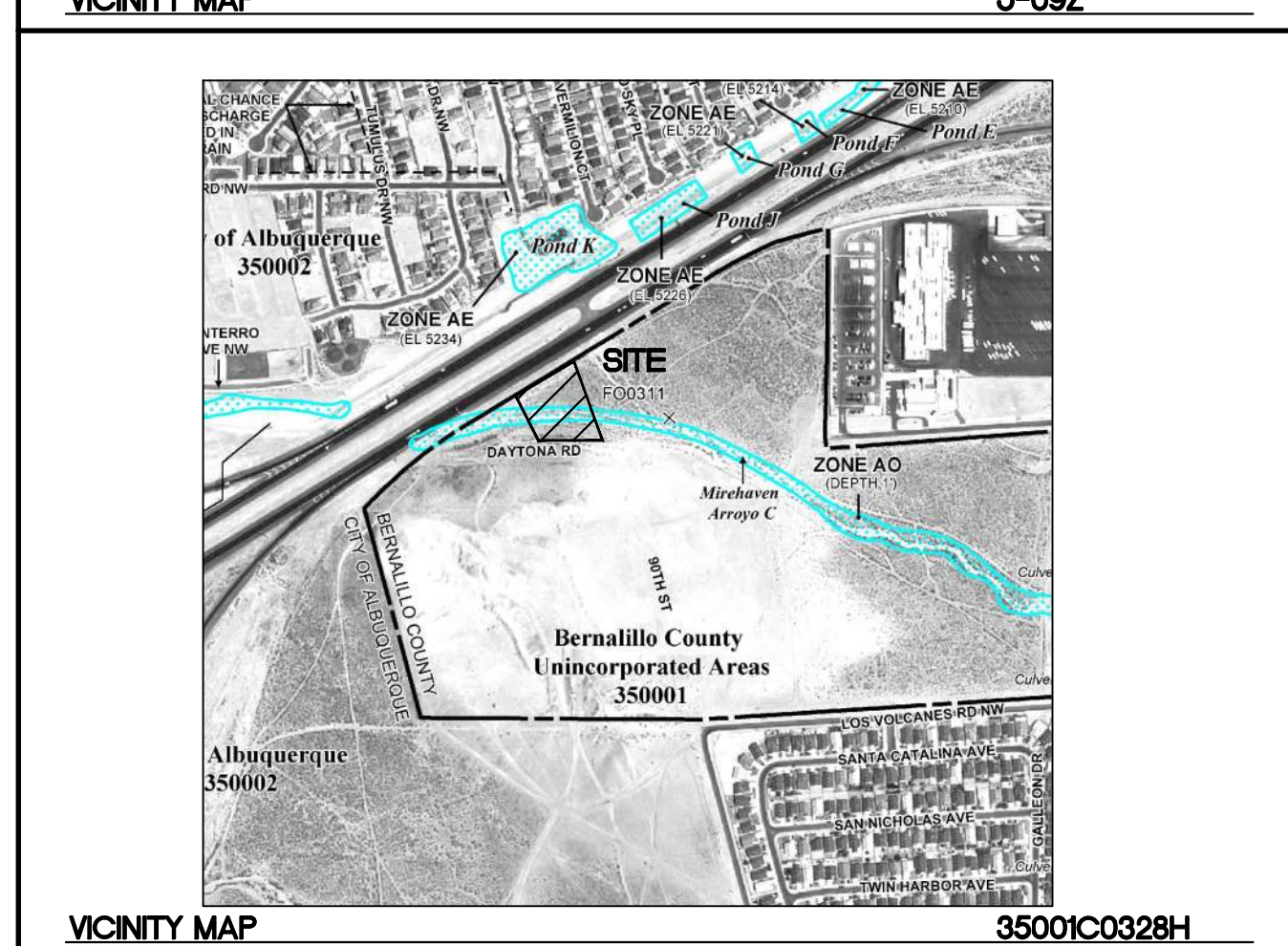
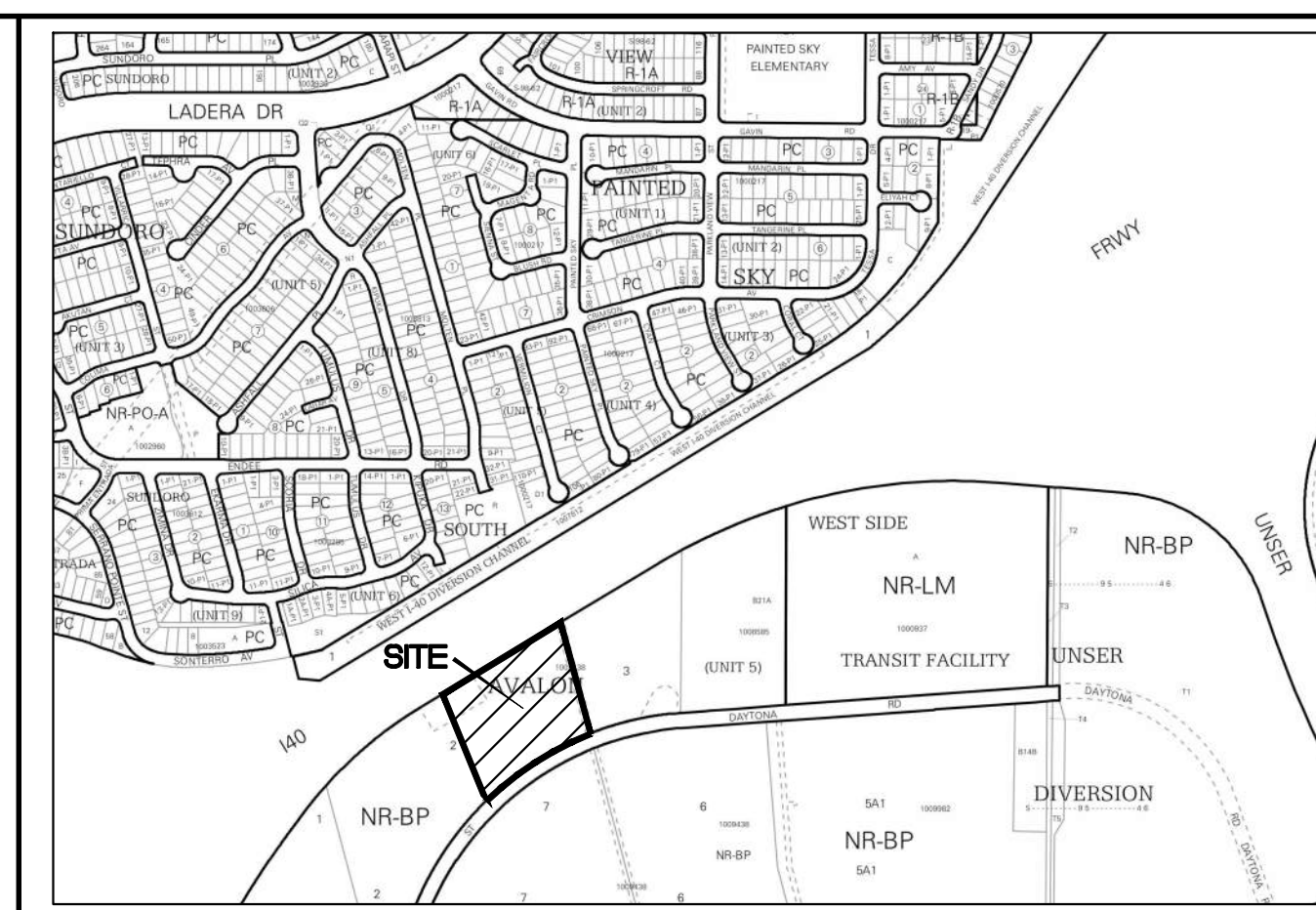
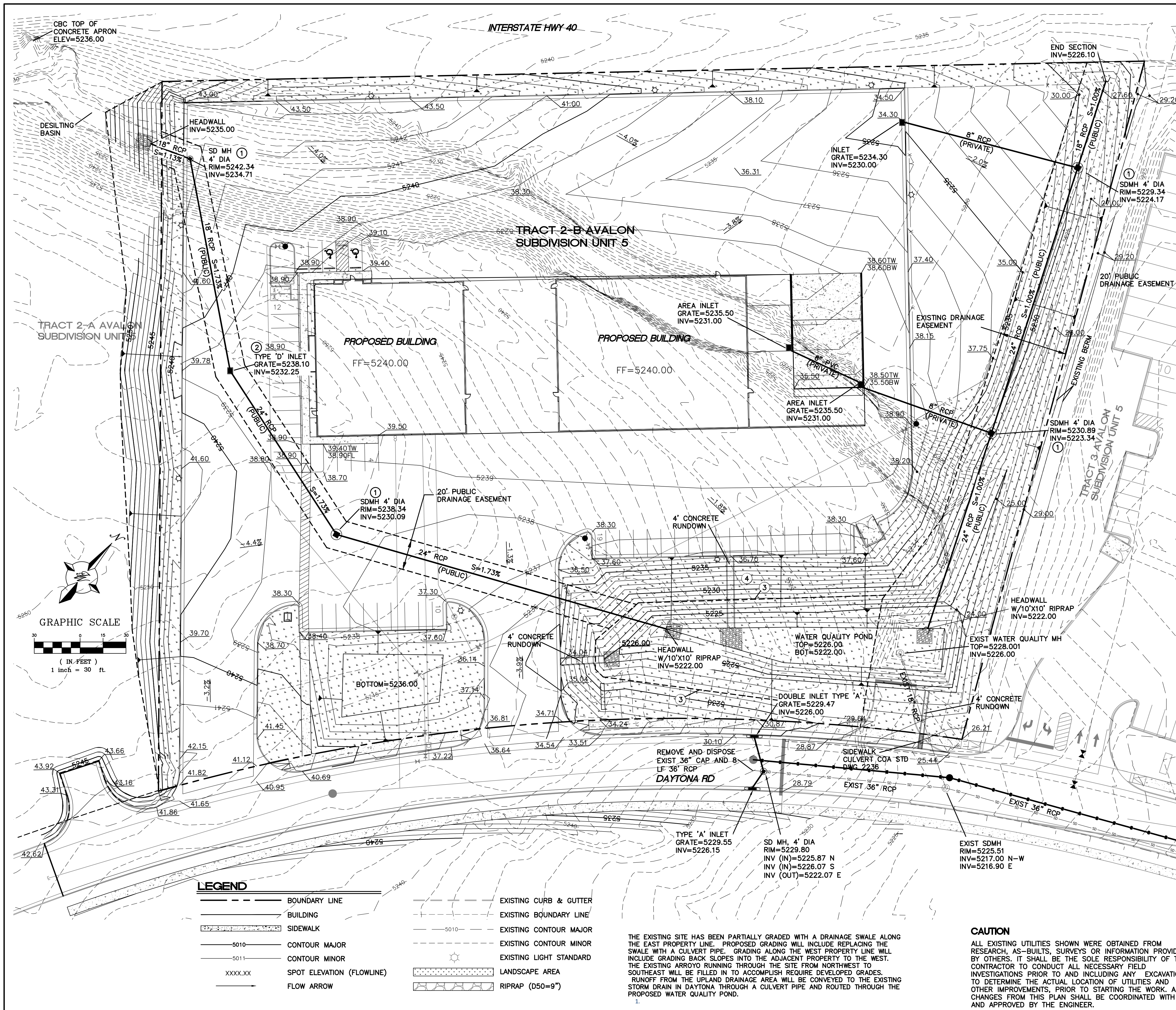
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Herman Gallegos	06-10-21
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

	SOUTHERN TIRE MART ALBUQUERQUE, NM	DRAWN BY pjm DATE 6-8-21
	SITE PLAN ADMINISTRATIVE	DRAWING 2020031-SP
6-8-21 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # SP-1 JOB # 2020031

Approved for access by the Solid Waste Department
Herman Gallegos 06-10-21**Tires will be disposed of
in screened storage area only.**



- KEYED NOTES**
- ① SD MH 4' DIA PER COA STD DWG 2101
 - ② SINGLE TYPE 'D' STORM INLET PER COA STD DWG 2206
 - ③ DRAINAGE EASEMENT
 - ④ OERSIZE GRAVEL MULCH W/SEEDING

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 05/18/21
BY: *Ronald R. Bohannan*
HydroTrans # K09D047

THE APPROVAL OF THESE PLANS SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE CITY OF ALBUQUERQUE, NEW MEXICO. ANY CHANGES TO THESE PLANS SHALL BE APPROVED BY THE CITY OF ALBUQUERQUE, NEW MEXICO.

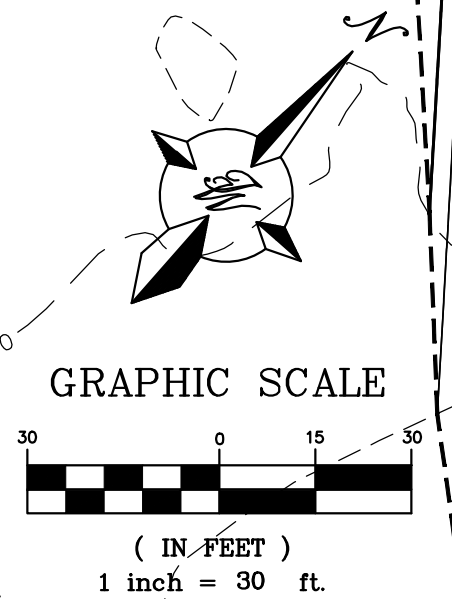
- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

<p>ENGINEER'S SEAL</p>  <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>SOUTHERN TIRE MART ALBUQUERQUE, NM</p> <p>GRADING AND DRAINAGE PLAN</p> <p style="font-size: small;">TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>DRAWN BY pm</p> <p>DATE 5-18-21</p> <p>DRAWING 2020031-GR</p> <p>SHEET # GR-1</p> <p>JOB # 2020031</p>
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THE EXISTING SITE HAS BEEN PARTIALLY GRADED WITH A DRAINAGE SWALE ALONG THE EAST PROPERTY LINE. PROPOSED GRADING WILL INCLUDE REPLACING THE SWALE WITH A CULVERT PIPE. GRADING ALONG THE WEST PROPERTY LINE WILL INCLUDE GRADING BACK SLOPES INTO THE ADJACENT PROPERTY TO THE WEST. THE EXISTING ARROYO RUNNING THROUGH THE SITE FROM NORTHWEST TO SOUTHEAST WILL BE FILLED IN TO ACCOMPLISH REQUIRED DEVELOPED GRADES. RUNOFF FROM THE UPLAND DRAINAGE AREA WILL BE CONVEYED TO THE EXISTING STORM DRAIN IN DAYTONA THROUGH A CULVERT PIPE AND ROUTED THROUGH THE PROPOSED WATER QUALITY POND.

CAUTION

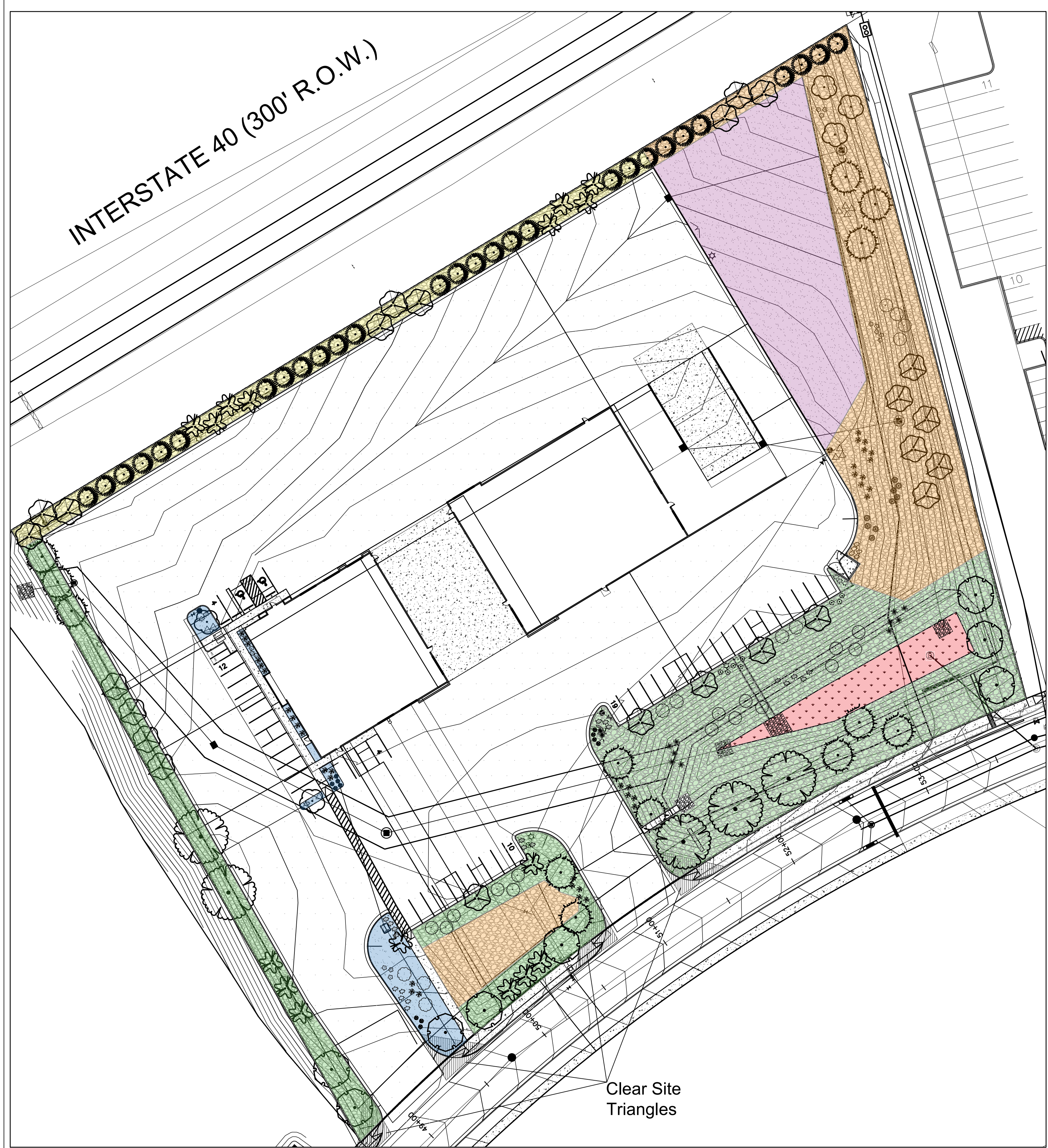
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



LEGEND

<p>--- BOUNDARY LINE</p> <p>--- BUILDING</p> <p>--- SIDEWALK</p> <p>---5010--- CONTOUR MAJOR</p> <p>---5011--- CONTOUR MINOR</p> <p>XXXX.XX SPOT ELEVATION (FLOWLINE)</p> <p>--- FLOW ARROW</p>	<p>--- EXISTING CURB & GUTTER</p> <p>--- EXISTING BOUNDARY LINE</p> <p>---5010--- EXISTING CONTOUR MAJOR</p> <p>--- EXISTING CONTOUR MINOR</p> <p>--- EXISTING LIGHT STANDARD</p> <p>--- LANDSCAPE AREA</p> <p>--- RIPRAP (D50=9")</p>	
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INTERSTATE 40 (300' R.O.W.)



Clear Site Triangles

CONSTRUCTION NOTES:
 Native seed mix for appropriate soil per city specifications 1012.2.1.
 Gravel over seeded area shall be only be one layer deep to promote native seed growth.

LANDSCAPE LEGEND

SYMBL.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	MATURE HGW	WATER USE	COVER (EA)	TOTAL
	24	2" Trunk w/ 2" Combined Cal.	Desert Willow <i>Oryzopsis linearis</i>	20' x 25'	L	625	15000
	5	2" Trunk w/ 2" Combined Cal.	Breadford Pear <i>Pyrus calleryana</i>	20' x 25'	M	225	125
	5	2" Cal.	Honey Locust <i>Gleditsia triacanthos inermis</i>	50' x 45'	M+	2025	1025
	13	6" Height	Australian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	825
	8	2" Cal.	Chinese Pistache <i>Platanus chinensis</i>	40' x 30'	M	500	1000
	16	2" Trunk w/ 2" Combined Cal.	Chinese Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	6400
	28	6"-8"	Upright Juniper <i>Juniperus chinensis</i>	8' x 8'	L	225	6300
						Total Tree Coverage:	5425
Shrub & Groundcover							
	11	5 Gal.	Blue Mist Spruce <i>Caryopteris x clandonensis</i>	3' x 3'	Low	9	99
	1	5 Gal.	Butterfly Bush <i>Buddleia davidii</i>	7' x 6'	M	36	252
	10	5 Gal.	Indian Hawthorn <i>Raphiolepis indica</i>	3' x 5'	M	25	250
	13	5 Gal.	Winter Jasmine <i>Jasminum nudiflorum</i>	4' x 12'	M	144	872
	15	5 Gal.	Apache Plume <i>Fouquieria parsonsii</i>	6' x 7'	L	45	331
	10	5 Gal.	Wintersgreen Barberry <i>Barberry juliana</i>	5' x 5'	M	25	250
	9	5 Gal.	Chamae <i>Oryzohatena nusecaus</i>	5' x 7'	L	49	441
	35	5 Gal.	Feather Reed Grass <i>Calamagrostis canadensis</i>	2' x 2'	M	9	315
	8	5 Gal.	Trumpetvine Bush <i>Ericanema laticifolia</i>	5' x 6'	L	36	288
	18	5 Gal.	Buffalo Juniper <i>Juniperus lanceocollata</i>	4' x 12'	M	144	2592
	12	5 Gal.	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low	9	108
	2	5 Gal.	Sagebrush Yucca w/ Cobble Accent <i>Yucca elata</i>	20' x 5'	RU	25	50
						Total Shrub Coverage:	4095

LANDSCAPE CALCULATIONS

ZONING	PD: PLANNED DEVELOPMENT
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994
TOTAL LOT AREA (ACRES)	5.83
TOTAL LOT AREA (SF)	253751
BUILDING AREA (SF)	22300
NET LOT AREA (SF)	231451
REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	34719
LANDSCAPE PROVIDED (SF)	92023
VEGETATIVE COVER (%) - REQ	15.0
VEGETATIVE COVER (SF) - REQ	67652
VEGETATIVE COVER (SF) - PROV.	58310
REQ. TREES - 1ST AND 2ND STORY UNITS	28
PROVIDED UNIT TREES	11
GROUND COVER (%) - REQ	18.75
GROUND COVER (SF) - REQ	16913
GROUND COVER (SF) - PROV.	4095
PARKING LOT AREA (SF)	4500
REQ. PARKING LANDSCAPE 10% (SF)	450
PROV. PARKING LANDSCAPE (SF)	4500
REQ. PARKING TREES (1/10 SPOTS)	5
PROV. PARKING TREES	9
COOL SEASON GRASS (SF)	0
COOL SEASON GRASS (% OF LANDSCAPE)	0.0

Other Materials

SYMBL.	QTY	TYPE
	1322	5F Landscape Gravel A with Filter Fabric 3/4" Crushed Gray Gravel
	3165	5F Landscape Gravel A with Filter Fabric / Plantings 3/4" Crushed Gray Gravel
	5892	5F Landscape Gravel A / No Filter Fabric 3/4" Crushed Gray Gravel
	39598	5F Oversize Landscape Gravel / Plantings / Native Seed / No Filter Fabric 2-4" Angular Cobble/RipRap
	24983	5F Oversize Landscape Gravel / Native Seed / No Filter Fabric 2-4" Angular Cobble/RipRap
	6654	5F Oversize Landscape Gravel / Vegetative Screen Plantings / Native Seed / No Filter Fabric 2-4" Angular Cobble/RipRap
	358	5F Native Seeding, No Gravel Native Seed
		Concrete See site plan

PLANTING NOTES
 ALL PLANTS TO CONTAIN BARK MULCH AROUND THE ROOTBALL, TO THE EXTENT TO COVER THE DRIP LINES.

GENERAL NOTES
 IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF RIO RANCHO ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUND COVER AREA. ALL GRAVEL SHALL BE PLACED 5'-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:
 IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBMERGIAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. NETAFM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE TWO (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

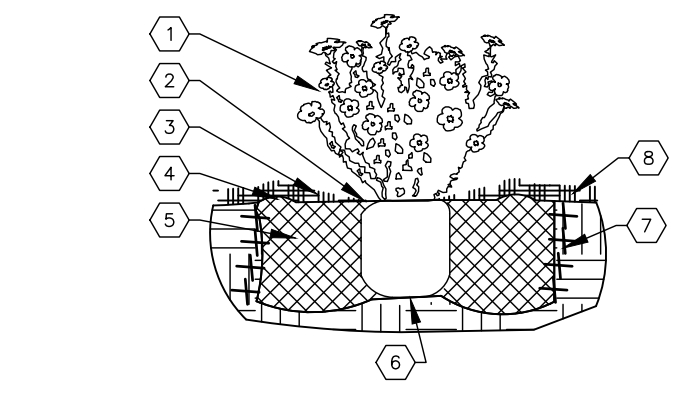
RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

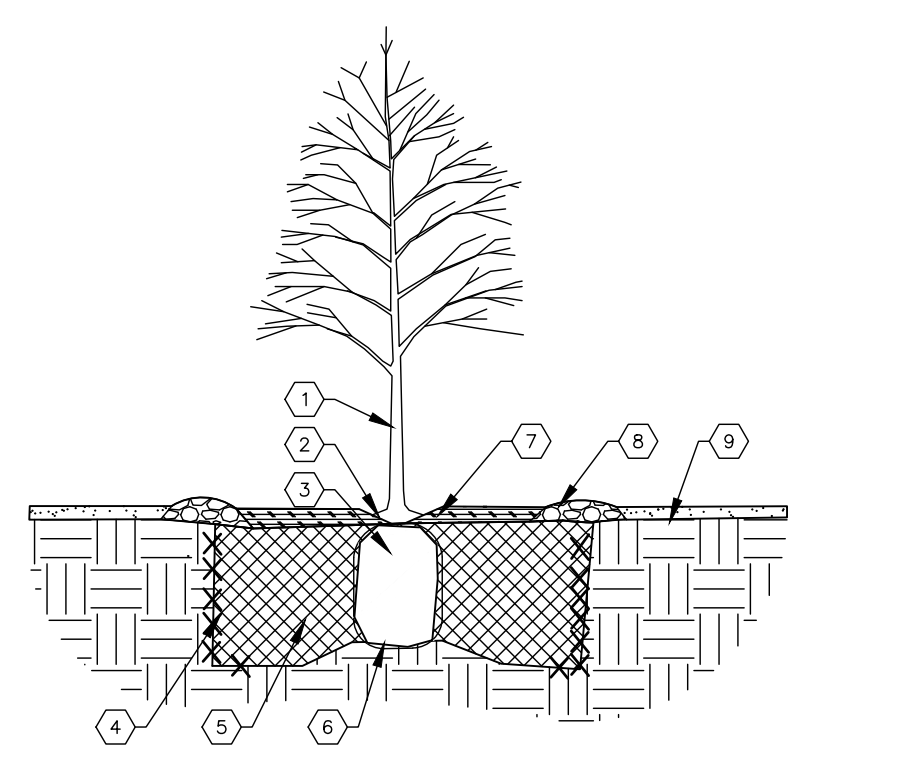
WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.



SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION SPECIES AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- USE WOOD CHIP ORGANIC MULCH AS NECESSARY TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- REMOVE EXISTING SOIL FROM NURSERY AS NECESSARY TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- SCAFFRY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- MULCH - SEE PLANTING PLAN.

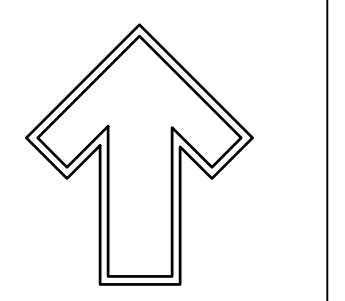
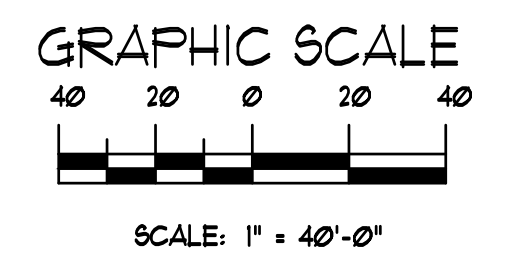
SHRUB PLANTING



TREE PLANTING KEYED NOTES

- TREE LOCATION SPECIES AND CONDITION AS PER PLAN.
- REMOVE EXISTING SOIL FROM NURSERY AS NECESSARY TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC TUNES, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BULKY EXCESS FROM BOTTOM OF ROOT BALL.
- SCAFFRY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- MULCH - SEE PLANTING PLAN.
- MULCH - SEE PLANTING PLAN.

TREE PLANTING



The Hilltop
 13009 Edith NE
 Albuquerque, NM 87113
 Cell: (505) 426-8888
 Fax: (505) 898-3600
 Fax: (505) 898-1131
 thehilltoplandscaping.com



JUNE 9, 2021

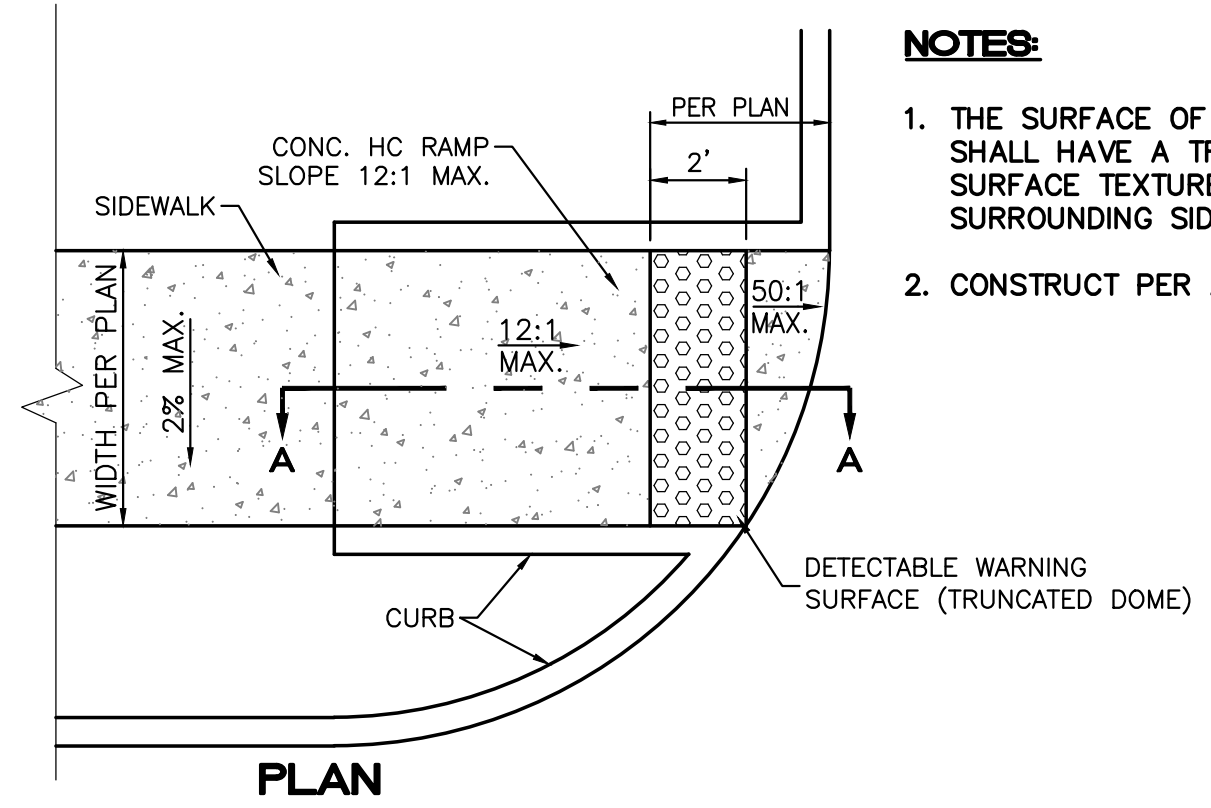
Southern Tire Mart
 Albuquerque, NM
 landscape Design Development

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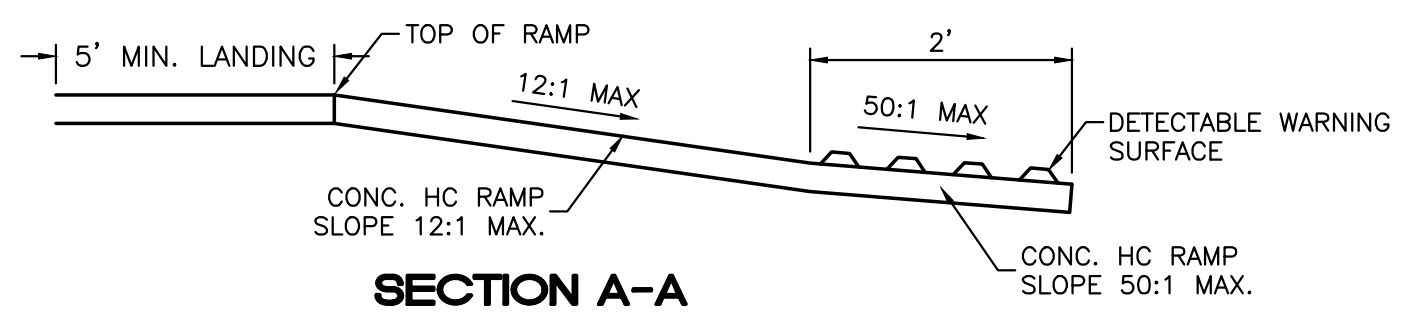
The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: JJI
 REVISION:
 DATE: 06/09/2021

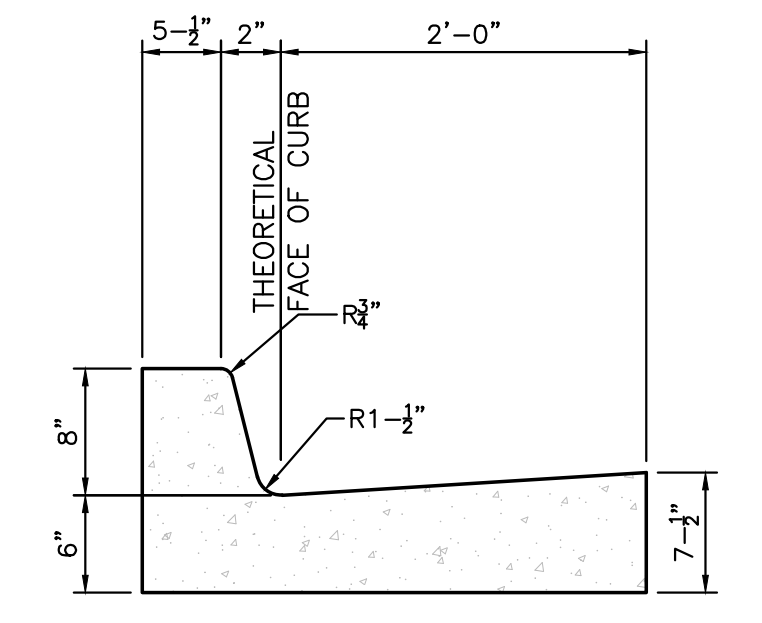
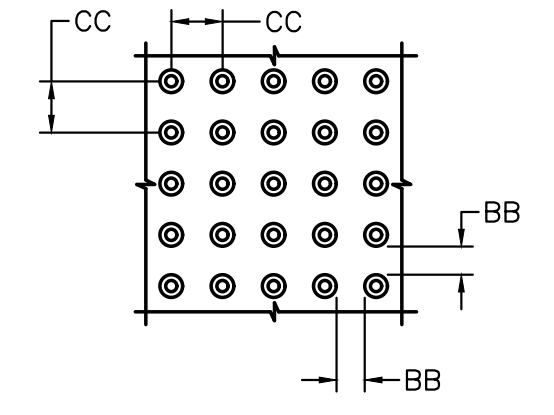
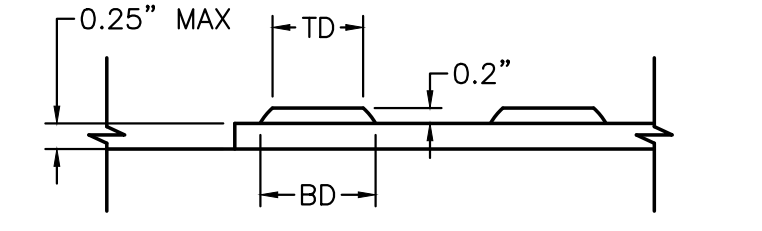
SHEET #
 LP-101



- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.

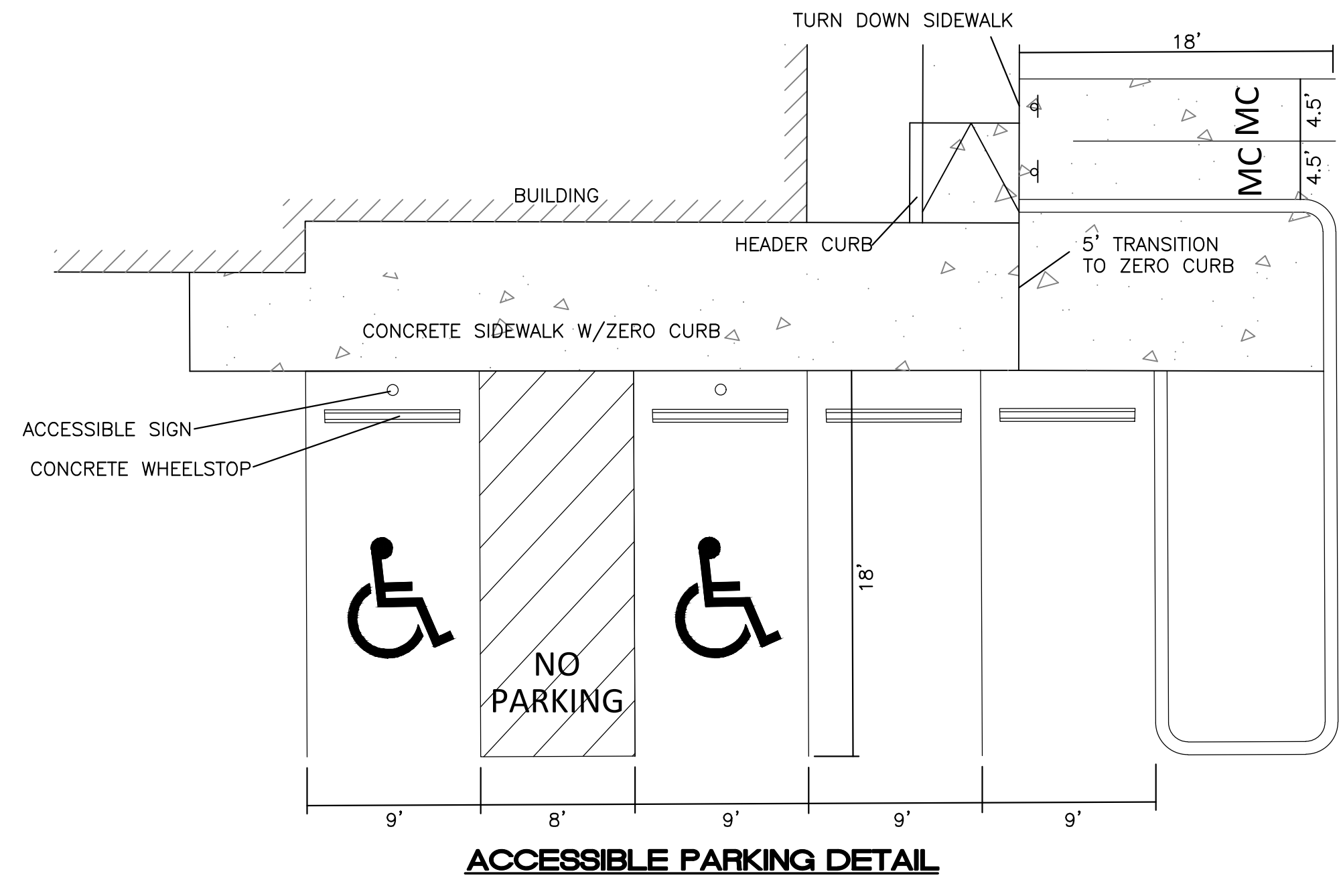
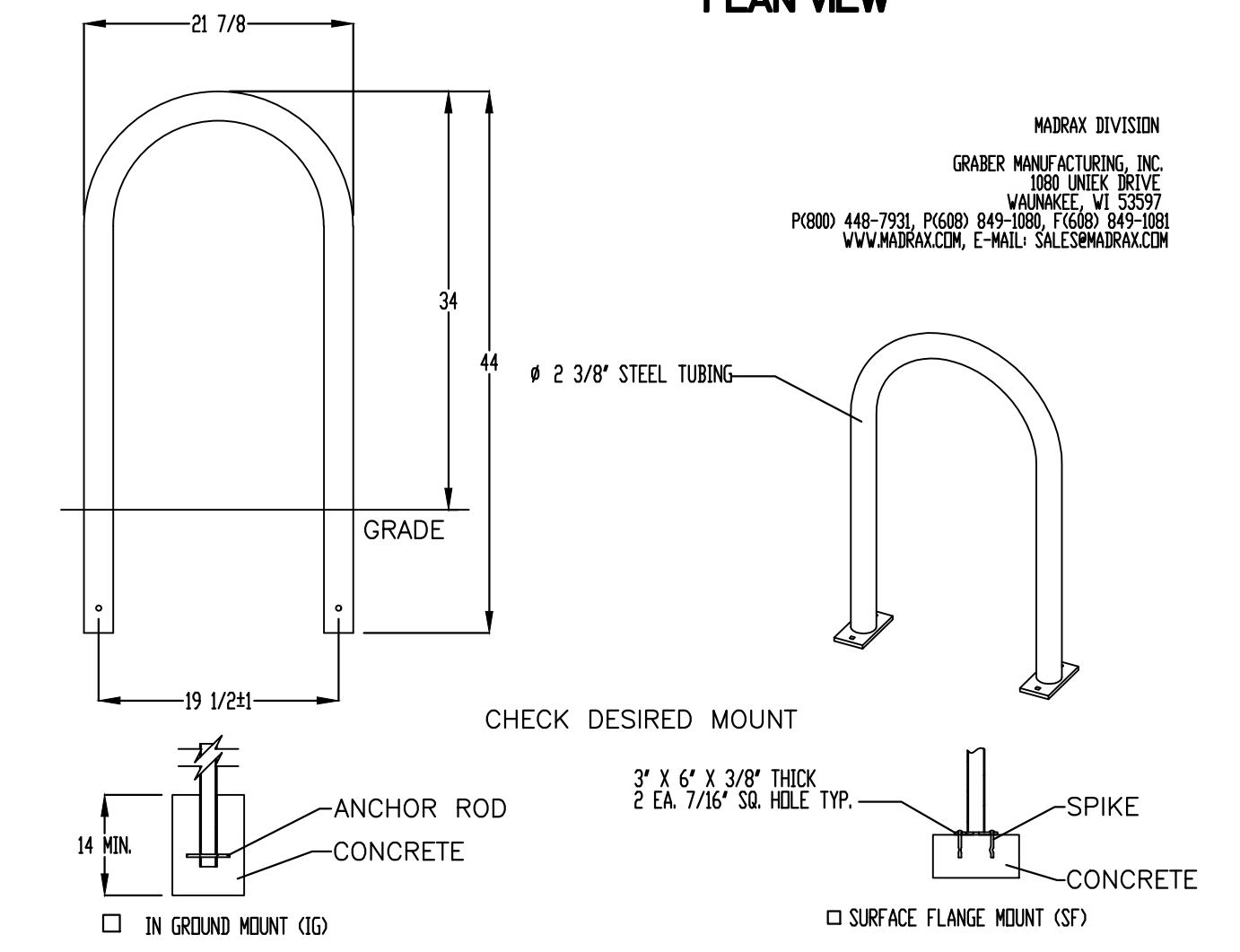
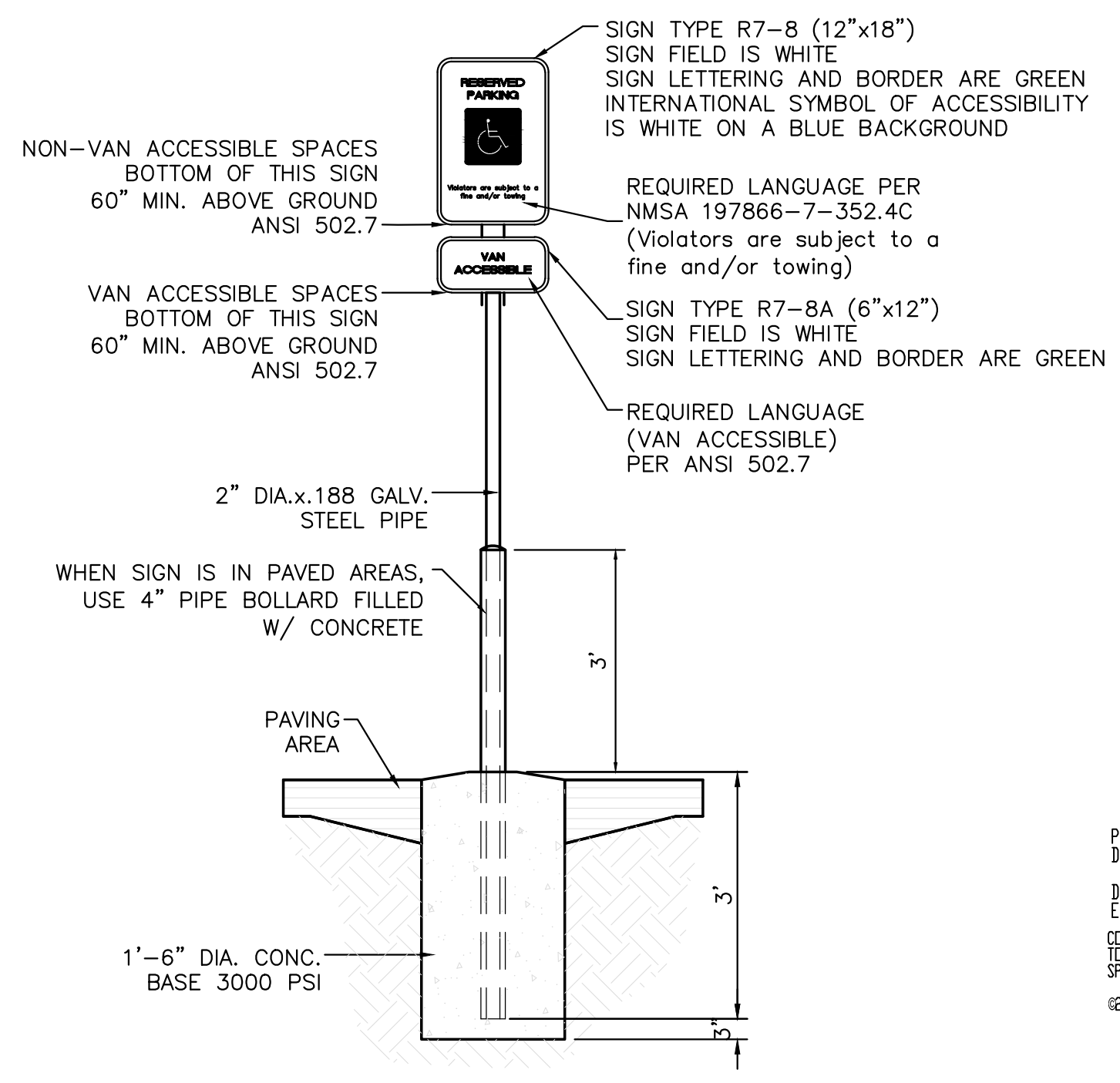
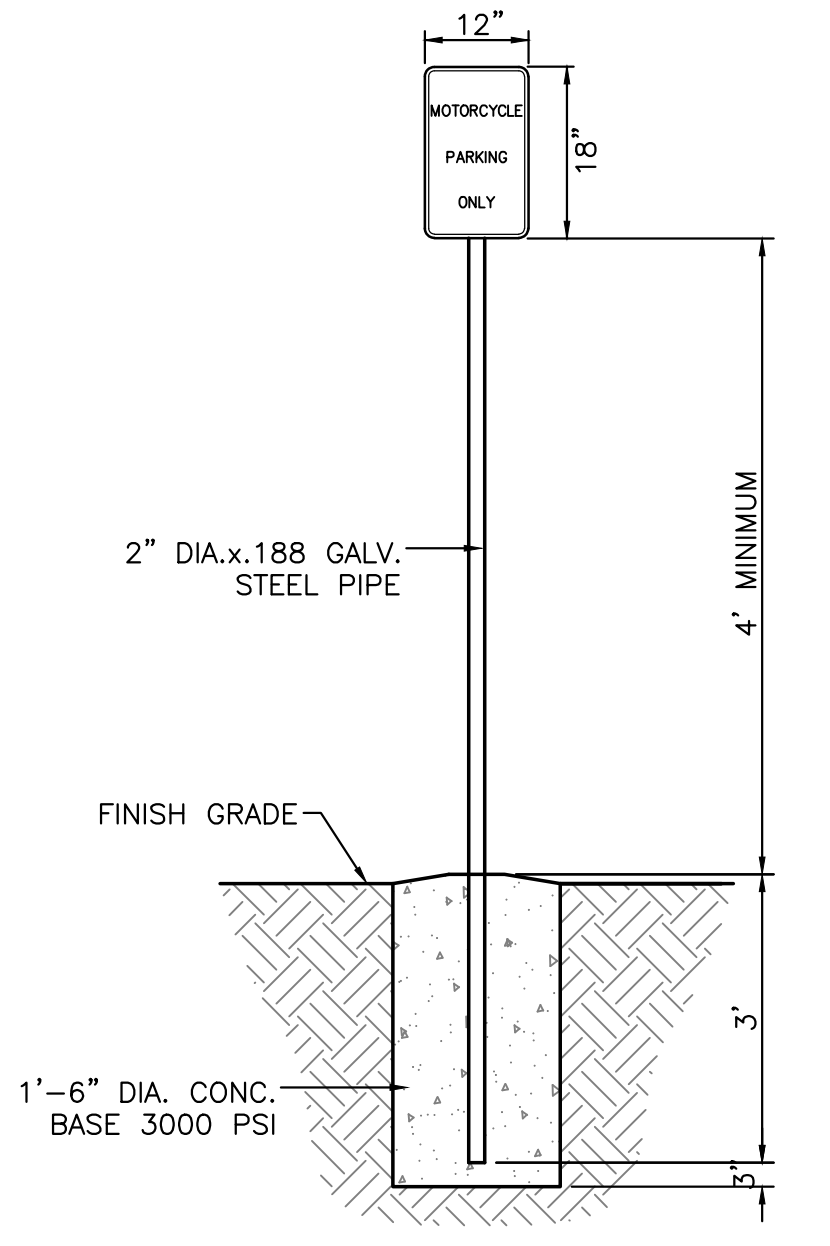
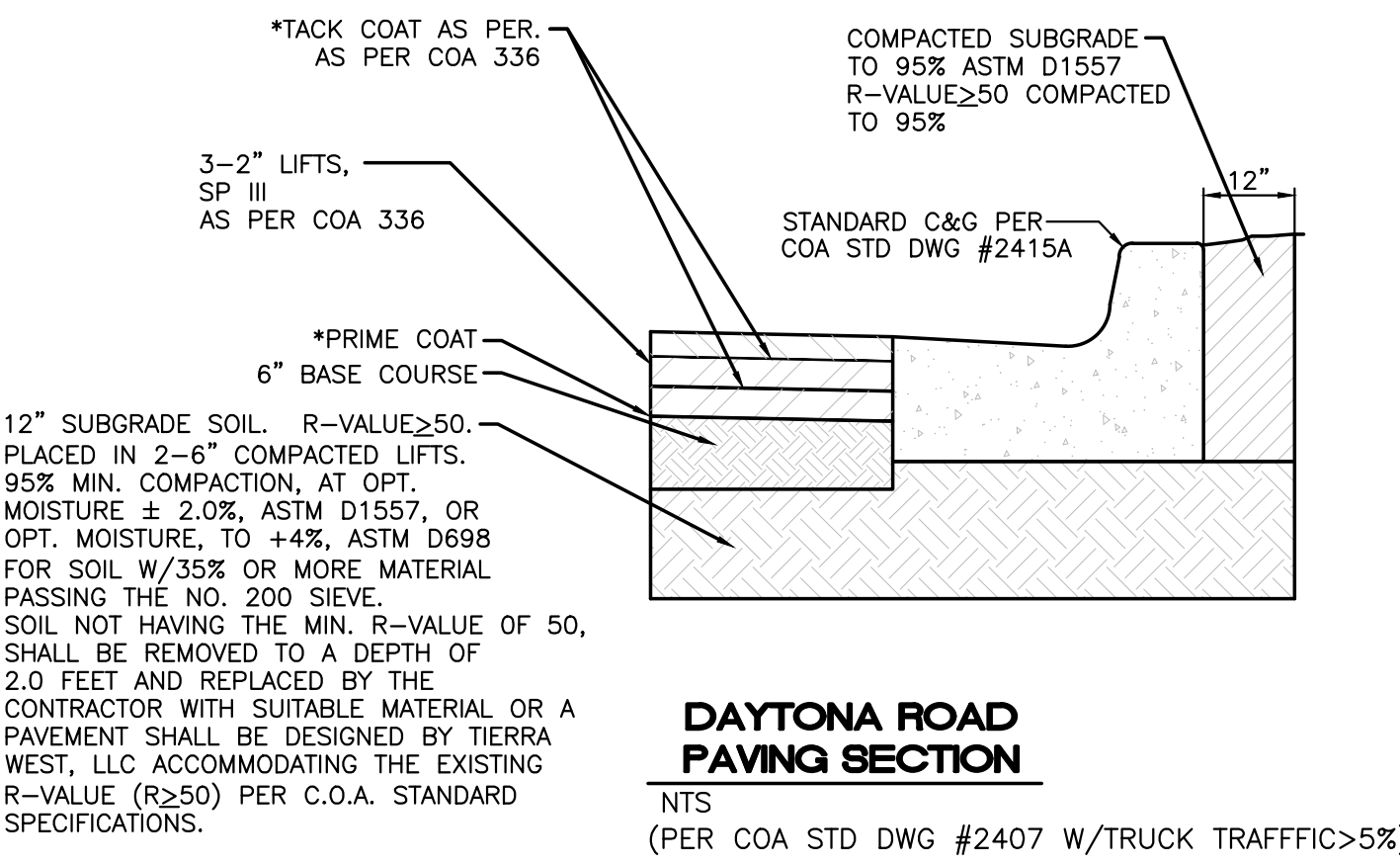
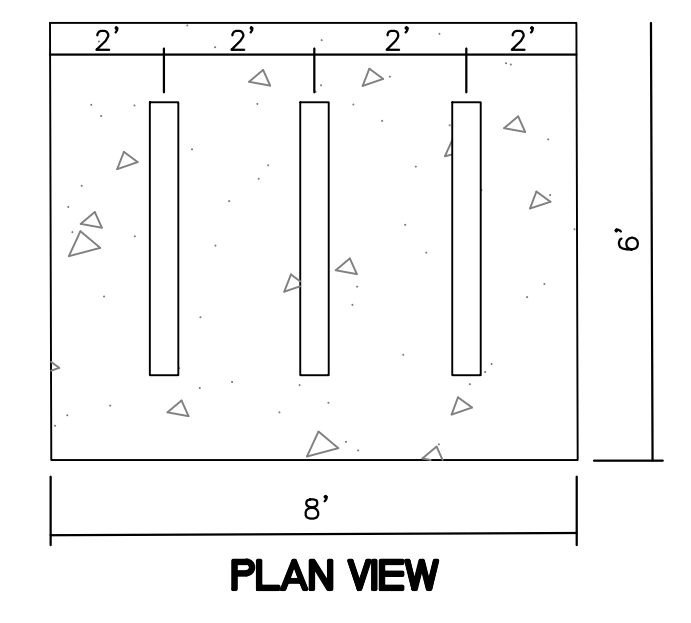


UNIDIRECTIONAL HC RAMP
NOT TO SCALE



- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING. 1/2\"/>

8\"/>



	SOUTHERN TIRE MART ALBUQUERQUE, NM CONSTRUCTION DETAILS	DRAWN BY pm DATE 6-8-21 DRAWING 2020031-DET
	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # DET-1 JOB # 2020031



S • E • A S T U D I O S
A R C H I T E C T S

RESPONSES TO CITY COMMENTS

DATE: 6/08/21

CONTACT: Elizabeth Blaney

PHONE: 470-355-9438

EMAIL: elizabeth@sea-us.com

PERMIT #: 2020031

PROJECT: Southern Tire, Albuquerque

ADDRESS:

CONTACT: Jay Rodenbeck

Elevation Review Comments:

The elevation needs to meet the following requirements:

5-11(E)(2) Façade Design

5-11(E)(2)(a) General:

1. Façades shall be designed to provide a sense of human scale at ground level by providing a clear architectural distinction between ground floor levels and all additional levels.
2. Each street-facing façade shall incorporate at least 2 of the following features along at least 30 percent of the length of the façade, distributed along the façade so that at least 1 of the incorporated features occurs every 40 feet.
 - a. Ground-floor transparent windows, with the lower edge of window sills no higher than 30 inches above the finished floor.
 - b. Windows on upper floors.
 - c. Primary pedestrian entrances.
 - d. Portals, arcades, canopies, trellises, awnings over windows, or other elements that provide shade or protection from the weather.
 - e. Sun shelves or other exterior building features designed to reflect sunlight into the building and reduce the need for interior lighting.
 - f. Raised planters between 12 inches and 28 inches above

grade with the surface planted to achieve at least 75 percent vegetative cover at maturity

3. Each street facing façade longer than 100 feet shall incorporate at least 1 of the following additional features.

- a. Wall plane projections or recesses of at least 1 foot in depth at least every 100 feet of façade length and extending for at least 25 percent of the length of the façade.
- b. A change in color, texture, or material at least every 50 feet of façade length and extending at least 20 percent of the length of the façade.
- c. An offset, reveal, pilaster, or projecting element no less than 2 feet in width, projecting from the façade by at least 6 inches, and repeating at minimum intervals of 30 feet of façade length.
- d. Three-dimensional cornice or base treatments.
- e. A projecting gable, hip feature, or change in parapet height at least every 100 feet of façade length.
- f. Art such as murals or sculpture that is privately-owned or coordinated through the City Public Arts Program

Response for requirement #2:

The North façade:

incorporates ground floor windows, primary entrance, high clerestory windows, portals, canopies and extruded wall elements providing shade. The total length of the façade is 358 feet and 9 inches. 30 Percent of the façade is 108 feet.

2a) Ground floor transparent windows occur along a total of 24 feet along the façade between column lines 1 and 3. Windows begin at floor level.

2b) Building has only one level, however high clerestory windows were placed 10 feet high between columns 8 and 13.

2c) Primary pedestrian entrance between columns 2 and 3.

2d) Entrance portals, canopies and extruding elements providing shade have been placed along a total of 310 feet along the façade length. See elevation. Arcades, trellises and awnings not provided.

2e) Sun shelves not provided.

The entrance portals, ground floor windows, high windows, primary pedestrian entrance, entrance portals, canopies and extruding elements occur along more than 30 percent of the building at least every 40 feet along the façade.

The South façade:

incorporates extruding elements, an entrance portal and high clerestory windows. The total length of the façade is 358 feet and 9 inches. 30 Percent of the façade is 108 feet.

2a) Ground floor windows not provided.

2b) Building has only one level, however high clerestory windows were placed 10 feet high between columns 8 and 16.

2c) primary pedestrian entrance not provided.

2d) Entrance portals, canopies and extruding elements providing shade have been placed along a total of 310 feet along length of façade.

2e) sun shelves not provided

The entrance portals, high clerestory windows, entrance portals, canopies and extruding elements providing shade occur along more than 30 percent of the building at least every 40 feet along the façade.

Response for requirement #3:

The North façade:

3a) Wall plane projections or recesses of at least 1 foot in depth at least every 100 feet of façade length provided.

3b) Change in color, texture, or material at least every 50 feet not provided.

3c) Offset, reveal, pilaster, or projecting element repeating every 30 feet of facade length not provided.

3d) Three dimensional cornice provided

3e) Change in parapet height every 100 feet of façade length provided.

See North elevation for change in parapet height every 100 feet.

The South façade:

3a) Wall plane projections or recesses every 100 feet not provided.

3b) Change in color, texture, or material at least every 50 feet not provided.

3c) Offset, reveal, pilaster, or projecting element repeating every 30 feet of facade length not provided.

3d) Three dimensional cornice or base treatments not provided

3e) Change in parapet height every 100 feet of façade length provided.

See South elevations for change in parapet height every 100 feet.

At least 1 of the required elements has been incorporated along the north and south façades.



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CONSULTANT:
 CIVIL
 TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM
 87109

CONSULTANT:
 STRUCTURAL
 FOWLER ENGINEERING, LLC
 1583 OAK TREE COVE, SUITE A
 HERNANDO, MS 38632

CONSULTANT:
 MECHANICAL/ELECTRICAL/
 PLUMBING/FIRE PROTECTION
 JORDAN & SCALA ENGINEERS
 17825 NORTH DALLAS PKWY,
 SUITE 310
 DALLAS, TX 75287

CONSULTANT:

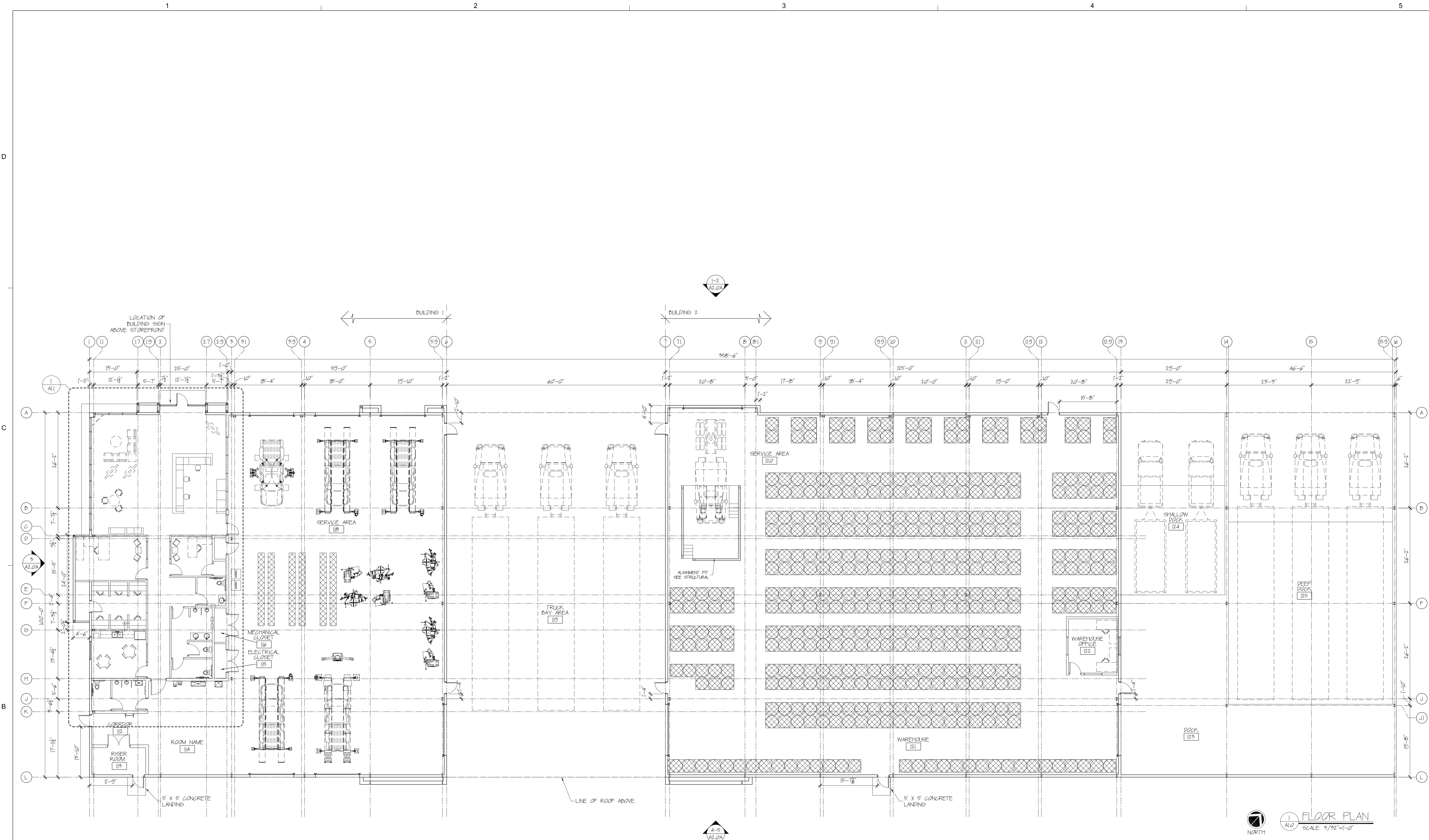


PROJECT NAME:
 NEW TIRE FACILITY FOR SOUTHERN TIRE MART
 ALBUQUERQUE, NM

OWNER:
 TL WALLACE CONSTRUCTION
 4015 HWY 35
 COLUMBIA, MS 39419

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CHK'D BY:	SE	
COPYRIGHT:		
S-E-A STUDIOS, P.C.		
SHEET CONTENT:		
FLOOR PLANS		

A.I.O



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 JORDAN & SCALA ENGINEERS
 17825 NORTH DALLAS PKWY,
 SUITE 310
 DALLAS, TX 75281

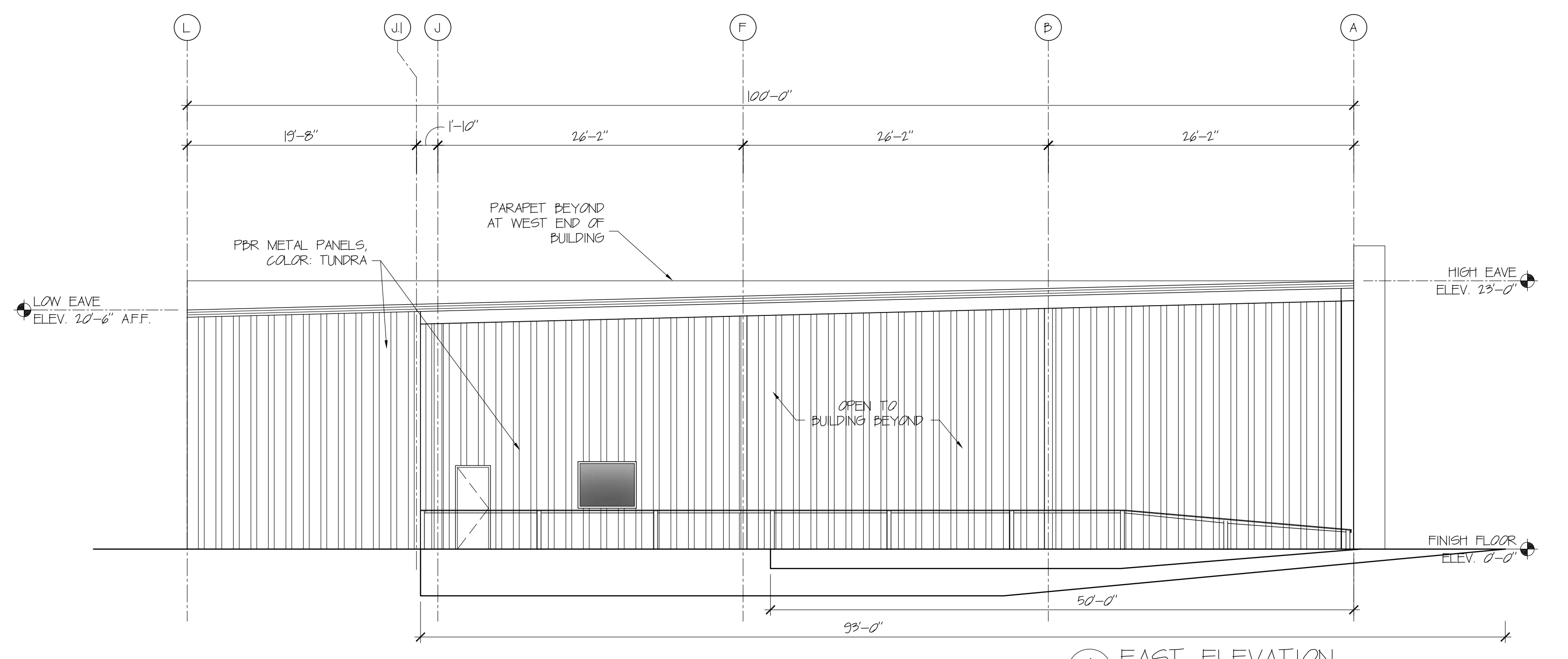
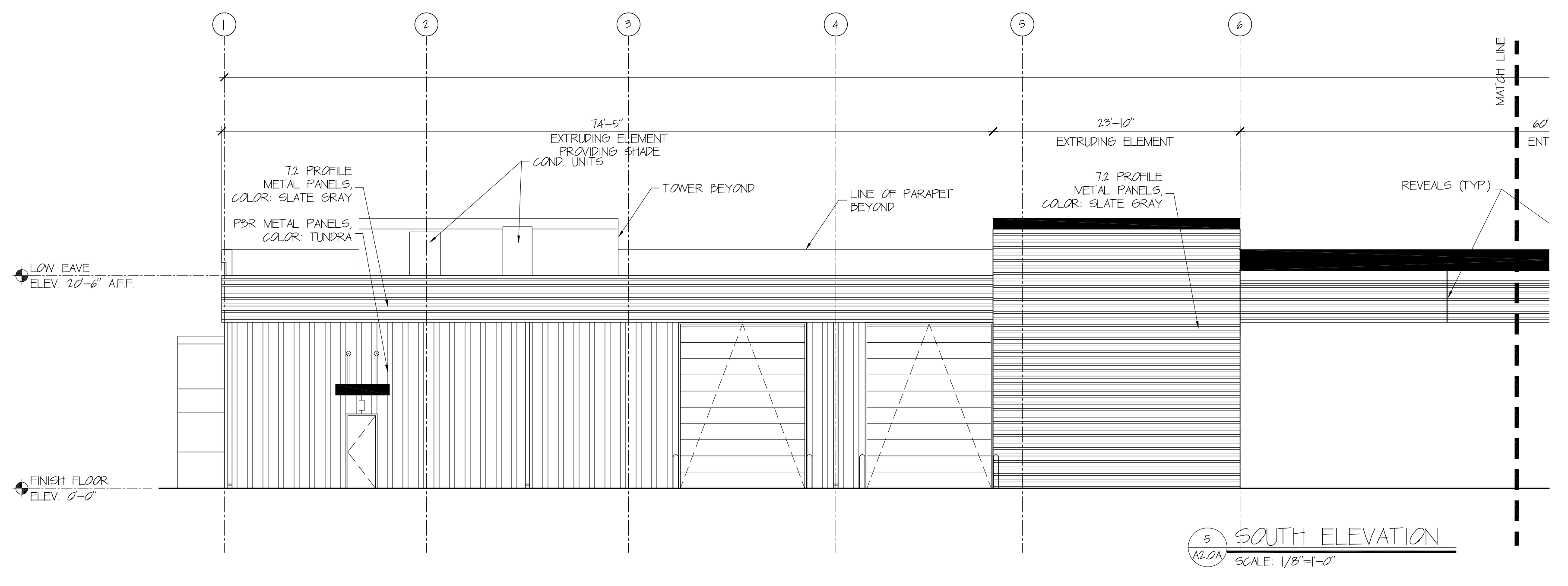
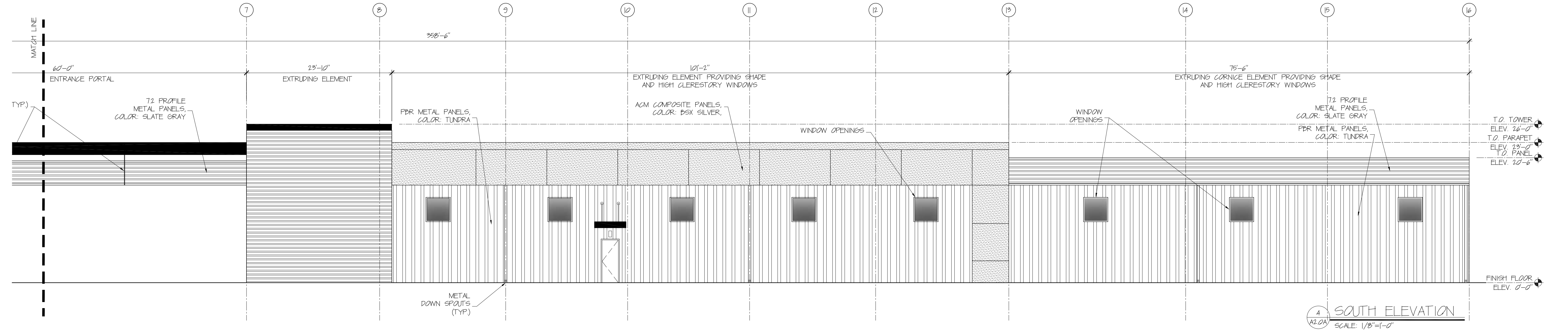
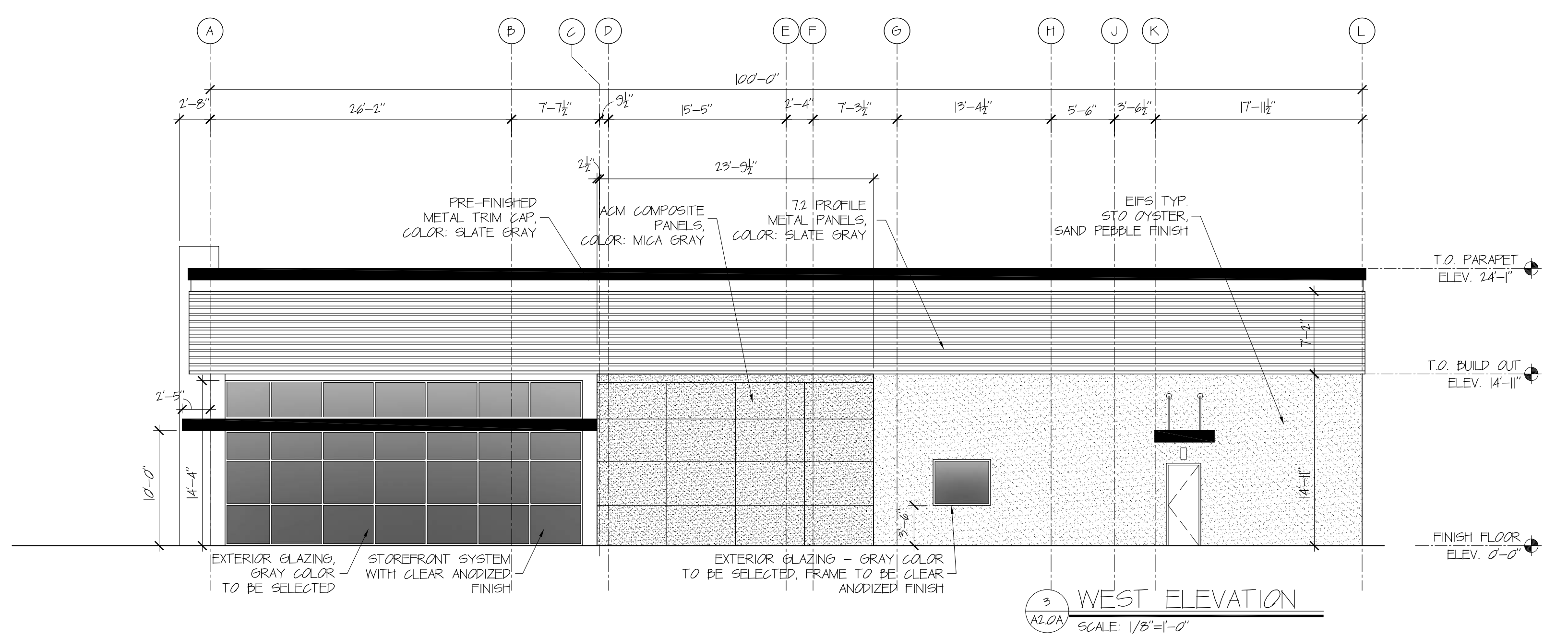
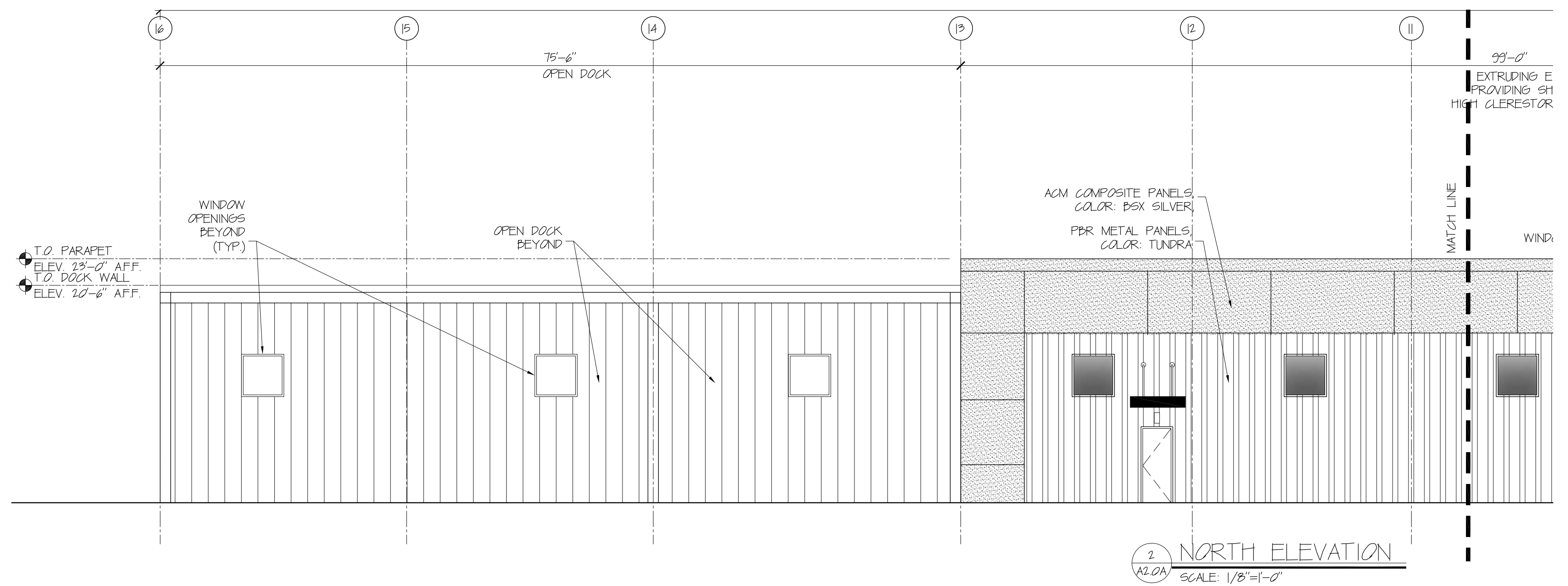
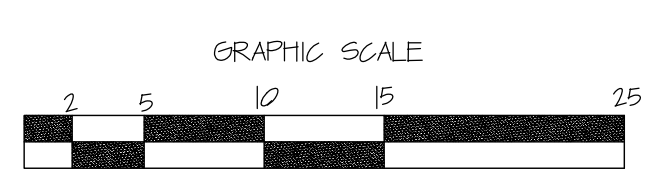
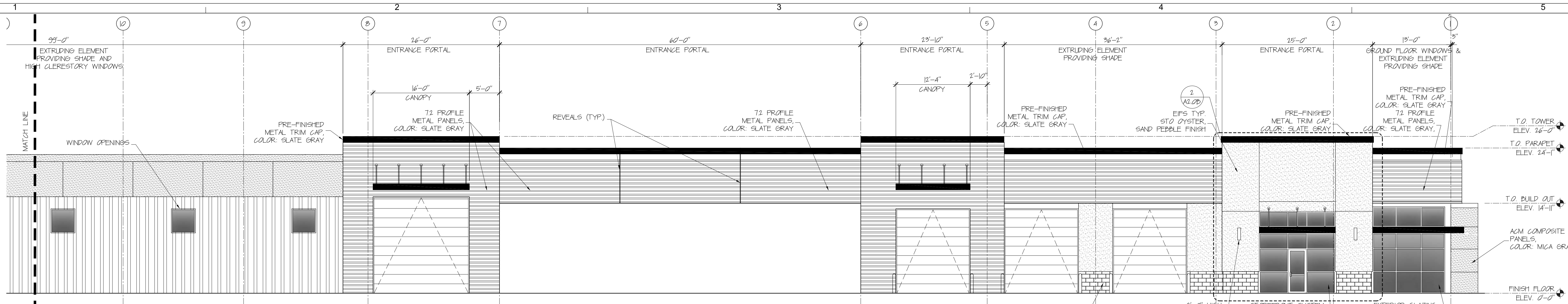
CONSULTANT:



PROJECT NAME:
 NEW TIRE FACILITY FOR SOUTHERN TIRE MART
 ALBUQUERQUE, NM

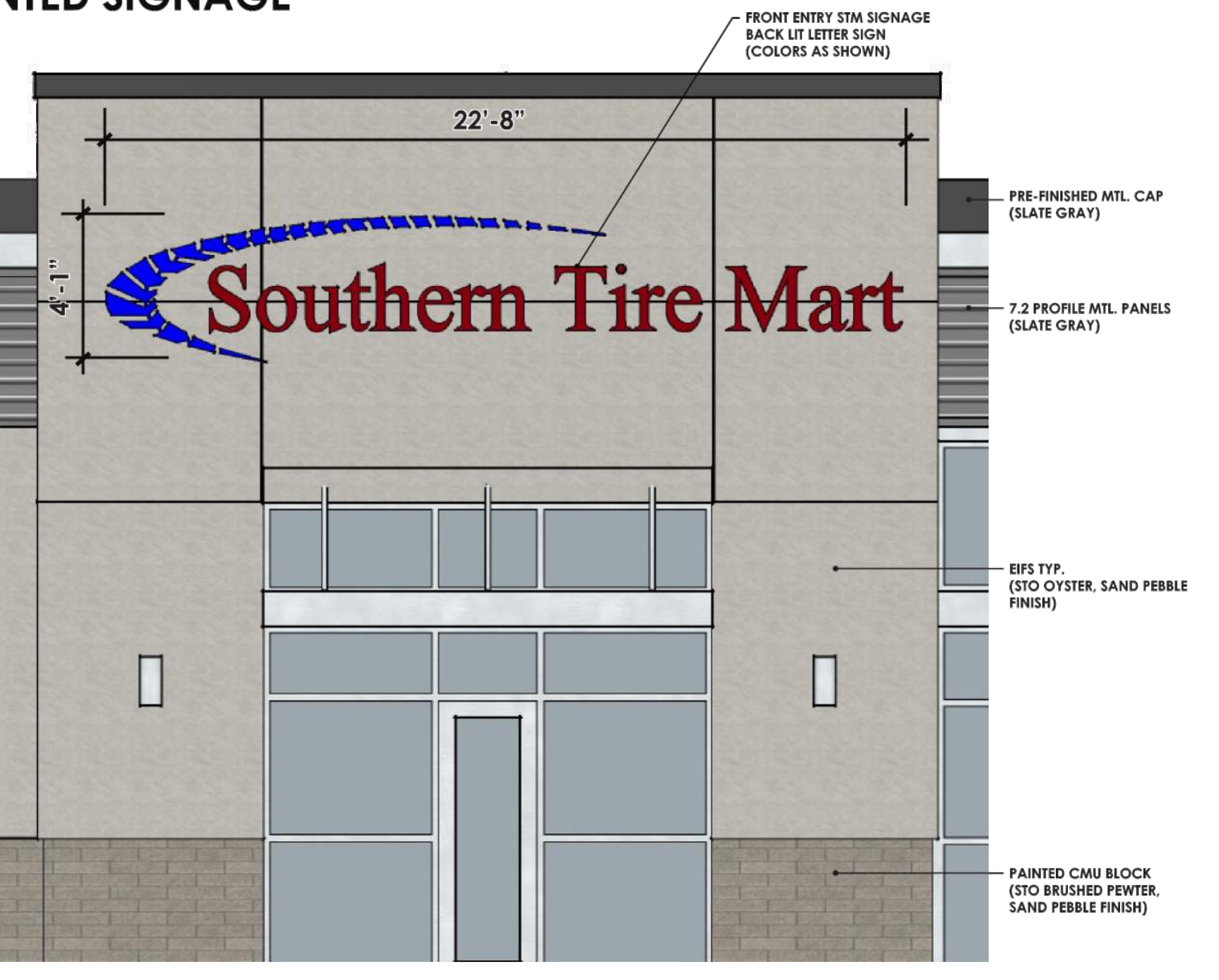
OWNER:
 TL WALLACE CONSTRUCTION
 4015 HWY 95
 COLUMBIA, MS 39419

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CAD FILE:		
DRAWN BY:	EP	
CHKD BY:	SE	
COPYRIGHT:	S-E-A STUDIOS, P.C.	
SHEET CONTENT:	EXTERIOR ELEVATIONS	



BUILDING MOUNTED SIGNAGE

Building Sign Info:
Sign Square Footage: 93 SF
Signage Colors - Red: 77.19 SF
Blue: 15.81 SF
Signage Materials: Aluminum Channel Letters
Lighting: Back Lit Letters



FRONT SIGNAGE ELEVATION
SCALE: 1/8"=1'-0"

LIST OF APPLICABLE RESTRICTIONS PER THE INTEGRATED DEVELOPMENT ORDINANCE (IDO), CITY OF ALBUQUERQUE, NM. PROJECT LOCATED WITHIN ZONE NR-BP
5-12(F)(2) LOCATION
5-12(E)(2)(A) NO SIGN OR PART OF A SIGN SHALL BE LOCATED ON ANY PROPERTY WITHOUT CONSENT OF THE OWNER...
5-12(E)(2)(B) SIGNS SHALL NOT BE LOCATED WITHIN PUBLIC WATERLINE OR SANITARY SEWER EASEMENTS
5-12(F)(4) DESIGN AND CONSTRUCTION
5-12(E)(4)(A) ALL SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIAL AND MAINTAINED IN GOOD CONDITION AND REPAIR...
5-12(E)(4)(B) NO SIGN MAY HAVE OVERHEAD WIRING TO SUPPLY ELECTRICAL POWER...
5-12(E)(4)(C) BUILDS-MOUNTED SIGNS, WITH THE EXCEPTION OF WALL SIGNS, SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE WALL OF A BUILDING...
5-12(F)(5) ILLUMINATION AND MOTION
5-12(E)(5)(A) GENERAL
1. SIGNS MAY BE INTERNALLY OR EXTERNALLY LIT, PROVIDED THAT THE LIGHT SOURCE IS NOT DIRECTLY VISIBLE FROM THE PUBLIC RIGHT-OF-WAY...
2. NO PORTION OF AN ILLUMINATED SIGN SHALL HAVE A LUMINANCE GREATER THAN 200 FOOT LAMBERTS OR 485 NITS AT NIGHT...
3. NO SIGN OR ANY PART OF ANY SIGN SHALL MOVE OR ROTATE AT A RATE OF MORE THAN ONCE EACH 10 SECONDS...
4. NO SIGN OR ANY PART OF ANY SIGN SHALL CHANGE ITS MESSAGE OR PICTURE AT A RATE OF MORE THAN ONCE EACH 8 SECONDS.
5-12(E)(5)(C) MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS
AN ILLUMINATED SIGN OR ILLUMINATED ELEMENT OF A SIGN IN ANY MIXED-USE OR NON-RESIDENTIAL ZONE DISTRICT MAY TURN ON OR OFF OR CHANGE ITS BRIGHTNESS...
1. THE SIGN IS NOT WITHIN 200 FEET IN ANY DIRECTION OF ANY RESIDENTIAL ZONE DISTRICT AND VISIBLE FROM THAT ZONE DISTRICT.
2. THE SIGN IS NOT WITHIN 350 FEET IN ANY DIRECTION OF MAJOR PUBLIC OPEN SPACE.
3. CHANGE OF ILLUMINATION DOES NOT PRODUCE ANY APPARENT MOTION OF THE VISUAL IMAGE...
4. THERE IS NO CONTINUOUS OR SEQUENTIAL FLASHING IN WHICH MORE THAN 1/3 OF THE LIGHTS ARE TURNED ON OR OFF AT ONE TIME.
5-12(F)(2) SIGNS IN MIXED-USE AND NON-RESIDENTIAL ZONE DISTRICTS
5-12(F)(2)(A) GENERAL
THE PROVISIONS IN TABLE 5-12-2 AND THIS SUBSECTION 14-16-5-12(F)(2) APPLY TO ALL SIGNS THAT ARE NOT LOCATED WITHIN ANY RESIDENTIAL ZONE DISTRICT UNLESS SPECIFIED OTHERWISE IN THIS IDO.

Table 5-12-2: On-premises Signs in Mixed-use and Non-residential Zone Districts. Table with columns for Sign Type, Zone District, and various sign metrics (Number, Area, Height, Projection).

Table 5-12-2: On-premises Signs in Mixed-use and Non-residential Zone Districts. Table with columns for Sign Type, Zone District, and various sign metrics (Number, Area, Height).



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CONSULTANT: CIVIL TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109

CONSULTANT: STRUCTURAL FOWLER ENGINEERING, LLC 1989 OAK TREE COVE, SUITE A HERNANDO, MS 38632

CONSULTANT: MECHANICAL/ELECTRICAL/PLUMBING/FIRE PROTECTION JORDAN & SCALA ENGINEERS 17825 NORTH DALLAS PKWY, SUITE 300 DALLAS, TX 75287

CONSULTANT:



PROJECT NAME: NEW TIRE FACILITY FOR SOUTHERN TIRE MART ALBUQUERQUE, NM

OWNER: TL WALLACE CONSTRUCTION 4025 HWY 95 COLUMBIA, MS 39419

Table with columns: MARK, DATE, DESCRIPTION. Multiple empty rows for tracking changes.

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PROJECT NO: 221219
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SHEET CONTENT:
EXTERIOR ELEVATIONS AND IDO RESTRICTIONS

A2.0B



Southern Tire Mart