

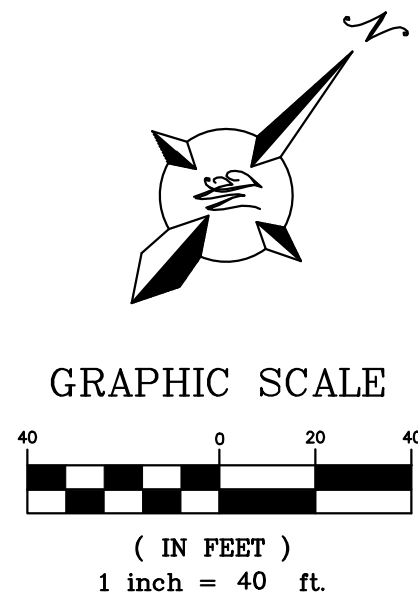
**VICINITY MAP** J-09Z

**LEGAL DESCRIPTION**  
 TRACT NUMBERED 2-B OF AVALON SUBDIVISION UNIT 5, A SUBDIVISION OF A TRACT OF LAND LOCATED WITHIN PROJECTED SECTIONS 16 AND 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. TOWN OF ATRISCO GRANT

**SITE DATA**

ZONING	NR-BP
SITE AREA	253757 SF (5.83 AC)
PROPOSED USAGE	COMMERCIAL
BUILDING AREA	3173 SF OFFICE 6868 SF SERVICE AREA 7038 SF TRUCK BAYS 11223 SF WAREHOUSE 4100 SF COVERED DOCKS 32402 SF TOTAL
PARKING REQUIRED	18 SPACES (1 PER 1000 OFFICE, SERVICE AREA, TRUCK BAY)
PARKING PROVIDED	48 SPACES
HC PARKING REQUIRED	2 SPACES
HC PARKING PROVIDED	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED	50 SPACES
BICYCLE PARKING REQUIRED	1 SPACES (GREATER OF 3 OR 10% OF REQUIRED PARKING)
BICYCLE SPACES PROVIDED	2 SPACES
MOTORCYCLE SPACES REQUIRED	1 SPACES (1 PER 1-25 VEHICLES PARKING REQUIRED)
MOTORCYCLE SPACES PROVIDED	2 SPACES
LANDSCAPE REQUIRED	38063 SF (15% OF LOT AREA)
LANDSCAPE PROVIDED	65330 SF
SETBACKS	
FRONT	20'
SIDE	10'
REAR	10'

**NOTE**  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE



**KEYED NOTES**

- |  |  |
|--|--|
| ① ACCESSIBLE PARKING SEE DETAIL SHEET DET-1              | ⑩ MOTORCYCLE PARKING W/SIGN SEE DETAIL SHEET DET-1 |
| ② 6" CURB AND GUTTER PER COA STD DWG 2415A               | ⑪ EMERGENCY TURNAROUND                             |
| ③ 5' SIDEWALK PER COA STD DWG 2430                       | ⑫ DUMPSTER, SEE SHEET DET-2                        |
| ④ UNIDIRECTIONAL ACCESSIBLE RAMP, SEE SHEET DET-1        | ⑬ MONUMENT SIGN                                    |
| ⑤ 6' SIDEWALK PER COA STD DWG 2430                       | ⑭ BICYCLE RACK (3 SPACES), SEE SHEET DET-1         |
| ⑥ 8" CURB AND GUTTER PER COA STD DWG 2415A               | ⑮ POND   |
| ⑦ REMOVE AND DISPOSE EXIST CURB, ASPHALT AND CUTOFF WALL | ⑯ ASPHALT HD PAVING                                |
| ⑧ REMOVE AND DISPOSE CUTOFF WALL                         | ⑰ PYLON SIGN                                       |
| ⑨ NEW CUTOFF WALL PER COA STD DWG 2415B                  | ⑱ ZERO CURB  |
| ⑩ 6' VALLEY GUTTER PER COA STD DWG 2420                  | ⑲ AREA LIGHT, 40' FULLY SHIELDED (TYP)             |
| ⑪ PROPOSED FIRE HYDRANT PER COA STD DWG 2340             |  |
| ⑫ TRANSFORMER W/BOLLARDS                                 |  |
| ⑬ 6' CROSSWALK (STRIPED)                                 |  |
| ⑭ CONCRETE RETAINING WALL                                |  |
| ⑮ LANDSCAPE  |  |

**LEGEND**

- |  |                            |
|--|----------------------------|
|  | PROPOSED CURB & GUTTER     |
|  | BOUNDARY LINE              |
|  | EASEMENT                   |
|  | PROPOSED SIDEWALK/CONCRETE |
|  | EXISTING CURB & GUTTER     |
|  | TRANSFORMER                |
|  | FIRE HYDRANT               |
|  | LANDSCAPE AREA             |
|  | FENCE                      |
|  | ASPHALT PAVING AREA        |

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLES @ ENTRANCE OFF DAYTONA. SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.  
 Is an Infrastructure List required? ( ) Yes ( ) No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

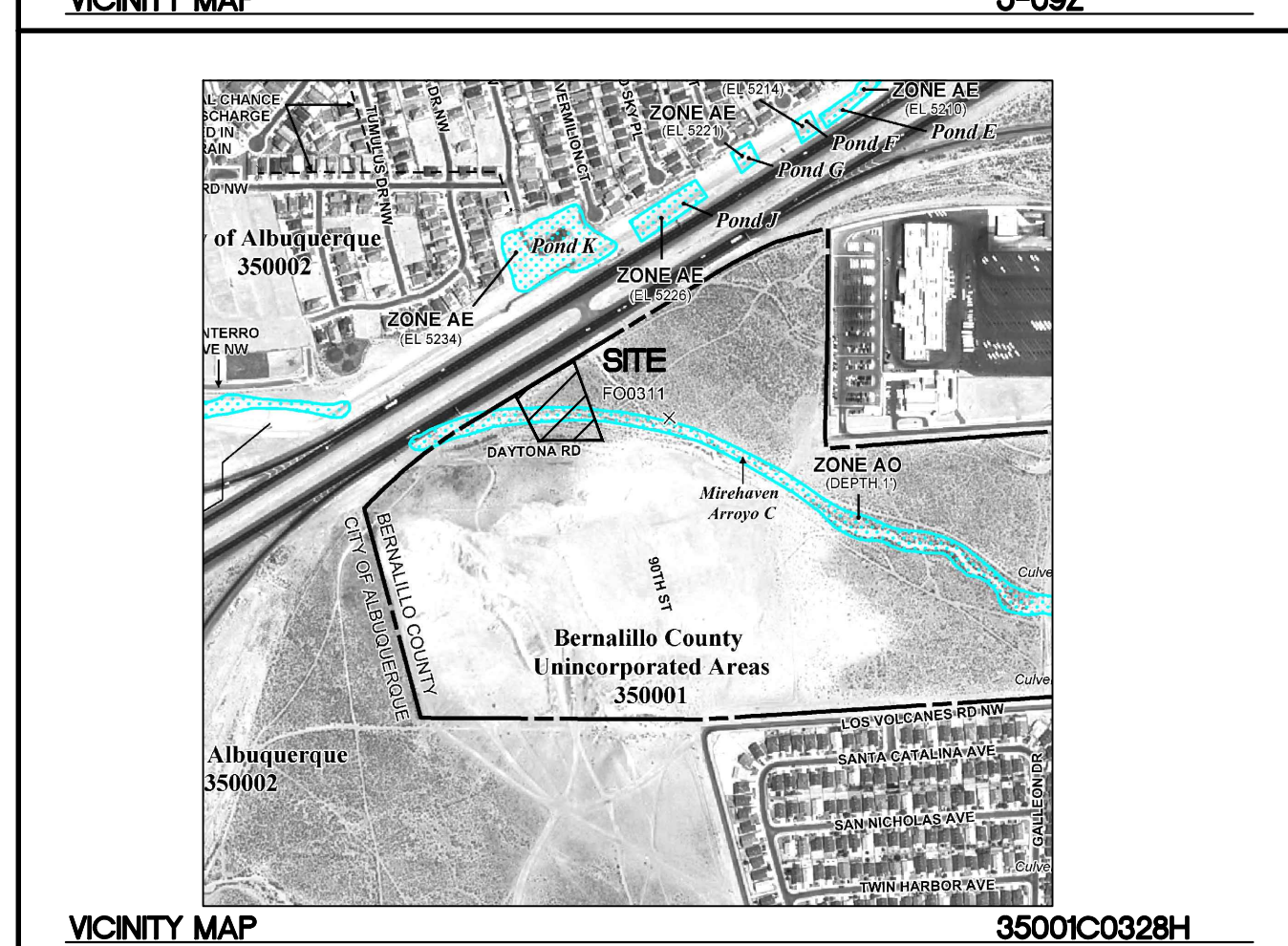
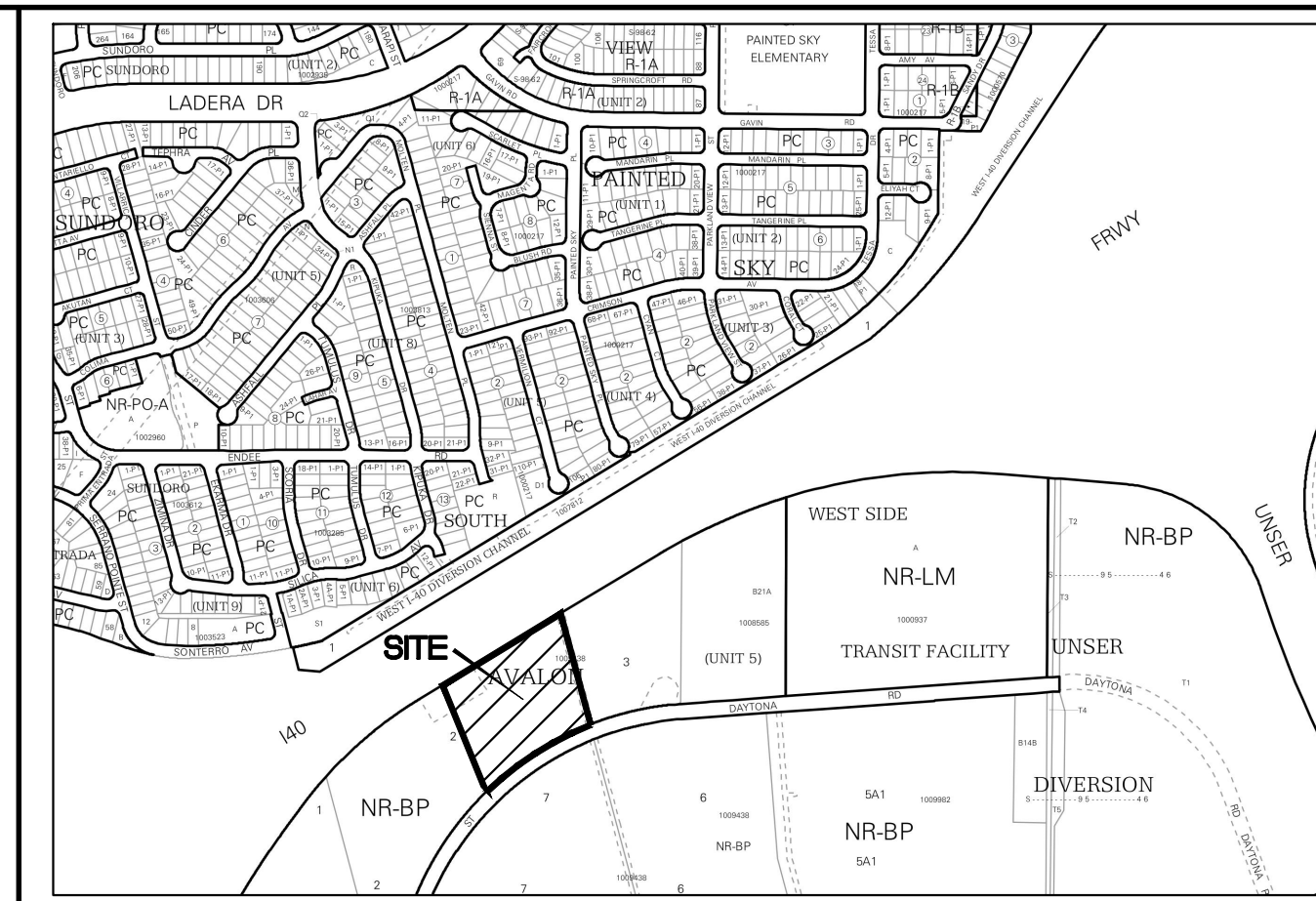
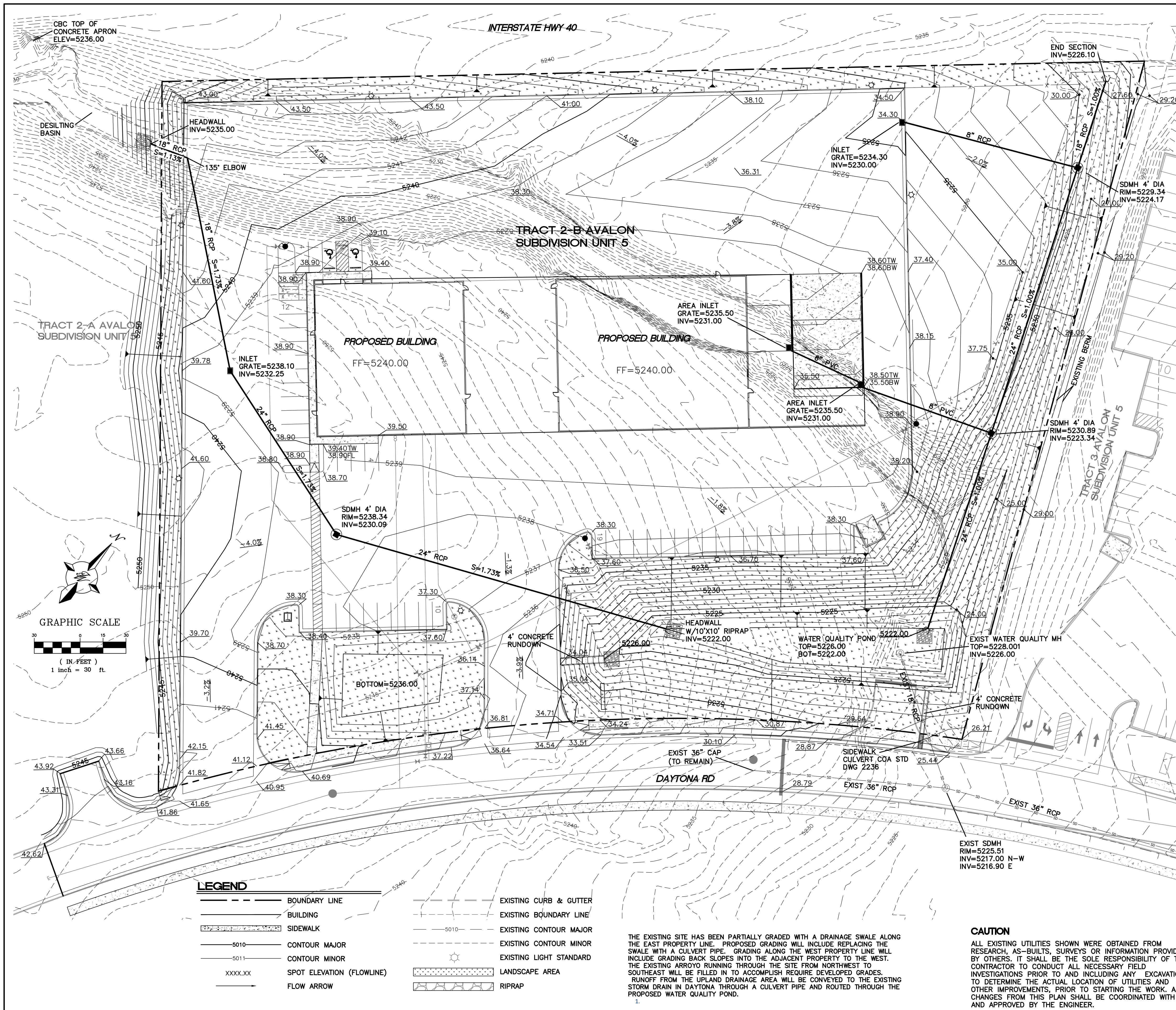
**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>SOUTHERN TIRE MART ALBUQUERQUE, NM</b>	DRAWN BY pm
	<b>SITE PLAN ADMINISTRATIVE</b>	DATE 3-28-21
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020031-SP
		SHEET # <b>SP-1</b>
		JOB # 2020031





**PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY  
NOTICE TO CONTRACTOR  
(SPECIAL ORDER 19-80-19)**

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT AUGIE ARMIJO AT (505) 857-8607 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

**EROSION CONTROL NOTES:**

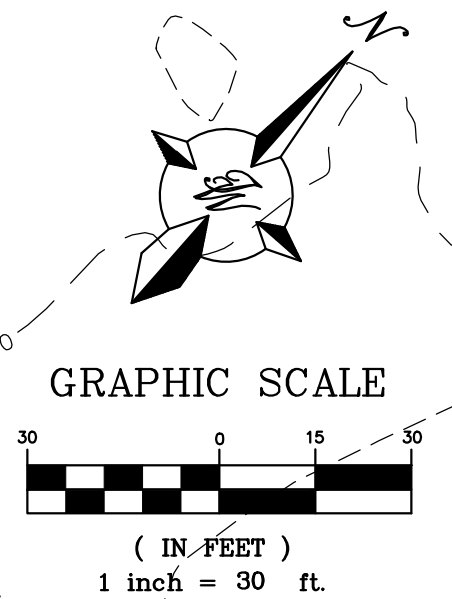
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3/4\"/>

**CAUTION**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

THE EXISTING SITE HAS BEEN PARTIALLY GRADED WITH A DRAINAGE SWALE ALONG THE EAST PROPERTY LINE. PROPOSED GRADING WILL INCLUDE REPLACING THE SWALE WITH A CULVERT PIPE. GRADING ALONG THE WEST PROPERTY LINE WILL INCLUDE GRADING BACK SLOPES INTO THE ADJACENT PROPERTY TO THE WEST. THE EXISTING ARROYO RUNNING THROUGH THE SITE FROM NORTHWEST TO SOUTHEAST WILL BE FILLED IN TO ACCOMPLISH REQUIRED DEVELOPED GRADES. RUNOFF FROM THE UPLAND DRAINAGE AREA WILL BE CONVEYED TO THE EXISTING STORM DRAIN IN DAYTONA THROUGH A CULVERT PIPE AND ROUTED THROUGH THE PROPOSED WATER QUALITY POND.

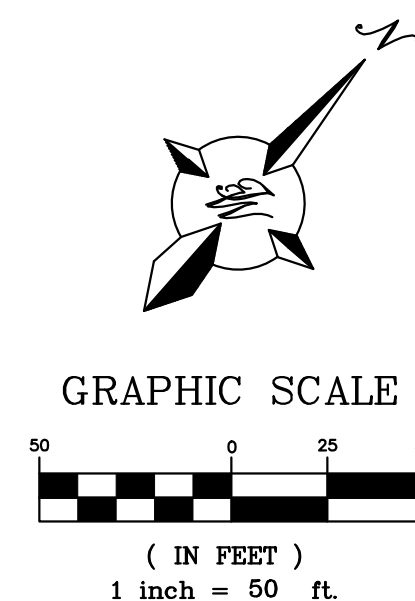
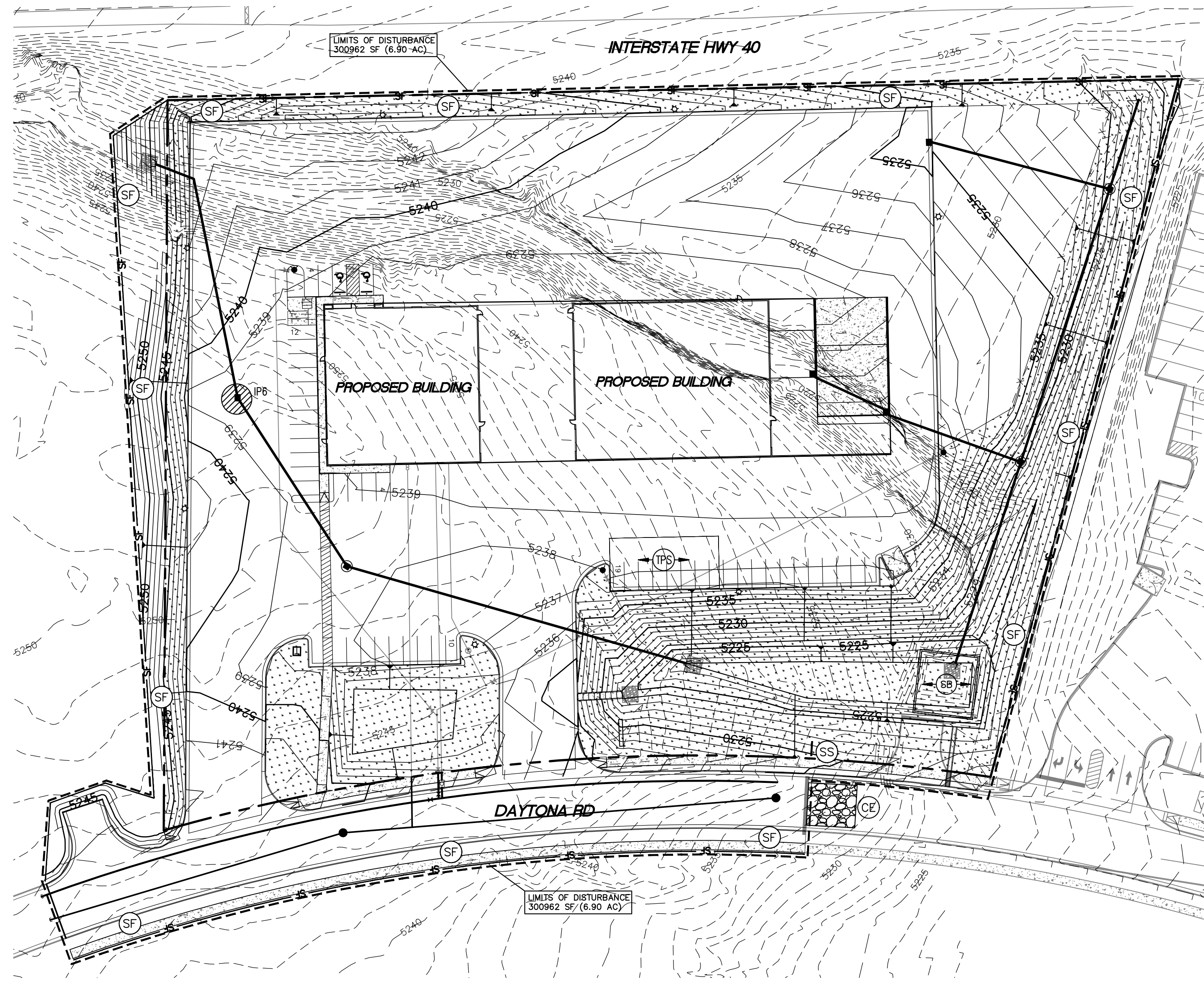
**LEGEND**

	BOUNDARY LINE		EXISTING CURB & GUTTER
	BUILDING		EXISTING BOUNDARY LINE
	SIDEWALK		EXISTING CONTOUR MAJOR
	CONTOUR MAJOR		EXISTING CONTOUR MINOR
	CONTOUR MINOR		EXISTING LIGHT STANDARD
	SPOT ELEVATION (FLOWLINE)		LANDSCAPE AREA
	FLOW ARROW		RIPRAP

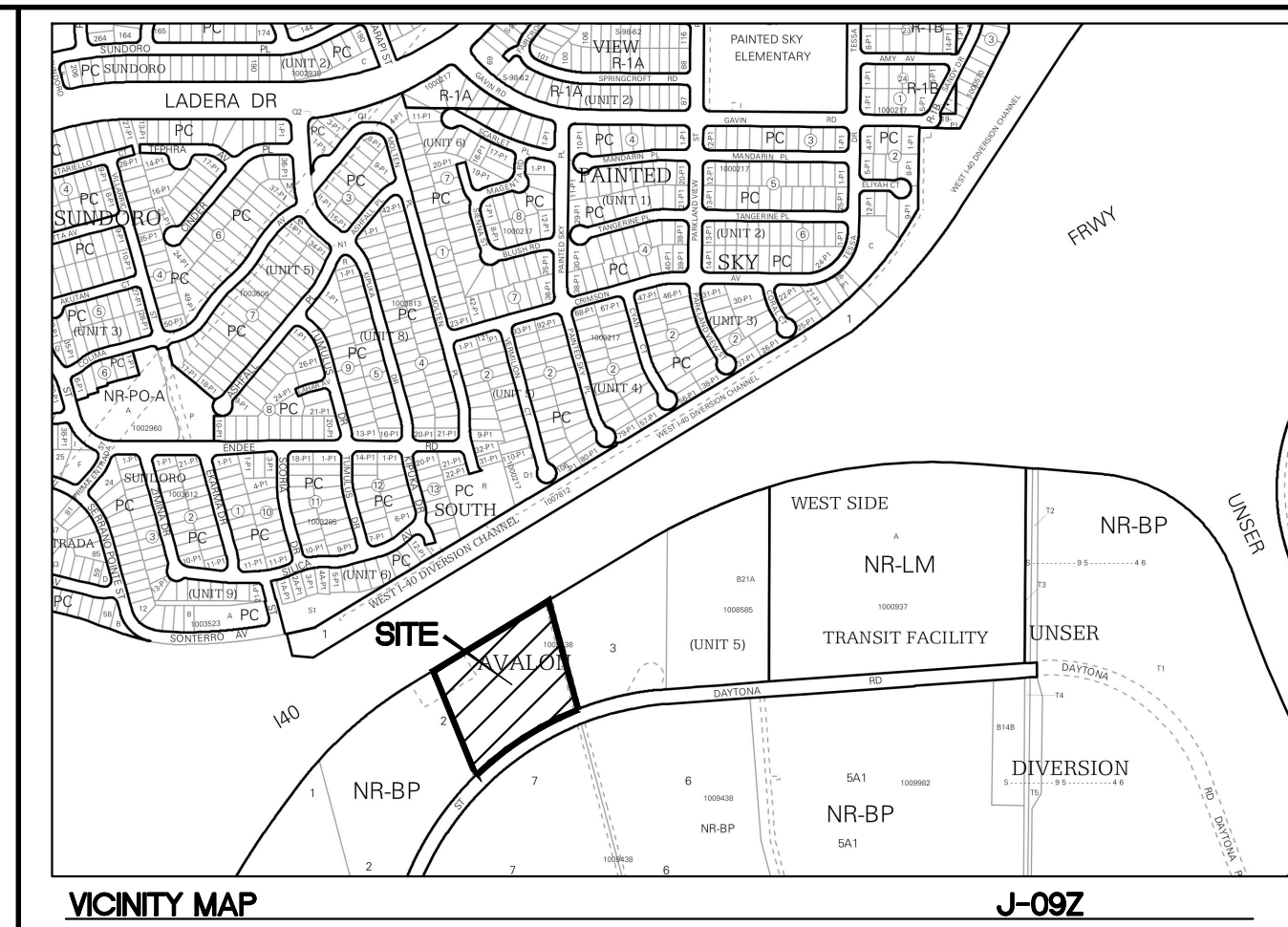


ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	SOUTHERN TIRE MART ALBUQUERQUE, NM	DRAWN BY pm
	GRADING AND DRAINAGE PLAN	DATE 4-6-21
	 TIERRA WEST, LLC 5571 MIDWAY PARK BL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020031-GR
		SHEET # <b>GR-1</b>
		JOB # 2020031





- PROPOSED**
- BOUNDARY LINE
  - LIMITS OF DISTURBANCE
  - XXX CONTOUR ELEVATIONS
- EROSION DETAILS**
- CE TEMPORARY STONE CONSTRUCTION EXIT
  - SF TEMPORARY SILT FENCE
  - ST TEMPORARY SEDIMENT TRAP
  - IP INLET PROTECTION
  - SB TEMPORARY SEDIMENT BASIN
- EROSION NOTES**
- TPS TEMPORARY PARKING AND STORAGE



**GENERAL EROSION NOTES:**

- A. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE SWPPP BOOK, THE 2017 GENERAL CONSTRUCTION PERMIT, THIS DRAWING ("TEMPORARY EROSION CONTROL AND SEDIMENTATION PLAN"), STANDARD DETAILS ("TEMPORARY EROSION CONTROL AND SEDIMENTATION DETAILS"), EPA NOTICE OF INTENT PERMIT AND ALL SUBSEQUENT REPORTS, CORRECTIVE ACTIONS AND EROSION CONTROL RELATED DOCUMENTS.
- B. ALL OPERATORS AS DESIGNATED, CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH SITE ACTIVITIES RELATED TO STORM WATER POLLUTION PREVENTION SHALL REVIEW A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE 2017 CONSTRUCTION GENERAL PERMIT, THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES), THE CLEAN WATER ACT OF 1972 AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. THE OPERATOR IN CONTROL OF DAILY SITE ACTIVITIES SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS THAT MAY OCCUR AT NO ADDITIONAL COST TO PROJECT OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- D. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO ALL FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. OPERATOR WITH CONTROL OF DAILY SITE ACTIVITIES SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY, LOCAL JURISDICTIONAL AUTHORITY OR SWPPP COMPLIANCE INSPECTOR.
- E. THE TEMPORARY EROSION CONTROL AND SEDIMENTATION PLAN IS A WORKING DOCUMENT AND IS REQUIRED TO BE UPDATED WITHIN 24 HOURS OF ANY CHANGES WHEN BMP'S ARE REPAIRED, RELOCATED OR REMOVED BY NOTING ON THE PLAN THE AREAS AND DATES OF THE REPAIRS, RELOCATIONS OR REMOVALS. AN ACTIVE COPY OF THE PLAN SHALL BE POSTED IN THE JOB SITE TRAILER ONSITE, AND MUST BE MAINTAINED CURRENT AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING AND EARTH DISTURBANCE TO THE MAXIMUM ACREAGE AS REQUIRED BY THE EPA CONSTRUCTION GENERAL PERMIT.
- G. CONTRACTOR SHALL DENOTE ON THIS PLAN, THE LOCATION OF TEMPORARY PARKING, STORAGE, PORTABLE SANITARY FACILITIES, OFFICE TRAILERS, AND ALL SUPPORT AREAS. RELOCATIONS OF EACH SHALL ALSO BE DOCUMENTED AS THEY OCCUR.
- H. ALL WASH OUT WATER USED FOR CONCRETE, MASONRY, PAINT AND OTHER MATERIALS SHALL HAVE ADEQUATE SIGNAGE WITH PROPER CONTAINMENT AND DISPOSED OF PROPERLY WHEN CAPACITY REACHES 50% OR PER VENDOR RECOMMENDATIONS. VENDORS AND TRADESMEN SHALL BE INFORMED OF THE REQUIREMENTS TO USE THE WASH OUT.
- I. A SPILL KIT SHALL BE READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS. A DISCHARGE OF ANY MATERIAL IN A QUANTITY THAT MAY WITHIN REASONABLE PROBABILITY CAUSE, INJURE OR BE DETRIMENTAL TO HUMAN HEALTH, ANIMAL OR PLANT LIFE, OR PROPERTY; OR INTERFERE WITH THE PUBLIC WELFARE MUST BE REPORTED TO THE NEW MEXICO ENVIRONMENTAL DEPARTMENT HOTLINE AT (505) 827-9329 FOR EMERGENCIES OR FOR NON EMERGENCIES AT (866)-428-8535. IF UNSURE IF THE SPILL IS OF A SIGNIFICANT QUANTITY, THE SPILL SHOULD BE REPORTED TO THE HOTLINE AND INFORMATION PROVIDED WITH DETAILS OF THE SPILL FOR FURTHER ACTIONS.
- J. DUST DURING CONSTRUCTION OPERATIONS SHALL BE FREQUENTLY CONTROLLED BY WATER SUPPRESSION METHODS ONLY, EARTH DISTURBING OPERATIONS SHALL CEASE IF HIGH WINDS ABOVE 35 MPH ARE PRESENT. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS IS STRICTLY PROHIBITED. OTHER CHEMICALS USED FOR DUST SUPPRESSION MUST BE APPROVED BY THE EPA PRIOR TO THEIR USE.
- K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED, COVERED, LEAK PROOF CONTAINERS. CONTAINERS SHALL BE DISPOSED OF PROPERLY WHEN CAPACITY IS REACHED. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER.
- L. ALL STORM WATER POLLUTION PREVENTION MEASURES AND CONTROLS PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED PER THE SEQUENCE OF CONSTRUCTION AS NOTED.
- M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS BEEN TEMPORARILY SUSPENDED FOR 14 DAYS, SHALL HAVE TEMPORARILY STABILIZATION IN PLACE NO LATER THAN 14 DAYS FROM THE LAST DATE OF CONSTRUCTION ACTIVITY OCCURRING THESE AREAS.
- N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL HAVE PERMANENT CONTROLS IN PLACE NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. THE CITY HAS ACCEPTED ESTABLISHMENT OF NATURAL VEGETATION AS A STABILIZATION METHOD. ONCE THE STAND OF NATURAL VEGETATION HAS BEEN ESTABLISHED IT IS CONSIDERED STABILIZED AND IN LIEU OF ESTABLISHED VEGETATION THE CONTRACTOR CAN PLACE 2 INCHES OF 3/8 INCH GRAVEL MULCH WITH AN APPROVED HYDRO-SEEDING MIXTURE ON SLOPES FOR PERMANENT PROTECTION.
- O. IF THE ACTION OF VEHICLES OR EQUIPMENTS TRAVELING OVER THE CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD FROM LEAVING THE SITE, THEN THE LENGTH OF THE EXIT SHOULD BE EXTENDED TO PROVIDE ADDITIONAL TIRE ROTATIONS, LARGER ROCK MAY BE USED TO CREATE A SUFFICIENT JARRING MOTION OR INSTALL A TIRE WASH OFF WITH A SEDIMENT TRAP BEFORE LEAVING THE SITE.
- P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- Q. THE OPERATOR IN CHARGE OF THE DAILY SITES ACTIVITIES WILL BE RESPONSIBLE FOR REMOVING SEDIMENT OR SOILS ACCUMULATING MORE THAN 50% OF THE DESIGN CAPACITY IN DETENTION PONDS, SILT FENCING OR OTHER SIMILAR EROSION CONTROLS.
- R. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES, AS REQUIRED PER THE CONSTRUCTION GENERAL PERMIT. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE ESC PLAN AND PERMITTED IN ACCORDANCE WITH LOCAL AUTHORITIES HAVING JURISDICTIONAL CONTROL.
- S. SLOPES SHALL BE LEFT WITH CROSS SLOPE GRADING PATTERN AND IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION RILLS. EXCESSIVE SLOPES MAY REQUIRE ADDITIONAL INDUSTRY STANDARD CONTROLS TO PREVENT EROSION.
- T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE OPERATOR IN CONTROL OF THE SITE'S DAILY ACTIVITIES SHALL BE RESPONSIBLE FOR ADJUSTING AND MAINTAINING ALL EROSION CONTROL TO PREVENT EROSION.
- U. ALL DISTURBED AREAS SHALL BE SUPPRESSED BY WATER AND ALL CONTROLS LEFT IN GOOD WORKING CONDITION AT THE END OF EACH WORKING DAY. THIS INCLUDES REPLACEMENT OF SILT FENCING AND/OR OTHER SURFACE CONTROLS, TRACK OUT SWEEP CLEAN, BACKFILL OF OPEN TRENCHES, AND ANY OTHER EROSION CONTROLS.

**BMP MAINTENANCE:**

- ALL MEASURES STATED IN THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR UNTIL FINAL STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT THE END OF THE WORKDAY BY A QUALIFIED MEMBER OF THE SWPPP COMPLIANCE TEAM.
- THE OPERATOR WITH CONTROL OF THE SITES DAILY ACTIVITIES IS RESPONSIBLE TO MAINTAIN, CLEAN AND REPAIR EROSION CONTROLS IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED, IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION. SEDIMENT SHALL BE REMOVED TO INSURE PROPER FLOWS. INLET PROTECTION TYPES MAY NEED TO BE MODIFIED DURING THE CONSTRUCTION PROGRESS.
  2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RE-SEEDED AS NEEDED.
  3. SILT FENCES, WADDLES OR OTHER CONTROLS SHALL BE REPLACED OR REPAIRED TO PROPER FUNCTIONING CONDITION, IF DAMAGED. SEDIMENT AND SOIL SHALL BE REMOVED WHEN REACHES ONE-HALF THE HEIGHT OF THE CONTROL.
  4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING, EXTENDING OR OTHER MODIFICATIONS TO THE CONSTRUCTION EXITS AS CONDITIONS DEMAND. SITE TRAFFIC SHOULD BE LIMITED TO THE CONTROLLED EXITS ONLY.
  5. SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
  6. REFERENCE THE SWPPP BOOK FOR ALL EROSION CONTROL MAINTENANCE PROCEDURES AND FREQUENCIES. CONSULT THE SWPPP PREPARER WITH ANY QUESTIONS REGARDING THIS SWPPP AND ITS REQUIREMENTS.

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT FROM THE LOCAL JURISDICTIONAL AUTHORITY PRIOR TO BEGINNING WORK.
2. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS RESPONSIBLE FOR MAINTAINING RUN-OFF and RUN ON OF SITE DURING CONSTRUCTION.
3. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY, REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL EXPOSED EARTH SURFACES MUST HAVE APPROPRIATE CONTROLS TO PROTECT FROM WIND AND WATER EROSION DURING ALL PHASES OF THE PROJECT.
5. STOCKPILES INACTIVE FOR 14 DAYS ARE REQUIRED TO HAVE TEMPORARY STABILIZATION OR APPROPRIATE COVER TO CONTROL WIND AND WATER EROSION.
6. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS REQUIRED TO MAINTAIN ALL SITE BMP'S IN GOOD CONDITION FOR THE DURATION OF THE PROJECT UNTIL A NOTICE OF TERMINATION IS ACCEPTED BY THE EPA.
7. IF SITE EARTH DISTURBANCES EXCEED 5 ACRES AT ANY ONE TIME, TEMPORARY AND/OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN 7 DAYS WHEN AREA BECOMES INACTIVE OR EARTH DISTURBING ACTIVITIES ARE COMPLETE. SITE EARTH DISTURBANCES OF LESS THAN 5 ACRES, HAVE 14 DAYS TO PROVIDE TEMPORARY OR PERMANENT STABILIZATION WHEN AREA BECOMES INACTIVE OR EARTH DISTURBING ACTIVITIES ARE COMPLETE.
8. SITE WILL BE STABILIZED AT THE END OF THE GRADING IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL DETAILS. ALL SURFACES WILL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST DAY THAT THE SURFACE HAS BEEN DISTURBED. IF FINAL STABILIZATION HAS NOT BEEN INSTALLED A GRAVEL ROCK PLATING (INSTALLED TO A MINIMUM OF 2 INCHES DEEP) WILL BE APPLIED. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE SURFACE IS STABLE EITHER BY PLACING A ROCK PLATING OR THE ESTABLISHMENT OF NATIVE SEEDING IN ACCORDANCE WITH THE SEEDING SPECIFICATION ON THE PLANS. IF THE CONTRACTOR CHOOSES TO USE NATIVE SEEDING THE SITE WILL BE MAINTAINED BY THE CONTRACTOR AND SUPPLEMENTAL SEEDING SHALL BE PERFORMED AS REQUIRED UNTIL SUCH STABILIZATION HAS BEEN ACHIEVED.

**SEQUENCE OF CONSTRUCTION:**

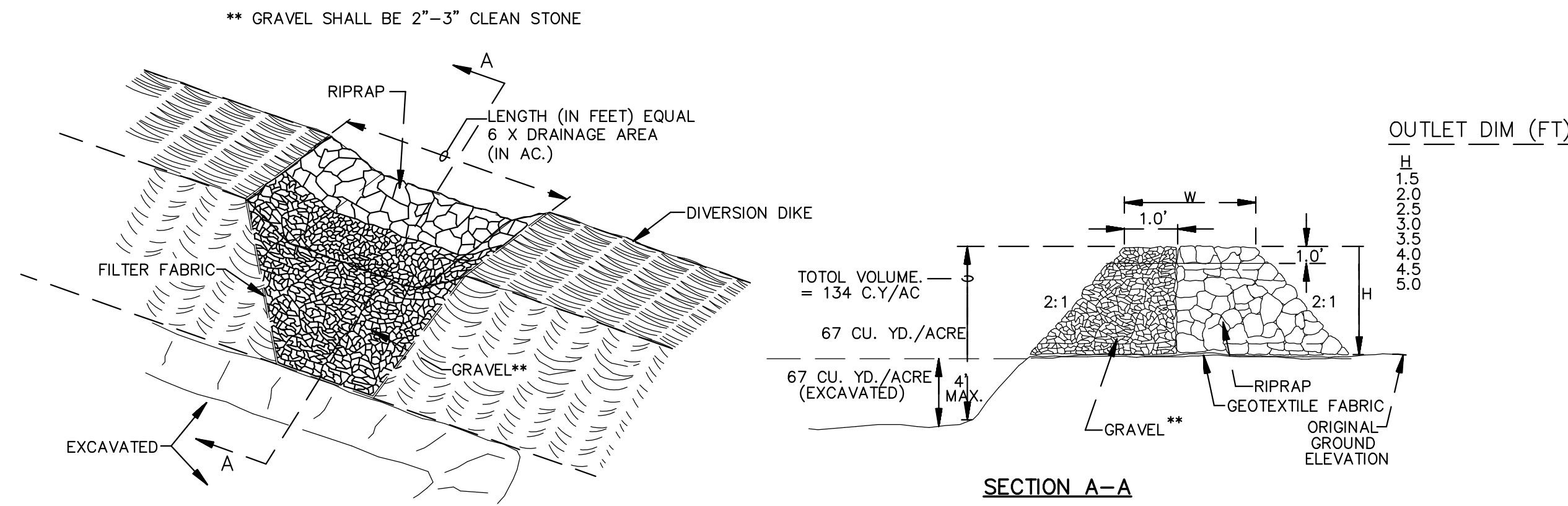
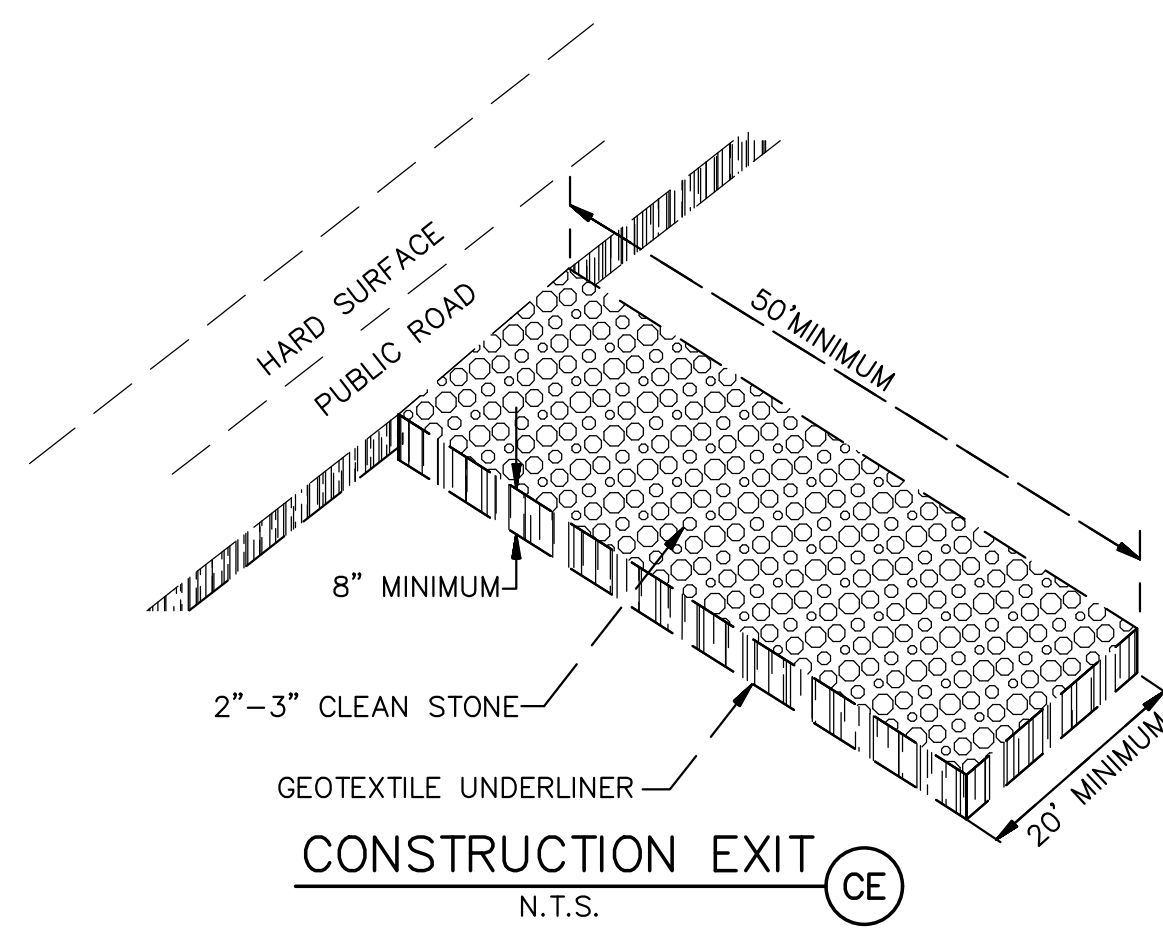
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. POST PUBLIC NOTICE PER DETAIL.
3. INSTALL DOWN GRADIENT PERIMETER CONTROLS.
4. INSTALL SEDIMENT CONTROLS AT INLETS AND DRAINAGE STRUCTURES.
5. INSTALL SEDIMENT TRAP BASINS INCLUDING EMERGENCY OVERFLOW.
6. NOTIFY SWPPP COMPLIANCE INSPECTOR OF COMPLETION OF THE ABOVE.
7. BEGIN GRUBBING AND SOIL DISTURBING ACTIVITIES.
8. PROVIDE POSITIVE GRADES TOWARDS SEDIMENT TRAPS DURING SITE GRADING.
9. PROVIDE TEMPORARY STABILIZATION OF DISTURBED AREAS OR STOCKPILES.
10. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
11. FINISH GRADING THE SITE.
12. COMPLETE SITE FINAL STABILIZATION

**GENERAL NOTES:**

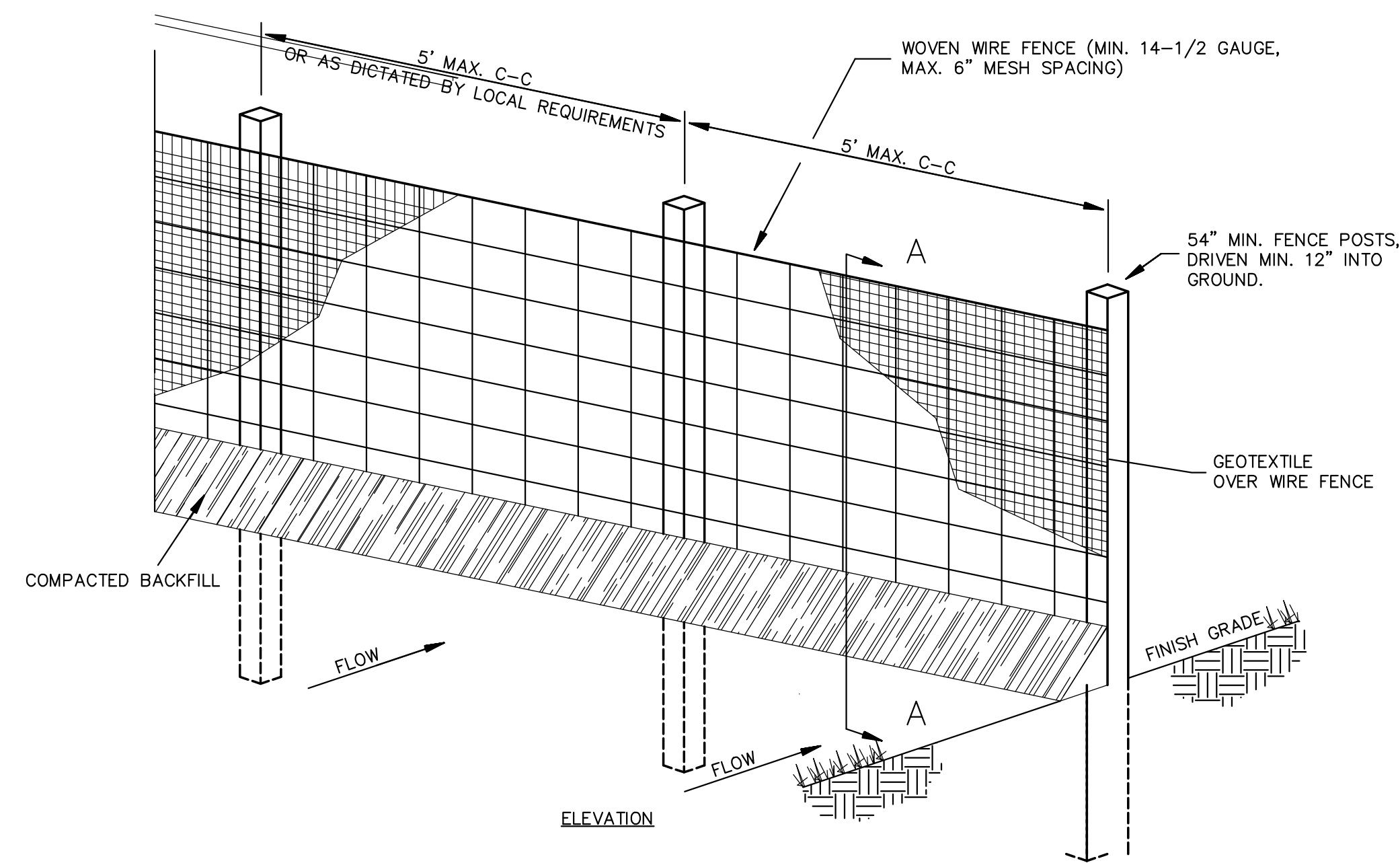
1. PROVIDE POSITIVE DRAINAGE TOWARDS SEDIMENT TRAPS DURING GRADING OPERATIONS.
2. INSTALL WATTLES ALONG LINEAR CONSTRUCTION OF SD
3. PROVIDE POSITIVE DRAINAGE TO TEMPORARY SEDIMENT BASIN DURING ALL GRADING ACTIVITIES
4. IF OFFSITE GRADING AND ROADWAY IMPROVEMENTS ARE TO BE COMPLETED BY OTHERS, COORDINATION OF OFFSITE BMP'S WITH PROPOSED ONSITE BMP'S SHALL BE REQUIRED BY THE CONTRACTOR(S)

ENGINEER'S SEAL	<b>SOUTHERN TIRE MART</b> ALBUQUERQUE, NM	DRAWN BY pjm
RONALD R. BOHANNAN P.E. #7868		DATE 3-28-21
	<b>EROSION CONTROL</b> PLAN	DRAWING 2020031-SWPPP
		SHEET # <b>SW-1</b>
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2020031





OUTLET (PERSPECTIVE)  
TEMPORARY SEDIMENT TRAP (ST)  
N.T.S.



"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).

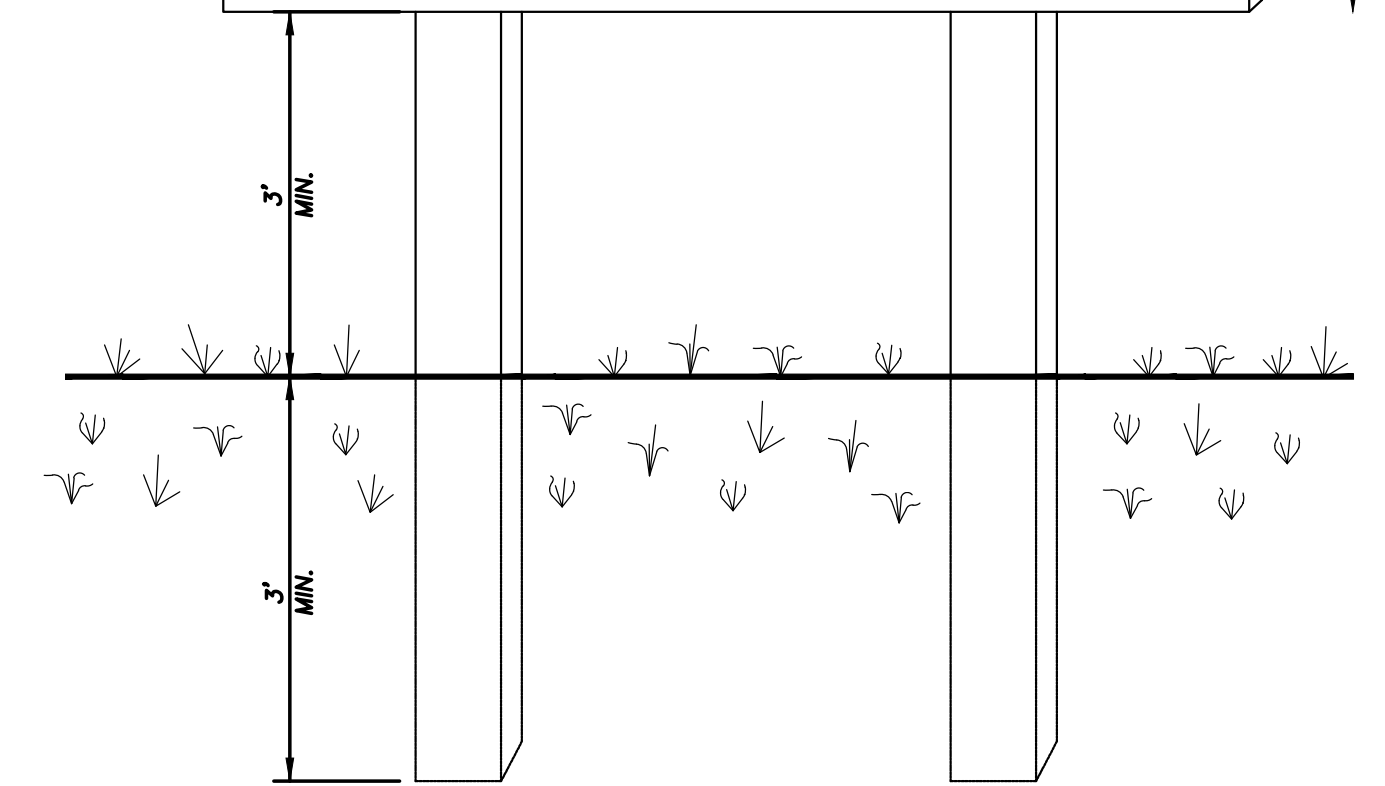
**SWPPP INFORMATION**

NPDES ID: NMR1001MP & NMR100161  
CONTACT/NUMBER: \_\_\_\_\_

"IF YOU WOULD LIKE TO OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS SITE, CONTACT THE EPA REGION 8 OFFICE - SUZANNE PEREA AT (214) 665-7217"

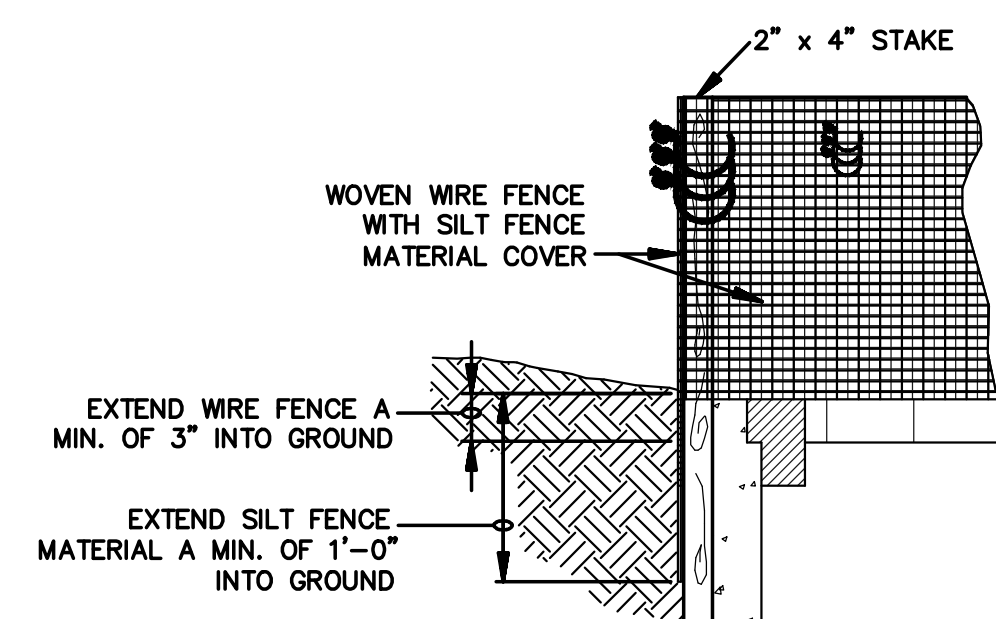
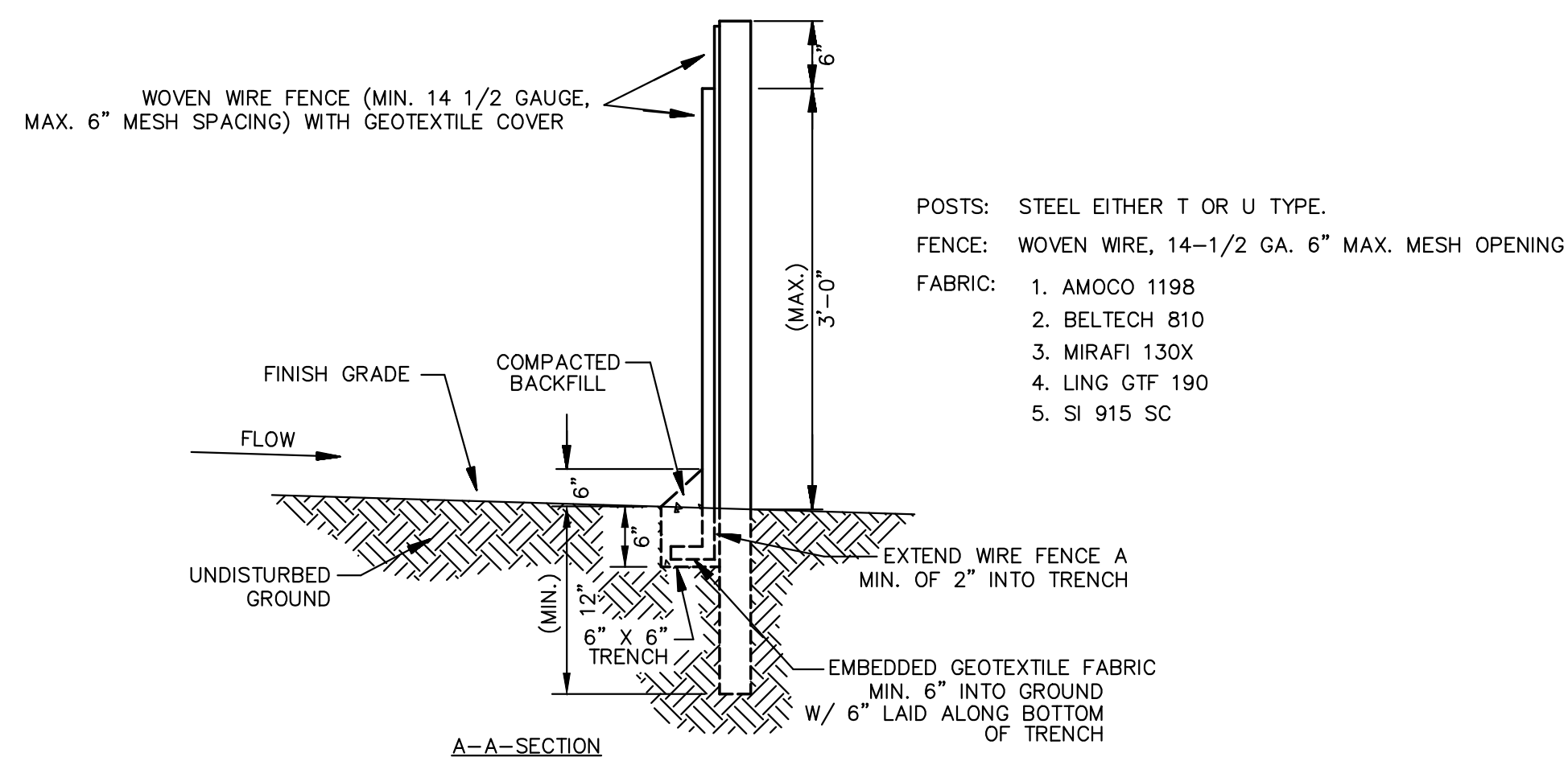
"IF YOU OBSERVE INDICATORS OF STORMWATER POLLUTANTS IN THE DISCHARGE OR IN THE RECEIVING WATERBODY, CONTACT THE EPA THROUGH THE FOLLOWING WEBSITE: [HTTPS://EPA.GOV/ENFORCEMENT/REPORT-ENVIRONMENTAL-VIOLATIONS.](https://epa.gov/enforcement/report-environmental-violations)"

DETAILED DESCRIPTION OF THE LOCATION OF THE SWPPP DOCUMENTATION (BINDER AND SITE MAPS) ON THE SITE.



- NOTES:
- 1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
  - 2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
  - 3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
  - 4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
  - 5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

SWPPP INFORMATION SIGN (SS)  
N.T.S.



SILT FENCE INLET PROTECTION (IP6)  
N.T.S.

SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT (SF)  
N.T.S.

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
2. GEOTEXTILE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
5. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS INDICATED OTHERWISE

ENGINEER'S SEAL	SOUTHERN TIRE MART ALBUQUERQUE, NM	DRAWN BY pm
		DATE 3-28-21
	EROSION CONTROL DETAILS	DRAWING 2020031-SWPPP
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>SW-2</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2020031



INTERSTATE HWY 40

**LEGEND**

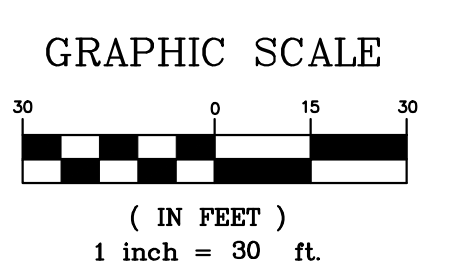
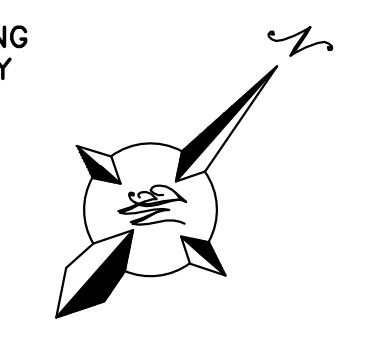
- CURB & GUTTER
- - - BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- 8" SAS
- 8" WL
- ∞ DOUBLE CLEAN OUT
- ⊙ PROPOSED HYDRANT
- P — PROPOSED POWER LINE
- T — PROPOSED TELEPHONE LINE
- G — PROPOSED GAS LINE

**GENERAL UTILITY NOTES:**

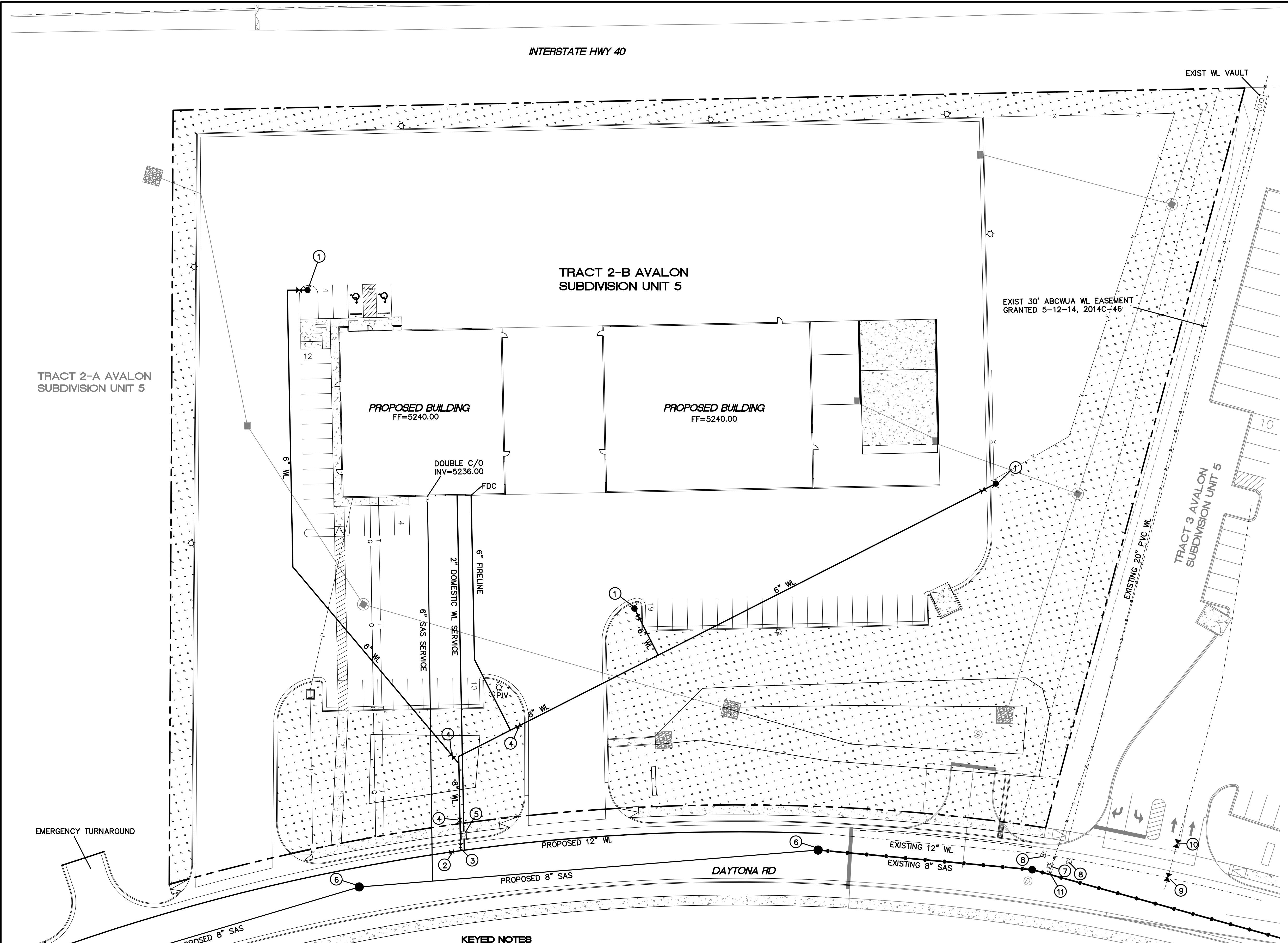
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**INSPECTION NOTE**

CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS



**TRACT 2-B AVALON  
SUBDIVISION UNIT 5**



**KEYED NOTES**

- |   |                                 |
|---|---------------------------------|
| ① NEW PRIVATE FIRE HYDRANT PER COA STD DWG 2340 | ⑧ EXIST 12" GATE VALVE (PUBLIC) |
| ② 8" GATE VALVE (PUBLIC)<br>N=_____, E=_____    | ⑨ EXIST 6" GATE VALVE (PUBLIC)  |
| ③ 8" GATE VALVE (PUBLIC)<br>N=_____, E=_____    | ⑩ EXIST 6" GATE VALVE (PRIVATE) |
| ④ 8" GATE VALVE (PRIVATE)                       | ⑪ EXIST 20" CAP                 |
| ⑤ 2" WATER METER                                |                                 |
| ⑥ NEW 4' DIA MH PER COA STD DWG 2110            |                                 |
| ⑦ EXIST 20" BUTTERFLY VALVE (PUBLIC)            |                                 |

**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>SOUTHERN TIRE MART ALBUQUERQUE, NM</b>	DRAWN BY pm
	<b>CONCEPTUAL UTILITY PLAN</b>	DATE 3-28-21
 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		DRAWING 2020031-MU
		SHEET # <b>MU-1</b>
		JOB # 2020031

TRACT 2-A AVALON  
SUBDIVISION UNIT 5

EMERGENCY TURNAROUND

12" CAP

8" CAP

PROPOSED BUILDING  
FF=5240.00

PROPOSED BUILDING  
FF=5240.00

DOUBLE C/O  
INV=5236.00

FDC

6" FIRELINE

2" DOMESTIC WL SERVICE

6" SAS SERVICE

PROPOSED 12" WL

PROPOSED 8" SAS

DAYTONA RD

EXISTING 12" WL

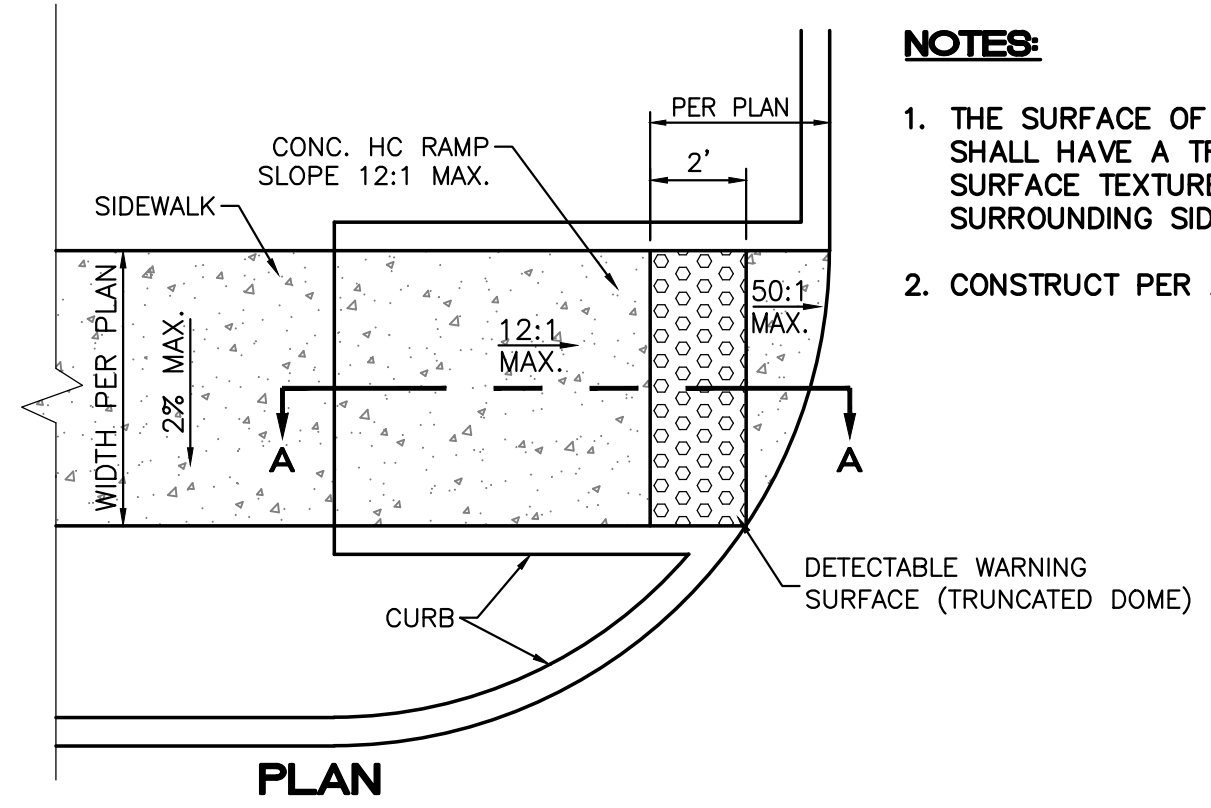
EXISTING 8" SAS

EXISTING 20" PVC WL

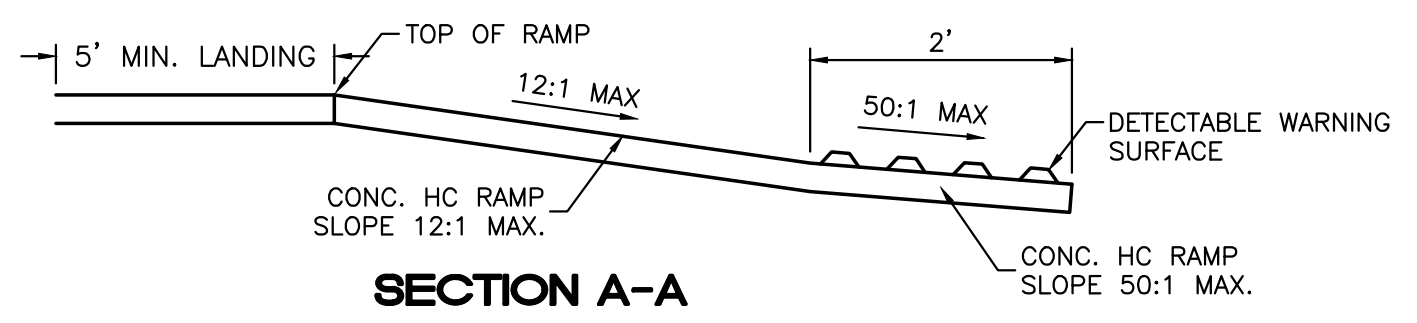
EXIST 30' ABCWA WL EASEMENT  
GRANTED 5-12-14, 2014C-46

TRACT 3 AVALON  
SUBDIVISION UNIT 5

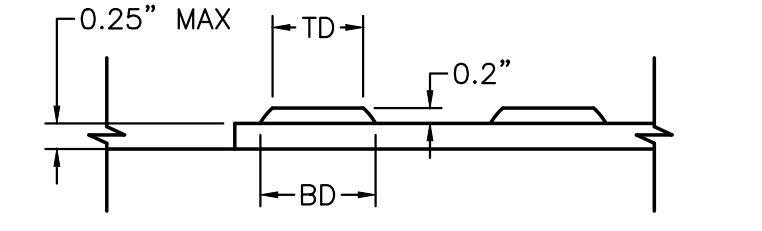




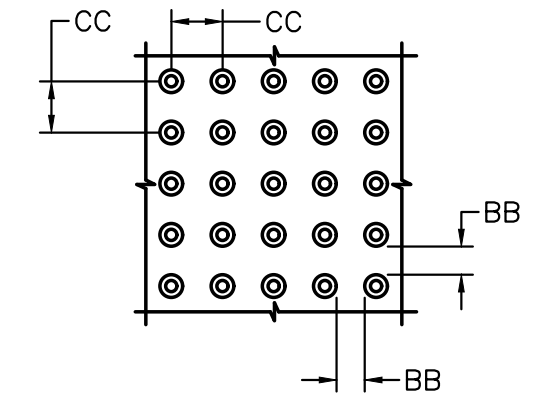
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
  2. CONSTRUCT PER A.D.A. STANDARDS.



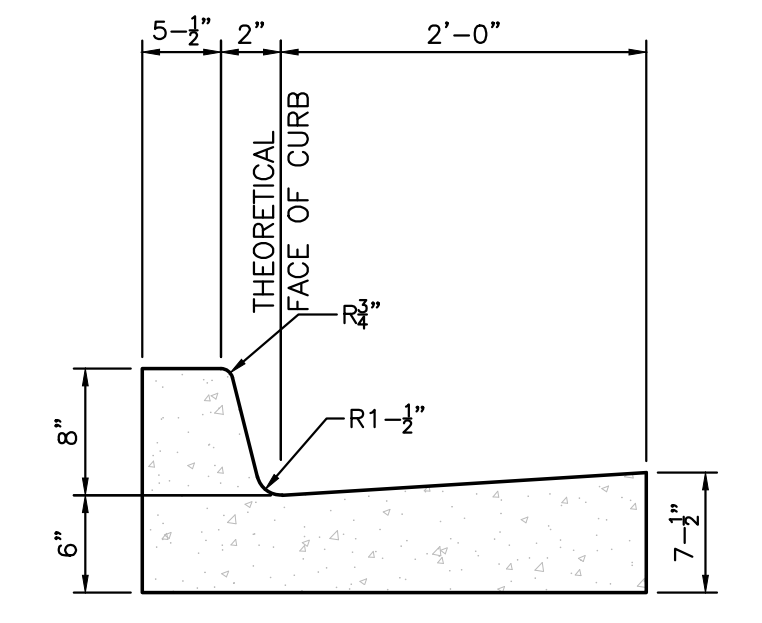
**UNIDIRECTIONAL HC RAMP**  
NOT TO SCALE



**DOME SECTION**  
BD - BASE DIAMETER 0.9\"/>

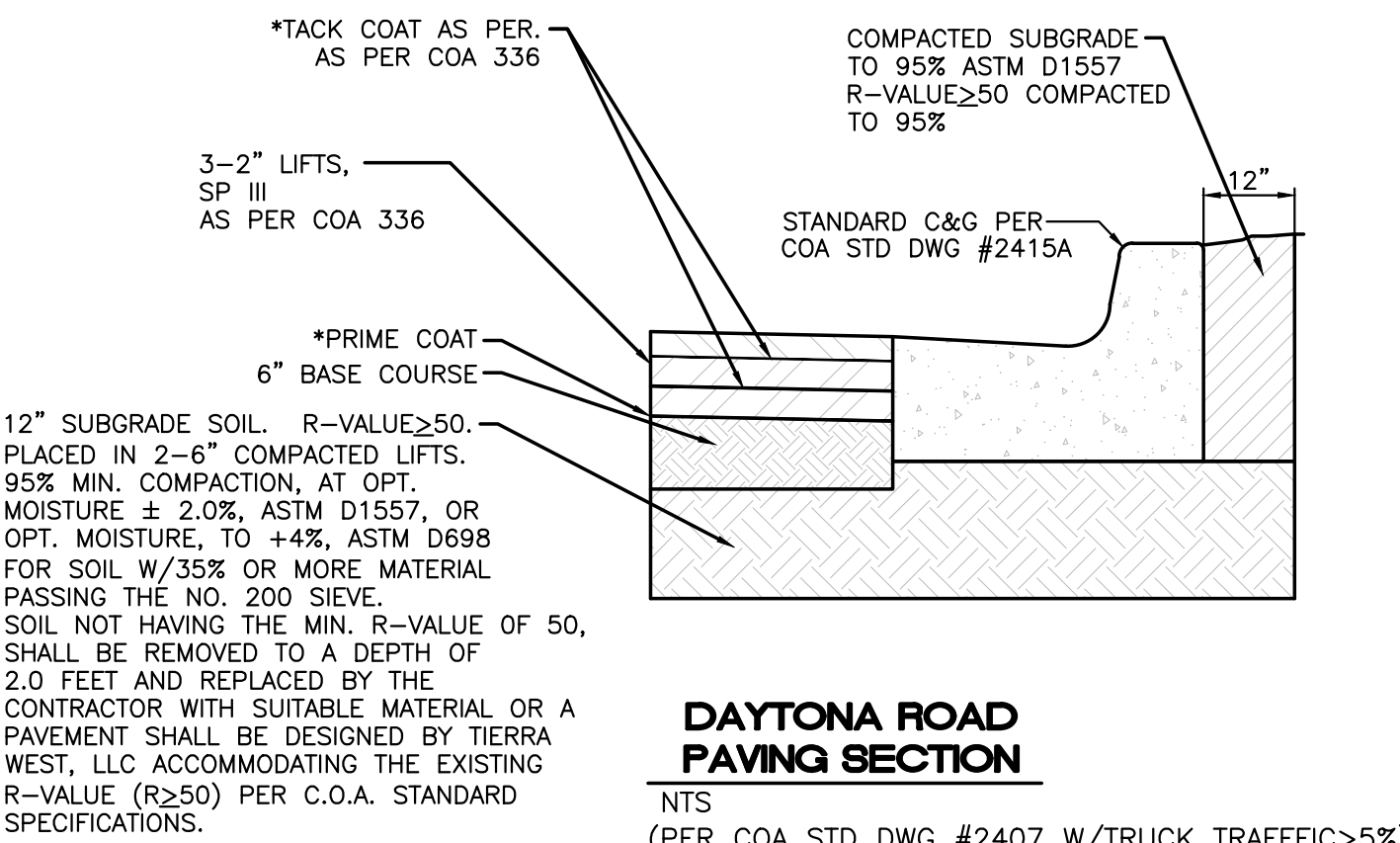


**DOME SPACING**  
CC - CENTER TO CENTER SPACING 2.35\"/>

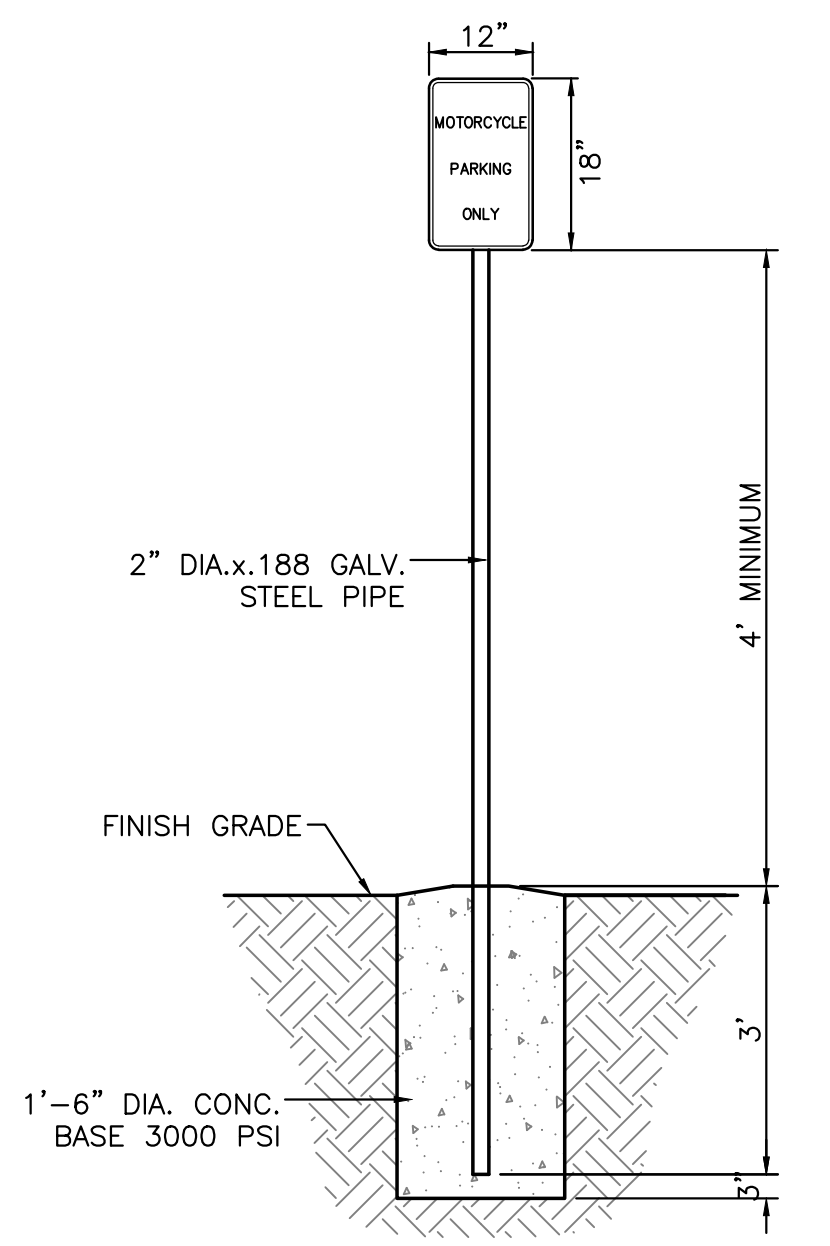


- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
  2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING: 1/2\"/>
  3. ALL EDGES SHALL BE EDGED WITH A 3/8\"/>
  4. 1/4\"/>

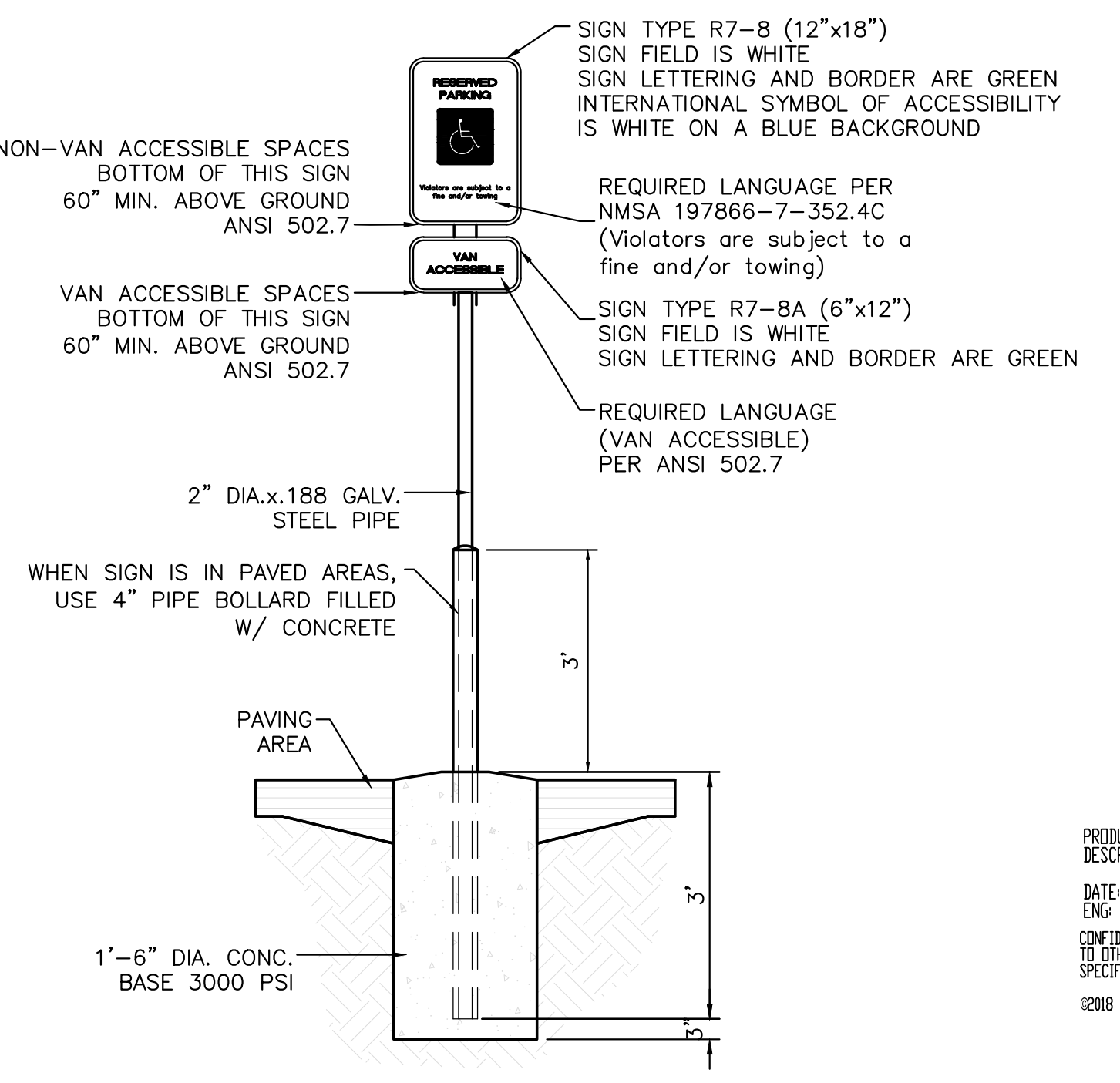
**8\"/>**



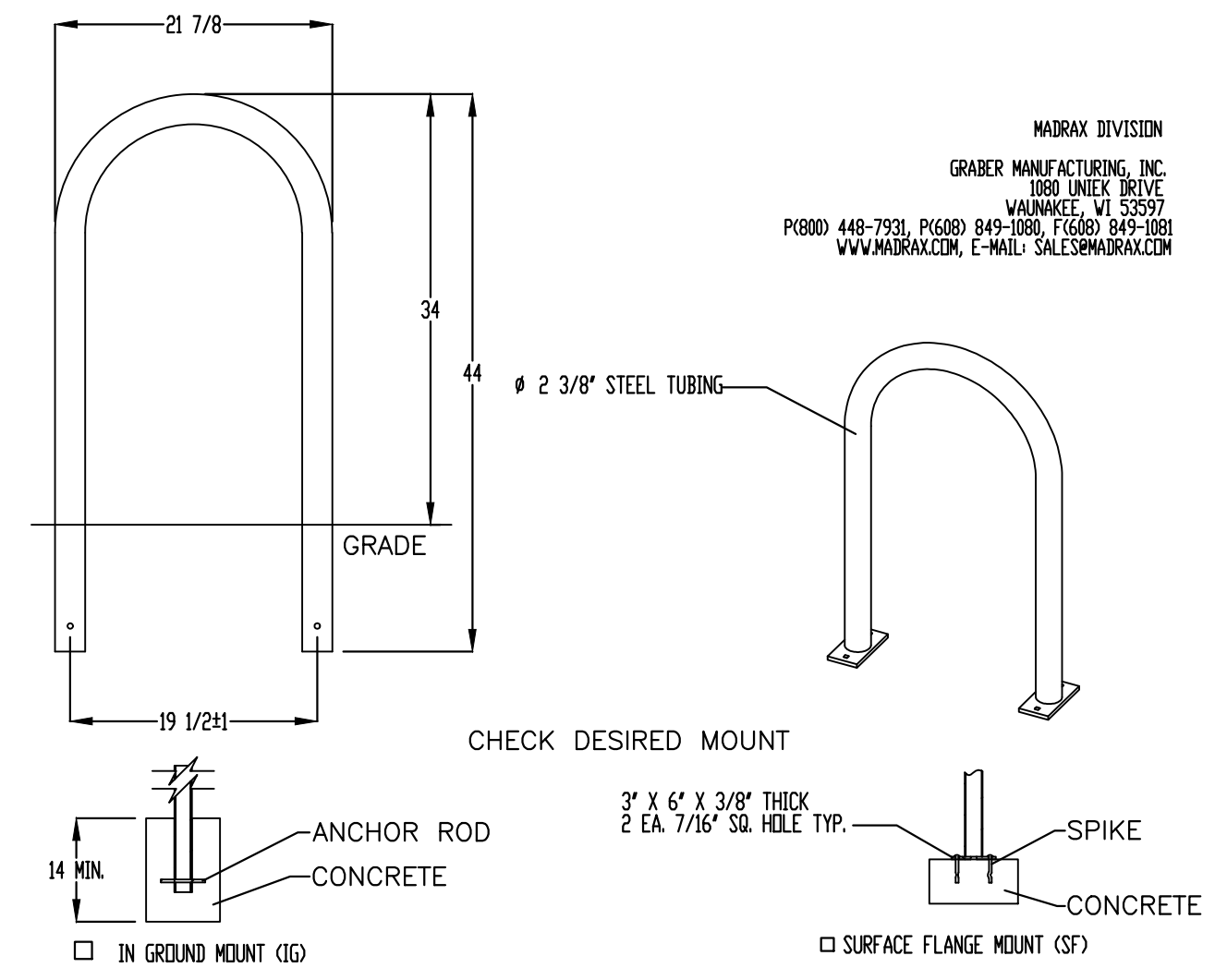
**DAYTONA ROAD PAVING SECTION**  
NTS  
(PER COA STD DWG #2407 W/TRUCK TRAFFIC>5%)



**MOTORCYCLE PARKING SIGN**  
NTS

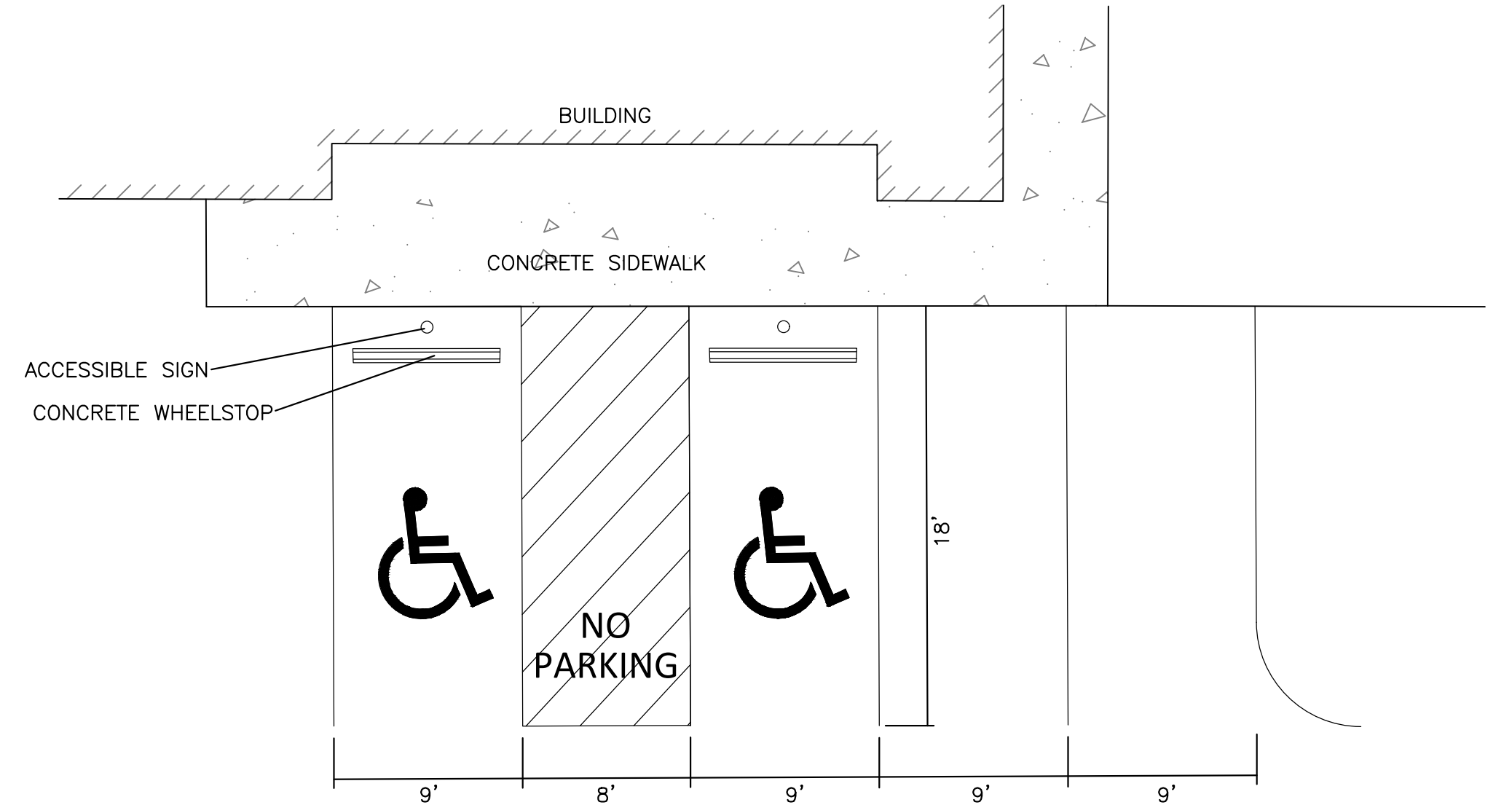


**ACCESSIBLE PARKING SIGN**  
NTS



PRODUCT: L238-1G(SF)  
DESCRIPTION: 1\"/>

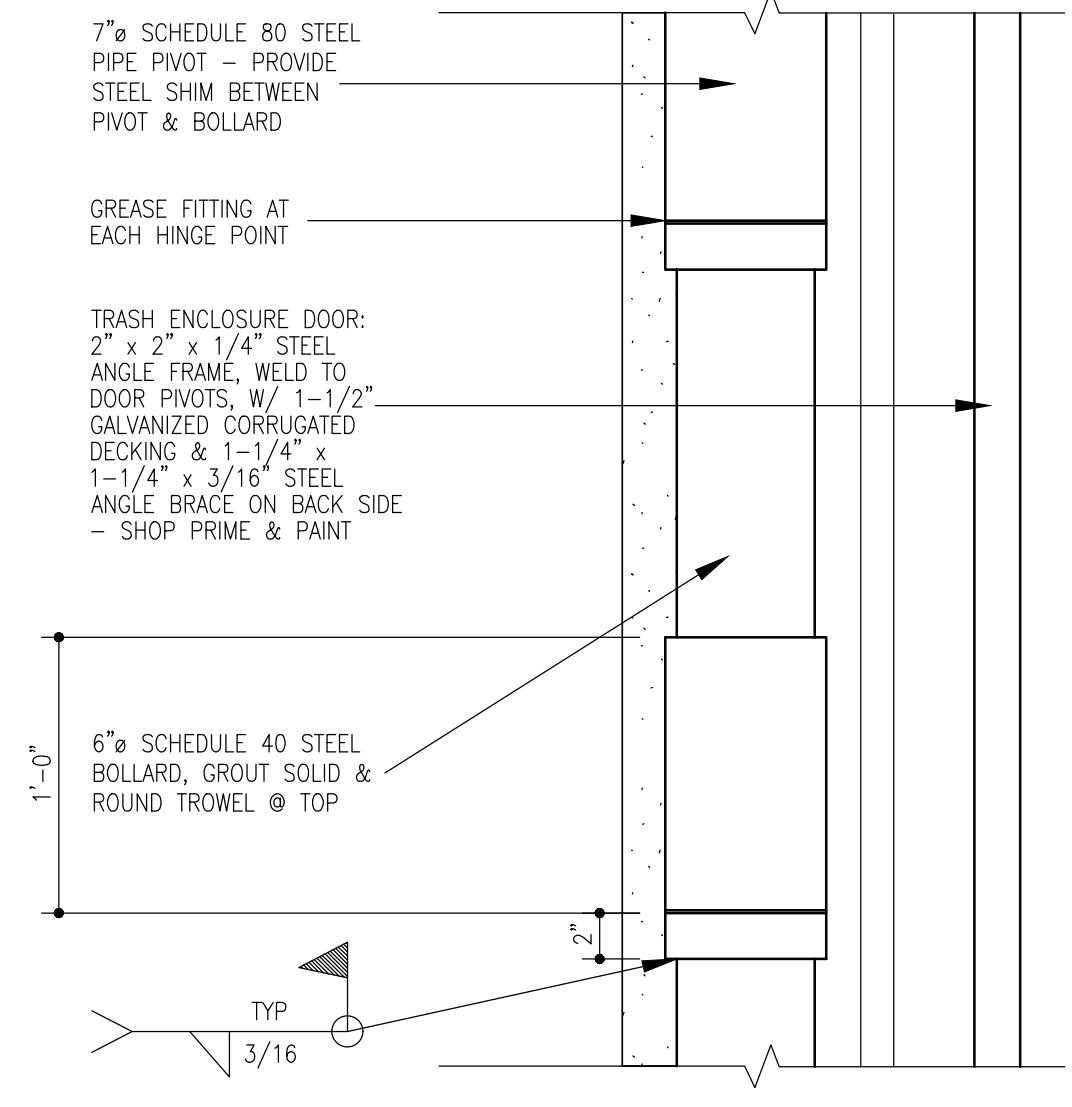
**BIKE RACK DETAIL**  
SCALE: NONE



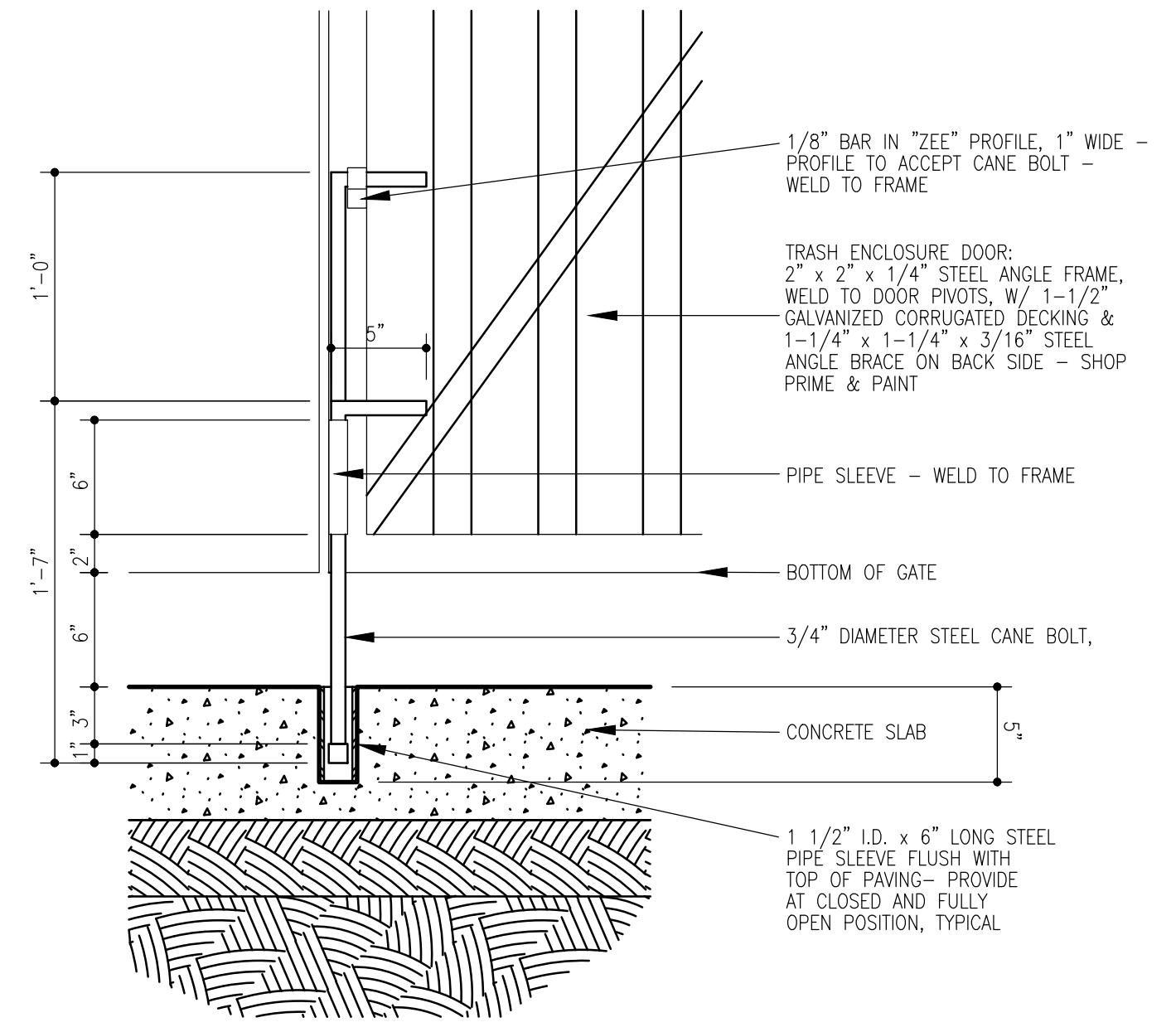
**ACCESSIBLE PARKING DETAIL**

ENGINEER'S SEAL	<b>SOUTHERN TIRE MART</b> ALBUQUERQUE, NM	DRAWN BY pm
	<b>CONSTRUCTION DETAILS</b>	DATE 3-28-21
RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020031-DET
		SHEET # <b>DET-1</b>
		JOB # 2020031

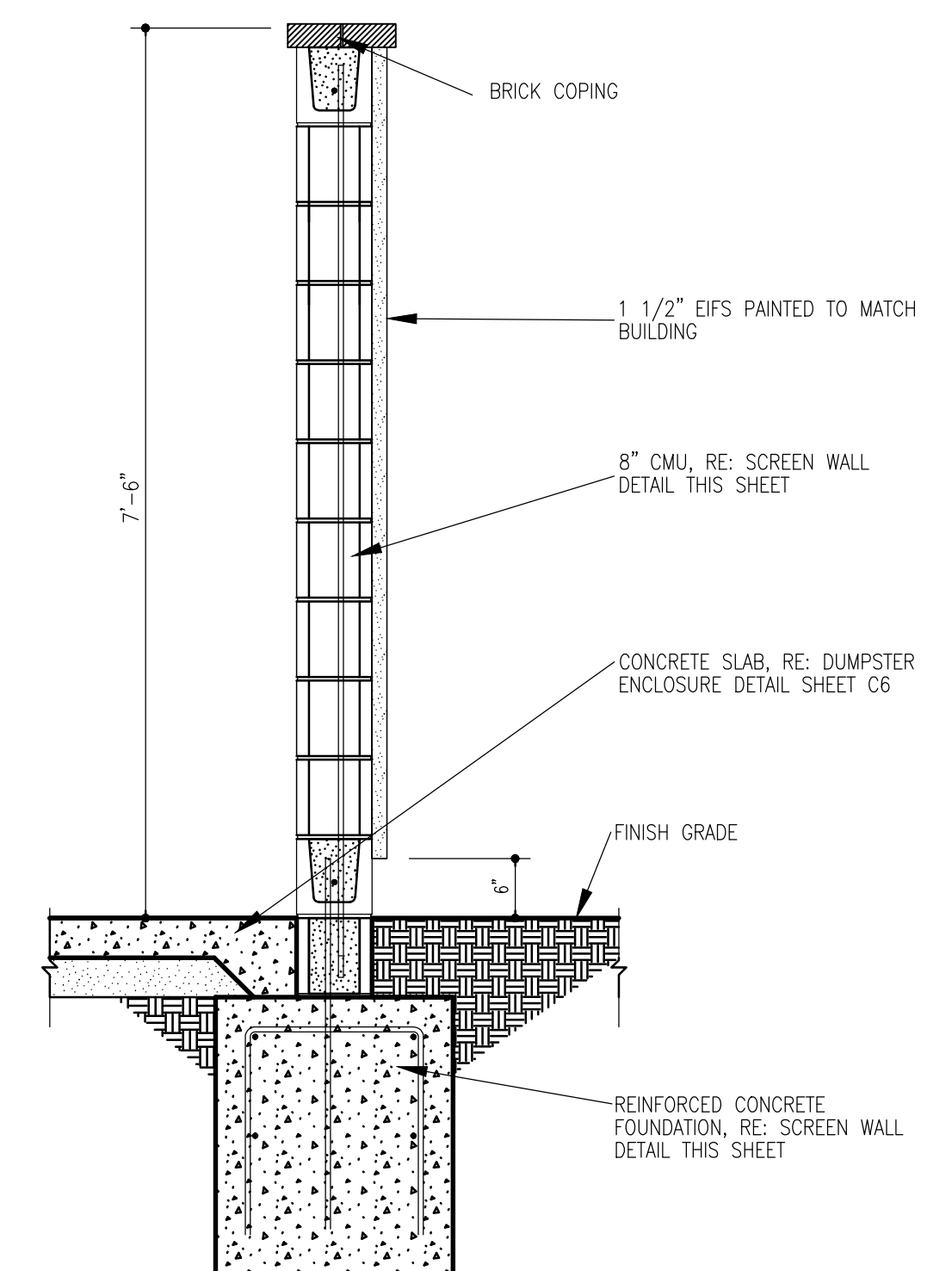




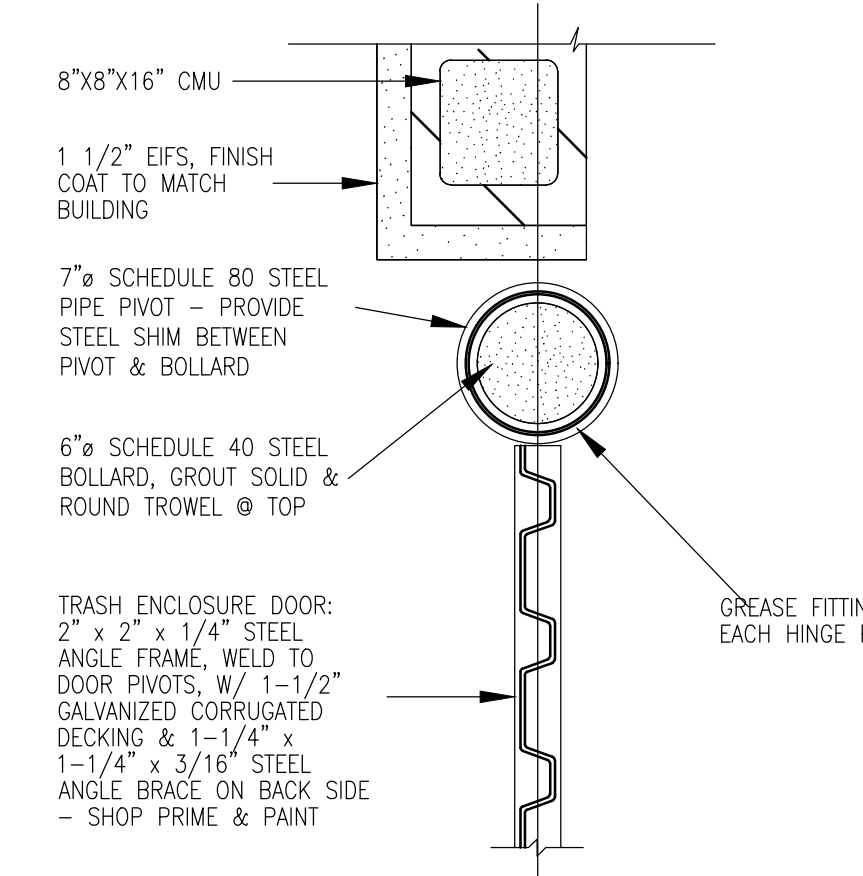
9 Dumpster Door Pivot  
1/12" = 1'-0"



8 Cane Bolt Detail  
1/12" = 1'-0"



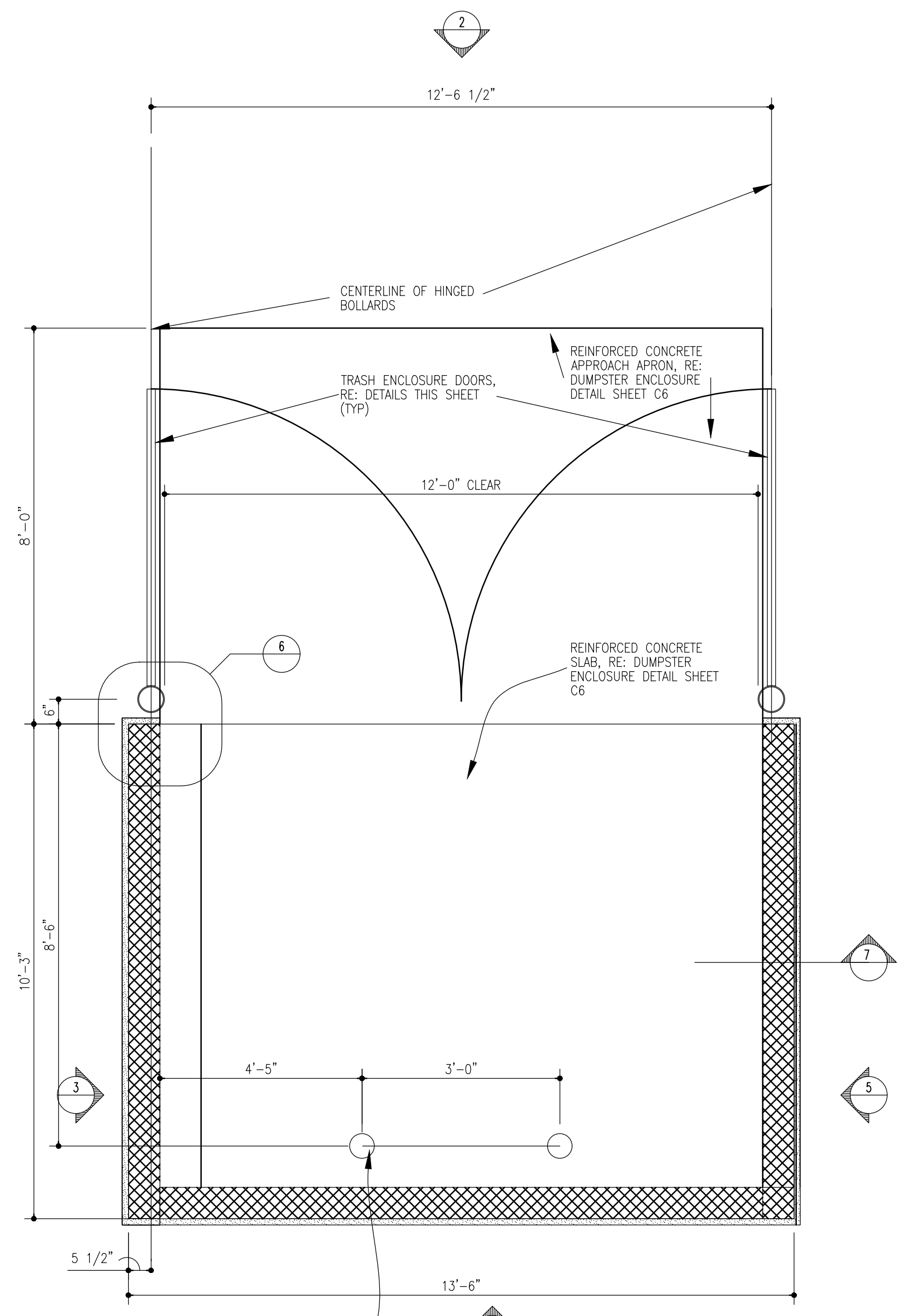
7 Wall Section  
3/4" = 1'-0"



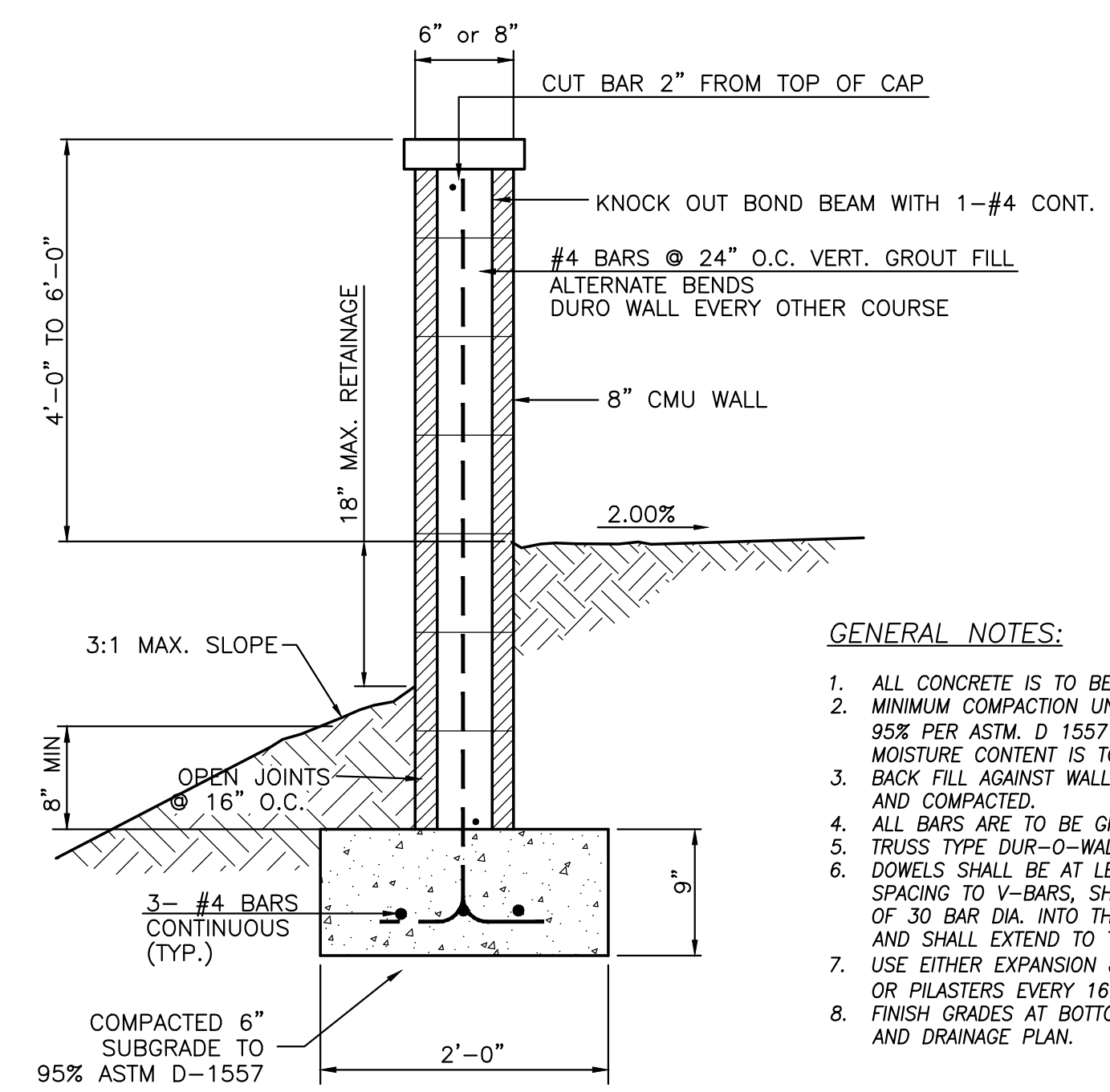
6 Plan Detail  
1/12" = 1'-0"

**General Notes**

1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT TO MATCH BUILDING

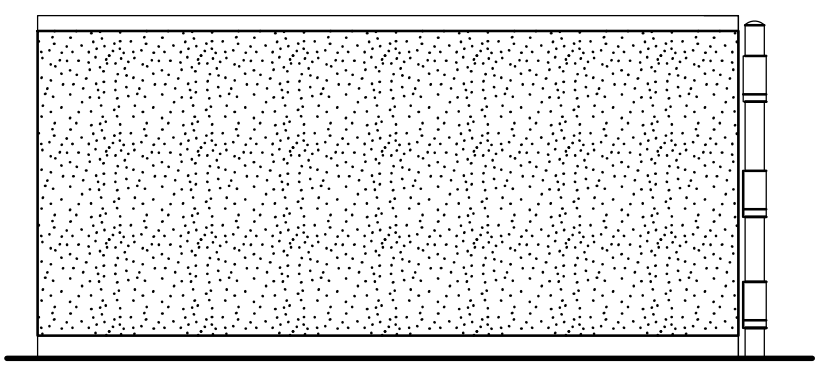


1 Dumpster Floor Plan  
1/2" = 1'-0"

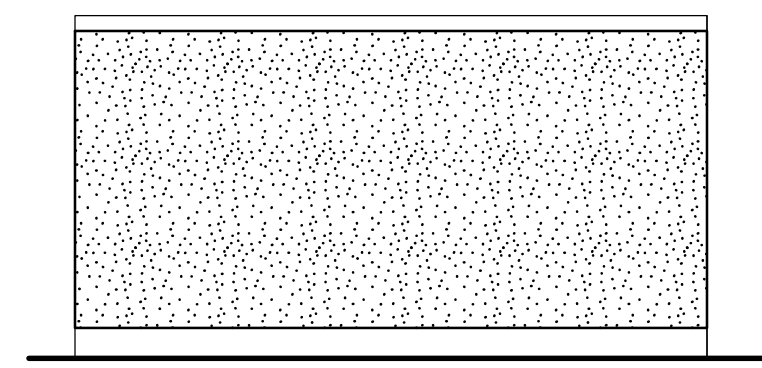


- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
  2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
  5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
  7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
  8. FINISH GRADES AT BOTTOM OF WALL PER GRADING AND DRAINAGE PLAN.

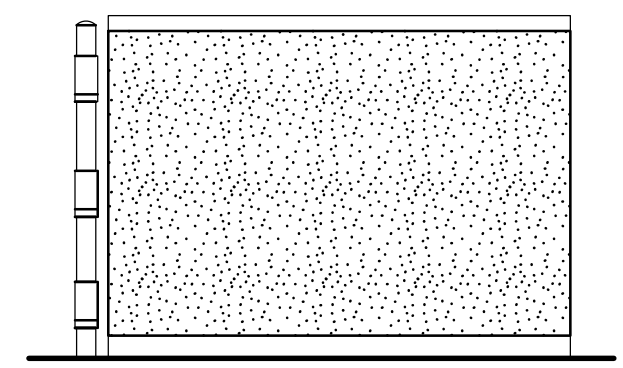
SCREEN WALL SECTION  
NTS



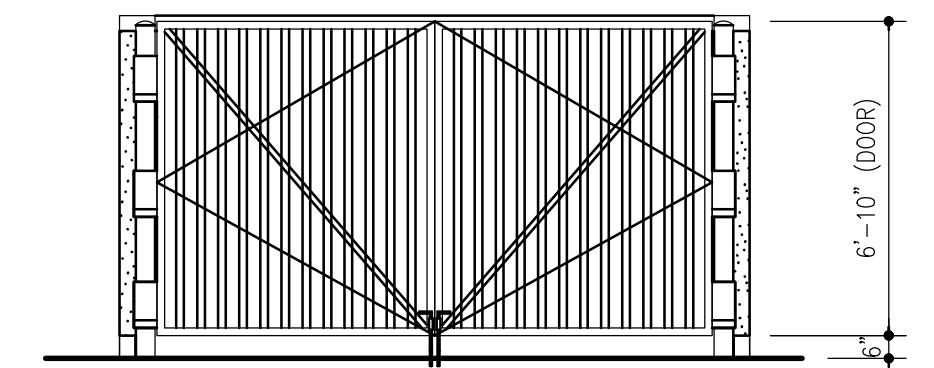
5 Side Elevation  
NTS



4 Back Elevation  
NTS



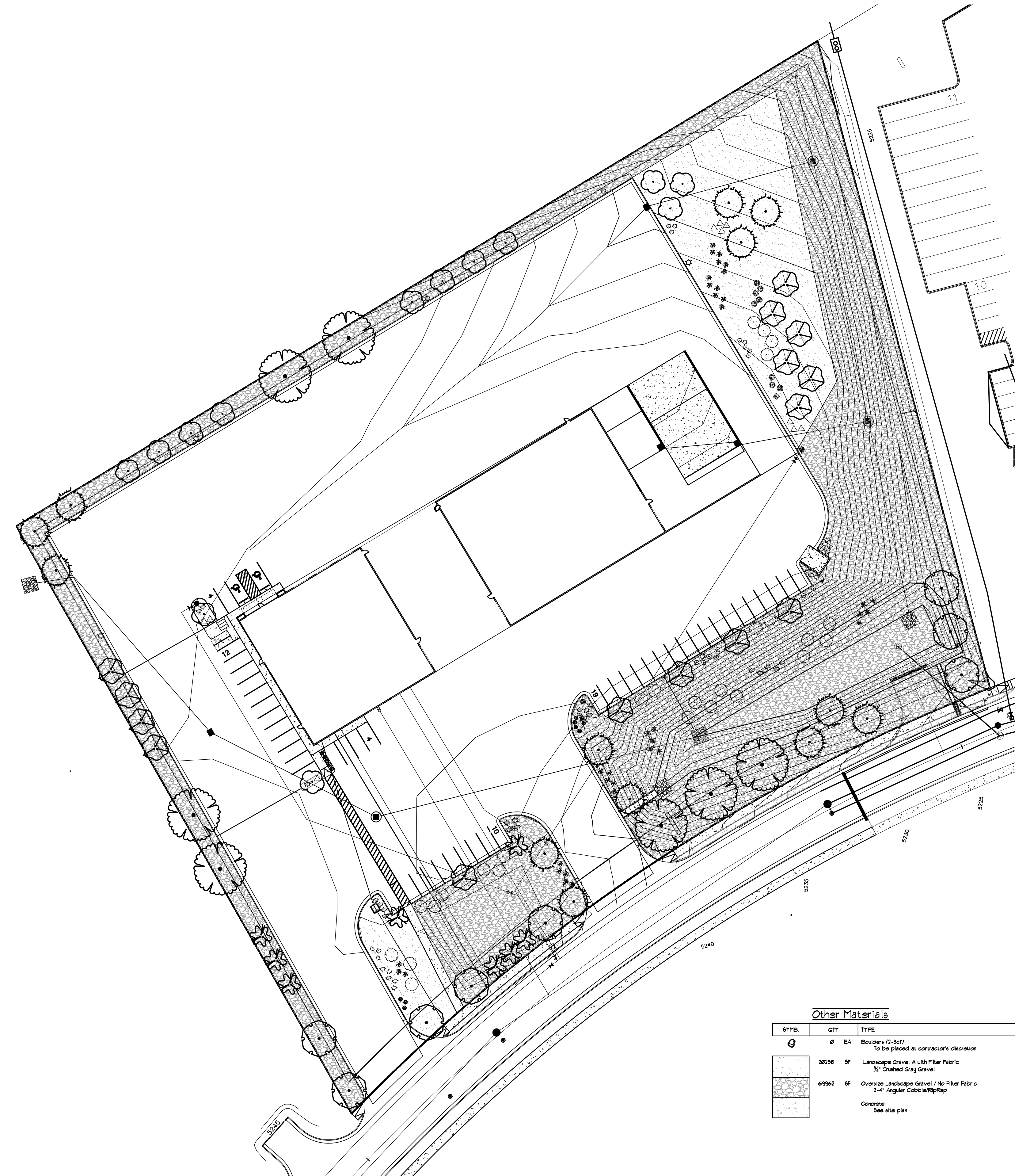
3 Side Elevation  
NTS



2 Front Elevation  
NTS

ENGINEER'S SEAL	<b>SOUTHERN TIRE MART</b> ALBUQUERQUE, NM	DRAWN BY pm
	<b>CONSTRUCTION DETAILS</b>	DATE 3-28-21
RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020031-DET
		SHEET # <b>DET-2</b>
		JOB # 2020031





### LANDSCAPE LEGEND

SYMBL	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	MATURE H/W	WATER USE	COVER (EA)	TOTAL
<b>Trees</b>							
15	2	Trunks w/ 2" Combined Cal.	Desert Willow <i>Quercus linearis</i>	30' x 25'	L	625	9375
13	2	Trunks w/ 2" Combined Cal.	Bradford Pear <i>Pyrus calleryana</i>	30' x 35'	M	225	2025
1	1	2" Cal	Honey Locust <i>Gleditsia triacanthos herms</i>	50' x 45'	M+	2025	1475
13	6	6" height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	8025
8	2	2" Cal	Chinese Pistache <i>Pistacia chinensis</i>	40' x 30'	M	500	7000
8	2	Trunks w/ 2" Combined Cal.	Chinese Tree <i>Vitex agnus-castus</i>	30' x 20'	M	400	3200
							Total Tree Coverage: 45000
<b>Shrubs &amp; Groundcover</b>							
8	5	Gal	Blue Mist Spruce <i>Caryopteris x clandonensis</i>	3' x 3'	Low+	5	72
1	5	Gal	Butterfly Bush <i>Buddleia davidii</i>	7' x 6'	M	36	252
10	5	Gal	Indian Hawthorn <i>Raphanocarpus indica</i>	3' x 5'	M	25	250
13	5	Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4' x 2'	M	144	812
13	5	Gal	Apache Pine <i>Pinus ponderosa</i>	6' x 7'	L	49	931
10	5	Gal	Wintergreen Barberry <i>Berberis juliflora</i>	5' x 5'	M	25	250
9	5	Gal	Ornamental <i>Chrysothamnus nauseosus</i>	5' x 7'	L	49	441
25	5	Gal	Feather Reed Grass <i>Calamagrostis canadensis</i>	2' x 2'	M	5	225
8	5	Gal	Trumpetvine Bush <i>Ericameria latifolia</i>	5' x 6'	L	36	288
18	5	Gal	Buffalo Juniper <i>Juniperus horizontalis</i>	4' x 2'	M	144	292
11	5	Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low+	5	108
2	5	Gal	Sagebrush <i>Yucca elata</i>	20' x 5'	RU	25	50
							Total Shrub Coverage: 4068

### LANDSCAPE CALCULATIONS

ZONING	FD: PLANNED DEVELOPMENT
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994
TOTAL LOT AREA (ACRES)	5.83
TOTAL LOT AREA (SF)	253751
BUILDING AREA (SF)	22300
NET LOT AREA (SF)	231451
REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	34719
LANDSCAPE PROVIDED (SF)	91220
VEGETATIVE COVER (% - REQ)	15.0
VEGETATIVE COVER (SF - REQ)	68415
VEGETATIVE COVER (SF - PROV.)	49068
REQ. TREES - 1ST AND 2ND STORY UNITS	28
PROVIDED UNIT TREES	64

### Other Materials

SYMBL	QTY	TYPE
0	EA	Boulders (12-36") To be placed at contractor's discretion
20250	SF	Landscape Gravel A with Filter Fabric 3/4" Crained Gray Gravel
69562	SF	Oversize Landscape Gravel / No Filter Fabric 1-4" Angular Cobble/Repp

Concrete see site plan

**PLANTING NOTES**  
ALL PLANTS TO CONTAIN BARK MULCH AROUND THE ROOTBALL, TO THE EXTENT TO COVER THE DRIP LINES.

**GENERAL NOTES**  
IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION AND LANDSCAPE MAINTENANCE ORDINANCES. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION AND LANDSCAPE MAINTENANCE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.  
APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION AND LANDSCAPE MAINTENANCE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.  
ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF RIO RANCHO ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION AND LANDSCAPE MAINTENANCE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED 5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

**IRRIGATION NOTES:**  
IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. NETAFM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

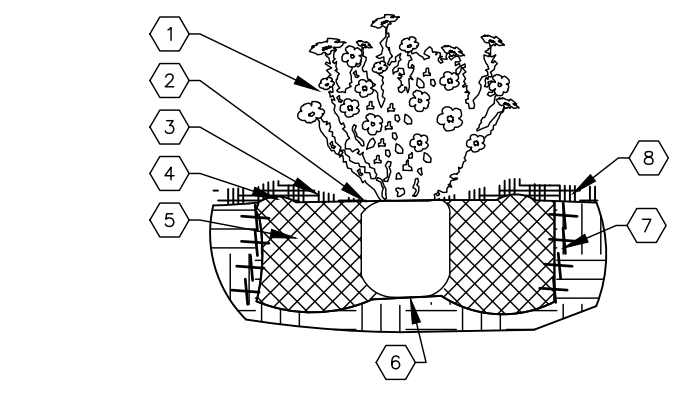
RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

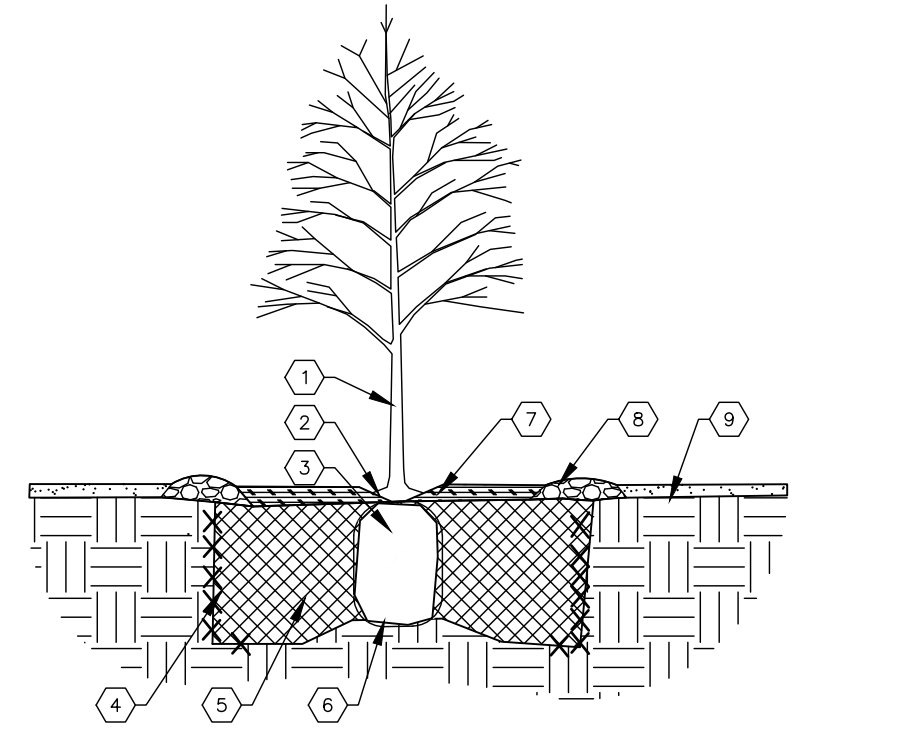


### SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION SPECIES AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- USE WOOD CHIP MULCH (AS NEEDED TO EXPOSE ROOT FLARE) HELD BACK 1" FROM TRUNK AND STEPS AND TO COVER DRIP LINE.
- BACKFILL PER SPECIFICATIONS LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL.
- SCARPY AND LOOSEN EDGES OF PLANTING PIT.
- MULCH - SEE PLANTING PLAN 3" DEPTH UNLESS OTHERWISE NOTED.

### SHRUB PLANTING

NTS SHRUB PLANTING DETAIL

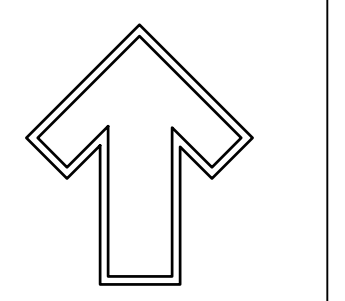
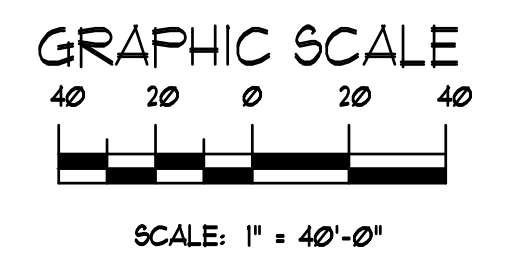


### TREE PLANTING KEYED NOTES

- TREE LOCATION SPECIES AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL FROM NURSERY AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- INSTALL TREE PULPERS REMOVE WIRE BASKET, WOOD BOX, PLASTIC TUNES, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BULKY EXCEPT FROM BOTTOM OF ROOT BALL.
- SCARPY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- 4" HIGH X 6" WIDE COBBLE BERRY AT DRIP LINE.
- MULCH - SEE PLANTING PLAN.

### TREE PLANTING

NTS TREE PLANTING DETAIL



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Not for Construction

Southern Tire Mart  
Albuquerque, NM  
landscape Design Development

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The Hilltop  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: JH  
REVISION:  
DATE: 04/05/2021

SHEET #  
LP-101



# SOUTHERN TIRE MART: ALBUQUERQUE, NM

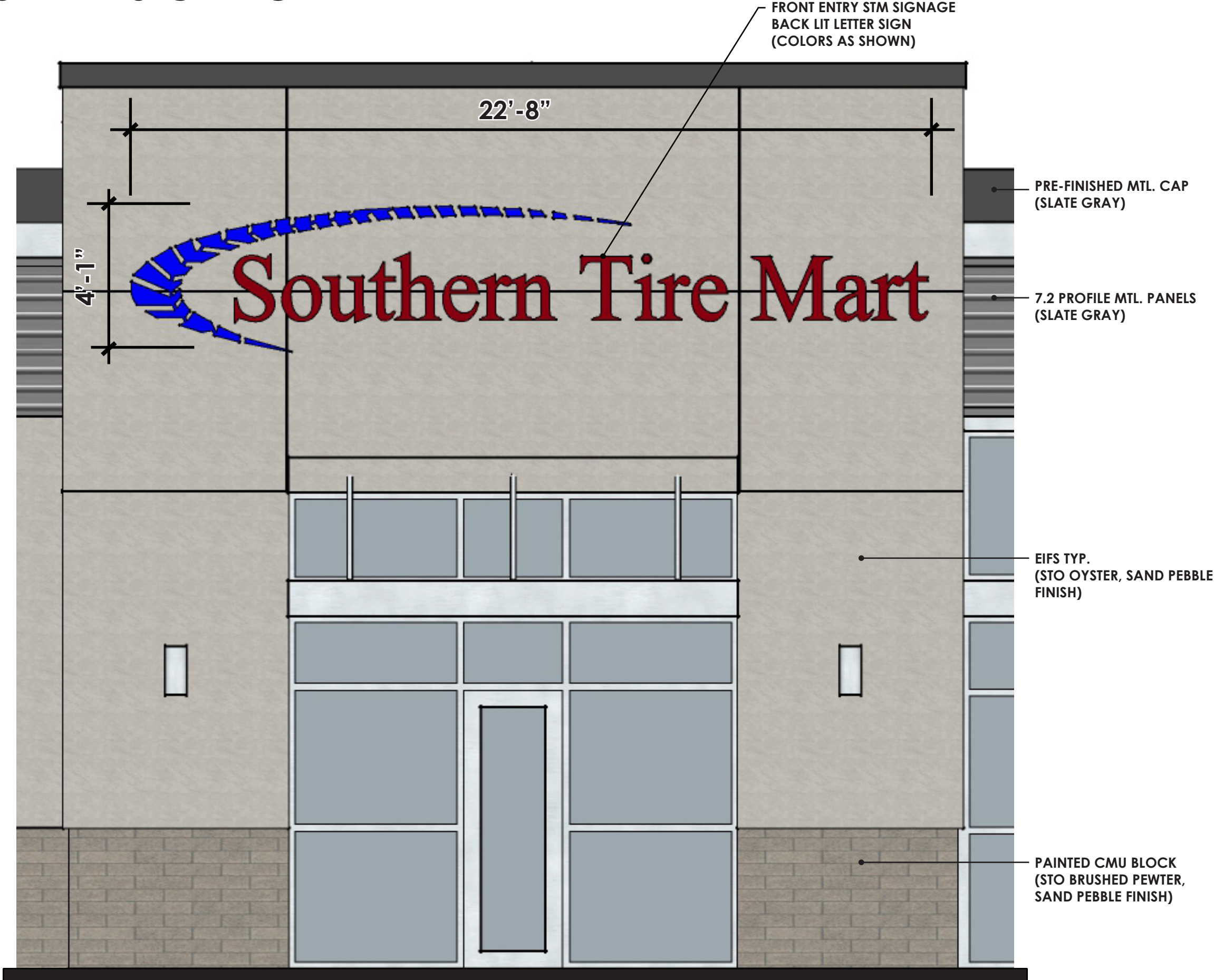




# BUILDING MOUNTED SIGNAGE

**Building Sign Info:**

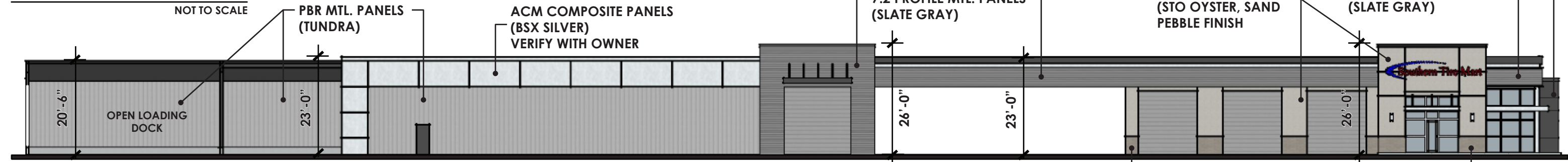
Sign Square Footage: 93 SF  
Signage Colors - Red: 77.19 SF  
                          Blue: 15.81 SF  
Signage Materials: Aluminum  
                          Channel Letters  
Lighting: Back Lit Letters



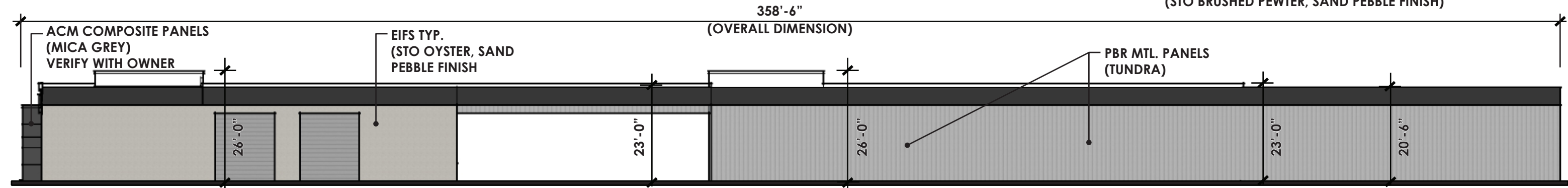


# BUILDING ELEVATIONS

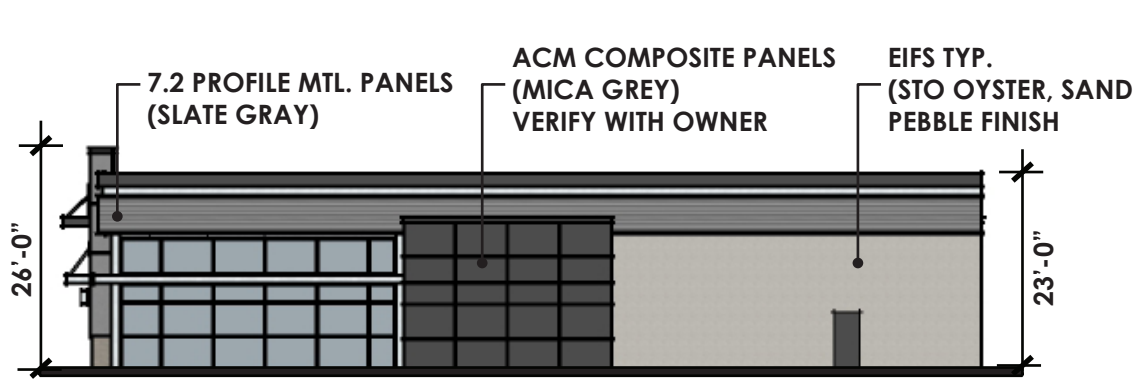
## Typ Building Elevations:



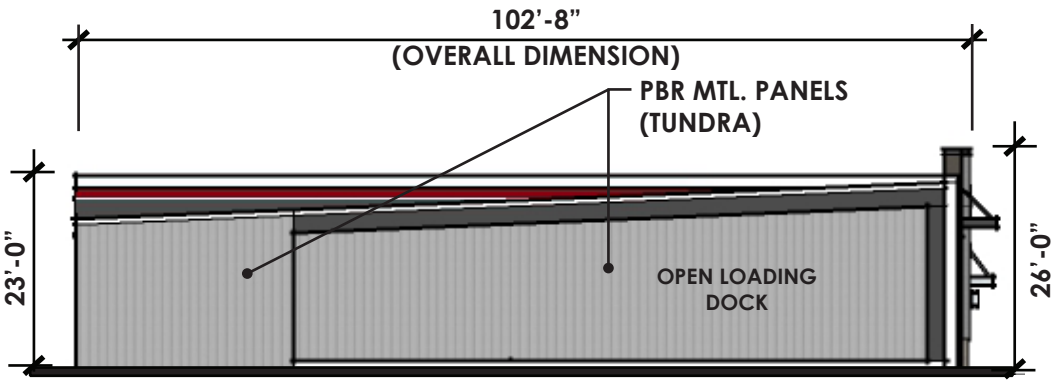
North Building Elevation



South Building Elevation



West Building Elevation



East Building Elevation